

ONE AGENCY

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## Dunedin City Council – Land Information Memorandum

Property Address: 136 Taieri Road Dunedin

Prepared for: Dylan Jon Lewis

Prepared on: 20-Aug-2025

### Property Details:

|                    |                         |
|--------------------|-------------------------|
| <b>Property ID</b> | 5017551                 |
| <b>Address</b>     | 136 Taieri Road Dunedin |
| <b>Parcels</b>     | LOT 2 DP 1508           |

### Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 20-Aug-2025

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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## s44A(2)(a) Information identifying any special feature or characteristics of the land

### District Plan Hazard Information

Refer to District Plan for Natural Hazards Information section: s44A (2)(f) *Information relating to the use to which the land may be put and any conditions attached to that use.* Building Act 2004 Sec 73 Hazard Information

### Other Natural Hazard Information

#### Flood Hazards

No information.

#### Land Stability Hazards

No information.

#### Coastal Hazards

No information.

#### Seismic Hazards

No information.

#### Other Natural Hazards

The following other natural hazards have been identified:

This property has been identified as being affected by active faults & folds GNS April 2021 seismic - fault proximity - Kaikorai, Haz Id 12094.

### Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>.

### Contaminated Site, Hazardous Substances and Dangerous Goods

#### Contaminated Site Information

No information.

#### Historic Dangerous Goods Licence(s)

No information.

#### Hazardous Substances

No information.

### **WARNING – Change in legislation and management of hazardous substances**

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

## s44A(2)(b) Information on private and public stormwater and sewerage drains

### Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

### Foul Sewer and Waste Water

#### **Stormwater/Sewer Separation - Compliant**

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **30<sup>th</sup> April 1997**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

#### **Stormwater/Sewer Separation - Compliant**

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **30<sup>th</sup> April 1997**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

#### **Drainage Reticulation Plans**

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

### Public Sewer Sheets

**WARNING.** Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

## Dunedin City Council Private Drainage plans incomplete

**WARNING.** The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

## s44A(2)(bb) Information Council holds regarding drinking water supply to the land

### Water Supply

#### Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure), and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

#### Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at [www.dunedin.govt.nz/water-bylaw](http://www.dunedin.govt.nz/water-bylaw).

#### Water pressure

Indicative network water pressure to the property is shown on maps available at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure). Specific detail is available on request.

#### Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

## s44A(2)(c) Information relating to any rates owing in relation to the land

### Rates Details

#### Rates Assessment Details

|                     |                         |
|---------------------|-------------------------|
| <b>Rate Account</b> | 2017551                 |
| Address             | 136 Taieri Road Dunedin |
| Valuation Number    | 26950-47300             |

#### Latest Valuation Details

|                       |           |
|-----------------------|-----------|
| Capital Value         | \$590,000 |
| Land Value            | \$265,000 |
| Value of Improvements | \$325,000 |
| Area (Hectares)       | 0.0615HA  |
| Units of Use          | 1         |

#### Current Rates

|                              |             |
|------------------------------|-------------|
| Current Rating Year Starting | 01-Jul-2025 |
| Dunedin City Council Rates   | \$3,836.03  |

**Rates Outstanding for Year**      \$3,836.03

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

### Building and Drainage Consents

The following consents are recorded for this property:

|             |          |   |   |
|-------------|----------|---|---|
| Status Key: | BC       | - | Building Consent Issued   |
|             | CCC      | - | Code Compliance Certificate Issued  |
|             | Archived | - | In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused. |
|             | /CCC     | - |   |
|             | Refused  | - | Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect  |
|             | Lapsed   | - |   |

NOTE: This is not a comprehensive list of all building consent statuses



[ABA-2019-1409](#) Building Consent - Alter Dwelling - Convert Bedroom to Ensuite, Walk in Wardrobe and form Store Room in Basement, Extend Rear and Entry Decks

Lodgement Date 12-Jul-2019  
Decision Granted  
Decision Date 20-Sep-2019  
Current Status **CCC Issued**  
Previous Number  
*(Applications before 2007)*

[ABA-2019-1409/A](#) Building Consent - Amendment - Extend and Raise Deck

Lodgement Date 24-Dec-2019  
Decision Granted  
Decision Date 21-Jan-2020  
Current Status **CCC Issued**  
Previous Number  
*(Applications before 2007)*

### Building and Drainage Permits

[H-1980-87851](#) AAB19800346

414 - Construct Crossing, No Plan (Coulter). The permit was lodged on 28-Nov-1980.

[H-1981-89493](#) AAB19810367

2265 - Re-roof Dwelling, No Plan (Coulter). The permit was lodged on 17-Dec-1981.

[H-1989-104403](#) AAB19890368

5813 - Reinstate Fire Damage, (Muir). The permit was lodged on 14-Feb-1989.

[H-1992-112770](#) AAB19920595

PERMIT 5811 - Install Masport Potbelly, (Robinson). The permit was lodged on 29-May-1992.

[H-1917-133523](#) AAD19170025

A12521 - Plumbing and Connect Drainage to A319, (Aitken). The permit was lodged on 07-Nov-1917.

[H-1939-155379](#) AAD19390052

D4473 - Plumbing, (Henderson). The permit was lodged on 07-Feb-1939.

[H-1959-179048](#) AAD19590088

G2255 - Stormwater Drain Repairs, No Plan (Gaskins). The permit was lodged on 08-Dec-1959.

[H-1989-226014](#) AAD19890081

L4479 - Plumbing Alteration, (Muir). The permit was lodged on 24-Apr-1989.

### Building Notices

No Building Notices

### Resource Consents

There are no resource consents for this property.

### Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

### Alcohol Licensing

There are no records of any Alcohol Licences for this property.

### Health Licensing

There are no records of any Health Licences for this property.

## s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

## s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

### District Plan

Dunedin currently has two district plans, and as at 19<sup>th</sup> August 2024, the partially operative Dunedin City Second Generation District Plan (“The 2GP”) almost completely superceded the 2006 version of the District Plan. The exceptions where the 2GP has not yet replaced the 2006 Plan relate to two specific provisions and several areas still subject to appeal.

As a general principle, rules in the 2GP must be considered along with the rules of the Operative District Plan 2006, until such time as the rules of the 2GP become operative, or are treated as operative. The policies and objectives of both plans should also be considered.

The schedule of original appeals on the 2GP can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/appeals-received-on-the-2gp>.

The schedule of appeals on Variation 2 can be viewed at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan/plan-change-dis-2021-1-variation-2>

The 2GP is subject to change at any time. Plan Change 1 (Minor Improvements) to the 2GP was notified on Wednesday 20 November 2024. Rules that protect areas of significant indigenous vegetation or habitats of indigenous fauna, and that protect historic heritage, have immediate legal effect from notification of Plan Change 1. Once the initial submission period ends on 18 December 2024, rules that do not have submissions in opposition to them will be deemed operative. Please refer to our website for more information on Plan Change 1 at <http://www.dunedin.govt.nz/2gp-plan-change-1>.

You should check with the Council whether any changes have occurred since the date this LIM report was issued. **The information provided with this LIM on district plan requirements is applicable as at the date this LIM is issued:** there may be changes to the district plan rules following the release of this LIM that may affect this site and surrounding properties.

You should ensure that you consult the information and relevant planning maps in the Operative District Plan which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/district-plan-2006> and the 2GP which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

### OPERATIVE DISTRICT PLAN INFORMATION

#### Zoning

This property is zoned as follows in the District Plan.

*Zone*

RESIDENTIAL

### Noise

This property is located in a Noise Area where the noise limits outlined below apply. Rule 21.5.1(i)(b) also specifies a maximum noise limit of 75 dBA L<sub>max</sub> between 9.00 pm on any night and 7.00 am the following day measured at the boundary of the site or within any other site. Note that some activities have a resource consent or existing use rights that allow these limits to be exceeded. Some activities are also exempted from noise limits. Furthermore, the actual limits that apply will also depend on whether this site adjoins a Noise Area Boundary and whether there are Special Audible Characteristics. Refer to Section 21.5 of the District Plan for further details. Every occupier of land is also under a general duty to adopt the best practicable option to ensure that the emission of noise from land does not exceed a reasonable level.

#### Noise Zone

50Dt/35Nt dBA, 45SP dBA

### Road Hierarchy

The roads listed below adjoining this property are classified as either Collector, District Regional or National Roads in the District Plan Rooding Hierarchy. All other roads adjoining this property but not listed here are classified as Local Roads. Refer to Section 20 of the District Plan for more information.

#### Type

REGIONAL Taieri Rd

### SECOND GENERATION PLAN INFORMATION

#### Zoning

- General Residential 1 (refer Section 15, Residential)

#### Scheduled Items

- Nil

#### Overlay Zones

- Nil

#### Mapped Areas

- Road Classification Hierarchy (main roads within 30m of site)
  - Taieri Rd is a Strategic road

#### District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

### Building Information

#### **Restricted Building Work - Owner Builder Exemption**

Statutory declaration as to **owner-builder status** placed on property file (section 45, section 87A, and section 90D, Building Act 2004).

ABA-2019-1409

#### **Building Consent Reference:**

Independent Building Report(s)

An Independent Building Report was submitted to Council on **18-Jul-2000**.

#### **Drainage**

##### **Seepage**

A seepage incident has been lodged on this property.

Seepage Incident:53140 -12.0.2001 - Completed

Foul Sewer and Waste Water

#### **Restrictions near Council infrastructure**

There is Dunedin City Council water infrastructure located within the boundaries of this property, as shown on the attached reticulation plans.

Relevant deposited plans, certificates of title and memoranda of transfer at Land Information New Zealand ([www.linz.govt.nz](http://www.linz.govt.nz)) should be reviewed for information relating to any existing registered easements. However, as the Local Government Act 2002 (LGA) provides statutory rights for public infrastructure, easements are not always registered.

No building or structure shall be constructed within 2.5 metres of any Council-owned underground infrastructure, or as specified on any registered easement, without the written approval of the Council.

Infrastructure shall not be damaged or otherwise interfered with. Prior to commencing any works within the subject property, all Council-owned structures, mains and service pipes, and associated fittings are to be located on-site and, if necessary, protected.

The Council can enter the land to inspect, alter, renew, repair or clean its infrastructure under the LGA. For planned works, reasonable notice will be given.

Within new land subdivisions the Council requires an easement in gross over public water supply infrastructure. The easement in gross must be a minimum of 3 metres wide, centred on the as-built position, and made in accordance with the Dunedin Code of Subdivision and Development 2010: Section 6.3.10.3 (Water).

Planting near infrastructure should be avoided, particularly large trees or other species whose roots could cause damage

### Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## Planning

### Resource Consents within 50m of 136 Taieri Road Dunedin

#### [5017550 138 Taieri Road Dunedin](#)

[RMA-1998-361709](#) Resource Management Act (Historical Data) ERECT TEMPORARY SIGNS AT VARIOUS ADDRESSES FOR HOUSE AND GARDEN SHOW (Non-Notified - Non Complying). The outcome was Granted on 12/02/1998.

#### [5017552 132 Taieri Road Dunedin](#)

[LUC-2011-3](#) Land Use Consent create a driveway including the construction of a retaining wall and associated earthworks. The outcome was Granted on 02/02/2011.

#### [5017567 7 Jellicoe Crescent Dunedin](#)

[RMA-2006-370355](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT BETWEEN 11 & 13 JELICOE CRESCENT AND CREATION OF RIGHTS OF WAY OVER 7, 9 & 11 JELICOE CRESCENT (Non-Notified - Non Complying). The outcome was Granted on 31/07/2006.

#### [5017568 9 Jellicoe Crescent Dunedin](#)

[RMA-2006-370355](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT BETWEEN 11 & 13 JELICOE CRESCENT AND CREATION OF RIGHTS OF WAY OVER 7, 9 & 11 JELICOE CRESCENT (Non-Notified - Non Complying). The outcome was Granted on 31/07/2006.

#### [5019810 133B Taieri Road Dunedin](#)

[RMA-2000-364049](#) Resource Management Act (Historical Data) REVERT FORMER DOCTORS/CHEMIST BUILDINGS TO THREE ONE BEDROOM RESIDENTIAL UNITS (Non-Notified - Non Complying). The outcome was Granted on 05/07/2000.

[RMA-1961-353595](#) Resource Management Act (Historical Data) ERECT SURGERY / App: U F S DISPENSARY (Notified - Non Complying). The outcome was Granted on 10/10/1961.

#### [5019816 141 Taieri Road Dunedin](#)

[RMA-1995-352081](#) Resource Management Act (Historical Data) ERECT CARPORT Ownr:MILLER (Non-Notified - Non Complying). The outcome was Granted on 22/04/1987.

#### [5019824 8 Chapel Street Dunedin](#)

[RMA-1986-351920](#) Resource Management Act (Historical Data) ERECT GARAGE Ownr:HODGE (Non-Notified - Non Complying). The outcome was Granted on 26/06/1986.

**[5019864 127 Taieri Road Dunedin](#)**

[LUC-2014-106](#) Land Use Consent erect temporary signage at various sites for a religious event. The outcome was Granted on 01/04/2014.

