

# Dunedin City Council Land Information Memorandum

88358

**Issued in accordance with Section 44A of the Local Government Official  
Information and Meetings Act 1987**

**Should you require further clarification of any of the information listed  
in this report, please phone our Customer Services Agency on  
03 477 4000.**

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **1 October 2020**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Records of Title as this report may not include information that is registered on the Records of Title. The Records of Title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

## PROPERTY ADDRESS

66 Cranley Street Dunedin

### LIM Applicant

Srivathsan Srikantan Lakshminarayanan and Aleksandra Janina  
Smetek

### Print Date

01-Oct-2020

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## PROPERTY DETAILS

**Property ID** 5059529  
**Address** 66 Cranley Street Dunedin  
**Parcels** LOT 26 BLK VI DP 1746

**Rubbish Day** Wednesday

## RATES DETAILS

**Rate Account** 2059529  
**Address** 66 Cranley Street Dunedin  
**Valuation Number** 27500-60900  
**Latest Valuation Details**  
Capital Value \$390,000  
Land Value \$150,000  
Value of Improvements \$240,000  
Area (Hectares) 0.0486HA  
Units of Use 1  
**Current Rates**  
Current Rating Year Starting 01-Jul-2020  
Dunedin City Council Rates \$2,281.81  
**Rates Outstanding for Year** \$1,710.81

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## BUILDING, PLUMBING AND DRAINAGE

### Public Sewer sheets.

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

### Dunedin City Council Private Drainage plans incomplete.

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

### Building and Drainage Information

#### Council Stormwater & Foul Sewer Connections available.

There is Council Stormwater outfalls and Foul Sewer Connections adjacent to this land, to which buildings within this land may connect. A plan of these is attached.

#### Private Stormwater Drains servicing existing buildings

There are Private Stormwater drains servicing existing buildings on this land.

#### Private Foul Drains servicing existing buildings

There are Private Foul drains servicing existing buildings on this land.

Private Foul Drain to Council Foul Sewer in Street.

### Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent
	/CCC	-	was reviewed for code compliance after two years. Compliance with
	Refused	-	the Building Code could not be established and therefore the Code
		-	Compliance Certificate has been refused.
	Lapsed	-	Work has not commenced and no extension of time applied for within
		-	12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

#### [ABA-2005-308522](#) Building Consent Only Lodgement - Replace Shed - Add Foundation - Add Stormwater

Lodgement Date	20-Jun-2005
Decision	Granted
Decision Date	01-Jul-2005
Current Status	<b>CCC Issued</b>
Previous Number	ABA51923
<i>(Applications before 2007)</i>	

#### [ABA-1998-343483](#) Building Consent Only Lodgement - Install Heater - Pioneer Metro

Lodgement Date	19-May-1998
Decision	Granted
Decision Date	21-May-1998
Current Status	<b>CCC Issued</b>
Previous Number	ABA981402
<i>(Applications before 2007)</i>	

[ABA-1999-347493](#) Building Consent Only Lodgement - Add to Dwelling - Sunroom & Deck

Lodgement Date 02-Aug-1999  
Decision Granted  
Decision Date 06-Aug-1999  
Current Status **CCC Issued**  
Previous Number ABA992121  
(Applications before 2007)

[ABA-2013-490](#) Building Consent Only Lodgement - Enlarge Opening in Lounge and Remove Door

Lodgement Date 22-Mar-2013  
Decision Granted  
Decision Date 28-Mar-2013  
Current Status **CCC Issued**  
Previous Number  
(Applications before 2007)

[ABA-2017-1343](#) Building Consent Only Lodgement - Install Insulation in Exterior Walls

Lodgement Date 05-Jul-2017  
Decision Granted  
Decision Date 06-Jul-2017  
Current Status **CCC Issued**  
Previous Number  
(Applications before 2007)

### Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

[H-1926-142299](#) AAD19260322 B9621 - Plumbing & Drainage, (Morris). The permit was lodged on 21-Dec-1926.

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## HAZARDS

### SITE HAZARDS

#### Minimum Floor Levels - South Dunedin

Dunedin City Council has commissioned a report 'Methodology for Determining Minimum Floor Levels 2011' (MWH 2011) and the Council is undertaking further work to enable appropriate minimum floor levels to be determined in different parts of Dunedin.

Local adjustment factors have been applied to the methodology described in the report and have identified that land in South Dunedin below 102.85m Otago Metric Datum may be subject to increasing risk over the next 50 years as a result of increasing hazards resulting from elevated sea-level rise associated with climate change.

All or part of the land (subject to this LIM) has been identified as being below 102.85m Otago Metric Datum.



The land in this area is afforded some degree of protection to coastal hazards, therefore minimum floor levels for new, or extensions to, residential or communal buildings will continue to be based on the Acceptable Solution E1/AS1 using a level that is 150mm above the crown of road.

### **Assessment of Options for Protecting Harbourside and South City from Direct Impacts of Sea Level Rise**

This property is within the study area considered by a report commissioned by the Dunedin City Council entitled 'Assessment of Options for Protecting Harbourside and South City from Direct Impacts of Sea Level Rise'. The report is available on the Council's website at <http://www.dunedin.govt.nz/climatechange> or by contacting Customer Services Agency on 03 477 4000.

This area has been identified as lying within a zone susceptible to amplified shaking in an earthquake and potential liquefaction during a severe earthquake event. The Dunedin City Council may require a site-specific design unless site investigation confirms this requirement is not necessary.

The general vicinity of this property is identified as a 'liquefaction awareness area'. It is classified as liquefaction-susceptibility Domain C. This means that the ground is predominantly underlain by poorly consolidated marine or estuarine sediments with a shallow groundwater table. There is considered to be a moderate to high likelihood of liquefaction-susceptible materials being present in some parts of the areas classified as Domain C. Put another way, there is a low to moderate likelihood that there are no liquefaction-susceptible materials present in some parts of the areas mapped as Domain C. 'Liquefaction awareness areas' do not represent specific hazard zones, but rather highlight areas where there may potentially be a liquefaction hazard that may need further evaluation, in regard to existing or future infrastructure or development. This information has been sourced from **GNS Science Consultancy Report 2014/068: Assessment of Liquefaction hazards in the Dunedin City district**. Further information, including a copy of the report is available from Dunedin City Council.

The property is identified in the "Dunedin Groundwater Monitoring and Spatial Observations" report published by GNS Science 2020 (doi: 10.21420/AVAJ-EE81), which describes characteristics of groundwater (either observed or interpolated) within the land concerned.

The property is identified within the report "The Natural Hazards of South Dunedin" which may describe special features or characteristics of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion or inundation. Although the report is known to the Dunedin City Council the council has not assessed the report for correctness. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose including development. Please read the report here <https://www.orc.govt.nz/media/2217/the-natural-hazards-of-south-dunedin-report-july-2016.pdf>

**The Otago Regional Council has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.**

**These reports are publicly available and can be accessed here:**  
<https://www.orc.govt.nz/plans-policies-reports/reports-and-publications/natural-hazards>

**These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report.**

**We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.**

**Otago Regional Council - Natural Hazards Database**

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<http://www.orc.govt.nz/Information-and-Services/Natural-Hazards/hazards/>

## HAZARDOUS SUBSTANCES

**WARNING – Change in legislation and management of hazardous substances**

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

**Contaminated Site, Hazardous Substances and Dangerous Goods Information**

No information

## ENVIRONMENTAL HEALTH

No records were found of Environmental Health involvement with this property.

## LICENSING

**Health Licensing**

There are no records of any Health Licences for this property.

**Liquor Licensing**

There are no records of any Liquor Licences for this property.

## CITY PLANNING

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

**Accuracy of Boundaries**

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

**Access to Site**

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

**Heritage New Zealand Pouhere Taonga Act 2014**

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: [infodeepsouth@heritage.org.nz](mailto:infodeepsouth@heritage.org.nz) ; 03 477 9871.

**Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011**

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at [www.mfe.govt.nz](http://www.mfe.govt.nz).) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

**Consent Notices**

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

### Resource Consents

There are no resource consents for this property.

### RESOURCE CONSENTS WITHIN 50 METRES OF 66 CRANLEY STREET DUNEDIN

#### **5059532 72 Cranley Street Dunedin**

LUC-2018-401 Land Use Consent land use consent for the authorisation of the existing non-compliance with the yard and height plane requirements for the double garage on proposed Lot 2 of Subdivision SUB-2018-45. The outcome was Granted on 23/07/2018.

SUB-2018-45 Subdivision Consent subdivision of the site into two allotments, with proposed Lot 1 containing an existing single garage and proposed Lot 2 containing an existing dwelling and double garage. The outcome was Granted on 23/07/2018.

LUC-2018-240 Land Use Consent land use consequential to a subdivision consent for activity on Lot 1. The outcome was Granted on 23/07/2018.

LUC-2011-317 Land Use Consent construct a garage. The outcome was Granted on 23/08/2011.

#### **5059539 60 Magdala Street Dunedin**

RMA-2001-364590 Resource Management Act (Historical Data) CONSTRUCT NEW GARAGE AND RUMPUS ROOM (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 20/02/2001.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

## TRANSPORTATION

### Transportation is aware of the following information related to this property:

The following Transportation information is attached to this document:

- In Pataka nickname: 3131001, 66 Cranley St Vehicle Crossing (4093526).doc, 9/12/2016.
- In Pataka nickname: 3083742, Vehicle entrance - 66 Cranley Street (258428).doc, date 19/08/2004.

As of the 24th April 2015, the Transportation Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined for Transportation information in relation to the property.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transportation on 477 4000.

For properties abutting the state highway, the New Zealand Transport Agency (NZTA) is the Road Controlling Authority.

## WATER and WASTE

### WATER

#### **Urban water supply area – Connected**

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure), and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

#### **Terms and conditions of supply**

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at [www.dunedin.govt.nz/water-bylaw](http://www.dunedin.govt.nz/water-bylaw).

#### **Water pressure**

Indicative network water pressure to the property is shown on maps available at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure). Specific detail is available on request.

#### **Water reticulation maps**

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

### WASTE

#### **Stormwater/Sewer Separation - Compliant**

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **17 July 2002**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

#### **Urban Stormwater Catchment**

This property is located within an urban stormwater catchment that has been modelled in a study to determine the potential effects of land use and climate change that may occur over the next 50 years. This indicates that some areas of the catchment might be subject to a potential flooding risk or surface water ponding during particular rainfall events.

These effects are outlined in the Integrated Catchment Management Plans (ICMPs) that are available on the Council website. The ICMPs show the areas in the catchment that have been modelled which might be susceptible to a higher risk of flooding. The ICMPs contain maps that indicate a potential worst case scenario for a 1 in 100 year rainfall event. However, there are a series of maps also available that show modelling results from a range of other scenarios.

While the maps have been produced to help Council manage the reticulation networks, they are not sufficiently detailed to specifically account for individual properties which may be affected by local factors not included in the models.

For further information please contact 3 Waters Services at Dunedin City Council.

**Drainage Reticulation Plans**

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

**Information Regarding Watercourses**

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website [www.dunedin.govt.nz](http://www.dunedin.govt.nz)

## APPENDIX

### **Glossary of terms and abbreviations**

The following are abbreviations and terms that may appear as a part of a LIM.

#### **Consent, Permit, Licence & Complaint types**

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

#### **Terms used in Permits & Consents**

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

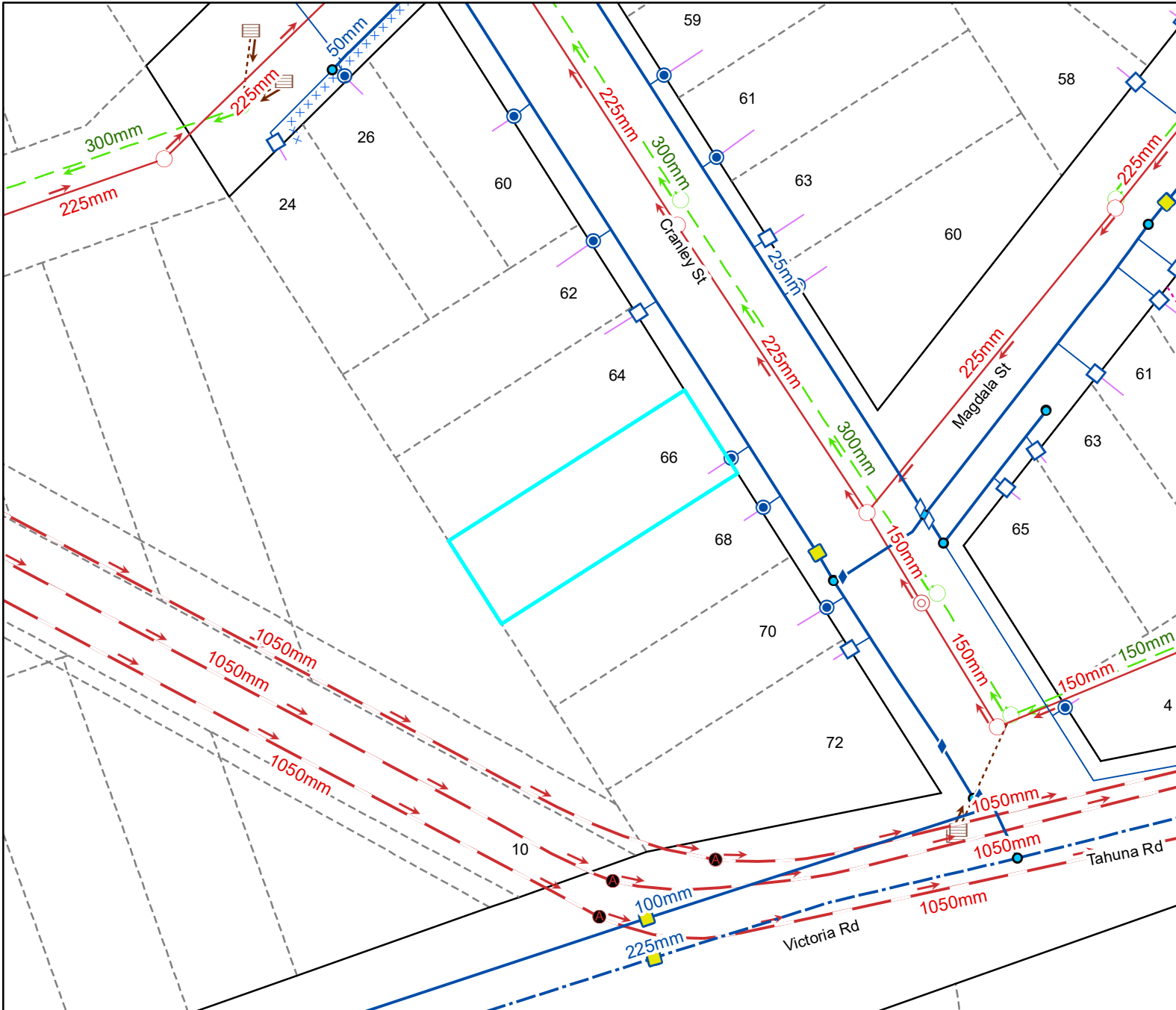
#### **General terms**

- RDMS Records and Document Management System









### Legend

#### Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Scour
	Water Valve - Sluice		Water Service Lateral
	Water Hydrant		Water Fire Service Lateral
	Water Backflow Preventor - RPZ		Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

#### Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

#### Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

#### General

	DCC Water & Waste Structure		Parcel
	Railway Centreline		Hydro
			Motorway Parcels
			Strata
			Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



