

Vicky Gannon, Chair  
Paul W. Ciavardini  
Jack Mattes  
Bruce Prince  
Anthony Sutton  
Christopher Zaberto

# Town of Somers

WESTCHESTER COUNTY, N.Y.



TOWN HOUSE  
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## SOMERS PLANNING BOARD AGENDA

January 14, 2026

7:30 PM

### MINUTES

Draft Minutes for consideration of approval: November 12, 2025 & December 17, 2025.

### TIME EXTENSION REQUEST

1. **NYS POLICE HEADQUARTER - SOMERS FIRE DISTRICT**  
**295 ROUTE 100 SUBDIVISION – RESOLUTION NO. 2024-05**  
**TM: 17.18-1-1.2**

Request from Somers Fire District Board of Commissioners for a 90-day time-extension from January 28, 2026 up to and including April 27, 2026 for approved Preliminary Plat signature by the Planning Board Chairman to meet the conditions of approval, Resolution No. 2024-05 in accordance with Town Code Section 150-12.M.

### CONTINUATION OF PUBLIC HEARING

2. **TRAILSIDE ESTATES AT SOMERS**  
**SITE PLAN APPLICATION & PRELIMINARY SUBDIVISION APPLICATION**  
**REYNOLDS DRIVE**  
**TM 4.20-1-12 & 15.08-1-4**

The Applicant is proposing construction of an 81-unit townhouse community with associated appurtenances. Five of the 81 units will be sponsor provided, and target households at or below the 120% Area Median Income (AMI). The project also proposes the construction of a community center and dog park to be located on a separate parcel which will be dedicated to the Town of Somers. The property is accessed through Somers Realty Planned Hamlet via Reynolds Drive and is located in the Multifamily Residence Baldwin Place (MFR-BP) Zoning District.

**PROJECT REVIEW**

**3. ROCKLEDGE CENTER  
SITE PLAN APPLICATION  
247 ROUTE 100  
TM 28.10-1-6.1**

The Applicant is proposing construction of an approximately 18,500 square-foot addition to Building C at the Rockledge Center to be utilized as an athletic facility. The property is located at 247 Route 100 and is located in the Office and Light Industry (OLI) Zoning District.

**4. NEW CINGULAR WIRELESS PCS, LLC (AT&T) FOR AMENDED SPECIAL USE PERMIT  
WIRELESS TELECOMMUNICATIONS FACILITY  
80 ROUTE 6 -SOMERS COMMONS  
TM 4.2-1-11**

The Applicant is applying for an Amended Special Use Permit. The project consists of modifications to the existing wireless telecommunications facility comprising of equipment, antennas and associated cables. The project site is located at 80 Route 6 (Somers Commons) and is in the Neighborhood Shopping (NS) District.

**5. NORTH EDGE REALTY CORPORATION  
PRELIMINARY SUBDIVISION, SITE PLAN, STEEP SLOPE & STORMWATER  
MANAGEMENT AND EROSION CONTROL APPLICATIONS  
ROUTE 6 AND MAHOPAC AVENUE  
TM 4.19-2-2, 3 & 4**

The Applicant is proposing construction of a 73-fee simple townhome units consisting of a mix of 2-3-bedroom units serviced by public sewer and water with required stormwater improvements. The property is accessed from NYS Route 6 and Mahopac Avenue and is located in the Multifamily Residence Baldwin Place (MFR-BP) Zoning District.

**6. MELISSA HARNEY – FINAL SUBDIVISION APPROVAL APPLICATION FOR PROPERTY  
LOCATED AT 10 KEYREL LANE  
TM 16.07-1-3**

Application for Final Subdivision approval for property located at 10 Keyrel Lane to subdivide the existing property creating two (2) residential lots. The property is located in an R-40 Zoning District.

**ADMINISTRATIVE ITEMS**

**7. AMENDMENT TO AND REAUTHORIZATION OF RESOLUTION 2025-25 AMERICAN  
TOWER/INSITE TOWERS, LLC-VERIZON TO REFLECT SUBMISSION OF UPDATED  
PLANS**

Amendment to reflect submission of updated plans.

**MEETING ADJOURNMENT**

**The next Planning Board Meeting is scheduled for  
Wednesday, February 11, 2026 at 7:30pm.  
Agenda Subject to Change**

**PLANNING BOARD**

**Vicky Gannon, Chair**  
**Paul W. Ciavardini**  
**Jack Mattes**  
**Bruce A. Prince**  
**Anthony Sutton**  
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**SOMERS PLANNING BOARD MINUTES**  
**NOVEMBER 12, 2025**  
**7:30PM**

**ROLL**

**MEMBERS PRESENT:** Chair Vicky Gannon, Paul Ciavardini, Jack Mattes,  
Bruce Prince, Anthony Sutton, Christopher Zaberto

**ALSO PRESENT:** David Smith- Consulting Town Planner, Steve Robbins-  
Consulting Town Engineer, Michael Towey- Planning Board  
Attorney, Nicole Montesano-Planning Board Secretary

**MEETING COMMENCEMENT**

The meeting commenced at 7:30 p.m.

Chair Vicky Gannon welcomed everyone to the meeting and then requested participants please stand for the Pledge of Allegiance.

Planning Board Secretary, Ms. Nicole Montesano, called the Roll.

**MINUTES**

Chair Vicky Gannon stated that the first item on the agenda were the draft minutes for consideration from the October 8, 2025, Planning Board meeting. She noted that there was one correction that Planning Board Attorney, Mr. Michael Towey suggested on page 10, line 2: which was changing "open meetings and law" to "open meetings law". There being no other comments on the draft minutes, Chair Gannon moved to approve the minutes as amended. Mr. Christopher Zaberto seconded the motion. All in favor. Motion passes.

**PROJECT REVIEW****1. HERITAGE HILLS 202 CENTER – PATIO  
SITE PLAN APPLICATION  
TM: 17.11-10-20**

For the record Chair Vicky Gannon stated that the Applicant is seeking approval to modify the existing patio area at the Heritage Hills 202 Shopping Center. The property is located at 249 Route 202 and is in a Neighborhood Shopping (NS) Zoning District.

Chair Gannon asked Consulting Town Planner, Mr. David Smith if he wanted to start with planning notes. Mr. Smith responded that perhaps we should have the Applicant start and then we can follow. He added that just by way of background, the Applicant has coordinated with the Building Department and with the Planning Office on their application and so this is a suggested approach, given the fairly de minimis improvements that they are requesting. Ms. Nicole Ahrens, Project Manager with Studio Architecture, DPC came to the podium and introduced herself and indicated they were there on behalf of the property owners Regency Centers. She indicated that what they would like to present to the Board is a beautification of the existing patio area that is in front of the Heritage Hills Shopping Center. She noted that they have a pretty wide and deep patio area that currently is just unkept landscape and really wide sidewalks for no real reason. There are a fair number of tenants in the shopping center that do serve food, and Bobo's currently already has outside seating. Ms. Ahrens stated the plan is to expand on that and make some nicer paved patio areas, rather than just concrete sidewalk all over the place to encourage the patrons of the shopping center to hang out for a little while, sit, enjoy their food, enjoy the Town of Somers, and to help the tenants at the shopping center with the seating issues that they currently have. Mr. Smith thanked Ms. Ahrens and stated that procedurally, what the Applicant has requested is relief from the typical Site Plan requirements, other than providing Consulting Town Engineer, Mr. Steve Robbins with the issue with respect to stormwater and stormwater management. He added that this application is comparable to the issue that Baldwin Place had with the speed humps on the ring road that services that facility. They came in and there was an issue there, and the Bureau of Fire Prevention (BFP) reviewed it. They did not have an issue with the design and the amendments to that Site Plan were essentially very de minimis, but it was important to get those improvements on paper and to have them recorded for the Town and also for the Building Department. Mr. Smith concluded by stating that he thought that their main request is that the Site Plan requirements for a much more robust improvement program or development be waived along with the Public Hearing. This falls under the Type II Action Classification for State Environmental Quality Review (SEQR), so there is no Environmental Assessment Form that's required. Essentially, there's no adverse impact as a result of the proposed action and he asked Mr. Robbins if he could just review for the Board, his comments and how the Applicant is responding to any stormwater management issues. Mr. Robbins responded sure and asked if Ms. Ahrens could describe for the Board of the two areas where the improvements are being made what is on the ground now. Ms. Ahrens stated that she had an existing plan that she could flip over to, just to give the Board a better idea of what exactly is going on currently. She stated that most of the existing patio area is entirely covered with concrete and that they do have two small landscaped

1 areas that are really just grass covered by curb. She added that one of the existing landscaped areas  
2 is supposed to remain and that the one that is to the upper left-hand side of the plan will be replaced  
3 with pavers. She indicated it is a little under 600-square feet of what is currently just grass - no  
4 plants or foliage or anything like that. Mr. Robbins reiterated that the plan is to take out the grass  
5 and put pavers in its location and then asked if the same pavers will be put in the existing patio  
6 areas. Ms. Ahrens responded yes. Mr. Robbins then asked if those pavers are an open joint paver  
7 and if they are grouted. Ms. Ahrens responded that she was not entirely sure that the property  
8 owner has fully decided on what type of material they want to use. There was some discussion  
9 about using pavers, and then there was some discussion about using stamped concrete as well and  
10 she thought it would be up to the Board to determine which they would prefer to see there. The  
11 property owners really do not have a preference at this time. Mr. Robbins responded that from an  
12 engineering perspective as it relates to managing stormwater; and while this is a relatively small  
13 area in the overall site - which has a lot of impervious areas, this is kind of a very minor piece to  
14 it, one thing he thought that the Board should consider is, while this small area is currently  
15 proposed to go from grass to something which might be a pervious paver or it might not be - if  
16 you kind of do that 10 more times, then all of a sudden, you've got a big change in the stormwater  
17 on the site. So the questions that we just sent to you in an email were really just trying to clarify,  
18 from a stormwater perspective, what's going on in that small area, if it's pervious or not. He noted  
19 that he believed that there's run on from at least two roof leaders onto that grass area and so that  
20 needs to be considered - that needs to go somewhere and not just kind of create a sheet of ice in  
21 the winter. Mr. Robbins stated that there was a detail in what was submitted that did look like a  
22 pervious paver application. There was a stone or an item 4 sub-base. It looked like it was an open  
23 joint paver. If that is to be used, we just had a question as to whether it would be feasible or if  
24 there was a reason not to use if it's a pervious paver, the New York State Department of  
25 Environmental Conservation (DEC) pervious paver section with the appropriate gravel choker  
26 course. There may be a reason not to use it, but we just had a question as to why that wasn't being  
27 proposed or not so. Ms. Ahrens responded sure. Mr. Robbins stated that he thought from a  
28 stormwater perspective, if you are using a pervious system, that would make things much easier  
29 and we would probably just suggest to the Planning Board that a condition of the approval for that  
30 be to conduct a perk test during construction to be witnessed by the Town's Engineering  
31 Technician, just to confirm that water does go into the ground as you intend it to, and it's suitably  
32 sized. So a little bit more information on those pavers in that area would be useful so that we can  
33 confirm that from a safety and a stormwater perspective, that it's appropriate. Chair Gannon then  
34 asked Ms. Ahrens if she could point out on the diagram just for clarity which grassy area would  
35 be replaced. While pointing to the diagram Ms. Ahrens identified both areas - the one that is  
36 proposed to be replaced as well as the area that will be remaining. Chair Gannon responded okay,  
37 the pre-existing one and asked for confirmation that nothing would be done where the planters  
38 are, or in front of the bank, or the larger area that was shown in the extreme upper left of the plan  
39 they're staying as is. Mrs. Ahrens responded that is correct. She also noted that nothing that they  
40 are proposing will go outside of the existing curb line. Everything will remain within the existing  
41 curb line. They are not touching any blacktop. Mr. Christopher Zaberto then asked if the tenants  
42 in the building are aware or involved in any of the plans or if this is the result of their suggestions.  
43 Ms. Ahrens responded that is something that the property owner would really be better to speak to  
44 as she is not privy to what the tenants do or do not know about what proposed construction is going

1 on. She indicated that she would assume that they probably have not been made aware yet, and  
2 that it is something that they would look to see if it is a feasible option here, and then alert the  
3 tenants to what the plan would be. Mr. Zaberto then asked if they would anticipate the building  
4 or businesses having to close during this time. Ms. Ahrens responded no nothing is interior and  
5 nothing is going to affect the driveway or the parking lot. All of it would be on the existing paved  
6 sidewalk area and she doubts that they would have the tenants close. What would likely happen is  
7 it would be done kind of in pieces, so that everybody is allowed access. Whatever construction  
8 safety and egress plans for the tenants would be required before construction starts would be  
9 provided to all. Chair Gannon asked if there were any other comments and/or questions. Mr.  
10 Anthony Sutton stated that his concern is the curved area, which is a fire lane. He indicated that  
11 it is constantly being used as a stop in the morning spot and that he has been there many times  
12 where there's two or three cars parked there while people run into Bobo's to pick up their orders.  
13 That being said he was wondering if this represents an opportunity for us to rethink maybe a pickup  
14 area or something to address the issue so that there is not that constant parking - sometimes double  
15 parking. Chair Gannon stated so you mean change some spots into, like, a short term in and out.  
16 Mr. Sutton replied yes or maybe take that curved area and dedicate a couple of spots in that curved  
17 area as a pickup area. Ms. Ahrens responded that it is not something that had been considered in  
18 this application, because they were trying to keep the scope of work outside of the parking lot and  
19 modifying any parking spaces or getting into those approvals. She stated that she could certainly  
20 speak with the property owner and the property manager and see if they have any suggestions as  
21 to how to remediate the issue of people double parking. Obviously, people should not be parking  
22 in the fire lane and she did not believe that this application will do anything that would worsen that  
23 issue. It certainly does not address it, but she did not think that they are doing anything to the  
24 parking lot or to the paved area that would further encourage people to start parking there. Ms.  
25 Ahrens stated that if this is something that the Board is interested in, she can speak with the  
26 property owner about it. Mr. Sutton responded that he was just wondering if there are some  
27 planning best practices for solving the problem - he knows you will never eliminate the issue. Mr.  
28 Zaberto asked Mr. Smith if they wanted to improve the markings in the parking lot would they  
29 need additional permits. For example, if during this cosmetic lift could they yellow stripe in that  
30 area or would that require Town involvement. Mr. Zaberto stated that he gets what they're trying  
31 to do, because now, if we start modifying parking spaces there needs to be compliance and a  
32 review. He indicated that he has been to the shopping center and has seen the parking issue and  
33 we obviously don't think it is fair to blame the landlord or even the tenants. It is people being  
34 selfish, choosing not to park where they should and going for convenience or whatever the case  
35 may be. He then suggested that maybe just a reminder somehow, whether signage or stripes, to  
36 indicate it is a fire lane or something like that to help emphasize. Ms. Ahrens responded that she  
37 couldn't help but think that even if we do dedicate one or a few spots to a pickup that if those are  
38 full, people are still going to go park in the fire lane, because that's what people do. She did state  
39 that she thought that the idea of a sign or some kind of reminder to encourage people and say hey,  
40 don't park here might be helpful but, she also believed that adding any signs to the property would  
41 require an additional Site Plan approval. Mr. Smith wanted to clarify and asked Mr. Sutton to  
42 confirm if there was a marked fire lane. Mr. Sutton responded he believed so, but there are some  
43 zebra stripes. Ms. Ahrens pointed out the fire lane on the plan. Mr. Smith responded that this  
44 issue came up with 247 Route 100 and with the Yoga Studio and any restriping of a parking lot

1 requires a permit from the Building Department, so there would be some coordination with the  
2 Town on any restriping. He continued and stated that there may be some solutions, and we could  
3 ask the Applicant to continue to look at that, with respect to how you can modify the Site Plan to  
4 accommodate pickup. He indicated that there are lots of different vendors that have Apps where  
5 you phone in and you are allowed to do curbside pickup. He then named a few as examples such  
6 as Stew Leonard's and Chick-fil-A who have Apps that help their customers pre-order, park and  
7 pick up. Mr. Zaberto stated that he noticed there are third party ride shares you can use to pick up  
8 the food that often abuse the parking – but noted they were getting off topic. For the record Mr.  
9 Zaberto noted Mr. Sutton mentioned Bobo's, but stated that there are other businesses there like a  
10 deli and others businesses that people would have the need to run in and run out. Mr. Sutton stated  
11 that the present markings are just zebra stripes – there is no fire lane markings - so maybe, the  
12 paint could be refreshed, and you could put something in that says, No Parking Fire Lane. Mr.  
13 Smith responded that is an issue that he could follow up with Building Department on because  
14 there is supposed to be a list in the Town Code, of every fire lane in every commercial district or  
15 facility. He indicated that we could follow up with that. Chair Gannon asked if that was something  
16 that can be accomplished outside of this application. Mr. Smith responded yes. Mr. Bruce Prince  
17 then stated that he was a little confused on the process Ms. Ahrens was doing. He added that  
18 because of the economic situation he assumed that Regency Centers would want to keep all the  
19 tenants that are currently in the shopping center. Ms. Ahrens responded that she really can't speak  
20 to what their plans are for current or future tenants as she is not at all involved in that process –  
21 they are just the architects that work for the landlord. Mr. Prince responded that he understood that  
22 but he was a little confused that she came to the Planning Board with this project without first  
23 talking to the tenants and just assuming that they would approve of everything that is being  
24 presented. If we are looking at approving something that is going to cause a problem with any of  
25 the tenants, then you might end up having to change what you're doing, and thus come back to us  
26 with a revised plan – that is the process. Mr. Prince stated that he did not know why the tenants  
27 were not talked to first to see if there are any problems, before coming to us to get an approval.  
28 He reiterated that if the Planning Board approves it and the tenants do not want it for whatever  
29 reason that Ms. Ahrens could be back here with a new Site Plan. Ms. Ahrens responded that as she  
30 said, she cannot speak to Regency Centers' relationship with their tenants and the importance that  
31 they place on their tenants' opinions of changes to their properties. She indicated that she highly  
32 doubted that a tenant not liking their design would cause them to redo it. At the end of the day,  
33 Regency is the property owner, so it's between them and the Town as to what is going to go on  
34 their properties. She also stated that she would have a hard time believing that any of the tenants  
35 would find issue with this as she thinks that this is really improving the look of their shopping  
36 center, as well as helping with their traffic and with their customers. She added that she did not  
37 really see why any tenants would have an issue with it, but guessed that would be something they  
38 would have to look into. Chair Gannon stated that she thought it is slowing people down in a good  
39 way, giving them places to sit – as opposed to they come, they run and go, maybe they'll spend  
40 more time. She added that she thought that additional seating is, overall, in her mind, good. Mr.  
41 Sutton responded, he has been there in the springtime and you can see that all those tables in front  
42 are full and that on a nice day it will increase the foot traffic. Mr. Zaberto stated that he thought  
43 from Bruce's standpoint as well as his own, which is why he asked the question - no offense, but  
44 some of the larger developers and building owners tend to assume that their tenants will like things



1 and maybe they won't. Mr. Zaberto said that Ms. Ahrens made a comment about how it's between  
2 Regency and the Town, and that is true – we are the Town and so we are here to ensure that not  
3 only the residents, but also our business owners are able to function in the Town. We are not going  
4 to build commercial areas in residential areas or vice versa and that is to protect everyone. He  
5 indicated that he thought from Mr. Prince's standpoint and his own previous question was just  
6 whether or not the concept was socialized amongst the tenants- not that they have to approve it,  
7 but just to let them know that this is our idea – we would like to make improvements. Mr. Zaberto  
8 recognized that it may have already happened, and that Ms. Ahrens just wasn't made aware of it.  
9 Ms. Ahrens responded, absolutely, she has no relationship with any of Regency's tenants. We are  
10 the Applicant's architects – we do surveys and drawings for them and do not speak to their tenants.  
11 She added that she does not know what they have or have not told them or how they are going to  
12 carry their opinions on this. Mr. Zaberto responded that he understood and that generally, that  
13 feedback may go back to Regency. Ms. Ahrens responded absolutely. Mr. Zaberto stated that we  
14 also need to represent the businesses that are there. Ms. Ahrens stated that she thinks that  
15 Regency's goal is to help the businesses by trying to give them more seating, a better facelift and  
16 more foot traffic. Mr. Zaberto responded yes, he reviewed the plan and that he is often a customer  
17 of multiple businesses in there, and he does see this as an improvement. But his initial question  
18 was, does anyone know what's happening – and he recognized that Ms. Ahrens could not answer  
19 that. Chair Gannon stated that if they are watching tonight, they will find out. Mr. Sutton then  
20 spoke to Mr. Robbins' comment about the downspouts – he counted 6 downspouts and noted that  
21 the one that is closest must go into some kind of a drainage pipe, but if there's any that dump onto  
22 the area that is going to be eliminated as grass – that is definitely an issue that's got to be addressed.  
23 Ms. Ahrens responded that they will absolutely address that. At this point in the project they are  
24 kind of still a little preliminary and have not gotten into all of the details of how they are going to  
25 address draining and that kind of thing. She added that the purpose in them coming here was to  
26 see how the Town of Somers would react to the project and what the approval process for starting  
27 a project like this would be. Ms. Ahrens noted that once they get back into the Building  
28 Department, and Mr. Tooma is reviewing the drawings and all of that, all of the drainage issues,  
29 and those things will be addressed. Mr. Smith advised that she would have to address those issues  
30 with Mr. Robbins before going to the Building Department. Mr. Zaberto stated that he thought it  
31 is an improvement and as previously noted is a Type II. Chair Gannon asked Mr. Smith given that  
32 the Applicant needs to further clarify the materials to be used for the drainage, what did he see as  
33 the next steps. Mr. Smith responded that he would defer to Mr. Robbins to see if he had a comfort  
34 level that he could work with the Applicant to address those issues and that it could be a condition  
35 of a Site Plan Amendment approval. Mr. Robbins responded that he took no objection to that and  
36 he would be happy to work with the Applicant and make sure that it's addressed to an appropriate  
37 engineering standard should the Board so decide.

38  
39 Chair Gannon stated that given Mr. Smith's introduction and that she agrees it is a de minimis  
40 change - for the better, that she suggests that pursuant to Section 170-114.F(1)(a) of the Somers  
41 Town Code that we waive the Site Plan Requirements for this application with the understanding  
42 that the conditions will be met to Mr. Robbins' requirement on the materials that will be used and  
43 to accommodate the drainage from those downspouts. Mr. Zaberto seconded the motion. All in

1 favor. Motion passes. Mr. Zaberto made a motion to waive the Public Hearing. Mr. Jack Mattes  
2 seconded. All in favor. Motion passes.  
3

4 **2. TRAILSIDE ESTATES AT SOMERS**  
5 **SITE PLAN APPLICATION & PRELIMINARY SUBDIVISION APPLICATION**  
6 **REYNOLDS DRIVE**  
7 **TM: 4.20-1-12 & 15.08-1-4**  
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9 For the record Chair Vicky Gannon stated that the Applicant is proposing construction of an 81-  
10 unit townhouse community with associated appurtenances. Five of the 81 units will be sponsor  
11 provided, and target households at or below the 120% Area Median Income (AMI). The project  
12 also proposes the construction of a community center and dog park to be located on a separate  
13 parcel which will be dedicated to the Town of Somers. The property is accessed through Somers  
14 Realty Planned Hamlet via Reynolds Drive and is located in the Multifamily Residence Baldwin  
15 Place (MFR-BP) Zoning District.  
16

17 Chair Gannon stated that she was operating at a bit of a disadvantage because she did not receive  
18 the memo until this morning and was at work all day. She advised that as they had discussed, she  
19 is going to have to reconcile the memo from this morning with what she was looking at with the  
20 plans. Mr. Richard Williams, P.E. from Insight Engineering, Surveying & Landscape  
21 Architecture, P.C. came to the podium and introduced himself. He indicated that Mr. Ken Kearney  
22 from Kearney Realty & Development Group Inc. and Mr. Charles Martabano, their land use  
23 attorney were also present. Mr. Williams stated that this project has been before the Town for  
24 several years and that they have not seen this Board in a few months because they have been  
25 working on resolving the technical comments from Woodard and Curran and they have prepared  
26 what he believes to be a pretty comprehensive resubmission, a set of drawings and supplemental  
27 reports. He noted that as the Board goes through the Woodard and Curran memo, he believes that  
28 they will see that the majority of the comments are now addressed. He noted that they do have a  
29 few additional technical comments in that memo, which he is sure Consulting Town Engineer, Mr.  
30 Steve Robbins will go through in a few minutes. Mr. Williams indicated that their next step in the  
31 process with the Planning Board is to move towards a Public Hearing, if the Board is comfortable.  
32 He thought with the remaining technical comments, they are at a point where we should discuss if  
33 we are ready to go, and we do know that we have to address the outstanding comments for the next  
34 resubmission. Chair Gannon responded that we certainly did get a lot of information and then  
35 asked staff for comments. Consulting Town Planner, Mr. David Smith responded that his  
36 comments were brief and that they had discussed that the Town is still waiting for responses on  
37 the Watershed Inspector General's memo. Mr. Williams responded correct and noted that the  
38 Watershed Inspector General's office did issue a comment letter on this and that it was one of the  
39 more unique comment letters from them that he has ever received, in that almost all of the  
40 comments were erosion control based and phasing based. He indicated that a lot of times they will  
41 look at Site Plan related stuff and layouts and they would get much more comprehensive  
42 comments - this was a pretty focused memo and they are working through the phasing numbers  
43 now. He stated that basically they asked them to get into more depth within their phasing and  
44 more detailed in the erosion controls during construction. Mr. Williams stated that he would expect

1 to have a response back to the memo within the next week or two. Mr. Smith stated that he had  
2 one other comment that they discussed at some point with Mr. Kearney regarding the timing of  
3 when the community recreation facility would come online or be available, and how that is  
4 reflected as part of The Community Benefit Agreement as part of this project. Mr. Smith indicated  
5 that he knew Mr. Kearney said work was going to be continued on that. Mr. Martabano stated that  
6 he was working with Town Attorney, Mr. Roland Baroni on that. Mr. Smith then advised Chair  
7 Gannon that he would defer to Mr. Steve Robbins and Planning Board Attorney, Mr. Michael  
8 Towey, but he felt comfortable that there is enough information for the Town to at least open the  
9 Public Hearing to get the process started, and then the other information as it becomes available  
10 should be provided before the Board considers closing the Public Hearing. He stated that he  
11 thought at least from his review of the information and the plans submitted, that there's more than  
12 enough information to at least open the Public Hearing. Chair Gannon responded thank you that  
13 is good to know. Mr. Jack Mattes stated that in going through the report from our engineer, there  
14 was a question about looking at the composition of the soil in the areas that were used as an orchard  
15 in prior years and then inquired as to why that mattered. Mr. Robbins responded that he thinks  
16 the Applicant can respond to this as well, but they have started their review of this. Mr. Robbins  
17 noted that perhaps the last time this was before the Planning Board, there was a question asked  
18 about whether there is any residual concerns with the prior use as an orchard. The Applicant, after  
19 some discussion, willingly agreed to go out and sample some soils there as part of the moving of  
20 the soils on their site. It is something they would have to do anyway, in terms of understanding  
21 whether there is anything in that soil that is of concern to the workforce who will be on the site  
22 doing the construction. They went out and performed some sampling and they provided a report,  
23 at least to himself. Mr. Robbins did not know if it had been provided broadly to the Board yet.  
24 The report had some initial results and an initial soil management plan for the site, and we are  
25 asking for some clarification on what areas that applies to and in what areas they're proposing  
26 different kinds of controls to make sure that there is good worker safety on the site and no concerns  
27 for the ongoing use as a residential property. Mr. Robbins shared that some of the underlying soil  
28 levels are elevated relative to unrestricted residential use and indicated that there are absolutely a  
29 number of ways that can be dealt with and we are asking the Applicant to clarify in what areas of  
30 the site they're proposing which methods, so that we know that it's all by the book. Chair Gannon  
31 asked if this concern is about pesticide use because there was an orchard area. Mr. Robbins  
32 responded yes and that he would leave it to the Applicant to present their results and discuss that  
33 now, or when it is appropriate. Mr. Robbins continued and indicated that the Applicant addressed  
34 the vast majority of their comments and that they reviewed some additional information provided  
35 as part of this and came up with a couple of areas where they noted either discrepancies or need  
36 for some clarification or some additional information relative to the overall plan – they are  
37 relatively minor. He noted they are either areas where we think there might be a conflict between  
38 elevations of utilities, or just in the weeds of some of the stormwater modeling to make sure that  
39 if anyone else were to question this or to review it, that it's clear and it's complete and it was done  
40 correctly and appropriately, and he thinks that they are relatively easy to address. He concluded  
41 and stated that he knows the Applicant probably hasn't had time to review our memo yet, but the  
42 remaining comments are relatively minor and he agrees with Mr. Smith and that if the Board so  
43 chooses, it's probably a good time for the Board to consider whether to schedule a Public Hearing.  
44 Our comments are not anything that we think needs to be addressed prior to that. Mr. Mattes said

1 he had another question in reflecting on where we are and where we started this from. He noted  
2 there was an issue with an adjacent property, which is Greentree, and he heard rumblings that it  
3 is about to come back to this Board. He did not know if they have or have not presented anything,  
4 but in the community itself, there are rumblings that this is coming back at us and prior to that  
5 happening, he wanted to keep in mind that one of the things that were generously offered by the  
6 owner of the property is that he would develop an access to the Greentree development through  
7 this property. So before it's finalized and they are off and running in construction, Mr. Mattes asked  
8 if there was any way to stir the waters and get some kind of an answer as to whether or not that is  
9 going to come back and bite us. Mr. Smith responded and said he would let Mr. Kearney or Mr.  
10 Martabano respond, and then he could fill in if needed. Mr. Kearney came to the podium and  
11 greeted everyone. He stated that they came in front of this Board for a referral in September 2023,  
12 when they just got the green light from the Town Board. The question was asked, would you grant  
13 access to the proposed property and he stated at the time, nothing is attractive to us about it  
14 however we will. We have never turned any Board down in this Town. We have had tremendous  
15 success in this Town, and one of the reasons for it is because of our working relationship with this  
16 Town. He noted that when he came back in front of the Board, probably last spring, he reiterated  
17 that offer. Mr. Kearney stated that he thought during the summer, there were questions and so  
18 forth - did he or did he not say it. So he clarified it and put it in a letter and it still holds true. He  
19 stated that his handshake is everything in this Town. He stated this is a certain development with  
20 a certain feel. It doesn't benefit us, but we will do that, and we will work to make it as seamless as  
21 possible. We would make a connection right up to that property line with the Board's approval.  
22 Further to that, Mr. Martabano had a phone call from the from the owners over there, discussing  
23 how it would work and the nuances and stuff and there was a letter that their attorney sent to the  
24 Town, and Mr. Martabano sent a response letter clarifying what our understanding was - and the  
25 clarification was that, yes, we will do this - there are things to be worked out, but we will do it.  
26 One of the concerns was that this isn't real yet. Mr. Kearney said he did not know, but he thought  
27 it was pretty real because they have the rezone, they have the State Environmental Quality Review  
28 (SEQR). He indicated that he did not want to be presumptuous in front of this Board - but it is  
29 real. He reiterated that they did state it and if something happens to him, his son knows. We can  
30 put that in we are comfortable with that. He noted they have not shown on the plan an exact  
31 connection point, but they can. There are a couple nuances. We have a Home Owners Association  
32 (HOA)- how is that going to work. He said he did not know- but there is always a way to figure  
33 it out. So the answer is yes. Mr. Kearney said he had a couple more things to share on the  
34 community center. Mr. Martabano and Mr. Baroni are having a detailed discussion about after  
35 how many units of Certificate of Occupancy (CO) and he was smiling, because when we did the  
36 Crossroads project, if you remember, he was not in favor about doing that commercial building.  
37 But it got approved and then somebody asked how do we know he's going to do what he said he  
38 is going to do. Then the Board came up with the idea to hold the CO on the last residential building  
39 until he hit a certain mark or progress on the front building. He thought it had to be framed, roof  
40 on, windows in and so forth. He then thanked the Board, because they probably would not have  
41 moved as fast as they did with that building and had the success that they have had in that building.  
42 Commercial is not their bread and butter but he thinks both he and his son learned a lot and it  
43 worked out pretty well. Mr. Martabano and Mr. Baroni are not leaving it to him this time, they are  
44 getting more detailed. It will come down to certain steps having to be done before a number of

1 units. Mr. Kearney added that they are looking forward to building the community center and that  
2 Councilman Clinchy is still trying to get him to extend it. But they have set it up in a way that it  
3 can be added on to at a later date and they are very proud of that. He thought that it will really be  
4 a benefit to the community. Mr. Martabano stated that he wanted to point out that the letter that  
5 Mr. Kearney referred to was sent to the Zoning Board of Appeals (ZBA) along with a copy to Mr.  
6 Baroni and indicated that he would be happy to send a copy to the Planning Board. He noted that  
7 it was sent out less than a month and a half ago. Chairman Gannon replied thank you. She then  
8 asked Planning Board Attorney, Mr. Michael Towey if there was anything that he wanted to add.  
9 Mr. Towey responded that he would defer to Mr. Robbins and Mr. Smith regarding whether or not  
10 to schedule a Public Hearing. He did note to the Board, given that if they have not had a chance  
11 to review the soil testing reports, that they may want to wait. Mr. Towey added that he had one  
12 question for the Applicant. He and Mr. Baroni were discussing access to the County Sewer District  
13 and Mr. Baroni asked for an update. He stated if they wanted to send that via email that would be  
14 fine, but otherwise they were just curious. Mr. Kearney responded that the process has not been  
15 as fluid as his other ones. He noted he had done this three or four times, but there's a disconnect  
16 with some paperwork, but that seems to be on track. They have the will serve letter from the  
17 County, and they are hoping to be on the Board of Legislators' meeting soon. He did not know if  
18 that meant as soon as Monday or if it goes into December, but the last he heard, there were  
19 questions and they answered them. There were more questions in the beginning of September and  
20 they answered those as well. And, then there was a question probably two or three weeks ago on  
21 what the estimated final assessment was going to be after buildout and he worked with the Assessor  
22 on that and is hoping that is the last piece and then they should be in good shape. Mr. Williams  
23 said he had one more thing to clarify. The soil management plan was included in their submission,  
24 so everyone should have received a copy. Mr. Towey responded that he was operating off the  
25 comment earlier – they hadn't seen it and he discussed it with Mr. Baroni earlier. So his comment  
26 to the Board was that until they have an opportunity to review it and generate questions, that they  
27 may want to delay opening the Public Hearing. It is in their discretion whether or not they want to  
28 schedule. However, the alternative would be to schedule to open it, open it, and then adjourn it  
29 until they have that opportunity – it is in the Board's discretion. Mr. Kearney wanted to touch on  
30 the soil. He noted that this is not a situation that is uncommon to them. They just built a complex  
31 in the Town of Lloyd in Highland – a former orchard. They worked with the soil management  
32 plan. There was testing done before they moved some of the soil and then they did post testing and  
33 checked the endpoints to assure that after we moved it, everything is below certain levels, and that  
34 soil stayed on site. As far as soil management, both he and his son have done eight brownfields.  
35 This is not a brownfield. It is not elevated. The results here were nothing very alarming. He  
36 indicated that they were mixed. There were a lot of no detects, but there were some that exceeded.  
37 He stated that it is totally manageable - mixed results, but very manageable and they are hoping  
38 that they do what they did in Lloyd - come up with a soil management plan. If not, as they are  
39 going through this, because it is an approximation, when we are dealing with this, we take our end  
40 results, and if it's more than what we thought, then we have to export because they have to hit a  
41 certain level. Mr. Kearney spoke of several brownfields that they have done that involved soil  
42 management plans and that they are familiar with this process, and they manage it themselves  
43 through their subcontractors. They work with their environmental consultants- but they are hands  
44 on. They have their own construction company, and when it comes to the soil management plan,

1 he and his son are in charge. It is another step in the process and he encouraged everyone to read  
2 the soil management plan. Mr. Kearney advised Mr. Robbins that he saw his comments and he  
3 sent them over to his environmental consultant and asked him to help him come up with some  
4 more approximates. But there's nothing in there that is alarming to him. Chair Gannon indicated  
5 she had a question for Mr. Williams related to his response to number 39. The comment read as  
6 follows "The Applicant proposing creation of a 2:1 steep slope, downgradient of lots 46 and 49.  
7 The Applicant shall explain how creation of these steep slopes will not cause adverse impacts  
8 downstream, especially noting that this abuts right against the wetland buffer." Chair Gannon  
9 noted that there was something in his response that she was trying to understand. It read  
10 "Stormwater runoff from the buildings and the road immediately uphill of the referenced area is  
11 being captured and conveyed by the proposed stormwater collection and conveyance system."  
12 Then it was the next sentence that lost her. "The reference slope will be vegetated with erosion  
13 control matting and will mainly experience sheet flow across it." Chair Gannon then asked what  
14 mainly experience means. Mr. Williams responded that is because he is an engineer and it takes a  
15 whole lot for him to actually express a qualified term. He continued and stated that the way that  
16 slope is designed is we are going to be picking the runoff. He noted that there is not a large uphill  
17 tributary area at that slope and generally, when we think about sheet flow versus the next step in  
18 flow, shallow concentrated flow, that typically occurs beyond 150 feet. Without that large uphill  
19 tributary area, there's going to be sheet flow over that slope, 2:1 slopes are not atypical in  
20 construction, and what you really have to worry about when you build them is making sure that  
21 the vegetation gets established on them properly. And the real trick is how you put the erosion  
22 control matting on them. Mr. Williams noted that he and Mr. Robbins probably see more often  
23 than they like that if you don't anchor the matting properly and not only at the top of the slope, but  
24 throughout the whole slope it doesn't bond well enough with the soil to get the vegetation started.  
25 Then at that point you get railing underneath the matting, that does not become evident until later  
26 on. Where these slopes are designed, the minimal uphill tributary area, which is what he was  
27 talking about in that response, is why these slopes are going to be okay. He stated that if he had a  
28 large tributary area with a large running slope where he would actually start to see concentrated  
29 water before he hit the top of the slope, we would pick the water off differently. Chair Gannon  
30 responded okay and asked if we could discuss sidewalks – which was number 45 in Mr. Robbins  
31 memo. Mr. Williams responded that the way the community is designed is that they are going to  
32 have a sidewalk on the lower side of the road. The comment was made, should you put sidewalks  
33 down both sides. Mr. Williams stated that he is in an ever-competing battle with everyone in the  
34 stormwater community telling him to create less impervious surfaces. The buzzwords on the street  
35 are, you should go back to Planning and Zoning and talk about narrowing roads, but at the same  
36 time he runs into New York State Fire Code, which actually tells us we should widen roads. So  
37 he ends up in this tussle. When we look at a townhouse community like this, and how it's going to  
38 be experienced and how it's going to be used, he does not believe we need that much impervious  
39 surface or that sidewalk on both sides of the street. So as of right now, we just have the one side.  
40 It's typical for how we do townhouse communities. And then in the latest comment, there was  
41 some additional questions about crosswalks. Mr. Williams stated that he honestly needed to talk  
42 them over with Mr. Robbins, but it's something they are happy to look at once he understands the  
43 comment a little better. Chair Gannon responded okay, so crosswalks will be discussed. Mr.  
44 Williams responded and stated in certain areas where we are crossing a roadway, crosswalks makes



1 sense. Mr. Jack Mattes stated that he believed there was a response to one of Mr. Robbins'  
2 questions earlier that he saw when he came in tonight regarding the fact that no other development  
3 of this type even has sidewalks - that was an answer - why only on one side. Mr. Mattes said if  
4 that's true, it's great. We appreciate the fact that there is a sidewalk - one side or both. Mr. Robbins  
5 indicated that they asked the Applicant to provide to the Board, via their comment, to have exactly  
6 this discussion so that the Board may understand the process that the Applicant has undergone and  
7 how they make decisions around this and the evaluations that they have done around circulation,  
8 access and these kinds of amenities. Mr. Robbins stated that he would agree that there are a lot of  
9 communities in Somers with similar density that don't have sidewalks, and in some cases, it might  
10 be appropriate. In other cases, it presents a challenge to the residents of that community. He  
11 thought that it's reasonable in this case, in his opinion, for the Applicant to say they are putting a  
12 sidewalk on the side of the road that has the most units. This isn't a through-fare. People who are  
13 coming into this community are presumably part of this community. This isn't connecting a main  
14 road on the other side where you have a lot of through traffic. It's a dead-end, it's a circulation and  
15 with the limited number of units that are there it is not a multilane highway that they will be  
16 crossing to get to the sidewalk on the other side. He then noted that it is not his decision though -  
17 it is the Board's decision. We wanted the Applicant to justify what they had presented, and that  
18 was the reason for their comment and why it was ordered that way. We were not trying to lead  
19 them astray, we were trying to make sure that the Board got the information it needed to say yes -  
20 we're okay with that, or no, we think it should be something different. Mr. Zaberto asked to refresh  
21 his recollection on the parking plan and whether or not the unit owner will park on the unit property  
22 or on the street. Mr. Williams responded and stated that they have garages and also have  
23 driveways. He indicated that they have more parking than they need. As of now they have 162  
24 spaces in driveways, 81 garage spaces and 70 visitor spaces - which is more visitor parking than  
25 they have in some of their previous communities. He also added that he thought it was important  
26 and they spread that visitor parking throughout the development to try and pick locations that are  
27 convenient to sectors of the development. While referencing the plan Mr. Williams pointed to an  
28 area and stated that they didn't stack all the visitor parking there where there are no density of  
29 units. They scattered and spread those 70 spaces throughout. So on holidays when people come  
30 to visit there is a little bit more parking. Mr. Zaberto responded that he understands that and the  
31 reason why he asked that is, as they may know he has done some spearheading of sidewalks for  
32 the Town of Somers and kind of got that initiative started about 15 years ago. Mr. Zaberto stated  
33 that he is apt to believe that one sidewalk is sufficient, in the sense that if we're not relying on  
34 street parking, an individual can cross the street and walk on the sidewalk to go to the neighbor's  
35 house, or they can choose to walk in the street - to your point it is not a through-fare. We don't  
36 anticipate a ton of traffic, other than residents coming in and out, maybe some service vehicles  
37 here and there. So from a safety perspective, he thought the fact that there is even a single sidewalk  
38 through the project, in his eyes, is sufficient. You over concrete things, and we start looking like  
39 an urban development, and we all know that is not what Somers is about. We try to keep this as  
40 rustic and as bucolic as possible, and yet maintain density for 82 families. So in his opinion, he  
41 thought it was a good trade off. Mr. Anthony Sutton asked if there was some kind of planning  
42 standard that predicts foot traffic for a development like this. It seems like people probably  
43 wouldn't even walk out to the recreation center and that they would probably drive towards it from  
44 the other end of the development. He added that he would find it hard to believe that two sidewalks

1 would be necessary for the amount of people living in this development. Mr. Williams responded  
2 that as far as a guidebook, or a building code to go to, there is not. There are sidewalk design  
3 standards. But, as far as should your community have one or two – he thinks it is kind of based on  
4 how you see the community experience, the type of environment and community you're in at large.  
5 We're certainly being more respectful of multimodal transportation and site design than we  
6 probably ever have been. Mr. Williams stated that he thought having a sidewalk in this community  
7 is an important feature. It is an area where sometimes you do want to ride your bike in the street.  
8 He added that he happens to live in a neighborhood where that still happens, but at the same time  
9 you also want to give your residents an option to walk with a stroller or maybe walk their dog in  
10 an area where they don't feel the pressure of dodging cars. We also want to create that pedestrian  
11 feel, because we're next to a nice shopping center, and we are going to have sidewalks to continue  
12 to that shopping center through the road network and tie into the Planned Hamlet sidewalk  
13 network. Mr. Williams indicated that he thought carrying the sidewalk and encouraging  
14 walkability is an important thing and would not want to see this development with no sidewalks,  
15 but thinks that one is appropriate and not over sidewalking it and he thought Mr. Zaberto's comment  
16 was right on point. It's a little out of character in our community. Mr. Zaberto responded, he agreed,  
17 considering that we've gone years without sidewalk development, and we're still in its overall  
18 infancy stages. He added that he thought it is a small bite and thinks it is appropriate and the option  
19 for the walkable community is there. He stated that studies have shown that it's good for resale,  
20 it's good for home values and it is good for attracting young families with kids to strollers - like  
21 you said, and all of that sounds like Somers to him. He thought one sidewalk would be appropriate,  
22 and in his opinion, did not see the need for two. Chair Gannon stated she tends to agree and noted  
23 that everything we're hearing on a public health basis is that walking is very healthy. She then  
24 stated that anything we do to encourage that with connectivity is going to be a good thing. She  
25 noted that where she lives there are no sidewalks and a constant stream of people walking by - so  
26 you don't need sidewalks to have people want to walk. But she thinks it's best to provide something  
27 so that people can walk safely and not be in the flow of traffic. In addition, you don't want drivers  
28 to have to be skirting walkers if you don't have to. Mr. Bruce Prince asked how many visitor  
29 parking spaces there were. Mr. Williams responded 70. Mr. Prince asked about the garage and  
30 driveway spaces. Mr. Williams responded they have garages here as well as two spaces per unit  
31 in the driveway. He noted that the driveways are wider than the driveways in Hidden Meadows,  
32 so that makes 162 spaces there. There's also a space in the garage if a tenant wants to use it, and  
33 then we also have 70 visitor spaces. Mr. Prince stated, so there are three spaces per unit. Mr.  
34 Williams responded almost, we're right there because we have 81 units and 70 visitor spaces. Mr.  
35 Prince indicated that the reason for his concern and why he brought this up is because Heritage  
36 Hills is running into problems. There is not enough visitor parking, because there are residents  
37 with three and four cars, and it becomes a difficult situation. Mr. Williams responded that was  
38 actually one of the conversations we had in this forum a couple of years ago. As part of the original  
39 plan, they were in the 50s for visitor parking, and in working with your Board, we increased that  
40 amount. He added that they share Mr. Prince's thought on that and want to make sure they have  
41 enough spaces. Chair Gannon stated, somewhat on a related topic of paths and walking, items  
42 number 47 and 48 coming off your memo were about the wood chip trail that goes between the  
43 community center and the dog park. On 48, the question from Mr. Robbins was, "The applicant  
44 shall clarify if there's any proposed grading for the proposed dog park area along the connection



1 pathway to the community center.” And the response was “No grading is proposed within the dog  
2 park and connecting pathway, as existing grades fall within ADA accessible route standards.”  
3 Chair Gannon then asked if a wood chip path considered an ADA accessible pathway. Mr.  
4 Williams responded it is not and that is one of the things they are talking about internally and  
5 whether or not that trail needs to be a more stabilized surface. Chair Gannon responded good, so  
6 that is to be further discussed. She then asked if there was a discussion about irrigation. She  
7 thought she recalled seeing a question about the amount of water and the response was there won't  
8 be irrigation so it becomes a non-issue. Mr. Sutton responded that he took that to mean there are  
9 no sprinkler systems. Mr. Williams responded yes, we are not proposing an irrigation system in  
10 the community. Chair Gannon asked if you're not proposing an irrigation system within the  
11 community could you nevertheless have individuals who purchase the home and then want to put  
12 irrigation in front of their home - she has seen that happen by her neighborhood and wanted to  
13 know if that would need to be accounted for. Mr. Williams responded that he did not believe the  
14 HOA agreement would let somebody do that. Chair Gannon replied okay. She then indicated that  
15 she had another question relating to the seven phases and asked during what phase would the five  
16 units that are going to be at the 120% of the AMI be built in. She indicated she was just curious  
17 and it is kind of related to the “it gets built” sort of issue. Mr. Kearney stated it will get built, but  
18 that is a great question and then deferred to Mr. Martabano who indicated that he and Mr. Baroni  
19 have not discussed that but he does not know that it belongs in the Community Benefit Agreement.  
20 Chair Gannon responded no. Mr. Kearney noted that these five units are interesting and that he  
21 has done a lot of affordable workforce and so forth. But, these five don't have any type of  
22 government involvement at all. It was something that they discussed with the County and 120%  
23 is pretty unique. And it goes up to a family, which he thinks \$170,000/\$180,000 but yet purchase  
24 price will still be, he thinks below \$600,000 is pretty good. He noted that was like the starting  
25 purchase price for the market rate units at Hidden Meadow. He stated that timing wise they would  
26 have to do something similar to what was done at Crossroads where they can't get the final CO's  
27 until they are up and framed - something like that, whatever you think is agreeable.  
28

29 Chair Gannon stated that she also had a question about the lighting plan. In thinking back to Public  
30 Hearings on previous developments that happened up in Baldwin Place she recalled people from  
31 the public who came and were concerned about the amount of lighting, and that they wouldn't want  
32 extra lighting flowing on to where they were. She indicated that when she looked at the lighting  
33 plan, it had an image of a light that was sort of more rectangular, and it did not necessarily look  
34 like light was being cast down. She then asked Mr. Williams to walk her through the lighting plan,  
35 and describe the fixtures, and indicate whether the lighting is different in the residential area versus  
36 in the parking for the community center. She would just like the overall sense, because she is not  
37 a lighting expert, but she did see that fixture, and was a little concerned, because it didn't look like  
38 it was pointing down. It looked decorative, but not necessarily like it would give someone a sense  
39 that light wouldn't be shining in all directions. Mr. Williams responded a good pick up from the  
40 picture. He stated that it is actually a light fixture, that many on the Board are familiar with. It is  
41 the one used at Hidden Meadows as well as the Muse I & Muse II. It's a globe style, so it's a little  
42 bit more historic looking, but it does come with a top cap, and the light sits up into the top cap,  
43 and it has house side shields on it. So the light - the glass will glow like a historical light would,  
44 but you don't actually see the light because of where it sits in the fixture. Chair Gannon responded

1 okay, because those pieces were not included in the image. Mr. Williams responded that he agreed,  
2 it is tough to see in the image because the picture looks like it is still a translucent top, but it's the  
3 light that you guys have actually seen in Hidden Meadows and elsewhere. Chair Gannon then  
4 asked if Mr. Williams could speak to the intensity of the light and if was different in the residential  
5 versus the community center and dog park. Mr. Williams responded that they are actually are  
6 proposing just a single 14-foot pole throughout the community and the community center. They  
7 did not switch to a more commercial lighting – they kept it similar. While referencing the plan, he  
8 noted that they are kind of lucky in that they are in their own little island - kind of nestled down  
9 with where the conservation easement area is, and how that creates a high point that then comes  
10 back down and they sit on the other side. Even from our neighbors to the west, we're kind of  
11 nestled down in a hill, and we're in our own little valley. Chair Gannon asked if the people who  
12 are over there on the left-hand side, next to where it says North County Trailway. Mr. Williams  
13 responded there's going to be up and down on the gradient. And if you remember, this is actually  
14 the part of the Trailway that sits in the valley. As you as you come, you're at the same elevation  
15 as the homes and the ponds behind Meadow Park and then the grade goes up and then comes back  
16 down, and then we're on the far hill. He noted that the light spillage was kept tight to the area  
17 development.

18  
19 Chair Gannon stated that was the last of her questions and asked the Board if they had any other  
20 questions and/or comments. There were none. She then asked what they thought about scheduling  
21 to open the Public Hearing in December. Chair Gannon advised the Applicant that the next  
22 Planning Board meeting was not on the usual date in December. Due to a scheduling conflict, the  
23 December meeting is going to be December 17, 2025 which is the third Wednesday, at 7:30. She  
24 added that based on everything that she heard, she would be comfortable with scheduling to open  
25 the Public Hearing on that Wednesday, and get the discussion started, and hear what the  
26 community has to say. In the meantime, you can keep working on information exchange and the  
27 gathering of more information. We can all think about what we heard tonight as well. Mr. Zaberto  
28 stated that he would be willing to second that motion and that he appreciated Counsel's advice  
29 about the soil reports, but the Applicant has been at this for 30 years and he trusts that he knows  
30 how to mitigate this. We will get it, and we will review it, but he thinks the public will have an  
31 opportunity to give an opinion, probably even before December 17, 2025 - they can access the soil  
32 report when it gets published to the Town of Somers website. He then seconded the motion to open  
33 the Public Hearing as soon as possible. Chair Gannon asked if there were any other feedback or  
34 concerns. There was none. She then stated that we have a motion and a second. All in favor. Motion  
35 passes. The Public Hearing was scheduled to open December 17, 2025.

36  
37  
38 **3. REFERRAL BY THE SOMERS TOWN BOARD FOR A PUBLIC HEARING ON AN**  
39 **APPLICATION FOR FLOATING ZONE DESIGNATION TO ACCOMMODATE A**  
40 **SOLAR ENERGY SYSTEM ON THE PUTNAM/NORTHERN WESTCHESTER BOCES**  
41 **CAMPUS**  
42

43 Chair Gannon stated this should be familiar to us as we just discussed this two meetings ago. For  
44 the record Chair Gannon stated that the Town Board has received a request to apply a Solar Energy

1 System Floating Zone from the Putnam/Northern Westchester Board of Cooperative Education  
2 Services (BOCES) to be applied to approximately 11.8-acres of the BOCES campus located in the  
3 Town of Somers. The proposed action is a zoning map amendment to designate an approximately  
4 11.8-acre portion of the BOCES campus as a Tier 3 Energy System.  
5

6 Chair Gannon asked Consulting Town Planner, Mr. David Smith to provide some context. Mr.  
7 Smith noted that as Chair Gannon had alluded to, the Board had discussed proposed Zoning Text  
8 Amendments and this was a response to BOCES wanting to install a Tier 3 system on their  
9 property. At that time, that type of use was not a permitted use in the Town Somers. So, the Somers  
10 Town Board went through the process of crafting zoning language that would allow for that type  
11 of use. In addition, we had talked about the Tier 1, which is a much smaller system, and is really  
12 meant for applications on individual residences or commercial establishments. Those Tier 1  
13 systems would just go to the Building Department for a Building Permit. He indicated that Tier 3  
14 given that they are larger, limited to either a public school or a school of higher education, the  
15 property has to be 12 acres or less, and it has to be in the R-120 Zoning District – so, really that  
16 only applies to the BOCES facility in addition to two of the Somers School District properties,  
17 Lincoln Hall and JFK. So, that type of use is extremely limited within the Town of Somers. Mr.  
18 Smith asked Planning Board Attorney, Mr. Michael Towey to comment if he misses anything -  
19 but the intent was that these facilities serve the public. They serve the Town of Somers and the  
20 BOCES actually serves a larger constituency. The intention was that this is a benefit to those  
21 institutions, which in turn lowers their operating costs and that savings gets passed on to the  
22 constituents, the Town of Somers constituents, or for the people who use the BOCES facilities.  
23 And so that was really the thought process behind the Town wanting to limit that type of use to  
24 just those types of areas. The text amendments were adopted, they were approved, and now  
25 BOCES has submitted a formal letter that was part of the Public Hearing notice asking to have the  
26 district apply to that portion of their Somers campus, and that the location and the Site Plan have  
27 been provided as part of the Public Hearing Notice which you have. So procedurally, the Town  
28 Board referred this, and they refer Zoning Text and Zoning Map Amendments to the Planning  
29 Board as a requirement under the Town Code. As you recall, there's an issue with timing, and  
30 because the Town Board needed to meet on December 10, 2025, which was your normal meeting,  
31 that is why the process was expedited a bit so that you could have a chance to review this referral  
32 and get back to them before their meeting on December 10, 2025. Mr. Smith added that was really  
33 the intention here. He indicated that BOCES was having a community meeting with the neighbors  
34 tonight about their application. So, the neighbors in that immediate vicinity would have an  
35 opportunity to discuss this directly with BOCES and their proposed action. Mr. Smith concluded  
36 and stated that for now, the action that you are considering is just the application of the Floating  
37 Zone to that specific portion of the BOCES campus and with that he asked Mr. Towey if he had  
38 anything to add or clarify. Mr. Towey replied that he could not have said it better himself and that  
39 Mr. Smith also nailed this entire procedure, which he should get credit for. Mr. Towey stated that  
40 he gave the Town Board an update on the status of the project, and that BOCES has commenced  
41 site preparation. They have a deadline of December 31, 2025, where they have to construct or  
42 complete 5% of the proposed array, which includes clearing, establishing the driveway and  
43 commencing the infrastructure necessary to install the panels. He indicated that they have not  
44 reviewed any of those agreements- they were not privy to them, so he could not speak particularly

1 to it, although he, Mr. Smith and Consulting Town Engineer, Mr. Steve Robbins were involved in  
2 a lot of negotiations and discussions amongst BOCES. He stated that Mr. Robbins was involved  
3 with the review for the Stormwater Prevention Plan and other stormwater concerns with the New  
4 York City Department of Environmental Protection (DEP), and we were involved with discussions  
5 with the Highway Department and Superintendent DeVito and Mr. Tooma from the Building  
6 Department regarding Bureau of Fire Prevention concerns and Highway Department's concerns  
7 regarding the driveway. BOCES has agreed to all their requests, so they are in the process of  
8 drafting an Intermunicipal Agreement which will cover those requests and ensure that BOCES or  
9 Johnson Controls, the actual contractor will comply with them. Mr. Towey said that tomorrow he  
10 intended to drive by the campus to determine to what extent they have commenced work. He  
11 requested it from their attorney, David Shaw. There was a lot of discussion last week in advance  
12 of the Town Board meeting, but he has yet to receive the actual timeline and extent of work that  
13 will be conducted from now through December 31, 2025. Otherwise, he did send the placard for  
14 the Building Permits approved by the Department of Education, which, according to the local law,  
15 at least the last draft he saw before, exempts the project from Site Plan review and Special  
16 Exception Use Permit, so long as the Commissioner has endorsed the Site Plan specifications and  
17 those are filed with the Building Department. Chair Gannon inquired if he had the evidence that  
18 has happened. Mr. Towey responded he is working on that and he received what is posted in the  
19 window when someone gets granted a Building Permit, and he has requested the others. He was  
20 told that they received 20 Building Permits issued by the Department of Education (DOE) signed  
21 by the Commissioner and he is waiting on receipt of those. He indicated they are holding their feet  
22 to the fire. This has been an ongoing thing for 11 months now and he will have a better update for  
23 the Board once he performs the site visit and gets a response. Chair Gannon responded okay and  
24 asked if on their part they need to send a memo to the Town Board saying we have no objection.  
25 Mr. Smith responded if that is a consensus of the Board, we can certainly relay that back to the  
26 Town Board. Chair Gannon responded that her feeling was that the purpose of why we were  
27 considering doing this was to make it available for BOCES to be able to do the solar work on the  
28 site – so she is in favor of sending a memo stating we have no objection to the application of the  
29 floating zone. Mr. Christopher Zaberto responded that if that is a motion, he would second that.