**[5113871 11 Jellicoe Crescent Dunedin](#)**

[POL-2011-11](#) Planning Other Legislation right of way easement over Lot 2 DP 376337 in favour of Lot 1 DP 376337. The outcome was Granted on 08/03/2011.

[RMA-2006-370355](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT BETWEEN 11 & 13 JELlicOE CRESCENT AND CREATION OF RIGHTS OF WAY OVER 7, 9 & 11 JELlicOE CRESCENT (Non-Notified - Non Complying). The outcome was Granted on 31/07/2006.

**[5113872 13 Jellicoe Crescent Dunedin](#)**

[POL-2011-11](#) Planning Other Legislation right of way easement over Lot 2 DP 376337 in favour of Lot 1 DP 376337. The outcome was Granted on 08/03/2011.

[RMA-2006-370355](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT BETWEEN 11 & 13 JELlicOE CRESCENT AND CREATION OF RIGHTS OF WAY OVER 7, 9 & 11 JELlicOE CRESCENT (Non-Notified - Non Complying). The outcome was Granted on 31/07/2006.

**[5131255 130A Taieri Road Dunedin](#)**

[LUC-2019-529](#) Land Use Consent land use consent for existing residential units on new undersized Lots 1, 2 and 3 SUB-2019-126; Legally under-width right of way serving Lots 1, 2 and 3 SUB-2019-126; and Insufficient distance between the residential units of Lots 2 and 3 SUB-2019-126 and the right of ways. The outcome was Granted on 05/11/2019.

[SUB-2019-126](#) Subdivision Consent subdivision consent for three-lot fee-simple subdivision of existing residential units. The outcome was Granted on 05/11/2019.

[RMA-1985-354358](#) Resource Management Act (Historical Data) ERECT 2 BEDROOM FLAT AS 2ND UNIT (Notified - Non Complying). The outcome was Granted on 18/07/1985.

[RMA-1986-351825](#) Resource Management Act (Historical Data) NEW DWELLING CLOSER THAN 2.5M FROM BOUNDARY DISPENSATION 325 (Non-Notified - Non Complying). The outcome was Granted on 31/01/1986.

[RMA-1990-350567](#) Resource Management Act (Historical Data) Reciprocal Rights of Way for OT8C/225 and OT8C/226 Ownr:FRASER / App: N.J. Dunckley PO Box 5045 (Non-Notified - Non Complying). The outcome was Granted on 26/02/1990.

**[5131256 130B Taieri Road Dunedin](#)**

[LUC-2019-529](#) Land Use Consent land use consent for existing residential units on new undersized Lots 1, 2 and 3 SUB-2019-126; Legally under-width right of way serving Lots 1, 2 and 3 SUB-2019-126; and Insufficient distance between the residential units of Lots 2 and 3 SUB-2019-126 and the right of ways. The outcome was Granted on 05/11/2019.

[SUB-2019-126](#) Subdivision Consent subdivision consent for three-lot fee-simple subdivision of existing residential units. The outcome was Granted on 05/11/2019.

[RMA-1985-354358](#) Resource Management Act (Historical Data) ERECT 2 BEDROOM FLAT AS 2ND UNIT (Notified - Non Complying). The outcome was Granted on 18/07/1985.

[RMA-1986-351825](#) Resource Management Act (Historical Data) NEW DWELLING CLOSER THAN 2.5M FROM BOUNDARY DISPENSATION 325 (Non-Notified - Non Complying). The outcome was Granted on 31/01/1986.

[RMA-1990-350567](#) Resource Management Act (Historical Data) Reciprocal Rights of Way for OT8C/225 and OT8C/226 Ownr:FRASER / App: N.J. Dunckley PO Box 5045 (Non-Notified - Non Complying). The outcome was Granted on 26/02/1990.

**[5131257 128 Taieri Road Dunedin](#)**

[LUC-2019-529](#) Land Use Consent land use consent for existing residential units on new undersized Lots 1, 2 and 3 SUB-2019-126; Legally under-width right of way serving Lots 1, 2 and 3 SUB-2019-126; and Insufficient distance between the residential units of Lots 2 and 3 SUB-2019-126 and the right of ways. The outcome was Granted on 05/11/2019.

[SUB-2019-126](#) Subdivision Consent subdivision consent for three-lot fee-simple subdivision of existing residential units. The outcome was Granted on 05/11/2019.

[RMA-1989-354624](#) Resource Management Act (Historical Data) CONVERT BUILDING FOR USE AS RESIDENTIAL DWELLING (Notified - Non Complying). The outcome was Granted on 19/12/1989.

[RMA-1990-350567](#) Resource Management Act (Historical Data) Reciprocal Rights of Way for OT8C/225 and OT8C/226 Ownr:FRASER / App: N.J. Dunckley PO Box 5045 (Non-Notified - Non Complying). The outcome was Granted on 26/02/1990.

**[5132964 126A Taieri Road Dunedin](#)**

[LUC-2023-257](#) Land Use Consent over-dense residential activity, with under-width access located within 1.0m of a new dwelling; units with height in relation to boundary contravention. The outcome was Granted on 03/08/2023.

[SUB-2023-76](#) Subdivision Consent subdivision of four titles into four lots. The outcome was Granted on 03/08/2023.

[LUC-2020-376/A](#) Land Use Consent over-dense residential activity, with under-width access located within 1.0m of the new dwelling; units with height in relation to boundary contravention. The outcome was s127 Upheld on 09/11/2021.

[SUB-2020-118/A](#) Subdivision Consent subdivision of three titles into three new sites. The outcome was s127 Upheld on 09/11/2021.

[SUB-2020-118](#) Subdivision Consent three Lot Residential subdivision. The outcome was Granted on 09/09/2020.

[LUC-2020-376](#) Land Use Consent residential activity, access, bulk and location associated with SUB-2020-118. The outcome was Granted on 09/09/2020.

[RMA-1991-351048](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT SUBDIVISION BETWEEN CT 350/39 AND CT 242/144 Ownr:TOZER / App: M.D. Body PO Box 235 (Non-Notified - Non Complying). This consent has since Lapsed.

**[5132965 126B Taieri Road Dunedin](#)**

[LUC-2023-257](#) Land Use Consent over-dense residential activity, with under-width access located within 1.0m of a new dwelling; units with height in relation to boundary contravention. The outcome was Granted on 03/08/2023.

[SUB-2023-76](#) Subdivision Consent subdivision of four titles into four lots. The outcome was Granted on 03/08/2023.

[LUC-2020-376/A](#) Land Use Consent over-dense residential activity, with under-width access located within 1.0m of the new dwelling; units with height in relation to boundary contravention. The outcome was s127 Upheld on 09/11/2021.

[SUB-2020-118/A](#) Subdivision Consent subdivision of three titles into three new sites. The outcome was s127 Upheld on 09/11/2021.

[SUB-2020-118](#) Subdivision Consent three Lot Residential subdivision. The outcome was Granted on 09/09/2020.

[LUC-2020-376](#) Land Use Consent residential activity, access, bulk and location associated with SUB-2020-118. The outcome was Granted on 09/09/2020.

[RMA-1991-351048](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT SUBDIVISION BETWEEN CT 350/39 AND CT 242/144 Ownr:TOZER / App: M.D. Body PO Box 235 (Non-Notified - Non Complying). This consent has since Lapsed.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

### **Accuracy of Boundaries**

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

### **Access to Site**

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

### **Heritage New Zealand Pouhere Taonga Act 2014**

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: [infodeepsouth@heritage.org.nz](mailto:infodeepsouth@heritage.org.nz); 03 477 9871.

### **Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011**

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at [www.mfe.govt.nz](http://www.mfe.govt.nz).) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.



If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

### 3 Waters

#### Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website [www.dunedin.govt.nz](http://www.dunedin.govt.nz).

### Transport

**DCC Transport has carried out a desktop inspection of this property and found the following:**

**Non-compliant vehicle crossing – not sealed for the first 5 metres.**

To meet current Council standards the vehicle crossing would be required to be hard surfaced from the edge of the carriageway to 5m inside the property boundary. This requirement is to prevent debris migrating from inside the property out onto the footpath and/or carriageway. Council accepts this situation but accepts no liability and points out that maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

**Encroachment on road reserve – privately owned vegetation over footpath.**

It appears that the hedge at this property's frontage is encroaching on the footpath. Private vegetation is required to be maintained so that it does not interfere with footpath users or extend over your property boundary. Council accepts this situation but accepts no liability. Maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

The following Transport information is attached to this document:

- 136 Taieri Road - Vegetation Encroachment letter.docx, date 16/04/2025
- 136 Taieri Road - Formal Vegetation Encroachment letter.docx; date 11/06/2025

**Private stormwater lateral.**

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

## Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

### Consent, Permit, Licence & Complaint types

|     |  |
|-----|--|
| AAB | DCC Building permit  |
| AAD | DCC Drainage permit  |
| AAG | Green Island drainage permit                                     |
| AAH | Hyde permit  |
| AAK | St Kilda permit  |
| AAM | Mosgiel permit   |
| AAP | Port Chalmers permit   |
| AAS | Silverpeaks permit   |
| AAT | Maniototo permit   |
| ABA | Application Building Act 1991                                    |
| AMD | Amendment to a Building Consent                                  |
| BC  | Building Consent   |
| BCC | Building Compliance Certificate - Sale and Supply of Alcohol Act |
| BCM | Building Complaint   |
| CER | Certifier  |
| COA | Certificate of Acceptance  |
| DGL | Dangerous Goods Licensing  |
| ENV | Health complaint   |
| HTH | Health licence   |
| LIQ | Alcohol licence  |
| NTF | Notice to Fix  |
| NTR | Notice to Rectify  |
| PIM | Project Information Memorandum                                   |
| POL | Planning Other Legislation                                       |
| RMA | Resource Management Act - Resource consent                       |
| RMC | Resource consent complaint                                       |
| WOF | Building Warrant of Fitness                                      |

### Terms used in Permits & Consents

|        |                                 |
|--------|---------------------------------|
| ALT    | Alteration                      |
| ADD    | Addition                        |
| BD D/C | Board drain in common           |
| BLD    | Building                        |
| BLDNG  | Building                        |
| BT     | Boundary trap                   |
| B/T    | Boiler tube                     |
| CCC    | Code Compliance Certificate     |
| DAP    | Drainage from adjacent property |
| DGE    | Drainage                        |
| DIC    | Drain in common                 |
| DR     | Drainage                        |
| DWG    | Dwelling                        |
| FS     | Foul sewer                      |

|     |                         |
|-----|-------------------------|
| HEA | Heater                  |
| ICC | Interim Code Compliance |
| MH  | Manhole                 |
| PL  | Plumbing                |
| PLB | Plumbing                |
| PTE | Private                 |
| SIS | Sewer in section        |
| WC  | Water course            |
| WT  | Water table             |
| SW  | Stormwater              |

