

ONE AGENCY

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The information in this pack has been provided by or on behalf of our client. It is made available by us in good faith. One Agency cannot warrant the content or completeness of this document. We have used our best endeavours to provide complete documentation and correct information.

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Please be aware that this LIM report is from **15 February 2018** and there may be some differences between this report and a current LIM report.

Dunedin City Council Land Information Memorandum

82174

**Issued in accordance with Section 44A of the Local Government Official
Information and Meetings Act 1987**

**Should you require further clarification of any of the information listed
in this report, please phone our Customer Services Agency on
03 477 4000.**

This Land Information Memoranda (LIM) has been prepared in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at **15 February 2018**

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice.

The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

PROPERTY ADDRESS

5 Mulford Street Concord

LIM Applicant
Print Date

[REDACTED]
15-Feb-2018

CONTENTS

Property Details
Rates Details
Building, Plumbing and Drainage
Site Hazards
Hazardous Substances
Environmental Health
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Transportation
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Appendix

PROPERTY DETAILS

Property ID 5062772
Address 5 Mulford Street Concord
Parcels LOT 3 DP 6215

Rubbish Day Friday

RATES DETAILS

Rate Account 2062772
Address 5 Mulford Street Concord
Valuation Number 27780-10300

Latest Valuation Details

Capital Value \$235,000
Land Value \$80,000
Value of Improvements \$155,000
Area (Hectares) 0.0648HA
Units of Use 1

Current Rates

Current Rating Year Starting 01-Jul-2017
Dunedin City Council Rates \$1,860.16

Rates Outstanding for Year \$930.10

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

BUILDING, PLUMBING AND DRAINAGE

Public Sewer sheets.

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete.

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

Building and Drainage Information

Council Storm Water & Foul Sewer Connections available.

There is Council Storm Water outfalls and Foul Sewer Connections adjacent to this land, to which buildings within this land may connect. A plan of these is attached.

Private Storm Water Drains servicing existing buildings

There are Private Storm Water drains servicing existing buildings on this land.

Private Foul Drains servicing existing buildings

There are Private Foul drains servicing existing buildings on this land.

Foul drain to DCC foul sewer at 9 Winifred Street.

FOUL

Building and Drainage Consents

There are no records of any Building Consents for this property.

Building and Drainage Permits

Building Permits were issued prior to the introduction of the Building Act 1992. Code Compliance Certificates were not required or issued for permits.

H-1952-237622 AAG19524476

932 - Plumbing and Drainage for New Dwelling, connect to public sewer at 9 Winifred Street, (O'Neil). The permit was lodged on 06-Mar-1952.

H-1952-237648 AAG19524505

958 - Erect Dwelling, (O'Neil). The permit was lodged on 21-Jan-1952.

H-1959-238815 AAG19597683

1916 - Erect Garage, (Davie). The permit was lodged on 04-May-1959.

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

HAZARDS

SITE HAZARDS

No records were found of land instability, potential erosion, avulsion, falling debris, subsidence, slippage, alluvion or inundation.

The Otago Regional Council has produced a number of reports for the Dunedin City District which outline areas affected by natural hazards including slippage, flooding, subsidence and inundation.

These reports are publicly available and can be accessed here:

<http://www.orc.govt.nz/Publications-and-Reports/Natural-Hazards/Natural-Hazards/Dunedin-City-District/>

These reports do not provide property specific information, and may not describe all natural hazards that affect the land that is the subject of this LIM report. We recommend that in addition to reading these reports, that you seek independent advice about how this property may be affected by natural hazards including natural hazards that are not described in the reports produced by the Otago Regional Council.

Otago Regional Council - Natural Hazards Database

The characteristics of general natural hazards in the vicinity of this property are also available on the Otago Regional Council's Natural Hazards Database.

<http://www.orc.govt.nz/Information-and-Services/Natural-Hazards/hazards/>

HAZARDOUS SUBSTANCES

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996. All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge. The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

Contaminated Site, Hazardous Substances and Dangerous Goods Information

No information

ENVIRONMENTAL HEALTH

No records were found of Environmental Health involvement with this property.

LICENSING

Health Licensing

There are no records of any Health Licences for this property.

Liquor Licensing

There are no records of any Liquor Licences for this property.

CITY PLANNING

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Certificate of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Certificate of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz ; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Certificate of Title for any notices or covenants that may affect the property.

District Plan Information

Dunedin currently has an Operative Dunedin City District Plan, and the Proposed Second Generation Dunedin City District Plan (2GP). Accordingly, both of these plans may affect the development potential of this site and surrounding properties.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The 2GP was publicly notified on Saturday 26 September 2015. The submission period closed on Tuesday 24 November 2015.

The rules in the 2GP that have immediate legal effect from the date of notification are:

- Rule 10.3.2.2 Maximum area of indigenous vegetation clearance
- Rule 10.4.3.3 Assessment of performance standard contraventions – Vegetation clearance (Maximum area of Indigenous vegetation clearance)
- Rule 16.7.4 Minimum site size for rural zones
- Rule 16.9.5.5 Assessment of subdivision performance standard contraventions – Minimum site size (surplus dwelling subdivision)
- Definitions for Vegetation Clearance, Indigenous Vegetation Clearance and Indigenous Vegetation.

Following the close of submissions, rules in the 2GP that received no submissions in opposition have become fully operative and replaced the corresponding rule in the Operative District Plan. Rules that are now deemed operative are marked in green on the 2GP. You are advised to refer to our website to determine which rules in the 2GP have legal effect or are fully operative, and to determine which rules in the Operative District Plan are now inoperative.

The 2GP is subject to change at any time. Further rules will come into legal effect and/or become fully operative at the release of decisions and the resolution of appeals.

You should check with the Council whether any changes have occurred since the date this LIM report has issued. The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued: there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <http://www.dunedin.govt.nz/your-council/district-plan> and the 2GP which can be found on our website at <http://www.2gp.dunedin.govt.nz> as well as at all Dunedin City Council service centres and libraries.

OPERATIVE DISTRICT PLAN INFORMATION

Zoning

This property is zoned as **Residential 1** in the District Plan.

Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA Lmax between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

Noise Zone

50Dt/40Nt dBA, 45SP dBA

SECOND GENERATION PLAN INFORMATION

Zoning

- General Residential 1

Hazards

- Nil

Overlay Zones

- Nil

Mapped Areas

- Nil

Scheduled Items

- Nil

Resource Consents

There are no resource consents for this property.

RESOURCE CONSENTS WITHIN 50 METRES OF 5 MULFORD STREET CONCORD

1075 R Main South Road Green Island

LUC-2013-513 Land Use Consent temporary signs for fundraising event (Mardi Gras). The outcome was Granted on 03/02/2014.

LUC-2008-532 Land Use Consent temporary signage for annual school/ parish fair. The outcome was Granted on 09/10/2008.

LUC-2008-110 Land Use Consent 11 new bus shelters. The outcome was Granted on 07/05/2008.

LUC-2007-710 Land Use Consent establish bus shelters (3) at various locations. The outcome was Granted on 24/01/2008.

RMA-2003-366376 Resource Management Act (Historical Data) ERECT BUS SHELTERS AT SIX DIFFERENT LOCATIONS (Non-Notified - Non Complying). The outcome was Granted on 20/03/2003.

RMA-1998-362134 Resource Management Act (Historical Data) ESTABLISH 23 SITES TO ERECT ELECTION SIGNS (Non-Notified - Non Complying). The outcome was Granted on 21/07/1998.

RMA-1995-357348 Resource Management Act (Historical Data) EXTEND CLUBROOMS Owner: GI TOWN & COUNTRY / App: GI TOWN & COUNTRY CL BOX 13081 GREEN ISLAND (Non-Notified - Non Complying). The outcome was Granted on 27/03/1995.

RMA-1989-350576 Resource Management Act (Historical Data) Subdivision Owner: PARKTOP PROPERTIES / App: P.M. Haddon PO Box 235 (Non-Notified - Non Complying).