30  
31 Mr. Paul Ciavardini stated he had a quick question on this and asked if it was correct to assume  
32 that the land with the yellow outline is the BOCES campus. Mr. Towey responded that is the site  
33 of the array. So, if you are on Pines Bridge Road, where it intersects with Moseman Avenue, there  
34 is a large open field, approximately 12-acres to the west that will be the site of the solar array. Mr.  
35 Ciavardini then said so it is the red field. Mr. Smith asked Mr. Ciavardini if he was referring to  
36 the tax map. Mr. Ciavardini responded yes. Mr. Smith replied that the area that is outlined  
37 proposed solar energy Floating Zone designation is approximately 12-acres and that is where the  
38 Floating Zone would be applied, and that the following page is the array itself. Mr. Ciavardini  
39 stated that the BOCES campus itself is much larger. Mr. Smith responded, yes, it is 247-acres.  
40 Mr. Ciavardini responded okay and that he was just curious why it was decided to put that array  
41 right along Pines Bridge Road as there seems to be a lot of land there. He indicated that he travels  
42 that road pretty frequently, and it's a nice wooded road and he is wondering if it is part of this  
43 Board's jurisdiction to understand why it was decided to put that right there, because it feels like  
44 that is a ton of road frontage. Mr. Smith responded that is a good question and stated that there is

1 vegetation currently along the road and it is his understanding that is going to remain. Whether  
2 they enhance that with additional landscaping- that is a fair question to ask, and you may want to  
3 add that as a comment back to the Town Board. Mr. Smith added that looking at the plan itself,  
4 just to the west, there's some fairly steep grades, and so he thinks where they are proposing the  
5 solar arrays probably makes sense for them, because it is in the correct location to capture as much  
6 sunlight as possible, and the terrain is not as difficult to work with as it may be if you move further  
7 to the west which is why he suspects that was probably why they picked that specific area as the  
8 optimal location. Chair Gannon stated as you move over to the left the slope is increased. Mr.  
9 Smith responded yes, the topography gets much steeper. Mr. Anthony Sutton stated that he thinks  
10 there is a roadway or driveway there from the previous entrance that was there many years ago.  
11 Mr. Smith responded, yes it may be an informal or it needs to be improved to a standard. He stated  
12 he thought the Town Highway Department has suggested to include this as a design feature for  
13 that and that he thought that is what Mr. Towey alluded to with respect to the coordination between  
14 both the Town and BOCES and their contractor. Mr. Christopher Zaberto stated with the DOE  
15 exemptions, they won't be in front of us with the Site Plan - correct. Mr. Smith responded correct.  
16 Mr. Zaberto replied, that is unfortunate - he doesn't think they have to answer those questions -  
17 right. Mr. Smith responded he thought the Planning Board could certainly have it as a comment  
18 in the response back to the Town Board and the Town Board could pass that along. In addition,  
19 Mr. Towey is in constant contact with the BOCES representative, and he could certainly let them  
20 know the concerns that came up at the Planning Board meeting. Mr. Towey indicated that BOCES  
21 did do an informal meeting with neighbors along Pines Bridge Road back in February of this year  
22 and one of the concerns was appearance and the neighbors requested screening. Mr. Towey  
23 indicated that he has not seen any design plan for screening, but the BOCES reps have told us  
24 repeatedly that they intend to screen along Pines Bridge Road to prevent people from having to  
25 look at the array from their front doors. Mr. Ciavardini asked if we know how close the array is  
26 to the actual road. Mr. Towey stated it is not a big area and he has driven by it a number of times.  
27 He is assuming, given the degree of screening he thought the panels which are 8-feet tall would be  
28 angled but did not remember the degree of the angling. So, depending on the extent of the site  
29 work and grading they do, if they were to remove a lot of soil to make it as level as possible, they  
30 may reduce the view shed for the panels themselves. Mr. Towey added that they are going to install  
31 a 6 or 8-foot fence at the request of the neighbors, or some other form of screening- but he can  
32 confirm that. He also stated that he would think that given the sheer magnitude of the array that it  
33 will probably get fairly close to Pines Bridge Road, but he could not speak for certain. Mr. Smith  
34 responded that you can look at the plan that was submitted, and it's hard to tell at the scale, but  
35 looking at it on a computer, you can blow it up and see that there is probably at least 15 to 20-feet  
36 of separation between the proposed array and Pines Bridge Road - in fact, it may be more. Mr.  
37 Towey asked if the road has to be built to accommodate a fire apparatus entering it. Mr. Smith  
38 responded yes. Mr. Towey responded to be fair distance maybe 30 to 50 feet - it could be longer  
39 so a further distance from the road. However, when you drive along Pines Bridge Road, as you  
40 said, you look into that field, and it's right there - a shallow ditch and then you're at that field and  
41 the tree line. How proximate, he cannot say exactly. Mr. Anthony Sutton stated as far as he  
42 understood, based on presentations to the Fire Board the array was going to be surrounded with a  
43 perimeter fence with a gate for access and maybe we can request to consider putting some slats in  
44 the fence along the roadway so that it further shields it. Mr. Towey responded that in his opinion,

1 you should put whatever comments you like to the Town Board. Mr. Ciavardini said he would  
2 comment to keep it as natural looking as possible otherwise it is going to look like a scene from  
3 Mad Max. He added that he knows there is some tree covering over there and to try and disguise  
4 it as best they can. He indicated that it is unfortunate that it has to run right down Pines Bridge  
5 Road considering the amount of land they have there, but he does recognize the angles, topography  
6 and sun. He added that he was not sure what kind of fences would be used for screening but he  
7 would not want to be living across the street from that. Chair Gannon made a motion to have Staff  
8 prepare a memo to the Town Board stating that that the Planning Board does not have objection to  
9 the application of the floating zone as described in the notice, but does note that there is some  
10 vegetation there and we would like the Applicant to make an effort to maintain the existing  
11 vegetation and perhaps put in supplementary vegetation and/or fencing as needed to preserve the  
12 view shed. Mr. Christopher Zaberto seconded the motion. All in favor. Motion passes.  
13  
14

### 15 MEETING ADJOURNMENT

16

17 Chair Vicky Gannon wished everyone a Happy Thanksgiving and indicated the Planning Board's  
18 next meeting is on Wednesday, December 17, 2025, at 7:30 p.m. at the Somers Town House.  
19

20 There being no further business, on motion by Chair Vicky Gannon, seconded by Mr. Jack Mattes,  
21 and unanimously carried, the meeting adjourned at 8:59 p.m.  
22  
23  
24

25 Respectfully submitted,  
26

27 \_\_\_\_\_  
28 Nicole Montesano  
29 Planning Board Secretary  
30  
31

**PLANNING BOARD**

**Vicky Gannon, Chair**  
**Paul W. Ciavardini**  
**Jack Mattes**  
**Bruce A. Prince**  
**Anthony Sutton**  
**Christopher Zaberto**

**Town of Somers**  
WESTCHESTER COUNTY, N.Y.



**TOWN HOUSE**  
**335 ROUTE 202**  
**SOMERS, NY 10589**  
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**NY.GOV**

**SOMERS PLANNING BOARD MINUTES**  
**DECEMBER 17, 2025**  
**7:30PM**

**ROLL**

**MEMBERS PRESENT** Chair Vicky Gannon, Paul Ciavardini, Jack Mattes, Bruce Prince,  
Anthony Sutton, Christopher Zaberto

**ALSO PRESENT** David Smith- Consulting Town Planner, Steve Robbins-  
Consulting Town Engineer, Michael Towey- Planning Board  
Attorney, Nicole Montesano-Planning Board Secretary

**MEETING COMMENCEMENT**

The meeting commenced at 7:30 p.m.

Chair Vicky Gannon welcomed everyone to the meeting and then requested participants please stand for the Pledge of Allegiance.

Planning Board Secretary, Ms. Nicole Montesano, called the Roll.

Chair Gannon then stated that it is a long-standing policy of the Town of Somers Planning Board that it does not allow public comments on matters that are not before the Board for a Public Hearing. Members of the public are welcome to submit written comments to the Board which are reviewed by the Board in advance of the following meeting.

For matters that require a Public Hearing, we ask that those choosing to comment come up to the podium and clearly state your name and address for the record as this Public Hearing is being transcribed. Please try to keep your comments to three minutes so as to provide an opportunity for all members of the public wishing to comment an opportunity to do so. Please do not repeat comments or issues as they are being duly noted for the record. She then thanked everyone for their consideration.

**TIME EXTENSION REQUEST**

1. **MELISSA HARNEY- PRELIMINARY SUBDIVISION APPROVAL AND  
STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL  
PERMIT  
10 KEYREL LANE – RESOLUTION NO. 2025-01  
TM 16.07-1-3**

For the record Chair Vicky Gannon stated that this is a request from Melissa Harney of 10 Keyrel Lane for the 3<sup>rd</sup> 90-day time extension from January 3, 2026 up to and including April 3, 2026, for Preliminary Subdivision and Stormwater Management and Erosion and Sediment Control Permit, as per Resolution No. 2025-01 in accordance with Town Code Section 150-12.N. Mr. Timothy S. Allen, P.E., of Bibbo Associates Engineering, P.C. came forward and introduced himself and stated that he was representing the Applicant. He indicated that there was good news - the County signed the plat, and they will be before the Planning Board for Final Subdivision. He stated that they are planning on being back here in January and will submit the final paperwork before then.

Chair Gannon responded that is good and then asked the Board if they had any comments and/or questions. There were none. She then moved to grant the 3<sup>rd</sup> 90-day time extension from January 3, 2026 up to including April 3, 2026, for the Preliminary Subdivision and Stormwater Management and Erosion and Sediment Control Permit, as per Resolution No. 2025-01 in accordance with Town Code Section 150-12.N and asked if she had a second. Mr. Jack Mattes seconded. All in favor. Motion passes.

2. **GRANITE POINTE RE-GRANT OF FINAL SUBDIVISION APPROVAL, WETLAND,  
STEEP SLOPES, TREE PRESERVATION AND STORMWATER MANAGEMENT  
AND EROSION AND SEDIMENT CONTROL PERMITS  
TM 27.05-3-2&5**

For the record Chair Vicky Gannon stated that this is a request for the 34<sup>th</sup> 90-day time extension for Granite Pointe Subdivision, Re-Grant of Final Subdivision Approval, Wetland, Steep Slopes, Tree Preservation and Stormwater Management and Erosion and Sediment Control Permits, as per Resolution 2017-10, from January 4, 2026 up to and including April 4, 2026 as per Town Law Section 276 (7) (c) and Town Code Section 150-13M. The property is located on the east side of Route 118/202, adjacent to the Amawalk Reservoir and is located in an R-40 Zoning District for the development of 23 lots in a Cluster Subdivision.

Mr. Timothy S. Allen, P.E., of Bibbo Associates Engineering, P.C. came forward and introduced himself and stated that he was representing Suelain Realty and that their counsel Mr. Kevin Schultz was in attendance as was John Harkins Jr. representing Suelain Realty. Mr. Bibbo stated that he has been reporting for many months and many extensions that the New York State Department of Conservation (DEC) had not granted them access to the property. But he now had good news – they just found out just recently that they now have access to the property. As the resolution states,



1 there are a myriad of conditions that have to be met before this subdivision can be approved and  
2 the plat signed. He noted that those included re-approval of the Department of Transportation  
3 (DOT), the Westchester County Health Department and New York City Department of  
4 Environmental Protection (DEP). With regards to the Westchester County Health Department and  
5 the DEP because of the cleanup that occurred from the DEC and the fact that they brought out soil  
6 and brought in new soil, they have to retest the septic areas and some of the stormwater areas. Mr.  
7 Bibbo indicated that, as they have stated many times before, they just did not have access to the  
8 site to do that and now that they do, they will undertake the reapprovals of all those agencies. He  
9 added that they still have some work to do, but nonetheless, they now have the ability to do the  
10 work. Chair Gannon stated so you can access the site now. Mr. Allen responded, they can access  
11 the site and move on with the re-permitting of the project from the outside agencies. He stated that  
12 the Board may recall that back in the day they had all those approvals in hand, but they have  
13 obviously lapsed, and they need to get them all re-approved based on the conditions brought up  
14 today.

15  
16 Chair Gannon asked if the Board had any questions and/or comments. There were none. Mr.  
17 Christopher Zaberto stated it was pretty straightforward. Chair Gannon stated that we also  
18 received a letter from the Applicant's Counsel which outlined much of what Mr. Bibbo discussed  
19 which was also very helpful in understanding where the application is at this point. As there were  
20 no questions, Chair Gannon moved to grant the 34<sup>th</sup> 90-day time extension for Granite Pointe  
21 Subdivision, Re-Grant of Final Subdivision Approval, Wetland, Steep Slopes, Tree Preservation  
22 and Stormwater Management and Erosion and Sediment Control Permits, as per Resolution 2017-  
23 10, from January 4, 2026 up to and including April 4, 2026 as per Town Law Section 276 (7) (c)  
24 and Town Code Section 150-13M. She then asked if she had a second. Mr. Zaberto seconded.  
25 All in favor. Motion passes.

## 26 27 **PUBLIC HEARING**

### 28 29 **3. TRAILSIDE ESTATES AT SOMERS** 30 **SITE PLAN APPLICATION & PRELIMINARY SUBDIVISION APPLICATION** 31 **REYNOLDS DRIVE** 32 **TM 4.20-1-12 & 15.08-1-4** 33

34 Chair Vicky Gannon stated that as she had mentioned at the beginning of the meeting if you are  
35 here for the Public Hearing just keep in mind that you will need to state your name when you come  
36 up to address the public and to keep comments to 3 minutes if you can and also try not to repeat.

37  
38 For the record Chair Gannon stated that the Applicant is proposing construction of an 81-unit  
39 townhouse community with associated appurtenances. Five of the 81 units will be sponsor  
40 provided, and target households at or below the 120% Area Median Income (AMI). The project  
41 also proposes the construction of a community center and dog park to be located on a separate  
42 parcel which will be dedicated to the Town of Somers. The property is accessed through Somers  
43 Realty Planned Hamlet via Reynolds Drive and is located in the Multifamily Residence Baldwin  
44 Place (MFR-BP) Zoning District.

1  
2 Chair Gannon then asked Planning Board Secretary, Ms. Nicole Montesano for the publishing and  
3 posting. Ms. Montesano stated that the legal notice was published in the Journal News on  
4 December 4, 2025, and the adjoining property owners were notified via mail on November 25,  
5 2025. In addition, she stated that the sign stating the date and the location of the Public Hearing  
6 was posted on the site on December 4, 2025. Chair Gannon noted that Mr. Richard Williams, from  
7 Insight Engineering, Surveying and Landscape Architecture was not able to attend tonight's  
8 meeting and asked who was here for the Applicant.  
9

10 Mr. Ken Kearney from Kearney Development & Realty Group came to the podium and stated that  
11 he was there with Ms. Jamie LoGiudice, RLA, from Insight Engineering, Surveying and  
12 Landscape Architecture, his land use attorney, Mr. Charles Martabano, and his son and partner,  
13 Mr. Sean Kearney. He shared that Trailside Estates is 81 units of which 77 units are market rate  
14 and 4 units are going to be sold to families at 120% of Westchester County's Area Median Income  
15 (AMI). Presently, in order to afford those, you would need a minimum salary of about  
16 \$130,000/\$140,000, up to a maximum of \$180,000. He added that those four townhouses are  
17 different than Hidden Meadow. Hidden Meadow was 80%, this is up to 120%. So, these four  
18 townhomes give an opportunity for some people who may have made too much for Hidden  
19 Meadow and missed but yet cannot afford the true market rate. He noted that they are also building  
20 a community center that will have one and a half stories. Mr. Kearney said he thought it will be  
21 very well received, and will be used a lot by their residents, who are all within walking distance.  
22 He added that there is also a dog park there. He then stated that they have a petition in to  
23 Westchester County to join the sewer district and noted that this site is composed of two lots and  
24 what is interesting is that part of the front lot is actually part of the Sewer District now. So, they  
25 have made a petition and a presentation and expect to get approval from Westchester County in the  
26 next few months. He indicated that it is a 12 or 14 step process, and they believe they are near the  
27 end. He concluded and stated that the site is accessed off of Reynolds Drive which was constructed  
28 as part of Somers Realty Phase 3 and just needs blacktop. He indicated that they were there to  
29 answer any questions.  
30

31 Ms. Jamie LoGiudice, RLA, from Insight Engineering, Surveying and Landscape Architecture  
32 approached the podium. She reiterated what Mr. Kearney stated earlier – that Trailside Estates  
33 involves the construction of 81 townhomes. She then spoke about the associated parking. She  
34 noted that 162 parking spaces were required and that they are proposing 313. They will have 81  
35 spaces in garages, as well as 2 spaces per townhome for vehicles, and then 70 spaces for visitors  
36 throughout portions of the property. In addition, the community center and dog park also have  
37 about 60 parking spaces associated with them. Ms. LoGiudice stated that as mentioned earlier the  
38 access is off of Reynolds Drive which was part of the Somers Realty Phase 3 and they are  
39 proposing to pave that – it is gravel now. It was part of the original Stormwater Pollution Plan  
40 (SWPP) that was approved through that Phase 3 Project. She then mentioned, as the Board is aware,  
41 this project has been before the Town for multiple years. It went to the Town Board first seeking  
42 the Zone Amendment and later came before the Planning Board as well. She noted that they are  
43 part of the Multi-Family Residential Baldwin Place (MFR-BP) Zoning Overlay. Ms. LoGiudice  
44 indicated that they received a negative declaration as part of the State Environmental Quality  
45 Review (SEQR) in February and that this project will have public water and sewer and will also

1 have stormwater management practices that will be regulated and designed in accordance with the  
2 New York State Department of Environmental Conservation (DEC), New York City Department of  
3 Environmental Preservation (DEP), and the Watershed Inspector General (WIG), which we  
4 mentioned today, and which we did copy the Town Consultants- so you have that for your review.  
5 She noted that they are in receipt of the Woodard & Curran comment memos and believed they  
6 have addressed the majority of the comments, with the exception of looking at the WIG  
7 submission. She concluded and stated that it is their understanding that, based on furthering that  
8 process with the WIG, that the Public Hearing would probably remain open and then she asked if  
9 there were any comments and/or questions.

10  
11 Chair Gannon then asked if there were any comments from Planning. Consulting Town Planner,  
12 Mr. David Smith, stated that earlier today the Town received a letter from Gallagher Bassett  
13 relative to the soil remediation. He indicated that he thought the issue was brought up at the last  
14 meeting and that is something that Consulting Town Engineer, Mr. Steve Robbins, would need to  
15 go through and review, but he thought it was fair to say that they have a program for addressing  
16 that particular issue. And then, the other issue Ms. LoGiudice mentioned was the responses to the  
17 WIG which we will need to go through those as well. Other than that Mr. Smith stated he had no  
18 further questions at that time.

19  
20 Chair Gannon then asked Mr. Robbins, if he had any comments. Mr. Robbins explained, in addition  
21 to the comments that Mr. Smith, mentioned, they do have some minor additional comments that  
22 were still open around, some of the engineering details on the extent of erosion control matting in  
23 some areas of the site, some separation between roof and floor drains and where those discharges  
24 are directed and confirmation of infiltration flow rate in one area where the Applicant proposed a  
25 very conservative rate. They just want to confirm the final results, but those are typical at the stage  
26 of minor cleanup comments. He noted that of their 57 comments, 54 have been substantively  
27 addressed. Chair Gannon stated that she had two questions relating to items 47 and 48 from his  
28 memo – they were about the wood chip trail that runs from the parking lot to the dog park. During  
29 our last discussion it came up that wood chip trail was not ADA compliant and that they were  
30 going to talk about changing out the wood chip trail for something else. But when she looked at  
31 the plans that they received, it still shows it labeled as a wood chip trail. She then asked if there  
32 was a plan to change it. Ms. LoGiudice responded there sure is. Chair Gannon asked if she would  
33 explain it for everyone. Ms. LoGiudice explained that they are proposing asphalt instead, and that  
34 would be ADA compliant and that was incorporated into the plans that they just submitted to the  
35 WIG today. Chair Gannon responded okay and that the other question she wanted to ask, which  
36 also may involve Counsel, is about irrigation, which was also discussed at the previous meeting.  
37 The Applicant's response was that the Homeowners Association (HOA) would not allow a resident  
38 to put in their own irrigation system. Chair Gannon stated an HOA is a corporate body that will have  
39 its own existence and at some point, in time, the developer steps away and the HOA governs itself.  
40 She then asked if the HOA could possibly change its own rules to allow it. Mr. Charles Martabano  
41 responded no, and that they can more than likely they could prevent that when we do the HOA. He  
42 did not know if they would do a restrictive covenant, but they could prevent that. Chair Gannon  
43 stated that she thought that we are just very aware of issues with climate change, drought, and dry  
44 spells, and we do not want to be in a position where we do not have enough water. She has seen  
45 circumstances where people put, irrigation in and those things are running in a rainstorm, and she

1 thought we would want to be as cautious as possible. Mr. Martabano stated it is something that  
2 we can prevent and he will check as to whether the HOA could, when it is turned over to them  
3 could overrule it – but he did not think so. He indicated that he would get back to Planning Board  
4 Attorney, Mr. Michael Towey. Mr. Towey responded that he could look into whether or not you,  
5 as the Planning Board, can impose a condition on the Site Plan approval prohibiting future  
6 irrigation or sprinkler systems. He indicated that he would make a note of that and try and turn it  
7 around this week and get the Board some information, in advance of the next meeting. Chair  
8 Gannon stated her thoughts about it coincided with the condominium she lives in and us amending  
9 our rules, and then she thought to herself, can they amend their own rules, and can things change.  
10 Mr. Martabano responded, well, certainly, they could not if Mr. Towey does what he says, then  
11 they cannot violate the rule for the project, so that is another way to do it. Mr. Towey responded  
12 that it would be imposed on the Site Plan. It is difficult to plan at this stage what exactly the HOA's  
13 authority is going to be until we see a draft of it. Mr. Martabano responded that it was not a  
14 problem from their perspective either way. Chair Gannon stated those were her only questions that  
15 she wanted to follow up on before we move on to the Public Hearing. She then made a motion to  
16 open the Public Hearing. Mr. Christopher Zaberto seconded. All in favor. Motion passes. Chair  
17 Gannon then asked if there was anyone here tonight for the Public Hearing on this matter. She  
18 asked them to please come up to the podium and introduce themselves and to speak into the  
19 microphone. Mr. Smith advised them to state their name and address. Mr. Joe Vala from 7 Meadow  
20 Park Road came to the podium and introduced himself. He stated that he was curious how far back  
21 the development is going to be from the actual trail, because his house is right behind there, and he  
22 has a pond and is worried about the discharge from the rainwater and where it is going to go and  
23 how high it is going to fill up ponds. Chair Gannon asked Mr. Vala to show where his residence  
24 and the ponds are located on the plan. He pointed them both out. Ms. LoGiudice responded that  
25 she could address that. As part of the stormwater design of the project, they cannot allow more  
26 stormwater leave after post-construction, so anything that is happening now, they would be  
27 treating, attenuating for peak volumes and that type of thing, so we would not be riding more  
28 volume into any of those ponds. She indicated that they do have extensive storm management  
29 practices that are proposed on the other side of the wetlands, so they are doing all of that there. She  
30 then noted that this was probably a good point to bring up that there is a large conservation easement  
31 throughout those, wetland areas. Mr. Vala stated that was the first time he was seeing this. Ms.  
32 LoGiudice pointed out the conservation easement and where that runs on the plan and stated that  
33 all of that area is actually protected. Mr. Vala's next question was about the sewer line and  
34 where it would run through. Ms. LoGiudice responded that the sewer itself will run along the road  
35 and then run up through Reynolds Drive. Mr. Vala said Thank you.

36  
37 Chair Gannon asked if there was anyone else here for public comment. Mr. Darryl Sorenson from  
38 6 Meadow Park Road came to the podium and introduced himself. Mr. Sorenson stated that he  
39 understands everybody needs development and stuff, but now we are putting another 81  
40 townhomes in the same area that we have already been developing. He stated that would add  
41 approximately another 162 cars - possibly more. He then inquired if anyone has addressed the  
42 traffic flow up in the area. He stated that his driveway is actually on Route 118 and it is near  
43 impossible to get in and out of his driveway during the day, because of the amount of traffic that  
44 has already been pushed up to this area. He added that with the shopping centers, other townhomes,  
45 and other developments you cannot drive on Route 6 on the weekends and that you might as well

1 stay home. He indicated that you have to walk to the grocery store because the traffic is that bad,  
2 and now you are adding a whole other development up there. He noted that the last development  
3 of the Preserves, when it went up, the developers brought the sewer lines right through part of his  
4 backyard and that was not supposed to happen. They are saying none of this is going to happen,  
5 they are going to take care, they are going to do all this – but Mr. Sorenson is a little on the weary  
6 side and does not trust developers anymore, after all the stuff that has gone on. He asked for  
7 confirmation that the developer was going to add to that same sewer system and that it would be  
8 going through Meadow Park Road and he then questioned whether that sewer system was designed  
9 for that much development as there are already 300 homes from the Preserves going through it.  
10 He asked if another 81 homes would overtax this system and result in problems. Mr. Sorenson  
11 stated that when they developed the Preserves, they did not put any of us on sewers - we are still  
12 on septic in the neighborhood - yet they ran the line right through our neighborhood. He indicated  
13 that it was not a good choice and followed up with a question concerning the dog park and the  
14 community center. He noted that right now, they are saying they are going to build it, and it is  
15 going to be dedicated to the Town. He then asked who is going to pay for the maintenance and  
16 stuff on that after the Homeowners Association (HOA) takes over. He asked if the HOA is going  
17 to maintain that and not our tax dollars. Mr. Sorenson indicated that he has been here since 1996  
18 and has seen a steady increase in taxes every year, which is understandable. But, then they build  
19 this stuff and then dedicate it to the Town, so now we have to plow the roads, we have to take care  
20 of this and that and it adds to our tax burden. Mr. Sorenson expressed that he just wants assurances  
21 that this is not going to affect him in any way, other than that he knows it is going impact traffic.  
22 He stated that he just wanted to express how he felt about it. He is all for building and is aware  
23 building has to go on, but there is a lot of choices to quit cramming it all in one little neighborhood  
24 up there. Every time we turn around, they have another development on Route 6. He asked how  
25 many more can we do before you cannot even drive up there or move around. Mr. Sorensen  
26 concluded by stating that he would like someone to take a look at what is going happen with the  
27 traffic flow, the sewers, the dog park and the community center, because frankly, he does not want  
28 to pay for it. He then thanked the Board for listening.  
29

30 Mr. Anthony Tomassetti from 14 Green Tree Road then came to the podium and introduced  
31 himself and stated he would like to talk a little bit about how this development kind of ties into the  
32 development that is proposed directly behind Green Tree Road. He noted that is the 3-lot  
33 subdivision by Dynamite Properties. Mr. Tomassetti stated that he has been very interested in that,  
34 because it is basically right behind his house. There has been a lot of concern, about that particular  
35 subdivision and the access to it crossing over the bike trail. Mr. Tomassetti stated that the Board  
36 members are probably aware as are a lot of people as we have watched that go through Planning,  
37 Zoning and Town Board meetings and added that Mr. Kearney was, gracious enough to offer  
38 access in person at one of the meetings, and also in a letter at the Zoning Board meeting where that  
39 was last discussed. It offered access through Trailside Estates to the people at Dynamite Properties,  
40 so that they would not have to cross the bike trail. Mr. Tomassetti indicated that he would like to  
41 see if there is some way to have that be a condition of approval for the Trailside Estates project as  
42 that is the only way that Dynamite properties will not be landlocked. They will not need to cross  
43 the bike trail if they are able to come through Trailside Estates and he would like to make sure that  
44 it is somehow encapsulated in this project and that it does not disappear as the projects are  
45 advancing at different paces. He felt, it would be a shame to lose that option and that availability

1 to come through Trailside Estates and wanted to make sure that that property does not become  
2 landlocked again and that they should not seek a reason to cross the bike trail. Mr. Tomassetti then  
3 thanked the Board.  
4

5 Mr. Martabano came to the podium and introduced himself. He then stated he would be able to  
6 address that. The issue first came up before your Board back in September of 2023, and the request  
7 was made at that time of Mr. Kearney as to whether he would consider providing access, and he  
8 made it clear at that time he would do that. Subsequently, May 7, 2025, he wrote a letter to the  
9 Town Board, again, reiterating his commitment to the Planning Board and to the Town Board that  
10 he would do that. As this gentleman, Mr. Tomassetti, pointed out, recently a letter was written to  
11 the Zoning Board Association (ZBA) in connection with the application of Dynamite Properties.  
12 And it sort of described the offer as not necessarily feasible at this point because the project was  
13 not complete. So, Mr. Martabano wrote to the Zoning Board Association (ZBA) and said, that he  
14 was going to, one more time, affirm Mr. Kearney's commitment to provide that, if it is feasible -  
15 meaning that if that is what the Boards and the Town wants. Recently, he was just speaking to  
16 Town Attorney, Mr. Roland Baroni, because we have to do a Community Benefit Agreement,  
17 because we are providing the dog park and community center, and he suggested, why not make  
18 that commitment part of the Community Benefit Agreement. Both Mr. Kearney and Mr.  
19 Martabano said certainly. So, they are addressing this, and it will be in a written agreement what  
20 we call the Community Benefit Agreement to the Town – it will be our commitment. Now, whether  
21 that happens will be up to the Board when you approve the other subdivision, but our commitment  
22 is clear, and we will once again reinforce it. Chair Gannon then thanked Mr. Martabano for the  
23 information and asked if there was anyone else present for a public comment. There was no one  
24 else present for a public comment. Chair Gannon then opened it up to the Board for any comments  
25 and/or questions.  
26

27 Mr. Ciavardini brought up the question Mr. Sorenson had about the septic and its' capacity. He  
28 was unsure if anyone had addressed that or if it was a question that could be answered now. He  
29 stated that it seemed like a reasonable question and he was curious himself. Mr. Kearney replied  
30 that he would answer it in his way before the engineer gives a precise answer. Mr. Kearney  
31 indicated that when Preserve was built on Route 118, they ran a force main down and connected it  
32 to the sewer line down by Jefferson Valley Mall. That sewer line runs all the way down to Peekskill  
33 to the sewer plant, which sits on the Hudson River and is owned by Westchester County. In 2010,  
34 the County let us access it to build the Muse in Baldwin Place 1. We had to build a series of pump  
35 stations in front of Muse 1 and Muse 2. The sewer from the Preserve is flowing in front of our  
36 properties, in front of the Crossroads, and all the way down to Jefferson Valley. For 15 years, the series  
37 of pump stations have worked quite well. We have one, two, or three pump stations that go into the  
38 force main. In addition, one of the first things they had to establish was is their capacity at the plant  
39 – that was part of that 14-step process with Westchester County that he talked about earlier. They  
40 established that there is capacity and we asked the County to take it a step further and write a will-  
41 serve letter saying we have the capacity, and that part of that capacity is for this project. So, the  
42 sewer, is not an issue. Ms. LoGiudice approached the podium and reiterated that there is no septic  
43 on the property; it is all sewer.  
44

45 Mr. Robbins asked if he could add to that and indicated that when sewer was installed from the

1 Preserves over to Yorktown, there were actually two force mains that were installed. There are a 6-  
2 inch and an 8-inch pipe in the road. He noted that when it was designed and installed it  
3 contemplated all of the development that we have seen along Route 6 and was planned for that  
4 additional capacity. Essentially, when it was just the Preserves, they were just using the smaller  
5 pipe. Then, at some point, enough growth happened that they were just using the 8-inch pipe, and  
6 if they needed more capacity, they could use both. Mr. Robbins indicated that for each subsequent  
7 development project that's come before the Town – the Town has reviewed the capacity of that  
8 wastewater infrastructure, just like it reviews the capacity of water infrastructure and others, to  
9 confirm that we are still operating within initial design assumptions - so it has been checked.

10  
11 Mr. Zaberto then asked Mr. Smith if the environmental review process for a project of this size  
12 would incorporate a traffic study. Mr. Smith responded that as part of the rezoning process to  
13 evaluate this particular project, there was an extensive traffic report that was prepared. It was  
14 reviewed by an independent third-party consultant to the Town of Somers. Any potential impact  
15 with respect to traffic was addressed through that report and the analysis that was prepared as part  
16 of that. Mr. Zaberto inquired if when a traffic study is performed, if it is done in real time, showing  
17 the levels of traffic at the time that the study's done - meaning previous projects that are contributing  
18 to traffic along Route 6 were being taken into account. Mr. Smith responded correct. Mr. Zaberto  
19 then asked if Mr. Smith recalled the results of this that traffic study. Mr. Smith responded that as  
20 he recalled there was no impact to the level of service, for the intersection along Route 6 and the  
21 access to Reynolds Drive. He indicated that typically the way that the traffic analysis is prepared  
22 is they go out and they will look at the traffic conditions in the morning to determine the A.M.  
23 peak. They will do a two-hour time segment, and within those 2 hours, they will take the one hour  
24 where they have the most traffic. And they will do the same thing for the P.M. Then they will look  
25 at all the other future developments that could also contribute to the traffic within that study area  
26 and then they will add a growth factor. Mr. Smith then stated, so let us say it takes 3 years for the  
27 project to be built out, they will add another 2% on top of all that and then they will add the traffic  
28 from this particular project. And that is how they evaluate the traffic impacts. In addition, New  
29 York State Department of Transportation (DOT) was provided copies of all of the traffic studies,  
30 and they did not have an issue with the analysis that was prepared or the results. Mr. Zaberto  
31 responded understood and thanked Mr. Smith. Chair Gannon asked if there were any other Board  
32 questions and/or comments. Mr. Anthony Sutton, stated that he was not really sure who would  
33 address Mr. Sorenson's question regarding who will ultimately be responsible for the Community  
34 Center and dog park and inquired if they would remain with the Homeowners Association (HOA)  
35 post construction, or if it would in fact, go to the Town. Mr. Kearney stated it was the intent that  
36 the community center and the dog park would be dedicated to the Town and will be overseen by  
37 Parks and Recreation – there will be certain hours and certain programs they are going to run there.  
38 Mr. Sutton responded, understood and thank you. Chair Gannon then asked if there were any other  
39 comments and/or questions. There were none. She then stated that it is usually Mr. Williams'  
40 custom to take copious notes and then provide us with some written responses so that everybody  
41 who has spoken during public comment will have a written response in addition to the discussion  
42 that we hear at the meeting. She then asked if the Applicant could do that, it would be great. She  
43 then stated that she would like to get the sense of the Board. Her feeling was, given that we did get  
44 this rather large document, from the Watershed Inspector General (WIG) as well as the Gallagher  
45 Bassett Soil Management Plan, and she thinks the Applicant too, understands that it would be good



1 to hold this Public Hearing over until our next meeting in January. The Board was in agreement.  
2 She then made a motion to keep the Public Hearing open and adjourn it until the next meeting on  
3 January 14, 2026. Mr. Jack Mattes seconded. Mr. Sutton asked if there should be a provision for  
4 written comment during this period as well. Mr. Towey responded that it is remaining open, so  
5 written comments will be accepted. Planning Board Attorney then asked for a roll call as he only  
6 heard one Aye. Chair Gannon requested a roll call vote be taken. Planning Board Secretary, Ms.  
7 Nicole Montesano took a roll call vote, and the votes were as follows:

8		
9	Chair Vicky Gannon	Aye
10	Paul Ciavardini	Aye
11	Anthony Sutton	Aye
12	Bruce Prince	Aye
13	Jack Mattes	Aye
14	Christopher Zaberto	Aye
15		

16 Motion passes.

17  
18 In response to Mr. Sutton's question on written comment, Chair Gannon stated that on more  
19 complex projects, even when we closed the Public Hearing, we have kept it open for 10 days for  
20 written comment, so she would anticipate that in January if we are in a situation where we could,  
21 that we would do it with the proviso, that we would accept written comments for 10 days because  
22 you never know, bad weather, etc. In addition, it is a complex project with a lot of moving parts,  
23 so we certainly would want to do that. Mr. Smith responded and stated that the information that  
24 was presented tonight, as part of the Site Plan and the environmental review is available on the  
25 Town's website, and he believes that there's also a link there that if a resident or somebody who's  
26 interested in the project wants to submit comments, they can click on that link, and they can  
27 provide their comments via email. Chair Gannon responded, great, thank you.

## 28 **PROJECT REVIEW**

### 29 **4. AMERICAN TOWER CORPORATION – VERIZON FOR AMENDED SPECIAL USE** 30 **PERMIT WIRELESS TELECOMMUNICATIONS FACILITY** 31 **2580 ROUTE 35 (SANTARONI)** 32 **TM 37.13-2-3**

33  
34 For the record, Chair Vicky Gannon indicated that the Applicant is applying for an Amended  
35 Special Use Permit. The project consists of removing 12 antennas, 6 Remote Radio Heads (RRHs)  
36 and 1 GPS antenna and then installing 9 new antennas and 6 RRHs. The project site is located at  
37 2580 Route 35 and is in an R-80 Zoning District.

38  
39 Chair Gannon asked if the Applicant was there to make a presentation. Mr. Darryl Gresham, Site  
40 Acquisition Specialist from Network Building + Consulting (NB+C) introduced himself via Zoom  
41 and indicated that he was unable to get his camera to work.  
42  
43  
44



1 Mr. Gresham stated this is a modification for Verizon. It is an Amended Special Use Permit.  
2 Verizon would like to take out the old antennas and put not 12, but 9 new antennas back up and 6  
3 Remote Radio Heads (RRHs). He indicated that is pretty much a minor installation for them. In  
4 addition, they are removing one GPS antenna - they have 3 of them there and they will be removing  
5 just the one.  
6

7 Chair Gannon asked if Mr. Gresham needed to get his camera up to share any material with the  
8 Board. Mr. Gresham responded no, he provided all the plans to the Board. Chair Gannon then  
9 asked Staff for comments. Consulting Town Planner, Mr. David Smith stated that was a fairly  
10 standard application which the Board has seen numerous times over the past several years - where  
11 they are just basically swapping out equipment. He indicated that the Code requires that it comes  
12 before your Board. He then stated that he would let Consulting Town Engineer, Mr. Steve Robbins  
13 pick it up from here, but typically the Board has been waiving certain Site Plan requirements as  
14 well as the Public Hearing. He noted that as long as Mr. Robbins is satisfied with the technical  
15 pieces of the submission, you have had a confirmatory resolution allowing the Applicant to move  
16 forward. He then turned it over to Mr. Robbins. Mr. Robbins stated that he agreed that it was a  
17 minor project. There are no changes to the conditions on the ground, no new impervious surface  
18 and no changes to the visual screening that is there. He indicated that they did have two comments,  
19 one just confirming the engineer's certification, which has been provided. The second is, because  
20 we do review the materials submitted, there was a note from a 2021 inspection that a couple of the  
21 branches had deteriorated. However, the Applicant has since submitted backup documentation  
22 that those have been addressed, so we have no technical comments.  
23

24 Chair Gannon stated that she saw Mr. Robbins' memo and was concerned as to whether question  
25 2 relating to the date of the visual inspection was fully answered, because she was not sure if  
26 Mr. Robbins was looking for a date certain or just looking for language that was going to say within  
27 5 years - and then you start from that 2021 date and say it must be done by March 23, 2026. Mr.  
28 Robbins responded that the intent of the comment was to make sure that someone had looked at  
29 this since 2021. Typically, with this, we'd like to understand because the Applicant does submit a  
30 structural analysis of the proposed modifications, and we ask that the engineer be aware of the  
31 actual conditions on the tower and we think that relying on an inspection report from almost 5  
32 years ago, may not represent the actual conditions on the tower. Chair Gannon responded right.  
33 Mr. Robbins replied that the information that the Applicant submitted was a validation from the  
34 engineer who did the structural analysis that subsequent inspections had been completed, and that  
35 they were comfortable with the conditions on this. It is typical practice for these towers to be re-  
36 inspected every 5 years. We end up in this weird spot when they make changes to the tower on a  
37 more frequent interval - we are not the ones stamping it, and the Town just wants to make sure  
38 that the stamping engineer is aware of the conditions on the ground, and that they're comfortable  
39 with it - it's their stamp and they have validated that. Chair Gannon responded okay, because the  
40 attachments that Mr. Gresham provided looked like they were two of the exact same thing and she  
41 wasn't quite sure how to interpret them, because there was a date at the top, October 23, 2025 and  
42 then it was signed on October 28, 2025, but neither one of them was saying anything definitively  
43 about a last date of inspection. She noted that there was a lot of general language about inspections,  
44 and within the interval of 5 years and she was concerned that his question was not being fully  
45 answered. Mr. Robbins responded that it was addressed to his satisfaction -- that the stamping

1 engineer who did the structural analysis was comfortable with the conditions on the tower. That  
2 was the intent of their comment.

3  
4 Chair Gannon then stated she had another question regarding the Radio Frequency (RF) Report. She  
5 indicated that when she looked at it, she fell down a rabbit hole. She noticed that the report was  
6 dated from 2023 and at that point where it lists the equipment, it says the project site includes the  
7 following existing and proposed wireless telecommunications antenna. It lists the 12 that are there,  
8 and she just wondered if it contemplates listing existing and proposed and whether it should it be  
9 updated to list what they are going to put on now. Mr. Robbins responded that his understanding  
10 and recollection of that report is that the proposed equipment in that report is the equipment that  
11 they are proposing to install now and that the analysis may have been done in 2023 but that is for  
12 the equipment that is proposed for installation in 2026. He then asked Mr. Gresham to confirm.  
13 Mr. Gresham responded yes. Chair Gannon replied what is listed here is what she thought is the 12  
14 that are coming off. Mr. Christopher Zaberto noted that there are also radio heads and a GPS antenna  
15 – so what is being replaced in total is 9 and 6 for 15, which is less than what we started with. Chair  
16 Gannon responded right, but she is not seeing the 9 listed. Mr. Robbins then asked Mr. Gresham if  
17 he had any comments on that and whether the 9 new antennas are being described in the 2023 RF  
18 Report. Mr. Gresham responded that they might not be being described, but whenever they have  
19 proposed, that is more like future for them. Mr. Robbins proposed that we handle that as an open  
20 item and a condition of resolution, and we will follow up with the Applicant to get you an answer  
21 to that question. Chair Gannon responded, yes, she is concerned that as always, when we're talking  
22 about equipment on towers, that we're able to get the most up-to-date list of what is there, because  
23 she thinks in the past, that has always been a concern and that having that updated inventory would  
24 be helpful. Mr. Robbins responded that they would follow up with the Applicant to clarify and to  
25 review that and provide a response to the Board. Chair Gannon thanked Mr. Robbins. She then  
26 asked the Board if there were any other questions and/or comments. Mr. Anthony Sutton  
27 responded that he got the impression that was boilerplate language in these applications, and that  
28 they do not specify the amount of proposed future additions to the tower. He added again, his  
29 comments every single time will be: are we doing a one-for-one, what's the surface area of the  
30 panels that they're installing, as opposed to the surface areas of the panels they're taking down,  
31 because wind resistance is one of the biggest things. Also, the heights, in terms of again, resistance  
32 and structural integrity. He did not see too much mentioned. But he did see that boilerplate  
33 language that is in every one of these applications, that they will not extend more than so many  
34 feet out, and all of that kind of stuff. He then asked if there was any reference to changes in a  
35 shelter or if there was one at this site for cabinetry and the existing equipment at the base. Mr.  
36 Robbins responded that there is no new equipment proposed. They often do swap out some of the  
37 internals in the cabinets on the platforms, but not a new platform, per se. So, they are within the  
38 envelope of the existing infrastructure. Planning Board Attorney, Mr. Michael Towey stated just  
39 to elaborate on that, so when they do put in that boilerplate language where it says they're not going  
40 to extend out more than 20 feet, they're not going to increase the height more than number of feet,  
41 they're not going to install more than 4 cabinets, this is what's known as an eligible facilities  
42 request. The Applicant is eligible for an eligible facilities request where the federal government  
43 preempts local municipalities from zoning or regulating upgrades to cellular equipment. So long  
44 as they are not substantially altering the present structure, which is defined as not extending out  
45 more than 40 feet from the centerline of the pole, increasing the height, installing more than 40

1 cabinets. So that is why you see that language. Mr. Sutton asked if they did, that would be a separate  
2 process. Mr. Towey responded then it's no longer qualified as an eligible facilities request, and  
3 there's other benefits to the Applicant, because the Town has 60 days to approve it from the date  
4 it receives a completed application or else it's deemed approved, there's a lot of benefits to the cell  
5 carrier for doing so. Chair Gannon stated the shock clock. Mr. Towey responded exactly - it is  
6 what it is called. They can't disturb the ground around it more than 30 feet in diameter - boilerplate,  
7 but that's them satisfying the definition because the Board's authority is to determine whether or  
8 not this qualifies as an eligible facilities request, and if it deems that it does, then the shock clock  
9 is in effect, and they have their 60 days to approve. Mr. Sutton replied, understood, thank you. Mr.  
10 Zaberto stated great explanation and thanked Mr. Towey. Mr. Towey responded you're welcome.

11  
12 Chair Gannon stated that as Mr. Smith alluded to earlier, it is usually the Board's custom on  
13 applications such as this to waive the Site Walk and to waive the Public Hearing and asked if the  
14 Board is an agreement to do such on this application. Mr. Zaberto responded he was okay with  
15 that. Chair Gannon then made a motion to waive the Site Walk for this application. Mr. Jack  
16 Mattes seconded. All in favor. Motion passes. Chair Gannon then made a motion to waive the  
17 Public Hearing. Mr. Zaberto seconded. All in favor. Motion passes.

18  
19 Chair Gannon asked Mr. Smith if there are any special items that need to be included in the  
20 resolution. Mr. Smith responded that he would suggest a condition there - which has been done  
21 in a number of these types of applications, where you are approving it subject to, Mr. Robbins  
22 being satisfied that the Applicant has responded to their comments. Chair Gannon responded okay  
23 and made a motion to ask staff to prepare a draft resolution for Chair's signature, such that it would  
24 be satisfactory to Mr. Robbins' review. Mr. Robbins asked if he could incorporate her comment  
25 in his memo. She responded yes and asked if she had a second. Mr. Sutton seconded. All in  
26 favor. Motion passes.

27  
28 Chair Gannon asked Mr. Gresham if he had any questions for the Board. He responded no and  
29 that he would provide whatever is needed.

### 30 31 **MEETING ADJOURNMENT**

32  
33 Chair Vicky Gannon stated that this takes us to the end of our agenda, and she wished everybody  
34 a Happy Holiday and a Happy New Year.

35  
36 There being no further business, on motion by Mr. Christopher Zaberto, seconded by Chair Vicky  
37 Gannon, and unanimously carried, the meeting adjourned at 8:25 pm.

38  
39  
40 Respectfully submitted,

41  
42  
43 \_\_\_\_\_  
44 Nicole Montesano  
Planning Board Secretary

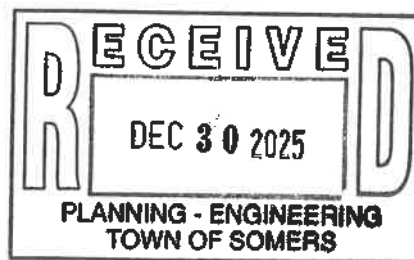
## Nicole Montesano

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**From:** Eric Zohar <ezohar@somersfd.com>  
**Sent:** Tuesday, December 30, 2025 12:16 AM  
**To:** Nicole Montesano  
**Cc:** David B. Smith; Js@kme.com; All Commissioners; Claire Kelmer; Michael T. Liguori  
**Subject:** Re: January 14, 2026 Planning Board Meeting

Hello Nicole,

As requested,



The Somers Fire District Board of Fire Commissioners is here by submitting a request from the town planning board to extend the subdivision approval in place for the Somers Fire District property located at 295 Route 100 (NYS Police Barracks).

This request to be presented to the planning board at the next meeting held on 1/14/2026

Please advise If there is anything else needed.

Thank you,

Ariye Zohar  
Chairman

## Board of Fire Commissioners

Somers Fire District  
119 Primrose Street Lincolndale NY, 10540  
9147740157

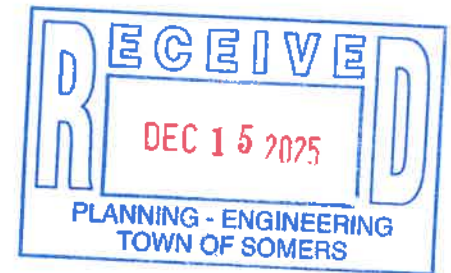
On Dec 29, 2025, at 1:22 PM, Nicole Montesano <nmontesano@somersny.gov> wrote:

Mr. Zohar-



Timothy S. Allen, P.E.  
Nicholas Gaboury, P.E.  
Matthew J. Gironda, P.E.

December 15, 2025



Somers Planning Board  
335 Route 202  
Somers, NY 10589-3206

Attn: Ms. Vicky Gannon, Chairwoman

Re: Site Plan Application  
247 Route 100, LLC – Rockledge Center  
247 Route 100  
Sh. 28.10, Blk.1, Lot 6.1

Dear Chairwoman and Members of the Board:

In support of our client's application for an amended site plan approval, in connection with the proposed construction of an addition of approximately 18,450 s.f. to the existing commercial building at the above referenced property, please find enclosed the following:

- 6 copies – Site Plan Application \* – including
  - Affidavit of Corporate Owner
  - APRL Certification
  - Applicant Acknowledgement
  - Letter of Taxes Paid
- 6 copies - Project Narrative, prepared by Harrison Cook, dated November 5, 2025
- 6 copies – Short Environmental Assessment Form, prepared by Michael Piccirillo Architecture, dated 11/10/25
- Parking Study Addendum, prepared by Barton & Loguidice, dated November 19, 2025
- 6 copies – Project Plans, (4-sheets) prepared by Bibbo Associates Engineering, P.C., dated 11-26-2025
- 6 copies – Architectural Plans, (5-sheets) prepared by Michael Piccirillo Architecture, dated 11/19/25
- 2 copies – Stormwater Pollution Prevention Plan, prepared by Bibbo Associates Engineering, P.C., dated November 26, 2025
- 4 flash drives containing all items submitted

*\*Fees to be calculated and submitted under separate cover.*

*Site Design ♦ Engineering*

Mill Pond Offices • 293 Route 100 • Suite 203 • Somers, New York 10589  
Phone: 914.277.5805  
Website: [www.bibboassociates.com](http://www.bibboassociates.com) • E-mail: [bibbo@bibboassociates.com](mailto:bibbo@bibboassociates.com)

We trust the enclosed application and supporting materials are sufficient for your review, and we respectfully request this matter be placed on your next available agenda for discussion.

As always, should you have any questions or need anything further please feel free to contact our office.

Sincerely,

A handwritten signature in black ink, appearing to read "Matt G", with a stylized flourish at the end.

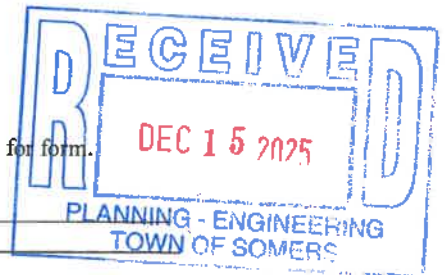
Matthew J. Gironda, P.E.  
*Principal*

MJG/mme  
Enclosures

cc: H. Cook (*via email w/encls*)  
S. Realbuto (*via email w/encls*)  
File

**TOWN OF SOMERS  
PLANNING BOARD  
APPLICATION FOR SITE PLAN APPROVAL**

Application Processing Affidavit must also be completed. Click here for form.



**I. IDENTIFICATION OF APPLICANT:**

- A. Owner: 247 Route 100, LLC      Applicant: same as owner  
Address: 247 Route 100, Somers, NY 10589      Address: \_\_\_\_\_  
Tele #: (914)400-5699      Tele #: \_\_\_\_\_
- B. Architect: Michael A. Piccirillo, AIA      Engineer: Bibbo Associates Engineering, P.C., Matthew J. Gironda, P.E.  
Address: 345 Kear St., Yorktown Hgts, NY 10598      Address: 293 Route 100, Ste. 203, Somers, NY 10589  
Tele #: (914) 368-9838      Tele #: (914) 277-5805
- C. Surveyor: T.C. Merritts Land Surveyors, P.C.      Tele #: (914) 89-8003  
Address: 394 Bedford Road, Pleasantville, NY 10570

**II. IDENTIFICATION OF PROPERTY:**

- A. Identifying Title: Rockledge Center
- B. Tax Map Design: Sheet: 28.10      Block: 1      Lot(s): 6.1
- C. Zoning District: OLI - Office & Light Industry
- D. Street which property abuts: NYS Route 100 (Somerstown Turnpike)
- E. Does property connect directly into State or County highway? Yes
- F. Is site within 500 feet of Town Boundary? No
- G. Total area of site: 14.51      Area of site activity: 0.85 ac. +/-
- H. Site coverage: 30.0 %      Building coverage: 12.49 %
- I. Affected Wetland Area n/a      Wetland Buffer Area n/a
- J. Affected Steep Slope Area: 15%-25% n/a      Over 25% n/a
- K. Existing building size: 60,524 s.f. +/-      New/additional building size: 18,450 s.f. +/-
- L. Existing parking spaces: 196      New parking spaces: 0

**III. APPLICATION FEE:**

\$500 base fee plus \$50 per 1,000 sq.ft or part thereof plus \$25 per parking space to be paid by certified check to the Town of Somers.