### General terms

RDMS Records and Document Management System

## Appendices



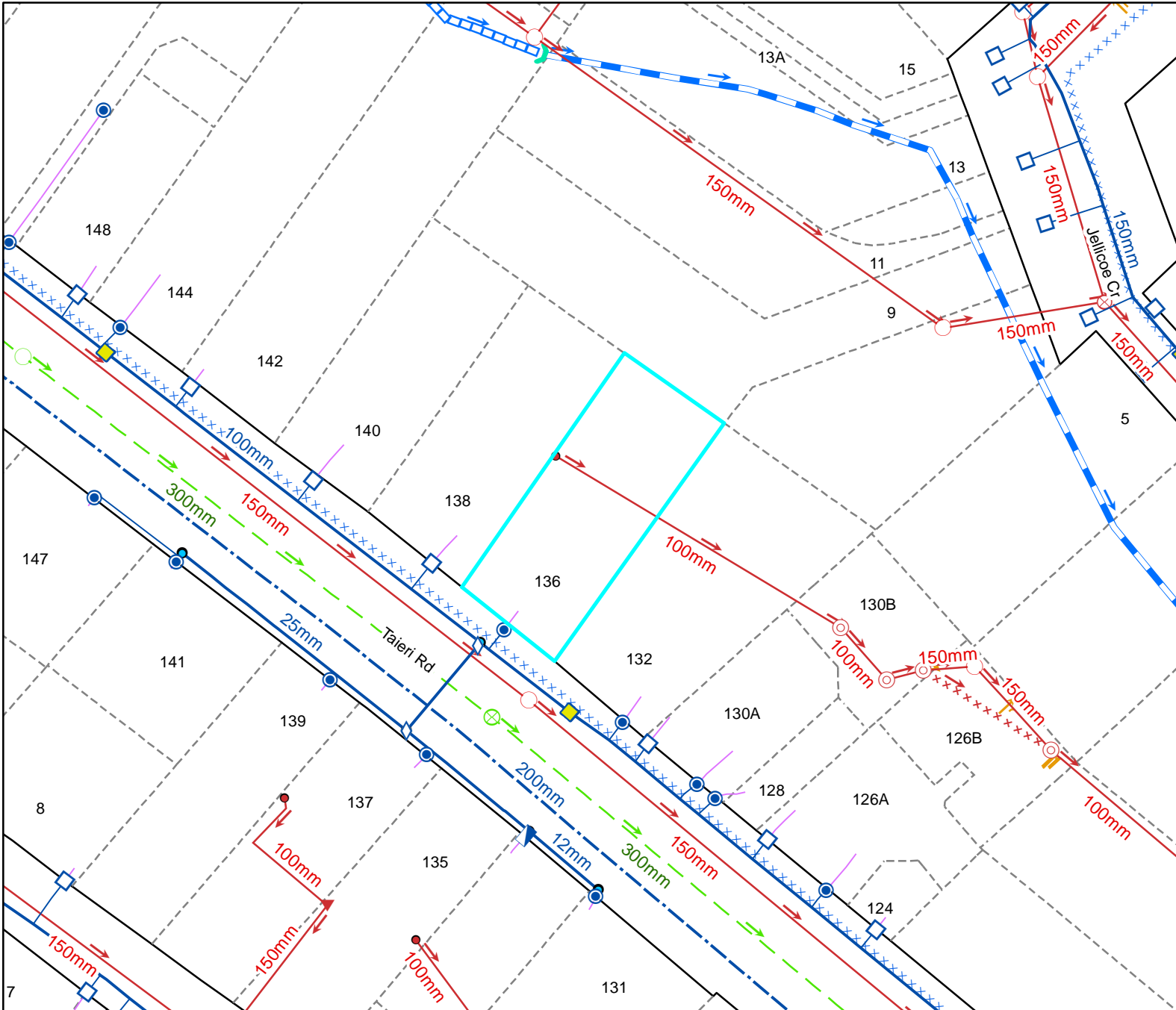
# Photographic Map

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 13/08/2025  
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PARCEL LINES CAN VARY FROM  
 LEGAL PARCEL BOUNDARIES  
 This map is for illustration purposes only  
 and is not accurate to surveying, engineering  
 or orthographic standards. Every effort  
 has been made to ensure correctness and  
 timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys  
 Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ  
 2013 Urban and rural photography Jan/Feb 2013.  
 Copyright DCC. CC BY 3.0 NZ.  
 2006/2007 Urban photography March 2007,  
 copyright NZAM. Rural photography March  
 2006, copyright Terralink International Ltd.



### Legend

| Water Supply |                                | Water Non-Return Valve |                                |
|--------------|--------------------------------|------------------------|--------------------------------|
|              | Manifold Box                   |                        | Water Non-Return Valve         |
|              | Water Meter                    |                        | Water Pump Station             |
|              | Toby                           |                        | Water Bore                     |
|              | Meter without manifold box     |                        | Water Treatment Plant          |
|              | Retic Flow Meter               |                        | Water Storage Tank             |
|              | Combination Meter              |                        | Supply Main                    |
|              | Manifold Box With Restrictor   |                        | Trunk Main                     |
|              | Water Valve - Zone             |                        | Disused                        |
|              | Non Return Valve               |                        | Reticulation                   |
|              | Water Valve - Gate             |                        | Rider                          |
|              | Water Valve - Sluice           |                        | Scour                          |
|              | Water Hydrant                  |                        | Water Service Lateral          |
|              | Water Backflow Preventor - RPZ |                        | Water Fire Service Lateral     |
|              |                                |                        | Water Critical Service Lateral |
|              |                                |                        | Water Zone Boundary            |
|              |                                |                        | Water Reservoir                |
|              |                                |                        | Redundant Water Main           |

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

| Foul Sewerage |                             | Pump Station |                                |
|---------------|-----------------------------|--------------|--------------------------------|
|               | Standard Manhole            |              | Pump Station                   |
|               | Valve Chamber (pressurised) |              | Treatment Plant                |
|               | Boundary Kit                |              | Vent                           |
|               | Non-Return Valve            |              | Foul Sewer Node                |
|               | Pump Station Domestic       |              | Foul Drains in Common (public) |
|               | Drop Manhole                |              | Sewer                          |
|               | Inspection Manhole          |              | Trunk Sewer                    |
|               | Inspection Opening          |              | Vent Line                      |
|               | Lamphole                    |              | Rising Main                    |
|               | Outlet                      |              | Redundant Foul Sewer Pipe      |

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

| Stormwater |                                   | Roading Bubble-Up Tank |                           |
|------------|-----------------------------------|------------------------|---------------------------|
|            | SW Bubble-up Tank                 |                        | Roading Bubble-Up Tank    |
|            | SW Drop Manhole                   |                        | Roading Mudtank           |
|            | SW Insp Chamber and Grating Inlet |                        | Stormwater Main           |
|            | SW Inspection Manhole             |                        | Stormwater Trunk Main     |
|            | SW Inspection Opening             |                        | DCC Open Channel          |
|            | SW Lamphole                       |                        | Piped WC                  |
|            | SW Mudtank Inlet                  |                        | Open WC                   |
|            | SW Outlet                         |                        | Culvert                   |
|            | SW Pipe Inlet                     |                        | Stormwater Mudtank Pipe   |
|            | SW Pressure Manhole               |                        | Redundant Stormwater Main |
|            | SW Standard Manhole               |                        | SW Sump                   |
|            | SW Stormwater Node                |                        | SW Pump Station           |

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

| General |                             | Cadastral |                          |
|---------|-----------------------------|-----------|--------------------------|
|         | DCC Water & Waste Structure |           | Parcel                   |
|         | Railway Centreline          |           | Road/Rail                |
|         |                             |           | Motorway Parcels         |
|         |                             |           | Strata                   |
|         |                             |           | Easment (where recorded) |

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



# Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:  
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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES  
This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ  
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.  
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.

DUNEDIN DRAINAGE AND SEWERAGE BOARD

APPLICATION No. A/12521

DATE 7/11/74

HOUSE CONNECTION PLAN.

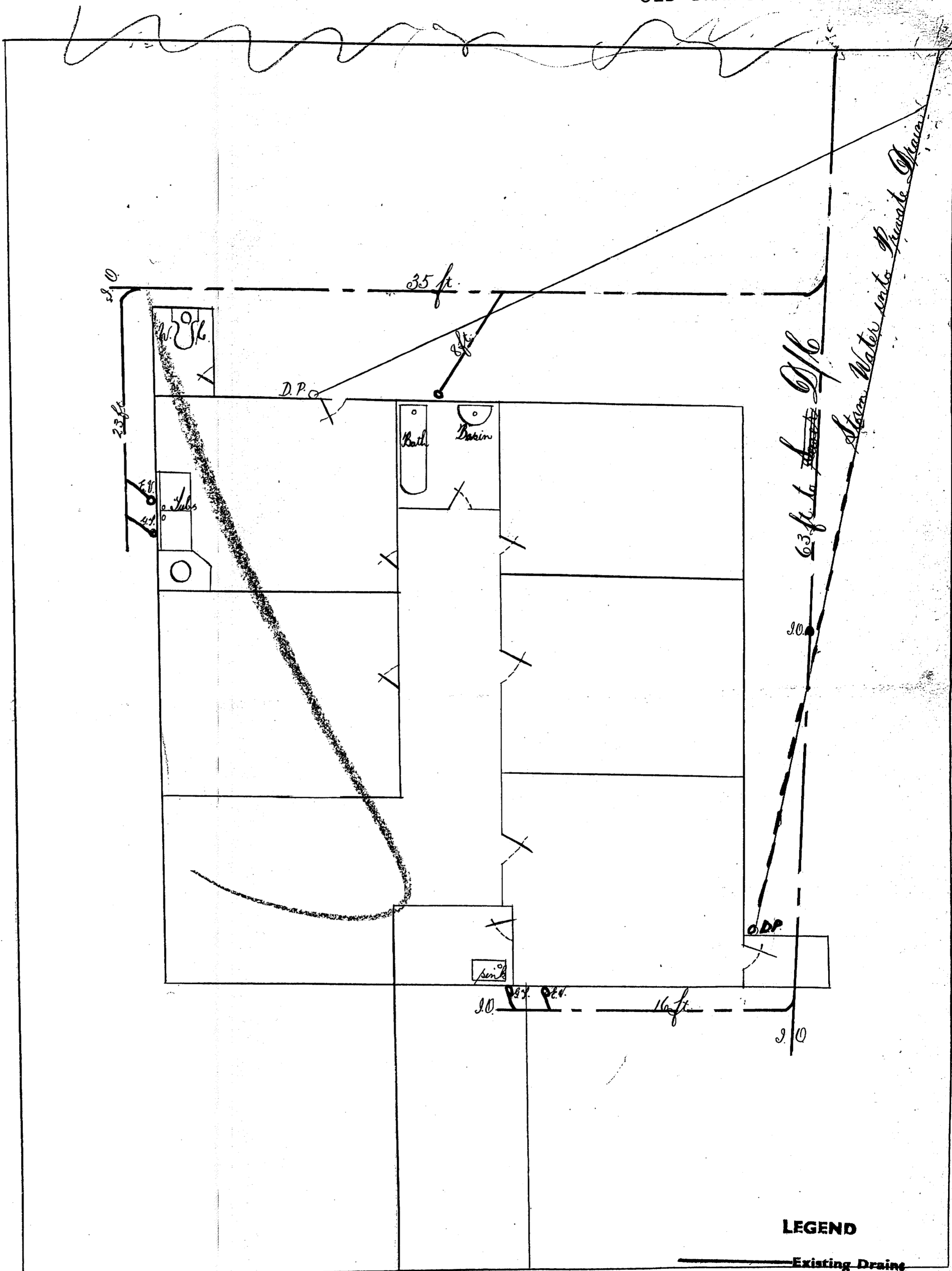
SCALE:  $\frac{1}{8}$  in. to a Foot.