# Council Water & Drainage Services

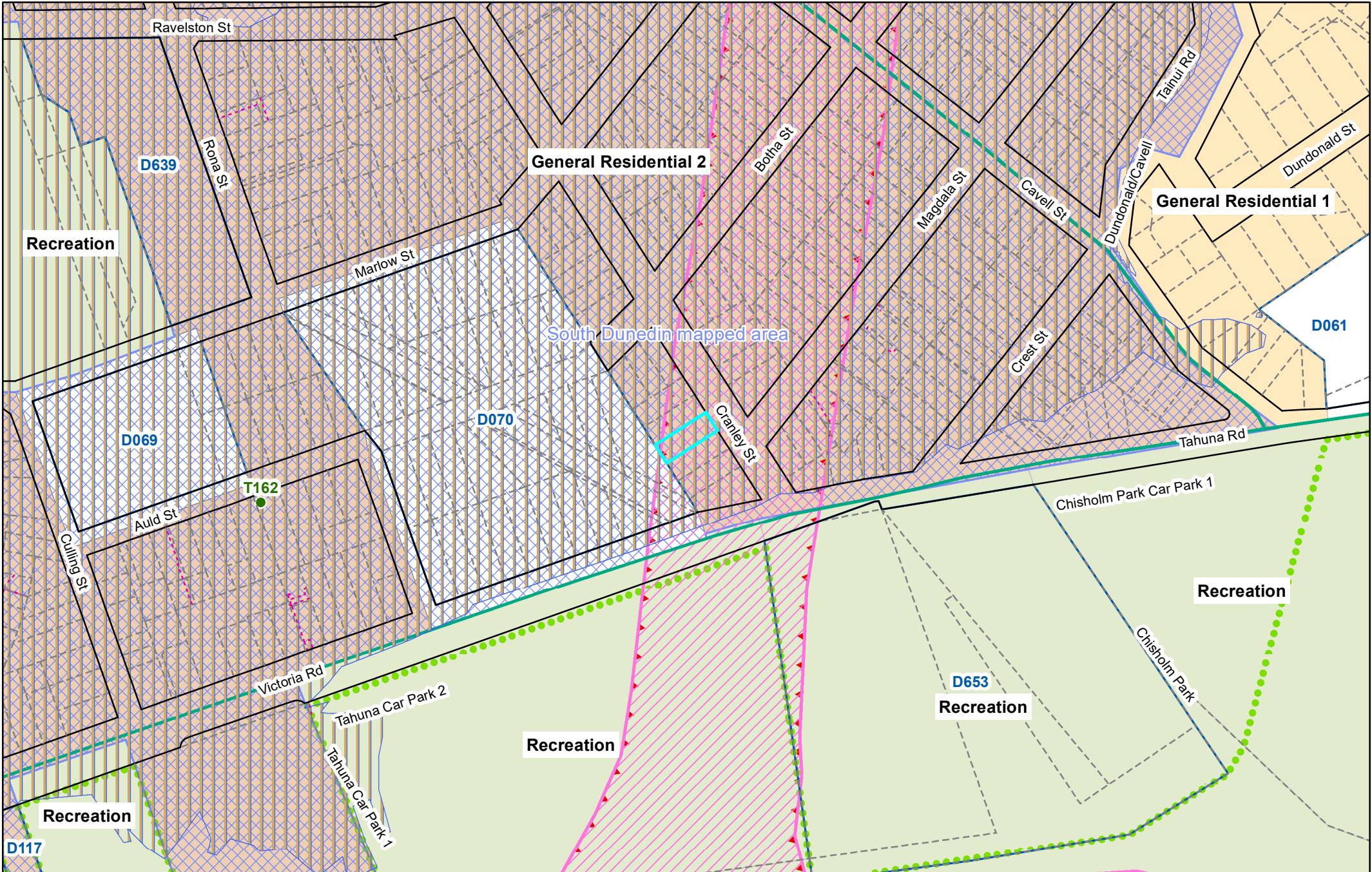
Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

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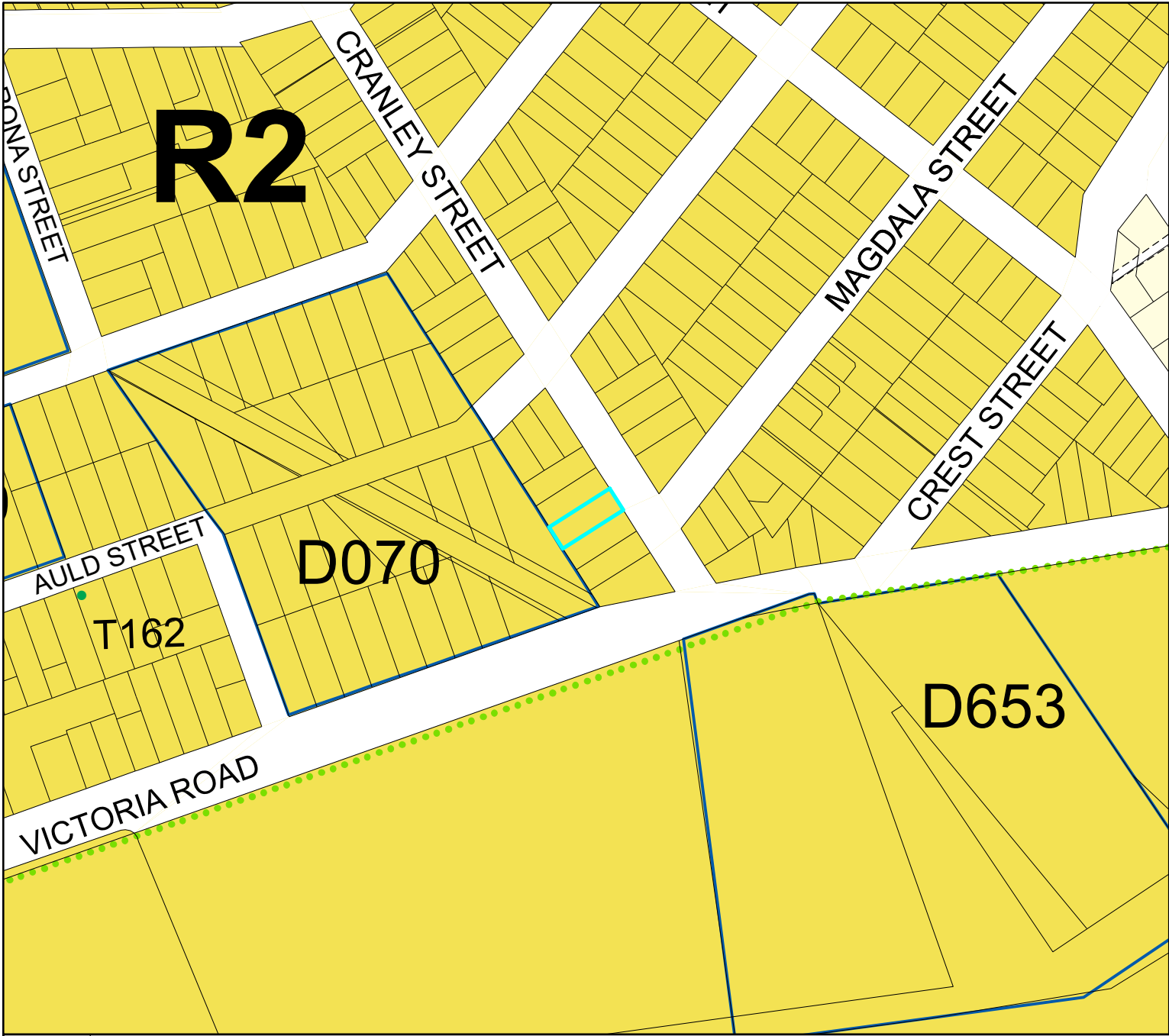


PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2019-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ  
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.  
2006/2007 Urban photography March 2007. copyright NZAM. Rural photography March 2006, copyright T erralink International Ltd.







**Legend**

- Significant Trees
  - Transpower Structure
  - Transpower Lines
  - Heritage Structure
  - Heritage Facade
  - DP Archaeological Sites
  - Airport Fan Designation 274 bdy
  - Port Height Restrictions
  - DP Designations
  - Urban Landscape Conservation Area
  - DP Taiari Aerodrome
  - Restricted Water Supply Area
  - Ground Water Protection Zone A
  - Ground Water Protection Zone B
  - Public Roads not Legal
  - Unformed Legal Road
- Zones**
- R1 - Residential 1 Zone
  - R2 - Residential 2 Zone
  - R3 - Residential 3 Zone
  - R4 - Residential 4 Zone
  - R5 - Residential 5 Zone
  - R6 - Residential 6 Zone
  - R6A
  - Campus Zone
  - Airport Zone
  - Stadium Zone
  - CA - Central Activity Zone
  - LSR - Large Scale Retail Zone
  - LA1 - Local Activity Zone 1
  - LA2 - Local Activity Zone 2
  - In1 - Industrial 1 Zone
  - In2 or SD - Industrial 2 or Special Development Zone
  - Port 1 Zone
  - Port 2 Zone
  - RR - Rural Residential Zone
  - Rural Zone
  - H - Harbourside
- Port & Airport Noise**
- Air Noise Boundary
  - Airport Outer Control Boundary
  - Outer Port Control Boundary
  - Port Noise Boundary

**Esplanade Requirement**

- Esplanade Reserve Required
- Esplanade Strip Required

**Landscape Management Boundary**

- outside boundary
- boundary between areas
- prominency boundary

**Townscape**

- Townscape and Heritage Precinct Boundary - Internal
- Townscape and Heritage Precinct Boundary

**Pedestrian Frontage**

- Identified Pedestrian Crossing
- Verandah Required

**Areas of Significant Conservation Value boundary**

- ASCV Boundary
- ASCV Boundary - Internal
- Areas of Significant Conservation Value (Estuarine edge)
- Areas of Significant Conservation Value (Wetland)

Most detail not shown at scales smaller than 1:25,000  
Optimal scale range is 1:2000 - 1:5000  
This Planning Map is indicative.

The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.

DUNEDIN DRAINAGE AND SEWERAGE BOARD

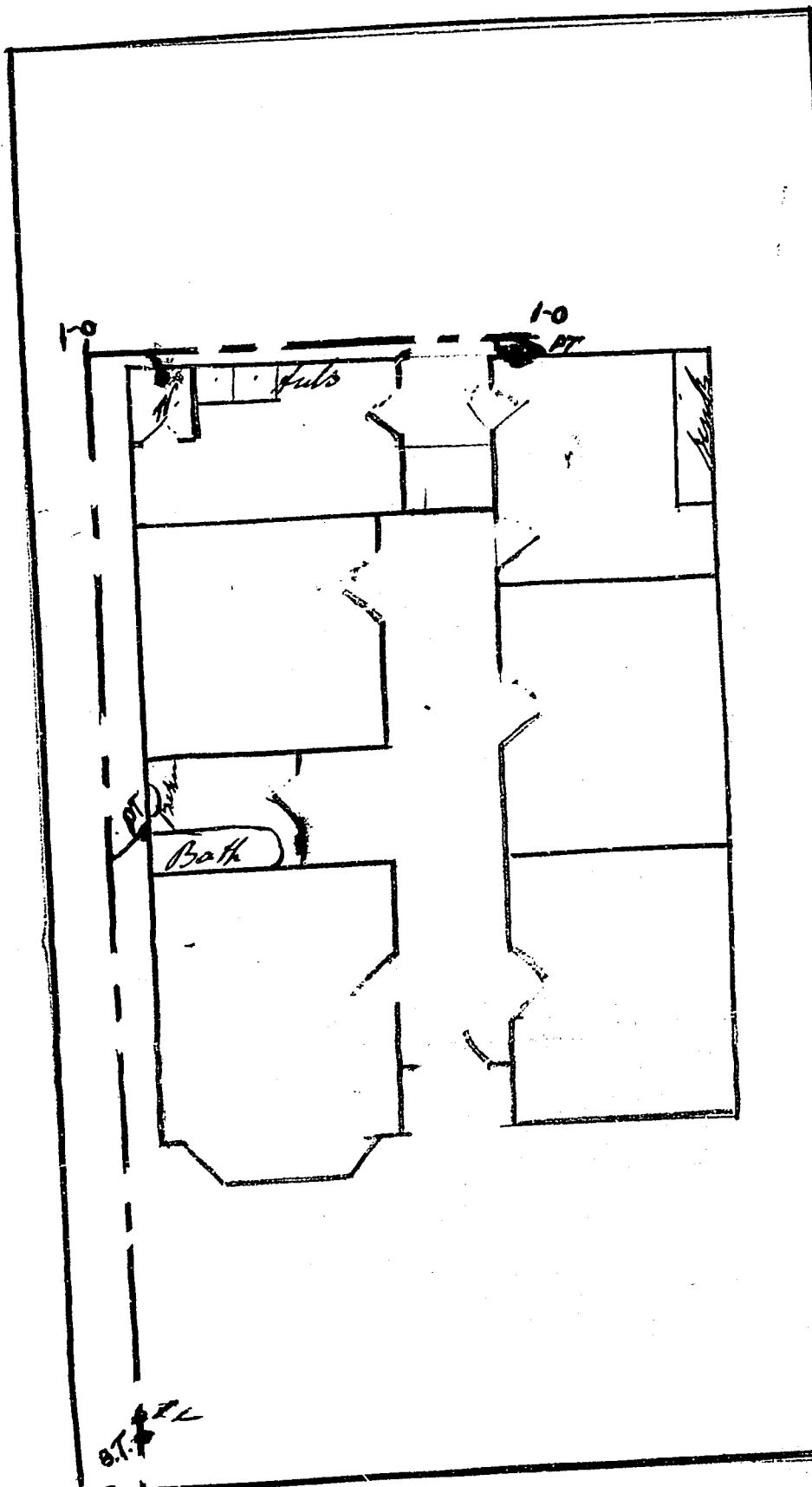
# HOUSE CONNECTION PLAN.

APPLICATION No. **B 19621**

DATE

SCALE:  $\frac{1}{8}$  in. to a foot.

NEW SEWERAGE DRAINS: RED  
STORMWATER: DOTTED BLACK  
OLD DRAINS: FULL BLACK



Cranley  
*St. James St.*  
sewer

## LEGEND

- Existing Drains
- New Foul Drains
- New Stormwater Drains

Owner *M. Morris*  
Street *St. James St. 66 Cranley*  
Locality *Musselburgh*

Block *Bk 6 Taimui*  
Section *26*  
Allotment

Signature of Drainer *P. G. Smith*



# CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

50 THE OCTAGON, P.O. BOX 5045, DUNEDIN 9031, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	477-4000	CCC No:	ABA 981402	Reference No:	5059529
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
Name and Mailing Address:  CALDER, TONY GRANT RAYMOND C/O MANSONS HOME HEATING P O BOX 3003 DUNEDIN 9030	All <input checked="" type="checkbox"/> Stage No ..... of an intended ..... stages  New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: HEATER PIONEER METRO Intended Life: Indefinite, not less than 50 years <input type="checkbox"/> Specified as ..... 5 ..... years <input type="checkbox"/> Demolition <input type="checkbox"/>
LEGAL DESCRIPTION	
Property Number: 5059529 Valuation Roll No: 27500 60900  Street Address: 66 CRANLEY STREET, DUNEDIN 9001  Legal Description: LOT 26 Blk VI DP 1746	

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached ..... page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$  
Receipt No:

Signed for and on behalf of the Council:

Name: .....