RMA-1995-350512 Resource Management Act (Historical Data) Subdivision Owner: BARRON P. / App: P.J. Napper PO Box 896 (Non-Notified - Non Complying).

5062770 9 Mulford Street Concord

RMA-1995-353029 Resource Management Act (Historical Data) DISPENSATION (Non-Notified - Non Complying). The outcome was Declined on 17/06/1995.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

TRANSPORTATION

Transportation is aware of the following information related to this property:

The following Transportation information is attached to this document:

- ECM document 1399265 Retaining Wall Letter dated 15/11/2010
- ECM document 2076845 Slip Letter dated 16/05/2014
- ECM document 2085885 Slip Remediation Design dated 2/06/2014

As of the 24th April 2015, the Transportation Group no longer inspects the site as part of a LIM. Only the electronic records since 2002 have been examined for Transportation information in relation to the property.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transportation on 477 4000.

For properties abutting the state highway, the New Zealand Transport Agency (NZTA) is the Road Controlling Authority.

WATER and WASTE

WATER

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

WASTE

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **21st May 2003**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz

APPENDIX

Glossary of terms and abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

- AAB DCC Building permit
- AAD DCC Drainage permit
- AAG Green Island drainage permit
- AAH Hyde permit
- AAK St Kilda permit
- AAM Mosgiel permit
- AAP Port Chalmers permit
- AAS Silverpeaks permit
- AAT Maniototo permit
- ABA Application Building Act 1991
- AMD Amendment to a Building Consent
- BC Building Consent
- BCC Building Compliance Certificate - Sale of Liquor Act
- BCM Building Complaint
- CER Certifier
- COA Certificate of Acceptance
- DGL Dangerous Goods Licensing
- ENV Health complaint
- HTH Health licence
- LIQ Liquor licence
- NTF Notice to Fix
- NTR Notice to Rectify
- PIM Project Information Memorandum
- POL Planning Other Legislation
- RMA Resource Management Act - Resource consent
- RMC Resource consent complaint
- WOF Building Warrant of Fitness

Terms used in Permits & Consents

- ALT Alteration
- ADD Addition
- BD D/C Board drain in common
- BLD Building
- BLDNG Building
- BT Boundary trap
- B/T Boiler tube
- CCC Code Compliance Certificate
- DAP Drainage from adjacent property
- DGE Drainage
- DIC Drain in common
- DR Drainage
- DWG Dwelling
- FS Foul sewer
- HEA Heater
- ICC Interim Code Compliance
- MH Manhole
- PL Plumbing
- PLB Plumbing
- PTE Private
- SIS Sewer in section
- WC Water course
- WT Water table
- SW Stormwater

General terms

- RDMS Records and Document Management System



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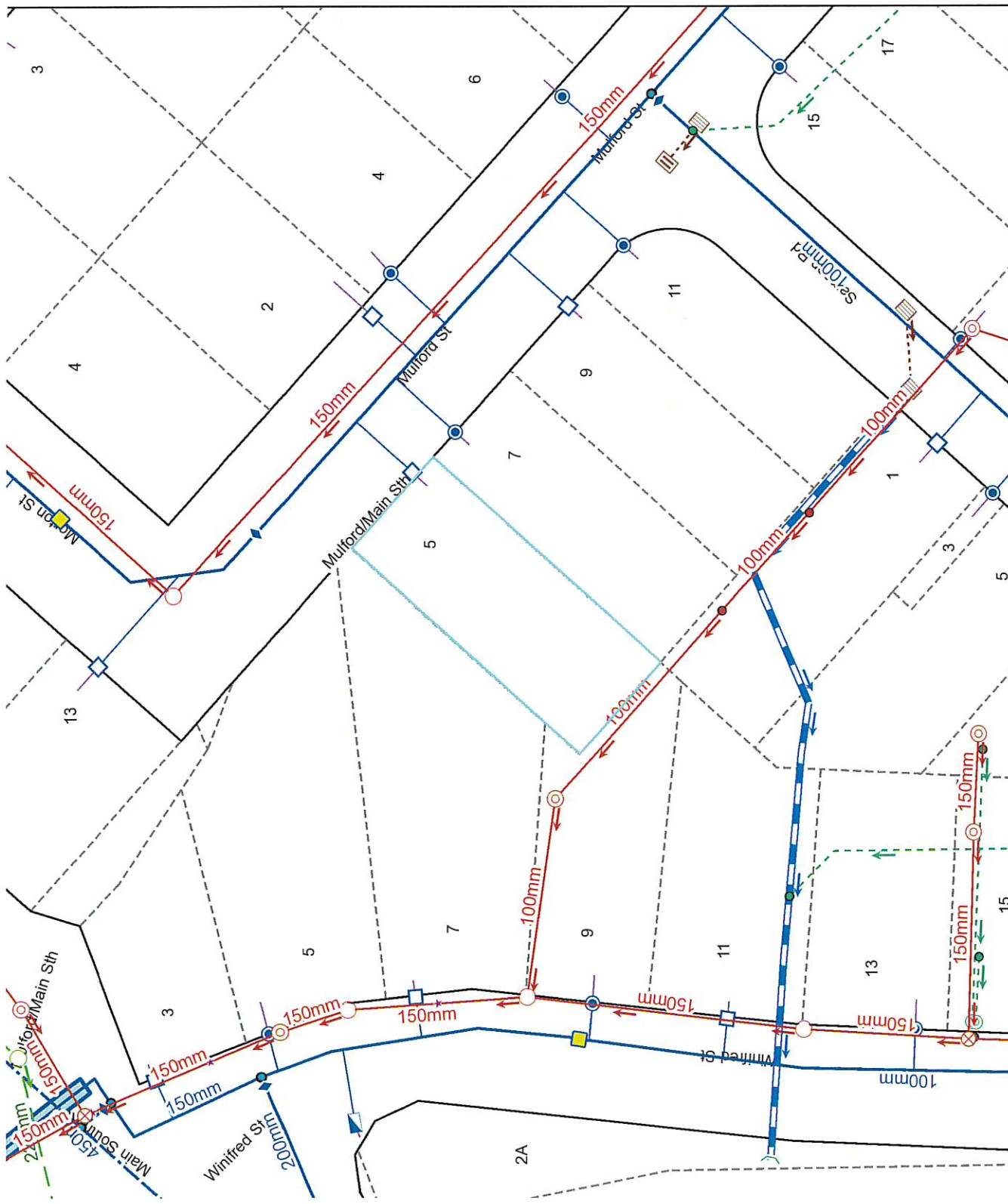
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PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for information only
and is not accurate to surveying, engineering
or orthophotographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

2015 Urban and rural photography January /
February 2015, Dunedin City Council
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2006/2007 Urban photography March 2007,
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Photographic Map



Legend

Water Supply

- Manifold Box
- Water Meter
- Toby
- Meter without manifold box
- Relic Flow Meter
- Combination Meter
- Manifold Box With Restrictor
- Water Valve - Zone
- Non Return Valve
- Water Valve - Gate
- Water Valve - Sluice
- Water Hydrant
- Water Backflow Preventer - RPZ
- Water Non-Return Valve
- Water Pump Station
- Water Bore
- Water Treatment Plant
- Water Storage Tank
- Supply Main
- Drain Main
- Overhead
- Reticulation
- Sprinkler
- Water Service Lateral
- Water Fire Service Lateral
- Water Critical Service Lateral
- Water Zone Boundary
- Water Reservoir
- Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

- Standard Manhole
- Valve Chamber (pressurised)
- Boundary Kit
- Non-Return Valve
- Pump Station Domestic
- Drop Manhole
- Inspection Manhole
- Inspection Opening
- Lampole
- Outlet
- Pump Station
- Treatment Plant
- Vent
- Foul Sewer Node
- Foul Drains in Common (public)
- Sewer
- Trunk Sewer
- Vent Line
- Ring Main
- Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