NEW SEWAGE DRAINS: RED  
STORM WATER: DOTTED BLACK  
OLD DRAINS: FULL BLACK

DUNEDIN CITY COUNCIL



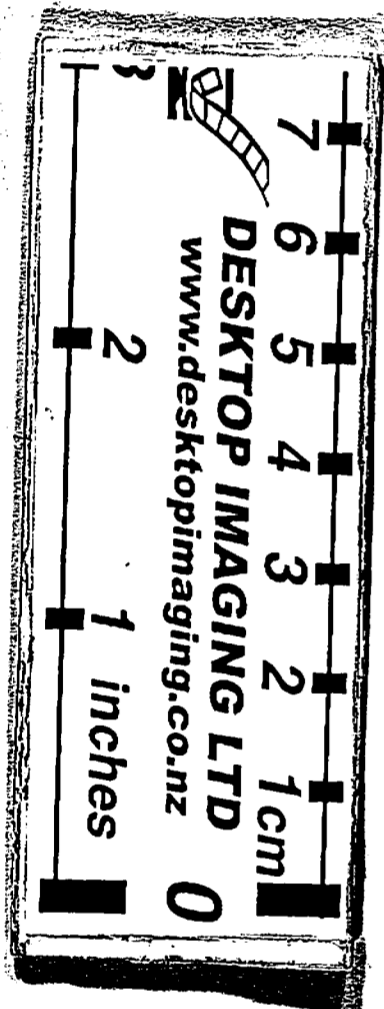
DPB002007



LEGEND

- Existing Drain
- New Foul Drains
- New Stormwater Drains

Binding margin to be left blank



Owner Mrs. A. Aitken

Street 14 Nth Lauri Rd,

Locality Roslyn

Block Malden

Section 2

Allotment \_\_\_\_\_

Signature of Drainer Morrison & Warren



DUNEDIN DRAINAGE AND SEWERAGE BOARD

# HOUSE CONNECTION PLAN.

APPLICATION NO. *D/4473*

DATE *February 7 1939*

SCALE  $\frac{1}{8}$  in. to a foot

NEW SEWERAGE DRAINS: RED

STORMWATER: DOTTED BLACK

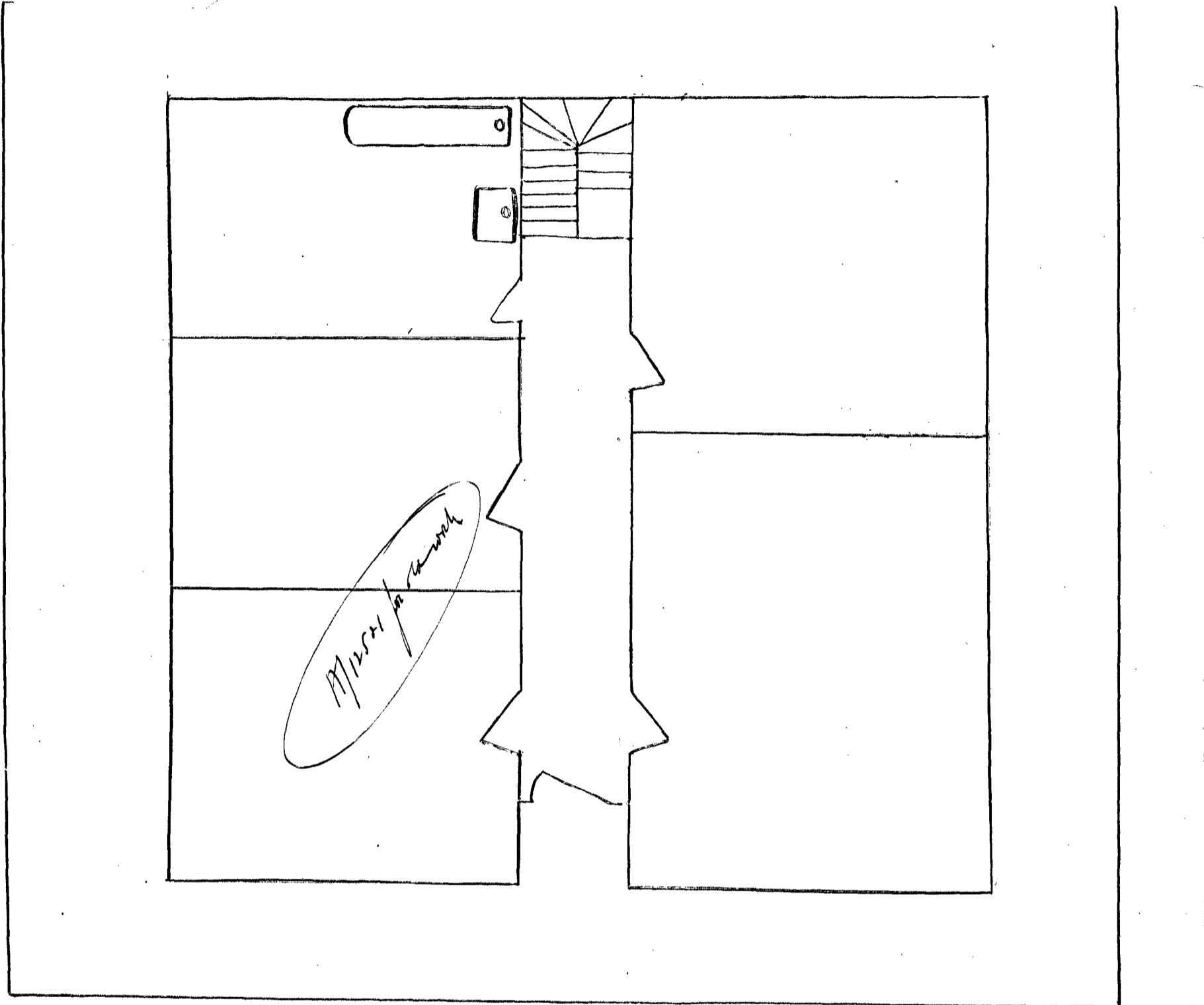
OLD DRAINS: FULL BLACK

DUNEDIN CITY COUNCIL



06058

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*TRIERI RD*

### LEGEND

- Existing Drains
- New Foul Drains
- New Stormwater Drain

Owner *Miss Barbara Henderson*

Block *Malden*

Street *136 Trieri Road*

Section

Locality *Haikorai*

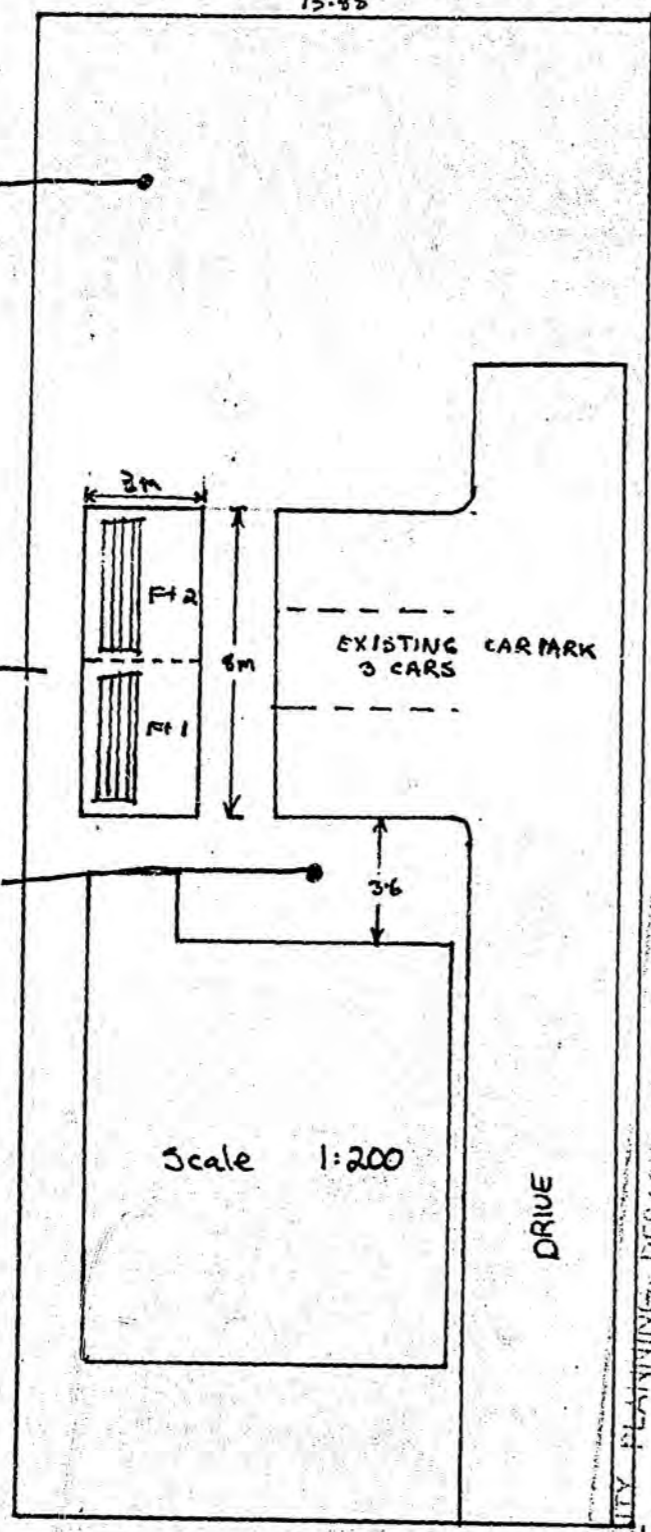
Allotment *2 Plan 1508*

Signature of Drainer *O. R. White*

AMENITY OPEN SPACE  
F1 + 2 COMBINED  
AREA: 172 m<sup>2</sup>.

SERVICE COURTS  
F1 + F2 12m<sup>2</sup> EACH

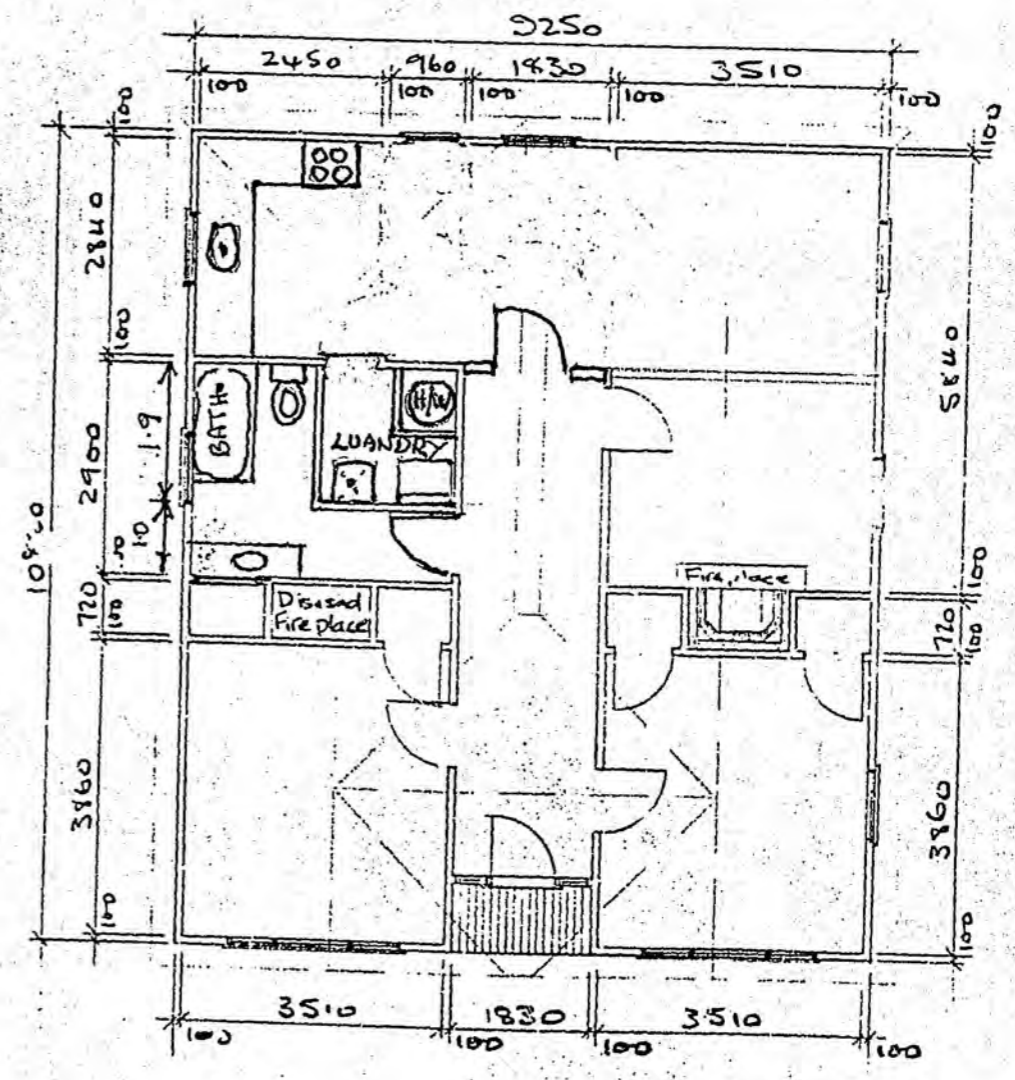
ADDITIONAL AMENITY  
OPEN SPACE F1  
27m<sup>2</sup>



CITY PLANNING DEPARTMENT 3943  
Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown hereon, and contained in the specification attached hereto, and subject to

8/2/89

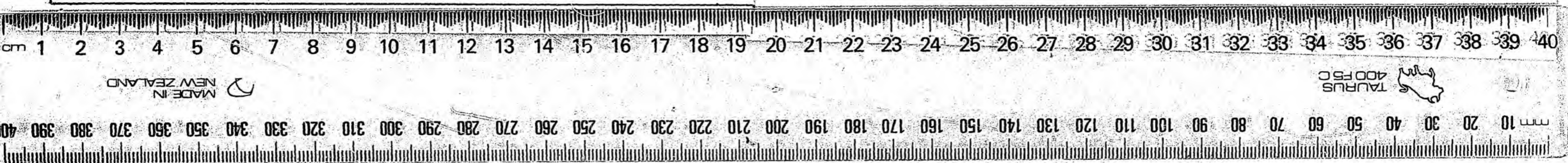
S J. JA MUIR  
136 TAHERI RD DN. **5813**  
AMENITY, SERVICE, CAR PARKING AREAS



UPPER FLOOR PLAN  
AMENDED

Amended Plan and/or  
Specification Received  
by *John Muir*  
Date 1-3-89

**5813**



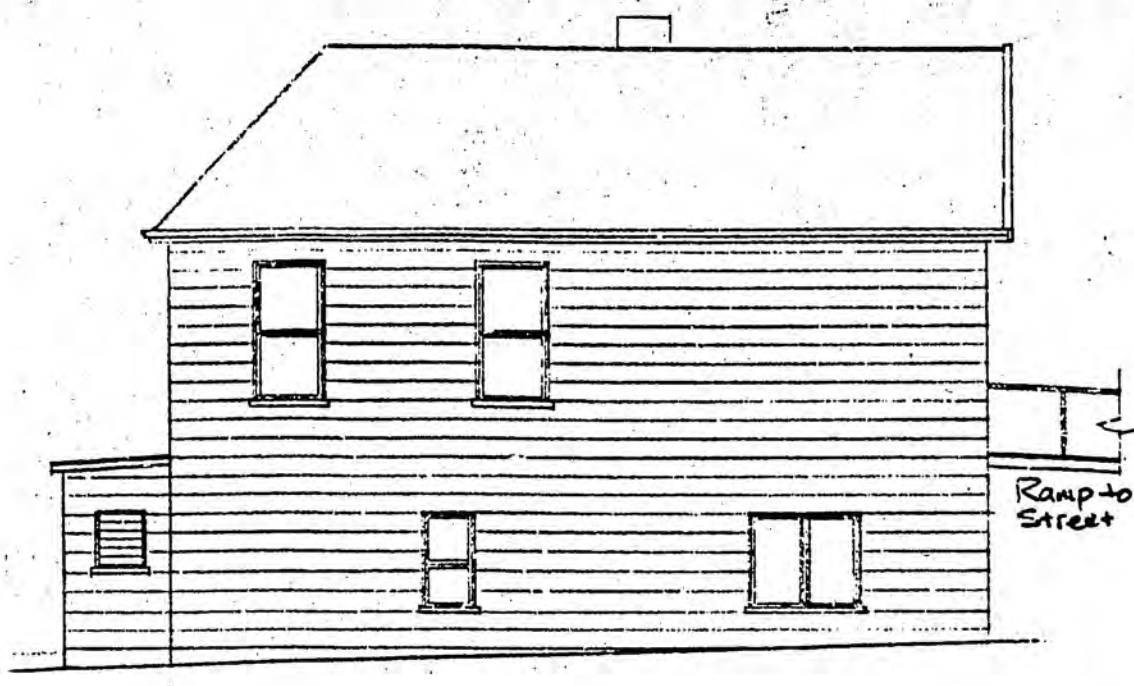
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TAURUS