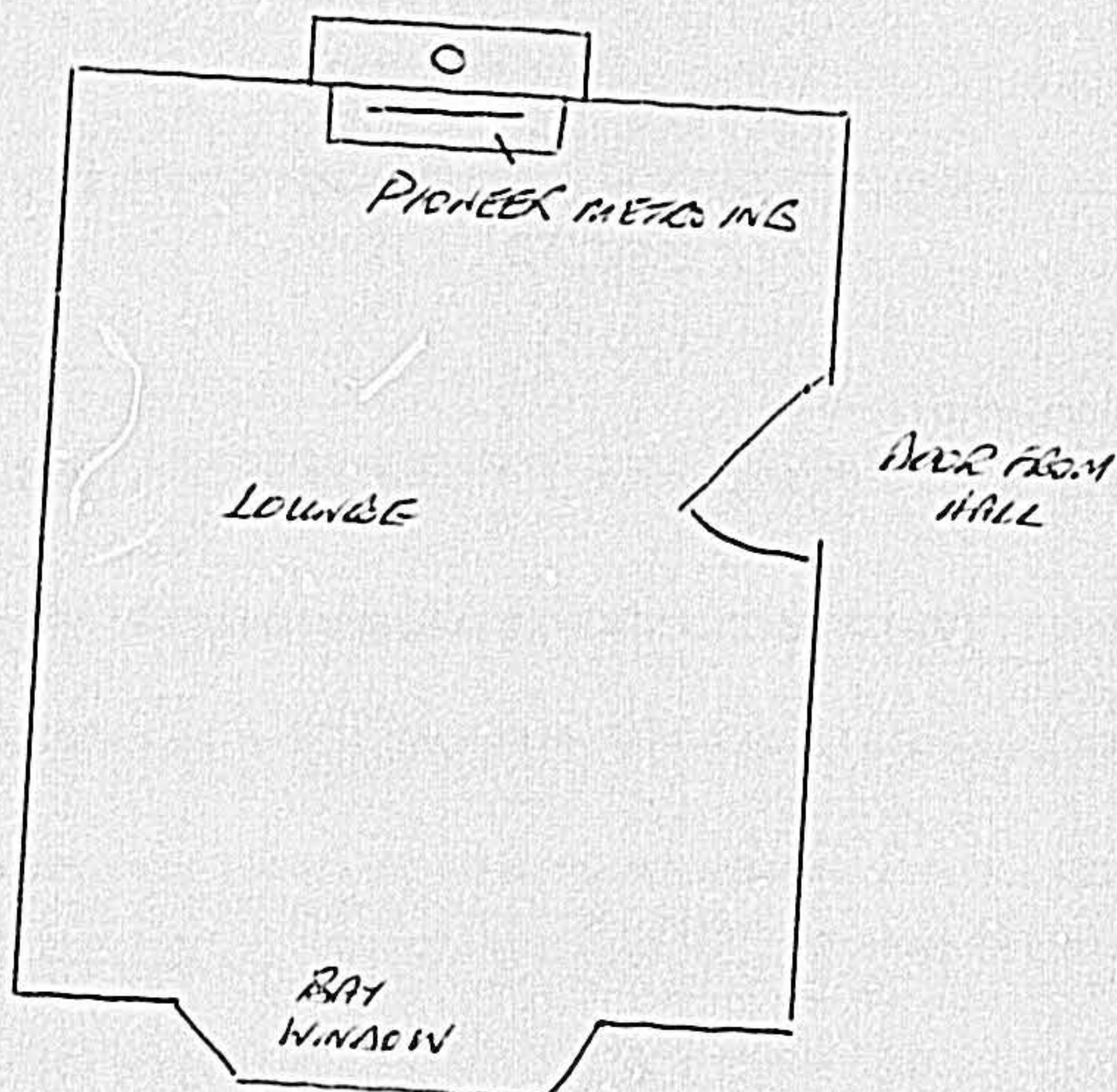
Position: AUTHORISED OFFICER

Date: 17/07/1998



1. Draw a plan accurately locating the heater within the building and the adjacent walls, windows and doors.
2. Show the location of the existing water cylinder if a wetback/hot water booster is to be fitted.

Installation shall be in accordance with NZS 7421:1990, with particular reference to the need for Siesmic restraint.



**DUNEDIN CITY COUNCIL**

Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request

Building *Lady Walker* Date 20.5.98  
 Damage Date  
 Path Date

NOTE

ENVIRONMENTAL HEALTH CONDITIONS:-  
 SOLID FUEL BURNER TO BE OPERATED  
 IN NUIGANCE FREE MANNER  
 PLEASE CONTACT ENVIRONMENTAL HEALTH  
 SECTION PH 477-4000 FOR ADVICE ON  
 OWNER RESPONSIBILITIES

PLEASE SEND CONSENT TO  
 MANSON'S HOME HEATING  
 P.O. BOX 6003  
 CAVERSHAM

Plan of proposed solid fuel heater at:

66 GRANGE ST DN

Project No: .....

Approving Officer: *[Signature]*

Date: 20.05.98



All Metro woodfires are tested to NZS 7421:1990 with full specifications detailed in the installation and operation manual supplied with every Metro. As research and development is

ongoing specifications may alter and those detailed below should be used as a guide only. Consult your local Metro retailer if in doubt.

## SPECIFICATIONS

	METRO CHAMELEON AND REAR OUTLET	METRO ASPIRE	METRO INSERTS	
			COMPACT	HIGH OUTPUT
PEAK OUTPUT	14.6kw TESTED	19.8kw TESTED	13kw - est	16kw - est
WIDTH	590mm	670mm	560mm	560mm <sup>(2)</sup>
DEPTH	530mm	575mm	410mm	500mm <sup>(2)</sup>
HEIGHT	640mm <sup>(1)</sup>	715mm	550mm <sup>(2)</sup>	550mm <sup>(2)</sup>
FASCIA DIMENSION	N.A.	N.A.	650 high x 810 wide	
WETBACK INLET CENTRE HEIGHT	270mm <sup>(1)</sup>	340mm	170mm	170mm
WETBACK RETURN CENTRE HEIGHT	460mm <sup>(1)</sup>	530mm	360mm	360mm
FIREBOX - ALL MODELS	6mm STEEL, FIREBRICK/CERAMIC LINING			
WARRANTY - ALL MODELS	5 YEARS ON FIREBOX, 1 YEAR OTHER PARTS			
FLUE SIZE - ALL MODELS	150mm DIAMETER, MINIMUM 3.6m LONG			
WATER HEATING - ALL MODELS	OPTIONAL - 3kw and 4kw WETBACK AVAILABLE			

Note (1) A reduced height pedestal is available but a minimum depth of 100mm is required when fitted to a hearth.

Note (2) These insert measurements exclude insulation supplied with and fitted to the cabinet.

## CLEARANCES

		METRO AND METRO CHAMELEON	REAR OUTLET METRO	METRO ASPIRE
WITH PIONEER DOUBLE FLUESHIELD	REAR CLEARANCE	50mm	N/A	80mm
	SIDE CLEARANCE	300mm <sup>(2)</sup>	N/A	240mm
	CORNER CLEARANCE	85mm	N/A	110mm
	MINIMUM HEARTH SIZE	680 Deep x 830 W	N/A	755 Deep x 910 W
WITHOUT FLUESHIELD	REAR CLEARANCE	430mm	60mm	650
	SIDE CLEARANCE	300mm	270mm	240
	CORNER CLEARANCE	280mm	100mm	250
	MINIMUM HEARTH SIZE	1,060 Deep x 830 W	690 Deep x 830 W	1,325 Deep x 910 W

Note (1) The front of the hearth must allow clearance from the firebox of at least 12mm.

Note (2) The minimum depth of the hearth must be 12mm. The minimum width of the hearth must be 14mm.

**HEARTH** All Metro free standing woodfires comply with NZS 7421 when installed on an ash hearth which must extend 200mm forward to each side and rear of the door opening. Refer to the installation and operation manual for full specifications.

Metro inserts must be installed on an insulated base of 12mm minimum thickness. If the insert is raised above the combustible floor a 200mm ash hearth projection applies. The compact insert must be raised a minimum of 50mm and high output model 40mm. Refer to manual for full details.

98-1402 ✓  
**MANSON'S**  
HIRE & CYCLES  
87-178 HILLSIDE ROAD, SOUTH DUNEDIN. PHONE 084-3709

66 Cranley St., Dunedin

**METRO**

BY PIONEER

MAMAKU STREET, PO BOX 11, SINGLE WOOD  
TELEPHONE 06 756 6520  
FAX 06 756 6540  
NEW ZEALAND



# CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



Telephone No:	477-4000	CCC No:	ABA 992121	Reference No:	5059529
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
Name and Mailing Address:  CALDER, TONY GRANT RAYMOND 66 CRANLEY STREET DUNEDIN 9001	All <input checked="" type="checkbox"/>  Stage No ..... of an intended ..... stages  New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/>  Intended Use(s) in detail: ADD TO DWG/SUNRM/DECK  Intended Life:  Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as ..... years  Demolition <input type="checkbox"/>
LEGAL DESCRIPTION	
Property Number: 5059529 Valuation Roll No: 27500 60900  Street Address: 66 CRANLEY STREET, DUNEDIN 9001  Legal Description:  LOT 26 BLK VI DP 1746	

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached ..... page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$  
Receipt No:

Signed for and on behalf of the Council:

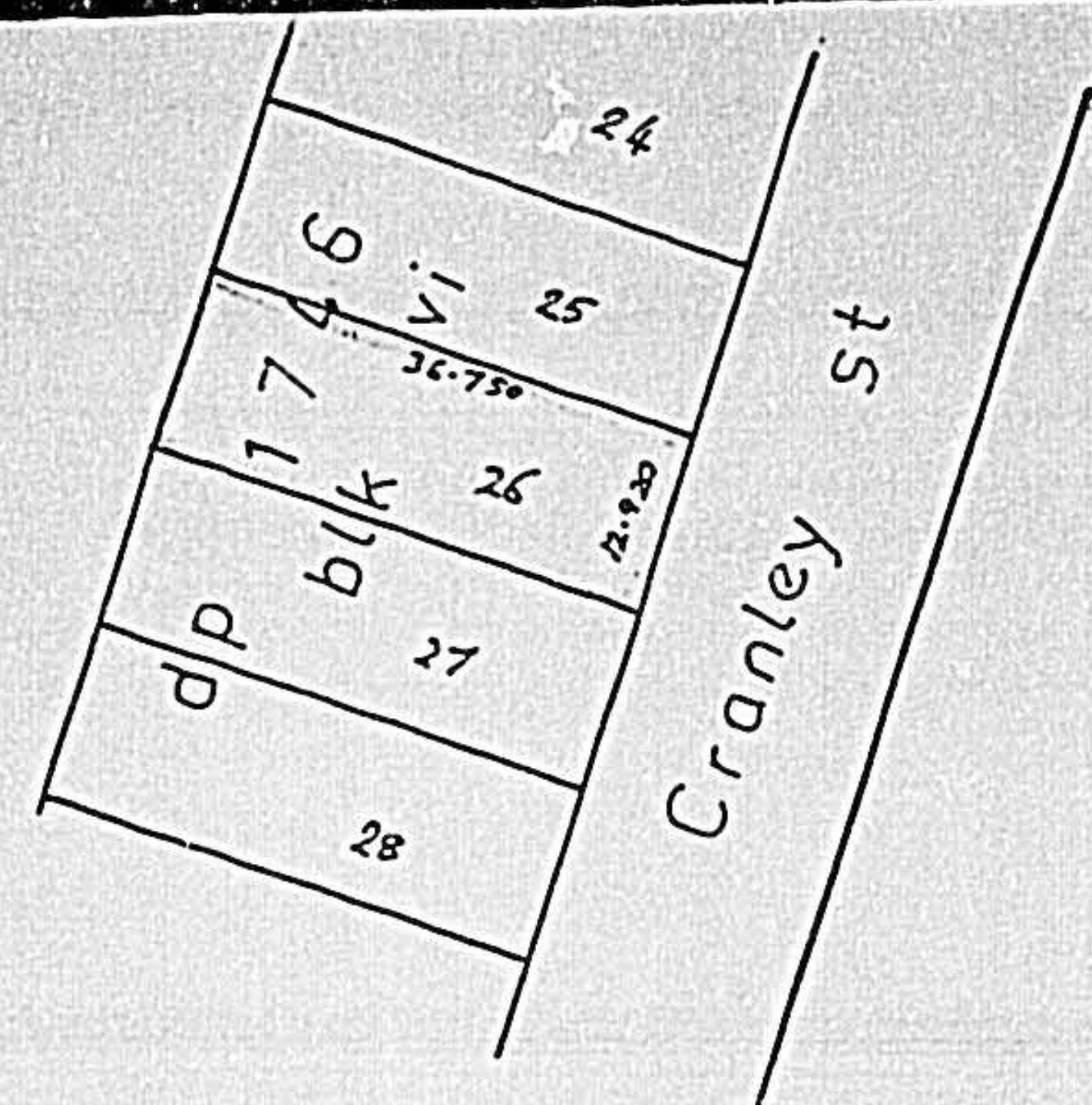
Name:.....

Position: AUTHORISED OFFICER

Date: 08/11/2000

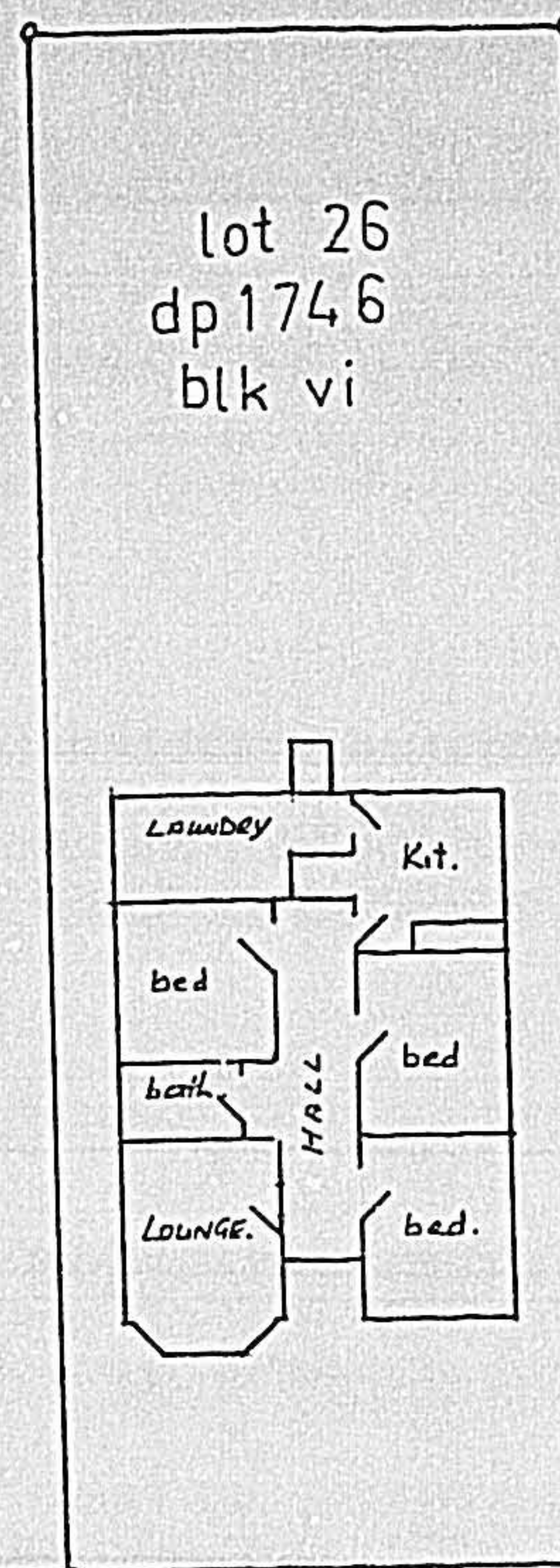
50 The Octagon, PO Box 5045, Dunedin 9031, New Zealand  
 Telephone: (03) 477 4000 • Facsimile: (03) 474 3594 • Email: dcc@dcc.govt.nz • www.CityofDunedin.com





LOCALITY

PLAN nts



Cranley st

EXISTING SITEPLAN 1:200

SHOWING EXISTING FLOOR PLAN.