Wetland Permit Fee: \$200 min. fee + \$100 per 5,000 sf. of regulated area or proposed area to be disturbed.

Steep Slope Fee: \$150 min. fee + \$75 per 10,000 s.f. of regulated area or proposed area to be disturbed.

Total Fee: \_\_\_\_\_ Date Paid: \_\_\_\_\_

**IV. DOCUMENTS TO BE SUBMITTED WITH THIS APPLICATION:**

Submit 14 copies of all correspondence and plans to the Planning Board.

- A. 14 copies of Site Plan with north arrow and location map drawn to scale of 1" = 1,000'.
- B. Survey Map defining precise boundaries of property.
- C. Copies of all existing and proposed deed restrictions or covenants applying to the property, including covenants and agreements restricting use, and establishing future ownership and maintenance responsibilities for all private roads, recreation and open space areas.
- D. Preliminary Architectural Drawings to be submitted to Planning Board prior to public hearing for referral to Building Inspector and Architectural Advisory Review Board.
- E. Environmental Assessment Form.
- F. Proof that taxes have been paid.

It is the responsibility of the applicant to be knowledgeable of the law. The following are available at the Town Clerks Office: Master Plan, Zoning Ordinance, Site Plan Regulations, State Environmental Quality Review (SEQR) and Environmental Quality Review, Wetland and Steep Slope Ordinances of the Town of Somers.

All revised plans shall be accompanied by a letter indicating what changes were made. All costs incurred by the Town for professional services and SEQR review will be paid by the applicant.

By submission of this application, the property owner agrees to permit Town Officials and their designated representatives to conduct on-site inspections in connection with the review of the proposal. The property shall be identified on site as being proposed for site plan approval.

\_\_\_\_\_  
Signature of Applicant

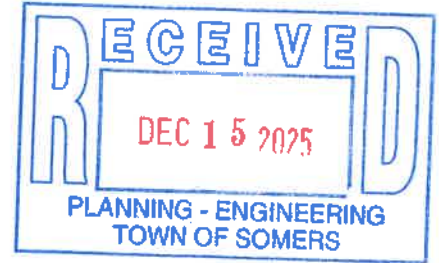
\_\_\_\_\_  
Signature of Owner

Date: 12/10/25

Date: 12/10/25

**AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER**

STATE OF NEW YORK )  
 )  
 ) ss:  
COUNTY OF Westchester )



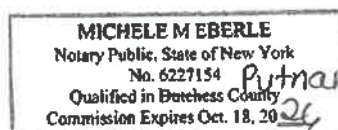
Harrison Cook, being duly sworn, deposes and  
says that he resides at 160 Riverside Blvd., Apt. 35B  
in the County of New York, State of New York  
that he is the member of 247 Route 100, LLC  
(Title)

\_\_\_\_\_  
(Name of Corporation)  
which is the owner in fee of all property shown on plat entitled -----  
\_\_\_\_\_, application for approval of which is  
herein made. That said 247 Route 100, LLC

(Name of Corporation)  
acquired title to the said premises by deed from Samaj Investors Corp.  
recorded in the Office of the Clerk of the County of Westchester  
on 09/05/2023 in Liber \_\_\_\_\_ of Conveyances at Page Control #631793446  
That the statements contained herein are true to the best of deponent's  
knowledge and belief, and are made for the purpose of obtaining the approval of  
the submitted application by the Planning Board of the Town of Somers.

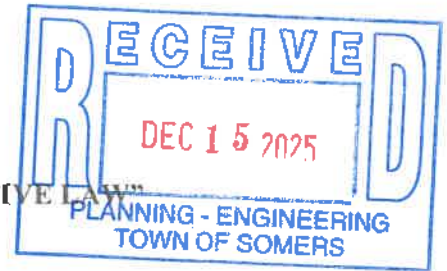
(Signed) 

Sworn to before me this 10th  
day of December, 2025.  
Michelle M. Eberle  
(Notary Public)





**TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
CHAPTER 67 "APPLICATION PROCESSING RESTRICTIVE LAW"**



**CERTIFICATION**

I hereby certify that to the best of my knowledge no outstanding fees are due and owing to the Town of Somers for the following property:

Section 28.10 Block 1 Lot 6.1

Property Address 247 Route 100, Somers, NY 10589

Permit Applying For Amended Site Plan

Furthermore, I hereby certify that to the best of my knowledge no outstanding violation (as that term is defined for the purposes of the Application Processing Restrictive Law, Paragraph 4D) of local laws or ordinances of the Town of Somers exist with respect to the above cited property or any structure or use existing thereon.

Signed [Signature]  
(Owner of Record)

Signed [Signature]  
(Applicant for Permit)

Steve Meadeto  
(Print Name)

Harrison Cook  
(Print Name)

Date 12/10/25

Date 12/10/25

**CONFIRMATIONS**

\_\_\_\_\_  
Engineering Department

Date: \_\_\_\_\_

\_\_\_\_\_  
Zoning Enforcement Officer

Date: \_\_\_\_\_



### APPLICANT ACKNOWLEDGEMENT

By making this application, the undersigned Applicant agrees to permit Town officials and their representatives to conduct on-site inspections in connection with the review of this application.

The applicant also agrees to pay all expenses for the cost of professional review services required for this application, as referred to in §133-1 of the Code of the Town of Somers. As such, an Escrow Account, according to §133-2 of the Code of the Town of Somers, may be required.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant:

A handwritten signature in blue ink, appearing to be "John C. [unclear]".

Date:

12/10/25

Signature of Property Owner:  
(if different from applicant)

A handwritten signature in blue ink, appearing to be "John C. [unclear]".

Date:

12/10/25

OFFICE OF THE TAX RECEIVER

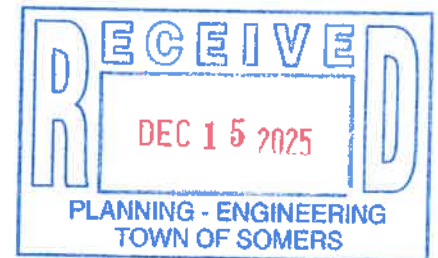
**Town of Somers**

WESTCHESTER COUNTY, N.Y.

Telephone  
(914) 277.3610

Fax  
(914) 277.8932

Michele A. McKearney  
Receiver of Taxes  
mmckearney@somersny.com



335 Route 202  
Town House  
Somers, NY 10589

December 10, 2025

RE: 247 Route 100 LLC.  
243-247 Route 100  
Parcel # 28.10-1-6.1

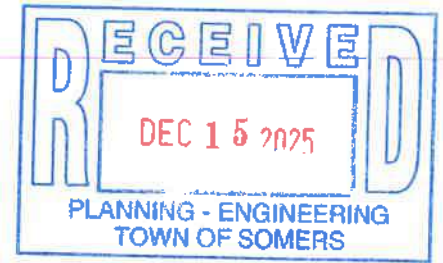
To Whom It May Concern,

All taxes have been paid in full on the above-mentioned parcel. There are no outstanding liens or taxes due as of the date of this letter.

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

Michele McKearney  
Receiver of Taxes



## **Rockledge Center – Site Plan Approval Application**

November 5, 2025

Town of Somers Planning Board

335 Route 202

Somers, NY 10589

Re: Application for Site Plan Approval – Rockledge Center, 247 Route 100 (Building C Addition)

Members of the Planning Board:

Attached please find an application for Site Plan Approval for the construction of an approximately 18,500 square-foot addition to Building C at Rockledge Center, 247 Route 100, Somers, New York.

The proposed building will be utilized as an athletic facility to be occupied by Prodigy Athletics, an existing tenant at Rockledge Center. Due to Prodigy's continued success and growing enrollment, the organization requires additional space to accommodate the demand for its programs. The new building will include three volleyball courts and one indoor mini-turf field, providing enhanced training facilities for youth athletes.

The addition has been designed to integrate seamlessly with the existing Rockledge Center campus, utilizing the existing access drives, utilities, and parking areas. Bibbo & Associates Engineering P.C. will prepare the stormwater design for the project, which will be coordinated with the Town Engineer and developed in accordance with Town and NYSDEC standards.

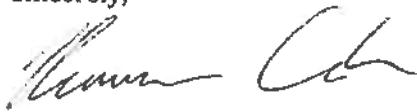
Attached you will also find an updated site plan and a parking study prepared by Barton & Loguidice evaluating the parking requirements for this site. As the Board may recall from the prior site-plan approval and parking waiver granted for Prodigy Athletics, the Town Code's parking ratios more closely reflect a traditional health-club use, whereas volleyball and pickleball facilities generate significantly lower parking demand. Based on the updated analysis and consistent with the Board's prior determination, we are requesting the same waiver of parking requirements for this application.

We also note that the existing site-plan approval provides the Board with discretion to require the construction of additional parking spaces on-site if conditions in the future demonstrate a need. During the prior review, after extensive discussion, the Board concluded that additional paved parking should only be considered in rare overflow situations, and that in such cases temporary parking on grass areas would be preferable to adding impervious surface unlikely to be used on a regular basis. The current proposal remains consistent with that framework.

The existing septic system serving Rockledge Center is rated for 3,000 gallons per day, and current usage across the site is well below 1,000 gallons per day. The new building will connect to the existing system, and projected flows will remain comfortably within its design capacity. Bibo & Associates will coordinate with the Westchester County Department of Health to confirm adequacy and obtain any required approvals prior to construction.

We respectfully request placement on next Planning Board agenda for review of this application. Please let us know if any additional materials are required in advance of the meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Harrison Cook", written over a light blue horizontal line.

Harrison Cook, Member  
247 Route 100 LLC  
914-400-5699

HarrisonCook@HCProperty.Group

## Short Environmental Assessment Form

### Part 1 - Project Information



#### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>							
<b>Name of Action or Project:</b> Prodigy Athletics LLC at Rockledge Center (formerly Pinewood Business Center)							
<b>Project Location (describe, and attach a location map):</b> 247 Rt 100, Somers, NY 10589							
<b>Brief Description of Proposed Action:</b> New building							
<b>Name of Applicant or Sponsor:</b> Michael Piccirillo Architecture		<b>Telephone:</b> 914-368-9838 <b>E-Mail:</b> michael@mpiccirilloarchitect.com					
<b>Address:</b> 345 Kear Street Suite 203							
<b>City/PO:</b> Yorktown Heights		<b>State:</b> NY	<b>Zip Code:</b> 10598				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <td style="width: 50%;">NO</td> <td style="width: 50%;">YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.   a. Total acreage of the site of the proposed action? <span style="float: right;">14.55 acres</span> b. Total acreage to be physically disturbed? <span style="float: right;">0.43 acres</span> c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">26.252 acres</span>							
4. Check all land uses that occur on, are adjoining or near the proposed action: <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;"> <input type="checkbox"/> Urban   <input type="checkbox"/> Rural (non-agriculture)                         </div> <div style="width: 50%;"> <input checked="" type="checkbox"/> Industrial   <input checked="" type="checkbox"/> Commercial   <input checked="" type="checkbox"/> Residential (suburban)                         </div> <div style="width: 50%;"> <input type="checkbox"/> Forest   <input type="checkbox"/> Agriculture                         </div> <div style="width: 50%;"> <input type="checkbox"/> Aquatic   <input type="checkbox"/> Other(Specify):                         </div> <div style="width: 50%;"> <input type="checkbox"/> Parkland                         </div> </div>							

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

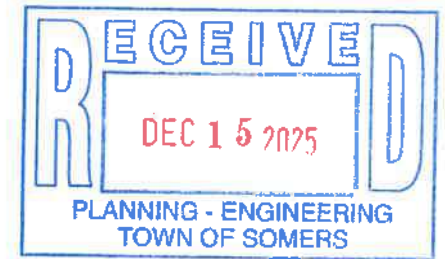
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
WIN Waste Innovations currently operates a waste & recycling facility on the adjacent property to the South	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Michael Piccirillo ARchitecture</u> Date: <u>11/10/25</u> Signature: <u>Michael Piccirillo</u> Title: <u>Architect</u>		





November 19, 2025

Mr. Harrison Cook  
247 Route 100 LLC  
Somers Township, NY 10589



**Re:** 247 Route 100 - Prodigy Athletics Site Plan Approval  
**Subj:** Parking Study Addendum  
**File:** 2824.004.001

Dear Mr. Cook:

## 1. Purpose

This memorandum supplements the *Parking Study Report* dated June 2024 prepared by Barton & Loguidice, DPC (B&L) for the Prodigy Athletics site-plan approval. The purpose of this addendum is to document current operating conditions, incorporate a full week of updated parking data collected in October 2025, and evaluate the effect of the proposed 18,452 SF addition to Building C.

## 2. Updated Site Conditions

- The property now contains 196 striped parking spaces following completion of the RENU access-driveway improvement.
- Approximately 30 land-banked overflow spaces remain available and can be used temporarily during high-attendance events without adding impervious area.
- The site operates at 100 percent occupancy; however, the daycare component (which was located inside building A) has been removed and replaced by RENU Contracting, a light-industrial warehouse use that generates 10 less parking spaces required in accordance with §170-40 of the Town of Somers Zoning Code.
- The primary property land uses currently include:
  - Building A (Office and Warehouse)
  - Building B (Somers Sports Arena)
  - Building C (Prodigy Athletics)



### 3. Updated Parking Survey (October 28 – November 3, 2025)

Parking data was collected at 8 a.m., 2 p.m., and 5 p.m. for seven consecutive days from October 28, 2025 through November 3, 2025. The peak observed use occurred on Thursday, October 30th at 5 p.m. with a total of 95 vehicles parked on site, representing a 48 % occupancy of the available striped parking spaces and 42 % of the total available capacity when overflow areas are included.

**Table 3-1: Observed Parking Utilization (October 28 – November 3, 2025)**

	DATE	TIME	LOT 1	LOT 2	LOT 3	TOTAL SPACES USED	Available Striped Spaces	Overflow Spaces	Parking Spaces Remaining	% Parking Spaces Used
Tue	28-Oct	8AM	56	0	19	75	196	30	151	33%
Tue	28-Oct	2PM	48	0	9	57	196	30	169	25%
Tue	28-Oct	5PM	53	1	38	92	196	30	134	41%
Wed	29-Oct	8AM	45	0	16	61	196	30	165	27%
Wed	29-Oct	2PM	50	0	3	53	196	30	173	23%
Wed	29-Oct	5PM	46	2	32	80	196	30	146	35%
Thu	30-Oct	8AM	40	0	22	62	196	30	164	27%
Thu	30-Oct	2PM	39	0	16	55	196	30	171	24%
Thu	30-Oct	5PM	55	0	40	95	196	30	131	42%
Fri	31-Oct	8AM	44	0	26	70	196	30	156	31%
Fri	31-Oct	2PM	33	0	3	36	196	30	190	16%
Fri	31-Oct	5PM	41	0	35	76	196	30	150	34%
Sat	1-Nov	8AM	7	0	9	16	196	30	210	7%
Sat	1-Nov	2PM	9	0	7	16	196	30	210	7%
Sat	1-Nov	5PM	4	0	12	16	196	30	210	7%
Sun	2-Nov	8AM	4	0	2	6	196	30	220	3%
Sun	2-Nov	2PM	18	0	16	34	196	30	192	15%
Sun	2-Nov	5PM	10	3	40	53	196	30	173	23%
Mon	3-Nov	8AM	42	0	25	67	196	30	159	30%
Mon	3-Nov	2PM	62	0	9	71	196	30	155	31%
Mon	3-Nov	5PM	57	0	35	92	196	30	134	41%
	Average	8AM	34	0	17	51	196	30	175	23%
	Average	2PM	37	0	9	46	196	30	180	20%
	Average	5PM	38	1	33	72	196	30	154	32%

The observed utilization remains consistent with or below 2024 values despite full occupancy of the property, confirming that on-site parking is functioning well within capacity.

### 4. Updated Parking and Use Analysis

#### 4.1 Updated Zoning Comparison – Revised Figure 2-1A

In the original *June 2024 Parking Study*, Table 2-1 included the former daycare facility in Building A. That use has since been replaced by **RENU Contracting**, a light-industrial warehouse tenant that generates 10 less parking spaces required in accordance with §170-40 of the Town of Somers Zoning Code.



Accordingly, Table 2-1 has been updated and restated as Table 2-1A below to reflect the current uses as well as the proposed 18,452 SF athletic addition. The revised table excludes the daycare component and provides the adjusted parking requirement for the active uses on site.

**Table 2-1A – Updated Parking Requirement Summary**

Use	Square Ft	SF PER PKG	Req Per SF	Daytime Use	Weekend & Evening
		Space			Use
Warehouse	18,094	1,000	18	18	0
Office	27,181	250	109	109	0
Athletic Facility	39,500	50	790	28	103
<b>Athletic Facility (proposed)</b>	<b>18,452</b>	<b>50</b>	<b>369</b>	<b>12</b>	<b>50</b>
Required Parking			1,286	167	153
Parking Available	103,227		226	226	226
<b>Difference</b>			<b>-1,060</b>	<b>59</b>	<b>73</b>

The athletic-facility values are based on the actual *observed* operational data from the current site, while the warehouse and office values follow the Town of Somers Zoning Code. The actual observed demand for the warehouse and office uses from this site is lower than the Town of Somers code-based figures. To provide a conservative estimate, the code based figures for the warehouse and office spaces have been utilized to determine the available on-site parking spaces.

#### 4.2 Updated Athletic Use Analysis – Revised Figure 2-2A

Table 2-2 from the June 2024 report has been updated and restated as Table 2-2A to reflect current and proposed athletic programming. The table now incorporates *observed weekday pickleball operations*, distinguishes between Building B and Building C activities, and adds a new line for the proposed Building C addition.

Key updates include:

- Addition of daytime pickleball data for Building C, showing existing weekday use.
- Introduction of a “247 C Daytime Addition” line for the proposed 18,452 SF expansion (three new courts).
- Separate evening/weekend entries for 247 B (soccer, wrestling) and 247 C (volleyball, mezzanine fitness, and new turf).
- Consistent use of athlete parking coefficients as described in the June 2024 study (65 percent for drop-off users) tied to actual practice structure and age group.



- Updated summary of total striped and overflow capacity (196 + 30 = 226 spaces).

**Figure 2-2A – Athletic Facility Parking Summary**

<u>247 C Daytime</u>	<u>Athletes per court</u>	<u>Courts</u>	<u>Athletes</u>	<u>Coaches</u>	<u>Coaches Space</u>	<u>Athlete Parking Coefficient</u>	<u>Coaches &amp; Athletes Spaces</u>
5000 SF in mezz		1	15	2	2	65%	12
Pickle Ball	4	4	16	0	0	100%	16
			31	2	2		28
<u>247 C Daytime Addition</u>	<u>Athletes per court</u>	<u>Courts</u>	<u>Athletes</u>	<u>Coaches</u>	<u>Coaches Space</u>	<u>Athlete Parking Coefficient</u>	<u>Coaches &amp; Athletes Spaces</u>
Pickle Ball	4	3	12	0	0	100%	12
			12	0	0		12
<b>Athletic Parking Required Daytime</b>							<b>40</b>
<u>247 B Evening &amp; weekend</u>	<u>Athletes per court</u>	<u>Courts</u>	<u>Athletes</u>	<u>Coaches</u>	<u>Coaches Space</u>	<u>Athlete Parking Coefficient</u>	<u>Coaches &amp; Athletes Spaces</u>
Soccer	20	2	40	2	2	65%	28
Wrestling	10	2	20	2	2	65%	15
							43
<u>247 C Evening &amp; Weekend</u>	<u>Athletes per court</u>	<u>Courts</u>	<u>Athletes</u>	<u>Coaches</u>	<u>Coaches Space</u>	<u>Athlete Parking Coefficient</u>	<u>Coaches &amp; Athletes Spaces</u>
Volleyball	16	4	64	6	6	65%	48
5000 SF in mezz		1	15	2	2	65%	12
							60
<u>247 C ADDITION Evening &amp; Weekend</u>	<u>Athletes per court</u>	<u>Courts</u>	<u>Athletes</u>	<u>Coaches</u>	<u>Coaches Space</u>	<u>Athlete Parking Coefficient</u>	<u>Coaches &amp; Athletes Spaces</u>
Volleyball	16	3	48	6	6	65%	37
Soccer (Mini Turf)	10	1	20	0	0	65%	13
							50
<b>Athletic Parking Required Evening &amp; Weekend</b>							<b>153</b>
<b>Total Paved / Striped Spaces</b>							<b>196</b>
<b>Additional Grass Overflow Spaces</b>							<b>30</b>
<b>Total Available Parking Spaces</b>							<b>226</b>

The revised figure demonstrates that the peak combined athletic demand is 153 vehicle parking spaces required during the evening and weekend time periods, including the proposed 18,452 SF expansion. The peak demand remains below the total available parking supply of 226 spaces and maintains a surplus of 73 parking spaces during these peak time periods.

## 5. Conclusions

- Parking demand on site remains well below capacity under full occupancy and peak-season conditions with a surplus of 59 and 73 parking spaces during the peak Daytime and Evening/Weekend time periods.
- The removal of the daycare component has further reduced daytime parking demand.
- The 18,452 SF Building C addition can be accommodated without additional paved parking.
- The site continues to justify the waiver of parking requirements granted under §170-41 of the Somers Zoning Code.
- No further striping or expansion of impervious surface is recommended at this time.

If you have any questions or you would like to further discuss the specifics included in this study, please do not hesitate to contact me at 518-218-1801 x2307 or [drouрке@bartonandloguidice.com](mailto:drouрке@bartonandloguidice.com).

Very truly yours,  
BARTON & LOGUIDICE, D.P.C.


  
Daniel J. Rourke, P.E., PTOE  
Associate

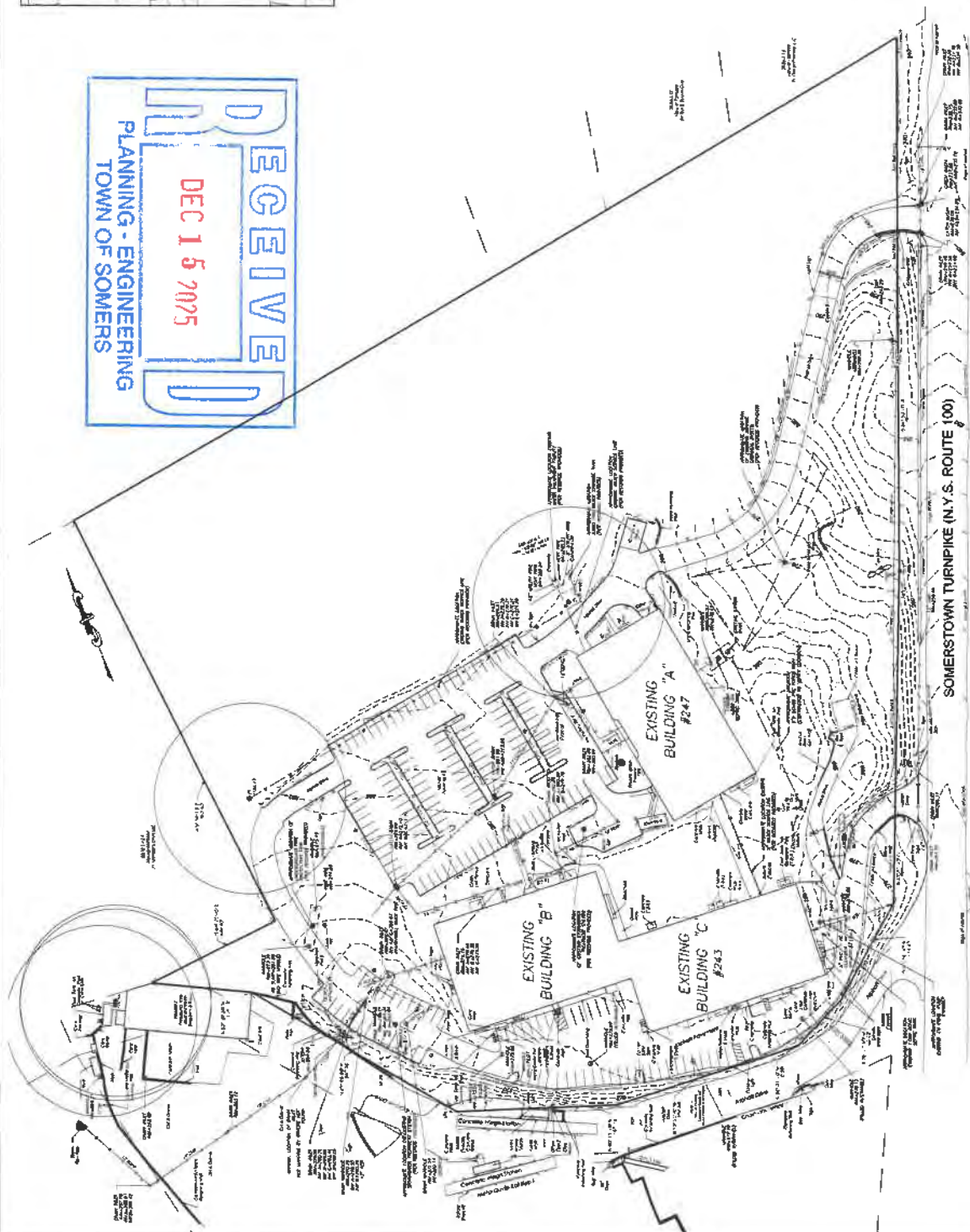
DJR/



### SITE DATA

3. TOTAL AREA OF PARCEL: 11.51 AC.  
4. CORNER REFERENCE:  
AT MOUNTAIN, N.C.  
P.O. BOX 6222  
CAROLINA, N.C. 27012  
5. JOINING DISTANT OUT-OF-STATE AND LIGHT INDUSTRY  
4. PARK A. STREET 26.00, BLOCK 1 LOT 4  
6. SEINTROP  
TO HERBERT'S LANE SUBDIVISION  
294 MONROE ROAD  
PLEASANTVILLE, NY 10979  
8. SURVEY LAST UPDATED SEPTEMBER 18, 2005

DATE	DESCRIPTION	INVOICE DATE	DESCRIPTION	INVOICE
		<b>EXISTING CONDITIONS</b> <b>347 ROUTE 100, LLC.</b> 100% OF SHARE, WEST OXFORD COUNTY, NY		
		DATE: 1/19/07 SCALE: 1" = 30' PROJECT: 2070 DRAWING: 001 SHEET: 001 OF 001 DESIGNED BY: JRM CHECKED BY: JRM DATE: 1/19/07 DRAWN BY: JRM		



**LEGEND**

---	EXISTING 10" CONDUIT
---	EXISTING PROPERTY LINE
---	EXISTING WATER LINE
---	EXISTING SEWER LINE







[illegible]



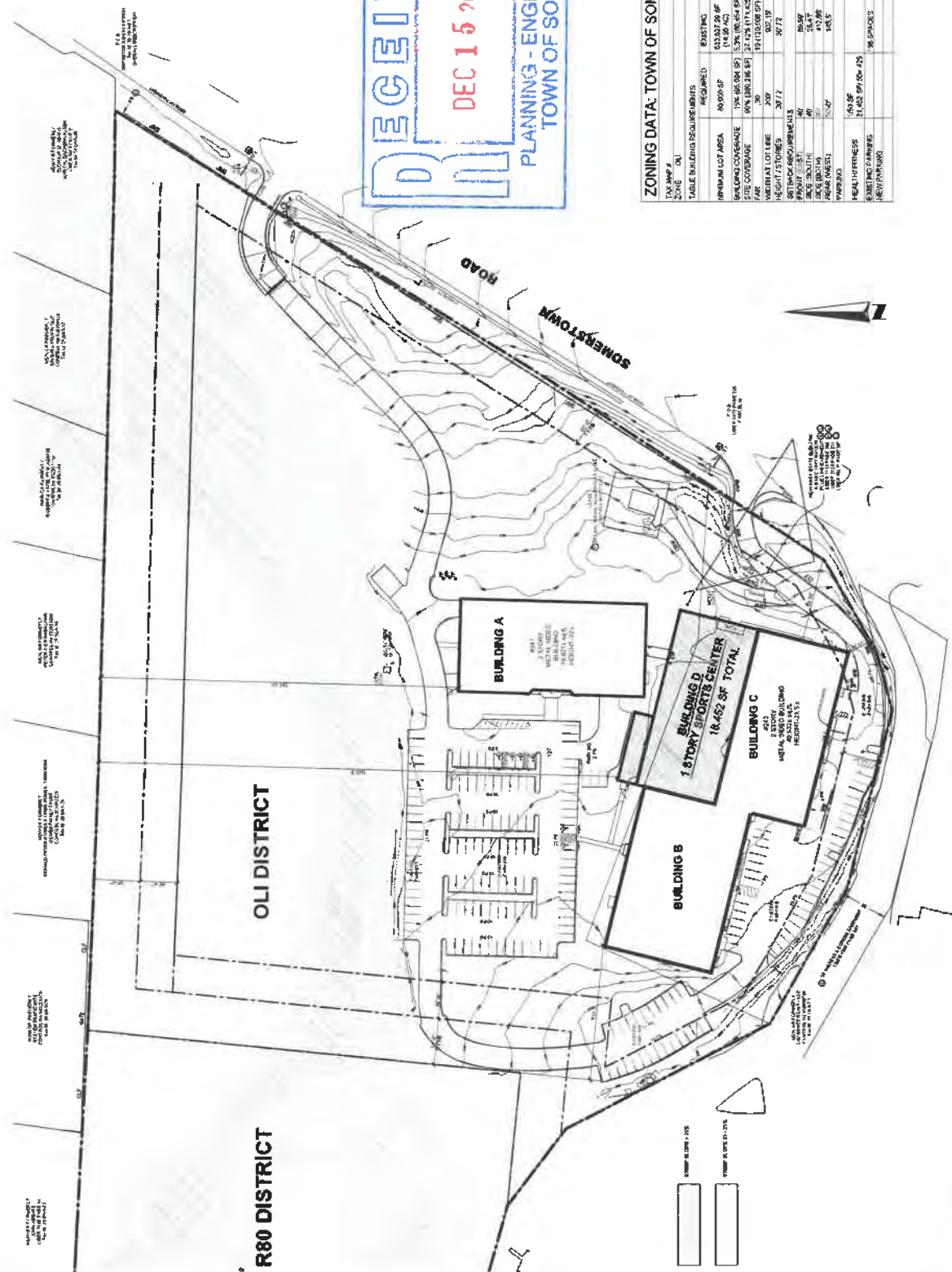


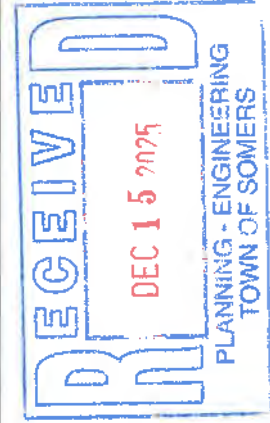


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PLANNING - ENGINEERING  
TOWN OF SOMERS

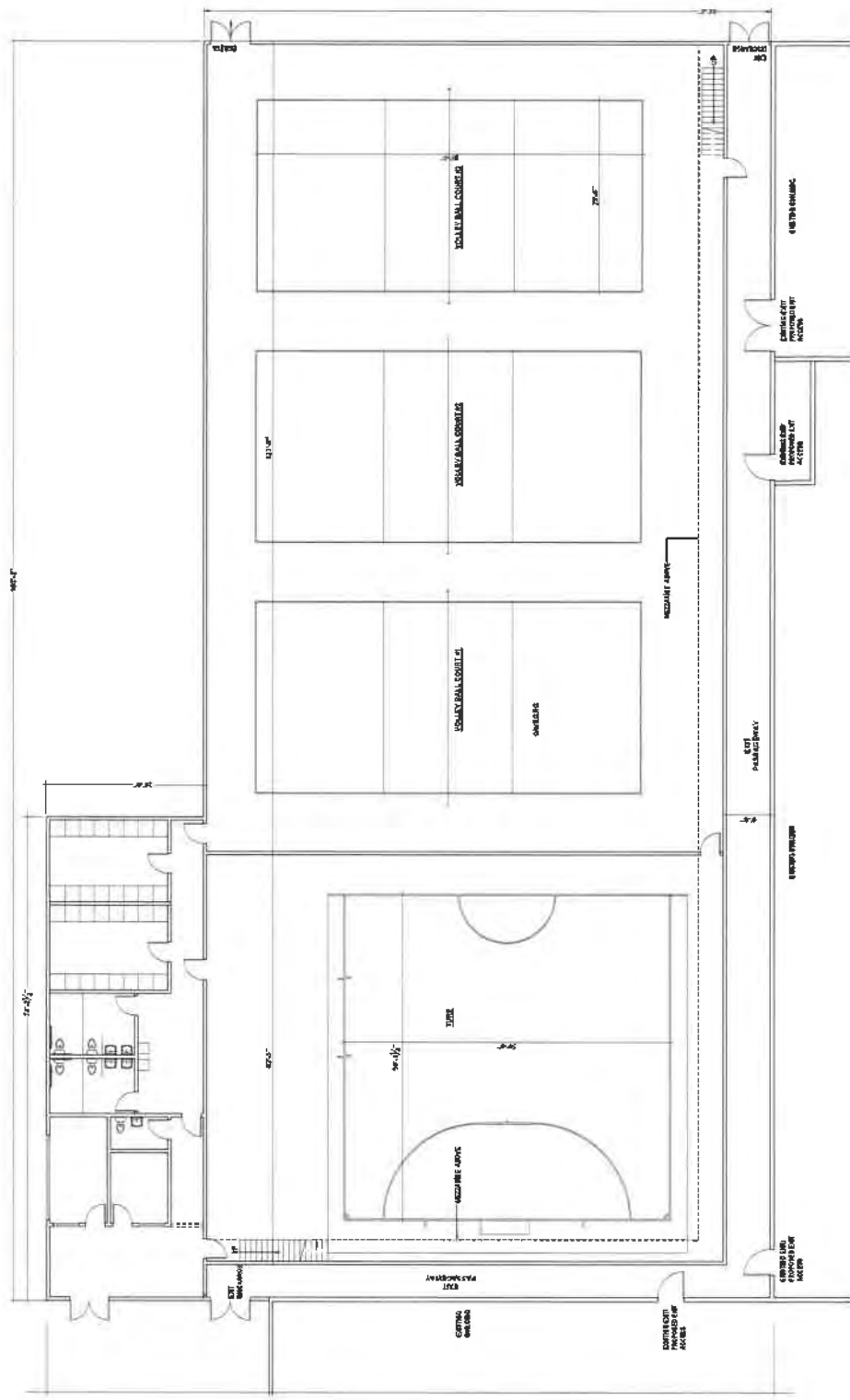
ZONING DATA: TOWN OF SOMERS

TABLE BUILDING REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	80,000 SF	63,037.26 SF (14.58 AC)	NO CHANGE
BUILDING COVERAGE	10% (8,000 SF)	15.7% (10,004 SF)	67.42% (45,000 SF)
SITE COVERAGE	80% (64,000 SF)	21.47% (14,145 SF)	30.0% (19,800 SF)
MINIMUM LOT DEPTH	200'	141.11'	141.11'
MINIMUM LOT WIDE	200'	90.19'	90.19'
HEIGHT RESTRICTIONS	30' / 2	30' / 2	30' / 2
SETBACK REQUIREMENTS			
FRONT SETBACK	0'	0'	0'
REAR SETBACK	0'	0'	0'
SIDE SETBACK	0'	0'	0'
AREA RATIO	2.0	145.5	145.5
MAXIMUM FLOOR AREA	160,000	21,452 SF (49,120)	NO CHANGE
MAXIMUM FLOOR AREA	160,000	21,452 SF (49,120)	NO CHANGE





**MAP**  
Michael P. Pappas, Architect  
1000 Westchester Avenue, Suite 200  
Westchester, NY 10598  
Tel: 914-388-8888  
Fax: 914-388-8889  
www.mppappas.com



**FIRST FLOOR PLAN**  
A 1/8"=1'-0"

NO.	DATE	REVISION
1	10/20/23	ISSUED FOR PER

**PROJECT NAME:**  
SPORTS COMPLEX

**PROJECT ADDRESS:**  
ROUTE 100  
SOMERS, NY



**MICHAEL P. PAPPAS, AIA**  
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TELEPHONE: 914-388-8888  
FACSIMILE: 914-388-8889  
m.p.pappas@townofsomers.com  
www.townofsomers.com

**1ST FLOOR PLAN**

**A-100**





MAD

**Michael Perrella, M.D.** is a board-certified pediatric endocrinologist and a professor of pediatrics at the University of California, San Francisco. He is also the medical director of the Pediatric Endocrinology Clinic at the University of California, San Francisco.

Year	1990	2000
Age 18-24	1	1

PROJECT NAME: SPORTS COMPLEX

**PROJECT ADDRESS:**  
ROUTE 100  
SOMERS, NY



**MICHAEL A. PICCOLLO, AIA**  
345 KEAR STREET, SUITE 203  
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[www.mpiccolloarchitect.com](http://www.mpiccolloarchitect.com)

MEZZANINE  
FLOOR PLAN

A-101



**A** **MEZZANINE FLOOR PLAN**  
1/8"=1'-0"

# MAP

Michael P. Perrella Architects

100 WEST STREET, SUITE 200  
NEW YORK, NY 10038  
TEL: 212-512-1000  
WWW.MPPA.COM

NO. 1000  
1. 100000  
DATE: 06/14/14

PROJECT NAME

SPORTS COMPLEX

PROJECT ADDRESS:  
ROUTE 100  
SOMERS, NY

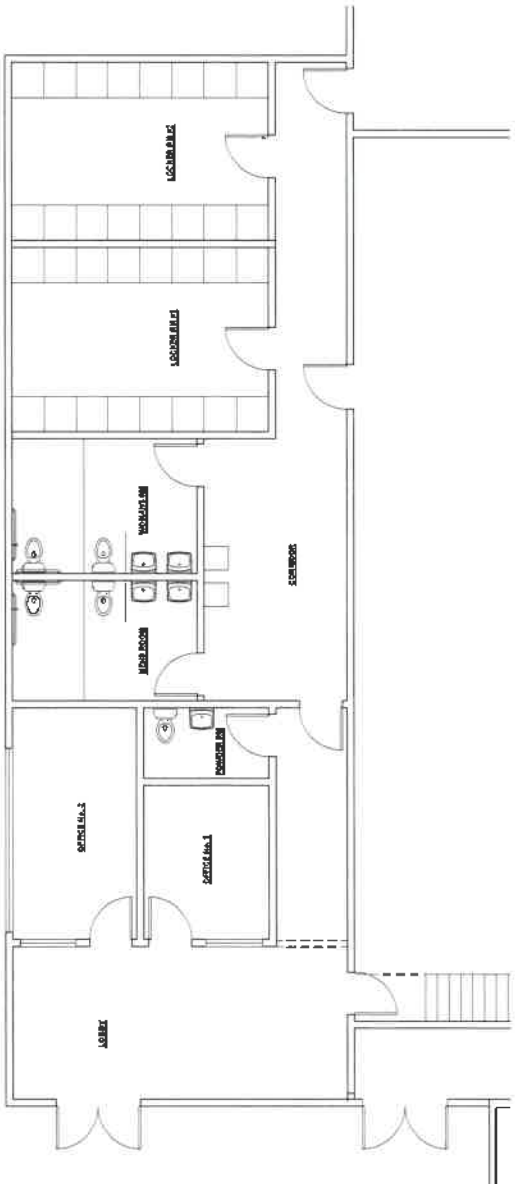


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michael.pocorillo@mapa.com  
www.mapa.com

ENLARGED  
FLOOR PLAN

A-103

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TOWN OF SOMERS



1 ENLARGED FLOOR PLAN  
1/4"=1'-0"

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DEC 15 2025

PLANNING - ENGINEERING  
TOWN OF SOMERS

MAP

Michael Piccinillo Architecture  
340 KEAR STREET, SUITE 203  
ROCKLEDGE HEIGHTS, NY 10896  
TELEPHONE: 914-262-9933  
FACSIMILE: 914-262-9939  
www.mpiccinilloarchitect.com

NO.	DATE	ISSUE
1	10/20/25	ISSUED FOR BID

PROJECT NAME:  
ROCKLEDGE  
CENTER

PROJECT ADDRESS:  
247 ROUTE 90  
SOMERS, NY 10589



MICHAEL A. PICCINILLO, AIA  
340 KEAR STREET, SUITE 203  
ROCKLEDGE HEIGHTS, NY 10896  
TELEPHONE: 914-262-9933  
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www.mpiccinilloarchitect.com

ELEVATIONS

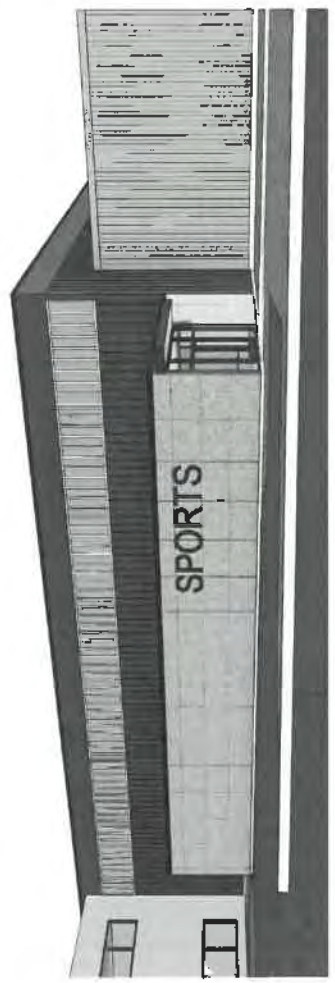
A200



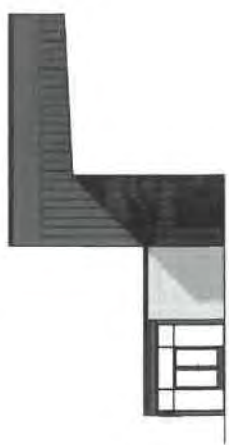
1 NORTH ELEVATION  
1/8" = 1'-0"



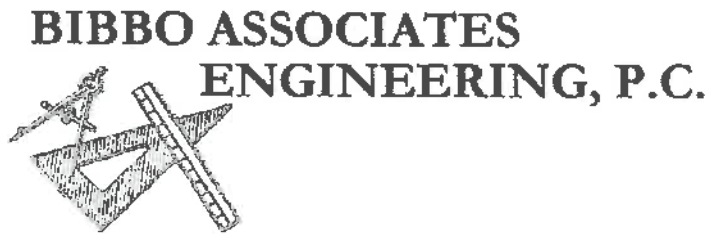
3 EAST ELEVATION  
1/8" = 1'-0"



2 3D View 2



4 WEST ELEVATION  
1/8" = 1'-0"



Timothy S. Allen, P.E.  
Nicholas Gaboury, P.E.  
Matthew J. Gironda, P.E.



**Stormwater Pollution Prevention Plan**

**247 Route 100, LLC.  
247 Route 100  
Somers (T)**

Prepared By:



Date: November 26, 2025

Matthew J. Gironda, P.E.  
N.Y.S. License #: 096030

Project ID: 25176

*Site Design • Environmental*

Mill Pond Offices • 293 Route 100 • Suite 203 • Somers, New York 10589

Phone: 914.277.5805 • Fax: 914.277.8210

Website: [www.bibboassociates.com](http://www.bibboassociates.com) • E-mail: [bibbo@bibboassociates.com](mailto:bibbo@bibboassociates.com)

## **CONTACT INFORMATION AND CERTIFICATION**

### **APPLICANT:**

247 Route 100, LLC.  
247 Route 100  
Somers, NY 10589

### **PERSON(S) RESPONSIBLE FOR SWPPP IMPLEMENTATION:**

Persons listed above

### **PERSON(S) RESPONSIBLE FOR PERIODIC INSPECTION OF SITE WORK:**

Bibbo Associates Engineering, P.C.  
293 Route 100 – Suite 203  
Somers, NY 10589  
(914) 277-5805  
ATTN: Matthew J. Girona, P.E.

“We certify under penalty of law that this document and all attachments were prepared under our direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on our inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of our knowledge and belief, true, accurate, and complete. We are aware that false statements made herein are punishable as a class A misdemeanor pursuant to Section 210.45 of the Penal Law.”

---

247 Route 100, LLC.



**Project Information:**

Project Title: 247 Route 100, LLC.  
Project Address: 247 Route 100, Somers, NY 10589  
Tax Map Number: Sheet 28.10, Block 1, Lot 6.1  
Project Area: 14.51 +/- Acres

**Applicant/Owner Information:**

Owner/ Applicant Name: 247 Route 100, LLC.  
Owner/Applicant Address: 247 Route 100, Somers, NY 10589  
Owner/Applicant Phone:

**Certifying Engineer Information:**

Engineer: Matthew J. Gironda, P.E.  
Engineering Firm: Bibbo Associates Engineering, P.C.  
Engineering Firm Address: 293 Rt. 100, Suite 203  
Somers, N.Y. 10589  
Engineering Firm Phone: 914-277-5805  
Engineering Firm Fax: 914-277-8210  
Engineering Firm Email: mgironda@bibboassociates.com

**Short-Term Responsible Party for SWPPP Implementation:**

Short-term responsible parties for SWPPP Implementation will be the Owner.

**Long-Term Responsible Party for SWPPP Implementation:**

Long-term responsible parties for SWPPP Implementation will be the Owner.

**Table of Contents:**

***1.0 Project Description***

- 1.1 Existing Conditions
- 1.2 Proposed Conditions
- 1.3 Post Construction Stormwater Management

***2.0 Erosion & Sediment Control***

- 2.1 Temporary Erosion & Sediment Control Practices
- 2.2 Permanent Erosion & Sediment Control Practices

***3.0 Maintenance & Inspection Requirements***

- 3.1 Short Term Maintenance & Inspection Requirements
- 3.2 Long Term Maintenance & Inspection Requirements

***4.0 Climate Change***

***5.0 Conclusion***

Appendix A: HydroCAD Peak Flow Analysis

Appendix B: Hydrologic Soil Map

Appendix C: Map of Historic Places & Archeologically Sensitive Areas

**1.0 Project Description:**

The subject project consists of the construction of a proposed indoor sports facility, reconfiguring of an existing parking area, and associated features. For the purposes of stormwater management, runoff from the proposed roof will be collected and piped to an underground infiltration system.

The proposed area of disturbance for the project is 0.85 acres, and the site is located within the New York City Watershed. As such, coverage under the NYSDEC SPDES General permit for Stormwater Discharges from Construction Activity (GP-0-25-001) is required. A SWPPP specifying only erosion and sediment control measures is required to obtain general permit coverage. Assuming a timely permitting process construction is anticipated to begin in Spring of 2026. The ultimate build out will take approximately 12 months.

**1.1 Existing Site Conditions:**

The subject property is located on the west side of Somerstown Turnpike (NYS Route 100). The site consists of a total of 14.51 acres  $\pm$  and is currently developed as an indoor sports facility and offices. Access to the property currently exists from Route 100.

The majority of the site is developed. Slopes onsite range from moderate to steep, surface runoff from the property generally flows to the south. The soils onsite in the proposed disturbance area consist of Charlton-Chatfield Complex (Hydrologic Soil Group "B").

**1.2 Proposed Site Conditions:**

As noted previously, the subject project consists of the construction of proposed indoor sports facility. The proposed improvements will be served via an existing water treatment system and onsite wastewater treatment system. Additional site improvements will consist of the construction of a stormwater management system to collect runoff from the proposed roof area. The proposed site improvements are not anticipated to have any adverse impacts on neighboring properties or downstream waterbodies. The project will not affect any property listed on the State or National Register of Historic Places. A map showing historic places in the vicinity of the project can be found in Appendix "C".

The proposed construction sequence is as follows:

1. Pre-construction meeting
2. Install all silt fencing shown on the approved plans and cordon off proposed infiltration system with construction fencing.
3. Begin construction of building.
4. Install subsurface infiltration system and complete exterior site improvements.
5. The site contractor shall take care to implement such erosion control practices as necessary to avoid deposition of silt beyond each lot boundary.
6. Maintain all erosion controls in proper working order through the duration of construction. Erosion controls are to be removed at the direction of the town engineer or building inspector upon completion of construction.

### **1.3 Post Construction Stormwater Management**

Although not required by the NYSDEC SPDES General Permit as site disturbance is proposed not to exceed 1-acre, post construction stormwater management has been provided for runoff from the roof area of the proposed 18,450 sf +/- indoor sports facility. In order to mitigate potential stormwater impacts to the downstream properties as a result of the development, a subsurface infiltration system has been proposed which has been sized based on the peak runoff rates generated by the 10-year storm event, for which calculations are included in Appendix A.

A peak flow analysis was completed for the subject property in the pre and post development conditions (refer to appendix A), which demonstrates that the proposed stormwater management system achieves the required peak flow attenuation. A summary of the pre vs post development peak flows is provided below.

<b>TABLE 1</b> <b>100 Year Storm - Peak Flow Summary</b>		
<b>Design Line</b>	<b>Pre-Development Peak Runoff (cfs)</b>	<b>Post-Development Peak Runoff (cfs)</b>
DL 1	1.2	1.2

### **2.0 Erosion & Sediment Control:**

The plans provide for specific erosion and sediment controls to be employed during construction. It is the intent to provide effective erosion control by minimizing land disturbance at one given time, containing sediment from disturbed areas, treating runoff where possible, and stabilizing disturbed soils as soon as possible. The directives specified on the plans and in this report serve as a minimum for erosion and sediment control. All erosion and sediment control practices specified for this site shall be in conformance with the New York Standards & Specifications for Erosion & Sediment Control.

Per Part I.B.1.b of the General Permit, in areas where soil disturbance activity has temporarily or permanently ceased, the application of soil stabilization measures must be initiated by the end of the next business day and completed within seven (7) days from the date the current soil disturbance activity ceased. Per Chapter 863, Article XXVIII of the Westchester County Code of Ordinances, no fertilizer containing more than 0% phosphorus shall be used unless testing confirms the need for additional phosphorus.

Proper soil restoration techniques shall be conducted where soil disturbance occurs onsite in accordance with the specifications set forth in Chapter 5 of the New York State Stormwater Management Design Manual (NYSSMDM). At a minimum, the following soil restoration measures should be taken during construction. A new 6" layer of topsoil shall be spread wherever the existing topsoil has been stripped. De-compaction shall be performed in areas that experience

heavy traffic during construction and existing impervious areas which are to be converted to pervious areas.

### **2.1 Temporary Erosion & Sediment Control Practices:**

Listed below are the Temporary Erosion & Sediment Control Practices specified on the Erosion Control Plan. All practices shall be installed and maintained in conformance with the New York Standards & Specifications for Erosion & Sediment Control:

- Silt Fence
- Soil Stockpile
- Debris/Litter Control

Silt fence for the site will consist of a geotextile fabric installed at the toe of all disturbed slopes, and parallel to the contours. The silt fence is intended to reduce runoff velocity, and intercept sediment-laden runoff. Construction details specifying the proposed installation and type of permissible silt fence can be found on the plans.

Soil stockpiles are to be stabilized with vegetation and surrounded with silt fencing. This will ensure the topsoil that is stripped from the site during construction will be protected for use during final grading and that no sediment from the stockpiles will be deposited downstream.

Construction debris/litter, such as sheet metal and wood scrap, paper and insulation products, styrofoam cups and paper wrappers which could become windblown litter over and off the site if neglected. Suitable and ample refuse containers shall be provided on the site and emptied when full. Any scattered debris or litter shall be picked up and placed in containers on a continuous basis. There will be no storage of construction chemicals on site.

### **2.2 Permanent Erosion & Sediment Control Practices:**

The intent of the permanent erosion and sediment control practices is to permanently stabilize the ground surface via vegetative and structural practices, while controlling and reducing runoff velocities.

The following permanent erosion and sediment control practices are proposed for the site:

- Land Grading
- Vegetative Cover

Land grading is the reshaping of the existing land surface in accordance with the grading plan. Proper land grading is an essential component of the erosion control plan as well as the stormwater pollution prevention plan. Proper grading will ensure the intended drainage areas are directed to the stormwater management practice.

Vegetation will be provided on all disturbed soils not covered by the proposed driveway. Permanent vegetation will reduce runoff velocities, filter stormwater runoff and minimize soil erosion. Optimum times for planting are the early spring and fall; however, planting can be started in the summer, provided that adequate mulch and moisture are supplied.

### **3.0 Maintenance & Inspection Requirements:**

In accordance with Town of Somers requirements the applicant, developer, or their representative shall be onsite at all times when construction or grading activity takes place and shall inspect and document the effectiveness of all erosion and sediment control practices.

Upon completion of construction, maintenance and inspections are expected to be minimal. Temporary and permanent maintenance and inspection requirements are further discussed below. Proper maintenance and inspections will ensure the longevity and effectiveness of the stormwater pollution prevention plan, and subsequent erosion and sediment control measures.

The Town of Somers Stormwater Management Officer may require inspections as necessary to determine compliance with Chapter 93 of the Somers Town Code and may either approve that portion of the work completed or notify the applicant wherein the work fails to comply with the requirements of Chapter 93 and the stormwater pollution prevention plan (SWPPP) as approved. To obtain inspections, the applicant shall notify the Town of Somers enforcement official at least 48 hours before any of the following as required by the Stormwater Management Officer;

- 1) Start of Construction
- 2) Installation of sediment and erosion control measures
- 3) Completion of site clearing
- 4) Completion of rough grading
- 5) Completion of final grading
- 6) Close of construction season
- 7) Completion of final landscaping
- 8) Successful establishment of landscaping in public areas.

### **3.1 Short Term Maintenance and Inspection Requirements:**

Inspections performed during construction by a "Trained Contractor" should verify all practices are functioning properly, correctly maintained, and accumulated sediment is removed from all control structures. The "Trained Contractor" must also examine the site for any evidence of soil erosion, the potential for pollutants to enter the storm drain system, turbid discharge at all outfalls, and the potential for soil and mud to be transported on the public roadway at the site entrance. Per Part IV.B.1 of the General Permit, the Trained Contractor must inspect erosion and sediment control practices in active work areas daily. In addition to these general guidelines, the project plans will provide more specific erosion control guidelines, as well as a construction sequence to guide the contractor through the construction process. Discussed below are specific maintenance and inspection requirements for the temporary practices to be employed at the site.

During construction, the silt fence should be inspected to ensure correct installation. In addition, any accumulated sediment resulting in "bulges" in the silt fence should be removed and mixed with onsite soil. Any damaged or torn silt fence should be replaced.

The construction entrance should be checked to ensure no sediment is being deposited onto the roadway. Should sediment be observed, it should be removed from the street, and the stone in the construction entrance replaced.

Once construction is completed and the site has been stabilized limited maintenance requirements are anticipated.

**3.2 Long Term Maintenance and Inspection Requirements:**

Long-term maintenance is expected to be minimal once final stabilization is achieved. Maintenance inspections should be performed annually, at a minimum, and after significant rainstorm events.

**4.0 Climate Change:**

Pursuant to 6 NYCRR Part 490, this project will not significantly impact potential climate change risks per Part 490. The project has been designed and planned at an elevation above all flood risks incorporating post-construction conveyance systems.

**5.0 Conclusion:**

The erosion and sediment control practices specified herein were designed in accordance with the New York State Standards and Specifications for Erosion and Sediment Control and shall result in effectively mitigating any potential adverse impact of increased runoff during construction.

**Appendix A:**  
***HydroCAD Peak Flow Analysis***





Pre Development



Post Development



Diversion Structure



Infiltrators



Routing Diagram for 247 Route 100

Prepared by Bibbo Associates, llp., Printed 11/24/2025

HydroCAD® 10.00-24 s/n 02226 © 2018 HydroCAD Software Solutions LLC

**247 Route 100**

Prepared by Bibbo Associates, llp.

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Page 2

**Area Listing (all nodes)**

Area (acres)	CN	Description (subcatchment-numbers)
0.361	69	50-75% Grass cover, Fair, HSG B (1S)
0.062	98	Exist. Imp. (1S)
0.424	98	Proposed Building (2S)
<b>0.847</b>	<b>86</b>	<b>TOTAL AREA</b>

**247 Route 100**

Prepared by Bibbo Associates, llp.