- SW Bubble-Up Tank
- SW Drop Manhole
- SW Imp Chamber and Grating Inlet
- SW Inspection Manhole
- SW Inspection Opening
- SW Lampole
- SW Manhole Inlet
- SW Outlet
- SW Pipe Inlet
- SW Pressure Manhole
- SW Standard Manhole
- SW Stormwater Node
- Reading Bubble-Up Tank
- Reading Mudtank
- Stormwater Main
- Stormwater Trunk Main
- DCC Open Channel
- Piped WC
- Open WC
- Culvert
- Stormwater Mudtank Pipe
- Redundant Stormwater Main
- SW Sump
- SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

- DCC Water & Waste Structure
- Railway Centreline
- Cadastral
- Private
- Road/Rail
- Motorway
- Parcels
- Strata
- Easement (where recorded)

Information shown is the best available at the time of publishing. The accuracy and completeness of this information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Council Water & Drainage Services



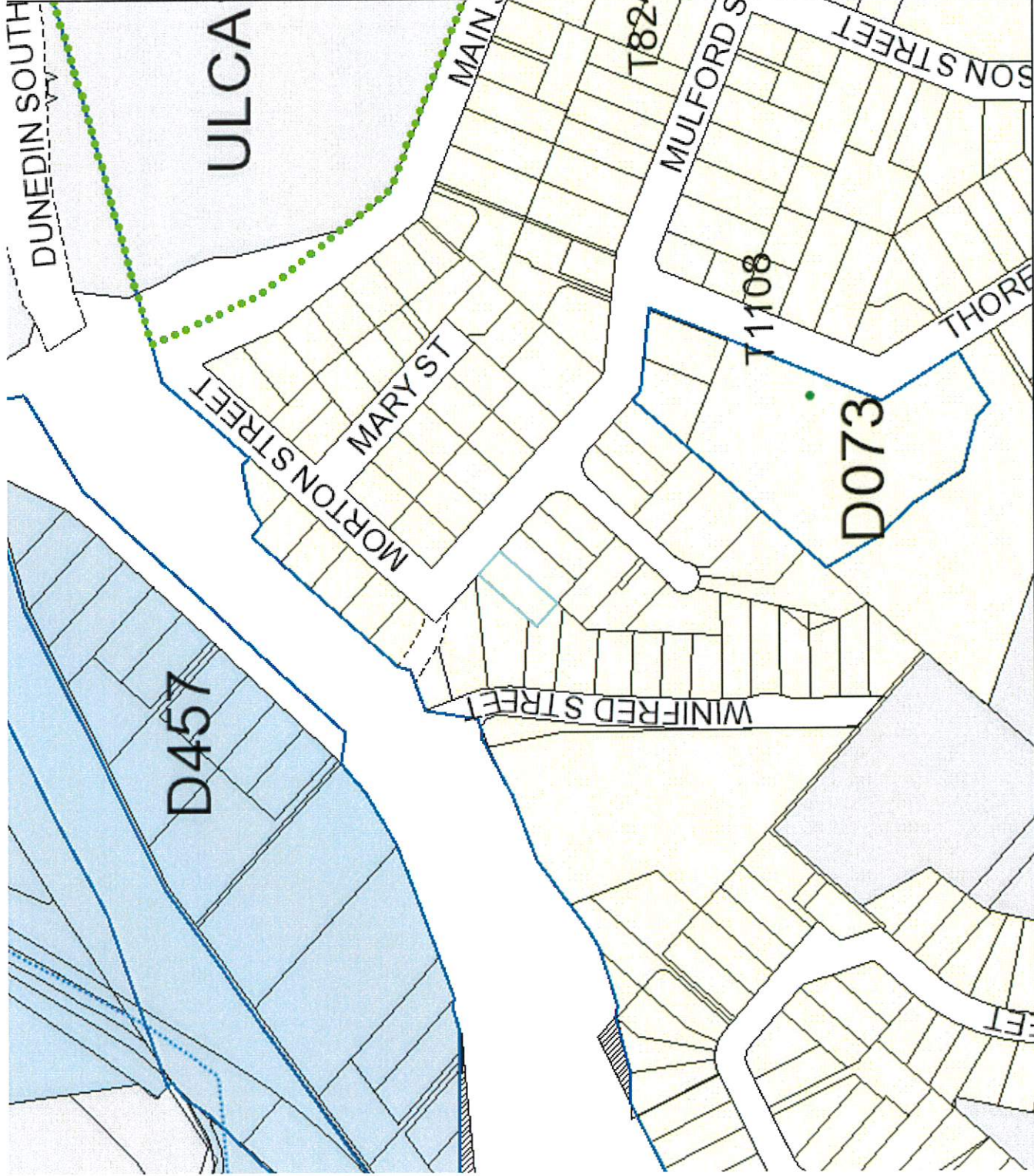
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Full legend can be viewed at <http://www.dunedin.govt.nz/foundry-online/webmapswaterservices>

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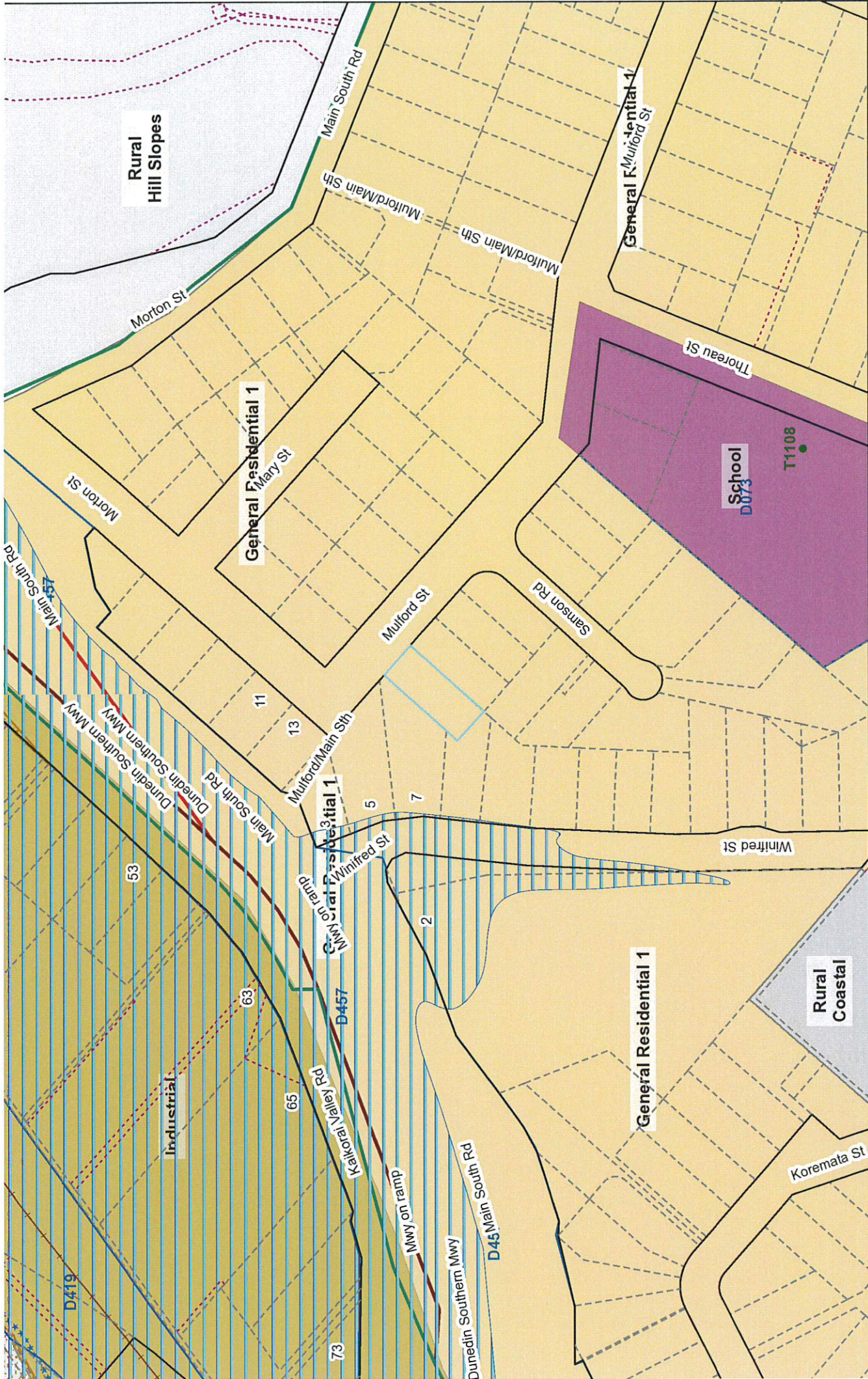
Legend