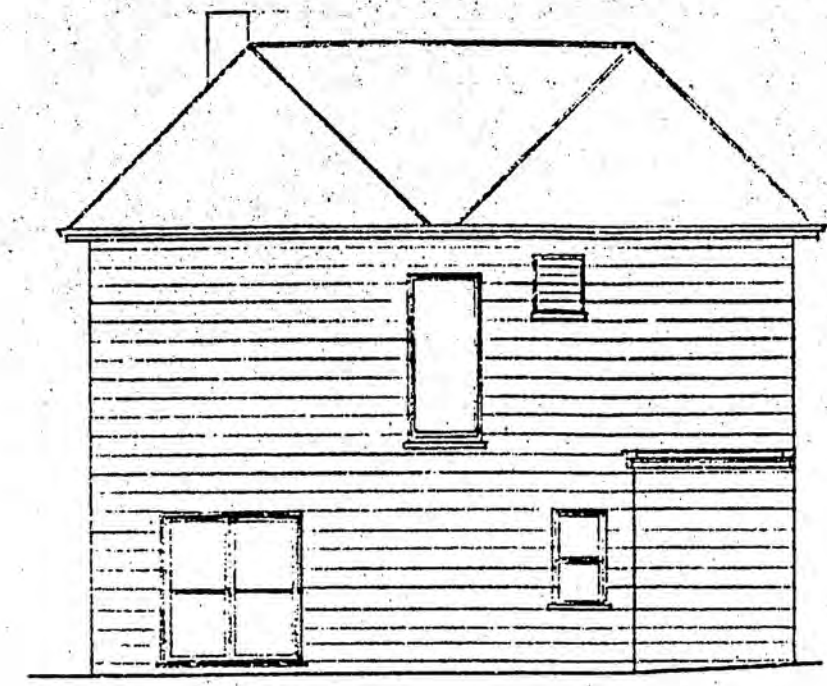
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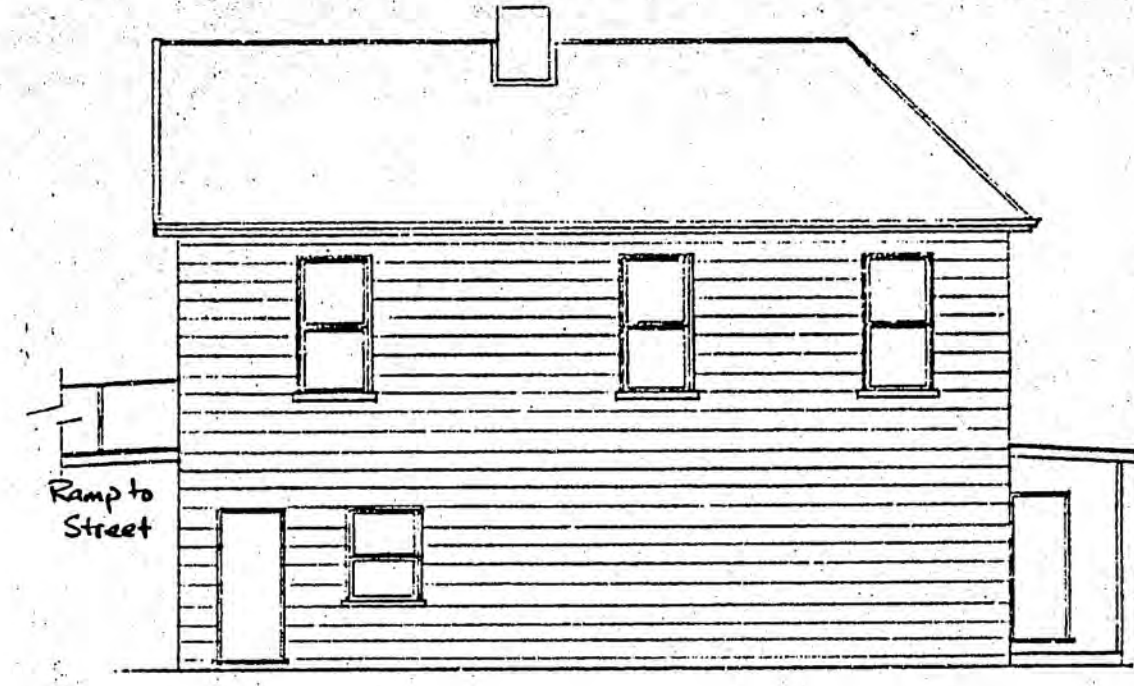
FRONT ELEVATION