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Type III 24-hr 10-year storm Rainfall=5.25"

Printed 11/24/2025

Page 3

Time span=0.00-72.00 hrs, dt=0.05 hrs, 1441 points

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN

Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

**Subcatchment1S: Pre Development**

Runoff Area=18,452 sf 14.74% Impervious Runoff Depth=2.48"

Tc=6.0 min CN=73 Runoff=1.20 cfs 0.087 af

**Subcatchment2S: Post Development**

Runoff Area=18,452 sf 100.00% Impervious Runoff Depth=5.01"

Tc=6.0 min CN=98 Runoff=2.13 cfs 0.177 af

**Pond 3P: Infiltrators**

Peak Elev=272.86' Storage=0.031 af Inflow=0.99 cfs 0.141 af

Outflow=0.19 cfs 0.141 af

**Pond 4P: Diversion Structure**

Peak Elev=273.07' Inflow=2.13 cfs 0.177 af

Primary=0.99 cfs 0.141 af Secondary=1.20 cfs 0.036 af Outflow=2.13 cfs 0.177 af

**Total Runoff Area = 0.847 ac Runoff Volume = 0.264 af Average Runoff Depth = 3.75"**  
**42.63% Pervious = 0.361 ac 57.37% Impervious = 0.486 ac**

**247 Route 100**

Prepared by Bibbo Associates, llp.

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Type III 24-hr 10-year storm Rainfall=5.25"

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Page 4

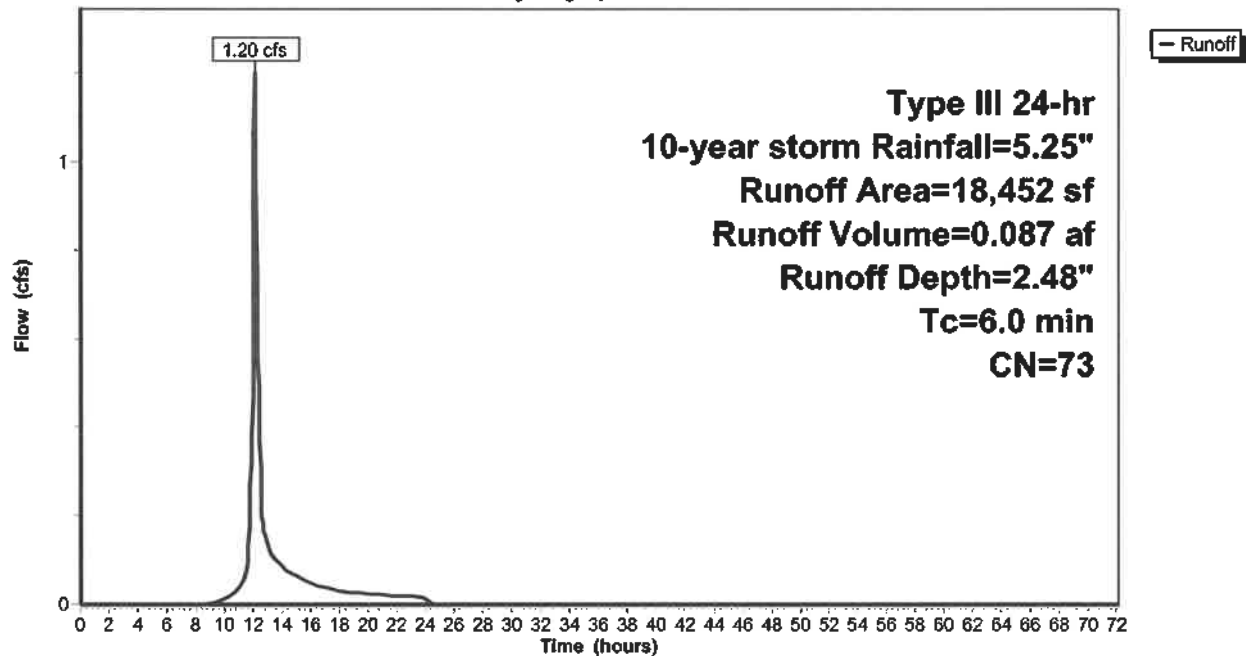
**Summary for Subcatchment 1S: Pre Development**

Runoff = 1.20 cfs @ 12.09 hrs, Volume= 0.087 af, Depth= 2.48"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
Type III 24-hr 10-year storm Rainfall=5.25"

Area (sf)	CN	Description
* 2,720	98	Exist. Imp.
15,732	69	50-75% Grass cover, Fair, HSG B
18,452	73	Weighted Average
15,732		85.26% Pervious Area
2,720		14.74% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

**Subcatchment 1S: Pre Development****Hydrograph**

**247 Route 100**

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Type III 24-hr 10-year storm Rainfall=5.25"

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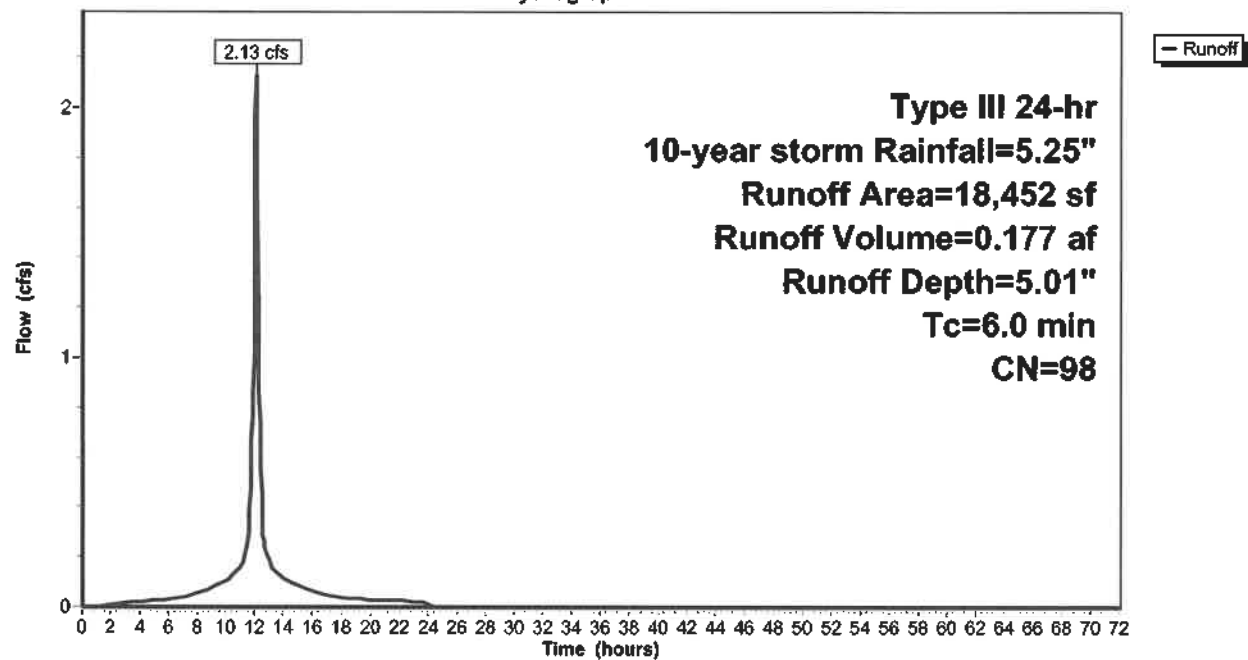
**Summary for Subcatchment 2S: Post Development**

Runoff = 2.13 cfs @ 12.09 hrs, Volume= 0.177 af, Depth= 5.01"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
Type III 24-hr 10-year storm Rainfall=5.25"

Area (sf)	CN	Description
* 18,452	98	Proposed Building
18,452		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry,

**Subcatchment 2S: Post Development****Hydrograph**

**247 Route 100**

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Type III 24-hr 10-year storm Rainfall=5.25"

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**Summary for Pond 3P: Infiltrators**

Inflow Area = 0.424 ac, 100.00% Impervious, Inflow Depth = 4.00" for 10-year storm event  
 Inflow = 0.99 cfs @ 12.01 hrs, Volume= 0.141 af  
 Outflow = 0.19 cfs @ 11.35 hrs, Volume= 0.141 af, Atten= 81%, Lag= 0.0 min  
 Discarded = 0.19 cfs @ 11.35 hrs, Volume= 0.141 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 Peak Elev= 272.86' @ 12.34 hrs Surf.Area= 0.019 ac Storage= 0.031 af

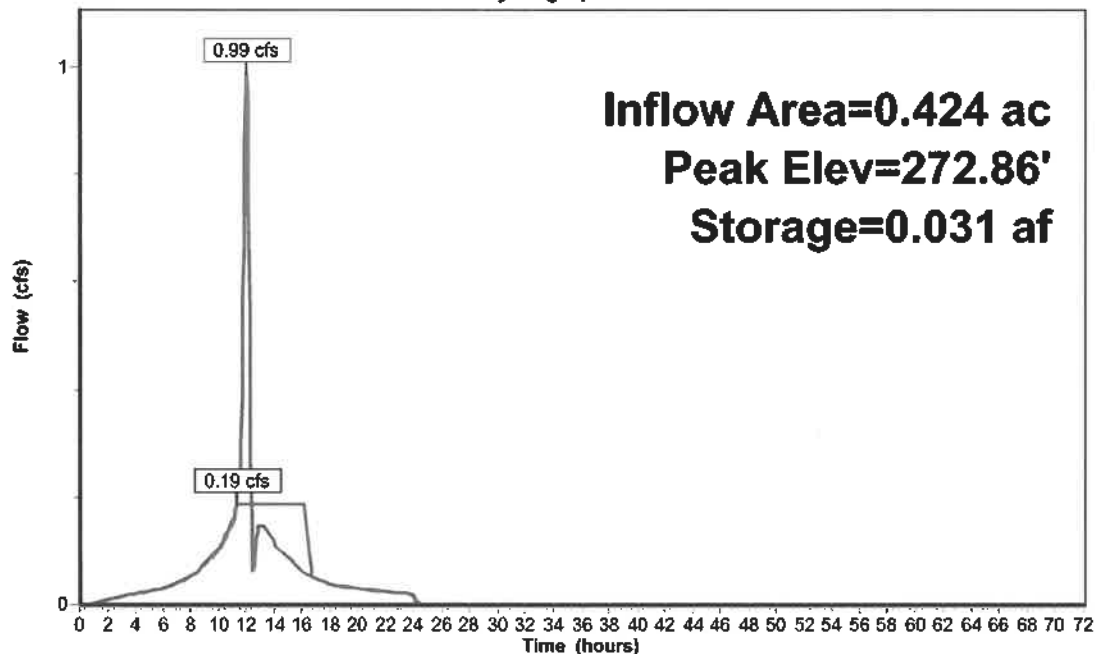
Plug-Flow detention time= 38.6 min calculated for 0.141 af (100% of inflow)  
 Center-of-Mass det. time= 38.6 min ( 788.4 - 749.7 )

Volume	Invert	Avail.Storage	Storage Description
#1A	270.50'	0.016 af	<b>25.67'W x 31.50'L x 3.54'H Field A</b> 0.066 af Overall - 0.025 af Embedded = 0.041 af x 40.0% Voids
#2A	271.00'	0.025 af	<b>Cultec R-330XLHD x 20 Inside #1</b> Effective Size= 47.8"W x 30.0"H => 7.45 sf x 7.00'L = 52.2 cf Overall Size= 52.0"W x 30.5"H x 8.50'L with 1.50' Overlap Row Length Adjustment= +1.50' x 7.45 sf x 5 rows
		0.041 af	<b>Total Available Storage</b>

Storage Group A created with Chamber Wizard

Device	Routing	Invert	Outlet Devices
#1	Discarded	270.50'	<b>10.000 in/hr Exfiltration over Surface area</b> Phase-In= 0.10'

**Discarded OutFlow** Max=0.19 cfs @ 11.35 hrs HW=270.62' (Free Discharge)  
 1=Exfiltration (Exfiltration Controls 0.19 cfs)

**Pond 3P: Infiltrators****Hydrograph**

**247 Route 100**

Prepared by Bibbo Associates, llp.

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Type III 24-hr 10-year storm Rainfall=5.25"

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**Stage-Area-Storage for Pond 3P: Infiltrators**

Elevation (feet)	Surface (acres)	Storage (acre-feet)	Elevation (feet)	Surface (acres)	Storage (acre-feet)	Elevation (feet)	Surface (acres)	Storage (acre-feet)
270.50	0.019	0.000	271.82	0.019	0.016	273.14	0.019	0.034
270.52	0.019	0.000	271.84	0.019	0.016	273.16	0.019	0.034
270.54	0.019	0.000	271.86	0.019	0.017	273.18	0.019	0.035
270.56	0.019	0.000	271.88	0.019	0.017	273.20	0.019	0.035
270.58	0.019	0.001	271.90	0.019	0.017	273.22	0.019	0.035
270.60	0.019	0.001	271.92	0.019	0.018	273.24	0.019	0.035
270.62	0.019	0.001	271.94	0.019	0.018	273.26	0.019	0.035
270.64	0.019	0.001	271.96	0.019	0.018	273.28	0.019	0.036
270.66	0.019	0.001	271.98	0.019	0.019	273.30	0.019	0.036
270.68	0.019	0.001	272.00	0.019	0.019	273.32	0.019	0.036
270.70	0.019	0.001	272.02	0.019	0.019	273.34	0.019	0.036
270.72	0.019	0.002	272.04	0.019	0.019	273.36	0.019	0.036
270.74	0.019	0.002	272.06	0.019	0.020	273.38	0.019	0.036
270.76	0.019	0.002	272.08	0.019	0.020	273.40	0.019	0.037
270.78	0.019	0.002	272.10	0.019	0.020	273.42	0.019	0.037
270.80	0.019	0.002	272.12	0.019	0.021	273.44	0.019	0.037
270.82	0.019	0.002	272.14	0.019	0.021	273.46	0.019	0.037
270.84	0.019	0.003	272.16	0.019	0.021	273.48	0.019	0.037
270.86	0.019	0.003	272.18	0.019	0.021	273.50	0.019	0.037
270.88	0.019	0.003	272.20	0.019	0.022	273.52	0.019	0.038
270.90	0.019	0.003	272.22	0.019	0.022	273.54	0.019	0.038
270.92	0.019	0.003	272.24	0.019	0.022	273.56	0.019	0.038
270.94	0.019	0.003	272.26	0.019	0.023	273.58	0.019	0.038
270.96	0.019	0.003	272.28	0.019	0.023	273.60	0.019	0.038
270.98	0.019	0.004	272.30	0.019	0.023	273.62	0.019	0.038
271.00	0.019	0.004	272.32	0.019	0.024	273.64	0.019	0.038
271.02	0.019	0.004	272.34	0.019	0.024	273.66	0.019	0.039
271.04	0.019	0.004	272.36	0.019	0.024	273.68	0.019	0.039
271.06	0.019	0.005	272.38	0.019	0.024	273.70	0.019	0.039
271.08	0.019	0.005	272.40	0.019	0.025	273.72	0.019	0.039
271.10	0.019	0.005	272.42	0.019	0.025	273.74	0.019	0.039
271.12	0.019	0.006	272.44	0.019	0.025	273.76	0.019	0.039
271.14	0.019	0.006	272.46	0.019	0.025	273.78	0.019	0.039
271.16	0.019	0.006	272.48	0.019	0.026	273.80	0.019	0.040
271.18	0.019	0.006	272.50	0.019	0.026	273.82	0.019	0.040
271.20	0.019	0.007	272.52	0.019	0.026	273.84	0.019	0.040
271.22	0.019	0.007	272.54	0.019	0.027	273.86	0.019	0.040
271.24	0.019	0.007	272.56	0.019	0.027	273.88	0.019	0.040
271.26	0.019	0.008	272.58	0.019	0.027	273.90	0.019	0.040
271.28	0.019	0.008	272.60	0.019	0.027	273.92	0.019	0.041
271.30	0.019	0.008	272.62	0.019	0.028	273.94	0.019	0.041
271.32	0.019	0.009	272.64	0.019	0.028	273.96	0.019	0.041
271.34	0.019	0.009	272.66	0.019	0.028	273.98	0.019	0.041
271.36	0.019	0.009	272.68	0.019	0.028	274.00	0.019	0.041
271.38	0.019	0.010	272.70	0.019	0.029	274.02	0.019	0.041
271.40	0.019	0.010	272.72	0.019	0.029	274.04	0.019	0.041
271.42	0.019	0.010	272.74	0.019	0.029			
271.44	0.019	0.010	272.76	0.019	0.030			
271.46	0.019	0.011	272.78	0.019	0.030			
271.48	0.019	0.011	272.80	0.019	0.030			
271.50	0.019	0.011	272.82	0.019	0.030			
271.52	0.019	0.012	272.84	0.019	0.031			
271.54	0.019	0.012	272.86	0.019	0.031			
271.56	0.019	0.012	272.88	0.019	0.031			
271.58	0.019	0.013	272.90	0.019	0.031			
271.60	0.019	0.013	272.92	0.019	0.032			
271.62	0.019	0.013	272.94	0.019	0.032			
271.64	0.019	0.014	272.96	0.019	0.032			
271.66	0.019	0.014	272.98	0.019	0.032			
271.68	0.019	0.014	273.00	0.019	0.032			
271.70	0.019	0.014	273.02	0.019	0.033			
271.72	0.019	0.015	273.04	0.019	0.033			
271.74	0.019	0.015	273.06	0.019	0.033			
271.76	0.019	0.015	273.08	0.019	0.033			
271.78	0.019	0.016	273.10	0.019	0.034			
271.80	0.019	0.016	273.12	0.019	0.034			



**Summary for Pond 4P: Diversion Structure**

Inflow Area = 0.424 ac, 100.00% Impervious, Inflow Depth = 5.01" for 10-year storm event  
 Inflow = 2.13 cfs @ 12.09 hrs, Volume= 0.177 af  
 Outflow = 2.13 cfs @ 12.09 hrs, Volume= 0.177 af, Atten= 0%, Lag= 0.0 min  
 Primary = 0.99 cfs @ 12.01 hrs, Volume= 0.141 af  
 Secondary = 1.20 cfs @ 12.10 hrs, Volume= 0.036 af

Routing by Dyn-Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs  
 Peak Elev= 273.07' @ 12.10 hrs

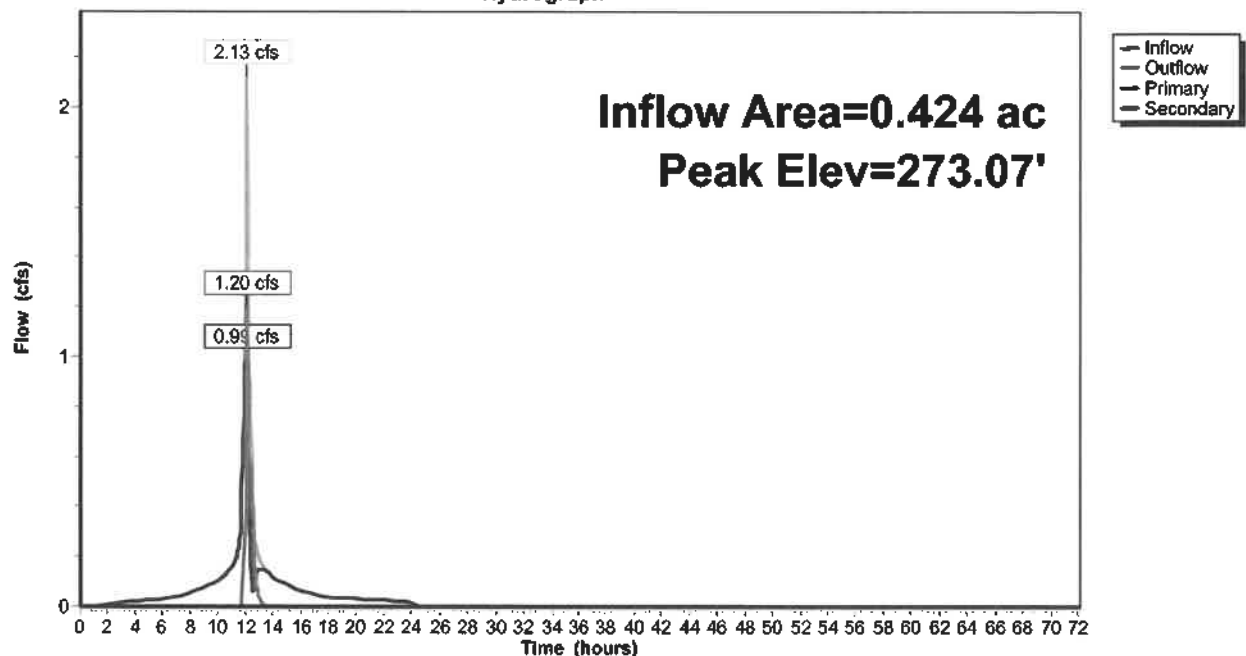
Device	Routing	Invert	Outlet Devices
#1	Primary	270.65'	<b>6.0" Round Culvert</b> L= 12.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 270.65' / 270.50' S= 0.0125'/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.20 sf
#2	Secondary	272.50'	<b>12.0" Round Culvert</b> L= 50.0' CPP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 272.50' / 270.50' S= 0.0400'/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 0.79 sf

**Primary OutFlow** Max=0.88 cfs @ 12.01 hrs HW=272.84' TW=271.97' (Dynamic Tailwater)

1=Culvert (Inlet Controls 0.88 cfs @ 4.49 fps)

**Secondary OutFlow** Max=1.19 cfs @ 12.10 hrs HW=273.07' (Free Discharge)

2=Culvert (Inlet Controls 1.19 cfs @ 2.57 fps)

**Pond 4P: Diversion Structure****Hydrograph**

**247 Route 100**

Prepared by Bibbo Associates, llp.

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Type III 24-hr 10-year storm Rainfall=5.25"

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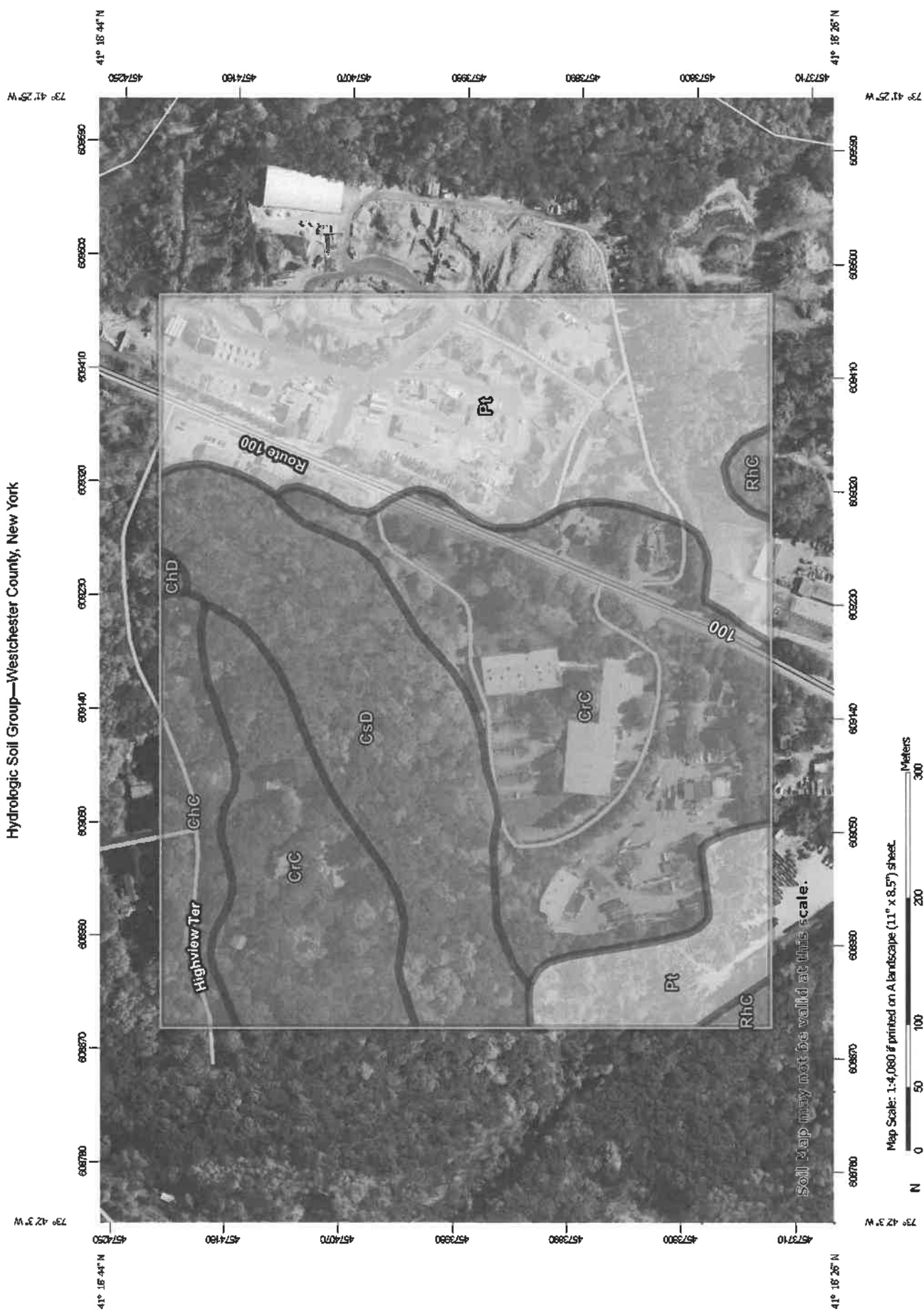
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**Stage-Area-Storage for Pond 4P: Diversion Structure**

Elevation (feet)	Storage (cubic-feet)	Elevation (feet)	Storage (cubic-feet)	Elevation (feet)	Storage (cubic-feet)
270.65	0	271.97	0	273.29	0
270.67	0	271.99	0	273.31	0
270.69	0	272.01	0	273.33	0
270.71	0	272.03	0	273.35	0
270.73	0	272.05	0	273.37	0
270.75	0	272.07	0	273.39	0
270.77	0	272.09	0	273.41	0
270.79	0	272.11	0	273.43	0
270.81	0	272.13	0	273.45	0
270.83	0	272.15	0	273.47	0
270.85	0	272.17	0	273.49	0
270.87	0	272.19	0		
270.89	0	272.21	0		
270.91	0	272.23	0		
270.93	0	272.25	0		
270.95	0	272.27	0		
270.97	0	272.29	0		
270.99	0	272.31	0		
271.01	0	272.33	0		
271.03	0	272.35	0		
271.05	0	272.37	0		
271.07	0	272.39	0		
271.09	0	272.41	0		
271.11	0	272.43	0		
271.13	0	272.45	0		
271.15	0	272.47	0		
271.17	0	272.49	0		
271.19	0	272.51	0		
271.21	0	272.53	0		
271.23	0	272.55	0		
271.25	0	272.57	0		
271.27	0	272.59	0		
271.29	0	272.61	0		
271.31	0	272.63	0		
271.33	0	272.65	0		
271.35	0	272.67	0		
271.37	0	272.69	0		
271.39	0	272.71	0		
271.41	0	272.73	0		
271.43	0	272.75	0		
271.45	0	272.77	0		
271.47	0	272.79	0		
271.49	0	272.81	0		
271.51	0	272.83	0		
271.53	0	272.85	0		
271.55	0	272.87	0		
271.57	0	272.89	0		
271.59	0	272.91	0		
271.61	0	272.93	0		
271.63	0	272.95	0		
271.65	0	272.97	0		
271.67	0	272.99	0		
271.69	0	273.01	0		
271.71	0	273.03	0		
271.73	0	273.05	0		
271.75	0	273.07	0		
271.77	0	273.09	0		
271.79	0	273.11	0		
271.81	0	273.13	0		
271.83	0	273.15	0		
271.85	0	273.17	0		
271.87	0	273.19	0		
271.89	0	273.21	0		
271.91	0	273.23	0		
271.93	0	273.25	0		
271.95	0	273.27	0		

**Appendix B:**  
***Hydrologic Soil Map***

# Hydrologic Soil Group—Westchester County, New York



Natural Resources  
Conservation Service

Web Soil Survey  
National Cooperative Soil Survey

MAP LEGEND

MAP INFORMATION

Area of Interest (AOI)  
Area of Interest (AOI)

Soils  
Soil Rating Polygons

- A
- A/D
- B
- B/D
- C
- C/D
- D
- Not rated or not available

Soil Rating Lines

- A
- A/D
- B
- B/D
- C
- C/D
- D
- Not rated or not available

Soil Rating Points

- A
- A/D
- B
- B/D

- C
- C/D
- D
- Not rated or not available
- Water Features
- Streams and Canals
- Transportation
- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads
- Background
- Aerial Photography

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Westchester County, New York  
Survey Area Data: Version 21, Aug 28, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Oct 21, 2022—Oct 27, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
ChC	Charlton fine sandy loam, 8 to 15 percent slopes	B	4.1	5.9%
ChD	Charlton fine sandy loam, 15 to 25 percent slopes	B	0.1	0.2%
CrC	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	B	27.6	39.7%
CsD	Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky	B	12.7	18.3%
Pt	Pits, gravel		24.3	34.9%
RhC	Riverhead loam, 8 to 15 percent slopes	A	0.8	1.1%
<b>Totals for Area of Interest</b>			<b>69.6</b>	<b>100.0%</b>

## Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

**Group A.** Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

**Group B.** Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

**Group C.** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

**Group D.** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

## Rating Options

*Aggregation Method: Dominant Condition*

*Component Percent Cutoff: None Specified*

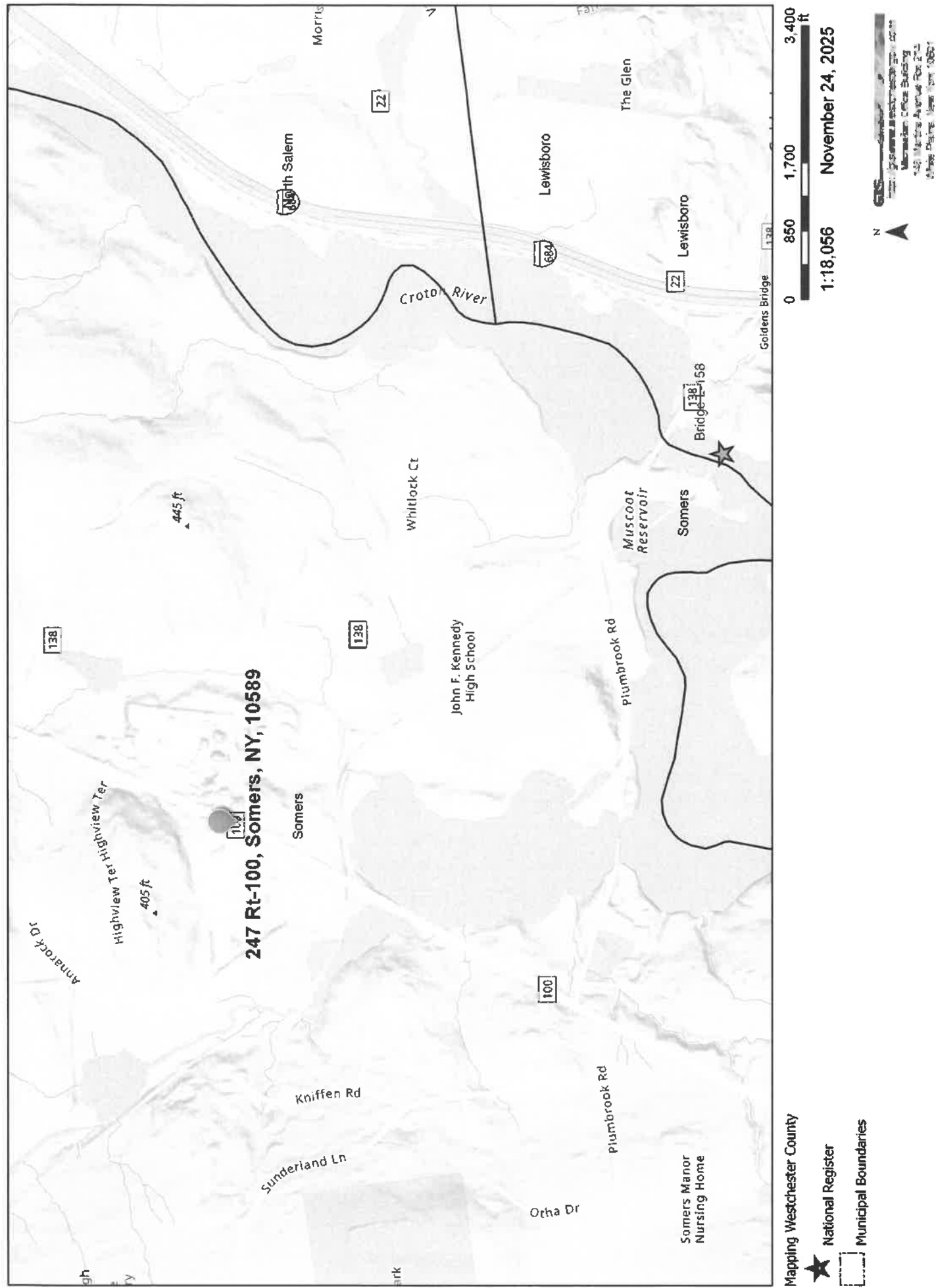
*Tie-break Rule: Higher*



**Appendix C:**

***Map of Historic Places***

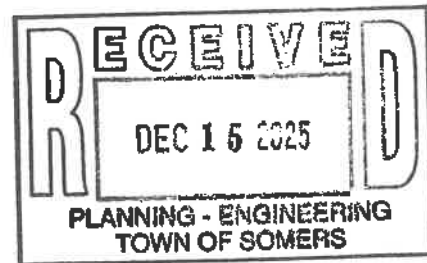
## Mapping Westchester County





December 2, 2025

Town of Somers  
Attn: David Smith  
Planning Department  
335 Route 202  
Somers, NY 10589



**RE:** New Cingular Wireless PCS, LLC ("AT&T") building permit application ("Application") for equipment upgrades at the existing wireless telecommunications facility at 80 Route 6, Somers, New York.

Dear Sir/Madam:

AT&T is seeking to perform equipment upgrades to the above-referenced existing telecommunications Facility. We are submitting this application as an eligible facilities request under Section 6409, referenced below. Please find enclosed the following documents in support of our application to obtain the building permit:

- Wireless Facility Application Form
- Letter from the receiver of taxes that all taxes have been paid on the property.
- Letter of authorization from the property owner
- Letter of authorization from New Cingular Wireless PCS, LLC
- Contractor's insurance certificates
- Copy of the engineering license that is registered in New York State, who prepared the FCC RF Emissions Compliance Report
- FCC RF Emissions Compliance Report
- Copy of applicant's FCC License
- Structural report
- Mount Analysis report
- Signed and sealed plans (6 Hard Copies, 4 Electronic)
- Application Fee in the amount of \$800.00
- Escrow Account Fee in the amount of \$2,500.00

Section 6409 of the Federal Middle Class Tax Relief and Job Creation Act ("Section 6409") was adopted in 2012. Under Section 6409, your city retains discretionary zoning review over the construction of *new* towers, but simple collocations and/or equipment upgrades at existing telecommunications facilities must be approved. The new law provides that:

**"a State or local government may not deny, and shall approve, any eligible facilities request for a modification of an existing wireless tower, rooftop or base station that does not substantially change the physical dimensions of such tower, rooftop or base station."** (Emphasis added.)

The federal law defines an "eligible facilities request" as **"(A) collocation of new transmission equipment; (B) removal of transmission equipment; or (C) replacement of transmission equipment."** (Emphasis added.)

Also, the Federal Communications Commission issued a Wireless Infrastructure Report and Order on October 17, 2014 ("FCC Order") which established regulations that clarify and streamline the municipal approval process for eligible facilities requests under Section 6409. A copy of the FCC Order is enclosed herewith.

The FCC Order clarifies that municipal review of an eligible facilities request is **limited to determining whether the request falls within Section 6409:**

**"a State or local government may require the applicant to provide documentation or information only to the extent reasonably related to determining whether the request meets the requirements of this section [Section 6409]. A State or local government may not require an applicant to submit any other documentation, including but not limited to documentation intended to illustrate the need for such wireless facilities or to justify the business decision to modify such wireless facilities."**47 C.F.R. 1.40001(c)(1) (Emphasis added).

#### **AT&T's Application is an Eligible Facilities Request under Section 6409**

AT&T's application qualifies as an eligible facilities request under Section 6409 because the proposed installation involves "a modification of an existing wireless tower, rooftop or base station that does not substantially change the physical dimensions of such tower, rooftop or base station."

As shown on the plans prepared by Gaviria Engineering dated June 19<sup>th</sup>, 2025, AT&T's proposed installation consist principally of the following elements:

ANTENNA SCHEDULE								
SECTOR	POSITION	AZIMUTH	QTY	MAKE & MODEL	RAD CENTER (AOL)	STATUS	PLEXER MAKE & MODEL (QTY)	CABLE TYPE/TYPE CABLE LENGTH
ALPHA	POS. 1	0°	1	COMMSCOPE HWYS-BSA-R3	84-FT	NEW	(2) COMMSCOPE STX817421-43	EXISTING: (12) 7/8" COAX CABLES 8175' (+53.34m)
BETA	POS. 1	120°	1	COMMSCOPE HWYS-BSA-R3	84-FT	NEW	(2) COMMSCOPE STX817421-43	
GAMMA	POS. 1	240°	1	COMMSCOPE HWYS-BSA-R3	84-FT	NEW	(2) COMMSCOPE STX817421-43	

Accordingly, AT&T's installation involves **the collocation and replacement of new transmission equipment that will not increase the height of the installation nor the dimensions of the equipment compound**. As a result, the installation "does not substantially change the physical dimensions of such rooftop or base station." Therefore, these proposed equipment upgrades constitute an "eligible facilities request" under Section 6409, and must be approved. **Timeline for Review and Approval**

We would like to highlight an important timing requirement for processing this application. The FCC Order determined that **a municipality must act on an eligible facilities request within sixty (60) days of receiving the application**. 47 C.F.R. 1.40001(c)(2) (Emphasis added). (Note, the sixty (60)-day period is also known as the "Shot Clock"). Thus, the city must approve this application within sixty (60) days of its receipt. The FCC Order provides that upon a municipality's failure to act prior to expiration of the Shot Clock, the **"request shall be deemed granted"** and AT&T will be legally entitled to proceed with construction. 47 C.F.R. 1.40001(c)(4) (Emphasis added).

Note that the FCC Order does allow the Shot Clock to be tolled if an application is incomplete. However, in order to do so, a municipality must provide written notice that the application is incomplete within thirty (30) days of the submittal. 47 C.F.R. 1.40001(c)(3)(i). The notice must "clearly and specifically" describe the missing documents or information, 47 C.F.R. 1.40001(c)(3)(i), and, as previously mentioned, such documentation must be necessary to the determination of whether the application qualifies as an eligible facilities request. If the municipality requests additional information after the first thirty (30) days have passed, we will still provide any "reasonably related" information allowed under the FCC Order, but the Shot Clock will not be tolled.

In light of the foregoing, AT&T respectfully requests that its proposed equipment upgrades be approved. In the meantime, if you have any questions, please feel free to call or email me. Thank you for your cooperation.

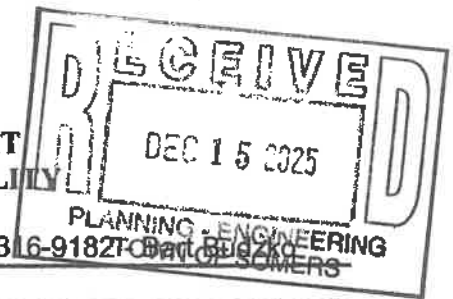
Sincerely,

*Alexis Engelhardt*

Alexis Engelhardt  
Airosmith Development  
318 West Avenue  
Saratoga Springs, New York 12866  
(973)-928-9018  
E-mail: [aengelhardt@airosmithdevelopment.com](mailto:aengelhardt@airosmithdevelopment.com)

1.2019

**TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
APPLICATION FOR SPECIAL USE PERMIT  
WIRELESS TELECOMMUNICATIONS FACILITY**



**Facility Owner/User** CCTMO, LLC (a division of Crown Castle) Tel. #: 201-316-9182  
**Address:** 2300 Corporate Drive, Canonsburg, PA 15317  
**Property Owner:** UB Somers, Inc. Tel. #: 203-863-8205  
**Address:** 321 Railroad Avenue, Greenwich, CT 06830  
**Applicant:** New Cingular Wireless PCS, LLC Tel. #: 973-928-9018  
**Address:** 1 AT&T Way, Bedminster, NJ  
**Managing Agent:** Airosmith Development, Alexis Engelhardt Tel. #: 973-928-9018  
**Address:** 318 West Avenue, Saratoga Springs, NY 12866  
**Westchester County Agent:** \_\_\_\_\_ Tel. # \_\_\_\_\_  
**Address:** \_\_\_\_\_

**Premises:** Sheet: 4.20 Block: 1 Lot: 11 Situated on the South side of  
Route 6 (Street) 300 feet from the intersection of Route 118 and Route 6 (Street)

**Zoning District** Community Shopping (CS)

**PROJECT TITLE:** ROUTE 6 / ROUTE 118 - FA# 10107990 - 2191A1A36J

**DESCRIPTION OF WORK AND PURPOSE:**

Modification to existing wireless telecommunications facility comprising of equipment, antennas  
and associated cables.

**TYPE OF PERMIT REQUESTED:** \_\_\_\_\_ **ORIGINAL/NEW**  
X \_\_\_\_\_ **AMENDED (Date of Original Permit)**  
\_\_\_\_\_ **RENEWAL (Date of Original Permit)**

**SIZE OF ACTIVITY AREA:** \_\_\_\_\_

**ESTIMATED TOTAL VALUE OF WORK:** \$20,000.00

**PROPOSED STARTING DATE:** TBD

**PROPOSED COMPLETION DATE:** TBD

**PLANS PREPARED BY:** Gaviria Engineering **DATED:** 6/19/2025

*Plans must be submitted with application.*

**APPLICATION FEE:**      \$1,000.00 **Original/New Special Use Permit Application**  
                              \$ 800.00 **Amended Special Use Permit Application**  
                              \$ 500.00 **Renewal of Special Use Permit Application (every 5 years)**

**Based upon Somers Town Code §133-2. At the time of submission of any application, an Escrow Account shall be established to pay for the costs of professional review services.**

**DOCUMENTS TO BE SUBMITTED WITH THIS APPLICATION:**

**14 Copies of all correspondence and plans submitted to the Planning Board.**

**Please refer to Somers Town Code §170-129.8, Application procedure, for the required documents to be submitted. (see attached)**

**APPLICANT/FACILITY/OWNER/USER SIGNATURE:** Erin Deegan

Digitally signed by Erin Deegan  
Date: 2025.09.17 17:44:40 -0400

**DATE:** \_\_\_\_\_

**PROPERTY OWNER'S SIGNATURE:** Erin Deegan

Digitally signed by Erin Deegan  
Date: 2025.09.17 17:45:11 -0400

**DATE:** \_\_\_\_\_

OFFICE OF THE TAX RECEIVER

**Town of Somers**

WESTCHESTER COUNTY, N.Y.

Telephone  
(914) 277.3610

Fax  
(914) 277.8932

Michele A. McKearney  
Receiver of Taxes  
mmckearney@somersny.com



335 Route 202  
Town House  
Somers, NY 10589

December 2, 2025

RE: UB Somers, Inc.  
80 Route 6  
Parcel # 4.20-1-11.6



To Whom It May Concern,

All taxes have been paid in full on the above-mentioned parcel. There are no outstanding liens or taxes due as of the date of this letter.

If you have any questions or need additional information, please do not hesitate to contact me.

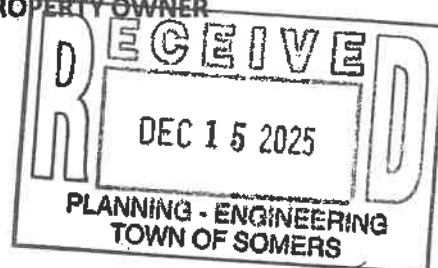
Sincerely,

Michele McKearney  
Receiver of Taxes



LETTER OF AUTHORIZATION FROM PROPERTY OWNER

STATE OF ~~NEW YORK~~ *Connecticut*  
COUNTY OF ~~WESTCHESTER~~ *Fairfield*



Sworn Statement

**SUBJECT PROPERTY ADDRESS:** At Somers Commons Shopping Center, 80 Route 6, Somers, NY  
(PRINT NAME) Brian McCaffrey, Regional Property Manager, being duly  
sworn, deposes and says: That he is employed at 321 Railroad Ave. in the Town of  
Greenwich in the State of Connecticut, that he is an authorized representative of the  
owner in fee of all that certain lot, piece or parcel of land shown on the diagram above, situate,  
lying and being within the unincorporated area of the Town of Somers, that the work proposed  
to be done upon the said premises will be done in accordance with the approved application  
and accompanying plans, and he/she hereby authorizes:

(NAME OF APPLICANT)

New Cingular Wireless PCS, LLL C/O Alexis Engelhardt, Airosmith Development

To make application for a permit to perform said work in the foregoing application and  
accompanying plans, and all the statements herein contained are true to deponent's own  
knowledge.

Property Owner's Email Address ErinDeegan@regencycenters.com  
Or BrianMcCaffrey@regencycenters.com

Owner Signature *E My*

Sworn to before me this 3<sup>rd</sup> day of October 2025

*Joanne Phillips* Notary Public Signature

318 West Avenue, Saratoga Springs, NY 12866  
Main Office / Fax: 518-306-1711  
www.airosmithdevelopment.com

JOANNE PHILLIPS  
NOTARY PUBLIC  
STATE OF CONNECTICUT  
MY COMMISSION EXPIRES







## LETTER OF AUTHORIZATION

**Date:** July 10, 2018

**RE:** New Cingular Wireless PCS, LLC ("AT&T Mobility")  
Letter of Agency  
Airosmith Development

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To Whom It May Concern:

On behalf of AT&T Mobility, this Letter of Agency provides written approval that Airosmith Development, its agents, employees and contractors are authorized to work on behalf of AT&T. Such work may include but is not limited to, negotiating leases with potential site owners and applying for all necessary permits or any other approvals, including, but not limited to the filing of building permit applications which are necessary for the erection of a wireless telecommunications facility.

Thank you,

Signed

*Robert Minnick*

---

Robert Minnick  
Construction & Engineering  
AT&T Mobility UNY

cc: Jon Terry – Airosmith Development



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

07/11/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> <b>ROYAL STAR INSURANCE BROKERAGE CORP</b> 98-09 Astoria Blvd Flushing, NY 11369	<b>CONTACT NAME:</b> Fatma Shamsi <b>PHONE (A/C, No, Ext):</b> (718)205-2900 <b>FAX (A/C, No):</b> 718-205-4600 <b>E-MAIL ADDRESS:</b> shamsi@royalstarinsurance.nyc														
<b>INSURED</b> <b>KT&amp;G CONSTRUCTION INC</b>  52-09 VANDAM ST LONG ISLAND CITY, NY 11101	<table><tr><th>INSURER(S) AFFORDING COVERAGE</th><th>NAIC #</th></tr><tr><td><b>INSURER A:</b> JAMES RIVER INSURANCE COMPANY</td><td>12203</td></tr><tr><td><b>INSURER B:</b> Sutton Specialty Insurance Company</td><td>16848</td></tr><tr><td><b>INSURER C:</b></td><td></td></tr><tr><td><b>INSURER D:</b></td><td></td></tr><tr><td><b>INSURER E:</b></td><td></td></tr><tr><td><b>INSURER F:</b></td><td></td></tr></table>	INSURER(S) AFFORDING COVERAGE	NAIC #	<b>INSURER A:</b> JAMES RIVER INSURANCE COMPANY	12203	<b>INSURER B:</b> Sutton Specialty Insurance Company	16848	<b>INSURER C:</b>		<b>INSURER D:</b>		<b>INSURER E:</b>		<b>INSURER F:</b>	
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<b>INSURER D:</b>															
<b>INSURER E:</b>															
<b>INSURER F:</b>															

**COVERAGES** **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS																					
<b>A</b>	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	<b>Y</b>	<b>Y</b>	<b>P0000007117</b>	<b>04/17/2025</b>	<b>04/17/2026</b>	<table><tr><td>EACH OCCURRENCE</td><td>\$</td><td><b>1,000,000</b></td></tr><tr><td>DAMAGE TO RENTED PREMISES (Ea occurrence)</td><td>\$</td><td><b>1,000,000</b></td></tr><tr><td>MED EXP (Any one person)</td><td>\$</td><td><b>10,000</b></td></tr><tr><td>PERSONAL &amp; ADV INJURY</td><td>\$</td><td><b>1,000,000</b></td></tr><tr><td>GENERAL AGGREGATE</td><td>\$</td><td><b>2,000,000</b></td></tr><tr><td>PRODUCTS - COMP/OP AGG</td><td>\$</td><td><b>2,000,000</b></td></tr><tr><td></td><td>\$</td><td></td></tr></table>	EACH OCCURRENCE	\$	<b>1,000,000</b>	DAMAGE TO RENTED PREMISES (Ea occurrence)	\$	<b>1,000,000</b>	MED EXP (Any one person)	\$	<b>10,000</b>	PERSONAL & ADV INJURY	\$	<b>1,000,000</b>	GENERAL AGGREGATE	\$	<b>2,000,000</b>	PRODUCTS - COMP/OP AGG	\$	<b>2,000,000</b>		\$	
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	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						<table><tr><td>COMBINED SINGLE LIMIT (Ea accident)</td><td>\$</td><td></td></tr><tr><td>BODILY INJURY (Per person)</td><td>\$</td><td></td></tr><tr><td>BODILY INJURY (Per accident)</td><td>\$</td><td></td></tr><tr><td>PROPERTY DAMAGE (Per accident)</td><td>\$</td><td></td></tr><tr><td></td><td>\$</td><td></td></tr></table>	COMBINED SINGLE LIMIT (Ea accident)	\$		BODILY INJURY (Per person)	\$		BODILY INJURY (Per accident)	\$		PROPERTY DAMAGE (Per accident)	\$			\$							
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<b>B</b>	<input checked="" type="checkbox"/> <b>UMBRELLA LIAB</b> <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> <b>EXCESS LIAB</b> <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$	<b>Y</b>	<b>Y</b>	<b>ISCEX0300002785-00</b>	<b>05/16/2025</b>	<b>04/17/2026</b>	<table><tr><td>EACH OCCURRENCE</td><td>\$</td><td><b>5,000,000</b></td></tr><tr><td>AGGREGATE</td><td>\$</td><td><b>5,000,000</b></td></tr><tr><td></td><td>\$</td><td></td></tr></table>	EACH OCCURRENCE	\$	<b>5,000,000</b>	AGGREGATE	\$	<b>5,000,000</b>		\$													
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AGGREGATE	\$	<b>5,000,000</b>																										
	\$																											
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<b>Y/N</b> <input type="checkbox"/>	<b>N/A</b>				<table><tr><td>PER STATUTE</td><td>OTH-ER</td></tr><tr><td>E.L. EACH ACCIDENT</td><td>\$</td></tr><tr><td>E.L. DISEASE - EA EMPLOYEE</td><td>\$</td></tr><tr><td>E.L. DISEASE - POLICY LIMIT</td><td>\$</td></tr></table>	PER STATUTE	OTH-ER	E.L. EACH ACCIDENT	\$	E.L. DISEASE - EA EMPLOYEE	\$	E.L. DISEASE - POLICY LIMIT	\$													
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E.L. EACH ACCIDENT	\$																											
E.L. DISEASE - EA EMPLOYEE	\$																											
E.L. DISEASE - POLICY LIMIT	\$																											

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

AS PER ALL POLICY TERMS CONDITIONS & EXCLUSIONS CERTIFICATE HOLDER IS NAMED AS ADDITIONAL INSURED, ALL LOCATIONS ALL COVERED OPERATIONS

**CERTIFICATE HOLDER**

Town of Somers  
337 Route 202  
Somers, NY 10589

**CANCELLATION**

PLANNING - ENGINEERING  
TOWN OF SOMERS

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE



Workers' Compensation Board

# CERTIFICATE OF INSURANCE COVERAGE NYS DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW

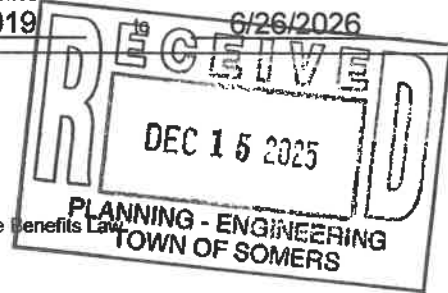
## PART 1. To be completed by NYS disability and Paid Family Leave benefits carrier or licensed insurance agent of that carrier

1a. Legal Name & Address of Insured (use street address only) KT&G CONSTRUCTION INC 52-09 VANDAM STREET LONG ISLAND CITY, NY 11101  <small>Work Location of Insured (Only required if coverage is specifically limited to certain locations in New York State, i.e., Wrap-Up Policy)</small>	1b. Business Telephone Number of Insured  7186583088  1c. Federal Employer Identification Number of Insured or Social Security Number  81-2320804
2. Name and Address of Entity Requesting Proof of Coverage (Entity Being Listed as the Certificate Holder) Town of Somers 337 Route 202 Somers, NY 10589	3a. Name of Insurance Carrier Standard Security Life Insurance Company of New York  3b. Policy Number of Entity Listed in Box 1a Z02411-000  3c. Policy Effective Period 7/8/2019

4. Policy provides the following benefits:
- ☒ A. Both disability and Paid Family Leave benefits.
  - ☐ B. Disability benefits only.
  - ☐ C. Paid Family Leave benefits only.

5. Policy covers:

- ☒ A. All of the employer's employees eligible under the NYS Disability and Paid Family Leave Benefits Law
- ☐ B. Only the following class or classes of employer's employees:



Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has NYS disability and/or Paid Family Leave benefits insurance coverage as described above.

Date Signed 7/11/2025 By Talin Conti  
(Signature of insurance carrier's authorized representative or NYS licensed insurance agent of that insurance carrier)  
Telephone Number (212) 355-4141 Name and Title TALIN CONTI/MGR. POLICY SERVICES

**IMPORTANT:** If Boxes 4A and 5A are checked, and this form is signed by the insurance carrier's authorized representative or NYS Licensed Insurance Agent of that carrier, this certificate is COMPLETE. Mail it directly to the certificate holder.

If Box 4B, 4C or 5B is checked, this certificate is NOT COMPLETE for purposes of Section 220, Subd. 8 of the NYS Disability and Paid Family Leave Benefits Law. It must be emailed to PAU@wcb.ny.gov or it can be mailed for completion to the Workers' Compensation Board, Plans Acceptance Unit, PO Box 5200, Binghamton, NY 13902-5200.

## PART 2. To be completed by the NYS Workers' Compensation Board (Only if Box 4B, 4C or 5B of Part 1 has been checked)

### State of New York Workers' Compensation Board

According to information maintained by the NYS Workers' Compensation Board, the above-named employer has complied with the NYS Disability and Paid Family Leave Benefits Law (Article 9 of the Workers' Compensation Law) with respect to all of their employees.

Date Signed \_\_\_\_\_ By \_\_\_\_\_  
(Signature of Authorized NYS Workers' Compensation Board Employee)  
Telephone Number \_\_\_\_\_ Name and Title \_\_\_\_\_

**Please Note:** Only insurance carriers licensed to write NYS disability and Paid Family Leave benefits insurance policies and NYS licensed insurance agents of those insurance carriers are authorized to issue Form DB-120.1. Insurance brokers are NOT authorized to issue this form.



## **Additional Instructions for Form DB-120.1**

By signing this form, the insurance carrier identified in Box 3 on this form is certifying that it is insuring the business referenced in Box 1a for disability and/or Paid Family Leave benefits under the NYS Disability and Paid Family Leave Benefits Law. The insurance carrier or its licensed agent will send this Certificate of Insurance Coverage (Certificate) to the entity listed as the certificate holder in Box 2.