- Significant Trees
- Transpower Structure
- Heritage Structure
- Heritage Facade
- DP Archaeological Sites
- Port Fan Designation 274 bdy
- Port Height Restrictions
- DP Designations
- Urban Landscape Conservation Area
- DP Taleri Aerodrome
- Restricted Water Supply Area
- Ground Water Protection Zone A
- Ground Water Protection Zone B
- Public Roads not Legal
- Unformed Legal Road
- Port & Airport Noise
- XXX Air Noise Boundary
- XXX Outer Control Boundary
- XXX Outer Port Control Boundary
- XXX Port Noise Boundary
- Esplanade Requirement
- ***** Esplanade Reserve Required
- ***** Esplanade Ship Required
- Landscape Management Boundary
- outside boundary
- boundary between areas
- prominency boundary
- Townscape
- Townscape and Heritage Precinct Boundary - Internal
- Townscape and Heritage Precinct Boundary
- Pedestrian Frontage
- Identified Pedestrian Crossing
- Verandah Required
- Areas of Significant Conservation Value boundary
- ASCV Boundary
- ASCV Boundary - Internal
- Areas of Significant Conservation Value (Estuarine edge)
- Areas of Significant Conservation Value (Wetland)

- Zones**
- R1 - Residential 1 Zone
- R2 - Residential 2 Zone
- R3 - Residential 3 Zone
- R4 - Residential 4 Zone
- R5 - Residential 5 Zone
- R6 - Residential 6 Zone
- REA
- Campus Zone
- Airport Zone
- Stadium Zone
- CA - Central Activity Zone
- LSR - Large Scale Retail Zone
- LA1 - Local Activity Zone 1
- LA2 - Local Activity Zone 2
- LI1 - Industrial 1 Zone
- LI2 or SD - Industrial 2 or Special Development Zone
- Port 1 Zone
- Port 2 Zone
- RR - Rural Residential Zone
- Rural Zone
- H - Harbourside

Most detail not shown at scales smaller than 1:25,000
Optimal scale range is 1:2000 - 1:5000
This Planning Map is indicative.

The official Planning Maps are compiled within the District Plan (Volume 2). This map is a representation of the official maps. However, due to the ability to display these maps at different scales, and the dynamic nature of the underlying cadastre, some inconsistencies or misalignment of data may be depicted which is not visible on the official maps. Consult Dunedin City Council for any clarification.

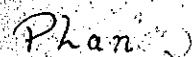


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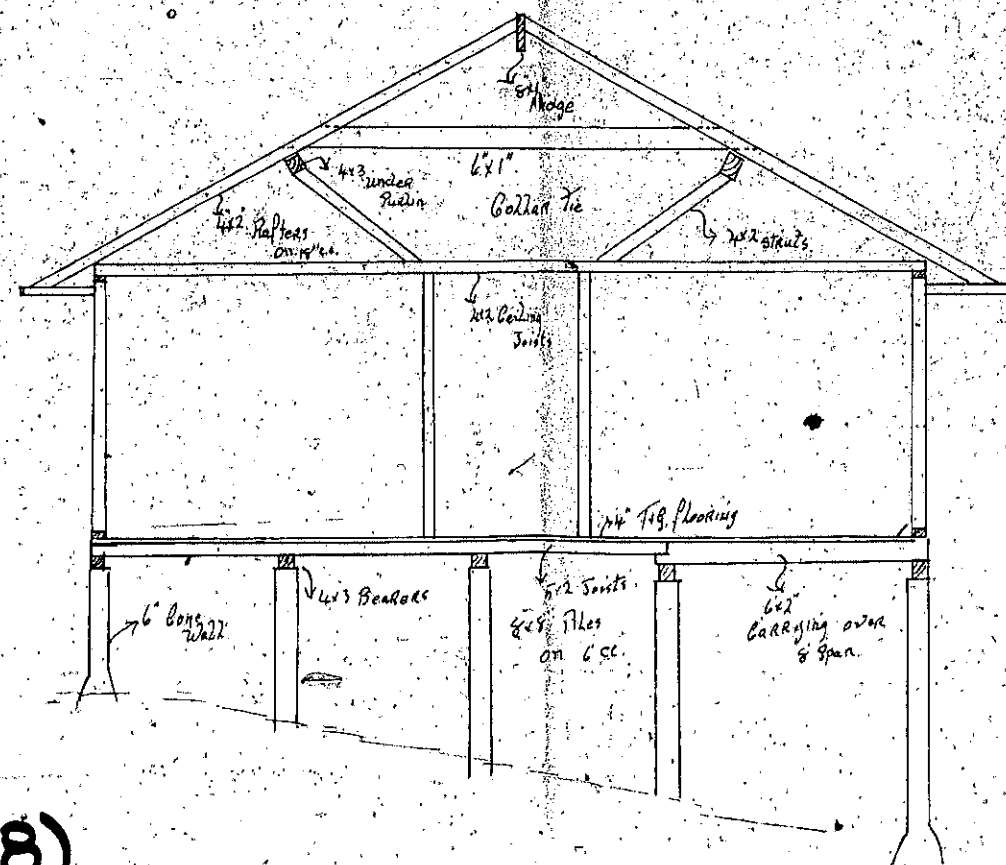
Second Generation District Plan



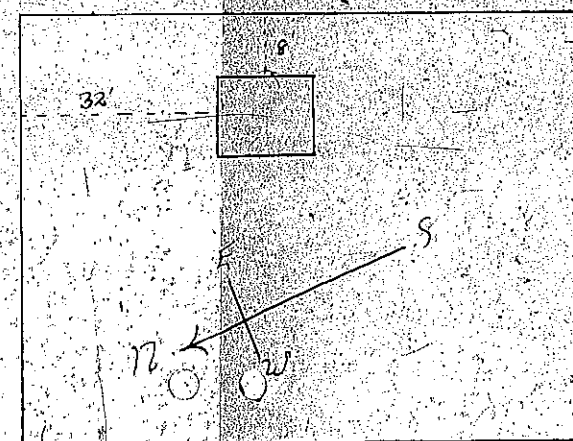
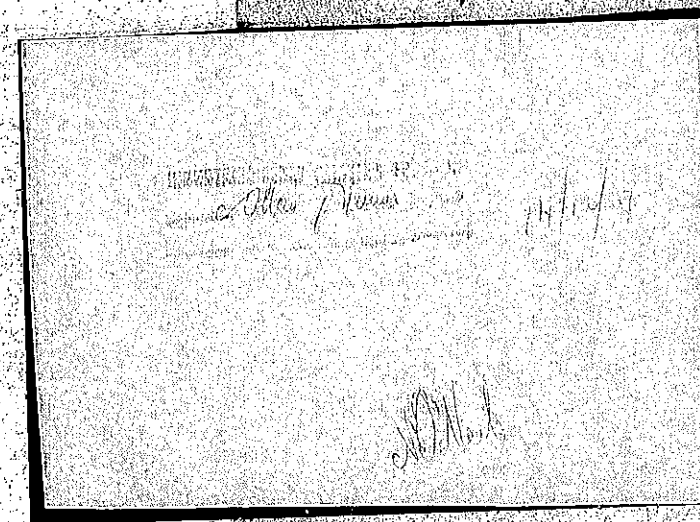
Proposed Residence
for Mr. N. O'Neil
Milford St
Burma side
27-11-56



North Elevation



Cross Section H. H.