ADD/ALTER DWELLING for <b>MR &amp; MRS T.G.R CALDER</b>	DATE: MAY 1999 SHEET NO: <b>1</b> COVER		SCALES : AS SHOWN DRAWN : DESIGN : TRACED : AMEND : REVISED : CHECKED :	SITE PLAN FLOOR PLAN ELEVATIONS SECTIONS DRAINAGE ROOF PLAN STRUCTURAL
	ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED ON SITE BY THE OWNER AND THE CONTRACTOR PRIOR TO COMMENCING ANY CONSTRUCTION WORK.			
At 66 CRANLEY STREET TAINUI DUNEDIN ROLL NO: PROP ID: 5059529 LOT: 26 DP: 1746 P/sect: blk-vi . AREA: 905m2				

99/2121



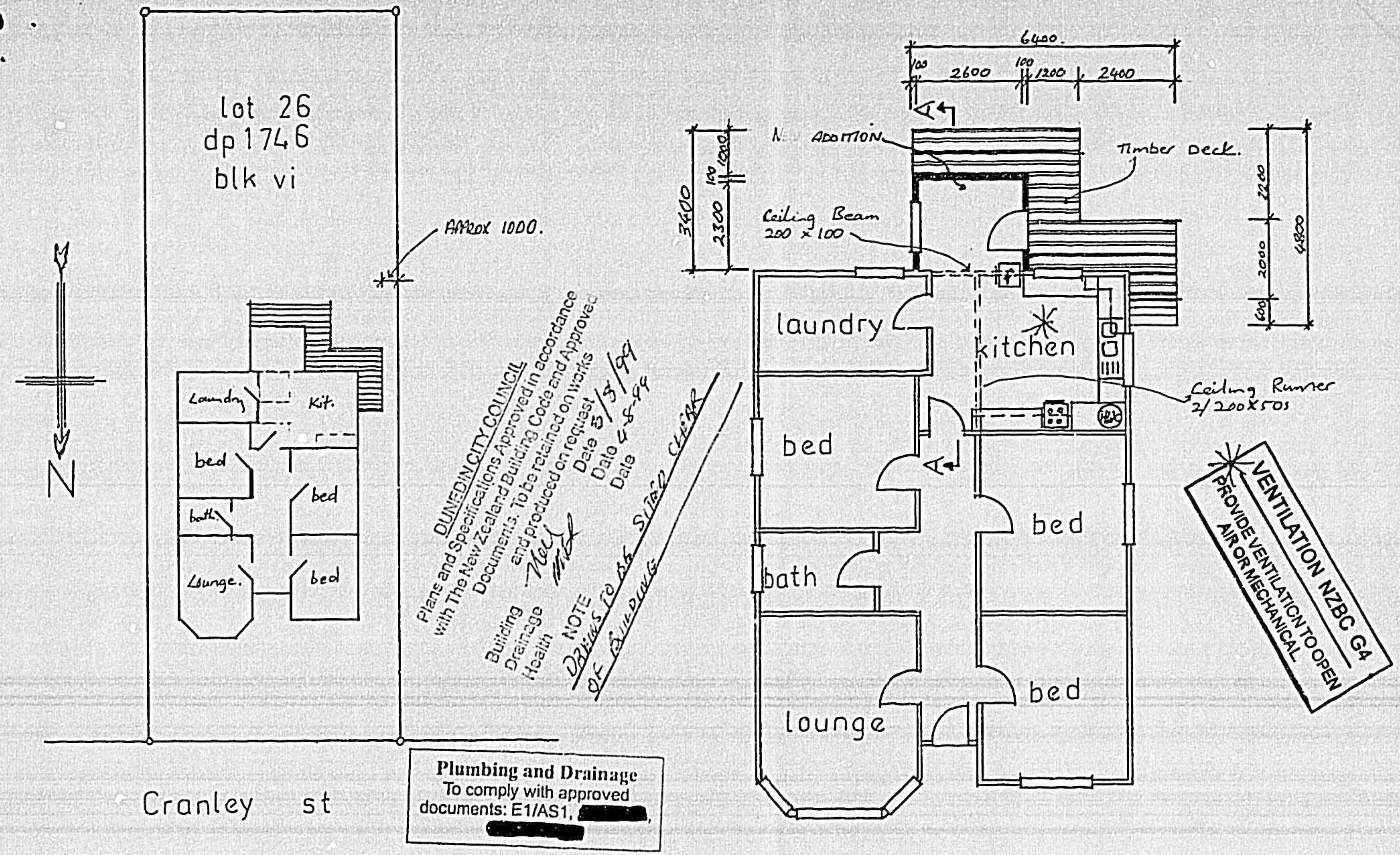
MR & MRS T.G.R. CALDER

ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED ON SITE BY THE OWNER AND THE CONTRACTOR PRIOR TO COMMENCING ANY CONSTRUCTION WORK.

DATE: MAY 1999  
SHEET NO: 1  
COVER

ROLL NO: 5059529  
LOT: 26 DP: 1746  
blk: VI AREA: 905m2

FIGURED: DRAINAGE  
AMENDED: ROOF PLAN  
REVISID: STRUCTURAL  
CHECKED:



PROPOSED SITEPLAN 1:200

PROPOSED FLOORPLAN 1:100

**NON COMPLIANCE WITH DISTRICT PLAN**

The Building Consent for this development DOES NOT COMPLY with the Resource Management Act 1991 nor the Dunedin City District Plan. Resource Consent must be applied for and granted prior to commencement of any work in connection with this development.

5/8/99

The plans had been re-considered and given the "de-minimis" nature of the development, a resource consent is not necessary.

17/5/99

99/2121

ADD/ALTER DWELLING for		At 66 CRANLEY STREET		Scales : as shown Drawn : Design : Traced : Amended: Revised: Checked:	SITE PLAN FLOOR PLANS SECTIONS DRAINAGE ROOF PLAN STRUCTURAL
MR & MRS T.G.R CALDER		TAINUI DUNEDIN			
ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED ON SITE BY THE OWNER AND THE CONTRACTOR PRIOR TO COMMENCING ANY CONSTRUCTION WORK		ROLL NO: 5059529			
		LOT: 26 DP:1746 P/sect: blk:- VI .AREA: 905m2			
DATE: MAY 1999					
SHEET NO: 2					
COVER					



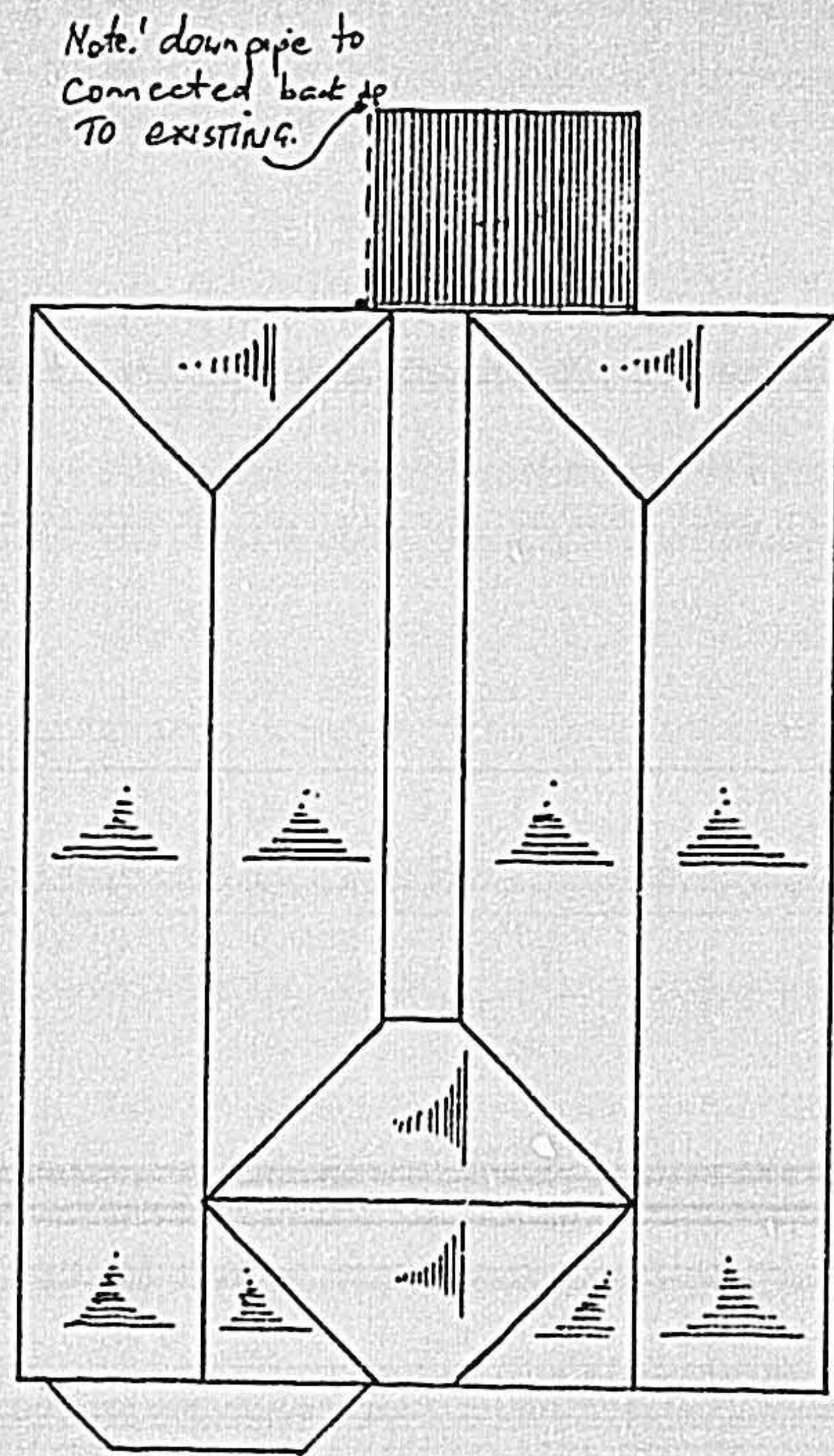
SECTIONS  
DRAINAGE  
ROOF PLAN  
STRUCTURAL

TRACED:  
AMEND:  
REVISED:  
CHECKED:

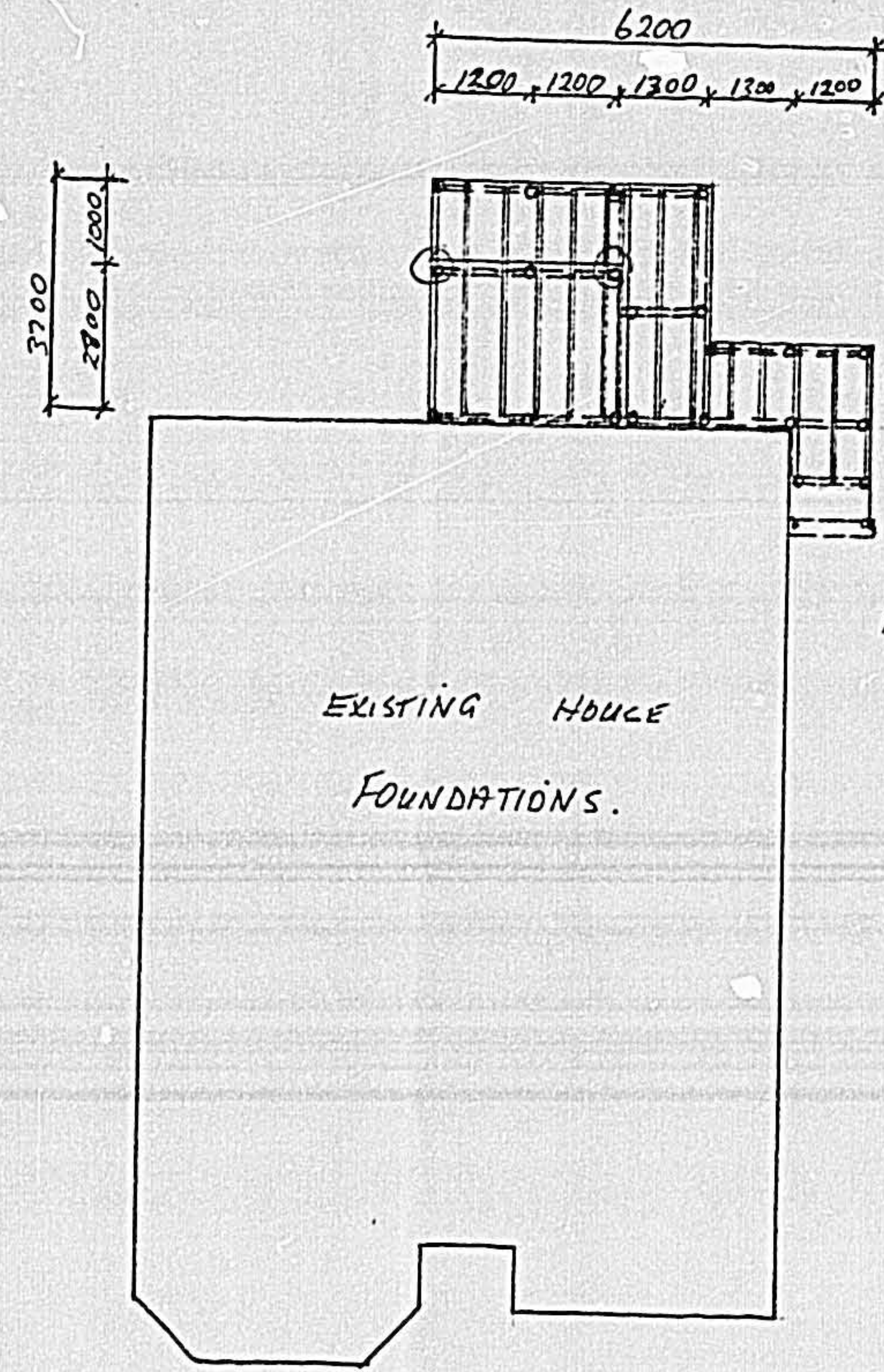
PROJ ID: 5059529  
ROLL NO: DP:1746 P/sect:  
LOT: 26 Blk: VI AREA: 905m2

DATE: MAY 1999  
SHEET NO: 2  
COVER

MR & MRS T.G.R CALDER  
ALL DIMENSIONS SHALL BE CHECKED AND  
VERIFIED ON SITE BY THE OWNER AND THE  
CONTRACTOR PRIOR TO COMMENCING ANY  
CONSTRUCTION WORK