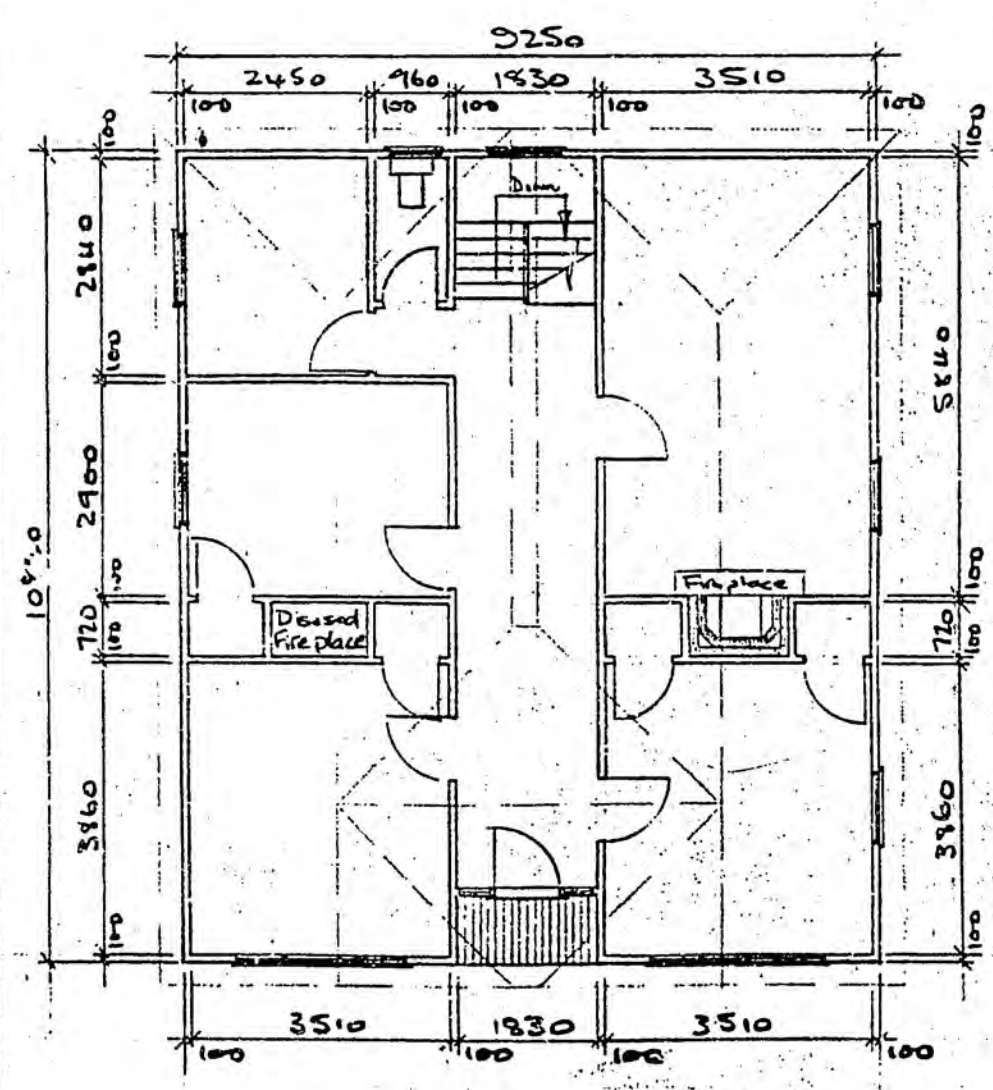
SIDE ELEVATION



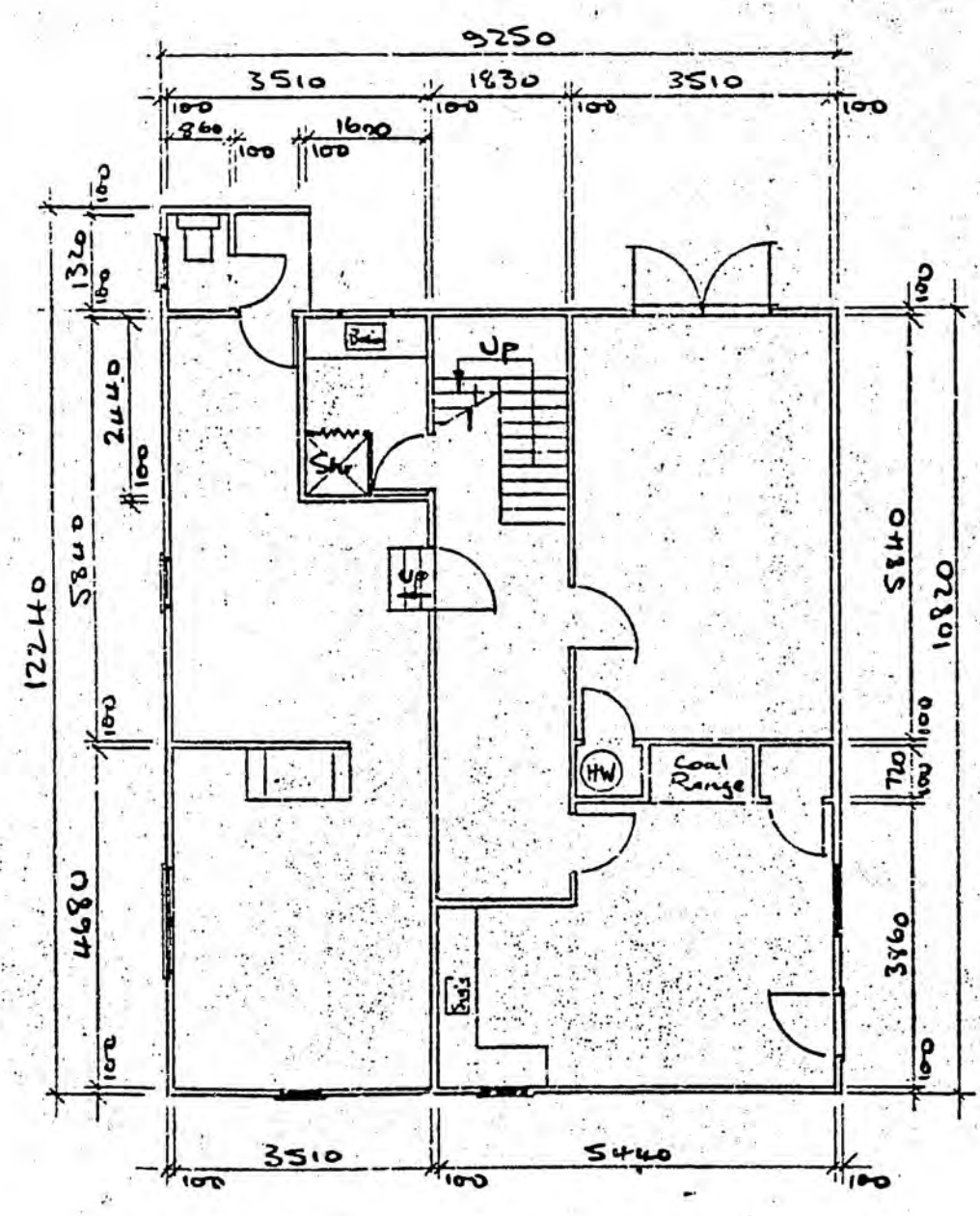
REAR ELEVATION



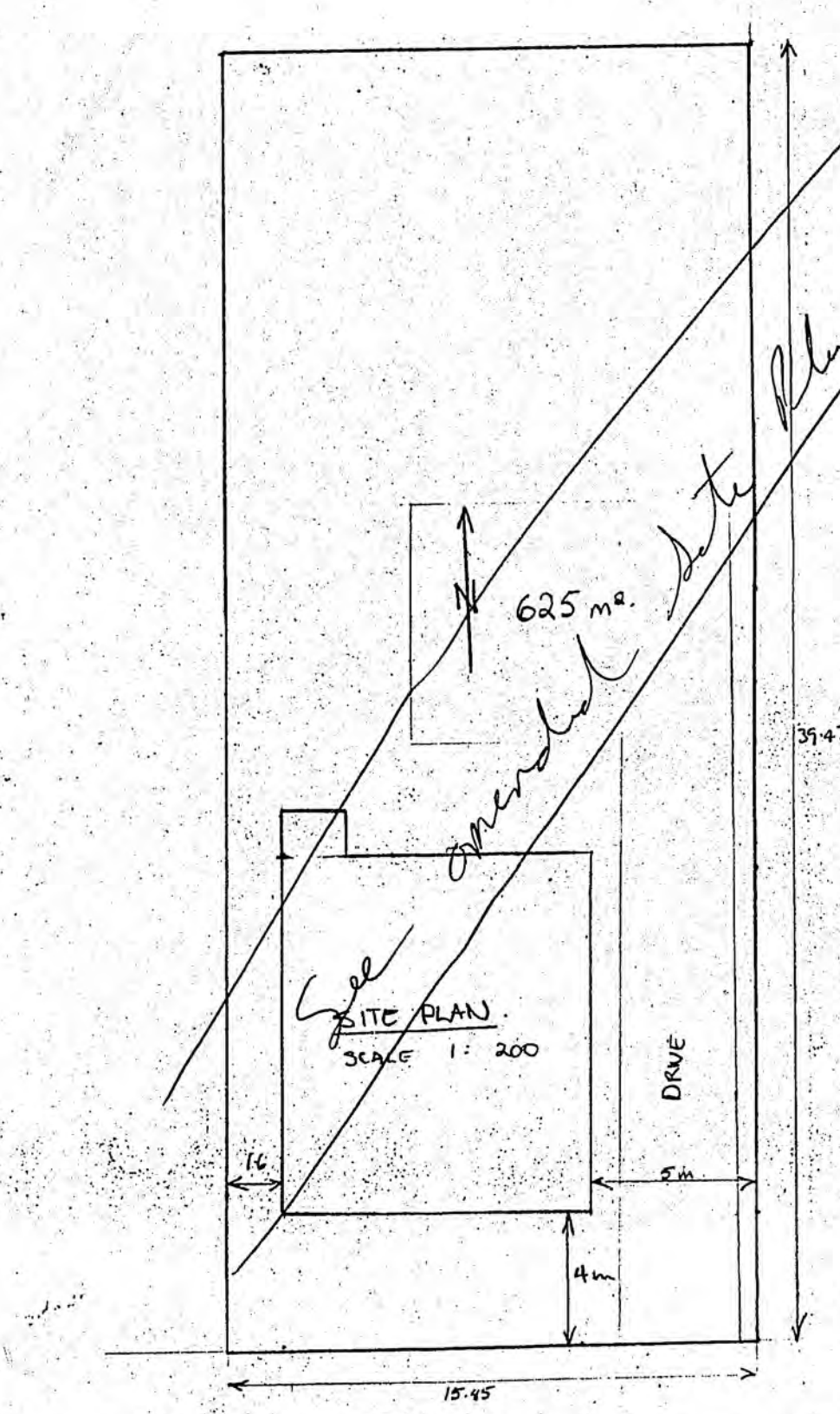
SIDE ELEVATION



UPPER FLOOR PLAN



GROUND FLOOR PLAN



Scale 1:100

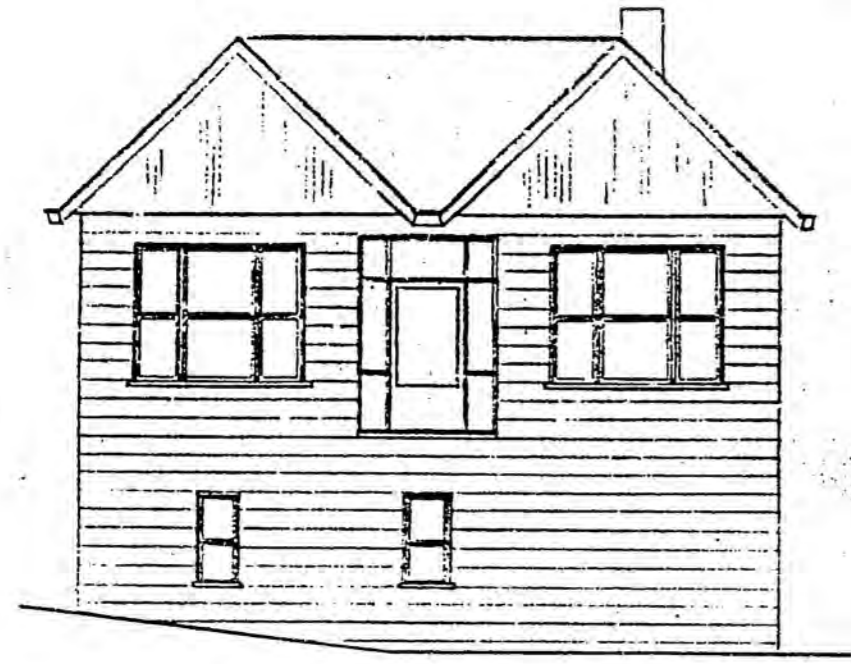
S813

DUNEDIN CITY COUNCIL  
 Copy of Approved Plan  
 and/or Specification  
 TO BE RETAINED ON WORKS  
 AND PRODUCED ON REQUEST  
 OF BUILDING INSPECTOR.  
 DATE 14/2/89  
 J. Bellver FOR CITY ENGINEER

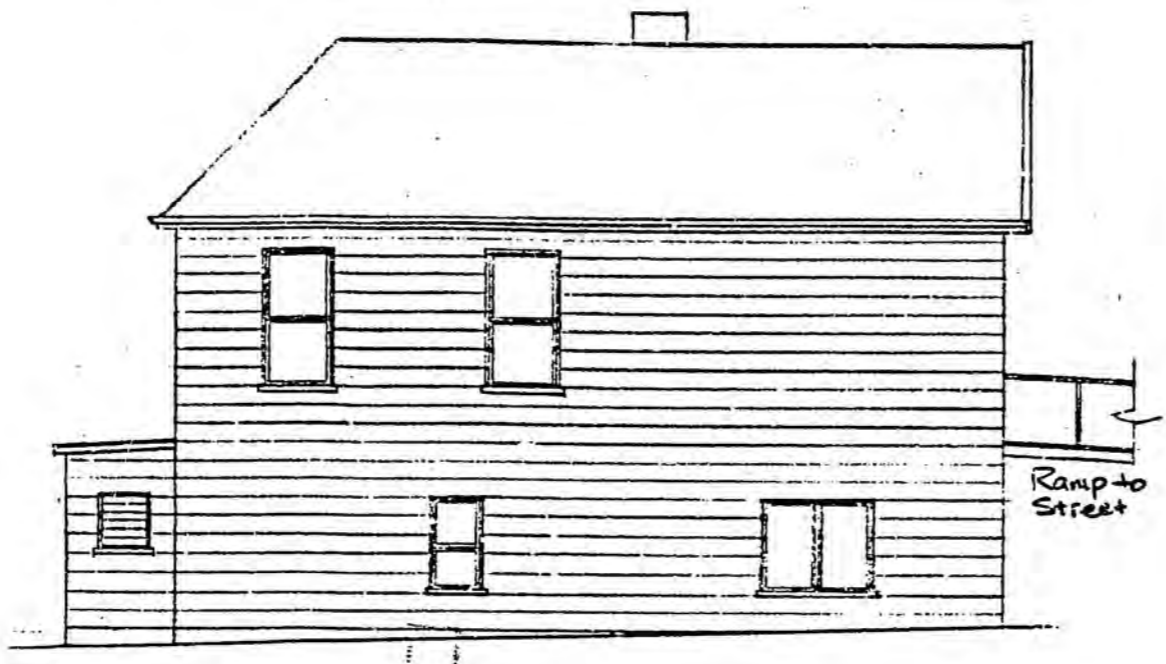
A separate application to the Drainage Board for plumbing and/or drainage work is required. Such work shall comply fully with the Plumbers, Gasfitters and Drainlayers Act 1976, Plumbers, Gasfitters and Drainlayers Regulations 1977, Drainage and Plumbing Regulations 1978, and the Board's By-laws.  
 Stormwater to be discharged to \_\_\_\_\_

SANITARY FITTINGS 90 EXISTING  
 FOUR DRAIN  
 17-2-89

SJC: J A MUIR  
 136 TAIRERI RD DN  
 REPAIR OF FIRE DAMAGE AND  
 CONVERSION TO TWO FLATS (SHEET 2)



FRONT ELEVATION



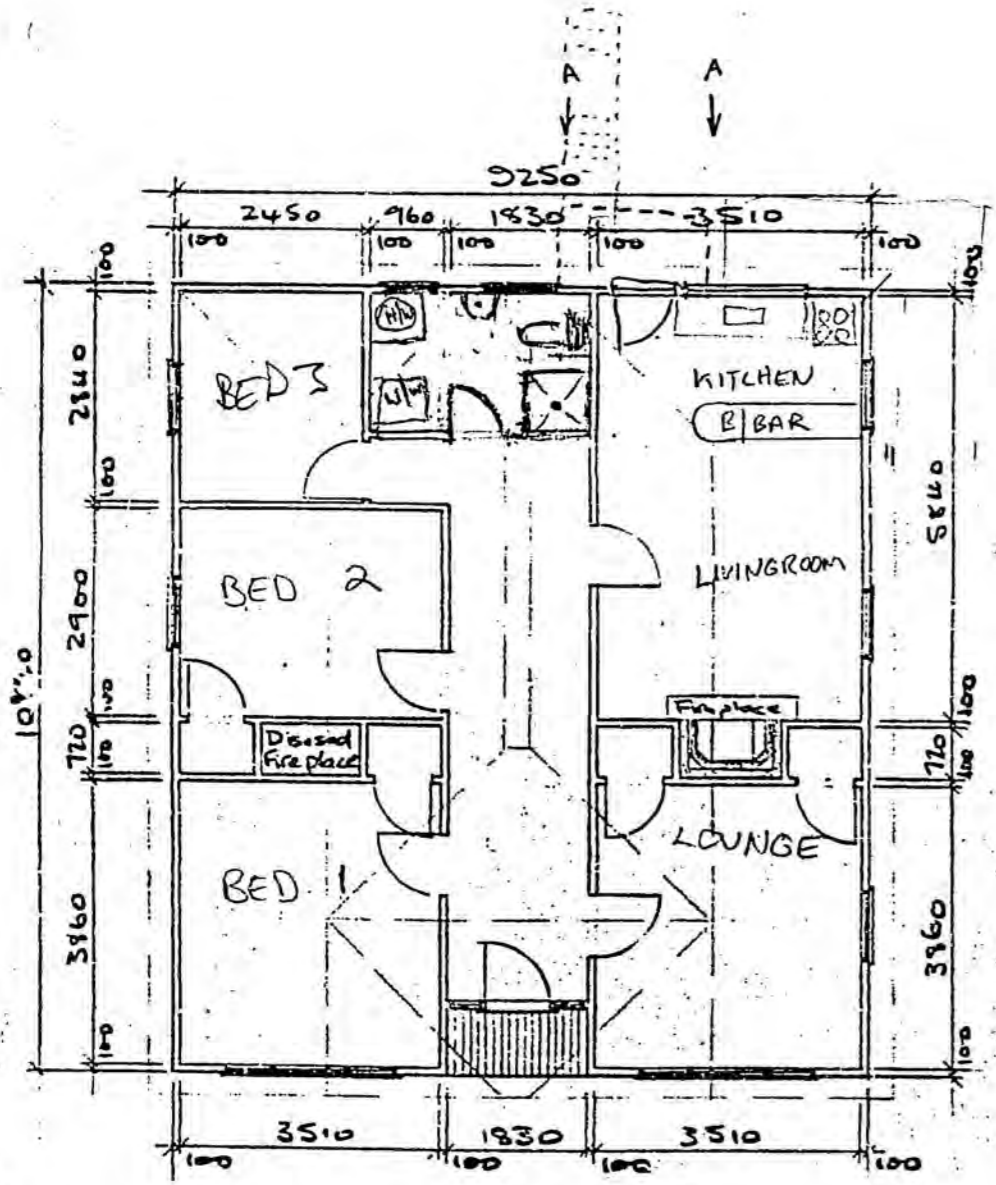
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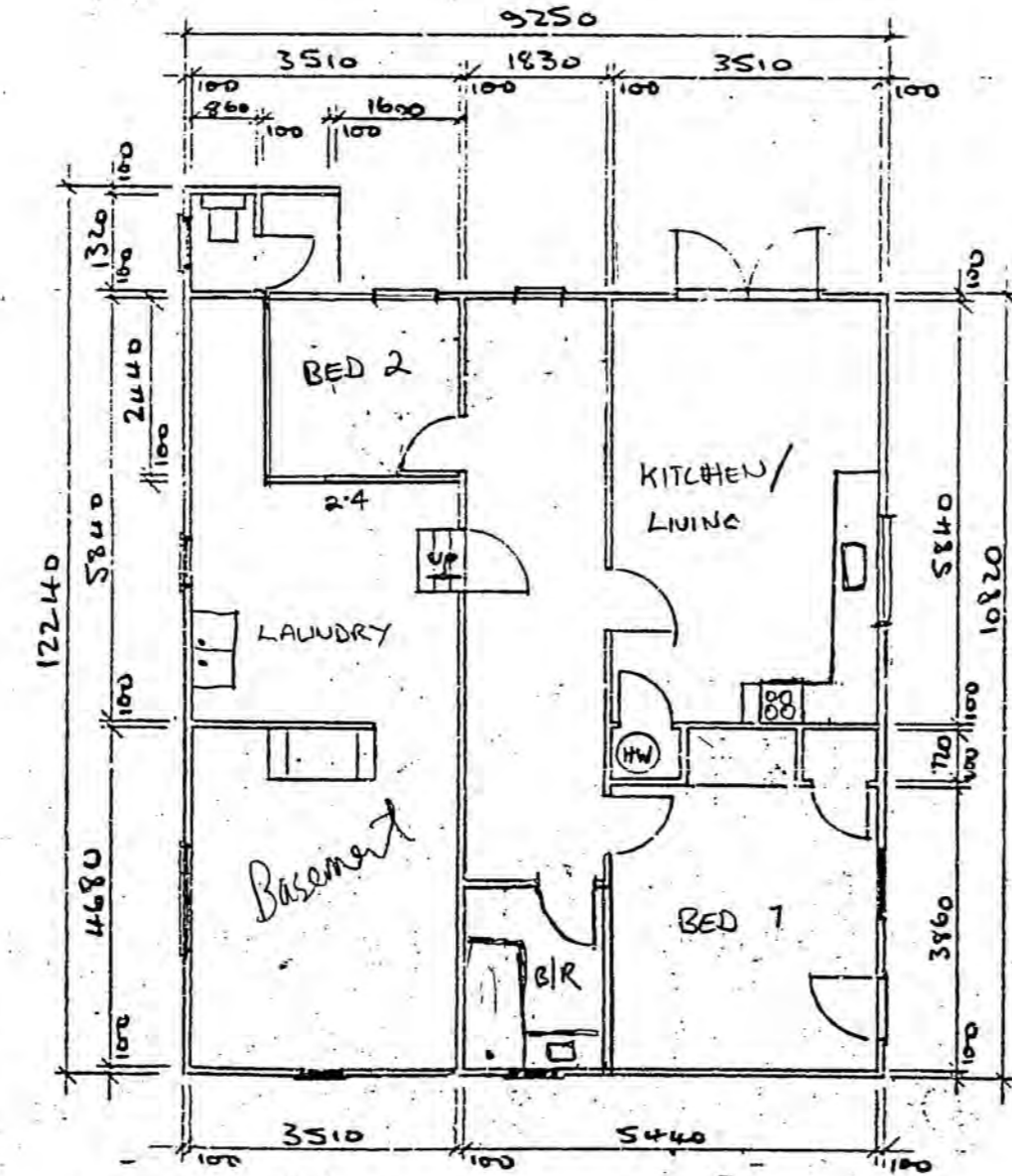
REAR ELEVATION