2073 D.P. 6215
Being Pt. section 42 BX W
Lower Halkorai S.D.

H1952-237648
Erect Dwelling (958)

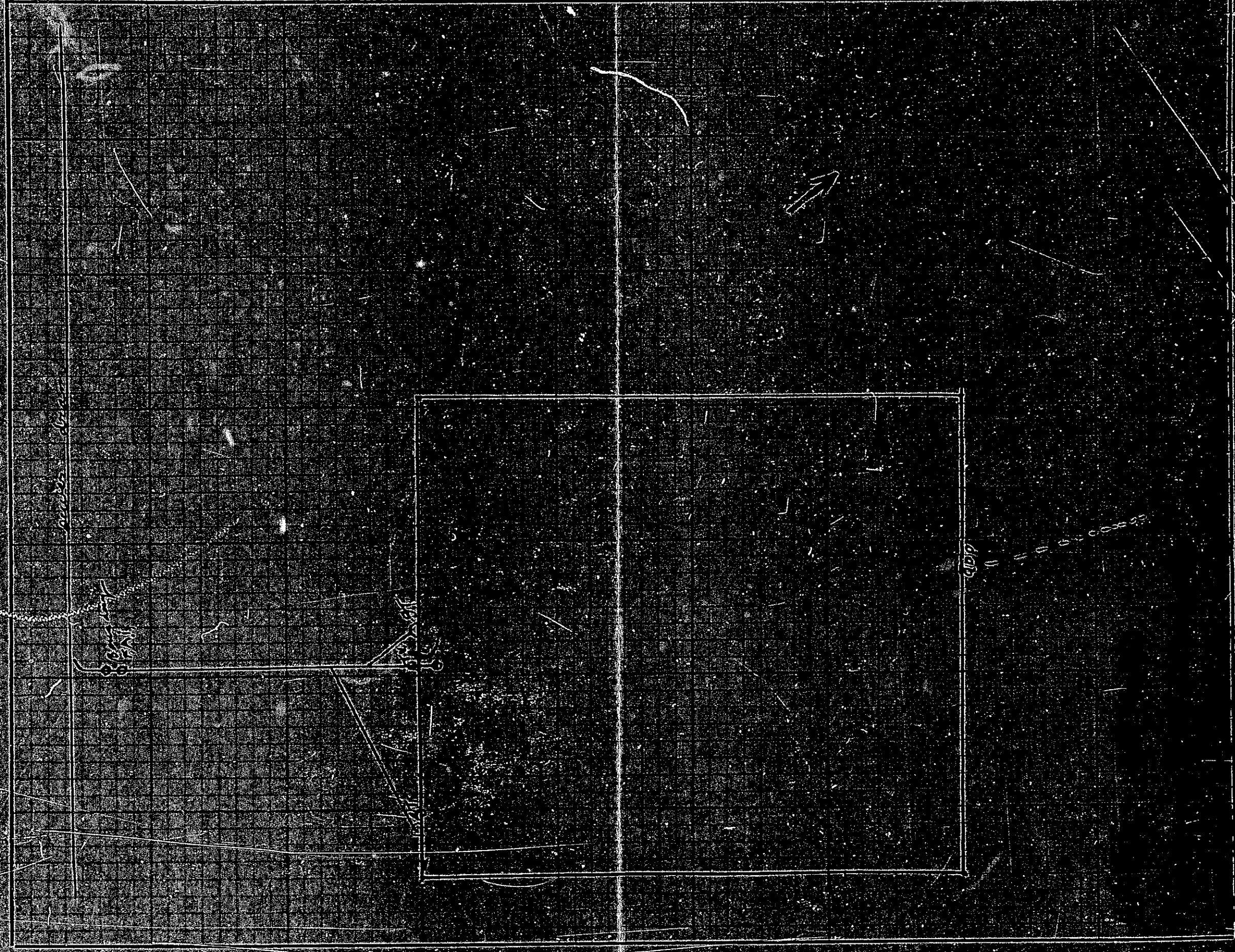
AAG19624505

DRAINAGE BLOCK PLAN

Y.P. means Junction Pipe
C.T. " Gully Trap

M.V. means Main Vent
T.V. " Terminal Vent
I.C. " Inspection Chamber

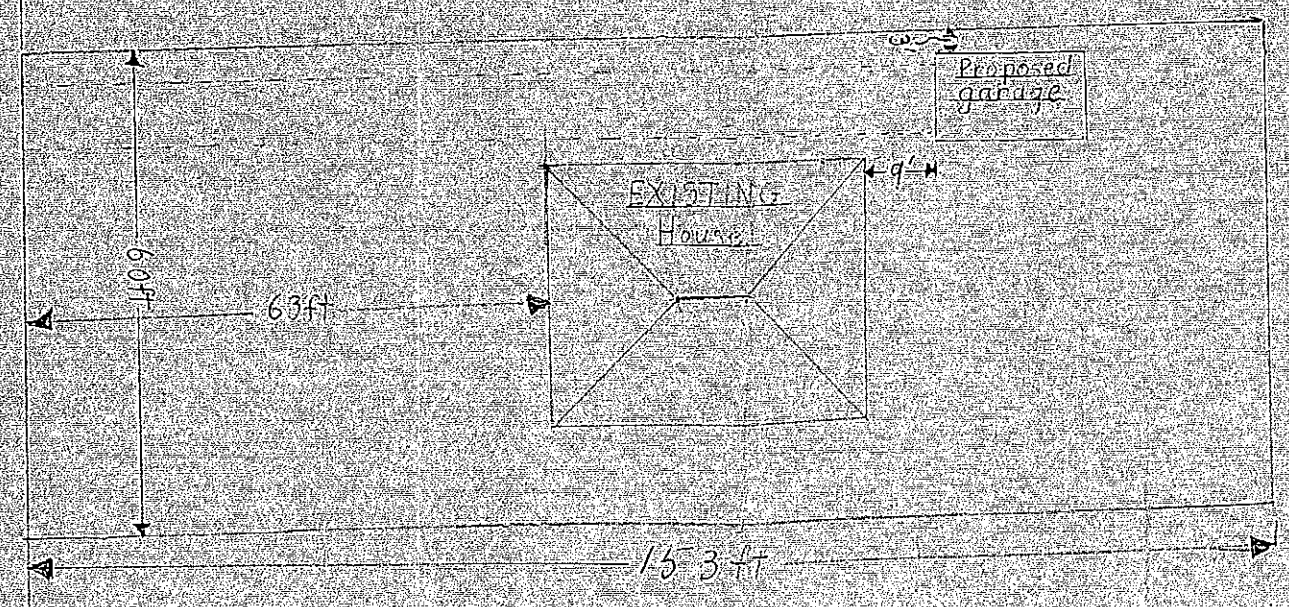
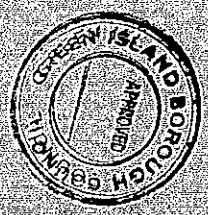
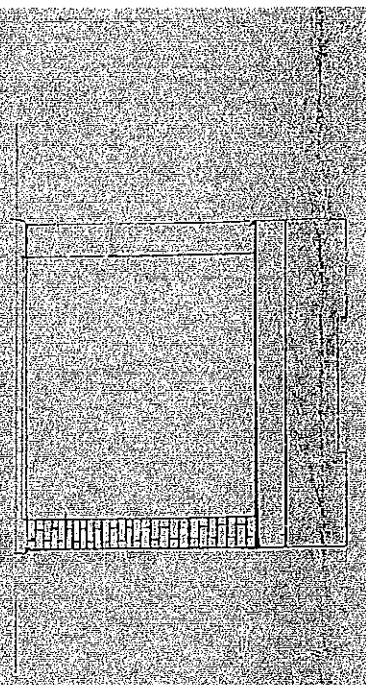
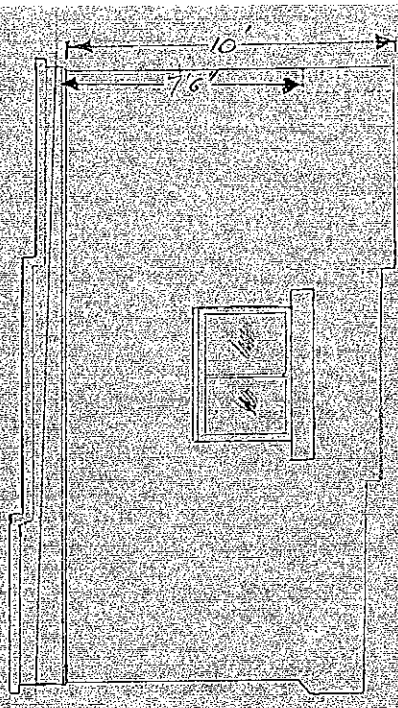
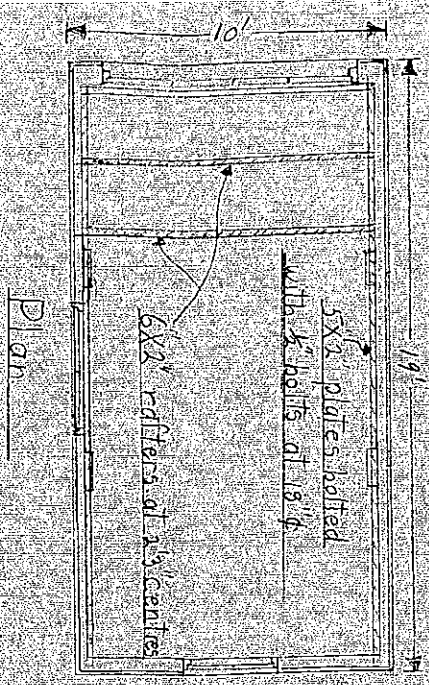
Scale—One inch equals eight feet.