ROOFPLAN 1:100



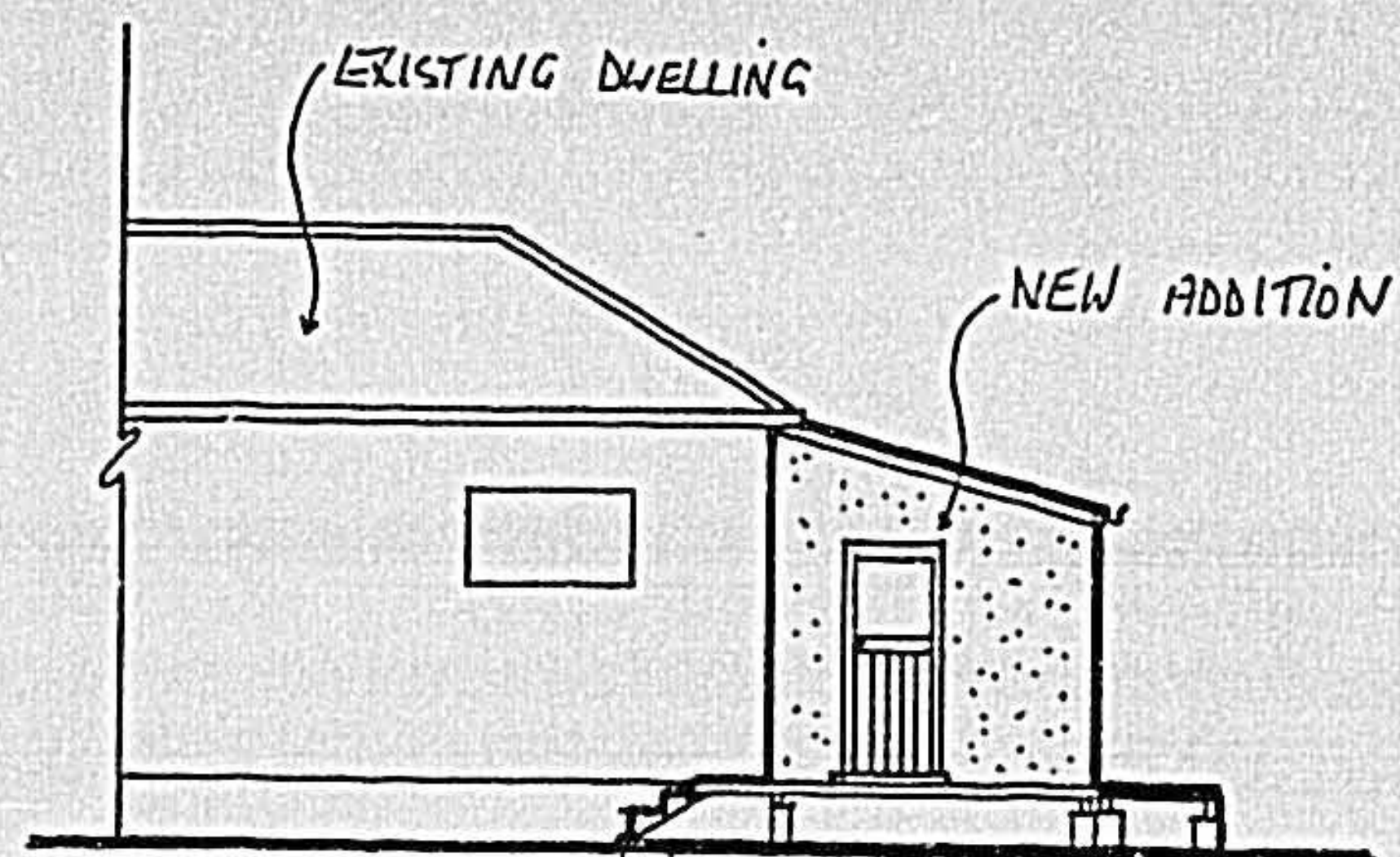
⊙ = Anchor piles  
to N2S 3604:1990

- Notes!
- 125 X 50 JOISTS TO Kitchen EXTENSION only @ 450 ds.
  - 100 X 50 JOISTS TO Deck ADDITION only @ 450 ds.
  - 140 sed HS tan piles Set in Concrete.

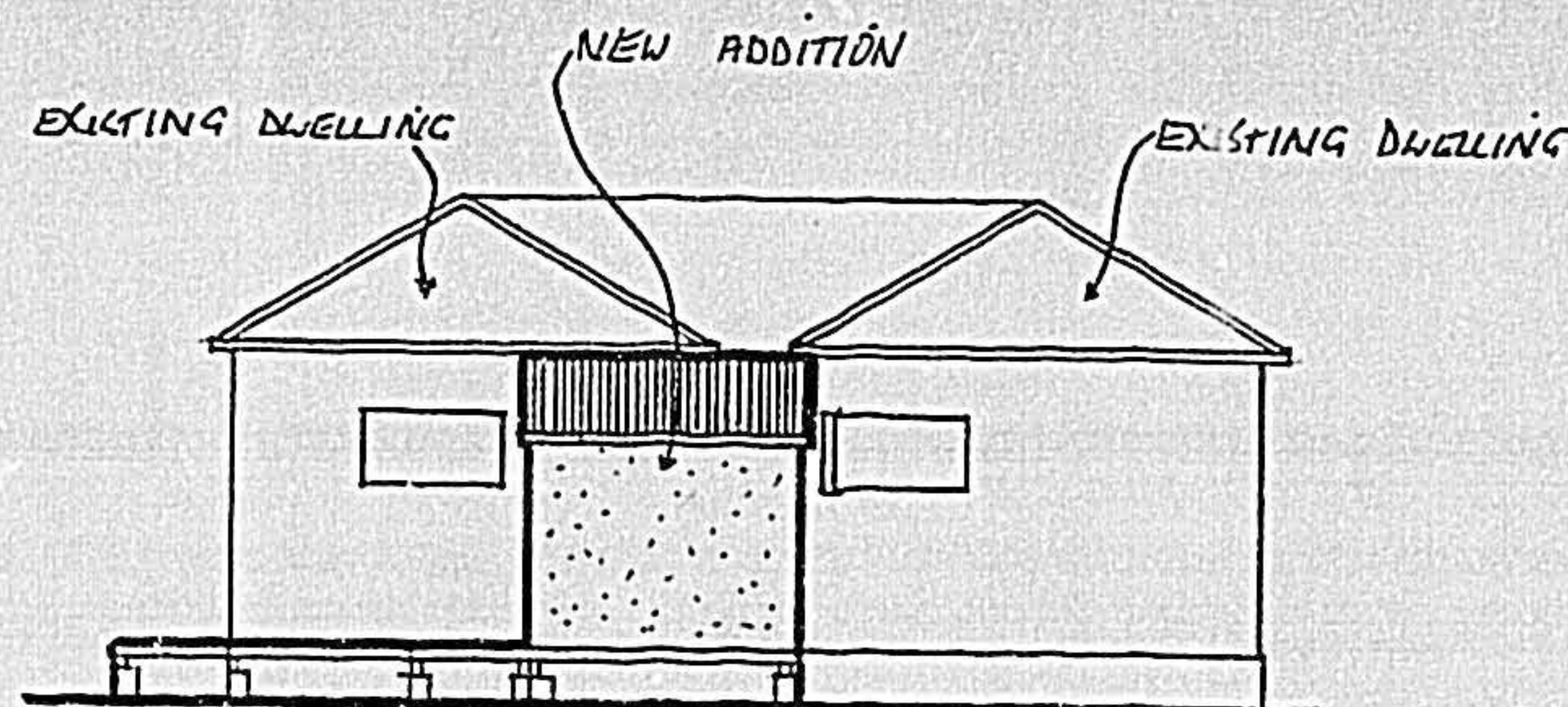
99/2121

ADD/ALTER DWELLING for <b>MR &amp; MRS T.G.R CALDER</b>		SITE PLAN FLOOR PLAN ELEVATIONS SECTIONS DRAINAGE ROOF PLAN STRUCTURAL
ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED ON SITE BY THE OWNER AND THE CONTRACTOR PRIOR TO COMMENCING ANY CONSTRUCTION WORK		SCALES: AS SHOWN DRAWN: DESIGN: TRACED: AMEND: REVISED: CHECKED:
At 66 CRANLEY STREET TAINUI DUNEDIN ROLL NO: DP:1746 P/sect: LOT: 26 Blk: VI AREA: 905m2		PROJECT ID: 5059529 ROLL NO: DP:1746 P/sect: LOT: 26 Blk: VI AREA: 905m2
DATE: MAY 1999 SHEET NO: 3 COVER		

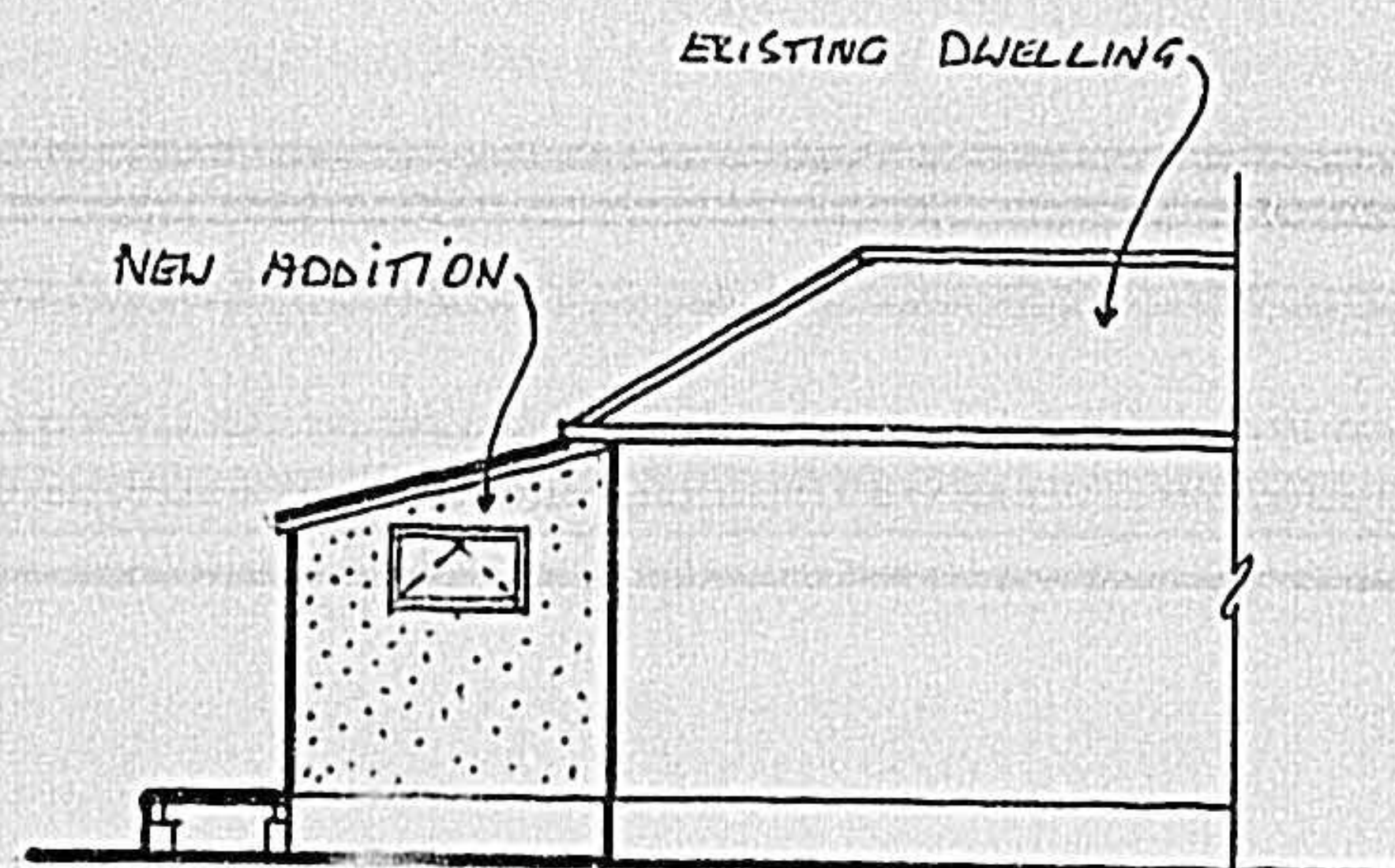




WEST ELEVATION 1:100



SOUTH ELEVATION 1:100



EAST ELEVATION 1:100

ADD/ALTER DWELLING for <b>MR &amp; MRS T.G.R CALDER</b>	ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED ON SITE BY THE OWNER AND THE CONTRACTOR PRIOR TO COMMENCING ANY CONSTRUCTION WORK.		DATE: MAY 1999 SHEET NO: 4 COVER	AT 66 CRANLEY STREET TAINUI DUNEDIN ROLL NO: 5059529 LOT: 26 DP: 1746 PUSCT: blk: VI . AREA: 905m <sup>2</sup>	SCALES : AS SHOWN DRAWN : DESIGN : TRACED : AMEND: REVISED: CHECKED:	SITE PLAN FLOOR PLAN ELEVATIONS SECTIONS DRAINAGE ROOF PLAN STRUCTURAL
--	--	--	--	--	--	--

99/2121



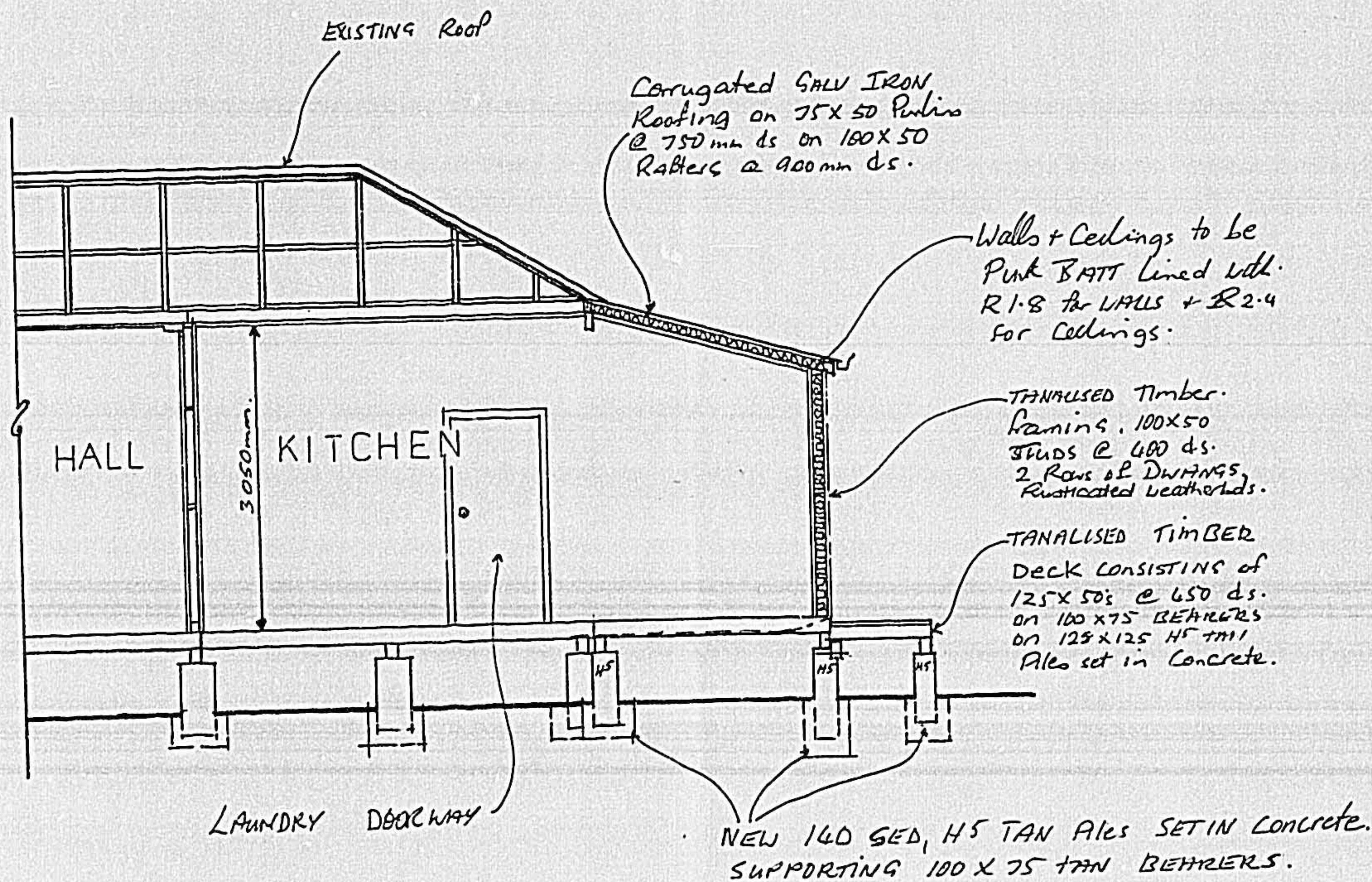
ROOF PLAN  
STRUCTURAL

REVISED:  
CHECKED:

LOT: 26 DP: 1746 PU/sect:  
blk: V1 AREA: 905m<sup>2</sup>

SHEET NO: 4  
COVER

PERMIT ON SHEET NO. 4  
CONTRACTOR PRIOR TO COMMENCING ANY  
CONSTRUCTION WORK.