The insurance carrier must notify the above certificate holder and the Workers' Compensation Board within 10 days IF a policy is cancelled due to nonpayment of premiums or within 30 days IF there are reasons other than nonpayment of premiums that cancel the policy or eliminate the insured from coverage indicated on this Certificate. (These notices may be sent by regular mail.) Otherwise, this Certificate is valid for one year after this form is approved by the insurance carrier or its licensed agent, or until the policy expiration date listed in Box 3c, whichever is earlier.

This certificate is issued as a matter of information only and confers no rights upon the certificate holder. This certificate does not amend, extend or alter the coverage afforded by the policy listed, nor does it confer any rights or responsibilities beyond those contained in the referenced policy.

This Certificate may be used as evidence of a NYS disability and/or Paid Family Leave benefits contract of insurance only while the underlying policy is in effect.

**Please Note:** Upon the cancellation of the disability and/or Paid Family Leave benefits policy indicated on this form, if the business continues to be named on a permit, license or contract issued by a certificate holder, the business must provide that certificate holder with a new Certificate of Insurance Coverage for NYS disability and/or Paid Family Leave Benefits or other authorized proof that the business is complying with the mandatory coverage requirements of the NYS Disability and Paid Family Leave Benefits Law.

## **NYS DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW**

### **§220. Subd. 8**

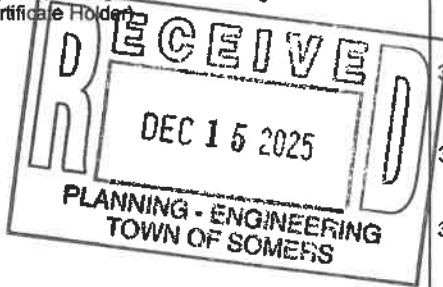
(a) The head of a state or municipal department, board, commission or office authorized or required by law to issue any permit for or in connection with any work involving the employment of employees in employment as defined in this article, and notwithstanding any general or special statute requiring or authorizing the issue of such permits, shall not issue such permit unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that the payment of disability benefits and after January first, two thousand and twenty-one, the payment of family leave benefits for all employees has been secured as provided by this article. Nothing herein, however, shall be construed as creating any liability on the part of such state or municipal department, board, commission or office to pay any disability benefits to any such employee if so employed.

(b) The head of a state or municipal department, board, commission or office authorized or required by law to enter into any contract for or in connection with any work involving the employment of employees in employment as defined in this article and notwithstanding any general or special statute requiring or authorizing any such contract, shall not enter into any such contract unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that the payment of disability benefits and after January first, two thousand eighteen, the payment of family leave benefits for all employees has been secured as provided by this article.



**Workers'  
Compensation  
Board**

**CERTIFICATE OF  
NYS WORKERS' COMPENSATION INSURANCE COVERAGE**

<b>1a. Legal Name &amp; Address of Insured (use street address only)</b> KT&G Construction Inc  5209 Van Dam St Long Island City, NY 11101-3220  <i>Work Location of Insured (Only required if coverage is specifically limited to certain locations in New York State, i.e., a Wrap-Up Policy)</i>	<b>1b. Business Telephone Number of Insured</b> 347-628-9786  <b>1c. NYS Unemployment Insurance Employer Registration Number of Insured</b> N/A  <b>1d. Federal Employer Identification Number of Insured or Social Security Number</b> 81-2320804
<b>2. Name and Address of Entity Requesting Proof of Coverage (Entity Being Listed as the Certificate Holder)</b> Town of Somers 337 Route 202 Somers, NY 10589  	<b>3a. Name of Insurance Carrier</b> NorGUARD Insurance Company  <b>3b. Policy Number of Entity Listed in Box "1a"</b> KTWC607648  <b>3c. Policy effective period</b> 01/21/2025 to 01/21/2026  <b>3d. The Proprietor, Partners or Executive Officers are</b> <input type="checkbox"/> included. (Only check box if all partners/officers included) <input checked="" type="checkbox"/> all excluded or certain partners/officers excluded.

This certifies that the insurance carrier indicated above in box "3" insures the business referenced above in box "1a" for workers' compensation under the New York State Workers' Compensation Law. **(To use this form, New York (NY) must be listed under Item 3A on the INFORMATION PAGE of the workers' compensation insurance policy).** The Insurance Carrier or its licensed agent will send this Certificate of Insurance to the entity listed above as the certificate holder in box "2".

The insurance carrier must notify the above certificate holder and the Workers' Compensation Board within 10 days IF a policy is canceled due to nonpayment of premiums or within 30 days IF there are reasons other than nonpayment of premiums that cancel the policy or eliminate the insured from the coverage indicated on this Certificate. (These notices may be sent by regular mail.) **Otherwise, this Certificate is valid for one year after this form is approved by the insurance carrier or its licensed agent, or until the policy expiration date listed in box "3c", whichever is earlier.**

This certificate is issued as a matter of information only and confers no rights upon the certificate holder. This certificate does not amend, extend or alter the coverage afforded by the policy listed, nor does it confer any rights or responsibilities beyond those contained in the referenced policy.

This certificate may be used as evidence of a Workers' Compensation contract of insurance only while the underlying policy is in effect.

**Please Note: Upon cancellation of the workers' compensation policy indicated on this form, if the business continues to be named on a permit, license or contract issued by a certificate holder, the business must provide that certificate holder with a new Certificate of Workers' Compensation Coverage or other authorized proof that the business is complying with the mandatory coverage requirements of the New York State Workers' Compensation Law.**

**Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has the coverage as depicted on this form.**

Approved by: Adam Edelstein  
(Print name of authorized representative or licensed agent of insurance carrier)

Approved by:  07/11/2025  
(Date)

Title: President

Telephone Number of authorized representative or licensed agent of insurance carrier: 800-673-2465

**Please Note: Only Insurance carriers and their licensed agents are authorized to issue Form C-105.2. Insurance brokers are NOT authorized to issue it.**

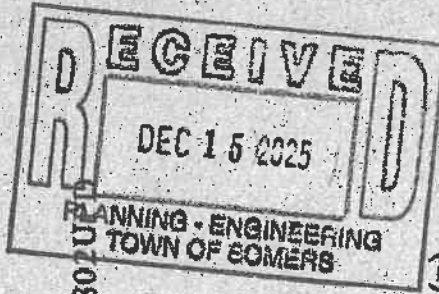
**The University of the State of New York  
Education Department  
Office of the Professions**

**REGISTRATION CERTIFICATE**  
**Do not accept a copy of this certificate**

License Number:

108843-01

Certificate Number: 2790802



MCPHERSON EMILY ANN  
792 CHESTNUT BEND  
WEBSTER  
NY 14580-0000



is registered to practice in New York State through 10/31/2026 as a(n)  
**PROFESSIONAL ENGINEER**

LICENSEE/REGISTRANT

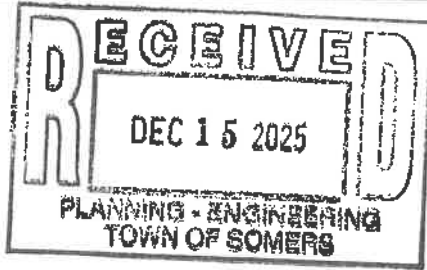
*[Signature]*  
EXECUTIVE SECRETARY

COMMISSIONER OF EDUCATION

*[Signature]*  
DEPUTY COMMISSIONER  
FOR THE PROFESSIONS

DEPUTY COMMISSIONER  
FOR THE PROFESSIONS

*This document is valid only if it has not expired, name and address are correct, it has not been tampered with and is an original - not a copy. To verify that this registration certificate is valid or for more information please visit [www.op.nysed.gov](http://www.op.nysed.gov).*



## EMF/FCC Compliance Report

Prepared for



September 15, 2025

<i>FA:</i>	10107990
<i>AT&amp;T Site Name:</i>	ROUTE 6 / ROUTE 118
<i>Site Location</i>	80 Rt. 6 Somers, NY 10589 Westchester County 41.3427 N -73.7557 W
<i>Multi-Licensee Facility</i>	Yes
<i>FCC Standard</i>	OET Bulletin 65 Edition 97-01
<i>ANSI/IEEE / OSHA Standard</i>	Std C95.1 / 1910.97
<i>Site Classification</i>	Tower
<i>Structure Type</i>	Flagpole
<i>Statement of Compliance</i>	AT&T will be compliant with FCC Rules and Regulations.



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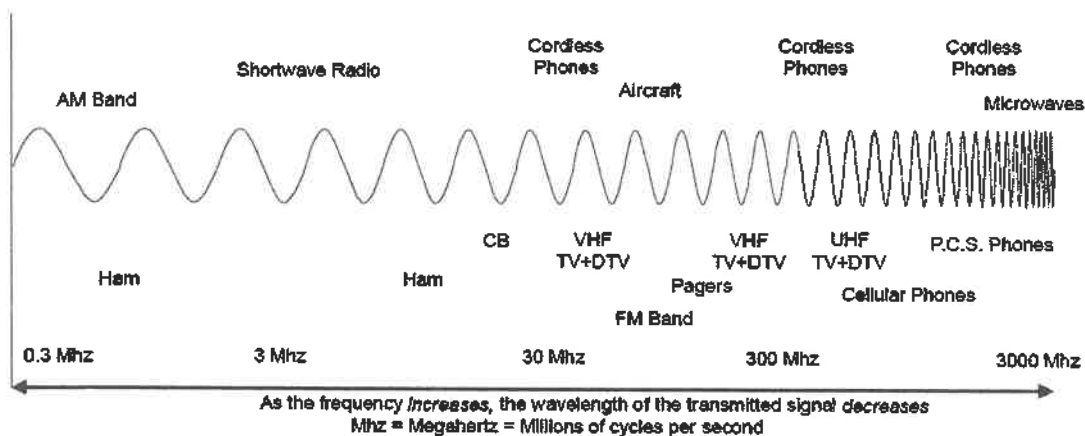
## 1.0 Scope

Airosmith Engineering has been requested to perform an analysis on the proposed AT&T Mobility antenna installation as compared to the FCC limits on Maximum Permissible Exposure (MPE) as outlined in FCC's OET Bulletin 65. The theoretical RF Emissions were analyzed using IXUS analysis software. Selected output from the analysis is included in this report.

## 2.0 Introduction

Radio Frequency (RF) signals are electromagnetic waves and are characterized by their cycle time (wavelength) which is measured in meters. Frequency is defined as the number of complete cycles a wave can complete per second, which is called a Hertz. An illustration of the inverse relationship between wavelength and frequency of RF signals is shown in Figure 1 below<sup>[1]</sup>. AT&T operates within several different frequency spectrum bands including, but not limited to: 700MHz, 850MHz, 1900MHz, 2100MHz, 2300MHz, and 3.7GHz. When considering field strength of an RF signal note that the power decreases as the distance from the antenna decreases.

Figure 1: Radio Frequency Spectrum



The FCC exposure guidelines are applicable to radio frequency spectrum between 300kHz and 100GHz. The FCC's exposure guidelines are further discussed in Section 3.0, but it is important to note that the exposure limits are conservative and incorporate a substantial margin for safety.

[1] Federal Communications Commission, *A Location Government Official's Guide to Transmitting Antenna RF Emissions Safety: Rules, Procedures, and Practical Guidance*, June 2, 2000.

### 3.0 Background on FCC MPE Limits

Since 1985, the FCC has had guidelines in place to evaluate human exposure to RF emissions. The most recent guidelines were adopted in 1996 and incorporate limits for the maximum permissible exposure (MPE) in terms of both electric and magnetic field strength and power density. Frequencies from 300kHz to 100GHz are considered as part of these guidelines. These FCC Guidelines are documented in OET Bulletin 65 and are based on the exposure limits recommended by the National Council on Radiation Protection and Measurements (NCRP), the Institute of Electrical and Electronics Engineers, Inc (IEEE), and the American National Standards Institute (ANSI).

For the purposes of determining exposure risk and the resulting compliance, the FCC Guidelines consider two tiers of exposure: occupational/controlled exposure, and general population/uncontrolled exposure.

*Occupational/controlled:* these limits are to be considered when a person is exposed to RF emissions as a consequence of their employment. Additionally, this person must have been made fully aware of the potential exposure and has the ability to exercise control over their own exposure.

*General population/uncontrolled:* these limits are to be considered in all other situations. Namely, when an individual may be exposed to RF emissions without being aware. This can happen as a consequence of their employment or not. Additionally, this person does not have the ability to exercise control over their exposure.

The FCC limits for maximum permissible exposure are derived from a whole-body averaged specific absorption rate (SAR). The limits incorporate safety factors in order to implement extra precautions when considering the protection of the population that may be at risk. Additionally, the limits set by the FCC are based on data that has determined there are certain ranges of frequencies where the human body absorbs RF energy more efficiently: this frequency range is 30-300MHz.

The specific MPE limit per frequency range is provided in the table below in terms of Electric Field Strength (V/m), Magnetic Field Strength (A/m), and Power Density (mW/cm<sup>2</sup>). It should be noted that the limits are more restrictive for the General Population/Uncontrolled exposure.

**(A) Limits for Occupational/Controlled Exposure**

Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm <sup>2</sup> )	Averaging Time  E  <sup>2</sup> ,  H  <sup>2</sup> or S (minutes)
0.3-3.0	614	1.63	(100)*	6
3.0-30	1842/f	4.89/f	(900/f <sup>2</sup> )*	6
30-300	61.4	0.163	1.0	6
300-1500	--	--	f/300	6
1500-100,000	--	--	5	6

**(B) Limits for General Population/Uncontrolled Exposure**

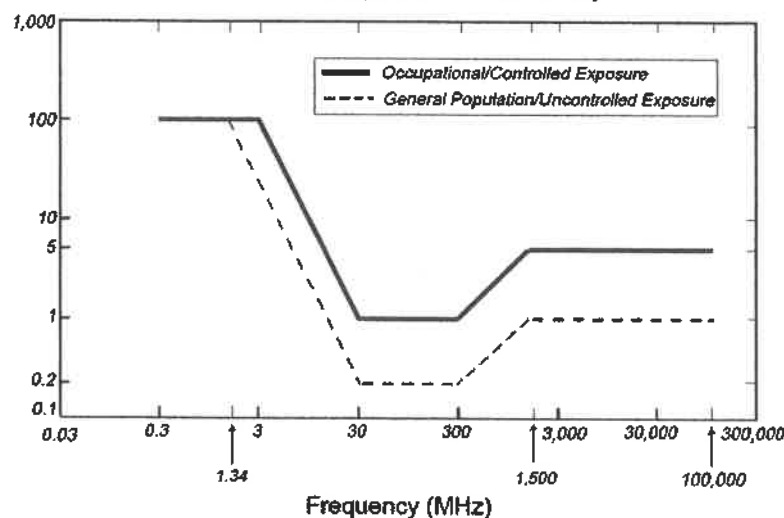
Frequency Range (MHz)	Electric Field Strength (E) (V/m)	Magnetic Field Strength (H) (A/m)	Power Density (S) (mW/cm <sup>2</sup> )	Averaging Time  E  <sup>2</sup> ,  H  <sup>2</sup> or S (minutes)
0.3-1.34	614	1.63	(100)*	30
1.34-30	824/f	2.19/f	(180/f <sup>2</sup> )*	30
30-300	27.5	0.073	0.2	30
300-1500	--	--	f/1500	30
1500-100,000	--	--	1.0	30

f = frequency in MHz

\*Plane-wave equivalent power density

The most common way to determine the compliance of a site is to compare the RF power density to the Maximum Permissible Exposure Limits outlined in the tables above, and to represent it as a percentage of the limit. This is shown graphically below in Figure 2.

**Figure 2: FCC Limits for Maximum Permissible Exposure (MPE)**  
*Plane-wave Equivalent Power Density*



It is important to note that the FCC rules specifically state that compliance is the shared responsibility of all licensed transmitters on a site if their power density levels are equal to or greater than 5% of the exposure limit in an area. When conducting predictive modeling, applicants are expected to make a "good faith" effort in factoring in the other transmitters on site.

#### References:

47 CFR, FCC Rules and Regulations, Part 1 (Practice and Procedure), Section 1.1310 (Radiofrequency radiation exposure limits).

FCC Office of Engineering and Technology (OET) Bulletin 65, "Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields", Edition 97-01, August 1997.

IEEE Std C95.1-2019, "IEEE Standard for Safety Levels with Respect to Human Exposure to Electric, Magnetic, and Electromagnetic Fields, 0 Hz to 300 GHz".

#### 4.0 Results and Conclusions

Upon reviewing the results of this analysis, the calculated non-ionizing radiation for this proposed AT&T antenna installation is considered **COMPLIANT** when compared to General Population FCC exposure limitations. In addition, when considering AT&T and all other transmitters on the flagpole, the overall site is considered **COMPLIANT** when compared to the General Population FCC exposure limitations. The analysis results are summarized below.

General Results	
AT&T Maximum General Population MPE %	1.99% at Ground Level 3.74% at Adjacent Building
All Sources Maximum General Population MPE %	3.86% at Ground Level 6.56% at Adjacent Building

## 5.0 Appurtenance Configuration

Colocator Data:

☒ Estimate

☐ Actual Data

☐ N/A

Operator	Ant ID	Z Centerline Elev. (ft)	Antenna Type, Manufacturer, & Model	Frequency Band	Total TPO (W)	Az (°)
AT&T	A1	84	Panel/CommScope/KVVSS-65A-R3	NR 850	90	0
AT&T	A1	84	Panel/CommScope/KVVSS-65A-R3	LTE 700 B12	90	0
AT&T	A1	84	Panel/CommScope/KVVSS-65A-R3	LTE 2300	75	0
AT&T	A1	84	Panel/CommScope/KVVSS-65A-R3	LTE 700 B14	60	0
AT&T	A1	84	Panel/CommScope/KVVSS-65A-R3	3.5GHz	120	0
AT&T	A1	84	Panel/CommScope/KVVSS-65A-R3	4GHz	120	0
AT&T	A1	84	Panel/CommScope/KVVSS-65A-R3	LTE 1900	180	0
AT&T	A1	84	Panel/CommScope/KVVSS-65A-R3	LTE 2100	180	0
AT&T	B1	84	Panel/CommScope/KVVSS-65A-R3	NR 850	90	120
AT&T	B1	84	Panel/CommScope/KVVSS-65A-R3	LTE 700 B12	90	120
AT&T	B1	84	Panel/CommScope/KVVSS-65A-R3	LTE 2300	75	120
AT&T	B1	84	Panel/CommScope/KVVSS-65A-R3	LTE 700 B14	60	120
AT&T	B1	84	Panel/CommScope/KVVSS-65A-R3	3.5GHz	120	120
AT&T	B1	84	Panel/CommScope/KVVSS-65A-R3	4GHz	120	120
AT&T	B1	84	Panel/CommScope/KVVSS-65A-R3	LTE 1900	180	120
AT&T	B1	84	Panel/CommScope/KVVSS-65A-R3	LTE 2100	180	120
AT&T	C1	84	Panel/CommScope/KVVSS-65A-R3	NR 850	90	240
AT&T	C1	84	Panel/CommScope/KVVSS-65A-R3	LTE 700 B12	90	240
AT&T	C1	84	Panel/CommScope/KVVSS-65A-R3	LTE 2300	75	240
AT&T	C1	84	Panel/CommScope/KVVSS-65A-R3	LTE 700 B14	60	240
AT&T	C1	84	Panel/CommScope/KVVSS-65A-R3	3.5GHz	120	240
AT&T	C1	84	Panel/CommScope/KVVSS-65A-R3	4GHz	120	240
AT&T	C1	84	Panel/CommScope/KVVSS-65A-R3	LTE 1900	180	240
AT&T	C1	84	Panel/CommScope/KVVSS-65A-R3	LTE 2100	180	240
Other	O1	94	Panel/Generic/PentaBandPanel short	LTE 1900	80	0
Other	O1	94	Panel/Generic/PentaBandPanel short	LTE 2100	80	0
Other	O1	94	Panel/Generic/PentaBandPanel short	LTE 700	80	0
Other	O1	94	Panel/Generic/PentaBandPanel short	LTE 600	80	0
Other	O2	94	Panel/Generic/PentaBandPanel short	LTE 1900	80	120
Other	O2	94	Panel/Generic/PentaBandPanel short	LTE 2100	80	120
Other	O2	94	Panel/Generic/PentaBandPanel short	LTE 700	80	120
Other	O2	94	Panel/Generic/PentaBandPanel short	LTE 600	80	120
Other	O3	94	Panel/Generic/PentaBandPanel short	LTE 1900	80	240
Other	O3	94	Panel/Generic/PentaBandPanel short	LTE 2100	80	240
Other	O3	94	Panel/Generic/PentaBandPanel short	LTE 700	80	240
Other	O3	94	Panel/Generic/PentaBandPanel short	LTE 600	80	240
Other	O4	104	Panel/Generic/PentaBandPanel short	LTE 1900	80	0
Other	O4	104	Panel/Generic/PentaBandPanel short	LTE 2100	80	0
Other	O4	104	Panel/Generic/PentaBandPanel short	LTE 700	80	0
Other	O4	104	Panel/Generic/PentaBandPanel short	LTE 600	80	0

Other	05	104	Panel/Generic/PentaBandPanel short	LTE 1900	80	120
Other	05	104	Panel/Generic/PentaBandPanel short	LTE 2100	80	120
Other	05	104	Panel/Generic/PentaBandPanel short	LTE 700	80	120
Other	05	104	Panel/Generic/PentaBandPanel short	LTE 600	80	120
Other	06	104	Panel/Generic/PentaBandPanel short	LTE 1900	80	240
Other	06	104	Panel/Generic/PentaBandPanel short	LTE 2100	80	240
Other	06	104	Panel/Generic/PentaBandPanel short	LTE 700	80	240
Other	06	104	Panel/Generic/PentaBandPanel short	LTE 600	80	240
Other	07	114	Panel/Generic/PentaBandPanel short	LTE 1900	80	0
Other	07	114	Panel/Generic/PentaBandPanel short	LTE 2100	80	0
Other	07	114	Panel/Generic/PentaBandPanel short	LTE 700	80	0
Other	07	114	Panel/Generic/PentaBandPanel short	LTE 600	80	0
Other	08	114	Panel/Generic/PentaBandPanel short	LTE 1900	80	120
Other	08	114	Panel/Generic/PentaBandPanel short	LTE 2100	80	120
Other	08	114	Panel/Generic/PentaBandPanel short	LTE 700	80	120
Other	08	114	Panel/Generic/PentaBandPanel short	LTE 600	80	120
Other	09	114	Panel/Generic/PentaBandPanel short	LTE 1900	80	240
Other	09	114	Panel/Generic/PentaBandPanel short	LTE 2100	80	240
Other	09	114	Panel/Generic/PentaBandPanel short	LTE 700	80	240
Other	09	114	Panel/Generic/PentaBandPanel short	LTE 600	80	240

## 6.0 Certifications

### a. Preparer Certification

I, Angel o Santos, the preparer of this report, am familiar with the Rules and Regulations of both the Federal Communications Commission (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation. I am also familiar with AT&T's RF Exposure: Responsibilities, Procedures & Guidelines document. I have reviewed this Radio Frequency Exposure Assessment report and believe it to be both true and accurate to the best of my knowledge.

*Angela Santos*

9/15/2025

### b. Reviewer Certification

I, Emily McPherson, the reviewer and approver of this report, am fully aware of and familiar with the Rules and Regulations of both the Federal Communications Commission (FCC) and the Occupational Safety and Health Administration (OSHA) with regard to Human Exposure to Radio Frequency Radiation. I am also fully aware of and familiar with AT&T's RF Exposure: Responsibilities, Procedures & Guidelines document. I have reviewed this Radio Frequency Exposure Assessment report and believe it to be both true and accurate to the best of my knowledge.

*Emily McPherson, PE*

Director - RF Engineering

9/15/2025



APPROVED BY: Emily A. McPherson, P.E.  
 NY License #: 108843, EXP: 10/31/26  
 Airosmith Development  
 Joseph Johnston Engineering, D.P.C  
 DBA: Airosmith Engineering  
 COA: 17285, EXP: 5/31/26

## 7.0 APPENDIX A - Predictive Modeling Technique

Airosmith Engineering has performed worst case predictive modeling on the proposed AT&T antenna installation as compared to the FCC limits on Maximum Permissible Exposure (MPE) as outlined in FCC's OET Bulletin 65 using IXUS EMF Compliance Management Software, Version 4.15.0. IXUS is a commercially available software developed by Alphawave.

IXUS uses Ray-Tracing RF exposure modeling to calculate the power density and compares it with FCC Limits. The ray tracing method is an advanced computation method described by an international standards protocol: IEC 622321.

RF power density levels are calculated using the IXUS Modeler. IXUS employs a synthetic ray tracing method for panel and omnidirectional antennas and a cylindrical envelope method for microwave dish (parabolic reflector / aperture) antennas.

IXUS uses elemental sources, which are representative of how an antenna emits RF energy. These elemental sources are selected by an analysis of the antennas and their manufacturers' datasheets. All of the sources representing all of the antennas are summed to determine power density. Ray tracing algorithms typically overestimate RF power density because they do not take into account absorption of RF energy in the ground, building walls and other man-made structures.

The power density summation works as follows:

To calculate exposure and compliance boundaries, power density from each source (exposure value by frequency  $EV_f$ ) is divided by the appropriate exposure limit ( $EL_f$ ), creating an exposure ratio ( $ER_f$ ).

$$ER_f = \frac{EV_f}{EL_f}$$

Ratios from each source are combined to determine a total exposure ratio **TER**. This ratio is used to determine exposure and compliance boundaries.

$$TER = \sum_{i=1}^n ER_i$$

IXUS uses the calculated **TER** to create graphical 3D compliance boundaries around all of the antennas combined and to determine the exposure at any location.

Additionally, a conservative and verified modelling technique for 5G beamforming antennas in IXUS is also used. The simulation accuracy of the IXUS calculation module has been verified extensively with full-wave EM simulations using FEKO. All antenna models that are used in the IXUS modeler undergo a rigorous verification process, whereby manufacturer data obtained from datasheets or pattern information is compared to that of the IXUS antenna model, during the synthesis process.

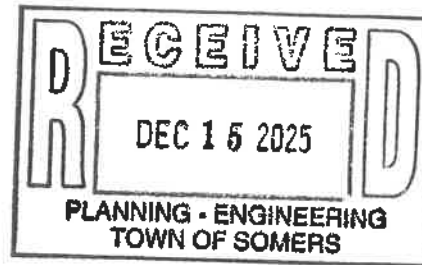
<sup>1</sup> IEC 62232:2017, Determination of RF field strength and SAR in the vicinity of radiocommunication base stations for the purpose of evaluating human exposure, International Electrotechnical Commission, Geneva.



*gaviria*  
*engineering, llc*

July 15, 2025

AT&T  
New Cingular Wireless PCS, LLC  
1425 US Highway 206, Suite N2C04  
Bedminster, NJ 07921



**Project No.: 2024-0219.004B**

Re: Antenna Fit Assessment  
AT&T Site Ref: NYCNNY5577 | FAA: 10107990 | IWM ID: WSNYJ0045802  
80 Route 6 | Somers, NY 10589

To whom it may concern:

Pursuant to your request Gaviria Engineering, LLC. evaluated the fit of the proposed antennas within the existing concealment canister at the above referenced site. The information below, which has been provided by ANSCO/AT&T, was used for this assessment:

- Existing Spine Diameter: 6" O.D. Steel Tube (A572-50)
- Existing Canister Height:  $\pm 10'-0"$
- Existing Canister Outer Diameter: 38" O.D
- Existing Canister Panel Thickness:  $1/2"$  (Assumed)
- Existing Cables to Remain: (12)- $7/8"$ -dia coaxial cables
- Existing Antennas to be Removed: (3)-Commscope JAHH-65B-R3B-V3
- Existing Plexers to be Removed: (6)-Commscope CDX723ATDS-T
- Existing Antenna Mounting system to be removed: Model Unknown
- Proposed Antennas to be Installed (RC =  $\pm 84'-0"$  AGL): (3) Commscope KVVSS-65A-R3
- Proposed Triplexers to be installed (RC =  $\pm 84'-0"$  AGL): (6) Commscope STX61742T-43
- Proposed Antenna Tri-Sector Mount: EEI Triad

Based on the provided information, the proposed antennas and triplexers will fit within the existing concealment canisters. No further modifications are required.

Please note, Gaviria Engineering did not independently verify the accuracy of the information provided. Therefore, unless specifically informed to the contrary by the client in writing, Gaviria Engineering assumed the information provided to be current and accurate. This assessment may be affected if assumptions are not valid or have been made in error. Gaviria Engineering should be notified immediately should any discrepancies be discovered between the actual conditions and the assumptions previously stated above.

If there are any further questions or concerns pertaining to this matter, please do not hesitate to contact our office.

Respectfully Submitted by:

A handwritten signature in black ink, appearing to read "Camilo A. Gaviria".

Camilo A. Gaviria, PE  
NY License Number: 094735-1



12/11/2025

Town of Somers  
Planning Department  
335 Route 202  
Somers, NY 10589

**Re: New Cingular Wireless PCS, LLC ("AT&T") building permit application ("Application") for equipment upgrades at the existing wireless telecommunications facility at 80 Route 6, Somers NY**

To whom it may concern,

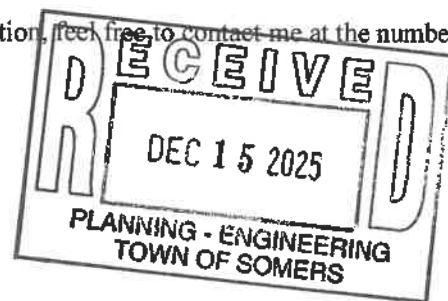
This letter serves as formal notification that a visual inspection of the tower located at 80 Route 6, Somers, New York, will be conducted prior to the commencement of construction activities.

The purpose of this inspection is to verify the current physical condition of the structure and ensure alignment with the findings of the previously completed structural analysis by Paul J. Ford & Company dated, November 11<sup>th</sup>, 2025.

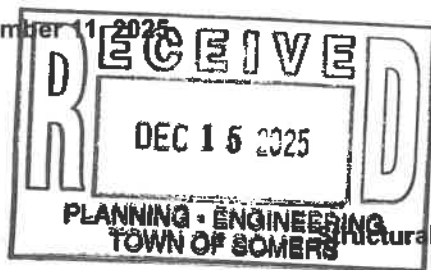
Should you have any questions or require further information, feel free to contact me at the number listed below.

Sincerely,

**Alexis Engelhardt**  
Sr. Specialist, Wireless  
Office: 518-306-1711 x 1038  
Mobile: 973-928-9018  
[aengelhardt@airosmithdevelopment.com](mailto:aengelhardt@airosmithdevelopment.com)  
318 West Avenue, Saratoga Springs, NY 12866



Date: November 11, 2025



Paul J Ford  
250 East Broad Street, STE 600  
Columbus, OH  
614-221-6679

**Subject:** **PLANNING • ENGINEERING TOWN OF SOMERS** Structural Analysis Report

**Carrier Designation:** **AT&T Mobility Co-Locate**  
**Site Number:** NYCNNY5577  
**Site Name:** Somers Commons Route 6  
**FA Number:** 10107990

**Crown Castle Designation:** **BU Number:** 825418  
**Site Name:** LMU Somers Com 80 Route 6  
**JDE Job Number:** 2165672  
**Work Order Number:** 2443750  
**Order Number:** 722495 Rev. 0

**Engineering Firm Designation:** **Paul J Ford Project Number:** 37525-0116.001.7805

**Site Data:** 80 Route 6, Somers, Westchester County, NY  
Latitude 41° 20' 33.92", Longitude -73° 45' 20.98"  
119 Foot - Monopole Tower

Paul J Ford is pleased to submit this "Structural Analysis Report" to determine the structural integrity of the above-mentioned tower.

The purpose of the analysis is to determine acceptability of the tower stress level. Based on our analysis we have determined the tower stress level for the structure and foundation, under the following load case, to be:

LC5: Proposed Equipment Configuration

**Sufficient Capacity**

This analysis utilizes an ultimate 3-second gust wind speed of 114 mph as required by the 2020 New York State Uniform Code. Applicable standard references and design criteria are listed in Section 2 - Analysis Criteria.

Respectfully submitted by:

A handwritten signature in cursive script, appearing to read "Paul J. Ford".

1 RMF



Date: 2025.11.12 15:46:33-0500

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### **7) APPENDIX C**

Additional Calculations

## 1) INTRODUCTION

This tower is a 119 ft Monopole tower designed by ENGINEERED ENDEAVORS, INC. in September of 2009, and mapped by FDH in December of 2014.

The tower has been modified per reinforcement drawings prepared by PJF in January of 2019. Reinforcement consist of canister replacement.

## 2) ANALYSIS CRITERIA

<b>TIA-222 Revision:</b>	TIA-222-H
<b>Risk Category:</b>	II
<b>Wind Speed:</b>	114 mph
<b>Exposure Category:</b>	C
<b>Topographic Factor:</b>	1
<b>Ice Thickness:</b>	1 in
<b>Wind Speed with Ice:</b>	40 mph
<b>Service Wind Speed:</b>	60 mph

**Table 1 - Proposed Equipment Configuration**

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
84.0	84.0	3	commscope	KVVSS-65A_R3	12	7/8
		6	commscope	STX61742T-43		

**Table 2 - Other Considered Equipment**

Mounting Level (ft)	Center Line Elevation (ft)	Number of Antennas	Antenna Manufacturer	Antenna Model	Number of Feed Lines	Feed Line Size (in)
114.0	115.0	1	-	Concealment Canister (38"x10')	12	7/8
		2	rfs celwave	APXVARR18_43-C-NA20		
		4	rfs celwave	ATMA4P4DBP-1A20		
104.0	105.0	1	-	Concealment Canister (38"x10')	12	7/8
		2	rfs celwave	APXVARR18_43-C-NA20		
		4	ericsson	KRY 112 144/2		
94.0	95.0	1	-	Concealment Canister (38"x10')	3 12	3/8 7/8
	93.0	3	commscope	SBNH-1D65C		
		6	rfs celwave	FDAP5002/1C-3L		
85.0	85.0	1	-	Concealment Canister (38"x10')	-	-

### 3) ANALYSIS PROCEDURE

**Table 3 - Documents Provided**

Document	Reference	Source
4-GEOTECHNICAL REPORTS	3585247	CCISITES
4-TOWER MANUFACTURER DRAWINGS	3585248	CCISITES
4-TOWER FOUNDATION DRAWINGS/DESIGN/SPECS	3959581	CCISITES
4-STRUCTURAL ANALYSIS	7997869	CCISITES
4-TOWER REINFORCEMENT DESIGN/DRAWINGS/DATA	8471095	CCISITES
4-POST-MODIFICATION INSPECTION	8827131	CCISITES

#### 3.1) Analysis Method

tnxTower (version 8.3.0.5), a commercially available analysis software package, was used to create a three-dimensional model of the tower and calculate member stresses for various loading cases. Selected output from the analysis is included in Appendix A. When applicable, Crown Castle has calculated and provided the effective area for panel antennas using approved methods following the intent of the TIA-222 standard.

#### 3.2) Assumptions

- 1) Tower and structures were maintained in accordance with the TIA-222 Standard.
- 2) The configuration of antennas, transmission cables, mounts and other appurtenances are as specified in Tables 1 and 2 and the referenced drawings.
- 3) The structure was modified in conformance with the referenced modification drawings as shown in the referenced post modification inspection.
- 4) The flange at 80 ft was assumed to have enough capacity for the new loading based on the finite element analysis made previously in the DOC#7997869. The reactions in this analysis are less than the reactions obtained in the referenced report. Therefore, no additional Finite Element Analysis of the flange plate is required.

This analysis may be affected if any assumptions are not valid or have been made in error. Paul J Ford should be notified to determine the effect on the structural integrity of the tower.

#### 4) ANALYSIS RESULTS

**Table 4 - Section Capacity (Summary)**

Section No.	Elevation (ft)	Component Type	Size	Critical Element	P (K)	SF*P_allow (K)	% Capacity	Pass / Fail
L1	120 - 100	Pole	TP4.5x4.5x0.674	1	-1.76	267.95	53.7	Pass
L2	100 - 80	Pole	TP6x6x3	2	-5.49	1335.96	39.7	Pass
L3	80 - 48.87	Pole	TP29.83x25.5x0.1875	3	-8.04	1061.99	22.1	Pass
L4	48.87 - 1	Pole	TP36x26.2016x0.25	4	-14.75	1742.49	31.1	Pass
							Summary	
						Pole (L1)	53.7	Pass
						<b>RATING =</b>	<b>53.7</b>	<b>Pass</b>

**Table 5 - Tower Component Stresses vs. Capacity**

Notes	Component	Elevation (ft)	% Capacity	Pass / Fail
1	Flange Bolts	100	7.9	Pass
1	Flange Plate		78.1	Pass
1,2	Flange Connection	80	Sufficient	Pass
1	Anchor Rods	0	44.6	Pass
1	Base Plate	0	34.8	Pass
1	Base Foundation (Soil Interaction)	0	20.3	Pass
1	Base Foundation Structural Steel	0	31.4	Pass

<b>Structure Rating (max from all components) =</b>	<b>78.1%</b>
---	--------------

**Notes:**

- All structural ratings are per TIA-222-H Section 15.5
- 1) See additional documentation in "Appendix C – Additional Calculations" for calculations supporting the % capacity consumed.
- 2) See assumption #4.

#### 4.1) Recommendations

The tower and its foundation have sufficient capacity to carry the proposed load configuration. No modifications are required at this time.

**APPENDIX A**  
**TNXTOWER OUTPUT**



Section	4	3	2	1
Length (ft)	52.1200	31.1300	20.0000	20.0000
Number of Sides	18	18	0	0
Thickness (in)	0.2500	0.1875	3.0000	0.6740
Socket Length (ft)		4.2500		
Top Dia (in)	26.2016	25.6000	6.0000	4.5000
Bot Dia (in)	36.0000	29.6300	6.0000	4.5000
Grade	A572-55	A572-50	A53-B-35	
Weight (K)	4.3	1.7	1.9	0.6

120.0 ft

100.0 ft

80.0 ft

48.9 ft

1.0 ft



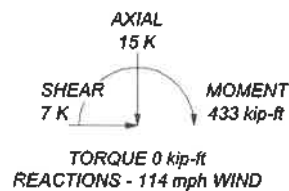
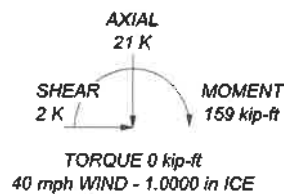
### MATERIAL STRENGTH

GRADE	Fy	Fu	GRADE	Fy	Fu
A53-B-35	35 ksi	60 ksi	A572-65	65 ksi	90 ksi
A572-50	50 ksi	65 ksi			

### TOWER DESIGN NOTES

1. Tower designed for Exposure C to the TIA-222-H Standard.
2. Tower designed for a 114 mph basic wind in accordance with the TIA-222-H Standard.
3. Tower is also designed for a 40 mph basic wind with 1.00 in ice. Ice is considered to increase in thickness with height.
4. Deflections are based upon a 60 mph wind.
5. Tower Risk Category II.
6. Topographic Category 1 with Crest Height of 0.00 ft
7. TIA-222-H Annex S
8. TOWER RATING: 53.7%

ALL REACTIONS  
ARE FACTORED



**PJF**  
Paul J Ford  
250 East Broad Street, STE 600  
Columbus, OH  
Phone: 614-221-6679  
FAX: (555) 555-1235

Job: **120' Monopole / LMU Somers Com 80 Route 6 / Somers, N**  
Project: **PJF# 37525-0116.001.7805 / BU# 825418**  
Client: **Crown Castle** Drawn by: **jacuna** App'd:  
Code: **TIA-222-H** Date: **11/11/25** Scale: **NTS**  
Path: Dwg No. **E-1**

## Tower Input Data

The tower is a monopole.

This tower is designed using the TIA-222-H standard.

The following design criteria apply:

- 1) Tower base elevation above sea level: 604.42 ft.
- 2) Basic wind speed of 114 mph.
- 3) Risk Category II.
- 4) Exposure Category C.
- 5) Simplified Topographic Factor Procedure for wind speed-up calculations is used.
- 6) Topographic Category: 1.
- 7) Crest Height: 0.00 ft.
- 8) Nominal ice thickness of 1.0000 in.
- 9) Ice thickness is considered to increase with height.
- 10) Ice density of 56.00 pcf.
- 11) A wind speed of 40 mph is used in combination with ice.
- 12) Temperature drop of 50 °F.
- 13) Deflections calculated using a wind speed of 60 mph.
- 14) TIA-222-H Annex S.
- 15) Non-linear (P-delta) analysis was used.
- 16) Pressures are calculated at each section.
- 17) Stress ratio used in pole design is 1.
- 18) Tower analysis based on target reliabilities in accordance with Annex S.
- 19) Load Modification Factors used:  $K_{es}(F_w) = 0.95$ ,  $K_{es}(t) = 0.85$ .
- 20) Maximum demand-capacity ratio is: 1.05.
- 21) Local bending stresses due to climbing loads, feed line supports, and appurtenance mounts are not considered.

## Options

Consider Moments - Legs	Assume Legs Pinned	Calculate Redundant Bracing Forces
Consider Moments - Horizontals	✓ Assume Rigid Index Plate	Ignore Redundant Members in FEA
Consider Moments - Diagonals	✓ Use Clear Spans For Wind Area	SR Leg Bolts Resist Compression
Use Moment Magnification	Use Clear Spans For KL/r	All Leg Panels Have Same Allowable
✓ Use Code Stress Ratios	Retention Guys To Initial Tension	Offset Girt At Foundation
✓ Use Code Safety Factors - Guys	✓ Bypass Mast Stability Checks	✓ Consider Feed Line Torque
Escalate Ice	✓ Use Azimuth Dish Coefficients	Include Angle Block Shear Check
Always Use Max Kz	✓ Project Wind Area of Appurtenances	Use TIA-222-H Bracing Resist. Exemption
Kz In Exposure D Hurricane Region	Alternative Appurt. EPA Calculation	Use TIA-222-H Tension Splice Exemption
Include Bolts In Member Capacity	Autocalc Torque Arm Areas	<b>Poles</b>
Leg Bolts Are At Top Of Section	Add IBC .6D+W Combination	✓ Include Shear-Torsion Interaction
Secondary Horizontal Braces Leg	Sort Capacity Reports By Component	Always Use Sub-Critical Flow
Use Diamond Inner Bracing (4 Sided)	Triangulate Diamond Inner Bracing	Use Top Mounted Sockets
SR Members Have Cut Ends	Treat Feed Line Bundles As Cylinder	✓ Pole Without Linear Attachments
SR Members Are Concentric	Ignore KL/r For 60 Deg. Angle Legs	✓ Pole With Shroud Or No Appurtenances
Distribute Leg Loads As Uniform	Use ASCE 10 X-Brace Ly Rules	Outside and Inside Corner Radii Are Known
Use Special Wind Profile		

## Tapered Pole Section Geometry

Section	Elevation ft	Section Length ft	Splice Length ft	Number of Sides	Top Diameter in	Bottom Diameter in	Wall Thickness in	Bend Radius in	Pole Grade
L1	120.0000- 100.0000	20.0000	0.00	Round	4.5000	4.5000	0.6740		A53-B-35 (35 ksi)
L2	100.0000- 80.0000	20.0000	0.00	Round	6.0000	6.0000	3.0000		A572-50 (50 ksi)
L3	80.0000- 48.8700	31.1300	4.25	18	25.5000	29.8300	0.1875	0.7500	A572-65 (65 ksi)

Section	Elevation ft	Section Length ft	Splice Length ft	Number of Sides	Top Diameter in	Bottom Diameter in	Wall Thickness in	Bend Radius in	Pole Grade
L4	48.8700- 1.0000	52.1200		18	26.2016	36.0000	0.2500	1.0000	A572-65 (65 ksi)

### Tapered Pole Properties

Section	Tip Dia. in	Area in <sup>2</sup>	I in <sup>4</sup>	r in	C in	I/C in <sup>3</sup>	J in <sup>4</sup>	It/Q in <sup>2</sup>	w in	w/t
L1	4.5000	8.1013	15.2837	1.3735	2.2500	6.7927	30.5673	4.0482	0.0000	0
	4.5000	8.1013	15.2837	1.3735	2.2500	6.7927	30.5673	4.0482	0.0000	0
L2	6.0000	28.2743	63.6173	1.5000	3.0000	21.2058	127.2345	14.1287	0.0000	0
	6.0000	28.2743	63.6173	1.5000	3.0000	21.2058	127.2345	14.1287	0.0000	0
L3	25.8645	15.0641	1219.4128	8.9859	12.9540	94.1341	2440.4302	7.5335	4.1580	22.176
	30.2613	17.6410	1958.3492	10.5231	15.1536	129.2329	3919.2752	8.8222	4.9201	26.24
L4	27.3786	20.5926	1752.1777	9.2128	13.3104	131.6395	3506.6610	10.2983	4.1715	16.686
	36.5168	28.3676	4580.4961	12.6913	18.2880	250.4646	9167.0194	14.1865	5.8960	23.584

Tower Elevation ft	Gusset Area (per face) ft <sup>2</sup>	Gusset Thickness in	Gusset Grade	Adjust. Factor A <sub>r</sub>	Adjust. Factor A <sub>r</sub>	Weight Mult.	Double Angle Stitch Bolt Spacing Diagonals in	Double Angle Stitch Bolt Spacing Horizontals in	Double Angle Stitch Bolt Spacing Redundants in
L1 120.0000- 100.0000				1	0	1			
L2 100.0000- 80.0000				1	0	1			
L3 80.0000- 48.8700				1	1	1			
L4 48.8700- 1.0000				1	1	1			

### Feed Line/Linear Appurtenances - Entered As Round Or Flat

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Total Number	Number Per Row	Clear Spacing in	Width or Diameter r in	Perimeter r in	Weight klf
*****											

### Feed Line/Linear Appurtenances - Entered As Area

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Total Number	C <sub>A</sub> A <sub>A</sub> ft <sup>2</sup> /ft	Weight klf
*****								
LDF5-50A(7/8)	C	No	No	Inside Pole	114.0000 - 1.0000	12	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000
*****								
LDF5-50A(7/8)	C	No	No	Inside Pole	104.0000 - 1.0000	12	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000
*****								
FLC38-50J(3/8)	C	No	No	Inside Pole	94.0000 - 1.0000	3	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000

Description	Face or Leg	Allow Shield	Exclude From Torque Calculation	Component Type	Placement ft	Total Number		C <sub>A</sub> A <sub>A</sub> ft <sup>2</sup> /ft	Weight klf
LCF78-50J(7/8)	C	No	No	Inside Pole	94.0000 - 1.0000	12	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.00 0.00 0.00
*****									
AL5-50(7/8)	C	No	No	Inside Pole	84.0000 - 1.0000	12	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.00 0.00 0.00
*****									

### Feed Line/Linear Appurtenances Section Areas

Tower Section n	Tower Elevation ft	Face	A <sub>R</sub> ft <sup>2</sup>	A <sub>F</sub> ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> In Face ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> Out Face ft <sup>2</sup>	Weight K
L1	120.0000- 100.0000	A	0.000	0.000	0.000	0.000	0.00
		B	0.000	0.000	0.000	0.000	0.00
		C	0.000	0.000	0.000	0.000	0.07
L2	100.0000- 80.0000	A	0.000	0.000	0.000	0.000	0.00
		B	0.000	0.000	0.000	0.000	0.00
		C	0.000	0.000	0.000	0.000	0.26
L3	80.0000-48.8700	A	0.000	0.000	0.000	0.000	0.00
		B	0.000	0.000	0.000	0.000	0.00
		C	0.000	0.000	0.000	0.000	0.55
L4	48.8700-1.0000	A	0.000	0.000	0.000	0.000	0.00
		B	0.000	0.000	0.000	0.000	0.00
		C	0.000	0.000	0.000	0.000	0.84

### Feed Line/Linear Appurtenances Section Areas - With Ice

Tower Section n	Tower Elevation ft	Face or Leg	Ice Thickness in	A <sub>R</sub> ft <sup>2</sup>	A <sub>F</sub> ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> In Face ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> Out Face ft <sup>2</sup>	Weight K
L1	120.0000- 100.0000	A	0.959	0.000	0.000	0.000	0.000	0.00
		B		0.000	0.000	0.000	0.000	0.00
		C		0.000	0.000	0.000	0.000	0.07
L2	100.0000- 80.0000	A	0.940	0.000	0.000	0.000	0.000	0.00
		B		0.000	0.000	0.000	0.000	0.00
		C		0.000	0.000	0.000	0.000	0.26
L3	80.0000-48.8700	A	0.909	0.000	0.000	0.000	0.000	0.00
		B		0.000	0.000	0.000	0.000	0.00
		C		0.000	0.000	0.000	0.000	0.55
L4	48.8700-1.0000	A	0.826	0.000	0.000	0.000	0.000	0.00
		B		0.000	0.000	0.000	0.000	0.00
		C		0.000	0.000	0.000	0.000	0.84

### Feed Line Center of Pressure

Section	Elevation ft	CP <sub>x</sub> in	CP <sub>z</sub> in	CP <sub>x</sub> Ice in	CP <sub>z</sub> Ice in
L1	120.0000- 100.0000	0.0000	0.0000	0.0000	0.0000
L2	100.0000-80.0000	0.0000	0.0000	0.0000	0.0000
L3	80.0000-48.8700	0.0000	0.0000	0.0000	0.0000
L4	48.8700-1.0000	0.0000	0.0000	0.0000	0.0000

Note: For pole sections, center of pressure calculations do not consider feed line shielding.