Street
Jefferys

Record No

Signature of Drainer *W. G. McCall*



Proposed garage for J. Davis at

H1959-238815

Erect Garage.

(1916)

AA6 19597683

15 November 2010

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

Dear [REDACTED]

RETAINING WALL ON ROAD RESERVE – 5 MULFORD STREET

A recent inspection has revealed that the concrete retaining wall on road reserve which supports the drive to your property at 5 Mulford Street is failing.

A portion has broken off and is currently lying on the drive. Since this wall supports the footpath above your drive, Council is concerned that the footpath may become affected by this. Some remedial work is required on the wall so that no further damage occurs.

It was also noted that the wall on the other side of the drive might also be beginning to fail, there are some large cracks developing in the surface which might suggest the wall is moving. Council is also concerned about this as there is another footpath below this wall.

I would recommend having an engineer assess the walls to establish its stability and recommend remedial work if required.

If you wish to discuss this please call me on [REDACTED]

Yours faithfully

Dane Meek
Asset Supervisor, Transportation Operations

16 May 2014

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

Dear [REDACTED]

SLIP ON ROAD RESERVE – 5 MULFORD STREET, CONCORD

A recent inspection has revealed that a portion of road reserve, including part of the on-street vehicle access to your property at 5 Mulford Street, has failed and collapsed.

Our records show that correspondence had previously been sent to you on 15 November 2010 regarding the condition of this vehicle access.

At present the area of the slip has been closed off to the public. Council intends to repair and reinstate the area of road reserve that has failed as shown in red on the attached diagram, only. You are responsible for the portion of road reserve shaded in yellow which is used as a vehicle entrance and which has failed.

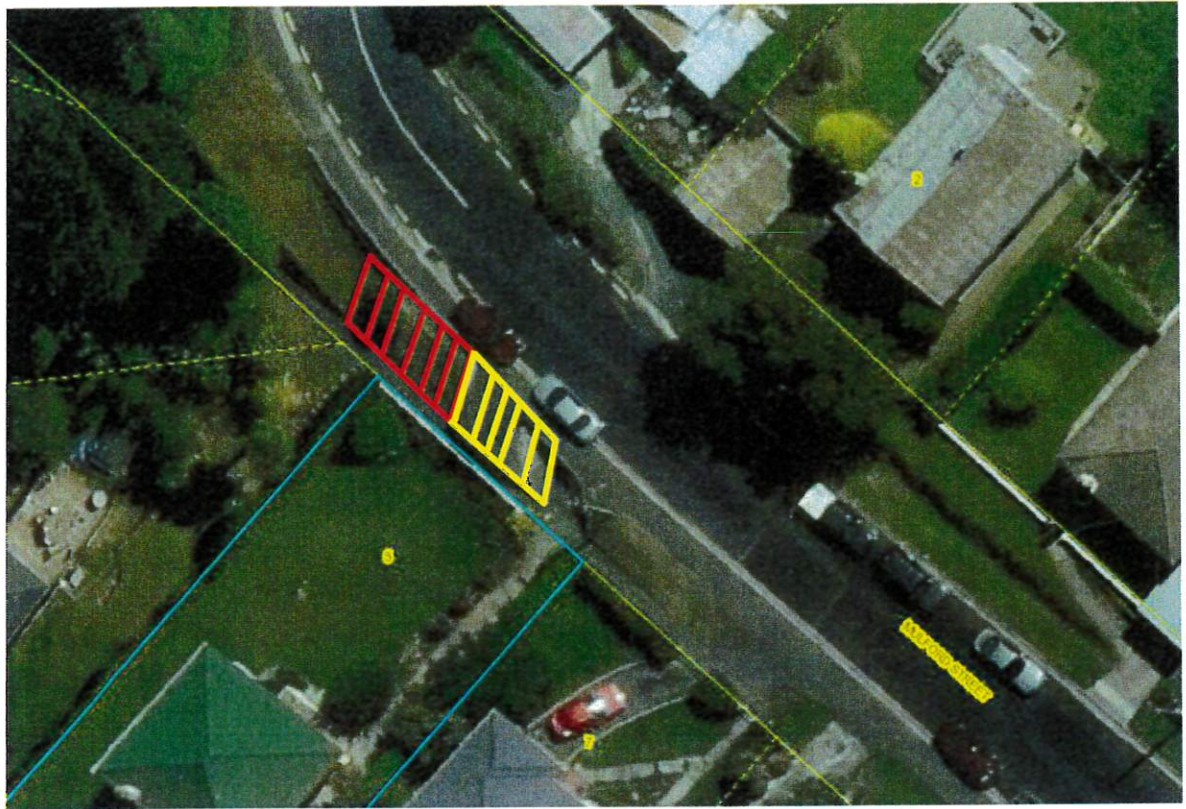
Council would like to repair this area of road reserve as soon as practical but would like to speak with yourself regarding this matter first as it may be more practical if both repairs are undertaken together.

Could you please contact the undersigned by 6 June 2014? Failure to do so may result in the Council undertaking repairs to the Dunedin City Council section only which may impact on your ability to reinstate a vehicle entrance at this location.

Yours faithfully

Tim Pleace
Asset Supervisor
Transportation

Encl: Diagram displaying areas of responsibility.



2 June 2014
Dunedin City Council
PO Box 5045
Moray Place
Dunedin 9058



Attention: Evan Matheson: Roading Projects Engineer.

Dear Evan

5 MULFORD STREET, CONCORD.

SLIP REMEDIATION.

Please find enclosed 2 copies of drawings numbered S001 and S002 along with 2 copies of my Document Issue record.

At this stage these are proposals for discussion. The scheme as set out is workable and buildable but a couple of details require your consideration.

Firstly, the scheme employs gabion baskets. Whilst this is an economical way to remediate this area it does result in the householders access being narrowed by some 400mm. The gradient and alignment make this access unsuitable for cars in any event and I did not see this as a problem.

Secondly, the potential fall from the access is about 2m. There is no protection from falling at the current time. The timber handrail shown on my drawings does not comply with Building Code Clause F4 but is a significant improvement on nothing! The interpretation of "building" would require clarification if this aspect were to be pursued.

I look forward to your comments.

Yours sincerely

A handwritten signature in blue ink that reads "Dave".