SECTION THRU A:A 1:50

99/2121

ADD/ALTER DWELLING for <b>MR &amp; MRS T.G.R. CALDER</b>	At 66 CRANLEY STREET TAINUI DUNEDIN		SITES PLAN FLOOR PLAN ELEVATIONS SECTIONS DRAINAGE ROOF PLAN STRUCTURAL
	ROLL NO: LOT: 26	PROP ID: 5059529 DP: 1746 blk: V1	SCALES: AS SHOWN DRAWN: DESIGN: TRACED: AMENDED: REVISED: CHECKED:
DATE: MAY 1999 SHEET NO: 5 COVER	ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED ON SITE BY THE OWNER AND THE CONTRACTOR PRIOR TO COMMENCING ANY CONSTRUCTION WORK.		





# DUNEDIN CITY COUNCIL

Kaunihera-a-rohe o Otepoti

50 The Octagon, PO Box 5045, Moray Place  
Dunedin 9058, New Zealand  
Telephone: 03 477 4000, Fax: 03 474 3488  
Email: dcc@dcc.govt.nz  
www.dunedin.govt.nz

## CODE COMPLIANCE CERTIFICATE

DCCBCA-F4 0 / v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2005-308522	Telephone No:	03 477 4000
<b>APPLICANT</b>		<b>PROJECT</b>	
R Taratoa-Bannister 66 Cranley Street Dunedin 9012		<b>Work Type:</b> Additions & Alterations  <b>Intended Use/Description of Work:</b> Replace Shed - Add Foundation - Add Stormwater	
<b>PROJECT LOCATION</b>		<b>Intended Life:</b>	
66 Cranley Street Dunedin		Indefinite, not less than 50 years.	
<b>LEGAL DESCRIPTION</b>		<b>This CCC also applies to the following Amended Consents:</b>	
Legal Description: LOT 26 BLK VI DP 1746 Valuation Roll No: 27500-60900 Building Name: N/A		N/A	

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

☐ Compliance Schedule attached

This Certificate is issued subject to the conditions specified:

The Building Consent is subject to a modification to the Building Code to the effect that, Clause B2.3.1 applies from 24 November 2005 instead of from time of issue of the Code Compliance Certificate.

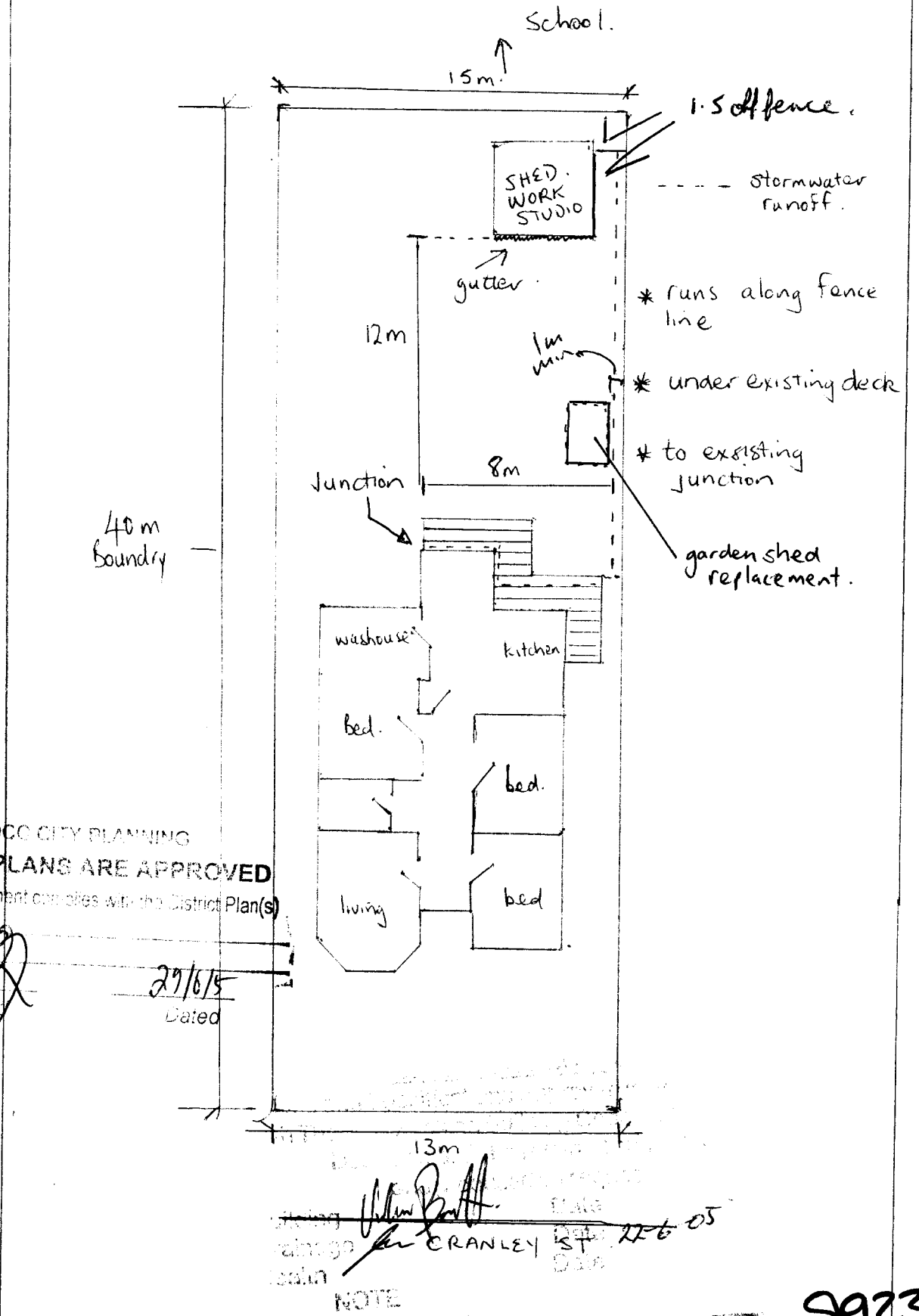
**Signed for and on behalf of the Council:**

**Team Leader Inspections**

Date: 16 December 2016

**DOMESTIC SMOKE ALARM**

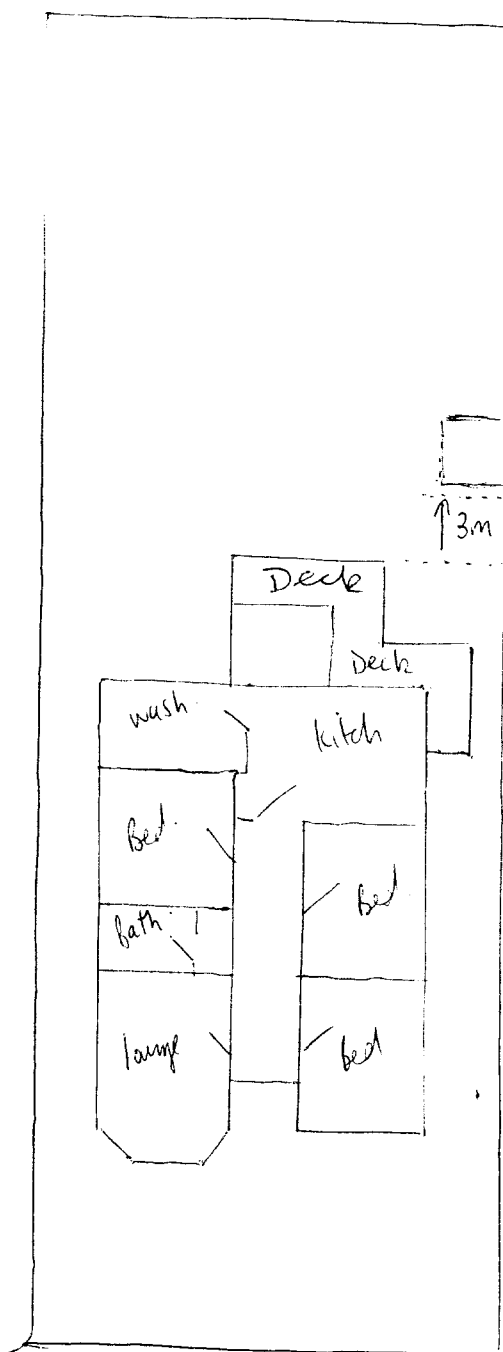
Domestic smoke alarms complying with clause F7 are to be installed in this building.



9923

177m

Lot 26  
dp 1746



demolish existing shed  
& replace with garden shed  
(kitset)  
Highlighting current useage  
rights

current building  
Height 2400  
length 3300  
width 2400

- prepared garden shed  
Height . 2100  
length . 2316  
width . 2416

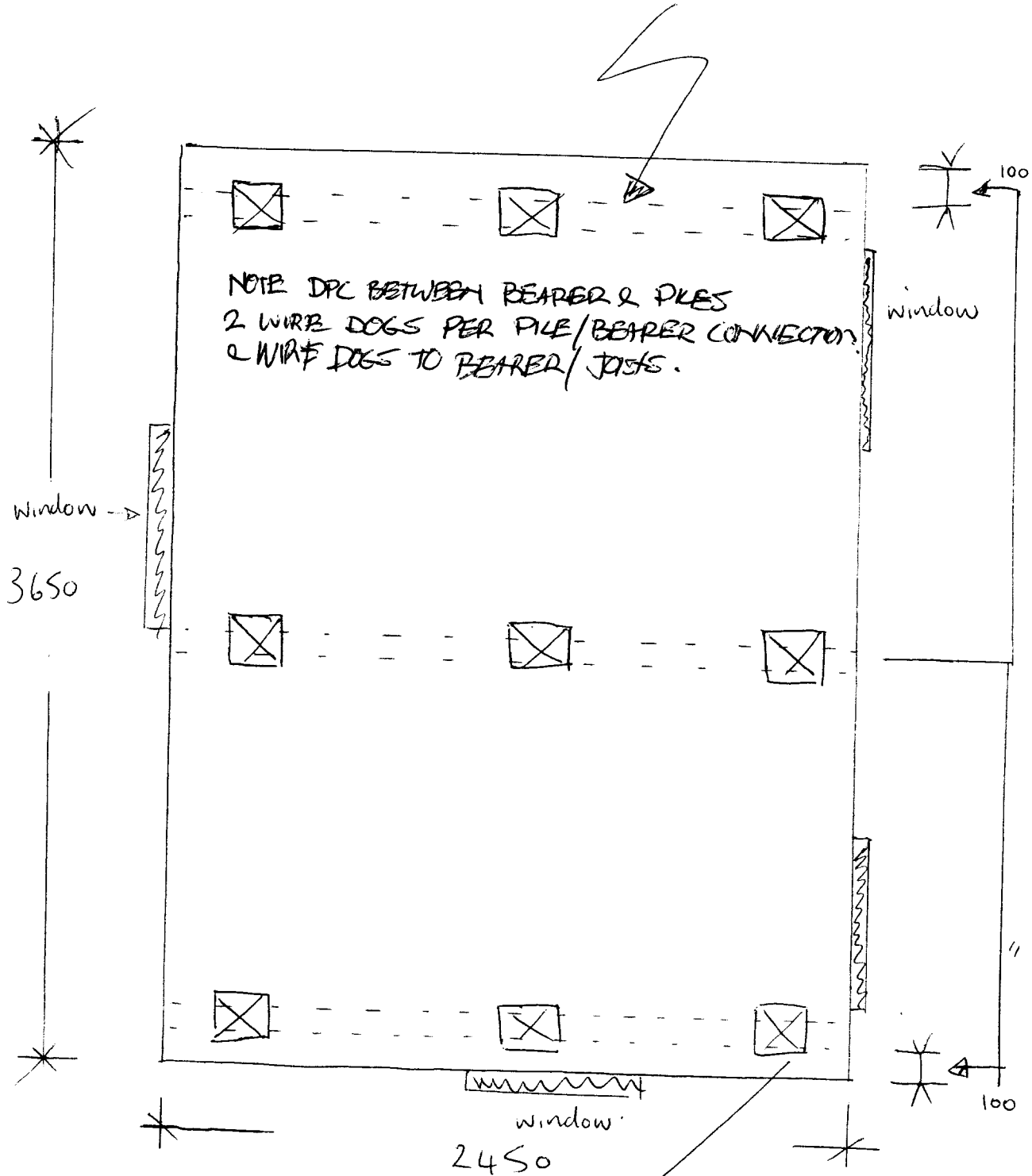
This therefore measures  
beneath current shed.

Shed from Versatile  
Buildings.