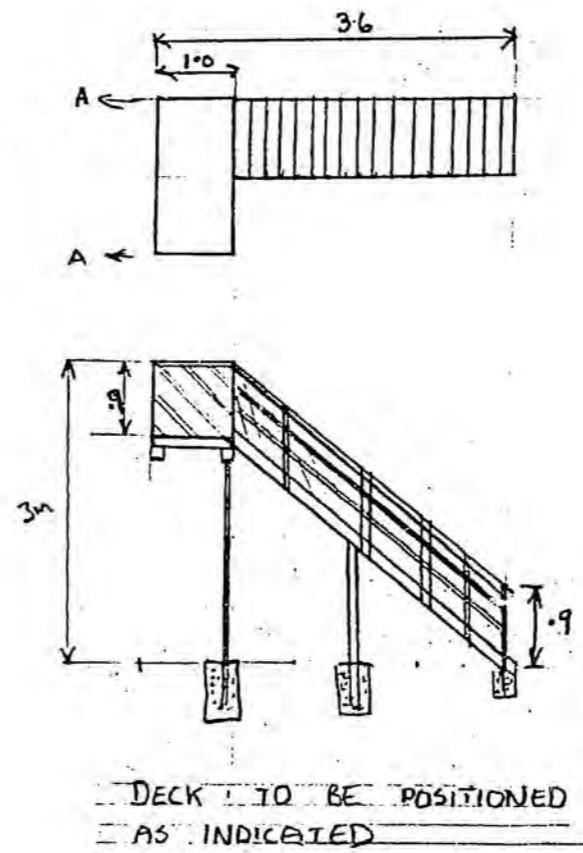
SIDE ELEVATION



UPPER FLOOR PLAN  
FLAT 2



GROUND FLOOR PLAN  
FLAT 1



SPECIFICATIONS

Note: 12.5mm Gib is required for 5 hour FRR

1. ALL WALLS LINED 9.5 GIBBOARD F/R 1/2 hr
2. Complete lower floor ceiling 16mm Gib F/R 1/2 hr
3. ALL FRAMING NO.1 FRAME GRADE NO.2 F/G where permitted by 6.5 of NZS 3604
4. BUILDING PAPER ON EXT WALLS + NEW SECTION OF ROOF TO COMPLY NZS 2295
5. ALL PLUMBING + WIRING TO BE REPLACED
6. REAR EXIT (DECK + STAIRS) TO COMPLY WITH NZS 1900 1988
7. ALL MATERIALS + WORKMANSHIP TO NZS REQUIREMENTS + RECOMMENDATIONS AND COUNCIL

SJ + JA MUIR  
136 TATERI RD DN

5813

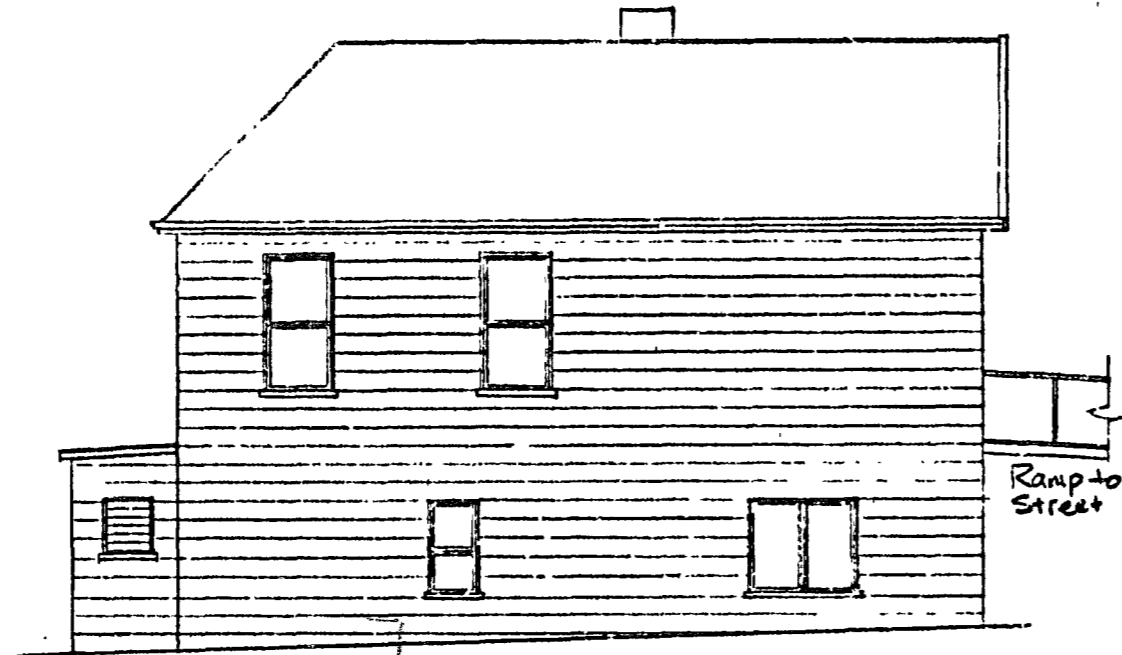
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L-4479  
24-4-89