David Charters
Director
DCL Consulting

DCL Consulting

Document Issue record

Project: 5 Mulford Street, Concord: Slip Remediation

Copies	Description	Reference	Status
2	Drawing	S001 Rev 0	Comment
2	Drawing	S002 Rev 0	Comment

Issued to: Dunedin City Council.

Attention: Evan Matheson

Date: 2 June 2014

Purpose: Comment. See also letter of even date.

Acknowledgement of Receipt (Please sign and return duplicate to DCL Consulting)

Above Documentation Received:

Date:

Document Issue record

Project: 5 Mulford Street, Concord: Slip Remediation

Copies	Description	Reference	Status
2	Drawing	S001 Rev 0	Comment
2	Drawing	S002 Rev 0	Comment

Issued to: Dunedin City Council.

Attention: Evan Matheson

Date: 2 June 2014

Purpose: Comment. See also letter of even date.

Acknowledgement of Receipt (Please sign and return duplicate to DCL Consulting)

Above Documentation Received:

Date:

MULFORD STREET

FOOTWAY

EX. GABIONS

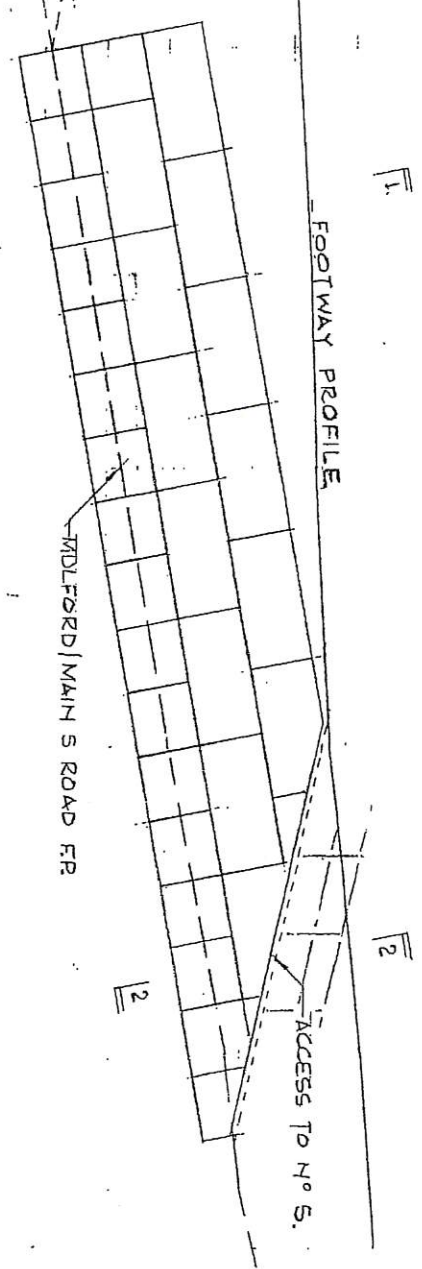
APPROX
SLIP
BOUNDARY

ACCESS TO NO 5

EX. CRIB WALL

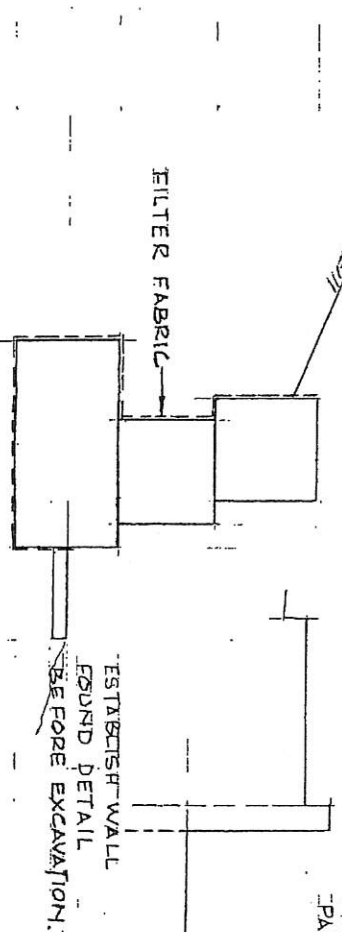
MULFORD/MAIN S ROAD FOOTPATH

SITE PLAN

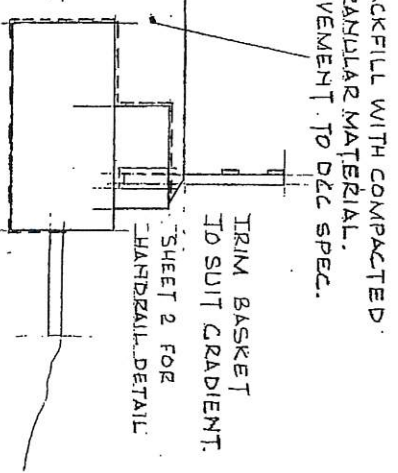


ELEVATION: NEW GABION WALL

SECTION 1:1



SECTION 2:2



Client DUNEDIN CITY COUNCIL

SLIP REMEDIATION

Dwg S001

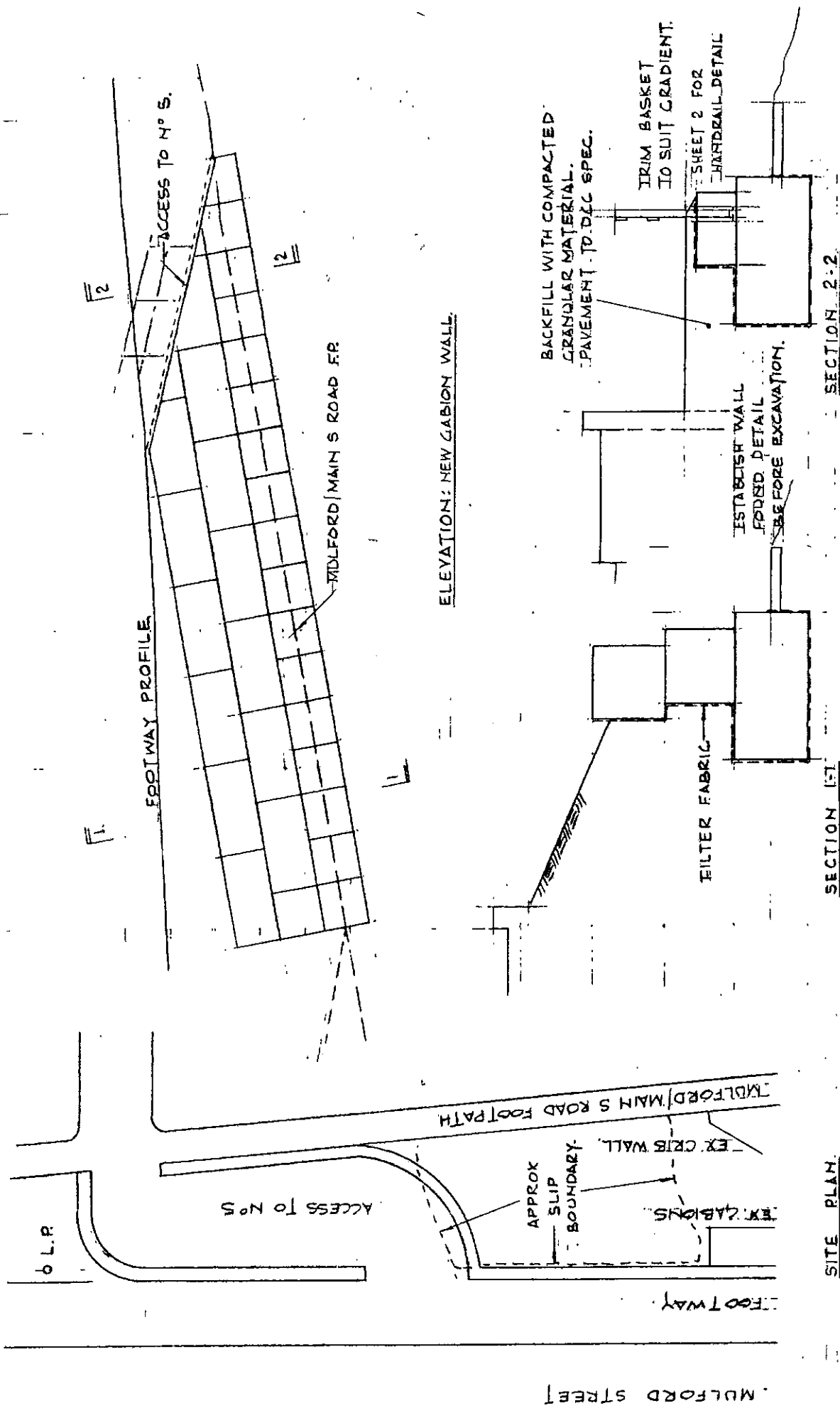
Rev 0

Subject 5 MULFORD STREET, CONCORD.