5923



bearers 100x100 H31  
min 150 clearance  
between ground &  
underside of bearers



Piles  
125 x 125 H 5  
in 300  $\phi$  holes  
600mm deep.  
51923



## CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07-v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2013-490	Telephone No:	03 477 4000
<b>APPLICANT</b>		<b>PROJECT</b>	
K W Tikao and R Taratoa-Bannister C/O Steve Mowat Building and Construction Limited PO Box 1442 Dunedin 9054		<b>Work Type:</b> Alterations/Repairs  <b>Intended Use/Description of Work:</b> Enlarge Opening in Lounge and Remove Door	
<b>PROJECT LOCATION</b>		<b>Intended Life:</b>	
66 Cranley Street Dunedin		Indefinite, not less than 50 years.	
<b>LEGAL DESCRIPTION</b>		<b>This CCC also applies to the following Amended Consents:</b>	
Legal Description: LOT 26 BLK VI DP 1746 Valuation Roll No: 27500-60900 Building Name: N/A		N/A	

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

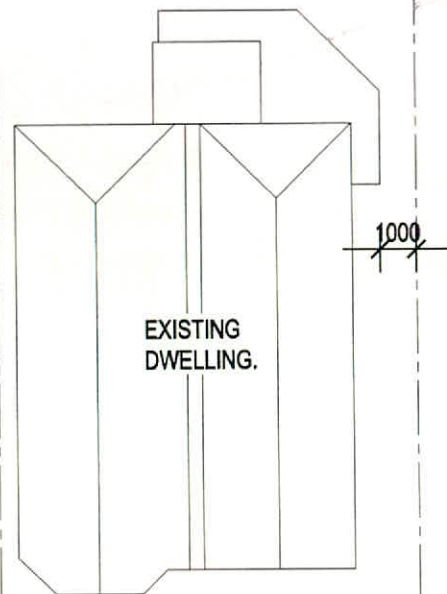
☐ Compliance Schedule attached

**Signed for and on behalf of the Council:**

**Team Leader Inspections**

Date: 2 July 2013

PROPERTY DESCRIPTION  
LOT 26  
DP 1746  
BLK VI.



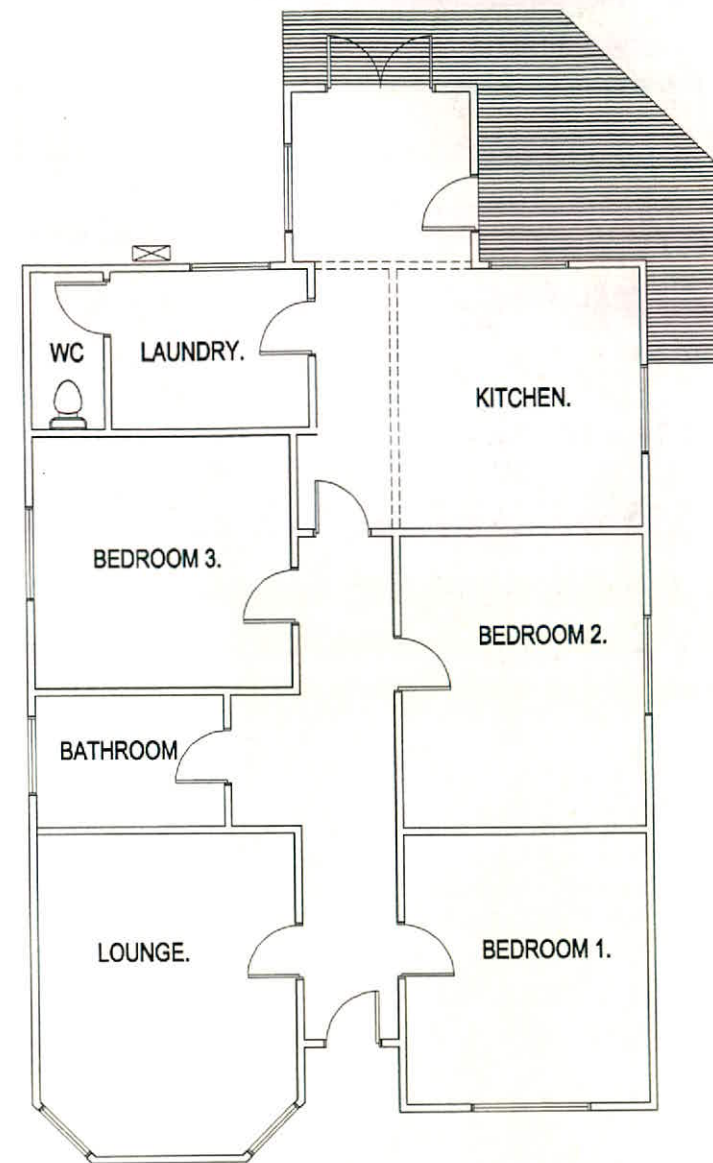
EXISTING  
DWELLING.

1000

CRANLEY STREET

## SITE PLAN

SCALE 1:200



## EXISTING FLOOR PLAN

SCALE 1:100

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENTS

2013 - 490

**DCC COPY**

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance  
with The New Zealand Building Code and Approved  
Documents. To be retained on works  
and produced on request.

Building *Phil Garrard* Date 28-3-2013  
Plumbing Date  
Health Date

### NOTE

Drawings endorsed with permission of the  
builder *Phil Garrard* 28-3-2013

CONSENT ISSUE

## STEVE MOWAT BUILDING & CONSTRUCTION LTD.

• Residential • Commercial • Industrial  
• New Builds • Alterations  
• Full planning and design service  
• Architectural Specialists  
• Farm Buildings • Fencing • Hangers  
• Concrete Placement • Dairy Building  
Servicing Twizel, Tekapo, Omarama,  
Ohau & Otamatata  
Network Builders for McRae & Sons  
Mob 021 227 8877 • Ph 03 435 3132  
Email mowats@xtra.co.nz

REVISION	DATE	No	REMARKS
2012-12-04			CONSENT ISSUE

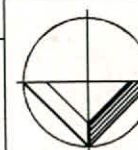
SCALE 1: As shown (U.N.O.)

HORIZONTAL 0 metres  
VERTICAL 0 metres

ORIGINAL SHEET SIZE A 3

Check and Verify all Dimensions on Site prior to Commencing Work. If in doubt ask.

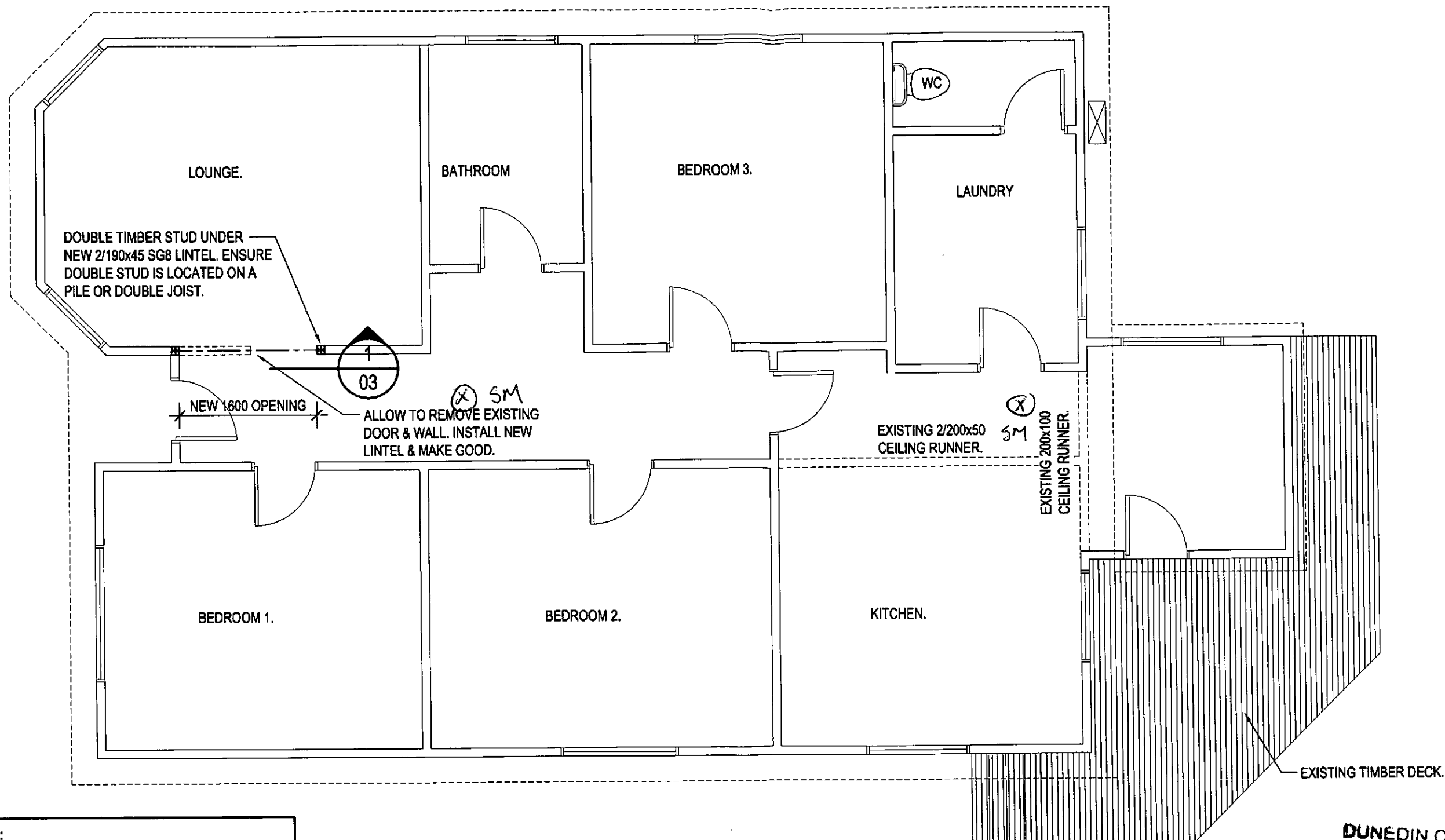
LOT 26  
DP 1746  
BLK VI



NORTH

DESIGN	DRAFTING
PREP	DRN
CKD	CKD
SUP	SUP
LBP NUMBER: BP121723	
DATE	26/11/2012

CLIENT		DATE OF THIS PRINT
<b>MR R. TARATO-A-BANNISTER</b>		
EXISTING SITE & FLOOR PLAN PROPOSED ADDITION TO 66 CRANLEY STREET, DUNEDIN.		SHEET 01 OF 03
DRAWING No	A3 - 12011 - WD 01	REVISION



**NOTES:**  
 DO NOT SCALE OFF DRAWINGS.  
 ALL DIMENSIONS TO BE CHECK AND VERIFIED ON SITE.  
 ALL CONSTRUCTION TO COMPLY WITH NZS:3604.  
 EXTERIOR CLADDING TO COMPLY WITH NEW ZEALAND BUILDING CODE E2.  
 ALL FINISHING AND TRIM TO MATCH EXISTING.  
 ALL LIGHT FITTINGS TO BE FITTED WITH ENERGY EFFICIENT LIGHT GLOBES.  
 SA - SMOKE ALARM

DUNEDIN CITY COUNCIL  
 APPROVED BUILDING CONSENT DOCUMENTS

2013-490

DCC COPY

# PROPOSED FLOOR PLAN

SCALE 1:50

**STEVE MOWAT**  
 BUILDING & CONSTRUCTION LTD.

• Residential • Commercial • Industrial  
 • New Builds • Alterations  
 • Full planning and design service  
 • Architectural Specialists  
 • Farm Buildings • Fencing • Hangers  
 • Concrete Placement • Dairy Building  
 Servicing Twizel, Tekapo, Omarama,  
 Ohau & Otamatara  
 Network Builders for McRae's Homes  
 ☎ 021 227 8877 • Ph 03 435 3132  
 Email: smowat@stelo.co.nz

REVISION	DATE	No	REMARKS
	2012-12-04		CONSENT ISSUE

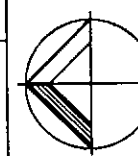
SCALE 1: As shown (U.N.O.)

HORIZONTAL 0 metres  
 VERTICAL 0 metres

ORIGINAL SHEET SIZE A 3

Check and Verify all Dimensions on Site prior to Commencing Work. If in doubt ask.

LOT 26  
 DP 1746  
 BLK VI

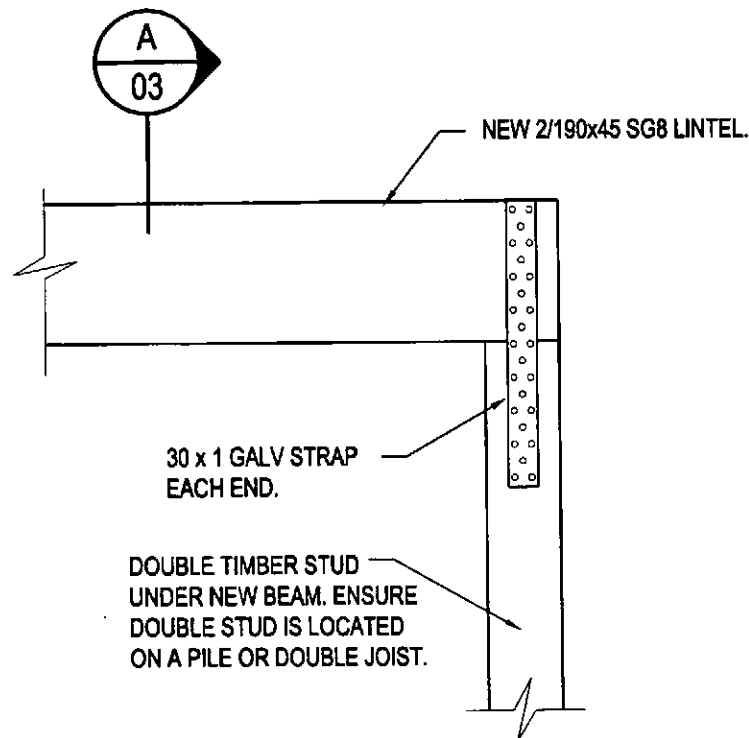


NORTH

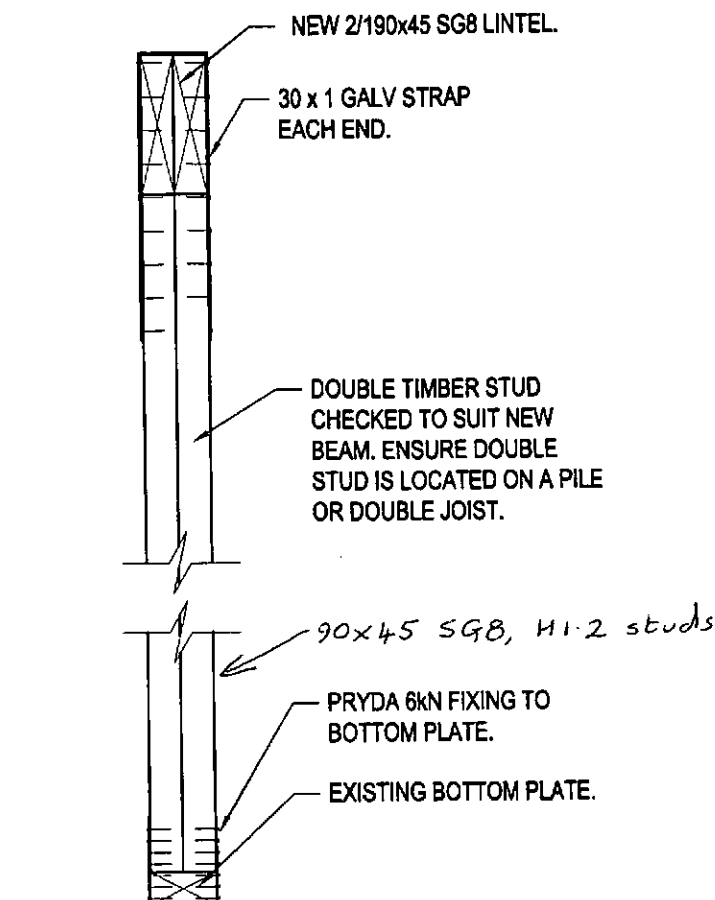
DESIGN	DRAFTING
PREP	DRN
CKD	CKD
SUP	SUP
LBP NUMBER: BP121723	
DATE	26/11/2012

CLIENT		DATE OF THIS PRINT
<b>MR R. TARATOA-BANNISTER</b>		
PROPOSED FLOOR PLAN PROPOSED ADDITION TO 66 CRANLEY STREET, DUNEDIN.		SHEET 02 OF 03
DRAWING No	A3 - 12011 - WD 02	REVISION

CONSENT ISSUE



**1** SECTION  
**02** SCALE 1:10



**A** DETAIL  
SCALE 1:10

**NOTES:**  
ALL CONCRETE SHALL BE 20 MPa AT 28 DAYS.  
ANCHOR PLIES TO BE BRACED TO BEARER  
WITH MITEK 12KN ANCHOR BRACE.  
ALL STRUCTURAL FIXINGS DETAILED & NOTED  
TO BE MITEK STRAPS/BACKETS/NAIL PLATES  
- "ON SITE GUIDE" FOR "MEDIUM WINDZONE"

**NOTES:**  
DO NOT SCALE OFF DRAWINGS.  
ALL DIMENSIONS TO BE CHECK AND VERIFIED ON SITE.  
ALL CONSTRUCTION TO COMPLY WITH NZS:3604.  
EXTERIOR CLADDING TO COMPLY WITH NEW ZEALAND  
BUILDING CODE E2.  
ALL FINISHING AND TRIM TO MATCH EXISTING.