### User Defined Loads

Description	Elevation	Offset From Centroid	Azimuth Angle		Weight	F <sub>x</sub>	F <sub>y</sub>	Wind Force	C <sub>A</sub> A <sub>C</sub>
	ft	ft	°		K	K	K	K	ft <sup>2</sup>
Concealment Canister (38"x10")-top	120.0000	0.00	0.00	No Ice	0.12	0.00	0.00	0.31	6.9755
				Ice	0.35	0.00	0.00	0.14	25.1304
				Service	0.12	0.00	0.00	0.08	6.9756
Concealment Canister (38"x10")-bottom	110.0000	0.00	0.00	No Ice	0.12	0.00	0.00	0.31	7.1045
				Ice	0.35	0.00	0.00	0.14	25.5950
				Service	0.12	0.00	0.00	0.08	7.1045
Concealment Canister (38"x10")-top	110.0000	0.00	0.00	No Ice	0.15	0.00	0.00	0.31	6.9726
				Ice	0.38	0.00	0.00	0.14	25.1051
				Service	0.15	0.00	0.00	0.08	6.9726
Concealment Canister (38"x10")-bottom	100.0000	0.00	0.00	No Ice	0.15	0.00	0.00	0.31	7.1140
				Ice	0.38	0.00	0.00	0.14	25.6139
				Service	0.15	0.00	0.00	0.08	7.1140
Concealment Canister (38"x10")-top	100.0000	0.00	0.00	No Ice	0.12	0.00	0.00	0.30	6.9687
				Ice	0.35	0.00	0.00	0.13	25.0749
				Service	0.12	0.00	0.00	0.07	6.9687
Concealment Canister (38"x10")-bottom	90.0000	0.00	0.00	No Ice	0.12	0.00	0.00	0.30	7.1250
				Ice	0.35	0.00	0.00	0.13	25.6373
				Service	0.12	0.00	0.00	0.07	7.1250
Concealment Canister (38"x10")-top	90.0000	0.00	0.00	No Ice	0.18	0.00	0.00	0.29	6.9633
				Ice	0.41	0.00	0.00	0.13	25.0379
				Service	0.18	0.00	0.00	0.07	6.9633
Concealment Canister (38"x10")-bottom	80.0000	0.00	0.00	No Ice	0.18	0.00	0.00	0.29	7.1381
				Ice	0.41	0.00	0.00	0.13	25.6666
				Service	0.18	0.00	0.00	0.07	7.1381

### Discrete Tower Loads

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustmen t °	Placement ft		C <sub>A</sub> A <sub>A</sub> Front ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> Side ft <sup>2</sup>	Weight K
*****									
*****									
*****									
*****									
APXVARR18_43-C-NA20	B	From Leg	1.0000 0.00 1.00	0.00	114.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.10 0.17 0.26
APXVARR18_43-C-NA20	C	From Leg	1.0000 0.00 1.00	0.00	114.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.10 0.17 0.26
(2) ATMA4P4DBP-1A20	B	From Leg	1.0000 0.00 1.00	0.00	114.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.02 0.02 0.03
(2) ATMA4P4DBP-1A20	C	From Leg	1.0000 0.00 1.00	0.00	114.0000	No Ice 1/2" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.02 0.02 0.03

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustmen t °	Placement ft		C <sub>A</sub> A <sub>A</sub> Front ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> Side ft <sup>2</sup>	Weight K
						1" Ice			
*****									
APXVARR18_43-C-NA20	A	From Leg	1.0000 0.00 1.00	0.00	104.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.10 0.17 0.26
APXVARR18_43-C-NA20	B	From Leg	1.0000 0.00 1.00	0.00	104.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.10 0.17 0.26
(2) KRY 112 144/2	A	From Leg	1.0000 0.00 1.00	0.00	104.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.01 0.01 0.02
(2) KRY 112 144/2	B	From Leg	1.0000 0.00 1.00	0.00	104.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.01 0.01 0.02
*****									
SBNH-1D65C	A	From Leg	1.0000 0.00 -1.00	0.00	94.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.05 0.12 0.19
SBNH-1D65C	B	From Leg	1.0000 0.00 -1.00	0.00	94.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.05 0.12 0.19
SBNH-1D65C	C	From Leg	1.0000 0.00 -1.00	0.00	94.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.05 0.12 0.19
(2) FDAP5002/1C-3L	A	From Leg	1.0000 0.00 -1.00	0.00	94.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.01 0.01 0.02
(2) FDAP5002/1C-3L	B	From Leg	1.0000 0.00 -1.00	0.00	94.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.01 0.01 0.02
(2) FDAP5002/1C-3L	C	From Leg	1.0000 0.00 -1.00	0.00	94.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.01 0.01 0.02
*****									
KVVSS-65A_R3	A	From Leg	1.0000 0.00 0.00	0.00	84.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.04 0.07 0.11
KVVSS-65A_R3	B	From Leg	1.0000 0.00 0.00	0.00	84.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.04 0.07 0.11
KVVSS-65A_R3	C	From Leg	1.0000 0.00 0.00	0.00	84.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.04 0.07 0.11
(2) STX61742T-43	A	From Leg	1.0000 0.00 0.00	0.00	84.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.01 0.01 0.01
(2) STX61742T-43	B	From Leg	1.0000 0.00 0.00	0.00	84.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.01 0.01 0.01
(2) STX61742T-43	C	From Leg	1.0000 0.00 0.00	0.00	84.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.01 0.01 0.01

Description	Face or Leg	Offset Type	Offsets: Horz Lateral Vert ft ft ft	Azimuth Adjustmen t °	Placement ft		C <sub>A</sub> A <sub>A</sub> Front ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> Side ft <sup>2</sup>	Weight K
			0.00 0.00			1/2" Ice 1" Ice	0.0000 0.0000	0.0000 0.0000	0.01 0.01
*****									
Concealment Canister (38"x10")	C	None		0.00	115.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.00 0.00 0.00
Concealment Canister (38"x10")	C	None		0.00	105.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.00 0.00 0.00
Concealment Canister (38"x10")	C	None		0.00	95.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.00 0.00 0.00
Concealment Canister (38"x10")	C	None		0.00	85.0000	No Ice 1/2" Ice 1" Ice	0.0000 0.0000 0.0000	0.0000 0.0000 0.0000	0.00 0.00 0.00

### Tower Pressures - No Ice

$$G_H = 1.100$$

Section Elevation ft	z ft	K <sub>z</sub>	q <sub>z</sub> psf	A <sub>G</sub> ft <sup>2</sup>	F a c e	A <sub>F</sub> ft <sup>2</sup>	A <sub>R</sub> ft <sup>2</sup>	A <sub>leg</sub> ft <sup>2</sup>	Leg %	C <sub>A</sub> A <sub>A</sub> In Face ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> Out Face ft <sup>2</sup>
L1 120.0000- 100.0000	110.0000	1.291	39.93 0	7.500	A B C	0.000 0.000 0.000	0.000 0.000 0.000	0.000	0.00 0.00 0.00	0.000 0.000 0.000	0.000 0.000 0.000
L2 100.0000- 80.0000	90.0000	1.238	38.27 9	10.000	A B C	0.000 0.000 0.000	0.000 0.000 0.000	0.000	0.00 0.00 0.00	0.000 0.000 0.000	0.000 0.000 0.000
L3 80.0000- 48.8700	64.2274	1.153	35.58 7	72.800	A B C	0.000 0.000 0.000	72.800 72.800 72.800	72.800	100.00 100.00 100.00	0.000 0.000 0.000	0.000 0.000 0.000
L4 48.8700- 1.0000	24.9062	0.945	28.78 6	127.44 5	A B C	0.000 0.000 0.000	127.445 127.445 127.445	127.445	100.00 100.00 100.00	0.000 0.000 0.000	0.000 0.000 0.000

### Tower Pressure - With Ice

$$G_H = 1.100$$

Section Elevation ft	z ft	K <sub>z</sub>	q <sub>z</sub> psf	t <sub>z</sub> in	A <sub>G</sub> ft <sup>2</sup>	F a c e	A <sub>F</sub> ft <sup>2</sup>	A <sub>R</sub> ft <sup>2</sup>	A <sub>leg</sub> ft <sup>2</sup>	Leg %	C <sub>A</sub> A <sub>A</sub> In Face ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> Out Face ft <sup>2</sup>
L1 120.0000- 100.0000	110.0000	1.291	4.916	0.9588	10.696	A B C	0.000 0.000 0.000	0.000 0.000 0.000	0.000	0.00 0.00 0.00	0.000 0.000 0.000	0.000 0.000 0.000
L2 100.0000- 80.0000	90.0000	1.238	4.713	0.9397	13.132	A B	0.000 0.000	0.000 0.000	0.000	0.00 0.00	0.000 0.000	0.000 0.000

Section Elevation ft	z ft	K <sub>z</sub>	q <sub>z</sub> psf	t <sub>z</sub> in	A <sub>G</sub> ft <sup>2</sup>	F a c e	A <sub>F</sub> ft <sup>2</sup>	A <sub>R</sub> ft <sup>2</sup>	A <sub>leg</sub> ft <sup>2</sup>	Leg %	C <sub>A</sub> A <sub>A</sub> In Face ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> Out Face ft <sup>2</sup>
L3 80.0000- 48.8700	64.2274	1.153	4.381	0.9085	77.513	C	0.000	0.000	77.513	0.00	0.000	0.000
						A	0.000	77.513		100.00	0.000	0.000
						B	0.000	77.513		100.00	0.000	0.000
						C	0.000	77.513		100.00	0.000	0.000
L4 48.8700- 1.0000	24.9062	0.945	3.544	0.8264	134.693	A	0.000	134.693	134.693	100.00	0.000	0.000
						B	0.000	134.693		100.00	0.000	0.000
						C	0.000	134.693		100.00	0.000	0.000

### Tower Pressure - Service

$$G_H = 1.100$$

Section Elevation ft	z ft	K <sub>z</sub>	q <sub>z</sub> psf	A <sub>G</sub> ft <sup>2</sup>	F a c e	A <sub>F</sub> ft <sup>2</sup>	A <sub>R</sub> ft <sup>2</sup>	A <sub>leg</sub> ft <sup>2</sup>	Leg %	C <sub>A</sub> A <sub>A</sub> In Face ft <sup>2</sup>	C <sub>A</sub> A <sub>A</sub> Out Face ft <sup>2</sup>
L1 120.0000- 100.0000	110.0000	1.291	9.897	7.500	A	0.000	0.000	0.000	0.00	0.000	0.000
					B	0.000	0.000		0.00	0.000	0.000
					C	0.000	0.000		0.00	0.000	0.000
L2 100.0000- 80.0000	90.0000	1.238	9.487	10.000	A	0.000	0.000	0.000	0.00	0.000	0.000
					B	0.000	0.000		0.00	0.000	0.000
					C	0.000	0.000		0.00	0.000	0.000
L3 80.0000- 48.8700	64.2274	1.153	8.820	72.800	A	0.000	72.800	72.800	100.00	0.000	0.000
					B	0.000	72.800		100.00	0.000	0.000
					C	0.000	72.800		100.00	0.000	0.000
L4 48.8700- 1.0000	24.9062	0.945	7.135	127.44 5	A	0.000	127.445	127.445	100.00	0.000	0.000
					B	0.000	127.445		100.00	0.000	0.000
					C	0.000	127.445		100.00	0.000	0.000

### Load Combinations

Comb. No.	Description
1	Dead Only
2	1.2 Dead+1.0 Wind 0 deg - No Ice
3	0.9 Dead+1.0 Wind 0 deg - No Ice
4	1.2 Dead+1.0 Wind 30 deg - No Ice
5	0.9 Dead+1.0 Wind 30 deg - No Ice
6	1.2 Dead+1.0 Wind 60 deg - No Ice
7	0.9 Dead+1.0 Wind 60 deg - No Ice
8	1.2 Dead+1.0 Wind 90 deg - No Ice
9	0.9 Dead+1.0 Wind 90 deg - No Ice
10	1.2 Dead+1.0 Wind 120 deg - No Ice
11	0.9 Dead+1.0 Wind 120 deg - No Ice
12	1.2 Dead+1.0 Wind 150 deg - No Ice
13	0.9 Dead+1.0 Wind 150 deg - No Ice
14	1.2 Dead+1.0 Wind 180 deg - No Ice
15	0.9 Dead+1.0 Wind 180 deg - No Ice
16	1.2 Dead+1.0 Wind 210 deg - No Ice
17	0.9 Dead+1.0 Wind 210 deg - No Ice
18	1.2 Dead+1.0 Wind 240 deg - No Ice
19	0.9 Dead+1.0 Wind 240 deg - No Ice
20	1.2 Dead+1.0 Wind 270 deg - No Ice
21	0.9 Dead+1.0 Wind 270 deg - No Ice
22	1.2 Dead+1.0 Wind 300 deg - No Ice
23	0.9 Dead+1.0 Wind 300 deg - No Ice
24	1.2 Dead+1.0 Wind 330 deg - No Ice
25	0.9 Dead+1.0 Wind 330 deg - No Ice
26	1.2 Dead+1.0 Ice+1.0 Temp
27	1.2 Dead+1.0 Wind 0 deg+1.0 Ice+1.0 Temp
28	1.2 Dead+1.0 Wind 30 deg+1.0 Ice+1.0 Temp



Comb. No.	Description
29	1.2 Dead+1.0 Wind 60 deg+1.0 Ice+1.0 Temp
30	1.2 Dead+1.0 Wind 90 deg+1.0 Ice+1.0 Temp
31	1.2 Dead+1.0 Wind 120 deg+1.0 Ice+1.0 Temp
32	1.2 Dead+1.0 Wind 150 deg+1.0 Ice+1.0 Temp
33	1.2 Dead+1.0 Wind 180 deg+1.0 Ice+1.0 Temp
34	1.2 Dead+1.0 Wind 210 deg+1.0 Ice+1.0 Temp
35	1.2 Dead+1.0 Wind 240 deg+1.0 Ice+1.0 Temp
36	1.2 Dead+1.0 Wind 270 deg+1.0 Ice+1.0 Temp
37	1.2 Dead+1.0 Wind 300 deg+1.0 Ice+1.0 Temp
38	1.2 Dead+1.0 Wind 330 deg+1.0 Ice+1.0 Temp
39	Dead+Wind 0 deg - Service
40	Dead+Wind 30 deg - Service
41	Dead+Wind 60 deg - Service
42	Dead+Wind 90 deg - Service
43	Dead+Wind 120 deg - Service
44	Dead+Wind 150 deg - Service
45	Dead+Wind 180 deg - Service
46	Dead+Wind 210 deg - Service
47	Dead+Wind 240 deg - Service
48	Dead+Wind 270 deg - Service
49	Dead+Wind 300 deg - Service
50	Dead+Wind 330 deg - Service

### Maximum Member Forces

Section No.	Elevation ft	Component Type	Condition	Gov. Load Comb.	Axial K	Major Axis Moment kip-ft	Minor Axis Moment kip-ft
L1	120 - 100	Pole	Max Tension	14	0.00	0.00	0.00
			Max. Compression	26	-3.34	-0.35	-0.26
			Max. Mx	8	-1.76	-14.52	-0.12
			Max. My	14	-1.76	-0.15	-14.49
			Max. Vy	8	1.09	-11.26	-0.12
			Max. Vx	14	1.09	-0.15	-11.23
			Max. Torque	8			-0.02
L2	100 - 80	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	26	-8.80	-0.39	-0.29
			Max. Mx	8	-5.49	-55.62	-0.13
			Max. My	14	-5.49	-0.17	-55.59
			Max. Vy	8	2.39	-34.40	-0.13
			Max. Vx	14	2.39	-0.16	-34.37
			Max. Torque	18			0.02
L3	80 - 48.87	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	26	-12.45	-0.38	-0.28
			Max. Mx	8	-8.04	-146.22	-0.14
			Max. My	14	-8.04	-0.17	-146.18
			Max. Vy	8	4.15	-146.22	-0.14
			Max. Vx	14	4.15	-0.17	-146.18
			Max. Torque	18			0.02
L4	48.87 - 1	Pole	Max Tension	1	0.00	0.00	0.00
			Max. Compression	26	-20.92	-0.37	-0.26
			Max. Mx	8	-14.75	-432.73	-0.14
			Max. My	14	-14.75	-0.17	-432.70
			Max. Vy	20	-6.77	432.39	-0.14
			Max. Vx	2	-6.77	-0.17	432.42
			Max. Torque	18			0.02

### Maximum Reactions

Location	Condition	Gov. Load Comb.	Vertical K	Horizontal, X K	Horizontal, Z K
Pole	Max. Vert	26	20.92	0.00	0.00

Location	Condition	Gov. Load Comb.	Vertical K	Horizontal, X K	Horizontal, Z K
	Max. H <sub>x</sub>	21	11.06	6.76	0.00
	Max. H <sub>z</sub>	3	11.06	0.00	6.76
	Max. M <sub>x</sub>	2	432.42	0.00	6.76
	Max. M <sub>z</sub>	8	432.73	-6.76	0.00
	Max. Torsion	18	0.02	5.85	-3.38
	Min. Vert	15	11.06	0.00	-6.76
	Min. H <sub>x</sub>	9	11.06	-6.76	0.00
	Min. H <sub>z</sub>	15	11.06	0.00	-6.76
	Min. M <sub>x</sub>	14	-432.70	0.00	-6.76
	Min. M <sub>z</sub>	20	-432.39	6.76	0.00
	Min. Torsion	6	-0.02	-5.85	3.38

### Tower Mast Reaction Summary

Load Combination	Vertical K	Shear <sub>y</sub> K	Shear <sub>z</sub> K	Overturing Moment, M <sub>x</sub> kip-ft	Overturing Moment, M <sub>z</sub> kip-ft	Torque kip-ft
Dead Only	12.29	-0.00	-0.00	0.08	-0.11	-0.00
1.2 Dead+1.0 Wind 0 deg - No Ice	14.75	-0.00	-6.76	-432.42	-0.17	0.01
0.9 Dead+1.0 Wind 0 deg - No Ice	11.06	-0.00	-6.76	-427.70	-0.12	0.01
1.2 Dead+1.0 Wind 30 deg - No Ice	14.75	3.38	-5.85	-374.47	-216.45	0.02
0.9 Dead+1.0 Wind 30 deg - No Ice	11.06	3.38	-5.85	-370.42	-214.04	0.01
1.2 Dead+1.0 Wind 60 deg - No Ice	14.75	5.85	-3.38	-216.14	-374.78	0.02
0.9 Dead+1.0 Wind 60 deg - No Ice	11.06	5.85	-3.38	-213.82	-370.64	0.01
1.2 Dead+1.0 Wind 90 deg - No Ice	14.75	6.76	-0.00	0.14	-432.73	0.01
0.9 Dead+1.0 Wind 90 deg - No Ice	11.06	6.76	-0.00	0.10	-427.92	0.01
1.2 Dead+1.0 Wind 120 deg - No Ice	14.75	5.85	3.38	216.44	-374.82	0.01
0.9 Dead+1.0 Wind 120 deg - No Ice	11.06	5.85	3.38	214.02	-370.64	0.00
1.2 Dead+1.0 Wind 150 deg - No Ice	14.75	3.38	5.85	374.78	-216.47	-0.01
0.9 Dead+1.0 Wind 150 deg - No Ice	11.06	3.38	5.85	370.62	-214.04	-0.00
1.2 Dead+1.0 Wind 180 deg - No Ice	14.75	-0.00	6.76	432.70	-0.17	-0.01
0.9 Dead+1.0 Wind 180 deg - No Ice	11.06	-0.00	6.76	427.89	-0.12	-0.01
1.2 Dead+1.0 Wind 210 deg - No Ice	14.75	-3.38	5.85	374.75	216.11	-0.02
0.9 Dead+1.0 Wind 210 deg - No Ice	11.06	-3.38	5.85	370.62	213.79	-0.01
1.2 Dead+1.0 Wind 240 deg - No Ice	14.75	-5.85	3.38	216.42	374.43	-0.02
0.9 Dead+1.0 Wind 240 deg - No Ice	11.06	-5.85	3.38	214.02	370.39	-0.01
1.2 Dead+1.0 Wind 270 deg - No Ice	14.75	-6.76	-0.00	0.14	432.39	-0.01
0.9 Dead+1.0 Wind 270 deg - No Ice	11.06	-6.76	-0.00	0.10	427.67	-0.01
1.2 Dead+1.0 Wind 300 deg - No Ice	14.75	-5.85	-3.38	-216.14	374.44	-0.01
0.9 Dead+1.0 Wind 300 deg - No Ice	11.06	-5.85	-3.38	-213.82	370.39	-0.00
1.2 Dead+1.0 Wind 330 deg - No Ice	14.75	-3.38	-5.85	-374.47	216.11	0.01

Load Combination	Vertical K	Shear <sub>x</sub> K	Shear <sub>y</sub> K	Overturning Moment, M <sub>x</sub> kip-ft	Overturning Moment, M <sub>y</sub> kip-ft	Torque kip-ft
0.9 Dead+1.0 Wind 330 deg - No Ice	11.06	-3.38	-5.85	-370.42	213.80	0.00
1.2 Dead+1.0 Ice+1.0 Temp	20.92	-0.00	-0.00	0.26	-0.37	0.00
1.2 Dead+1.0 Wind 0 deg+1.0 Ice+1.0 Temp	20.92	-0.00	-2.06	-158.02	-0.43	0.01
1.2 Dead+1.0 Wind 30 deg+1.0 Ice+1.0 Temp	20.92	1.03	-1.78	-136.80	-79.59	0.02
1.2 Dead+1.0 Wind 60 deg+1.0 Ice+1.0 Temp	20.92	1.78	-1.03	-78.85	-137.55	0.02
1.2 Dead+1.0 Wind 90 deg+1.0 Ice+1.0 Temp	20.92	2.06	-0.00	0.32	-158.76	0.01
1.2 Dead+1.0 Wind 120 deg+1.0 Ice+1.0 Temp	20.92	1.78	1.03	79.48	-137.55	0.00
1.2 Dead+1.0 Wind 150 deg+1.0 Ice+1.0 Temp	20.92	1.03	1.78	137.44	-79.59	-0.01
1.2 Dead+1.0 Wind 180 deg+1.0 Ice+1.0 Temp	20.92	-0.00	2.06	158.65	-0.43	-0.01
1.2 Dead+1.0 Wind 210 deg+1.0 Ice+1.0 Temp	20.92	-1.03	1.78	137.44	78.74	-0.02
1.2 Dead+1.0 Wind 240 deg+1.0 Ice+1.0 Temp	20.92	-1.78	1.03	79.48	136.69	-0.02
1.2 Dead+1.0 Wind 270 deg+1.0 Ice+1.0 Temp	20.92	-2.06	-0.00	0.32	157.91	-0.01
1.2 Dead+1.0 Wind 300 deg+1.0 Ice+1.0 Temp	20.92	-1.78	-1.03	-78.85	136.69	-0.00
1.2 Dead+1.0 Wind 330 deg+1.0 Ice+1.0 Temp	20.92	-1.03	-1.78	-136.80	78.74	0.01
Dead+Wind 0 deg - Service	12.29	-0.00	-1.68	-106.35	-0.14	0.00
Dead+Wind 30 deg - Service	12.29	0.84	-1.45	-92.09	-53.37	0.00
Dead+Wind 60 deg - Service	12.29	1.45	-0.84	-53.12	-92.34	0.00
Dead+Wind 90 deg - Service	12.29	1.68	-0.00	0.11	-106.60	0.00
Dead+Wind 120 deg - Service	12.29	1.45	0.84	53.34	-92.34	0.00
Dead+Wind 150 deg - Service	12.29	0.84	1.45	92.31	-53.37	-0.00
Dead+Wind 180 deg - Service	12.29	-0.00	1.68	106.57	-0.14	-0.00
Dead+Wind 210 deg - Service	12.29	-0.84	1.45	92.31	53.09	-0.00
Dead+Wind 240 deg - Service	12.29	-1.45	0.84	53.34	92.06	-0.00
Dead+Wind 270 deg - Service	12.29	-1.68	-0.00	0.11	106.32	-0.00
Dead+Wind 300 deg - Service	12.29	-1.45	-0.84	-53.12	92.06	-0.00
Dead+Wind 330 deg - Service	12.29	-0.84	-1.45	-92.09	53.09	0.00

## Solution Summary

Load Comb.	Sum of Applied Forces			Sum of Reactions			% Error
	PX K	PY K	PZ K	PX K	PY K	PZ K	
1	0.00	-12.29	0.00	0.00	12.29	0.00	0.002%
2	0.00	-14.75	-6.76	0.00	14.75	6.76	0.010%
3	0.00	-11.06	-6.76	0.00	11.06	6.76	0.011%
4	3.38	-14.75	-5.86	-3.38	14.75	5.85	0.010%
5	3.38	-11.06	-5.86	-3.38	11.06	5.85	0.008%
6	5.86	-14.75	-3.38	-5.85	14.75	3.38	0.010%
7	5.86	-11.06	-3.38	-5.85	11.06	3.38	0.008%
8	6.76	-14.75	0.00	-6.76	14.75	0.00	0.010%
9	6.76	-11.06	0.00	-6.76	11.06	0.00	0.011%
10	5.86	-14.75	3.38	-5.85	14.75	-3.38	0.007%
11	5.86	-11.06	3.38	-5.85	11.06	-3.38	0.008%
12	3.38	-14.75	5.86	-3.38	14.75	-5.85	0.007%
13	3.38	-11.06	5.86	-3.38	11.06	-5.85	0.008%

Load Comb.	Sum of Applied Forces			Sum of Reactions			% Error
	PX K	PY K	PZ K	PX K	PY K	PZ K	
14	0.00	-14.75	6.76	0.00	14.75	-6.76	0.010%
15	0.00	-11.06	6.76	0.00	11.06	-6.76	0.011%
16	-3.38	-14.75	5.86	3.38	14.75	-5.85	0.010%
17	-3.38	-11.06	5.86	3.38	11.06	-5.85	0.008%
18	-5.86	-14.75	3.38	5.85	14.75	-3.38	0.010%
19	-5.86	-11.06	3.38	5.85	11.06	-3.38	0.008%
20	-6.76	-14.75	0.00	6.76	14.75	0.00	0.010%
21	-6.76	-11.06	0.00	6.76	11.06	0.00	0.011%
22	-5.86	-14.75	-3.38	5.85	14.75	3.38	0.010%
23	-5.86	-11.06	-3.38	5.85	11.06	3.38	0.008%
24	-3.38	-14.75	-5.86	3.38	14.75	5.85	0.010%
25	-3.38	-11.06	-5.86	3.38	11.06	5.85	0.008%
26	0.00	-20.92	0.00	0.00	20.92	0.00	0.002%
27	0.00	-20.92	-2.06	0.00	20.92	2.06	0.003%
28	1.03	-20.92	-1.78	-1.03	20.92	1.78	0.003%
29	1.78	-20.92	-1.03	-1.78	20.92	1.03	0.003%
30	2.06	-20.92	0.00	-2.06	20.92	0.00	0.003%
31	1.78	-20.92	1.03	-1.78	20.92	-1.03	0.003%
32	1.03	-20.92	1.78	-1.03	20.92	-1.78	0.003%
33	0.00	-20.92	2.06	0.00	20.92	-2.06	0.003%
34	-1.03	-20.92	1.78	1.03	20.92	-1.78	0.003%
35	-1.78	-20.92	1.03	1.78	20.92	-1.03	0.003%
36	-2.06	-20.92	0.00	2.06	20.92	0.00	0.003%
37	-1.78	-20.92	-1.03	1.78	20.92	1.03	0.003%
38	-1.03	-20.92	-1.78	1.03	20.92	1.78	0.003%
39	0.00	-12.29	-1.68	0.00	12.29	1.68	0.003%
40	0.84	-12.29	-1.45	-0.84	12.29	1.45	0.003%
41	1.45	-12.29	-0.84	-1.45	12.29	0.84	0.003%
42	1.68	-12.29	0.00	-1.68	12.29	0.00	0.003%
43	1.45	-12.29	0.84	-1.45	12.29	-0.84	0.003%
44	0.84	-12.29	1.45	-0.84	12.29	-1.45	0.003%
45	0.00	-12.29	1.68	0.00	12.29	-1.68	0.003%
46	-0.84	-12.29	1.45	0.84	12.29	-1.45	0.003%
47	-1.45	-12.29	0.84	1.45	12.29	-0.84	0.003%
48	-1.68	-12.29	0.00	1.68	12.29	0.00	0.003%
49	-1.45	-12.29	-0.84	1.45	12.29	0.84	0.003%
50	-0.84	-12.29	-1.45	0.84	12.29	1.45	0.003%

## Non-Linear Convergence Results

Load Combination	Converged?	Number of Cycles	Displacement Tolerance	Force Tolerance
1	Yes	6	0.00000001	0.00001493
2	Yes	26	0.00014866	0.00005884
3	Yes	25	0.00013366	0.00006622
4	Yes	26	0.00014651	0.00014890
5	Yes	26	0.00009742	0.00011849
6	Yes	26	0.00014659	0.00014600
7	Yes	26	0.00009746	0.00011673
8	Yes	26	0.00014880	0.00005922
9	Yes	25	0.00013376	0.00006653
10	Yes	27	0.00010928	0.00011397
11	Yes	26	0.00009747	0.00011981
12	Yes	27	0.00010928	0.00011359
13	Yes	26	0.00009747	0.00011951
14	Yes	26	0.00014881	0.00005916
15	Yes	25	0.00013377	0.00006650
16	Yes	26	0.00014660	0.00014691
17	Yes	26	0.00009746	0.00011727
18	Yes	26	0.00014651	0.00014981
19	Yes	26	0.00009742	0.00011904
20	Yes	26	0.00014867	0.00005892
21	Yes	25	0.00013367	0.00006627
22	Yes	26	0.00014649	0.00014472
23	Yes	26	0.00009741	0.00011598
24	Yes	26	0.00014649	0.00014522
25	Yes	26	0.00009741	0.00011628
26	Yes	16	0.00000001	0.00001191
27	Yes	30	0.00012871	0.00000995
28	Yes	30	0.00012858	0.00001271
29	Yes	30	0.00012891	0.00001235
30	Yes	30	0.00012953	0.00001027
31	Yes	30	0.00012928	0.00001330
32	Yes	30	0.00012930	0.00001322
33	Yes	30	0.00012959	0.00001025
34	Yes	30	0.00012898	0.00001247
35	Yes	30	0.00012865	0.00001284
36	Yes	30	0.00012877	0.00000997
37	Yes	30	0.00012824	0.00001196
38	Yes	30	0.00012822	0.00001202
39	Yes	25	0.00000001	0.00002024
40	Yes	25	0.00000001	0.00001874
41	Yes	25	0.00000001	0.00001892
42	Yes	25	0.00000001	0.00002062
43	Yes	25	0.00000001	0.00001905
44	Yes	25	0.00000001	0.00001905
45	Yes	25	0.00000001	0.00002064
46	Yes	25	0.00000001	0.00001894
47	Yes	25	0.00000001	0.00001877
48	Yes	25	0.00000001	0.00002026
49	Yes	25	0.00000001	0.00001863
50	Yes	25	0.00000001	0.00001863

### Maximum Tower Deflections - Service Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
L1	120 - 100	14.23	44	1.70	0.00
L2	100 - 80	7.72	43	1.18	0.00
L3	80 - 48.87	4.02	43	0.44	0.00
L4	53.12 - 1	1.85	43	0.32	0.00

### Critical Deflections and Radius of Curvature - Service Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
120.0000	Concealment Canister (38"x10')- top	44	14.23	1.70	0.00	5090
115.0000	Concealment Canister (38"x10')	44	12.46	1.59	0.00	5090
114.0000	APXVARR18_43-C-NA20	44	12.11	1.57	0.00	4242
110.0000	Concealment Canister (38"x10')- bottom	44	10.74	1.48	0.00	2545
105.0000	Concealment Canister (38"x10')	44	9.14	1.34	0.00	1696
104.0000	APXVARR18_43-C-NA20	43	8.84	1.31	0.00	1591
100.0000	Concealment Canister (38"x10')- bottom	43	7.72	1.18	0.00	1359
95.0000	Concealment Canister (38"x10')	43	6.52	0.99	0.00	1468
94.0000	SBNH-1D65C	43	6.31	0.95	0.00	1515
90.0000	Concealment Canister (38"x10')- bottom	43	5.53	0.78	0.00	1735
85.0000	Concealment Canister (38"x10')	43	4.70	0.59	0.00	2123
84.0000	KVVSS-65A_R3	43	4.55	0.56	0.00	2220
80.0000	Concealment Canister (38"x10')- bottom	43	4.02	0.44	0.00	2651

### Maximum Tower Deflections - Design Wind

Section No.	Elevation ft	Horz. Deflection in	Gov. Load Comb.	Tilt °	Twist °
L1	120 - 100	57.54	12	6.83	0.01
L2	100 - 80	31.39	10	4.79	0.00
L3	80 - 48.87	16.34	10	1.79	0.00
L4	53.12 - 1	7.52	10	1.30	0.00

### Critical Deflections and Radius of Curvature - Design Wind

Elevation ft	Appurtenance	Gov. Load Comb.	Deflection in	Tilt °	Twist °	Radius of Curvature ft
120.0000	Concealment Canister (38"x10')- top	12	57.54	6.83	0.01	1317
115.0000	Concealment Canister (38"x10')	12	50.42	6.42	0.00	1317
114.0000	APXVARR18_43-C-NA20	12	49.02	6.33	0.00	1097
110.0000	Concealment Canister (38"x10')- bottom	12	43.53	5.97	0.00	657
105.0000	Concealment Canister (38"x10')	12	37.11	5.44	0.00	437
104.0000	APXVARR18_43-C-NA20	10	35.90	5.32	0.00	410
100.0000	Concealment Canister (38"x10')- bottom	10	31.39	4.79	0.00	348
95.0000	Concealment Canister (38"x10')	10	26.53	4.02	0.00	373
94.0000	SBNH-1D65C	10	25.66	3.85	0.00	384
90.0000	Concealment Canister (38"x10')- bottom	10	22.48	3.19	0.00	437
85.0000	Concealment Canister (38"x10')	10	19.13	2.41	0.00	527
84.0000	KVVSS-65A_R3	10	18.53	2.27	0.00	549
80.0000	Concealment Canister (38"x10')- bottom	10	16.34	1.79	0.00	650

### Compression Checks

### Pole Design Data

Section No.	Elevation ft	Size	L ft	L <sub>v</sub> ft	KI/r	A in <sup>2</sup>	P <sub>u</sub> K	φP <sub>n</sub> K	Ratio $\frac{P_u}{\phi P_n}$
L1	120 - 100 (1)	TP4.5x4.5x0.674	20.000 0	0.0000	0.0	8.1013	-1.76	255.19	0.007
L2	100 - 80 (2)	TP6x6x3	20.000 0	0.0000	0.0	28.274 3	-5.49	1272.34	0.004
L3	80 - 48.87 (3)	TP29.83x25.5x0.1875	31.130 0	0.0000	0.0	17.289 2	-8.04	1011.42	0.008
L4	48.87 - 1 (4)	TP36x26.2016x0.25	52.120 0	0.0000	0.0	28.367 6	-14.75	1659.51	0.009

### Pole Bending Design Data

Section No.	Elevation ft	Size	M <sub>ux</sub> kip-ft	φM <sub>ux</sub> kip-ft	Ratio $\frac{M_{ux}}{\phi M_{ux}}$	M <sub>uy</sub> kip-ft	φM <sub>uy</sub> kip-ft	Ratio $\frac{M_{uy}}{\phi M_{uy}}$
L1	120 - 100 (1)	TP4.5x4.5x0.674	14.56	26.17	0.557	0.00	26.17	0.000
L2	100 - 80 (2)	TP6x6x3	55.68	135.00	0.412	0.00	135.00	0.000
L3	80 - 48.87 (3)	TP29.83x25.5x0.1875	146.29	653.04	0.224	0.00	653.04	0.000
L4	48.87 - 1 (4)	TP36x26.2016x0.25	432.82	1364.28	0.317	0.00	1364.28	0.000

### Pole Shear Design Data

Section No.	Elevation ft	Size	Actual V <sub>u</sub> K	φV <sub>n</sub> K	Ratio $\frac{V_u}{\phi V_n}$	Actual T <sub>u</sub> kip-ft	φT <sub>n</sub> kip-ft	Ratio $\frac{T_u}{\phi T_n}$
L1	120 - 100 (1)	TP4.5x4.5x0.674	1.09	76.56	0.014	0.01	25.75	0.000
L2	100 - 80 (2)	TP6x6x3	2.31	381.70	0.006	0.01	100.68	0.000
L3	80 - 48.87 (3)	TP29.83x25.5x0.1875	4.15	303.43	0.014	0.01	771.97	0.000
L4	48.87 - 1 (4)	TP36x26.2016x0.25	6.77	497.85	0.014	0.01	1558.67	0.000

### Pole Interaction Design Data

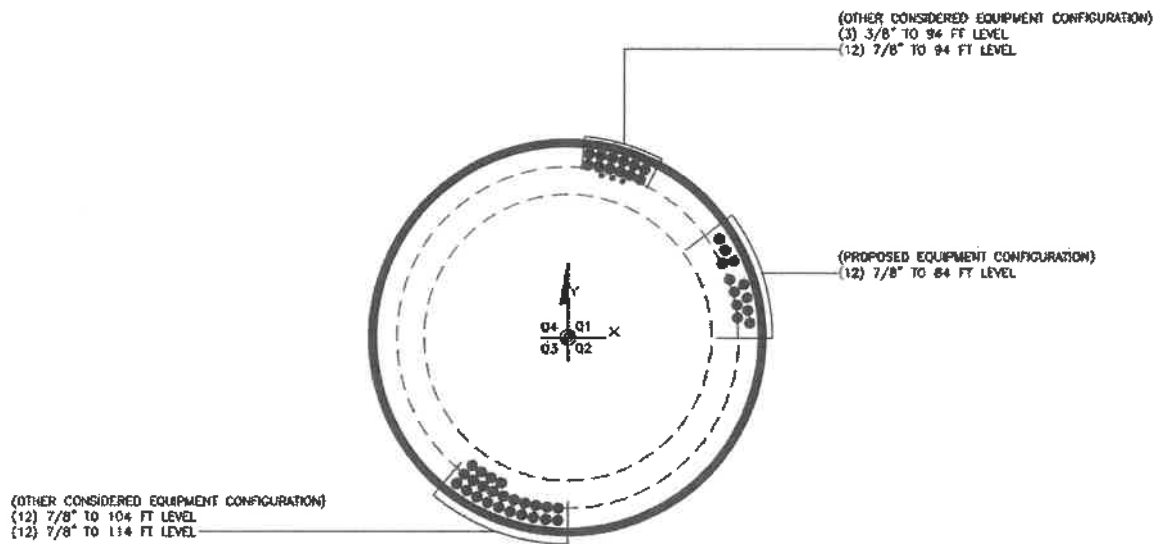
Section No.	Elevation ft	Ratio $\frac{P_u}{\phi P_n}$	Ratio $\frac{M_{ux}}{\phi M_{ux}}$	Ratio $\frac{M_{uy}}{\phi M_{uy}}$	Ratio $\frac{V_u}{\phi V_n}$	Ratio $\frac{T_u}{\phi T_n}$	Comb. Stress Ratio	Allow. Stress Ratio	Criteria
L1	120 - 100 (1)	0.007	0.557	0.000	0.014	0.000	0.564	1.050	
L2	100 - 80 (2)	0.004	0.412	0.000	0.006	0.000	0.417	1.050	
L3	80 - 48.87 (3)	0.008	0.224	0.000	0.014	0.000	0.232	1.050	
L4	48.87 - 1 (4)	0.009	0.317	0.000	0.014	0.000	0.326	1.050	

### Section Capacity Table

Section No.	Elevation ft	Component Type	Size	Critical Element	P K	φP <sub>allow</sub> K	% Capacity	Pass Fail
L1	120 - 100	Pole	TP4.5x4.5x0.674	1	-1.76	267.95	53.7	Pass
L2	100 - 80	Pole	TP6x6x3	2	-5.49	1335.96	39.7	Pass
L3	80 - 48.87	Pole	TP29.83x25.5x0.1875	3	-8.04	1061.99	22.1	Pass
L4	48.87 - 1	Pole	TP36x26.2016x0.25	4	-14.75	1742.49	31.1	Pass
							Summary	
							Pole (L1)	Pass
							RATING = 53.7	Pass

**APPENDIX B**  
**BASE LEVEL DRAWING**





## **APPENDIX C**

### **ADDITIONAL CALCULATIONS**

## CCI Concealment Tool



Site Data	
BU#:	825418
Site Name:	LMU Somers Cam 80 Route 6
Order #:	722435 REV 0

File Path: G:\TOWER075\_Crown\_Cam\2020\B27523-0116\_825418\_LMU Somers Cam 80 Route 6\B27523-0116\_801.7895\_SA\_2.rvt Import trnTower File Export trnTower File

Code	Code	TJA-22/H	
Ice Thickness:	3		in
Wind Speed:	114		mph
Ice Wind Speed:	47		mph
Service Wind Speed:	60		mph
Exposure Category:	C		
Topographic Feature:	N/A		
Risk Category:	II		
Ground Elevation (ft):	601.41		ft

- ☒ Use Target Reliability  
☒ No External Appendages (Kd=1.0)

☐ Topo Downwind

Truck Ball		
Truck Ball on Tower:	No	

Flag		
Flag on Tower:	No	

Pole Geometry									
	Pole Height Above Base (ft)	Section Length (ft)	Lap Splice Length (ft)	Number of Sides	Top Diameter (in)	Bottom Diameter (in)	Wall Thickness (in)	Band Radius (in)	Pole Material
1	119	20	0	0	4.5	4.6	0.674	n/a	A53-B-35
2	99	20	0	0	6	6	3	n/a	A572-50
3	79	21.18	4.25	18	25.5	29.83	0.1875	0.75	A572-65
4	51.12	52.12	0	18	26.201627	36	0.25	1	A572-65

Delete

[a]

[a]

[a]

[a]

☒ Default Plate Type to 0.75 Solidity Ratio

Canisters Enter from higher elevation to lowest elevation													
ID <sup>1</sup>	Top Elevation (ft)	Classification Category	Canister Assembly Length (ft)	Canister Assembly Diameter (in)	Vented Canister	Manufacturer <sup>2</sup>	Number of Sides Canister Section	Plate Type	Flange Plate Thickness (in) <sup>3</sup>	Flange Plate Diameter (in)	Solidity Ratio	Plate Weight (kip)	Vent Length (ft)
1	119	Existing	10	36	No		Round	1	0.38	26	0.45	0.051	0-0
2	109	Existing	10	36	No		Round	1	0.75	26	0.45	0.102	0-0
3	99	Existing	10	36	No		Round	1	0.38	26	0.45	0.051	0-0
4	87	Existing	10	36	No		Round	1	1.25	26	0.45	0.169	0-0

<sup>1</sup> Double-click respective ID to auto-populate top elevation. Elevation will reference the previously entered canister's bottom elevation.

<sup>2</sup> Select manufacturer if available for vented canister. Leave blank to use unspecified C values.

<sup>3</sup> Accounts for the flange at the top and bottom of the canister. Enter larger dimensions.

Deflection Check		
Deflection Check Required:	Yes	
Base Tower Height (ft):	79	
3% Splice Deflection Check		
Allowable (3%) Horizontal Splice Deflection (in)	Actual Deflection <sup>1</sup> (in)	Sufficient/Insufficient
14.400	30.213	Sufficient

<sup>1</sup> Relative deflection under service level wind speed

Import Deflection Results

User Forces							
Name	Elev. (ft)	Shear (kip)	Weight (kip)	Shear <sub>CC</sub> (kip)	Weight <sub>CC</sub> (kip)	Shear <sub>Strong</sub> (kip)	Weight <sub>Strong</sub> (kip)
Concealment Canister (38"x10")-top	119	0.315317	0.124890	0.139855	0.353885	0.078151	0.114890
Concealment Canister (38"x10")-bottom	109	0.315317	0.124890	0.139855	0.353885	0.078151	0.114890
Concealment Canister (38"x10")-top	109	0.309281	0.150295	0.137097	0.377157	0.076655	0.150295
Concealment Canister (38"x10")-bottom	99	0.309281	0.150295	0.137097	0.377157	0.076655	0.150295
Concealment Canister (38"x10")-top	99	0.302768	0.124890	0.134125	0.348414	0.075041	0.114890
Concealment Canister (38"x10")-bottom	89	0.302768	0.124890	0.134125	0.348414	0.075041	0.114890
Concealment Canister (38"x10")-top	89	0.295683	0.184170	0.130894	0.406323	0.073285	0.184170
Concealment Canister (38"x10")-bottom	79	0.295683	0.184170	0.130894	0.406323	0.073285	0.184170

Job Number:	37525-0116.001.7805
Engineer:	JAB
Date:	11/7/2025
Site Name:	LMU Somers Corn 80 Route 6
Site Number:	625418
WO Number:	2443790
Order Number:	722495 Rev 0

## EEI FLANGE CONCEALMENT CALCULATIONS ( 100' EI )

(Version v2.6 - Effective Date 04/2/2020 )

### General

☒ Apply Capacity Normalization Per Section 15.5

Flange Elevation:	100.00	R
Code Revision:	TIA-2224	
Threads Excluded From Shear Plane:	No	
Consider Seismic Loads:	No	

### Flange Connection Reactions

Moment:	14.56	kip-ft
Shear:	1.99	kip
Axial:	1.76	kip

### Member Component Definitions

#### Spine Information

☒ Use Design Thickness

Type:	Custom	
Specification:		
Grade ( $F_y$ ):	50	ksi
Ultimate Strength ( $F_u$ ):	60	ksi
Outside Diameter:	6.000	in
Thickness:	3.000	in

#### Overrides

	50.00
	60.00
	6.00
	3.00

#### Ring Plate Information

Thickness:	0.75	in
Inside Diameter:	19.50	in
Outside Diameter:	24.50	in
Grade ( $F_y$ ):	36	ksi

#### Stiffener Information

Error - Stiffener Toe Not On Ring Plate.

Layout:	Uni-Symmetric	Separation Angle:	60.0
Quantity:		(For this layout, Assumed 4)	
Width:	9.50	in	
Height:	5.50	in	
Thickness:	0.75	in	
Upper Toe Height:	2.75	in	
Lower Toe Height:	2.50	in	
Grade ( $F_y$ ):	36	ksi	
Horizontal Fillet Weld Size:	1/4	in	
Vertical Fillet Weld Size:	3/8	in	
Electrode:	E70		

#### Weld Lengths

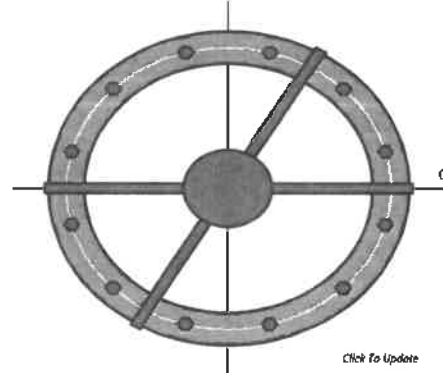
	(Max 7.00")
	(Max 5.50")

\* If left blank, max used

#### Bolt Information

Bolt Specification:	A325	
Quantity:	12	
Diameter:	1	[in]
Bolt Circle:	22.000	[in]

### Layout



Angle Adjusts	(+) CCW
Bolt:	15.00
Stiffener:	30.00

Click To Update

### Flange Connection Capacity Results

78.1% Pass

#### Spine Wall Tearout / Punching Shear Check

4.2% Pass

Applied Load:	8.45 kip
Capacity:	212.22 kip

#### Stiffeners Bending-Shear Check

39.9% Pass

Bending:	Applied Load: 78.81 kip-in Capacity: 183.47 kip-in
Shear:	Applied Load: 9.45 kip Capacity: 80.19 kip

#### Ring Plate Combined Bending-Shear Check

78.1% Pass

Bending:	Applied Load: 12.96 kip-in Capacity: 11.39 kip-in
Shear:	Applied Load: 4.51 kip Capacity: 38.48 kip

#### Bolt Combined Tension-Shear Check

7.9% Pass

Tension:	Applied Load: 4.51 kip Capacity: 54.54 kip
Shear:	Applied Load: 0.09 kip Capacity: 35.33 kip

#### Welds Check

41.1% Pass

Stiffener To Ring Plate:	Applied Stress: 7.29 ksi Capacity: 31.50 ksi
Stiffener To Spine:	Applied Load: 8.45 kip Capacity: 21.89 kip

### Ring Plate Combined Bending-Shear Check Controls

- Notes: 1. Results have been normalized by dividing by 1.05, max capacity is 100%.  
 2. The spine nominal wall thickness has been used for calculation.

**Concealment FEA Results & Discussion**

Analysis Software Information: ANSYS, Inc. Products Release 19.1

**RESULTS SUMMARY****79'-0" CONCEALMENT FLANGE CONNECTION**

ELEMENT	MATERIAL	DESIGNATION
Concealment Flange Plate	Gr. 60	Sufficient
Base Pole Flange Plate	Gr. 50	Sufficient
Stiffeners	Gr. 36	Sufficient

**CONNECTIONS**

COMPONENT	SIZING	DESIGNATION
Bolts – Concealment Flange to Base Pole Flange	1.0"Ø Bolts	Sufficient
Welds – Stiffeners to the Concealment Flange	7/16" Fillet	Sufficient

**ANALYSIS APPROACH****Finite Element Analysis**

This analysis has been completed by means of computer based finite element analysis (FEA). To establish the basic behavior of the connection, a finite element model (FEM) was developed with elastic material properties. If results of the elastic analysis prove to be unsatisfactory, the connection will be further analyzed with plastic (non-linear) material properties to allow for stress redistribution.

**Loading**

The loading applied to the connection has been done by means of three applied loads: Axial, Shear, and Moment. All loads are calculated through trnTower. The value of the moment has been adjusted to account for the moment induced by the shear component. The applied loads within the model are a set distance from the interface of the two flange plates. Loading has been applied in a direction that results in the highest stresses in the connection. The applied moment has been increased by a factor of 1.11 to consider a Phi equal to 0.9.

**Loading Direction:**

Two loading directions were considered in this analysis:

D1) load directly into a stiffener, and

D2) load between two stiffeners, placing two of the four stiffeners on the neutral axis and therefore rendering them ineffective

**Modeling Notes**

- All welded surfaces have been modeling using bonded contact definitions.
- All non-welded surfaces in contact have been conservatively modeled with frictionless contact definitions.
- The bolts have been modeled using deformable ANSYS one-dimensional beam elements as recommended by the software developers.
- All other structural members are modeled as ANSYS two-dimensional shell elements or three dimensional solid elements.
  - Both linear and quadratic elements are utilized in this analysis
- The base pole is constrained in all degrees of freedom at its base. The length of the base pole which is modeled is chosen so as not to introduce any false rigidity to the model.
- The load is applied at the top of the spine. The length of the spine modeled is chosen to allow for proper flexural behavior of the connection.

<b>Job Number:</b>	37519-0092.002.7825
<b>Engineer:</b>	DMJ
<b>Site Name:</b>	LMU SOMERS COM 80 ROUTE 6
<b>Site Number:</b>	825418

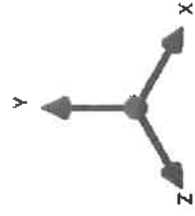
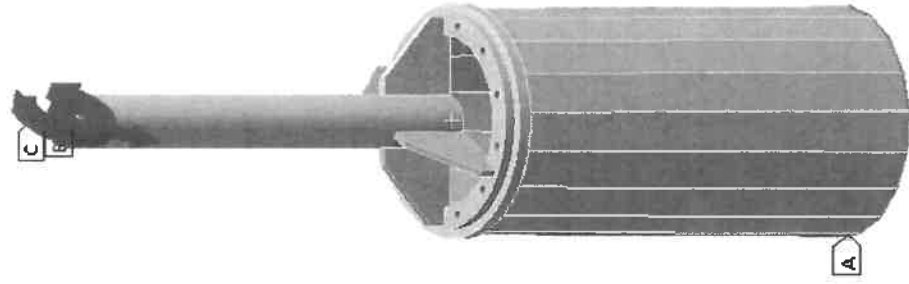
#### LOAD CONVERSIONS FOR INPUT INTO ANSYS

Distance from Applied Loads To Flange Connection [in]: 54.00

Elevation	Load Type	Loads from tnx in Kips or Kip*ft	Loads for Input into Ansys (lb or lb*in)
79.00	Moment	57.09	556,020
	Axial	5.46	5,460
	Shear	2.39	2,390
79(11%)	Moment	63.43	632,140
	Axial	5.46	5,460
	Shear	2.39	2,390
<b>Resultant Force due to Shear &amp; Axial:</b>			5,960

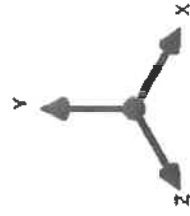
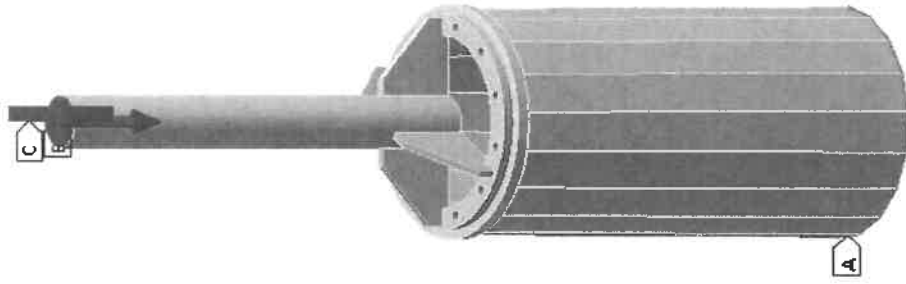
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D1 (P)  
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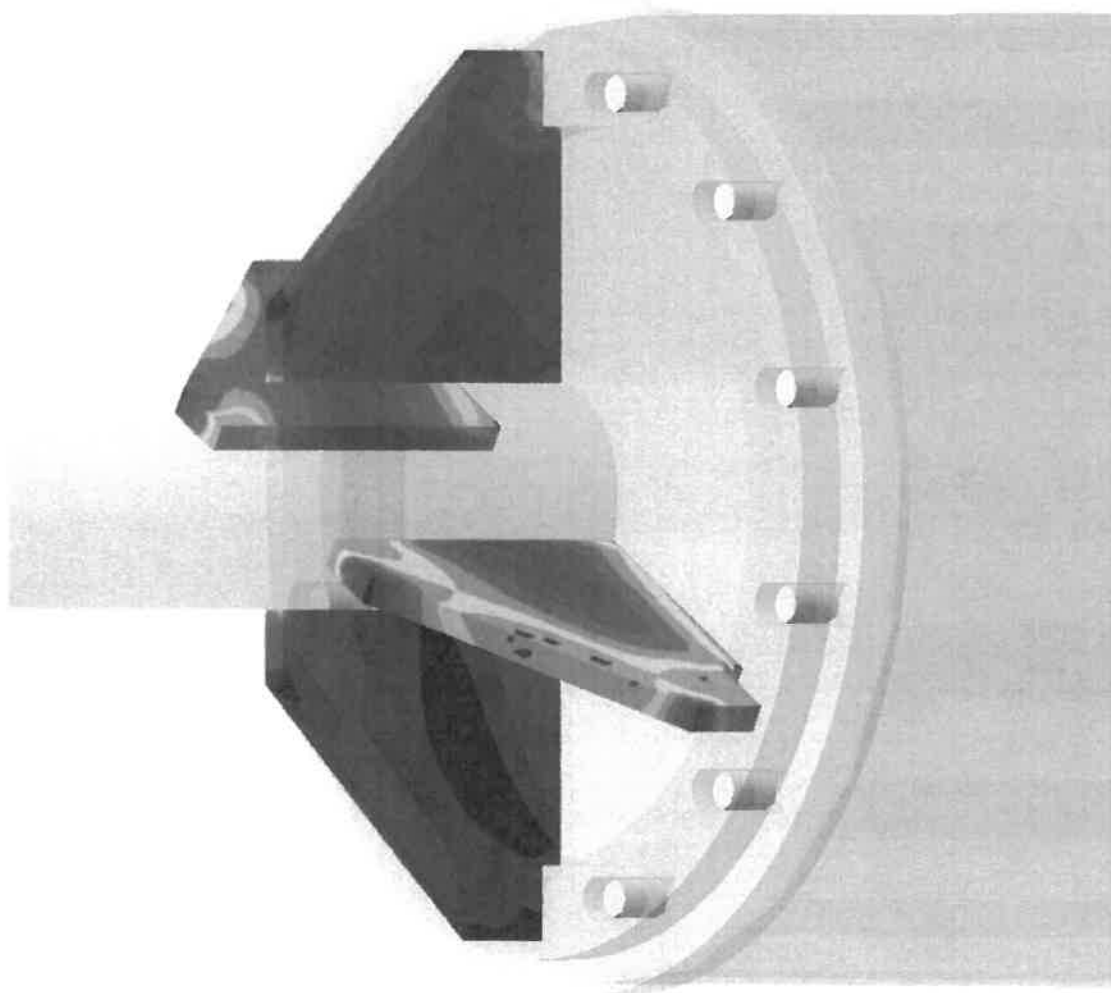


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Moment: 6.3214e+005 lbf.in



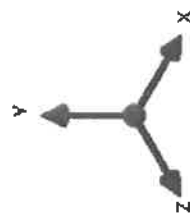
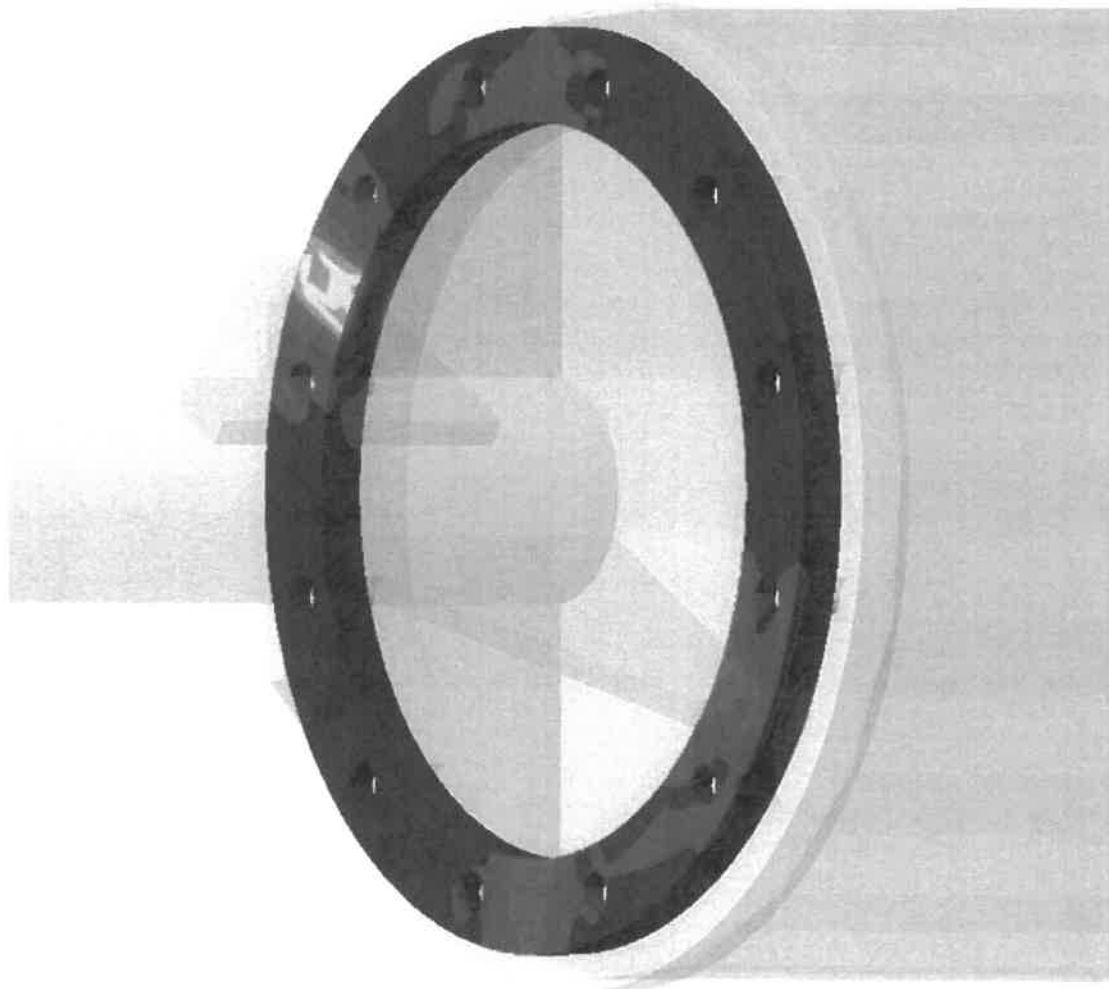