Date 1 JUN 14.

Date 1 JUN 14

DCL Consulting



Client DUNEDIN CITY COUNCIL	SLIP REMEDIATION	Rev 0	DCL Consulting	
Subject 5 MULFORD STREET, CONCORD.		Date 1 JUN 14	Date 1 JUN 14	

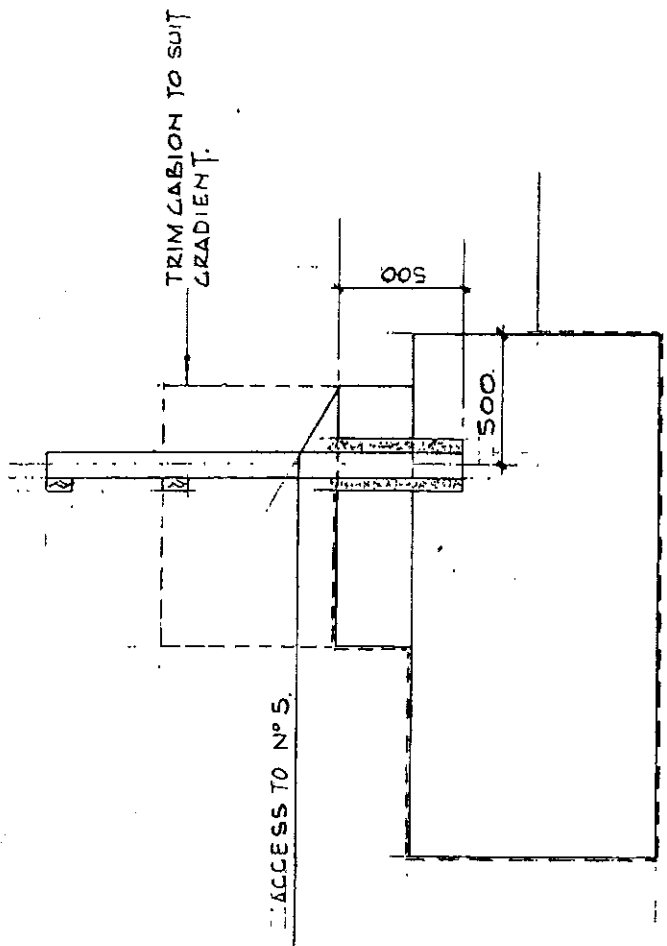
NOTES

GABIONS TO BE SUPPLIED BY MACCAFERRI OR SIMILAR APPROVED

INSTALLATION OF GABIONS SHALL BE AS MACCAFERRI INSTALLATION GUIDE REV 02/11:2011.

ALL SPECIFICATIONS IN THE INSTALLATION GUIDE SHALL BE MANDATORY.

FOUNDING SURFACE FOR BASKETS SHALL HAVE AN ALLOWABLE BEARING CAPACITY NOT LESS THAN 100 KPA.



HANDRAIL STANDARDS 100x100 RAILS 100x50
ALL SOFTWOOD Q8 TREATED H5.

SET 200 DIA PLASTIC PIPE IN GABIONS.
SET STANDARD IN PIPE.

LINE UP & FILL ANNULUS WITH SAND
WELL TAMPED.

HANDRAIL DETAIL

Client: DUNEDIN CITY COUNCIL	SLIP REMEDIATION	Dwg: S002	Rev: 0	DCL Consulting
Subject: MULFORD STREET, CONCORD		Date: 1 JUN 14	Date: 2 JUN 14	

Document Issue record

Project: 5 Mulford Street, Concord: Slip Remediation

Copies	Description	Reference	Status
2	Drawing	S001 Rev 0	Comment
2	Drawing	S002 Rev 0	Comment

Issued to: Dunedin City Council.

Attention: Evan Matheson

Date: 2 June 2014

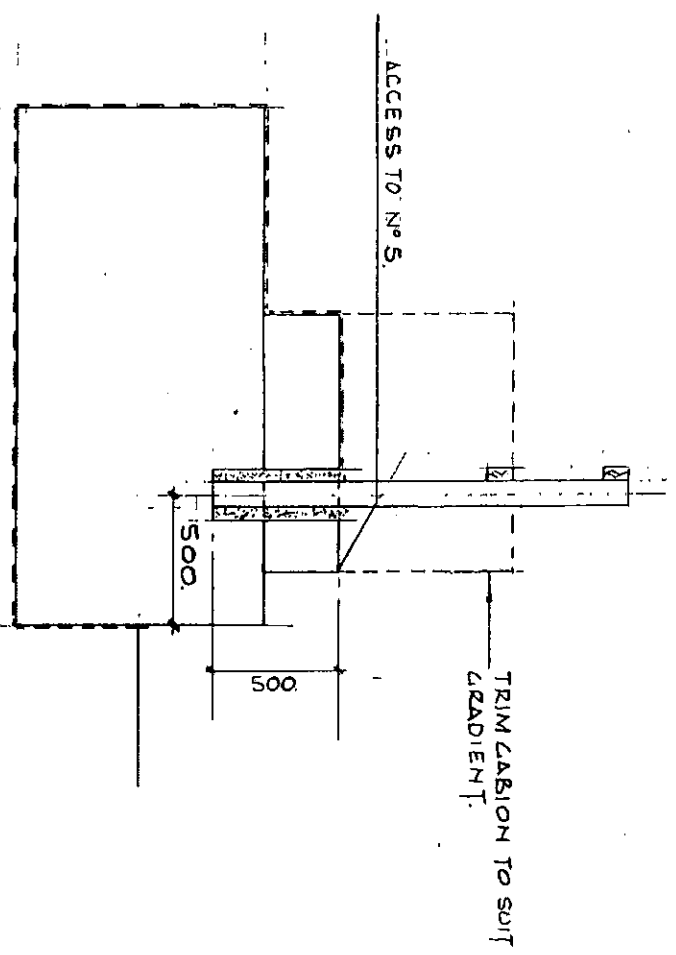
Purpose: Comment. See also letter of even date.

Acknowledgement of Receipt (Please sign and return duplicate to DCL Consulting)

Above Documentation Received:

Date:

NOTES.
 CABIONS TO BE SUPPLIED BY MACCAFFERTY OR
 SIMILAR APPROVED
 INSTALLATION OF CABIONS SHALL BE AS
 MACCAFFERTY INSTALLATION GUIDE REV 02/11:2011.
 ALL SPECIFICATIONS IN THE INSTALLATION
 GUIDE SHALL BE MANDATORY.
 FOUNDING SURFACE FOR BASKETS SHALL
 HAVE AN ALLOWABLE BEARING CAPACITY NOT
 LESS THAN 100 KPA.



HANDRAIL STANDARDS 100x100 RAILS 100x50
 ALL SOFTWOOD Q&S TREATED H5.
 SET 200 DIA PLASTIC PIPE IN CABIONS.
 SET STANDARD IN PIPE.
 LIRE UP & FILL ANNULOS WITH SAND
 WELL TAMPED.

HANDRAIL. DETAIL

Client	DUNEDIN CITY COUNCIL	SLIP REMEDIATION	Dwg	S002	Rev	0	DCL Consulting
Subject	S. MULEORD STREET, CONCORD		Date	1 JUN 14	Date	2 JUN 14	