**DUNEDIN CITY COUNCIL**  
APPROVED BUILDING CONSENT DOCUMENTS

**2013 - 490**

**DCC COPY**

**STEVE MOWAT**  
BUILDING & CONSTRUCTION LTD.

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REVISION	DATE	No	REMARKS
2012-12-04			CONSENT ISSUE

SCALE 1: As shown (U.N.O.)

HORIZONTAL 0 metres

VERTICAL 0 metres

ORIGINAL SHEET SIZE A 3

Check and Verify all Dimensions on Site prior to Commencing Work. If in doubt ask.

LOT 26  
DP 1746  
BLK VI



DESIGN	DRAFTING
PREP	DRN
CKD	CKD
SUP	SUP
LBP NUMBER: BP121723	
DATE	26/11/2012

MR R. TARATOA-BANNISTER		DATE OF THIS PRINT
FRAMING DETAILS		
PROPOSED ADDITION TO		
66 CRANLEY STREET, DUNEDIN.		
DRAWING No	A3 - 12011 - WD 03	SHEET 03 OF 03
REVISION		

CONSENT ISSUE



**Code Compliance Certificate Form 7**  
Section 95, Building Act 2004

S S Lakshminarayanan and A J Smetek  
66 Cranley Street  
Dunedin 9012

**The building**

**Street address of building:** 66 Cranley Street Dunedin

**Legal description of land where building is located:** LOT 26 BLK VI DP 1746

**Building Name:** n/a

**Location of building within site/block number:**

**Level/unit Number:**

**Current, lawfully established, use:**

**Number of occupants:**

**Year first constructed:**

**The owner**

**Name of owner:** S S Lakshminarayanan and A J Smetek

**Contact person:** S S Lakshminarayanan and A J Smetek

**Mailing address:** 66 Cranley Street, Dunedin 9012

**Street address/registered office:**

**Mobile:**

**Landline:**

**Email address:**

**First point of contact for communications with the building consent authority:** As above

**Building work**

**Building Consent Number:** ABA-2017-1343 - Install Insulation in Exterior Walls

**This CCC also applies to the following amended consents:** n/a

**Issued by:** Dunedin City Council

**Code Compliance**

The building consent authority named below is satisfied, on reasonable grounds, that-

- (a) The building work complies with the building consent.



**Team Leader Inspections**  
**On behalf of Dunedin City Council**

Date: 28 October 2017

2017 - 1343



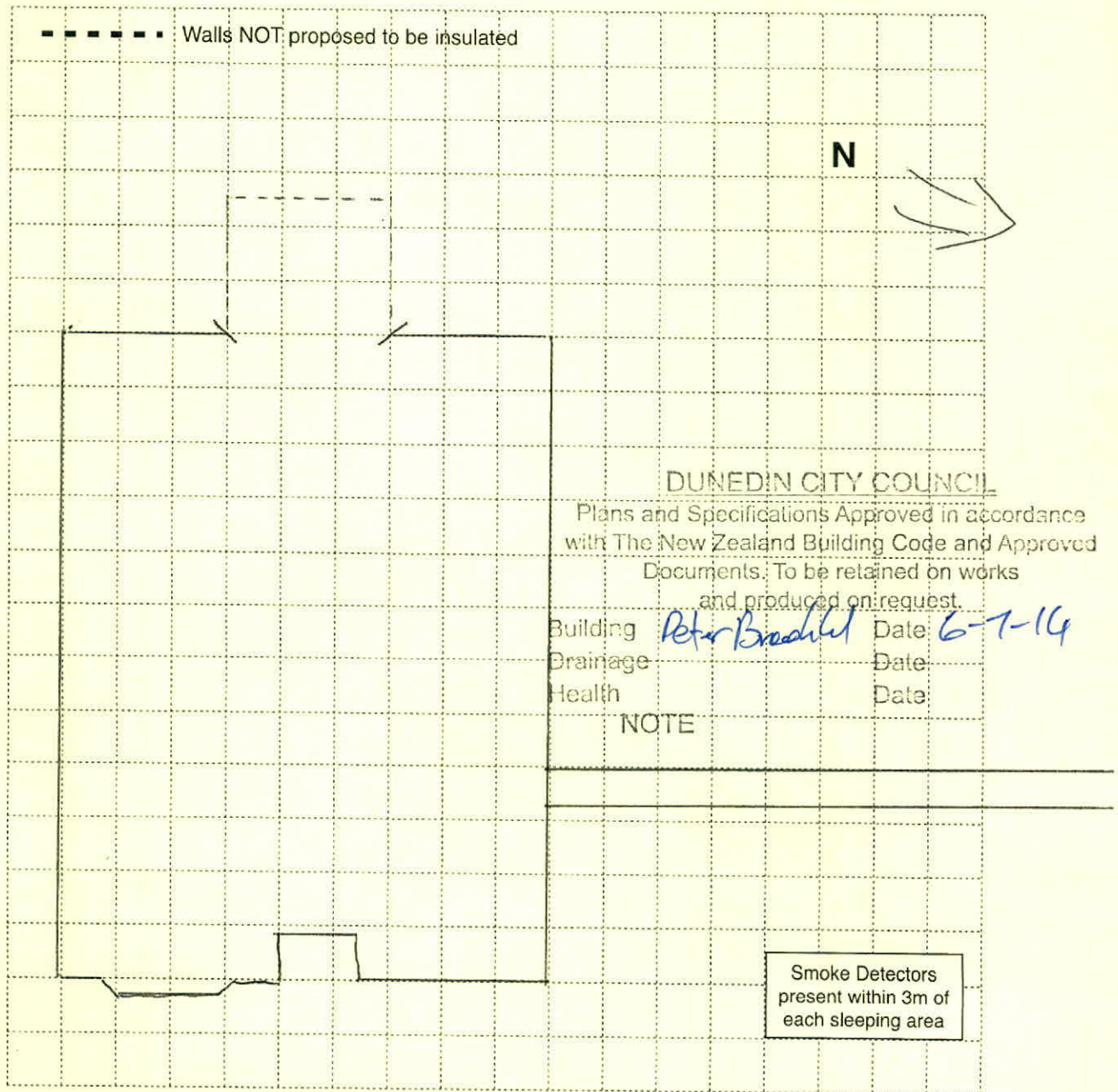
**INSULMAX®**

Wall Insulation System

# SITE PLAN

Address 66 Cranley Street, Tamui, Dunedin

- Record maintenance / work items required prior to installation or prior to CCC application
- Record location of moisture readings if suspected leak from defect or visual signs of moisture ingress
- Record position of through wall flus
- **ALL EXTERNAL WALLS PROPOSED TO BE INSULATED UNLESS OTHERWISE INDICATED**





# Certificate of Conformity

## This is to Certify **INSULMAX® Retrofit Wall Insulation Method**

### Product Description

The INSULMAX® Retrofit Wall Insulation Method is a controlled design method for creating plans and specifications for a building consent to install INSULMAX® in the walls of existing buildings. INSULMAX® insulation is a soft, white blown mineral insulation material that achieves an R value of 2.5 – 2.8/100mm.

The controlled design method includes a prescribed method for assessing the existing building and identifying any work that must be done prior to the installation of Insulmax insulation, in order for the requirements of S112 of the building Act 2004 to be met. The report that is produced as a result of this evaluation must be provided to the BCA as part of the building consent application.

The INSULMAX® Retrofit Wall Insulation Method also provides a declaration on completion of the work that the "Work Required" identified on the INSULMAX® existing building assessment report has been undertaken and the building work has been completed in accordance with the building consent.

For clarity certification covers the controlled design method and the INSULMAX® insulation building material.

### Complies with the Building Code of New Zealand:

*When installed in accordance with the conditions of this certificate, the INSULMAX® insulation will comply with;*

B1 Structure - B1.3.1, B1.3.2, B1.3.3 (a),

B2 Durability - B2.3.1 (a)

F2 Hazardous Building Materials - F2.3.1

*The building work will comply with;*

E2 External Moisture - E2.3.2

*When installed in accordance with the conditions of this certificate, the INSULMAX® insulation will contribute to compliance with;*

C3 Fire affecting areas beyond the fire source - C3.7 (a)

H1 Energy Efficiency - H1.3.1 (a, b), H1.3.2E

*The existing building will continue to comply with the following Building Code clauses to at least the extent as before the installation of INSULMAX® insulation;*

B1 Structure - B1.3.1

C2 Prevention of Fire Occurring - C2.2

E2 External Moisture - E2.3.2, E2.3.5

G9 Electricity - G9.3.1

H1 Energy Efficiency - H1.3.1

### Subject to the following conditions and limitations:

1. All aspects of the INSULMAX® Retrofit Wall Insulation method must be carried out or supervised by a person certified by Insulmax NZ Ltd.
2. The INSULMAX® License Holder must provide a signed declaration (to be provided to the BCA as part of the building consent application), that all conditions of the CodeMark certificate have been met.
3. The INSULMAX® existing building assessment report must be signed by a person who has been certified by INSULMAX NZ Limited (to be provided to the BCA as part of the building consent application).
4. The agreement of the Building Owner to complete the "Work Required" identified on the INSULMAX® existing building assessment report must be obtained and provided to the BCA as part of the building consent application.



John McKay, Chief Executive Officer, AsureQuality Limited

Date of Issue

27<sup>th</sup> May 2016

Certificate Number

AQ-060516-CMNZ (Rev 2 – May 17)



**CODEMARK™**

### Product Use and Scope

This certificate covers the retrofitting of INSULMAX® wall insulation in all existing buildings subject to the completion of the Insulmax Existing Building Assessment.

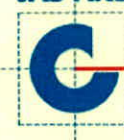
### Certificate Holder

Insulmax N.Z Ltd  
43 Tunnel Beach Road  
Blackhead  
RD1  
Dunedin, 9076  
Ph: 03 487 8606  
[www.insulmax.co.nz](http://www.insulmax.co.nz)



**AsureQuality**

**JAS-ANZ**



**CodeMark Certification Body**

AsureQuality, 11 Hull Road,  
Mt Maunganui  
New Zealand  
Tel. 0508 00 11 22  
[www.asurequality.com](http://www.asurequality.com)

[www.jas-anz.org/register](http://www.jas-anz.org/register)

Insulmax N.Z Ltd will notify AsureQuality Ltd in accordance with Regulation 15 of the Building (Product Certification) Regulations 2008

"This certificate is issued by an independent certification body accredited by the product certification accreditation body appointed by the Chief Executive of the Ministry of Business, Innovation and Employment (MBIE) under the Building Act 2004.

The MBIE does not in any way warrant, guarantee, or represent that the building method or product the subject of this certificate conforms with the New Zealand Building Code, nor accept any liability arising out of the use of the building method or product.

The MBIE disclaims, to the extent permitted by law, all liability (including negligence) for claims of losses, expenses, damages, and costs arising as a result of the use of the building method(s) or product(s) referred to in this certificate.

This certificate may only be reproduced in its entirety."

DCC COPY



8 November 2016

[REDACTED]  
[REDACTED]  
[REDACTED]

Dear [REDACTED]

**VEHICLE ENTRANCE – 66 CRANLEY STREET, DUNEDIN**

In response to your enquiry, I wish to advise that the installation of a vehicle entrance to the above property is approved subject to the following conditions:

- 1 The crossing shall be a 3 metre bevelled kerb crossing, constructed as an extension of the crossing at 68 Cranley Street.
- 2 The footpath shall be excavated and reconstructed in accordance with the Specification for the Construction of Vehicle Entrances.
- 3 The on street drive shall be a normal type crossing with an asphalt surface from the kerb & channel to the property boundary.
- 4 The drive within the property shall be sealed or hard surfaced for the first five (5) metres.
- 5 The finished levels of the drive shall match the existing levels at the back of path and tie into the existing edge of seal. The existing levels shall remain unaltered.
- 6 Stormwater runoff from the drive shall be captured at the boundary and piped into the kerb and channel.
- 7 The work shall be carried out in accordance with the Council's Specifications for the Construction of Vehicle Entrances.

Any work on road reserve including the construction of a vehicle entrance requires a Corridor Access Request, through [www.beforeudig.co.nz](http://www.beforeudig.co.nz)

Vehicle entrances and reinstatement of footpaths must be carried out by a DCC approved Contractor. Attached is the Council's list of approved contractors for this work. A quotation for the construction of your entrance can be obtained from any contractor on this list.

This approval is valid for one year from the above date or 3 months after Code of Compliance signoff, whichever of the two is longer.

Please contact Angus Ballard on 477 4000 for any clarifications regarding this letter.

**Please note:** This information addresses the requirements of the Dunedin City Council's Transportation Operations Department only. The information outlined above is subject to compliance with the Council's District Plan, the Building Code and/or any associated resource consent issued. Please contact City Planning's Public Enquiries Counter and Dunedin City Council Development Services or telephone 477 4000 if you wish to discuss these aspects.

Yours faithfully

Michael Tannock  
**Network Team Leader**  
**Transport**

Encl:

**Enquiries To:** Jim Mears  
**Direct Phone:** [REDACTED]

19 August 2004

[REDACTED]  
[REDACTED]  
[REDACTED]

Dear Sir/Madam

**VEHICLE ENTRANCE – 66 CRANLEY STREET**

In response to your request, I advise that your proposal to have a vehicle entrance installed at the property under reference is approved. The conditions relating to this approval are:

1. The crossing shall be a 3m bevel kerb extension of no 68.
2. The footpath shall be graded and reformed to the normal footpath crossing standard.
3. The on-street drive shall be a normal type.
4. The drive within the property shall be sealed or hardsurfaced.
5. The finished levels shall be as exists at the back of public footway.
6. Any unused crossings to have the kerb upstand and the footpath reinstated to the correct levels.
7. The work shall be carried out in accordance with Councils Specification for construction of Vehicle Entrances.

Attached is a list of contractors approved to construct vehicle entrances. You should approach one or more of these for prices for the work.

Yours faithfully

Jim Mears  
**ASSET SUPERVISOR**

encl