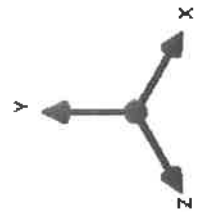
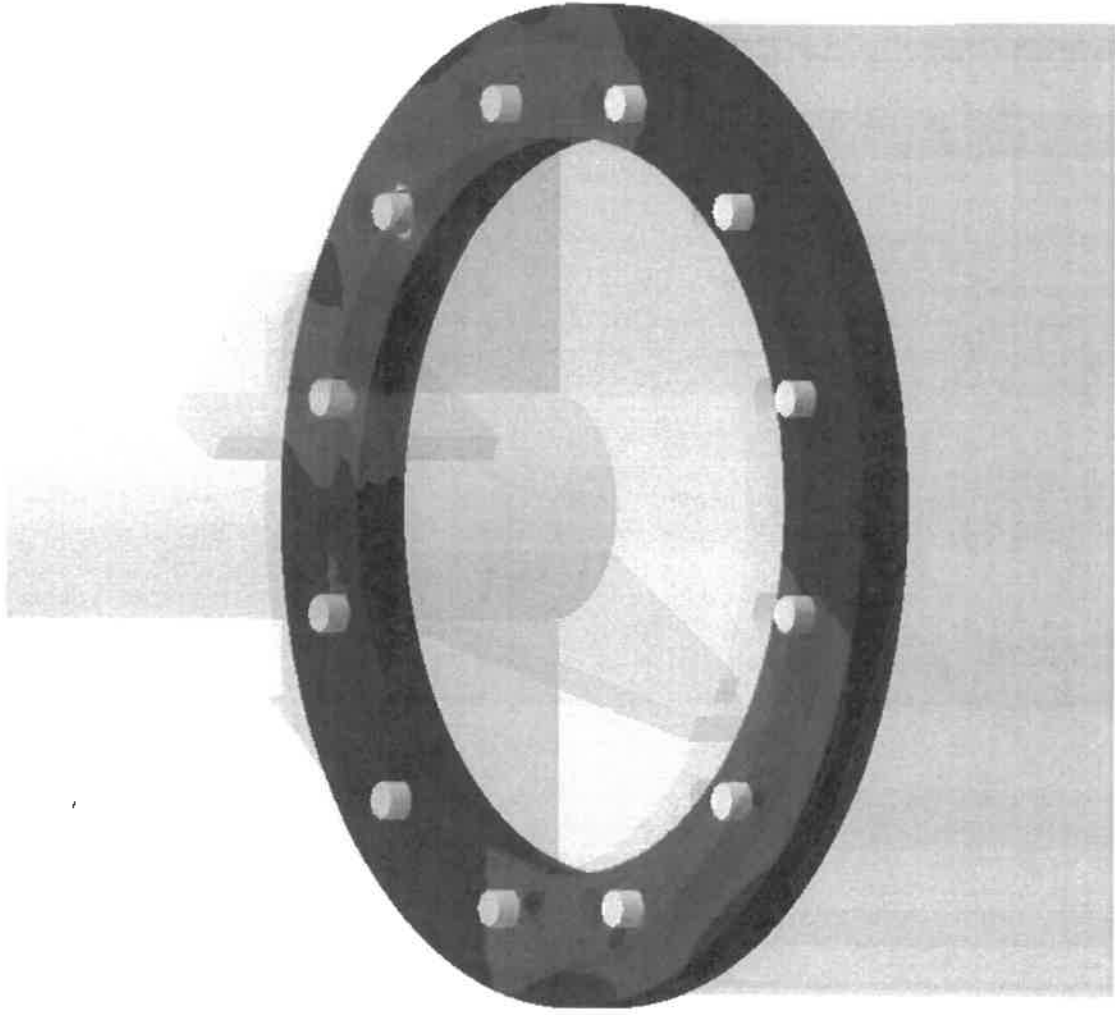
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Type: Equivalent (von-Mises) Stress  
Unit: psi  
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Min: 481.21  
5/24/2019 1:29 PM



D: D2 (P)  
Equivalent (von-Mises) Stress - Bottom Flange - End Time  
Type: Equivalent (von-Mises) Stress  
Unit: psi  
Time: 1  
Max: 56645  
Min: 247.76  
5/24/2019 1:30 PM



D: D2 (P)  
Equivalent (von-Mises) Stress - Top Flange - End Time  
Type: Equivalent (von-Mises) Stress  
Unit: psi  
Time: 1  
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Min: 221.24  
5/24/2019 1:30 PM



## Monopole Base Plate Connection

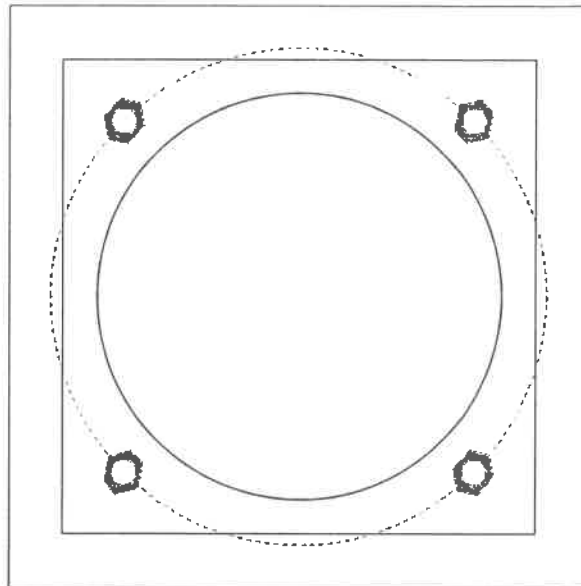


Site Info	
BU #	825418
Site Name	Somers 46th St. Roundabout
Order #	722495 REV 0

Analysis Considerations	
TIA-222 Revision	H
Grout Considered:	No
$L_w$ (in)	1.625

Applied Loads	
Moment (kip-ft)	432.82
Axial Force (kips)	14.75
Shear Force (kips)	6.97

\*TIA-222-H Section 15.5 Applied



Connection Properties		Analysis Results	
<b>Anchor Rod Data</b>		<b>Anchor Rod Summary</b> <i>(units of kips, kip-in)</i>	
(4) 2-1/4" $\phi$ bolts (A615-75 N; $F_y=75$ ksi, $F_u=100$ ksi) on 44" BC		$Pu_t = 114.23$	$\phi Pn_t = 243.75$ <b>Stress Rating</b>
<b>Base Plate Data</b>		$Vu = 1.69$	$\phi Vn = 149.1$ <b>44.6%</b>
42" W x 2.25" Plate (A572-50; $F_y=50$ ksi, $F_u=65$ ksi); Clip: 0 in		$Mu = n/a$	$\phi Mn = n/a$ <b>Pass</b>
<b>Stiffener Data</b>		<b>Base Plate Summary</b>	
N/A		Max Stress (ksi):	16.43 (Flexural)
<b>Pole Data</b>		Allowable Stress (ksi):	45
36" x 0.25" 18-sided pole (A572-65; $F_y=65$ ksi, $F_u=80$ ksi)		Stress Rating:	34.8% <b>Pass</b>

# Drilled Pier Foundation

BU #: 825418  
 Site Name: MW-Somers-Com-89-Profile  
 Order Number: 722895 REV 0  
 TIA-222 Revision: H  
 Tower Type: Monopile



Check Limitation	
Apply TIA-222-H Section 15.5:	<input checked="" type="checkbox"/>
N/A	
Design Options	
Input Effective Depth (else Actual):	<input type="checkbox"/>
Consider non-tapered moment capacity:	<input type="checkbox"/>
Check Shear along Depth of Pier:	<input checked="" type="checkbox"/>
Utilize Shear-Friction Methodology:	<input type="checkbox"/>
Override Critical Depth:	<input type="checkbox"/>

Go to Soil Calculations

Analysis Results		
Soil Lateral Check	Compression	Uplift
D <sub>so</sub> (ft from TOC)	5.87	-
Soil Safety Factor	4.03	-
Max Moment (kip-ft)	474.28	-
Rating*	37.4%	-

Soil Vertical Check	Compression	Uplift
Skin Friction (kips)	68.68	-
End Bearing (kips)	249.46	-
Weight of Concrete (kips)	60.24	-
Total Capacity (kips)	318.15	-
Axial (kips)	74.99	-
Rating*	22.4%	-

Reinforced Concrete Flexure	Compression	Uplift
Critical Depth (ft from TOC)	5.76	-
Critical Moment (kip-ft)	474.23	-
Critical Moment Capacity	2226.43	-
Rating*	20.3%	-

Reinforced Concrete Shear	Compression	Uplift
Critical Depth (ft from TOC)	12.38	-
Critical Shear (kips)	89.30	-
Critical Shear Capacity	491.31	-
Rating*	17.3%	-

Structural Foundation Rating*	20.3%
Soil Interaction Rating*	37.4%

\*Rating per TIA-222-H Section 15.5

## Soil Profile

# of Layers	4
-------------	---

Layer	Top (ft)	Bottom (ft)	Thickness (ft)	Y <sub>sat</sub> (pcf)	V <sub>concrete</sub> (pcf)	Cohesion (ksf)	Angle of Friction (degrees)	Calculated Ultimate Skin Friction Comp (ksf)	Calculated Ultimate Skin Friction Uplift (ksf)	Ultimate Skin Friction Comp Override (ksf)	Ultimate Skin Friction Uplift Override (ksf)	Ult. Gross Bearing Capacity (ksf)	SPT Blow Count	Soil Type
1	0	4	4	120	150	0	0	0.000	0.000	0.00	0.00			Cohesionless
2	4	9	5	120	150		34	0.000	0.000	0.00	0.00			Cohesionless
3	9	15	6	60	87.6		34	0.000	0.000	0.00	0.00			Cohesionless
4	15	16	1	60	87.6		34	0.000	0.000	0.00	0.00	1.4		Cohesionless

Applied Loads		
	Comp.	Uplift
Moment (kip-ft)	432.82	
Axial Force (kips)	14.75	
Shear Force (kips)	6.75	

Material Properties	
Concrete Strength, f <sub>c</sub> :	4 ksi
Rebar Strength, F <sub>y</sub> :	60 ksi
Tie Yield Strength, F <sub>y</sub> :	60 ksi

Pier Design Data	
Depth:	16 ft
Ext. Above Grade:	1 ft
Pier Section 1	
From 1' above grade to 16' below grade	
Pier Diameter:	5.5 ft
Rebar Quantity:	22
Rebar Size:	8
Clear Cover to Ties:	4 in
Tie Size:	5
Tie Spacing:	12 in

Rebar & Pier Details

Embedded-Double Headers

Isolated Pier Details

Groundwater Depth	9
-------------------	---

# ASCE Hazards Report

**Address:**

No Address at This Location

**Standard:**

ASCE/SEI 7-16

**Risk Category:** II

**Soil Class:**

D - Default (see  
Section 11.4.3)

**Latitude:**

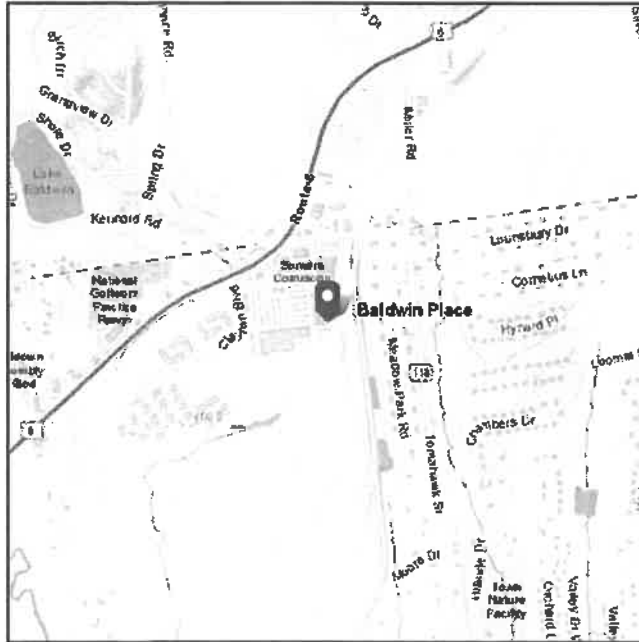
41.342756

**Longitude:**

-73.755828

**Elevation:**

603.4295082467515 ft  
(NAVD 88)



## Wind

**Results:**

Wind Speed	114 Vmph
10-year MRI	75 Vmph
25-year MRI	84 Vmph
50-year MRI	89 Vmph
100-year MRI	95 Vmph

**Data Source:**

ASCE/SEI 7-16, Fig. 26.5-1B and Figs. CC.2-1–CC.2-4, and Section 26.5.2

**Date Accessed:**

Tue Nov 11 2025

Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-16 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years).

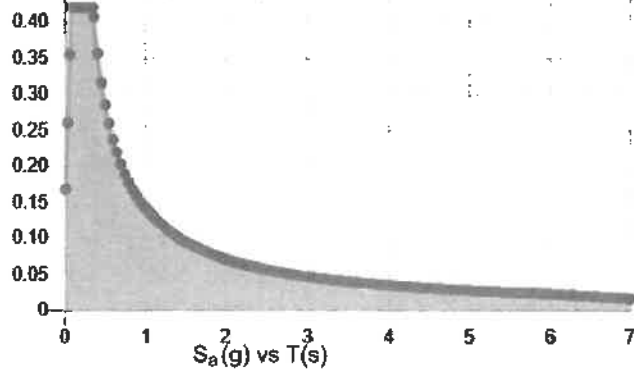
Site is not in a hurricane-prone region as defined in ASCE/SEI 7-16 Section 26.2.

**Site Soil Class:** D - Default (see Section 11.4.3)

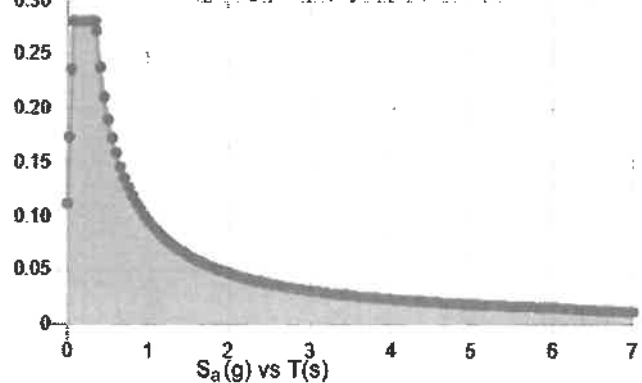
**Results:**

$S_s$ :	0.265	$S_{D1}$ :	0.095
$S_1$ :	0.059	$T_L$ :	6
$F_a$ :	1.588	$PGA$ :	0.16
$F_v$ :	2.4	$PGA_M$ :	0.236
$S_{MS}$ :	0.421	$F_{PGA}$ :	1.481
$S_{M1}$ :	0.143	$I_e$ :	1
$S_{DS}$ :	0.281	$C_v$ :	0.83

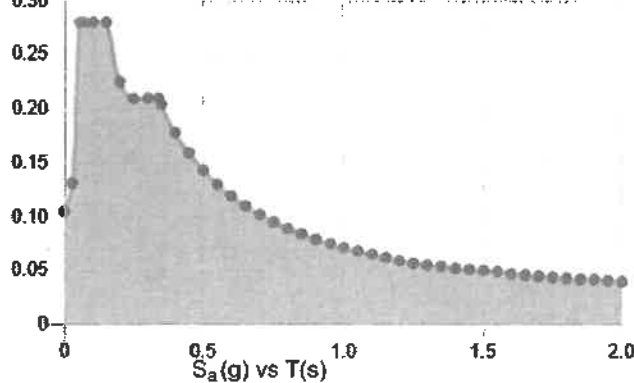
**Seismic Design Category: B**  
**MCE<sub>R</sub> Response Spectrum**



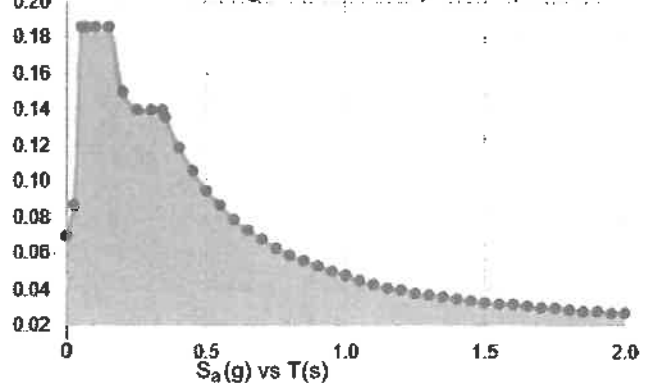
**Design Response Spectrum**



**MCE<sub>R</sub> Vertical Response Spectrum**



**Design Vertical Response Spectrum**



**Data Accessed:** Tue Nov 11 2025

**Date Source:**

USGS Seismic Design Maps based on ASCE/SEI 7-16 and ASCE/SEI 7-16 Table 1.5-2. Additional data for site-specific ground motion procedures in accordance with ASCE/SEI 7-16 Ch. 21 are available from USGS.

**Results:**

Ice Thickness: 1.00 in.  
Concurrent Temperature: 15 F  
Gust Speed 40 mph

**Data Source:** Standard ASCE/SEI 7-16, Figs. 10-2 through 10-8

**Date Accessed:** Tue Nov 11 2025

Ice thicknesses on structures in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

Values provided are equivalent radial ice thicknesses due to freezing rain with concurrent 3-second gust speeds, for a 500-year mean recurrence interval, and temperatures concurrent with ice thicknesses due to freezing rain. Thicknesses for ice accretions caused by other sources shall be obtained from local meteorological studies. Ice thicknesses in exposed locations at elevations higher than the surrounding terrain and in valleys and gorges may exceed the mapped values.

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The ASCE Hazard Tool is provided for your convenience, for informational purposes only, and is provided "as is" and without warranties of any kind. The location data included herein has been obtained from information developed, produced, and maintained by third party providers; or has been extrapolated from maps incorporated in the ASCE standard. While ASCE has made every effort to use data obtained from reliable sources or methodologies, ASCE does not make any representations or warranties as to the accuracy, completeness, reliability, currency, or quality of any data provided herein. Any third-party links provided by this Tool should not be construed as an endorsement, affiliation, relationship, or sponsorship of such third-party content by or from ASCE.

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In using this Tool, you expressly assume all risks associated with your use. Under no circumstances shall ASCE or its officers, directors, employees, members, affiliates, or agents be liable to you or any other person for any direct, indirect, special, incidental, or consequential damages arising from or related to your use of, or reliance on, the Tool or any information obtained therein. To the fullest extent permitted by law, you agree to release and hold harmless ASCE from any and all liability of any nature arising out of or resulting from any use of data provided by the ASCE Hazard Tool.



PLANNING AND ENGINEERING DEPARTMENTS

Telephone  
(914) 277-5366  
Fax  
(914) 277-4093

**Town of Somers**  
WESTCHESTER COUNTY, N.Y.

SOMERS TOWN HOUSE  
335 ROUTE 202  
SOMERS, NY 10589  
[www.somersny.com](http://www.somersny.com)

Steven Woelfle  
Principal Engineering Technician  
[swoelfle@somersny.com](mailto:swoelfle@somersny.com)



David B. Smith  
Town Planner  
[directorofplanning@somersny.com](mailto:directorofplanning@somersny.com)

January 7, 2026

**RECEIVED**

JAN - 7 2026

PLANNING AND ENGINEERING  
TOWN OF SOMERS

To: Hon. Vicky Gannon, Chair and  
Planning Board Members

From: David B. Smith

Re: North Edge Realty Preliminary Subdivision/Site Plan Submission

As you will recall, the Town Board, at their December meeting concluded the environmental review and adopted zoning map amendments for the proposed North Edge Realty subdivision. That process concluded an extensive review particularly with respect to the engineering and site design aspects related to site design and potential impacts.

The Town has received an application for subdivision and site plan approval from the Applicant in December with a request that the matter be placed on the Planning Board's January agenda for consideration. It should be noted that Town Code (refer to §150-12.D) below speaks to the scheduling of review.

**Scheduling of review.**

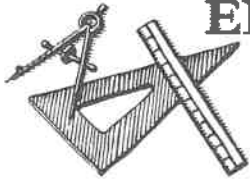
(1) Following review by the Planning Board's professional staff, the application will be scheduled to be considered at the first available opening on the Planning Board's meeting calendar. Except when approved by the Chairman, an application shall not be considered by the Planning Board less than 31 days after the date of receipt by the Planning Board's professional staff of all required materials.

(2) The purpose of the interval between application submission and Planning Board review is to allow time for distribution of the application materials to the Planning Board's professional staff and other town agencies and staff for their review and submission of advisory reports to the Planning Board. Said review reports shall be made available to the applicant upon submission of such reports to the Planning Board.

In conferring with this office, it was determined that given the extensive environmental review, the fact that the Planning Board has been kept apprised of the review process and that Planning Board has conducted a site walk at the Applicant's invitation, that this matter be placed on the Planning Board's January agenda as allowed under §150-12.D.(1) noted above. Before taking any other actions, such as setting a public hearing, it is suggested that the Planning Board still allow time for the application to be reviewed by the other pertinent reviewing bodies (e.g., Open Space Committee, BFP) and staff.

Should you have any questions or comments on the above please do not hesitate to reach out.

# BIBBO ASSOCIATES ENGINEERING, P.C.



Timothy S. Allen, P.E.  
Nicholas Gaboury, P.E.  
Matthew J. Gironda, P.E.

December 19, 2025



Somers Planning Board  
335 Route 202  
Somers, NY 10589-3206

Attn: Ms. Vicky Gannon, Chairwoman

Re: North Edge Realty Corp.  
Preliminary Subdivision, Site Plan, Steep  
Slope & Stormwater Management and  
Erosion Control Applications  
Route 6 & Mahopac Ave.  
T.M. #'s 4.19-2-2, 3 & 4

Dear Chairwoman and Members of the Board:

On behalf of our client, please find the following enclosed in support of Preliminary Subdivision, Site Plan and Steep Slopes applications:

- 9 copies – Preliminary Subdivision Application (w/fee \$29,200.00 by check #7680)
- 9 copies – Site Plan Application
- 9 copies – Steep Slope Application (w/fee \$825.00 by check #7681)
- 9 copies – Stormwater Management & Erosion and Sediment Control Application (w/fee \$6,600.00 by check #7682)
- 9 copies - Supporting Documents
  - Corporate Owner Affidavit (3 – 1 each lot)
  - Application Processing Affidavit
  - Applicant Acknowledgement
  - Letter of Taxes paid
- 9 copies – Preliminary Subdivision Plan, prepared by Bibbo Associates Engineering, P.C., dated 12-17-25
- 9 copies – Site Plans, (26-sheets) prepared by Bibbo Associates Engineering, P.C., dated 12-17-25
- 9 copies – Property Survey
- 9 copies - Negative Declaration
- 9 copies – Property Deeds (3 – 1 each lot)
- 1 copy – Stormwater Pollution Prevention Plan, prepared by Bibbo Associates Engineering, P.C., dated last revised 12-17-25
- 5 - USB Flash Drives with all submitted items

*Site Design • Engineering*

Mill Pond Offices • 293 Route 100 • Suite 203 • Somers, New York 10589

Phone: 914.277.5805

Website: [www.bibboassociates.com](http://www.bibboassociates.com) • E-mail: [bibbo@bibboassociates.com](mailto:bibbo@bibboassociates.com)

The project consists of 73 fee simple residential 2-3 bedroom units serviced by public sewer and water with required stormwater improvements. Access will be from NYS Route 6 and Mahopac Ave.

The Town Board as Lead Agency undertook an extensive environmental review of the project and approved a Negative Declaration of No Environmental Significance at its December 10, 2025 meeting.

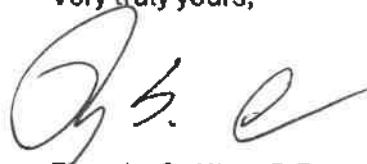
The Town Board Environmental Review included, but not limited to the following:

- Traffic
- Stormwater
- Wetland
- Construction Sequencing
- Water and Sewer Availability
- Historic and Cultural Resources
- Fiscal Analysis
- Community Benefits

The full Environmental Record is available in the Town Clerk's office and/or the Town Website.

We respectfully request that this matter be placed on your January agenda for consideration.

Very truly yours,



Timothy S. Allen, P.E.  
Principal

TSA/mme  
Enclosures

cc: G. Boniello (via email, w/encls.)  
J. Boniello (via email, w/encls.)  
R. O'Rourke, Esq. (via email, w/encls.)  
J. Siebert, Esq. (via email, w/encls.)  
S. Robbins, P.E., (via email, w/encls.)  
D. Smith, AICP (via email, w/encls.)  
N. Montesano (via email, w/encls.)  
W. Getting (via email, w/encls.)  
File

**TOWN OF SOMERS  
PLANNING BOARD  
APPLICATION FOR SITE PLAN APPROVAL**

Application Processing Affidavit must also be completed. Click here for form.

**I. IDENTIFICATION OF APPLICANT:**

- A. Owner: North Edge Realty Corp. Applicant: same as owner  
Address: 46 Wood Street, Katonah, NY 10536 Address: \_\_\_\_\_  
Tele #: (914) 245-9000 Tele #: \_\_\_\_\_
- B. Architect: TBD Engineer: Bibbo Associates Engineering, P.C.  
Address: \_\_\_\_\_ Address: 293 Route 100, Suite 203, Somers, NY 10589  
Tele #: \_\_\_\_\_ Tele #: (914) 277-5805
- C. Surveyor: Link Land Surveying, P.C. Tele #: (845) 628-5857  
Address: 32 Clark Pl, Ste. 1B, Mahopac, NY 10541



**II. IDENTIFICATION OF PROPERTY:**

- A. Identifying Title: North Edge Realty Corp.
- B. Tax Map Design: Sheet: 4.19 Block: 2 Lot(s): 2.3.4
- C. Zoning District: MFR-BP, R-40, R-80
- D. Street which property abuts: NYS Route 6
- E. Does property connect directly into State or County highway? Yes
- F. Is site within 500 feet of Town Boundary? Yes
- G. Total area of site: 15.62 +/- ac. Area of site activity: 13.4 ac.
- H. Site coverage: 38.4 % Building coverage: 20 %
- I. Affected Wetland Area n/a Wetland Buffer Area n/a
- J. Affected Steep Slope Area: 15%-25% 1.4 ac. Over 25% 0.7 ac.
- K. Existing building size: TBR New/additional building size: 1,150 - 2,150 s.f.
- L. Existing parking spaces: \_\_\_\_\_ New parking spaces: 208 outdoor (131 for units, 77 guest)

**III. APPLICATION FEE:**

\$500 base fee plus \$50 per 1,000 sq.ft or part thereof plus \$25 per parking space to be paid by certified check to the Town of Somers.

Wetland Permit Fee: \$200 min. fee + \$100 per 5,000 sf. of regulated area or proposed area to be disturbed.

Steep Slope Fee: \$150 min. fee + \$75 per 10,000 s.f. of regulated area or proposed area to be disturbed.

Total Fee: \_\_\_\_\_ Date Paid: \_\_\_\_\_

**IV. DOCUMENTS TO BE SUBMITTED WITH THIS APPLICATION:**

Submit 14 copies of all correspondence and plans to the Planning Board.

- A. 14 copies of Site Plan with north arrow and location map drawn to scale of 1" = 1,000'.
- B. Survey Map defining precise boundaries of property.
- C. Copies of all existing and proposed deed restrictions or covenants applying to the property, including covenants and agreements restricting use, and establishing future ownership and maintenance responsibilities for all private roads, recreation and open space areas.
- D. Preliminary Architectural Drawings to be submitted to Planning Board prior to public hearing for referral to Building Inspector and Architectural Advisory Review Board.
- E. Environmental Assessment Form.
- F. Proof that taxes have been paid.

It is the responsibility of the applicant to be knowledgeable of the law. The following are available at the Town Clerks Office: Master Plan, Zoning Ordinance, Site Plan Regulations, State Environmental Quality Review (SEQR) and Environmental Quality Review, Wetland and Steep Slope Ordinances of the Town of Somers.

All revised plans shall be accompanied by a letter indicating what changes were made. All costs incurred by the Town for professional services and SEQR review will be paid by the applicant.

By submission of this application, the property owner agrees to permit Town Officials and their designated representatives to conduct on-site inspections in connection with the review of the proposal. The property shall be identified on site as being proposed for site plan approval.

Signature of Applicant

And. Baniell

Date: 12-17-25

Signature of Owner

And. Baniell

Date: 12-17-25

7/02

**SOMERS PLANNING BOARD  
APPLICATION FOR PRELIMINARY APPROVAL OF SUBDIVISION**

**I. IDENTIFICATION OF APPLICANT:**

A. **OWNER:** North Edge Realty Corp. **SUBDIVIDER:** same as owner  
**ADDRESS:** 48 Wood Street, Katonah, NY 10536 **ADDRESS:** \_\_\_\_\_  
**TELE #:** (914) 245-9000 **TELE #:** \_\_\_\_\_  
B. **SURVEYOR:** Link Land Surveying, P.C. **TELE #:** (845) 628-5857  
**ENGINEER:** Bibbo Associates Engineering, P.C. **TELE #:** (914) 277-5805

**II. IDENTIFICATION OF PROPERTY:**

A. **Subdivision identifying Title:** North Edge Realty  
B. **Street abutting property:** NYS Route 6  
C. **Tax Map Designation: Sheet:** 4.19 **Block:** 2 **Lot:** 2,3,4  
D. **Zoning District:** MFR-BP, R-40, R-80  
E. **Project** (does) **(does not)** connect directly into (State) **(County)** highway.  
F. **Proposed drainage** (does) **(does not)** connect directly into channel lines  
established by the County Commission of Public Works.  
G. **Project site** (is) **(is not)** within 500 feet of Town boundary.  
H. **Affected Wetland Area:** n/a **Wetland Buffer Area:** n/a  
I. **Affected Steep Slope Areas: 15% - 25%:** 1.4 acres **Over 25%:** 0.7 acres  
J. **Total area of property in acres:** 15.62 +/-

**III. APPLICABLE FEES PAID:** By certified check payable to Town of Somers

**Abbreviated Procedure fee of \$250:** \_\_\_\_\_ **Date Paid:** \_\_\_\_\_  
**Preliminary Subdivision Plat is \$400 per lot**  
**Number of lots:** 73 (\$29,200.00) **Date Paid:** \_\_\_\_\_  
**Wetland Permit Fee: \$200 min. fee + \$100 per 5,000 s.f. of regulated**  
**area or proposed portions to be disturbed.**  
**Steep Slope Permit Fee: \$150 min. fee + \$75 per 10,000 s.f. of regulated**  
**area or proposed portions to be disturbed.**  
**Total Fee:** \$825.00 **Date Paid:** \_\_\_\_\_

**IV. DOCUMENTS TO BE SUBMITTED WITH THIS APPLICATION**

14 copies of all submitted correspondence during review process.

- A. X 14 copies of Preliminary Plat  
B. X 14 copies of Preliminary Construction Plans  
C. X 14 copies of Topographic Map  
D. X 2 copies of Affidavit of Ownership & Title  
E. n/a 14 copies of Environmental Assessment Form  
F. X Proof that taxes have been paid

**V. ADJOINING PROPERTY OWNERS**

- A. **Identify all adjoining property owners & owners directly across any and all adjoining streets including those in adjoining communities. Submit stamped envelopes addressed as listed.**

**SHEET BLOCK LOT NAME OF OWNER & MAILING ADDRESS**

Upon scheduling public hearing.

If necessary, continue listing on additional sheet.

By submission of this application, the property owner agrees to permit Town officials and their designated representatives to conduct on-site inspections in connection with the review of the proposal.

Property shall be identified on site as being proposed for subdivision. Center line of proposed roadway(s) shall be staked prior to scheduling of a walk-through by the Planning Board.

It is the responsibility of the applicant to be knowledgeable of the law. The following are available at the Town Clerk's Office: Master Plan, Zoning Ordinance, Subdivision Regulation, State Environmental Quality Review Act, Wetland and Steep Slope Ordinances, Road Specifications.

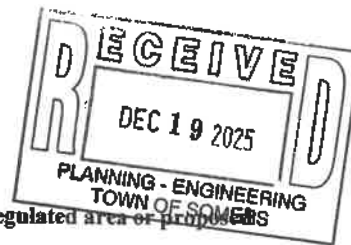
All revised plans shall be accompanied by a letter indicating what has been changed. All costs incurred by the Town for Professional Services and SEQR review will be paid by the applicant.

The undersigned applicant hereby requests approval by the Planning Board of the Preliminary Plat and Construction Plans.

And Bonilla **Applicant** **Date:** 12-17-25

And Bonilla **Property Owner** **Date:** 12-17-25

**TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
APPLICATION FOR ENVIRONMENTAL PERMIT  
CHAPTER 148 "STEEP SLOPE PROTECTION"**

**APPLICATION FEE:**

Alteration of Steep Slopes: \$150.00 minimum fee plus \$75.00 per 10,000 S.F. of regulated area or portions thereof to be disturbed.

**OWNER:** North Edge Realty Corp. Tel. #: (914) 245-9000  
Mailing Address: 40 Wood Street, Katonah, NY 10536

**APPLICANT:** same as owner Tel. #: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
State authority: \_\_\_\_\_ If other than owner, authorization must be submitted in writing.

**PREMISES:** Sheet: 4.19 Block: 2 Lot: 2,3,4  
Situated on the North side of NYS Route 6 (street)  
185 +/- feet from the intersection of Mahopac Ave. (street)

**DESCRIPTION OF WORK AND PURPOSE:** Proposed 73-unit residential fee simple development to be served by public sewer and water.

**Estimated Quantity of Excavation:** C.Y. 77,135 CUT 39,151 FILL

**Size of Activity Area:** 13.4 acres

**Total Value of Work:** \$10,000

**Slope Category:** 15% < 25% 1.4 acres 25% < 35% 0.7 acres or > 35%:

**Soil Types:** Paxton, Ridgebury Complex

**Proposed Starting Date:** 6/2026 **Proposed Completion Date:** 6/2030

**Plans Prepared by:** Bibbo Associates Engineering, P.C. **Dated:** 12-17-25

\*\*Plans must be submitted with application.\*\*

**List of Applicable County, State, or Federal Permits:**

WCHD - Subdivision, Sewer & Water; NYCDEP - SWPPP & Sewerage System;

NYSDOT - Highway Work Permit; NYSDEC - Stormwater

**List of Property Owners of Record of Lands and Claimants of Water Rights within 100 feet of Subject Property.**

NAME	ADDRESS	BLOCK	LOTS
Upon scheduling public hearing.			

**Applicant's Signature:** Paul Bonnell **Date:** 12-17-25  
**Owner's Signature:** Paul Bonnell **Date:** 12-17-25

**\*APPLICATION MUST BE ACCOMPANIED WITH A COMPLETED ENVIRONMENTAL ASSESSMENT FORM, COMPLETE PLANS FOR LOT IMPROVEMENTS, AND LOCATION AND SIZE OF SLOPE CATEGORIES.**

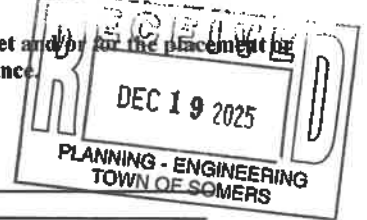
07/18

**TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
APPLICATION FOR ENVIRONMENTAL PERMIT  
CHAPTER 93 "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL"**

**APPLICATION FEE:** \$100 for disturbances of five thousand (5,000) square feet and up for the placement or removal of 50 cubic yards of soil, plus \$500 for each additional acre of disturbance.

**ENGINEERING INSPECTION FEE:** \$100

**OWNER:** North Edge Realty Corp. Tel.#: (914) 245-9000  
**Mailing Address:** 48 Wood Street, Katonah, NY 10536  
**Email Address:** gtboniello@aol.com



**APPLICANT:** same as owner Tel. #: \_\_\_\_\_  
**Mailing Address:** \_\_\_\_\_  
**Email Address:** \_\_\_\_\_

**State authority:** If other than owner, authorization must be submitted in writing \_\_\_\_\_

**PREMISES:** Sheet: 4.19 Block: 2 Lot: 2,3,4

**DESCRIPTION OF WORK AND PURPOSE:** Proposed 73-unit Residential Fee Simple Development to be served by public sewer and water.

**SIZE OF ACTIVITY AREA:** 13.4 acres feet by \_\_\_\_\_ feet  
(include all construction activity area)

**VOLUME OF EXCAVATED MATERIAL:** 77,135 CY (cut); 39,151 CY (fill)  
(leave blank if not known)

**IN CONJUNCTION WITH:**

**Wetland Permit:** \_\_\_\_\_ **Steep Slopes Permit:** X **Tree Preservation Permit:** \_\_\_\_\_  
**Site Plan:** X **Subdivision:** X

**PROPOSED STARTING DATE:** 6/2026 **PROPOSED COMPLETION DATE:** 6/2030

**PLANS PREPARED BY:** Bibbo Associates Engineering, P.E. **DATED:** 12-17-25

**\*\*Plans and copy of Stormwater Pollution Prevention Plan must be submitted with application.\*\***

**LIST OF APPLICABLE COUNTY, STATE, OR FEDERAL PERMITS:** WCHD - Subdivision, Sewer & Water; NYCDEP - SWPPP & Sewerage System; NYSDOT - Highway Work Permit; NYSDEC - Stormwater

**LIST OF PROPERTY OWNERS OF RECORD OF LANDS AND CLAIMANTS OF WATER RIGHTS WITHIN 100 FEET OF SUBJECT PROPERTY**

NAME	ADDRESS	BLOCK/LOT
<u>Upon scheduling public hearing.</u>		

**APPLICANT'S SIGNATURE:** Paul Boniello **DATE:** 12-17-25  
**OWNER'S SIGNATURE:** Paul Boniello **DATE:** 12-17-25

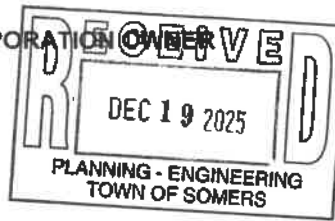
**\*APPLICATION MUST BE ACCOMPANIED WITH A COMPLETED ENVIRONMENTAL ASSESSMENT FORM, A VICINITY MAP, A DEVELOPMENT PLAN, EROSION AND SEDIMENT CONTROL PLAN, AND THE PROPOSED PHASING OF DEVELOPMENT OF THE SITE.**

.....Office Use Only.....

**Administrative Permit:** \_\_\_\_\_  
**Planning Board Permit:** \_\_\_\_\_



**AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER**



STATE OF NEW YORK )  
 )  
 ss:  
 COUNTY OF Westchester )

Jared Boniello, being duly sworn, deposes and  
 says that he resides at 48 Wood Street, Katonah, NY 10536  
 in the County of Westchester, State of New York  
 that he is the Member of North Edge Realty Corp.

(Title)

T. M. # 4.19-2-2

(Name of Corporation)

which is the owner in fee of all property shown on plat entitled North Edge Realty Corp., application for approval of which is herein made. That said North Edge Realty Corp.

(Name of Corporation)

acquired title to the said premises by deed from North Edge Realty Corp. recorded in the Office of the Clerk of the County of Westchester on 7/24/2025 in Liber \_\_\_\_\_ of Conveyances at Page \_\_\_\_\_ Control #651883091

That the statements contained herein are true to the best of deponent's knowledge and belief, and are made for the purpose of obtaining the approval of the submitted application by the Planning Board of the Town of Somers.

(Signed) Jared Boniello

Sworn to before me this 17th  
 day of December, 2025  
Michelle M. Ibarra

(Notary Public)



**AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER**

STATE OF NEW YORK                    )  
  ss:  
COUNTY OF Westchester            )

Jared Boniello, being duly sworn, deposes and  
says that he resides at 48 Wood Street, Katonah, NY 10536  
in the County of Westchester, State of New York  
that he is the Member of North Edge Realty Corp.  
(Title)

T. M. # 4.19-2-3

(Name of Corporation)

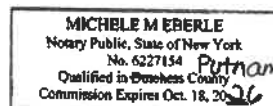
which is the owner in fee of all property shown on plat entitled North Edge  
Realty Corp., application for approval of which is  
herein made. That said North Edge Realty Corp.

(Name of Corporation)

acquired title to the said premises by deed from Jan-Pat Realty Corp.  
recorded in the Office of the Clerk of the County of Westchester  
on 03/04/2021 in Liber \_\_\_\_\_ of Conveyances at Page Control #610533249  
That the statements contained herein are true to the best of deponent's  
knowledge and belief, and are made for the purpose of obtaining the approval of  
the submitted application by the Planning Board of the Town of Somers.

(Signed) Jared Boniello

Sworn to before me this 17th  
day of December, 2025  
Michelle M. Eberle  
(Notary Public)



**AFFIDAVIT TO BE COMPLETED BY CORPORATION OWNER**

STATE OF NEW YORK                    )  
  ss:  
COUNTY OF Westchester            )

Jared Boniello, being duly sworn, deposes and  
says that he resides at 48 Wood Street, Katonah, NY 10536  
in the County of Westchester, State of New York  
that he is the Member of North Edge Realty Corp.  
(Title)

T. M. # 4.19-2-4

(Name of Corporation)

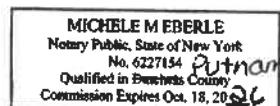
which is the owner in fee of all property shown on plat entitled North Edge  
Realty Corp., application for approval of which is  
herein made. That said North Edge Realty Corp.

(Name of Corporation)

acquired title to the said premises by deed from Senga Inc.  
recorded in the Office of the Clerk of the County of Westchester  
on 11/15/2021 in Liber \_\_\_\_\_ of Conveyances at Page Control #613133396  
That the statements contained herein are true to the best of deponent's  
knowledge and belief, and are made for the purpose of obtaining the approval of  
the submitted application by the Planning Board of the Town of Somers.

(Signed) Jared Boniello

Sworn to before me this 17th  
day of December, 2025.  
Michele M. Eberle  
(Notary Public)



**TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
CHAPTER 67 "APPLICATION PROCESSING RESTRICTIVE LAW"**

**CERTIFICATION**

I hereby certify that to the best of my knowledge no outstanding fees are due and owing to the Town of Somers for the following property:

Section 4.19 Block 2 Lot 3, 4 & 2

Property Address 39, 43 & 45 Route 6

Permit Applying For Preliminary Subdivision, Site Plan, Steep Slope, SW & EC

Furthermore, I hereby certify that to the best of my knowledge no outstanding violation (as that term is defined for the purposes of the Application Processing Restrictive Law, Paragraph 4D) of local laws or ordinances of the Town of Somers exist with respect to the above cited property or any structure or use existing thereon.

Signed *Jared Boniello*  
(Owner of Record)

Signed *Jared Boniello*  
(Applicant for Permit)

Jared Boniello  
(Print Name)

Jared Boniello  
(Print Name)

Date 12-17-25

Date 12-17-25

**CONFIRMATIONS**

\_\_\_\_\_  
Engineering Department

Date: \_\_\_\_\_

\_\_\_\_\_  
Zoning Enforcement Officer

Date: \_\_\_\_\_

### APPLICANT ACKNOWLEDGEMENT

By making this application, the undersigned Applicant agrees to permit Town officials and their representatives to conduct on-site inspections in connection with the review of this application.

The applicant also agrees to pay all expenses for the cost of professional review services required for this application, as referred to in §133-1 of the Code of the Town of Somers. As such, an Escrow Account, according to §133-2 of the Code of the Town of Somers, may be required.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: Paul Baniell Date: 12-17-25

Signature of Property Owner: Paul Baniell Date: 12-17-25  
(if different from applicant)

OFFICE OF THE TAX RECEIVER

**Town of Somers**

WESTCHESTER COUNTY, N.Y.

Telephone  
(914) 277.3610

Fax  
(914) 277.8932

Michele A. McKearney  
Receiver of Taxes  
mmckearney@somersny.com



135 Route 202  
Town House  
Somers, NY 10589

December 16, 2025

RE: North Edge Realty LLC  
39, 43 & 45 Route 6  
Parcel # 4.19-2-3, 4.19-2-4, 4.19-2-2

To Whom It May Concern,

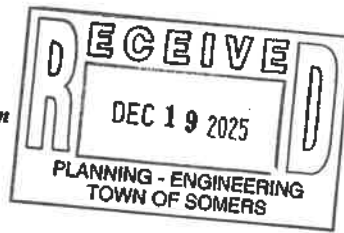
All taxes have been paid in full on the above-mentioned parcel. There are no outstanding liens or taxes due as of the date of this letter.

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

  
Michele McKearney  
Receiver of Taxes

**Full Environmental Assessment Form  
Part 1 - Project and Setting**



**Instructions for Completing Part 1**

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: The North Edge at Somers		
Project Location (describe, and attach a general location map): 45 Route 6 (Birdsall Road) Somers, NY		
Brief Description of Proposed Action (include purpose or need): The proposed project consists of 77 units of multi-family housing utilizing MFR-3P zoning designation. The project is proposed on 15.62 acres with access proposed from Route 6 and via a proposed 0.8 acre easement from Mahopac Avenue. The project proposes to utilize existing water and sewer along Route 6. Additionally, an essential component to this proposed action is the property owner's offer to provide substantial recreation opportunities and improvements to the environment by removal of the Angle Fly condos and restoration of that area for use by future generations. This recreation and environmental enhancement is being offered as mitigation of impacts that may result from the development of the above-described property. The enhancement of the Angle Fly area shall inure to the benefit of the residents of the Town of Somers.		
Name of Applicant/Sponsor: North Edge Realty Corp., Gus Boniello	Telephone: (914) 245-9000 E-Mail: gboniello@aol.com	
Address: 185 Waccabuc Road		
City/PO: Goldens Bridge	State: NY	Zip Code: 10526
Project Contact (if not same as sponsor, give name and title/role):	Telephone: E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone: E-Mail:	
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals****B. Government Approvals, Funding, or Sponsorship.** ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Adoption /mapping of MFR-BP District, Concept Plan, Sewer District Expansion	August 2023
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Subdivision, Site plan, Tree removal and Sleep Slopes	
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Realty Subdivision, water supply facilities, sewer main approval.	
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYCDEP - SWPPP and Sewer Works	
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC SPDES Permit, NYSDOT Highway work permit	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning****C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☒ Yes ☐ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part I

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☒ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☒ Yes ☐ No

If Yes, identify the plan(s):

NYC Watershed Boundary

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):



**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
R-40 Residential, R-80-Residential, MFR-BP Zoning Designation.

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☒ Yes ☐ No  
If Yes,  
i. What is the proposed new zoning for the site? MFR-BP Designation.

**C.4. Existing community services.**

a. In what school district is the project site located? Somers Central School District

b. What police or other public protection forces serve the project site?  
New York State Police and Town of Somers Police

c. Which fire protection and emergency medical services serve the project site?  
Somers Fire Department provides fire protection and EMS services

d. What parks serve the project site?  
Town of Somers and County Parks

**D. Project Details****D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential

b. a. Total acreage of the site of the proposed action? 16.2 (inc. area of Prop. Easement) acres  
b. Total acreage to be physically disturbed? 12.5 (inc. area of Prop. Easement) acres  
c. Total acreage (project site and any contiguous properties) owned  
or controlled by the applicant or project sponsor? 16.2 (inc. area of Prop. Easement) acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision? ☒ Yes ☐ No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
Residential

ii. Is a cluster/conservation layout proposed? ☐ Yes ☒ No

iii. Number of lots proposed? 78 (77 Residential / 1 open space)

iv. Minimum and maximum proposed lot sizes? Minimum 0.04 ac +/- Maximum 12.5 +/-

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: 24 months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase I (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

f. Does the project include new residential uses? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, show numbers of units proposed.			
<u>One Family</u> Initial Phase <u>77</u> At completion <u>77</u> of all phases <u>77</u>	<u>Two Family</u> _____ _____ _____	<u>Three Family</u> _____ _____ _____	<u>Multiple Family (four or more)</u> _____ _____ _____
g. Does the proposed action include new non-residential construction (including expansions)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, <ul style="list-style-type: none"> <li>i. Total number of structures _____</li> <li>ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length</li> <li>iii. Approximate extent of building space to be heated or cooled: _____ square feet</li> </ul>			
h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, <ul style="list-style-type: none"> <li>i. Purpose of the impoundment: _____</li> <li>ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____</li> <li>iii. If other than water, identify the type of impounded/contained liquids and their source. _____</li> <li>iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres</li> <li>v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length</li> <li>vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____</li> </ul>			
<b>D.2. Project Operations</b>			
a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) If Yes: <ul style="list-style-type: none"> <li>i. What is the purpose of the excavation or dredging? _____</li> <li>ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?             <ul style="list-style-type: none"> <li>• Volume (specify tons or cubic yards): _____</li> <li>• Over what duration of time? _____</li> </ul> </li> <li>iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____</li> <li>iv. Will there be onsite dewatering or processing of excavated materials? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>              If yes, describe. _____</li> <li>v. What is the total area to be dredged or excavated? _____ acres</li> <li>vi. What is the maximum area to be worked at any one time? _____ acres</li> <li>vii. What would be the maximum depth of excavation or dredging? _____ feet</li> <li>viii. Will the excavation require blasting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> <li>ix. Summarize site reclamation goals and plan: _____</li> </ul>			
b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes: <ul style="list-style-type: none"> <li>i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____</li> </ul>			

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No  
If Yes:  
 • acres of aquatic vegetation proposed to be removed: \_\_\_\_\_  
 • expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_  
 • purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_  
 • proposed method of plant removal: \_\_\_\_\_  
 • if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

---

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No  
If Yes:  
 i. Total anticipated water usage/demand per day: 21,230 (app 103 bed's x 110 gpd) gallons/day  
 ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No  
If Yes:  
 • Name of district or service area: Amawalk Heights Water District  
 • Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No  
 • Is the project site in the existing district? ☒ Yes ☐ No  
 • Is expansion of the district needed? ☐ Yes ☒ No  
 • Do existing lines serve the project site? ☐ Yes ☒ No  
 iii. Will line extension within an existing district be necessary to supply the project? ☒ Yes ☐ No  
If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
Tap the existing main to extend into the project site  
 • Source(s) of supply for the district: Amawalk Reservoir and Catskill Aqueduct  
 iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No  
If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • Proposed source(s) of supply for new district: \_\_\_\_\_  
 v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_  
 vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

---

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No  
If Yes:  
 i. Total anticipated liquid waste generation per day: 21,230 gallons/day  
 ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary Waste

---

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No  
If Yes:  
 • Name of wastewater treatment plant to be used: Peekskill Wastewater Treatment Plant - Westchester County  
 • Name of district: Peekskill  
 • Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No  
 • Is the project site in the existing district? ☐ Yes ☒ No  
 • Is expansion of the district needed? ☒ Yes ☐ No

<ul style="list-style-type: none"> <li>• Do existing sewer lines serve the project site? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></li> <li>• Will a line extension within an existing district be necessary to serve the project? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></li> </ul> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Describe extensions or capacity expansions proposed to serve this project: _____</li> </ul> <p>Tap the existing main to extend into the project site _____</p>	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Applicant/sponsor for new district: _____</li> <li>• Date application submitted or anticipated: _____</li> <li>• What is the receiving water for the wastewater discharge? _____</li> </ul>	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____</p> <p>_____</p>	
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>_____</p>	
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p style="padding-left: 20px;">_____ Square feet or <u>5.2</u> acres (impervious surface)</p> <p style="padding-left: 20px;">_____ Square feet or <u>16.2</u> acres (parcel size)</p> <p>ii. Describe types of new point sources. Runoff from proposed roofs, driveways and roads</p> <p><small>*Note: Includes proposed easement area and access driveway (4.9 acres imp on site, 0.3 in easement area, Parcel Area 15.6 ac, easement area 0.6 ac</small></p>	
<p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?</p> <p><u>All stormwater will be captured and treated in accordance with Town and State Standards.</u></p> <p>_____</p> <ul style="list-style-type: none"> <li>• If to surface waters, identify receiving water bodies or wetlands: _____</li> <li style="padding-left: 20px;"><u>Offsite NYSDEC wetland / stream</u></li> </ul> <p>_____</p> <ul style="list-style-type: none"> <li>• Will stormwater runoff flow to adjacent properties? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></li> </ul>	
<p>iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> <li>• _____ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)</li> <li>• _____ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)</li> <li>• _____ Tons/year (short tons) of Perfluorocarbons (PFCs)</li> <li>• _____ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)</li> <li>• _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)</li> <li>• _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)</li> </ul>	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☒ No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☒ No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐ Yes ☒ No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐ Weekend  
☐ Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

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iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking? ☐ Yes ☐ No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? ☐ Yes ☐ No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐ Yes ☐ No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐ Yes ☐ No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☐ Yes ☐ No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation? ☐ Yes ☐ No

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l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: \_\_\_\_\_ 7 am to 6 pm
- Saturday: \_\_\_\_\_ 7 am to 6 pm
- Sunday: \_\_\_\_\_ -
- Holidays: \_\_\_\_\_ -

ii. During Operations:

- Monday - Friday: \_\_\_\_\_
- Saturday: \_\_\_\_\_
- Sunday: \_\_\_\_\_
- Holidays: \_\_\_\_\_

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p><u>Lighting consistent with typical residential developments</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

#### E. Site and Setting of Proposed Action

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☒ Urban ☐ Industrial ☒ Commercial ☒ Residential (suburban) ☒ Rural (non-farm)

☒ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
♦ Roads, buildings, and other paved or impervious surfaces	0.1	5.2	5.1
♦ Forested	14.7	4.2	-10.5
♦ Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
♦ Agricultural (includes active orchards, field, greenhouse etc.)			
♦ Surface water features (lakes, ponds, streams, rivers, etc.)			
♦ Wetlands (freshwater or tidal)			
♦ Non-vegetated (bare rock, earth or fill)			
♦ Other Describe: Lawn	1.4	6.6	5.4

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☒ Yes ☐ No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_  
Yorktown Assembly of God Private School adjacent to site, Senior Living Facility Northeast of site

e. Does the project site contain an existing dam? ☐ Yes ☒ No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No  
If Yes:  
i. Has the facility been formally closed? ☐ Yes ☐ No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☒ No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐ Yes ☒ No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☒ No  
☐ Yes - Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
☐ Yes - Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
☐ Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ☒ No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_



v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☒ No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No
- Explain: \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ >7' feet

b. Are there bedrock outcroppings on the project site? ☐ Yes ☒ No  
If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Paxton - C Soils	_____	98 %
Ridgebury - D soils	_____	2 %
	_____	%

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ >7' feet

e. Drainage status of project site soils: ☐ Well Drained: \_\_\_\_\_ % of site  
☒ Moderately Well Drained: \_\_\_\_\_ 98 % of site  
☒ Poorly Drained: \_\_\_\_\_ 2 % of site

f. Approximate proportion of proposed action site with slopes: ☒ 0-10%: \_\_\_\_\_ 66 % of site  
☒ 10-15%: \_\_\_\_\_ 13 % of site  
☒ 15% or greater: \_\_\_\_\_ 21 % of site

g. Are there any unique geologic features on the project site? ☐ Yes ☒ No  
If Yes, describe: \_\_\_\_\_

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h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☒ Yes ☐ No

ii. Do any wetlands or other waterbodies adjoin the project site? ☒ Yes ☐ No  
If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☒ Yes ☐ No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

• Streams:	Name _____	Classification _____
• Lakes or Ponds:	Name _____	Classification _____
• Wetlands:	Name NYS Wetland _____	Approximate Size _____
• Wetland No. (if regulated by DEC)	ML-10 _____	

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☒ No  
If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

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i. Is the project site in a designated Floodway? ☐ Yes ☒ No

j. Is the project site in the 100-year Floodplain? ☐ Yes ☒ No

k. Is the project site in the 500-year Floodplain? ☒ Yes ☐ No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☒ Yes ☐ No  
If Yes:  
i. Name of aquifer: Principal Aquifer \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site:		
RABBITS, FOX, MICE, BEARS	DEER, TURKEYS, BIRDS	BATS, SALAMANDERS
COYOTES, SNAKES, OPUSSUM	BEAVER, PORCUPINE, MUSKRAT	
SKUNKS, RACCOONS, SQUIRRELS	MOLE, DUCKS	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If Yes:		
i. Describe the habitat/community (composition, function, and basis for designation): _____		
ii. Source(s) of description or evaluation: _____		
iii. Extent of community/habitat:		
<ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>		
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If Yes:		
i. Species and listing (endangered or threatened): _____		
_____		
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If Yes:		
i. Species and listing: _____		
_____		
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If yes, give a brief description of how the proposed action may affect that use: _____		
_____		
<b>E.3. Designated Public Resources On or Near Project Site</b>		
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If Yes, provide county plus district name/number: _____		
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>		
i. If Yes: acreage(s) on project site? _____		
ii. Source(s) of soil rating(s): _____		
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>		
If Yes:		
i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature		
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____		
_____		
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>		
If Yes:		
i. CEA name: Baldwin Place Area		
ii. Basis for designation: Difficulties w/ portable water source		
iii. Designating agency and date: Agency: Somers, Town of, Date: 9-28-90		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? ☐ Yes ☒ No

If Yes:

i. Nature of historic/archaeological resource: ☐ Archaeological Site ☐ Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? ☒ Yes ☐ No  
(See Attached map)

g. Have additional archaeological or historic site(s) or resources been identified on the project site? ☐ Yes ☒ No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? ☐ Yes ☒ No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? ☐ Yes ☒ No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? ☐ Yes ☐ No

#### F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

#### G. Verification

I certify that the information provided is true to the best of my knowledge.

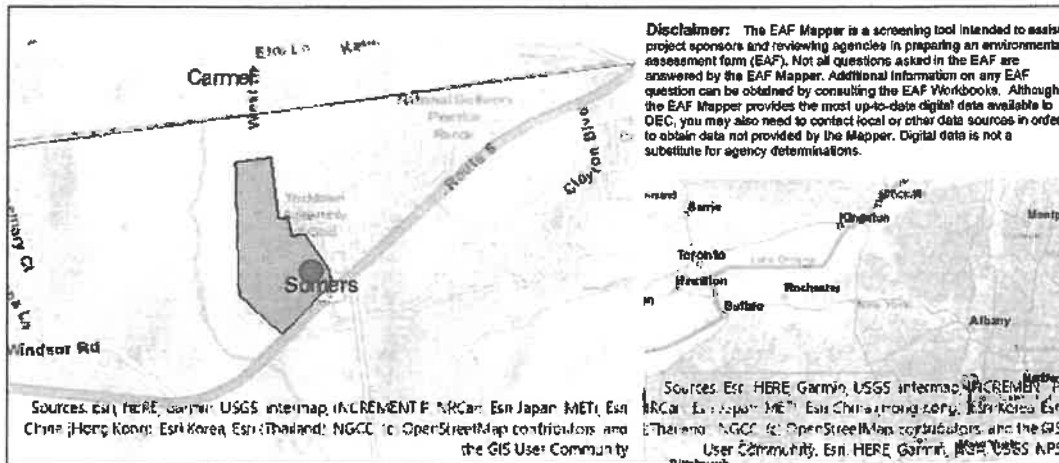
Applicant/Sponsor Name North Edge Realty Corp.

Date 11/30/23

Signature 

Title Senior Partner, Bibbo Associates, LLP

PRINT FORM



B.1.i [Coastal or Waterfront Area]	No
B.1.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYC Watershed Boundary
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	NYS Wetland
E.2.h.iv [Surface Water Features - Wetlands Size]	NYS Wetland (in acres):32.9
E.2.h.iv [Surface Water Features - DEC Wetlands Number]	ML-10
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No

E.2.k. [500 Year Floodplain]	Yes
E.2.i. [Aquifers]	Yes
E.2.i. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	Baldwin Place Area
E.3.d.ii [Critical Environmental Area - Reason]	Difficulties w/ portable water source
E.3.d.iii [Critical Environmental Area - Date and Agency]	Agency: Somers, Town of, Date: 9-26-90
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

<b>Agency Use Only (If applicable)</b>	
Project :	North Edge Realty Zoning Map Amendment
Date :	10/3/25

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b> Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES		
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2c, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>2. Impact on Geological Features</b> The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - c. If "No", move on to Section 3.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>3. Impacts on Surface Water</b> The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <i>If "Yes", answer questions a - l. If "No", move on to Section 4.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2g, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>4. Impact on groundwater</b> The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) If "Yes", answer questions a - h. If "No", move on to Section 5.			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>5. Impact on Flooding</b> The proposed action may result in development on lands subject to flooding. (See Part 1. E.2) If "Yes", answer questions a - g. If "No", move on to Section 6.			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2l	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2c	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>



g. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>
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#### 6. Impacts on Air

The proposed action may include a state regulated air emission source.  
(See Part 1. D.2.f., D.2.h, D.2.g)

☒ NO

☐ YES

If "Yes", answer questions a - f. If "No", move on to Section 7.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochlorofluorocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

#### 7. Impact on Plants and Animals

The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.)

☐ NO

☒ YES

If "Yes", answer questions a - j. If "No", move on to Section 8.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input checked="" type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b> The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**9. Impact on Aesthetic Resources**

The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.)

☒ NO☐ YES

If "Yes", answer questions a - g. If "No", go to Section 10.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2-3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**10. Impact on Historic and Archeological Resources**

The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.)

☒ NO☐ YES

If "Yes", answer questions a - e. If "No", go to Section 11.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Yes", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

<b>11. Impact on Open Space and Recreation</b> The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) If "Yes", answer questions a - e. If "No", go to Section 12.			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b, E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c, E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>12. Impact on Critical Environmental Areas</b> The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) If "Yes", answer questions a - c. If "No", go to Section 13.			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**13. Impact on Transportation**

The proposed action may result in a change to existing transportation systems.

☒ NO☐ YES

(See Part 1. D.2.j)

If "Yes", answer questions a - g. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**

The proposed action may cause an increase in the use of any form of energy.

☒ NO☐ YES

(See Part 1. D.2.k)

If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____			

**15. Impact on Noise, Odor, and Light**

The proposed action may result in an increase in noise, odors, or outdoor lighting.

☒ NO☐ YES

(See Part 1. D.2.m., n., and o.)

If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

#### 16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part I.D.2.q., E.1. d. f. g. and h.)

☐ NO

☒ YES

If "Yes", answer questions a - m. If "No", go to Section 17.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input checked="" type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**17. Consistency with Community Plans**  
The proposed action is not consistent with adopted land use plans.  
(See Part 1. C.1, C.2. and C.3.) ☒ NO ☐ YES  
If "Yes", answer questions a - h. If "No", go to Section 18.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____		<input type="checkbox"/>	<input type="checkbox"/>

**18. Consistency with Community Character**  
The proposed project is inconsistent with the existing community character.  
(See Part 1. C.2, C.3, D.2, E.3) ☒ NO ☐ YES  
If "Yes", answer questions a - g. If "No", proceed to Part 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**PRINT FULL FORM**

**Full Environmental Assessment Form**  
**Part 3 - Evaluation of the Magnitude and Importance of Project Impacts**  
**and**  
**Determination of Significance**

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

See attached Part 3 Narrative

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status: ☒ Type 1 ☐ Unlisted

Identify portions of EAF completed for this Project: ☒ Part 1 ☒ Part 2 ☒ Part 3



Upon review of the information recorded on this EAF, as noted, plus this additional support information  
see attached

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the \_\_\_\_\_ as lead agency that:

☒ A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

☐ B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

☐ C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: North Edge Realty Zoning Map Amendment

Name of Lead Agency: Town of Somers Town Board

Name of Responsible Officer in Lead Agency: Hon. Robert Scorrano

Title of Responsible Officer: Supervisor

Signature of Responsible Officer in Lead Agency:

Date: 12/16/2025

Signature of Preparer (if different from Responsible Officer)

Date: 12-16-25

**For Further Information:**

Contact Person: David B. Smith

Address: 335 Route 202 Town of Somers, NY

Telephone Number: (914) 277-5366

E-mail: [directorofplanning@somersny.gov](mailto:directorofplanning@somersny.gov)

**For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

**PRINT FULL FORM**

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



\*651883091DED0035\*

### Westchester County Recording & Endorsement Page

#### Submitter Information

Name: Benchmark Title Agency LLC Phone: 914-250-2400  
Address 1: 222 Bloomingdale Road Fax:  
Address 2: Email: aruano@benchmarkta.com  
City/State/Zip: White Plains NY 10805 Reference for Submitter: BRS1212293C

#### Document Details

Control Number: 651883091 Document Type: Deed (DED)  
Package ID: 2025070700067001001 Document Page Count: 5 Total Page Count: 7

#### Parties

☐ Additional Parties on Continuation page

1st PARTY 2nd PARTY  
1: NORTH EDGE REALTY CORP - Other 1: NORTH EDGE REALTY LLC - Other  
2: 2:

#### Property

☒ Additional Properties on Continuation page

Street Address: 45 ROUTE 8 Tax Designation: 4.19-2-2  
City/Town: SOMERS Village:

#### Cross-References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

#### Supporting Documents

1: RP-5217 2: TP-584

#### Recording Fees

Statutory Recording Fee: \$40.00  
Page Fee: \$30.00  
Cross-Reference Fee: \$0.00  
Mortgage Affidavit Filing Fee: \$0.00  
RP-5217 Filing Fee: \$250.00  
TP-584 Filing Fee: \$5.00  
RPL 291 Notice Fee: \$10.00  
Local Tax Receipt Filing Fee: \$0.00  
Total Recording Fees Paid: \$335.00

#### Transfer Taxes

Consideration: \$0.00  
Transfer Tax: \$0.00  
Mansion Tax: \$0.00  
Transfer Tax Number: 22897

#### Mortgage Taxes

Document Date:  
Mortgage Amount:  
Basic: \$0.00  
Westchester: \$0.00  
Additional: \$0.00  
MTA: \$0.00  
Special: \$0.00  
Yonkers: \$0.00  
Total Mortgage Tax: \$0.00  
Dwelling Type: Exempt: ☐  
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 07/24/2025 at 11:29 AM  
Control Number: 651883091  
Witness my hand and official seal

*Timothy G. Mori*

Timothy G. Mori  
Westchester County Clerk

#### Record and Return To

☐ Pick-up at County Clerk's office

BENCHMARK TITLE AGENCY LLC  
222 BLOOMINGDALE ROAD  
WHITE PLAINS, NY 10605



The Office of the Westchester County Clerk. This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.

\*651883091DED0035\*

**Westchester County Recording & Endorsement Page**

**Document Details**

Control Number: 651883091

Document Type: Deed (DED)

Package ID: 2025070700067001001

Document Page Count: 5

Total Page Count: 7

**Properties Addendum**

39 ROUTE 6 10588	SOMERS	49.9 2 3
43 ROUTE 6 10588	SOMERS	4.19 2 4
5 COUNTY LINE DRIVE 10588	SOMERS	4.19 2 1

BRS1212293C  
Westchester  
4.19  
2  
1-4

CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT-THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY

THIS INDENTURE, made the 16<sup>th</sup> day of JULY, 2025

BETWEEN

NORTH EDGE REALTY CORP., 165 WACCABUC ROAD, GOLDENS BRIDGE, NEW YORK 10526

party of the first part, and

NORTH EDGE REALTY LLC 165 WACCABUC ROAD, GOLDENS BRIDGE, NEW YORK 10526

party of the second part,

WITNESSETH, that the party of the first part, in consideration of

dollars

paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the

as set forth on Schedule "A" annexed hereto and made a part hereof.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof, TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" when ever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

North Edge Realty Corp.

GUS T. BONIELLO, PRESIDENT

North Edge Realty Corp.

JAMES T. BONIELLO, SECRETARY

**Schedule A**

**Lot 2:**

**ALL** that certain plot, piece or parcel of land, situate, lying and being in the Town of Somers, County of Westchester and State of New York, more particularly bounded and described as follows:

**BEGINNING** at a point on the northwesterly side of the State Highway leading from Mahopac to Peekskill, known as U.S. Route 6 at the southeasterly corner of the premises herein conveyed, which point is 183.42 feet on a course South 58 degrees 23 minutes 47 seconds West from the northwesterly intersection of said U.S. Route 6 with the highway known as Mahopac Avenue, and which point of beginning is also in the southwesterly corner of a parcel of land owned by Wallace Kennard, on which there is presently operated a gasoline station;

**THENCE** along the line of lands of said Wallace Kennard, North 30 degrees 31 minutes 49 seconds East 122.28 feet to a point in the line of lands of Louis J. Casagrande;

**THENCE** along the line of lands of Louis J. Casagrande, North 21 degrees 53 minutes 24 seconds West 368.41 feet; North 86 degrees 28 minutes 11 seconds West 116.86 feet and North 3 degrees 31 minutes 49 seconds East 50 feet to a point in the line of lands of Bell;

**THENCE** continuing on the same course, North 3 degrees 31 minutes 49 seconds East 100 feet to a point in the line of lands of Tolman;

**THENCE** along the line of lands of Tolman, North 86 degrees 28 minutes 11 seconds West 436.77 feet to a point in a post and wire fence in the line of lands of the City of New York;

**THENCE** following said post and wire fence and along the line of lands of the City of New York, South 9 degrees 57 minutes 17 seconds West 578.10 feet to a point in the line of other lands of Louis J. Casagrande;

**THENCE** along the line of lands of said Louis J. Casagrande, North 80 degrees 21 minutes 22 seconds East 352.52 feet to a point in the line of lands of Von Berg;

**THENCE** along the line of lands of said Von Berg, North 58 degrees 23 minutes 47 seconds East 130 feet and South 31 degrees 36 minutes 13 seconds East 340 feet to a point on the northwesterly side of the aforementioned highway known as U.S. Route 6;

**THENCE** along the northwesterly side of said highway known as U.S. Route 6, North 58 degrees 23 minutes 47 seconds East 160.47 feet to the point or place of **BEGINNING**.

**Lot 3:**

**ALL** that certain plot, piece or parcel of land, situate, lying and being in Lake Baldwin, Town of Somers, Westchester County, State of New York, being more fully described as follows:

**BEGINNING** at the northwesterly intersection of Loake Baldwin Drive and U.S. Route #6, then along U.S. Route #6, South 58 degrees 23 minutes 47 seconds West 473.89 feet the point or place of beginning;

**THENCE** North 31 degrees 36 minutes 13 seconds West 340 feet to a point which point is located at the corner on the property deeded to Mr. Von Berg;

**THENCE** South 58 degrees 23 minutes 47 seconds West 297.02 feet more or less to a point square with Mr. Von Berg line to the property of the City of New York;

**THENCE** along the property of the City of New York, South 37 degrees 53 minutes 25 seconds East 474.77 feet more or less to a point on the westerly side of U.S. Route #6;

**THENCE** along the westerly side of U.S. Route #6, North 58 degrees 23 minutes 47 seconds East 275 feet to the point or place of **BEGINNING**.

**Lot 4:**

**ALL** that certain plot, piece or parcel of land, situate, lying and being in the Town of Somers, County of Westchester, State of New York, bounded and described as follows:

**BEGINNING** at a point on the northwesterly side of the highway known as U.S. Route 6, which point is located 275.00 feet on a course North 58 degrees 23 minutes 47 seconds East from the northeasterly corner of lands of the City of New York known as the Muscote River Property;

**RUNNING THENCE** from said point of beginning along other lands now or formerly of Louis J. Casagrande North 31 degrees 36 minutes 13 seconds West 340.00 feet;

**THENCE** still along lands now or formerly of Louis J. Casagrande North 58 degrees 23 minutes 47 seconds East 130.00 feet;

**THENCE** still along lands now or formerly of said Casagrande South 31 degrees 36 minutes 13 seconds East 340.00 feet to the northwesterly side of said highway;

**THENCE** along the northwesterly side of said highway, South 58 degrees 23 minutes 47 seconds West 130.00 feet to the point or place of **BEGINNING**.

**Lot 1:**

**ALL** that certain plot, piece or parcel of land, situate, lying and being in the Town of Somers, County of Westchester, State of New York, being a portion of Proposed Lot 1 shown on a certain map entitled, "Lot Line Change Map prepared for North Edge Realty Corp. & Albert Gojcay & Ann Marie Vulaj-Gojcay" situate in the Town of Somers, Westchester County, State of New York" made by Link Land Surveyors, P.C., map completed 9/05/2023 and filed in the Office of the County Clerk of Westchester County, Division of Land Records on Oct. 24, 2023 as Map No. 29762, said portion of said Lot being bounded and described as follows:

**BEGINNING** at a point on the westerly line of land now or formerly of Michael A. Nunes & Stephanie C. Small where the same is intersected by the division line between Lot No. 1 and Lot No. 2 as shown on the aforementioned filed Map No. 29762, said point being distant South 01 degrees 09 minutes 59 seconds West, 293.81 feet (293.76 feet, per survey), as measured along the easterly line of Lot No. 2 from the intersection with the southerly line of County Line Road;

**RUNNING THENCE** along the division line between Lot No. 1 and land now or formerly of Nunes & Small and land now or formerly of Cahill and land now or formerly of the Assembly of God, South 01 degrees 09 minutes 59 seconds West, 104.27 feet (104.32 feet, per survey) and South 03 degrees 31 minutes 49 seconds West, 452.24 feet;

**THENCE** through Lot No. 1, North 86 degrees 28 minutes 11 seconds West, 346.77 feet to the easterly line of land now or formerly of the City of New York;

**THENCE** along the easterly line of land now or formerly of the City of New York, North 09 degrees 57 minutes 17 seconds East, 559.94 feet (560 feet, per survey) to the division line between Lot No. 1 and Lot No. 2 shown on filed Map No. 29762;

**THENCE** along said division line, South 86 degrees 28 minutes 11 seconds East, 279.82 feet to the point or place of **BEGINNING**.

**TO BE USED ONLY WHEN THE ACKNOWLEDGMENT IS MADE IN NEW YORK STATE**

State of New York, County of WESTCHESTER ss:

State of New York, County of WESTCHESTER ss:

On the 6<sup>th</sup> day of JULY in the year 2025  
before me, the undersigned, personally appeared  
GUS T. BONIELLO and JAMES T. BONIELLO  
personally known to me or proved to me on the basis of  
satisfactory evidence to be the individual(s) whose name(s) is  
(are) subscribed to the within instrument and acknowledged to  
me that he/she/they executed the same in his/her/their  
capacity(ies), and that by his/her/their signature(s) on the  
instrument, the individual(s) or the person upon behalf of which  
the individual(s) acted, executed the instrument.

On the \_\_\_ day of \_\_\_ in the year \_\_\_  
before me, the undersigned, personally appeared  
personally known to me or proved to me on the basis of  
satisfactory evidence to be the individual(s) whose name(s) is  
(are) subscribed to the within instrument and acknowledged to  
me that he/she/they executed the same in his/her/their  
capacity(ies), and that by his/her/their signature(s) on the  
instrument, the individual(s), or the person upon behalf of which  
the individual(s) acted, executed the instrument.

(signature and office of individual taking acknowledgment)

(signature and office of individual taking acknowledgment)

STEPHEN J. M. BROTMANN  
NOTARY PUBLIC, STATE OF NEW YORK  
No. 02BR4990888  
Qualified in Westchester County  
Commission Expires on January 21, 2026

**TO BE USED ONLY WHEN THE ACKNOWLEDGMENT IS MADE OUTSIDE NEW YORK STATE**

State (or District of Columbia, Territory, or Foreign Country) of

ss:

On the \_\_\_ day of \_\_\_ in the year \_\_\_ before me, the undersigned, personally appeared

personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are)  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and  
that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted,  
executed the instrument, and that such individual made such appearance before the undersigned in the

(insert the City or other political subdivision)

in (and insert the State or Country or other place the acknowledgment was taken)

(signature and office of individual taking acknowledgment)

**BARGAIN AND SALE DEED  
WITH COVENANT AGAINST GRANTOR'S ACTS**

Title No. \_\_\_\_\_

NORTH EDGE REALTY CORP.

TO

NORTH EDGE REALY LLC

DISTRICT

SECTION

BLOCK

LOT

COUNTY OR TOWN

STREET ADDRESS

Recorded at Request of  
THE JUDICIAL TITLE INSURANCE AGENCY LLC

RETURN BY MAIL TO:

STANDARD FORM OF NEW YORK BOARD OF TITLE UNDERWRITERS  
Distributed by  
THE JUDICIAL TITLE INSURANCE AGENCY LLC  
550 MAMARONECK AVENUE  
HARRISON, NY 10528  
914-361-5700 • 800-261-TITLE

Stephen J. M. Brotmann, Esq.  
4 West Red Oak Lane, Ste. 118  
White Plains, NY 10604

RESERVE THIS SPACE FOR USE OF RECORDING OFFICE



The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



\*610533249DED001X\*

## Westchester County Recording & Endorsement Page

### Submitter Information

Name: Benchmark Title Agency LLC Phone: 914-250-2400  
Address 1: 222 Bloomingdale Road Fax:  
Address 2: Email: aruano@benchmarkta.com  
City/State/Zip: White Plains NY 10605 Reference for Submitter: BTA79888

### Document Details

Control Number: 610533249 Document Type: Deed (DED)  
Package ID: 2021022200074001001 Document Page Count: 3 Total Page Count: 4

### Parties

☐ Additional Parties on Continuation page

1st PARTY 2nd PARTY  
1: JAN-PAT REALTY LLC - Other 1: NORTH EDGE REALTY CORP - Other  
2: 2:

### Property

☐ Additional Properties on Continuation page

Street Address: 39 ROUTE 6 Tax Designation: 4.19-2-3  
City/Town: SOMERS Village:

### Cross-References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

### Supporting Documents

1: RP-5217 2: TP-584

#### Recording Fees

Statutory Recording Fee: \$40.00  
Page Fee: \$20.00  
Cross-Reference Fee: \$0.00  
Mortgage Affidavit Filing Fee: \$0.00  
RP-5217 Filing Fee: \$250.00  
TP-584 Filing Fee: \$5.00  
RPL 291 Notice Fee: \$10.00  
Total Recording Fees Paid: \$325.00

#### Transfer Taxes

Consideration: \$80,000.00  
Transfer Tax: \$320.00  
Mansion Tax: \$0.00  
Transfer Tax Number: 25888

#### Mortgage Taxes

Document Date:  
Mortgage Amount:  
Basic: \$0.00  
Westchester: \$0.00  
Additional: \$0.00  
MTA: \$0.00  
Special: \$0.00  
Yonkers: \$0.00  
Total Mortgage Tax: \$0.00

Dwelling Type: Exempt: ☐  
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 03/04/2021 at 12:09 PM  
Control Number: 610533249  
Witness my hand and official seal

*Timothy C. Ikonl*

Timothy C. Ikonl  
Westchester County Clerk

### Record and Return To

☐ Pick-up at County Clerk's office

benchmark title agency llc  
222 bloomingdale road  
suite 102  
white plains , NY 10605



BTA-79868  
Westchester  
4-19  
2  
3

## **Bargain and Sale Deed, With Covenants Against Grantors' Acts**

**THIS INDENTURE**, made the 1<sup>st</sup> day of March 2021, between Jan-Pat Realty, LLC, a New York Limited Liability Company having its principal place of business at 3 Lovell Street, Somers, NY 10589, party of the first part, and North Edge Realty Corp., a New York Corporation having its principal place of business at 48 Wood Street, Katonah, NY 10536, party of the second part,

**WITNESSETH**, that the party of the first part does hereby grant and release unto the party of the second part, the distributees or successors and assigns of the party of the second part forever,

**WITNESSETH**, that the party of the first part is making this conveyance in the normal course of business,

**ALL** that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Town of Somers, County of Westchester and State of New York, and being more particularly bounded and described in Schedule "A" attached hereto and made part hereof.

**TOGETHER** with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above described premises to the center lines thereof,

**TOGETHER** with the appurtenances, and all the estate and rights of the party of the first part in and to the premises,

**TO HAVE AND TO HOLD** the premises herein granted unto the parties of the second part, the heirs or successors and assigns of the party of the second part forever.

**BEING** the same premises as conveyed by deed dated 04/07/2003 and recorded in the Westchester County Clerk's Office on 05/20/2003 as control #431320998.

**AND** the party of the first part covenant that the party of the first part have not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

**AND** the party of the first part, in compliance with Section 13 of the Lien Law, covenant that the parties of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the costs of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

**Benchmark Title Agency, LLC**

Title No. BTA79888

**SCHEDULE A**

ALL that certain plot, piece or parcel of land, situate, lying and being in Lake Baldwin, Town of Somers, Westchester County, State of New York, being more fully described as follows:

**BEGINNING** at the northwesterly intersection of Loake Baldwin Drive and U.S. Route #6, then along U.S. Route #6, South 58 degrees 23 minutes 47 seconds West 473.89 feet the point or place of beginning;

**THENCE** North 31 degrees 36 minutes 13 seconds West 340 feet to a point which point is located at the corner on the property deeded to Mr. Von Berg;

**THENCE** South 58 degrees 23 minutes 47 seconds West 297.02 feet more or less to a point square with Mr. Von Berg line to the property of the City of New York;

**THENCE** along the property of the City of New York, South 37 degrees 53 minutes 25 seconds East 474.77 feet more or less to a point on the westerly side of U.S. Route #6;

**THENCE** along the westerly side of U.S. Route #6, North 58 degrees 23 minutes 47 seconds East 275 feet to the point or place of BEGINNING.

---

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

  
Jan-Pat Realty, LLC  
By: Karl Thimm, Member

ACKNOWLEDGEMENT

STATE OF NEW YORK )  
COUNTY OF Putnam ) ss.:

On the 1st day of March in the year 2021, before me, the undersigned, personally appeared Karl Thimm, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

(signature and office of individual taking acknowledgment) THOMAS R CLARK  
Notary Public, State of New York  
No. 01CL5010137  
Qualified in Dutchess County  
Commission Expires March 29, 2023

Record and Return to:

Benchmark Title Agency, LLC  
222 Bloomingdale Road, Suite 102  
White Plains, NY 10605

Section: 4.19  
Block: 2  
Lot: 3  
County: Westchester  
Address: 39 Route 6  
Yorktown Heights, NY 10598

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



\*613133396DED001Z\*

## Westchester County Recording & Endorsement Page

### Submitter Information

Name: Benchmark Title Agency LLC Phone: 914-250-2400  
Address 1: Benchmark Title Agency LLC Fax: 914-422-1550  
Address 2: 222 Bloomingdale Road, Suite 102 Email: evanbomet@benchmarkta.com  
City/State/Zip: White Plains NY 10605 Reference for Submitter: BTA 80862

### Document Details

Control Number: **613133396** Document Type: **Deed (DED)**  
Package ID: 2021110900188001001 Document Page Count: 3 Total Page Count: 4

### Parties

1st PARTY ☐ Additional Parties on Continuation page  
1: SENG A INC - Other 1: NORTH EDGE REALTY CORP 2nd PARTY  
2: 2: - Other

### Property

Street Address: 43 ROUTE 6 Tax Designation: 4.19-2-4  
City/Town: SOMERS Village: ☐ Additional Properties on Continuation page

### Cross-References

1: 2: 3: 4: ☐ Additional Cross-Refs on Continuation page

### Supporting Documents

1: RP-5217 2: TP-584

### Recording Fees

Statutory Recording Fee: \$40.00  
Page Fee: \$20.00  
Cross-Reference Fee: \$0.00  
Mortgage Affidavit Filing Fee: \$0.00  
RP-5217 Filing Fee: \$125.00  
TP-584 Filing Fee: \$5.00  
RPL 291 Notice Fee: \$10.00  
Total Recording Fees Paid: **\$200.00**

### Transfer Taxes

Consideration: \$575,000.00  
Transfer Tax: \$2,300.00  
Mansion Tax: \$0.00  
Transfer Tax Number: 5706

### Mortgage Taxes

Document Date:  
Mortgage Amount:  
Basic: \$0.00  
Westchester: \$0.00  
Additional: \$0.00  
MTA: \$0.00  
Special: \$0.00  
Yonkers: \$0.00  
Total Mortgage Tax: **\$0.00**

Dwelling Type: Exempt: ☐  
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 11/15/2021 at 03:55 PM  
Control Number: **613133396**  
Witness my hand and official seal

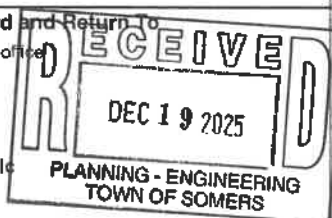
*Timothy C. Ikon*

Timothy C. Ikon  
Westchester County Clerk

### Record and Return to

☐ Pick-up at County Clerk's office

benchmark title agency llc  
222 bloomingdale road  
suite 102  
white plains , NY 10605



(Bargain And Sale Deed with Covenant against Grantor Acts – Individual or Corporation)

THIS INDENTURE, made the 10<sup>th</sup> day of November, two thousand twenty one

**BETWEEN** SENG, INC., A New York Corporation with offices located at 22 Stoneridge Road,  
Middletown, New York 10940,

Party of the first part, and

**NORTH EDGE REALTY CORP**, with offices located at 48 Wood Street, Katonah, New York 10536,

Party of the second part,

**WITNESSETH**, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

**ALL** that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the County of Westchester, Town of Somers and State of New York.

See annexed Schedule "A"

**BEING** the same premises described in the deed into the grantor herein by deed recorded on 03/04/2003 in Control No. 430570872.

**TOGETHER** with all right, title and interest, if any, of the party of the first part of, in and to any streets and roads abutting the above-described premises to the center lines thereof; **TOGETHER** with the appurtenances and all the estate and rights of the party of the first part in and to said premises;

**TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

**AND** the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

**AND** the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such considerations as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvements before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS THEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

  
TIMOTHY C. FOLEY  
President, Senga, Inc.

STATE OF NEW YORK, COUNTY OF ORANGE

On the 9<sup>th</sup> day of November, in the year 2021, before me, the undersigned, appeared TIMOTHY C. FOLEY, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual executed the instrument.

FIONA A FOLEY  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 02PO6140371  
Qualified in Orange County  
Commission Expires March 02, 2022

  
Notary Public

BARGAIN & SALE DEED  
WITH COVENANT AGAINST GRANTOR'S ACTS  
TITLE NO. 3FA 80PV2

SENGA, INC.

TO

NORTH EDGE REALTY CORP

TAX MAP DESIGNATION:

00401900020040000000

Sec: 4.19  
Block: 2  
Lot: 4  
COUNTY WESTCHESTER  
TOWN: SOMES  
RETURN BY MAIL TO:  
Fiona A. Foley, Esq.  
233 East Main Street  
Middletown, New York 10940

STEVEN F. BATMANES

Benchmark Title Agency, LLC

Title No. BTA80862

**SCHEDULE A**

ALL that certain plot, piece or parcel of land, situate, lying and being in the Town of Somers, County of Westchester, State of New York, bounded and described as follows:

**BEGINNING** at a point on the northwesterly side of the highway known as U.S. Route 6, which point is located 275.00 feet on a course North 58 degrees 23 minutes 47 seconds East from the northeasterly corner of lands of the City of New York known as the Muscoot River Property;

**RUNNING THENCE** from said point of beginning along other lands now or formerly of Louis J. Casagrande North 31 degrees 36 minutes 13 seconds West 340.00 feet;

**THENCE** still along lands now or formerly of Louis J. Casagrande North 58 degrees 23 minutes 47 seconds East 130.00 feet;

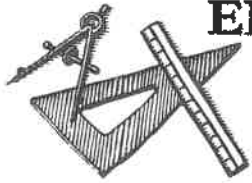
**THENCE** still along lands now or formerly of said Casagrande South 31 degrees 36 minutes 13 seconds East 340.00 feet to the northwesterly side of said highway;

**THENCE** along the northwesterly side of said highway, South 58 degrees 23 minutes 47 seconds West 130.00 feet to the point or place of **BEGINNING**.

FOR  
CONVEYANCING  
ONLY      The policy to be issued under this report will insure the title to such buildings and improvements erected on the premises which by law constitute real property.



# BIBBO ASSOCIATES ENGINEERING, P.C.

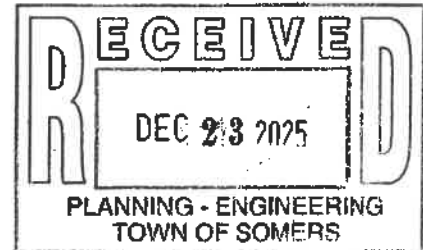


Timothy S. Allen, P.E.  
Nicholas Gaboury, P.E.  
Matthew J. Gironda, P.E.

December 23, 2025

Somers Planning Board  
335 Route 202  
Somers, NY 10589

Attn: Ms. Vicky Gannon, Chairwoman



Re: Harney Subdivision  
10 Keyrel Lane  
Final Subdivision Approval,  
Stormwater Management and Erosion &  
Sediment Control, & Tree Removal Permit  
Applications  
Sec. 16.07, Blk. 1, Lot 3

Dear Chairwoman and Members of the Board:

On behalf of our client, please find the following in support of Final Subdivision Approval:

- 6 copies – Final Subdivision Approval Application (w/fee \$600 by check #213)
- 6 copies - Stormwater Management and Erosion & Sediment Control Application (w/fee \$150 by check #214)
- 6 copies – Tree Removal Permit Application (w/fee \$560 by check #254)
- 6 copies – Supporting Documents
  - Owner Affidavit
  - Application Processing Restrictive Law Certification
  - Applicant Acknowledgement
  - Letter of Taxes Paid
- 6 copies – Property Deed
- 6 copies – Responses to Woodard & Curran (W&C) Memorandum dated 1-6-25, dated 12-22-2025
- 6 prints – Final Subdivision Plat, prepared by Spinelli Surveying
- 6 prints – Final Subdivision Plan Set, (4-sheets), prepared by Bibbo Associates Engineering, P.C., dated last revised 12-22-25
- 2 copies – Erosion Control Cost Estimate, dated 12-22-25
- 2 copies – Stormwater Pollution Prevention Plan, prepared by Bibbo Associates Engineering, P.C., dated last revised 12-22-25

*Site Design • Engineering*

Mill Pond Offices • 293 Route 100 • Suite 203 • Somers, New York 10589  
Phone: 914.277.5805

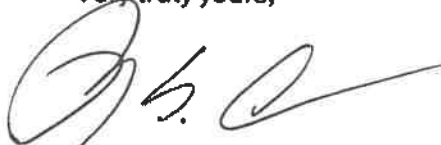
Website: [www.bibboassociates.com](http://www.bibboassociates.com) • E-mail: [bibbo@bibboassociates.com](mailto:bibbo@bibboassociates.com)

Preliminary Subdivision approval was granted on January 8, 2025 and the Resolution of Conditions of said approval is as follows:

1. An Erosion & Sediment Control cost estimate is attached for the purposes of posting a performance bond/security and inspection fee.
2. See response to Condition #1 above.
3. The Recreation Fee will be provided prior to Final Plat signature.
4. A Stormwater Management and Erosion & Sediment Control Application is submitted herewith.
5. Comment noted. Outstanding escrow fees shall be paid, if required.
6. See enclosed response to W&C memorandum dated 1-6-25.
7. It is our understanding that a metes and bounds description is no longer required.

We respectfully request this matter to be placed on your January agenda for consideration. At this time we request the Board consider waiving the Final Public Hearing pursuant to §150-13.F(2) as the Final Subdivision is in substantial compliance with the approved Preliminary Subdivision.

Very truly yours,



Timothy S. Allen, P.E.  
Principal

TSA/mme  
Enclosures

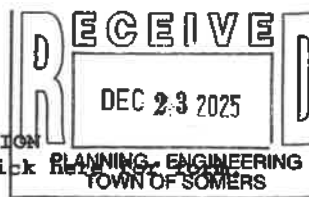
cc: D. Smith, AICP (via email w/encs)  
S. Robbins, P.E. (via email w/encs)  
N. Montesano (via email w/encs)  
W. Getting (via email w/encs)  
M. Harney (via email)  
File

7/02

## SOMERS PLANNING BOARD

## APPLICATION FOR FINAL APPROVAL OF SUBDIVISION

Application Processing Affidavit must also be completed. Click HERE FOR PLANNING ENGINEERING TOWN OF SOMERS



## I. IDENTIFICATION OF APPLICANT:

A. OWNER: Melissa Harney SUBDIVIDER: same as owner  
 ADDRESS: 10 Keyrel Lane, Mahopac ADDRESS: \_\_\_\_\_  
 TELE #: (646) 232-5866 TELE #: \_\_\_\_\_  
 B. SURVEYOR: Richard Spinelli TELE #: (914) 881-2357  
 ENGINEER: Timothy S. Allen, P.E. TELE #: (914) 277-5805  
Bibbo Associates Engineering, P.C.

## II. IDENTIFICATION OF PROPERTY:

A. Subdivision identifying Title: Harney Subdivision  
 B. Street abutting property: Keyrel Lane  
 C. Tax Map Designation: Sheet: 16.07 Block: 1 lot: 3  
 D. Zoning District: R-40 (Residential)  
 E. Total area of property in acres: 2.5

III. APPLICATION FEES PAID: By certified check payable to Town of Somers  
 Fee: \$150 for each lot shown on the final subdivision plat, minimum application fee is \$600. Fee: \$600.00 Paid: \_\_\_\_\_

14 copies of all correspondence/plans must be submitted to the Planning Board during review.

- A. ☒ 14 copies of Final Subdivision Plat.  
 B. ☒ 14 copies of Construction Plans.  
 C. ☒ Proof of ownership by the applicant of the premises affected by the application.  
 D. \_\_\_\_\_ Certificate of Title Company covering all interests, liens, & objections to title if any.  
 E. ☒ Engineer's or surveyor's certification of total area of subdivision shown on the plat.  
 F. N/A Length of all proposed streets shown on plat.  
 G. N/A Engineer's estimate of cost of construction of the subdivision streets and all other improvements shown on the final construction plans.  
 H. N/A Deed to Town of the proposed streets and park areas shown on the plat.  
 I. N/A Proof of approval by Somers Town Board of all proposed street names.  
 J. N/A Proof of approval by the State Department of Transportation or the County Department of Public Works, as appropriate, of the design and proposed construction of any intersection of a proposed street on the plat with a State or County highway if any.  
 K. ☒ Proof that taxes have been paid.

## IV. LIST OF ADJOINING PROPERTY OWNERS OF RECORD:

NAME	ADDRESS	BLOCK	LOTS
To be provided upon request.			

It is the responsibility of the applicant to be knowledgeable of the law. The following are available at the Town Clerk's Office: Master Plan, Zoning Ordinance, Subdivision Regulations, State Environmental Quality Review (SEQR), Wetland and Steep Slope Ordinances.

WAIVERS: As part of this application, I request the Planning Board to authorize certain exceptions that lie within its discretion to the regulation, codes, ordinances and/or specification governing subdivisions and I attach hereto a list of such exceptions with the reason for each exception as set forth.

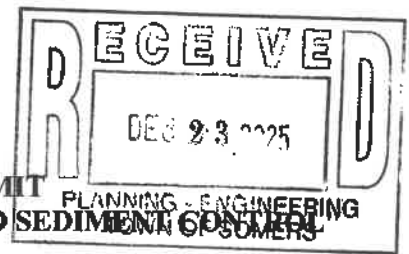
The undersigned applicant requests the Planning Board to approve his plat.

Melissa Harney Date: 12/17/25  
 Applicant's Signature

Melissa Harney Date: 12/17/25  
 Owner's Signature

07/18

**TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
APPLICATION FOR ENVIRONMENTAL PERMIT  
CHAPTER 93 "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL"**



**APPLICATION FEE:** \$100 for disturbances of five thousand (5,000) square feet and/or for the placement or removal of 50 cubic yards of soil, plus \$500 for each additional acre of disturbance.

**ENGINEERING INSPECTION FEE:** \$100

**OWNER:** Melissa Harney **Tel. #:** (646) 232-5866  
**Mailing Address:** 10 Keyrel Lane, Mahopac, NY 10541  
**Email Address:** mc2579@yahoo.com

**APPLICANT:** Same as owner **Tel. #:** \_\_\_\_\_  
**Mailing Address:** \_\_\_\_\_  
**Email Address:** \_\_\_\_\_

**State authority:** If other than owner, authorization must be submitted in writing

**PREMISES:** Sheet: 16.07 Block: 1 Lot: 3

**DESCRIPTION OF WORK AND PURPOSE:** Development of subdivision lot.

**SIZE OF ACTIVITY AREA:** 0.6 acres feet by \_\_\_\_\_ feet  
(include all construction activity area)

**VOLUME OF EXCAVATED MATERIAL:** 715 CY +/-  
(leave blank if not known)

**IN CONJUNCTION WITH:**

**Wetland Permit:** \_\_\_\_\_ **Steep Slopes Permit:** \_\_\_\_\_ **Tree Preservation Permit:** X  
**Site Plan:** \_\_\_\_\_ **Subdivision:** X

**PROPOSED STARTING DATE:** 4/2026 **PROPOSED COMPLETION DATE:** 11/2026

**PLANS PREPARED BY:** Timothy S. Allen, P.E. **DATED:** 12/22/25

Bibbo Associates Engineering, P.C.

**\*\*Plans and copy of Stormwater Pollution Prevention Plan must be submitted with application.\*\***

**LIST OF APPLICABLE COUNTY, STATE, OR FEDERAL PERMITS:** \_\_\_\_\_  
WCDOH - OWTS & Well

**LIST OF PROPERTY OWNERS OF RECORD OF LANDS AND CLAIMANTS OF WATER RIGHTS  
WITHIN 100 FEET OF SUBJECT PROPERTY**

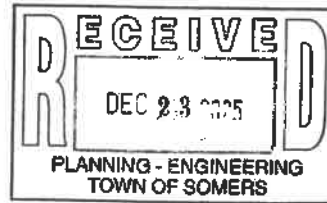
<u>NAME</u>	<u>ADDRESS</u>	<u>BLOCK/LOT</u>
<u>N/A</u>		

**APPLICANT'S SIGNATURE:** Melissa Harney **DATE:** 12/22/25  
**OWNER'S SIGNATURE:** Melissa Harney **DATE:** 12/22/25

**\*APPLICATION MUST BE ACCOMPANIED WITH A COMPLETED ENVIRONMENTAL ASSESSMENT FORM, A VICINITY MAP, A DEVELOPMENT PLAN, EROSION AND SEDIMENT CONTROL PLAN, AND THE PROPOSED PHASING OF DEVELOPMENT OF THE SITE.**

9/2019

**TREE REMOVAL PERMIT APPLICATION  
SECTION 156, TREE PRESERVATION**



**SUBMIT TO:** Town of Somers, Engineering Department  
335 Route 202, Somers, New York 10589

**DATE:** 12-22-2025

**1. APPLICATION FEE:**

Tree Removal - \$50.00 for the first five (5) trees to be removed, \$15.00 for each additional tree to be removed.

**2. IDENTIFICATION OF APPLICANT:**

**OWNER:** Melissa Harney Tel.#: (646) 232-5866  
Mailing Address: 10 Keyrel Lane, Mahopac, NY 10541  
E-mail Address: mc2579@yahoo.com

**APPLICANT: (if other than Owner)**  
Same as owner Tel. #: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_  
Professional preparing site plan: Timothy S. Allen, P.E., Bibbo Associates Engineering, P.C.  
State authority: \_\_\_\_\_ If other than owner, authorization must be submitted in writing.  
E-mail Address: tallen@bibboassociates.com

**3. IDENTIFICATION OF SUBJECT PROPERTY**

Address 10 Keyrel Lane, Mahopac  
PREMISES: Sheet: 16.07 Block: 1 Lot: 3

**4. NUMBER OF TREES TO BE REMOVED (12-INCHES OR GREATER)**

Zoning District: R10 (R40) R80 R120 Other (Circle)

39 Quantity of trees to be removed (Must be tagged/identified to evaluate permit requirements)

**5. PURPOSE FOR TREE REMOVAL**

Development of subdivision lot.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

6. **SKETCH OR SITE PLAN \***

\* A site plan shall be provided if the tree removal activity involves clearing and must be certified by an arborist, landscape architect or professional forester.

The Town Engineer or other duly authorized representative shall inspect the property to assure satisfactory completion of the requirements of the approved tree removal permit, and, upon such completion, the approving authority shall require documentation from such official stating that all required conditions of the tree removal permit have been satisfactorily completed. If, upon inspection, it is found that any of the required conditions have not been addressed in accordance with the approved permit and/or plans, the applicant shall be responsible for addressing all conditions of approval pursuant to the original conditions of approval. Failure of the Town Engineer or other duly authorized representative to carry out inspections of required improvements during the tree removal shall not in any way relieve the applicant or the bonding company of their responsibilities. The Town Engineer, his designee, and the Town Environmental Enforcement Officer shall have access to all parts of the work area at all times during tree removal.

APPLICANT'S SIGNATURE: *William King* DATE: 12/22/25  
OWNER'S SIGNATURE: *William King* DATE: 12/22/25

By submitting this application I understand, allow and agree to a Town inspector making a site visit to the exterior of my property. *WJ*  
(Initial)

**TOWN OF SOMERS  
WESTCHESTER COUNTY, NEW YORK  
CHAPTER 67 "APPLICATION PROCESSING RESTRICTIVE LAW"**

**CERTIFICATION**

I hereby certify that to the best of my knowledge no outstanding fees are due and owing to the Town of Somers for the following property:

Section 16.07 Block 1 Lot 3

Property Address 10 Keyrel Lane, Mahopac

Permit Applying For Final Subdivision

Furthermore, I hereby certify that to the best of my knowledge no outstanding violation (as that term is defined for the purposes of the Application Processing Restrictive Law, Paragraph 4D) of local laws or ordinances of the Town of Somers exist with respect to the above cited property or any structure or use existing thereon.

Signed *Melissa Harney*  
(Owner of Record)

Signed *Melissa Harney*  
(Applicant for Permit)

Melissa Harney  
(Print Name)

Melissa Harney  
(Print Name)

Date 12/17/25

Date 12/17/25

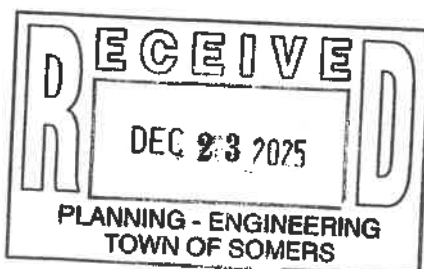
**CONFIRMATIONS**

\_\_\_\_\_  
Engineering Department

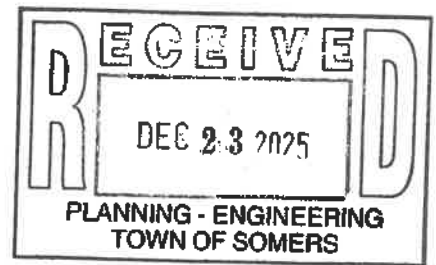
Date: \_\_\_\_\_

\_\_\_\_\_  
Zoning Enforcement Officer

Date: \_\_\_\_\_



Last Revised 11/2023



### APPLICANT ACKNOWLEDGEMENT

By making this application, the undersigned Applicant agrees to permit Town officials and their representatives to conduct on-site inspections in connection with the review of this application.

The applicant also agrees to pay all expenses for the cost of professional review services required for this application, as referred to in §133-1 of the Code of the Town of Somers. As such, an Escrow Account, according to §133-2 of the Code of the Town of Somers, may be required.

It is further acknowledged by the Applicant that all bills for the professional review services shall be mailed to the Applicant, unless the Town is notified in writing by the Applicant at the time of initial submission of the application that such mailings should be sent to a designated representative instead.

Signature of Applicant: *Walter Day* Date: 12/17/25

Signature of Property Owner: *Walter Day* Date: 12/17/25  
(if different from applicant)



OFFICE OF THE TAX RECEIVER

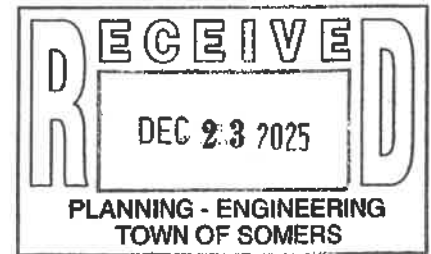
**Town of Somers**

WESTCHESTER COUNTY, N.Y.

Telephone  
(914) 277.3610

Fax  
(914) 277.8932

Michele A. McKearney  
Receiver of Taxes  
mmckearney@somersny.com



335 Route 202  
Town House  
Somers, NY 10589

December 16, 2025


RE: Harney, Melissa  
10 Keyrel Lane  
Parcel # 16.07-1-3

To Whom It May Concern,

All taxes have been paid in full on the above-mentioned parcel. There are no outstanding liens or taxes due as of the date of this letter.

If you have any questions or need additional information, please do not hesitate to contact me.

Sincerely,

  
Michele McKearney  
Receiver of Taxes

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.



\*620983274DED0025\*

## Westchester County Recording & Endorsement Page

### Submitter Information

Name: Court Street Abstract, Inc. Phone: 914-328-6206  
Address 1: 99 Court Street Fax: 914-328-6207  
Address 2: Paul Baran Email: vgyug@courtstabstract.com  
City/State/Zip: White Plains NY 10601 Reference for Submitter: HARNEY/A&S RELLC/JACOBELLIS/80

### Document Details

Control Number: **620983274** Document Type: **Deed (DED)**  
Package ID: 2022040800132001003 Document Page Count: **3** Total Page Count: **4**

### Parties

☐ Additional Parties on Continuation page

1st PARTY  
1: A & RE LLC - Other 1: HARNEY MELISSA - Individual  
2: 2:

### Property

☐ Additional Properties on Continuation page

Street Address: 10 KEYREL LANE Tax Designation: 16.07-1-3  
City/Town: SOMERS Village:

### Cross-References

☐ Additional Cross-Refs on Continuation page

1: 2: 3: 4:

### Supporting Documents

1: RP-5217 2: TP-584

### Recording Fees

Statutory Recording Fee: \$40.00  
Page Fee: \$20.00  
Cross-Reference Fee: \$0.00  
Mortgage Affidavit Filing Fee: \$0.00  
RP-5217 Filing Fee: \$125.00  
TP-584 Filing Fee: \$5.00  
RPL 291 Notice Fee: \$10.00  
Total Recording Fees Paid: \$200.00

### Transfer Taxes

Consideration: \$699,200.00  
Transfer Tax: \$2,798.00  
Mansion Tax: \$0.00  
Transfer Tax Number: 13705

### Mortgage Taxes

Document Date:  
Mortgage Amount:  
Basic: \$0.00  
Westchester: \$0.00  
Additional: \$0.00  
MTA: \$0.00  
Special: \$0.00  
Yonkers: \$0.00  
Total Mortgage Tax: \$0.00

Dwelling Type: Exempt: ☐  
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 04/26/2022 at 09:28 AM  
Control Number: **620983274**  
Witness my hand and official seal

*Timothy C. Idroni*

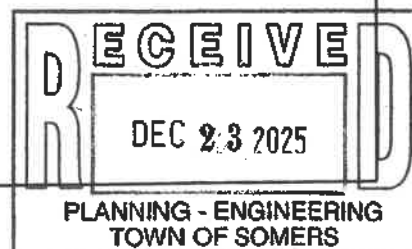
Timothy C. Idroni  
Westchester County Clerk

### Record and Return To

☐ Pick-up at County Clerk's office

Thomas Jacobellis, Esq.  
3 Starr Ridge Road

Brewster, NY 10509



CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT—THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 1st day of APRIL in the year 2022

BETWEEN A & S RE LLC, A NEW YORK LIMITED LIABILITY COMPANY, HAVING AN ADDRESS AT 1585 OVERHILL STREET, YORKTOWN HEIGHTS NEW YORK 10598

Party of the first part, and

MELISSA HARNEY, HAVING AN ADDRESS 16 LONDONBERRY LANE, SOMERS, NEW YORK 10589

Party of the second part,

WITNESSETH, that the party of the first part, in consideration of

\$10.00 (TEN) OVC dollars

Paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the *Town of Somers, County of Westchester and State of New York*  
*Being more particularly described on Schedule "A" attached*

SEE SCHEDULE "A" ATTACHED

THIS TRANSACTION IS BEING DONE WITHIN THE NORMAL COURSE OF BUSINESS

SAID PREMISES ALSO BEING KNOWN AS 10 KEYREL LANE, MAHOPAC, NEW YORK 10541

WESTCHETER COUNTY

SECTION: 16.07

BLOCK: 1

LOT: 3

BEING AND INTENDED TO BE THE SAME PREMISES AS CONVEYED TO GRANTOR HEREIN BY DEED DATED 02/10/2021 RECORDED 02/24/2021 IN CONTROL #610553307.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above-described premises to the center lines thereof; TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises; TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

A & S RE LLC

BY: 

## **Schedule A Description**

Title Number **CSA22-08083-W**

Page **1**

**ALL** that certain plot, piece or parcel of land, situate, lying and being at Lincolndale, Town of Somers, County of Westchester and State of New York, bounded and described as follows:

**BEGINNING** at a point on the southerly line of Parcel No. 1, as shown on a map entitled, "Subdivision of Property belonging to John Montalto, et. al. near Lincolndale, Town of Somers, Westchester County", dated December 19, 1930 and filed in the Office of the Clerk of the County of Westchester, Division of Land Records, on April 16, 1932, as Map No. 3868, which said point of beginning is on a line running north 84 degrees 05 minutes 40 seconds west, 578.62 feet from the corner formed by the intersection of the southeasterly corner of said Parcel 4, as shown on the said map with the westerly side of Lovell Street;

**RUNNING THENCE** north 84 degrees 05 minutes 40 seconds west, still along said southerly line of Parcel 4; 410.18 feet;

**THENCE RUNNING** north 01 degree 04 minutes 03 seconds east, 266.05 feet across the Easement hereinafter mentioned to the center line of a stone wall and land now or formerly of W. W. Merritt;

**THENCE** south 84 degrees 01 minute 40 seconds east, 107.29 feet; and South 84 degrees 21 minutes east, 302.89 feet along land now or formerly of W. W. Merritt and along the mean center line of the said stone wall to another stone wall adjoining the premises herein described on the east thereof;

**THENCE** along the stone wall lastly described and along the center line thereof, south 01 degree 05 minutes 05 seconds west, 267.36 feet to the point of **BEGINNING**.

**ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE**

State of NEW YORK, County of WESTCHESTER, ss:

On the 1ST day of APRIL in the year 2022, before me, the undersigned, personally appeared ARGEN BALAJ. Personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

*Verian R Gyug*

VERIAN R GYUG  
Notary Public State of New York  
No. 01GY4791117  
Qualified in Westchester County  
Term Expires 1/21/26

**ACKNOWLEDGEMENT BY SUBSCRIBING WITNESS  
TAKEN IN NEW YORK STATE**

State of New York, County of , ss:

On the day of in the year , before me, the undersigned, a Notary Public in and for said State, personally appeared , the subscribing witness to the foregoing instrument, with whom I am personally acquainted, who, being by me duly sworn, did depose and say that he/she/they reside(s) in

(If the place of residence is in a city, include the street and street number if any, thereof);  
that he/she/they know(s)

to be the individual described in and who executed the foregoing instrument; that said subscribing witness was present and saw said

execute the same; and that said witness at the same time subscribed his/her/their name(s) as a witness thereto

**Bargain and Sale Deed  
With Covenants**

**Title No. COURT STREET ABSTRACT  
#CSA22-08083-W**

**A & S RE LLC  
TO  
MELISSA HARNEY**

**ACKNOWLEDGEMENT TAKEN IN NEW YORK STATE**

State of New York, County of , ss:

On the day of in the year , before me, the undersigned, personally appeared

, Personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

**ACKNOWLEDGEMENT TAKEN OUTSIDE NEW YORK  
STATE**

\*State of Georgia, County of , ss:

\*(Or insert District of Columbia, Territory, Possession or Foreign County)

On the day of July in the year 2015 before me  
the undersigned personally appeared

Personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument, and that such individual make such appearance before the undersigned in the

(add the city or political subdivision and the state or country or other place the acknowledgement was taken).

**SECTION: 16.07**

**BLOCK: 1**

**LOT: 3**

**COUNTY OR TOWN: ~~BRONX~~ Somers  
10 Keyrel Lane, Mahopac  
RETURN BY MAIL TO:**

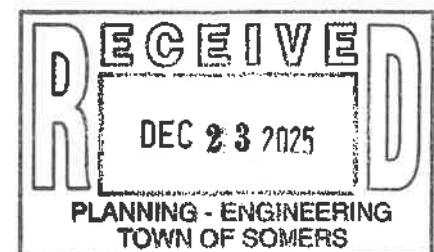


Timothy S. Allen, P.E.  
Nicholas Gaboury, P.E.  
Matthew J. Gironda, P.E.

**Written Responses**  
**Woodard & Curran Memorandum – Dated 1-6-25**

**Response Date: 12-22-2025**

1. The OWTS design with associated details will be prepared following the filing of the Plat for the individual lot site/OWTS plan.
2. The appropriate stormwater details are provided on Sheet 4 of 4 of the Plans.
3. Directional arrows indicating pitch have been added to the Plan.
4. A deep test hole and percolation test were performed in the low area of the property. The results are included as Appendix "F" of the SWPPP.
5. Supporting drainage calculations are included in Appendix "E" of the SWPPP.
6. A Tree Removal Permit Application has been provided.
7. A Stormwater Maintenance Agreement would not be required for this project, as it does not meet the NYSDEC disturbance threshold for post-construction practices.
8. A draft eNOI is included as Appendix "G" of the SWPPP.
9. The threshold of over 2 acres of disturbance and disturbance on slopes over 15-percent required for NYCDEP SWPPP approval are not met or exceeded for this project. Therefore, NYCDEP approval is not required.
10. The requested notes have been added to the Plan (Sh. 2 of 4).



*Site Design • Engineering*