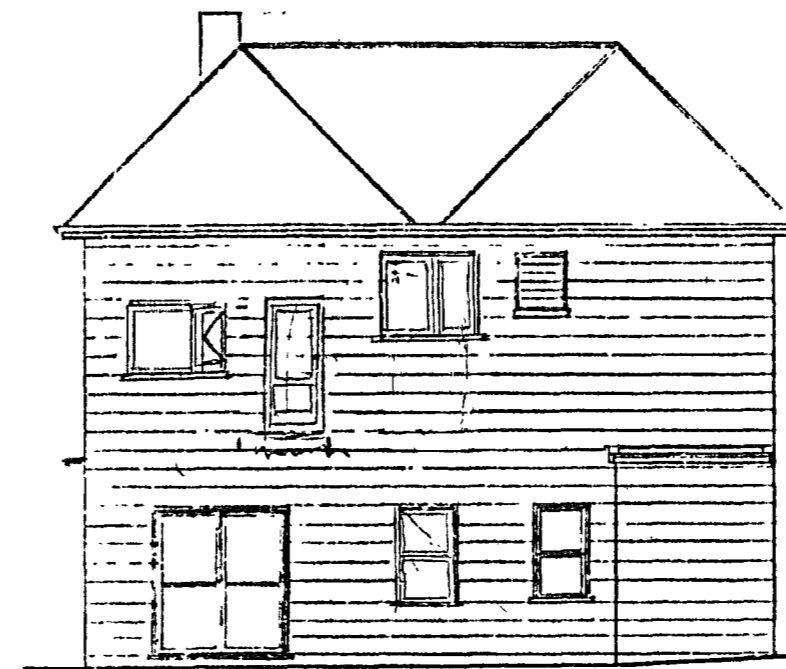
P.C.  
~~3 of 3~~  
2 of 2 play



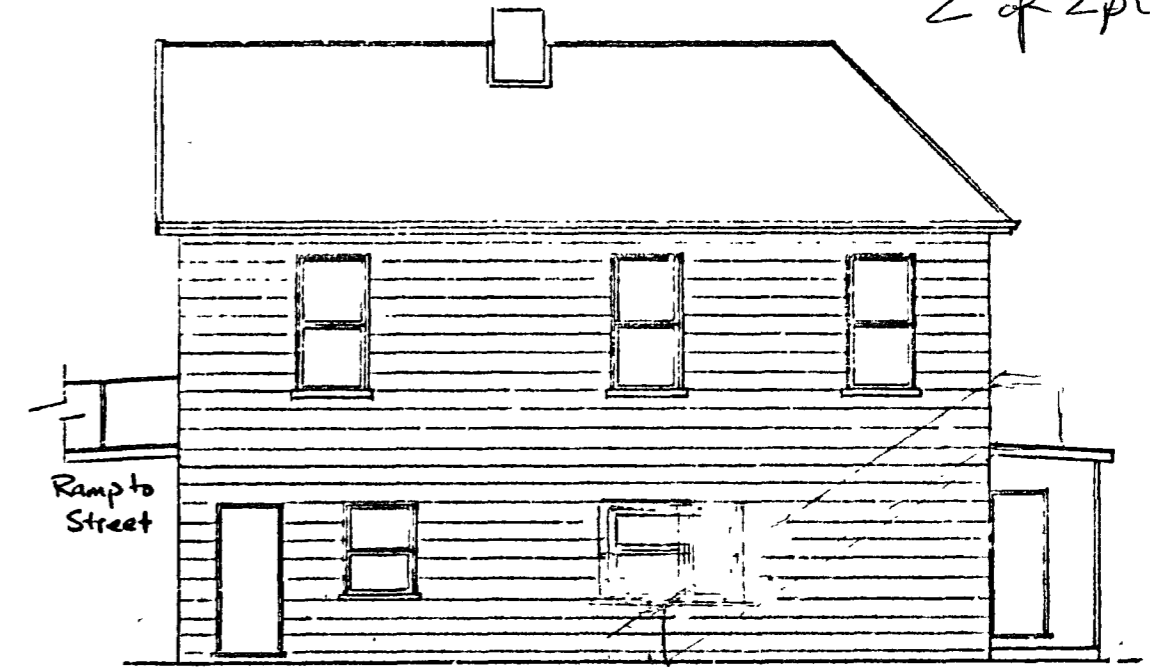
FRONT ELEVATION



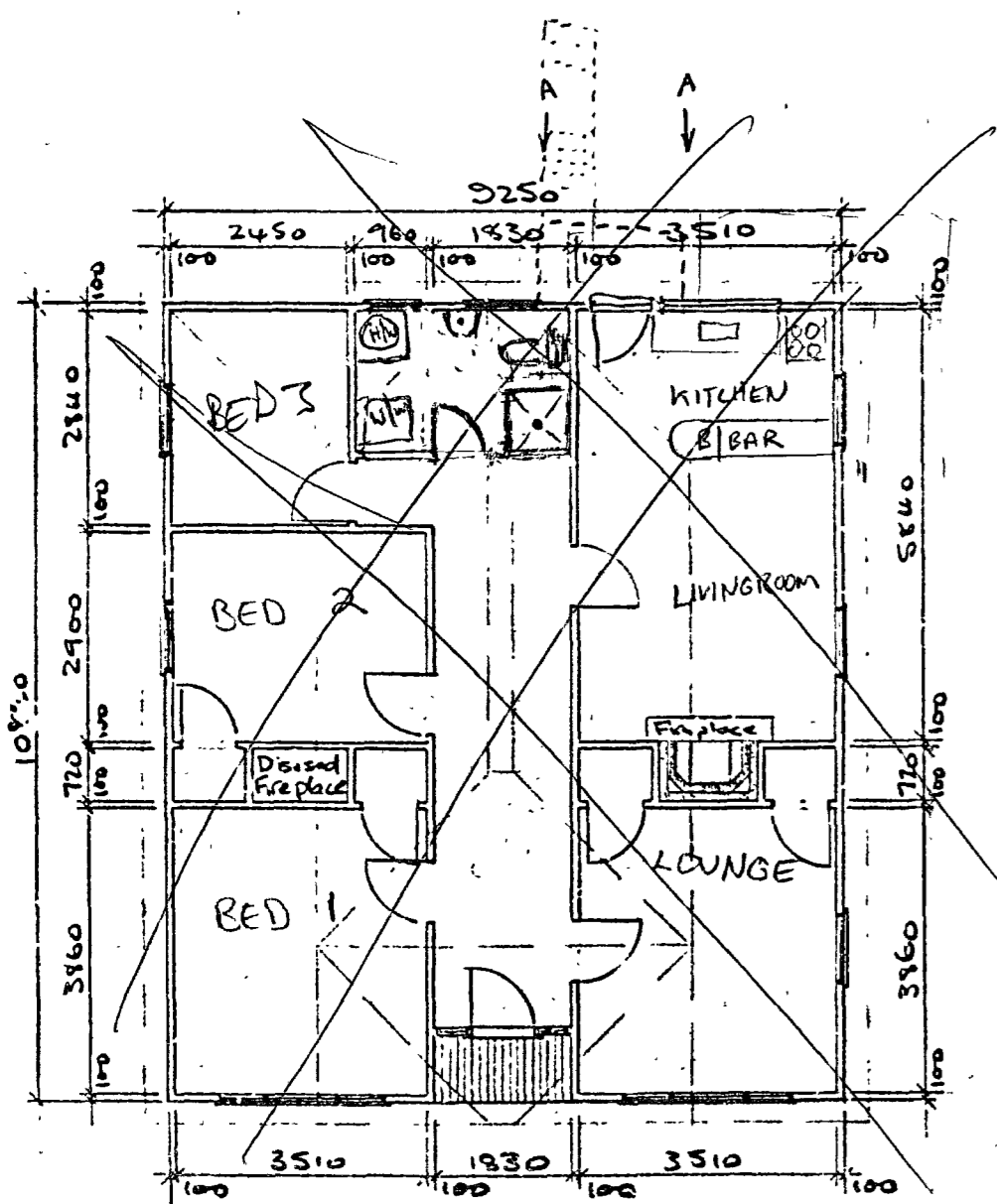
SIDE ELEVATION



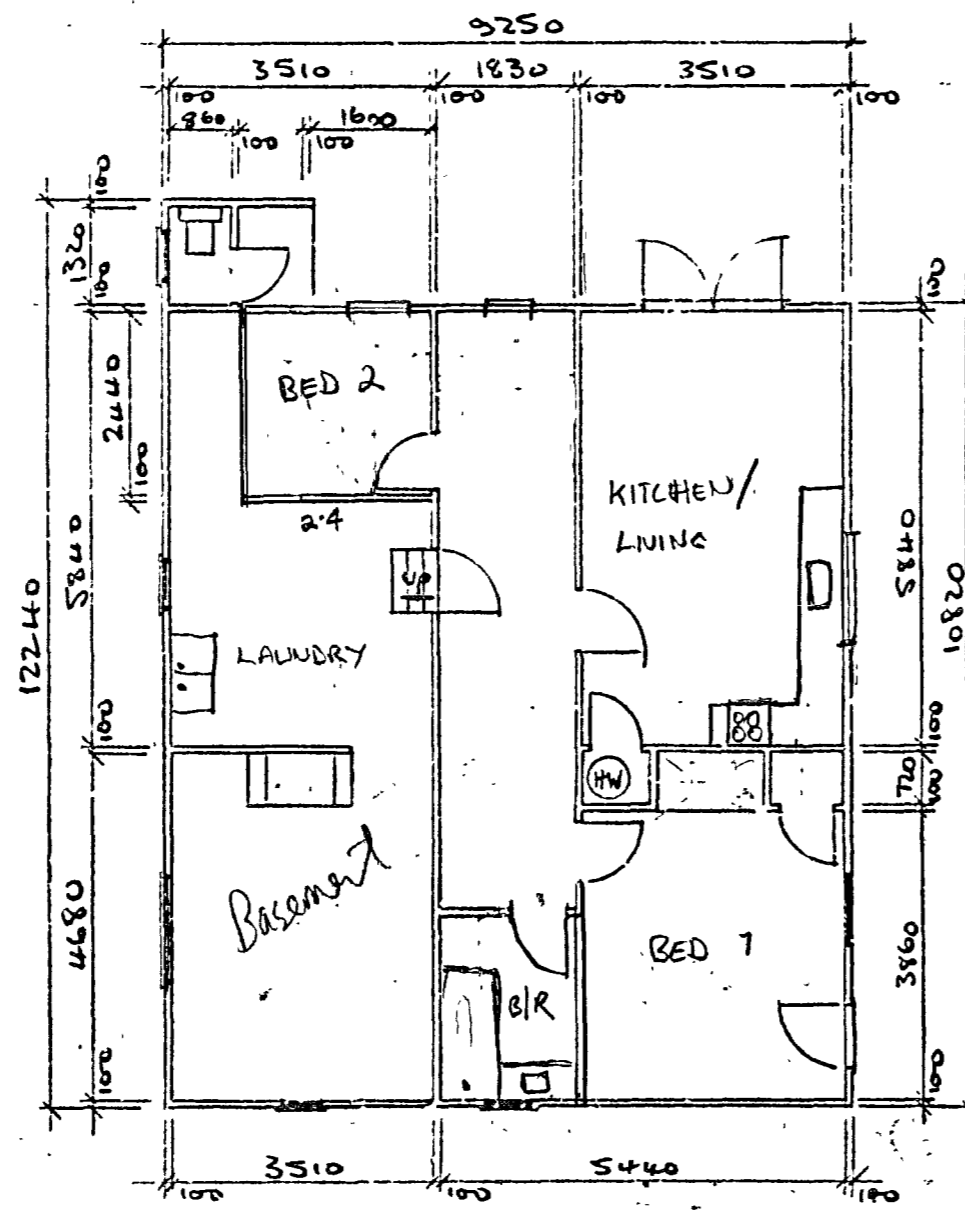
REAR ELEVATION



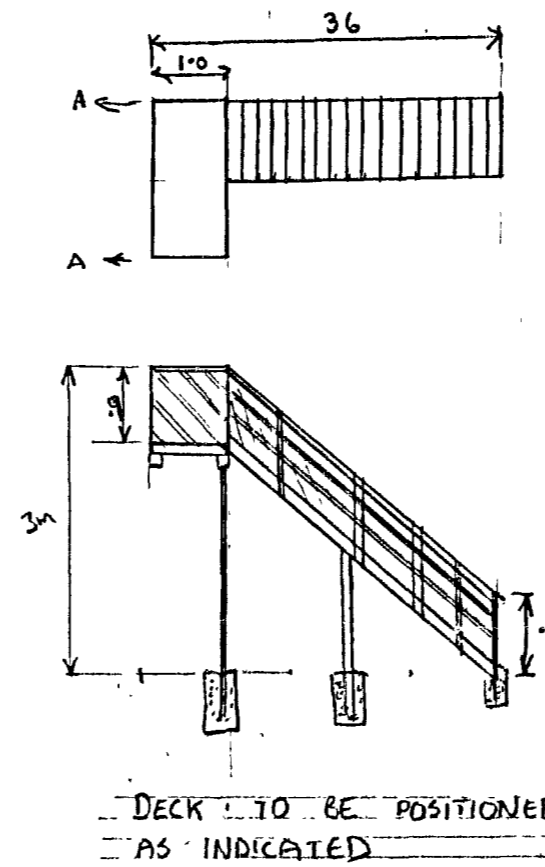
SIDE ELEVATION



UPPER FLOOR PLAN  
FLAT 2



GROUND FLOOR PLAN  
FLAT 1



DECK TO BE POSITIONED AS INDICATED

SPECIFICATIONS

Note = 12.5mm GIB is required for FRR.

1. ALL WALLS LINED 9.5 GIBBOARD - FRR
2. Complete lower floor ceiling 16mm GIB F/R 1 hr
3. ALL FRAMING NO.1 FRAME GRADE NO.2 F/G where permitted by 6.5 OF NZS 3602
4. BUILDING PAPER ON EXT WALLS + NEW SECTION OF ROOF TO COMPLY NZS 2295
5. ALL PLUMBING + WIRING TO BE REPLACED
6. REAR EXIT (DECK + STAIRS) TO COMPLY WITH NZS 1900 1988
7. ALL MATERIALS + WORKMANSHIP TO NZS REQUIREMENTS + RECOMMENDATIONS AND COUNCIL

SJ + JA MUIR  
136 TAIERI RD DN.

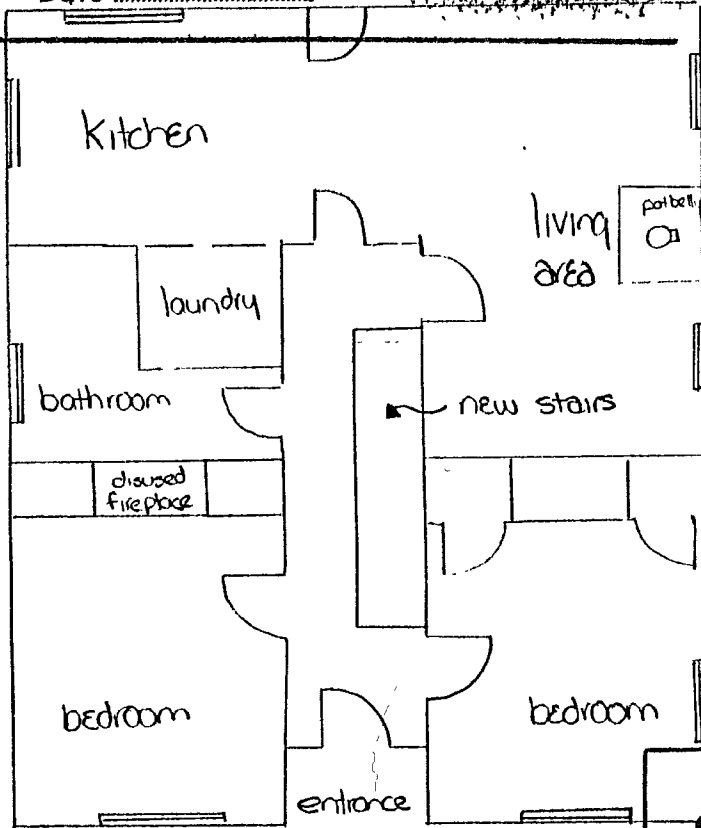
Scale 1:100

136 Taieri Road

Amended Plan and/or Specification Received

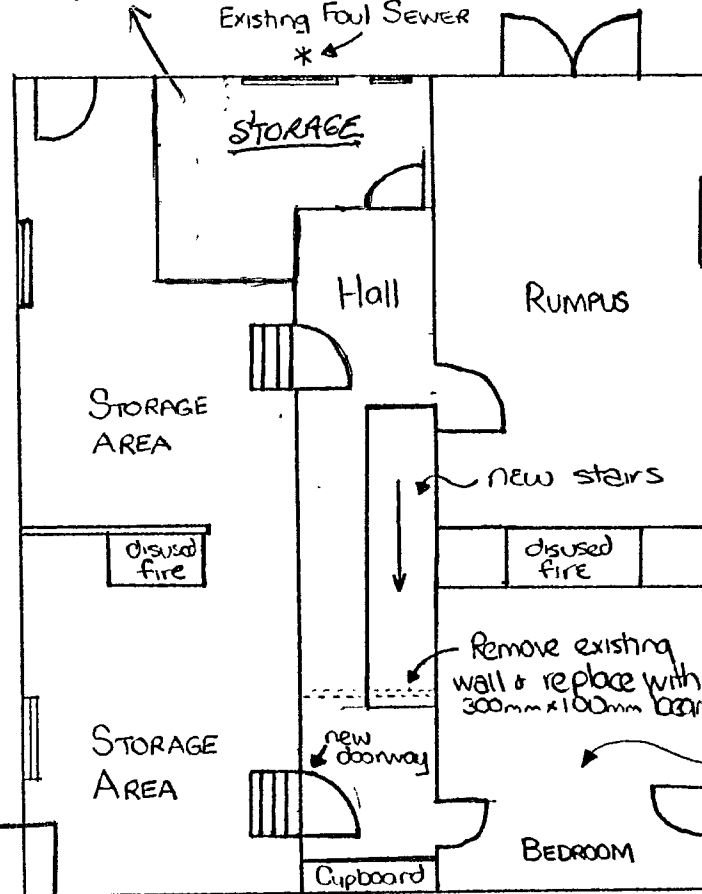
by *[Signature]*

Date 12-8-92



Upper Floor Plan

Amended Plan 17/3/92 Permit No 5813  
 20-2-89. 16297  
 L-4479



Lower Floor Plan

**DUNEDIN CITY COUNCIL**  
**Copy of Approved Plan and/or Specification**  
 TO BE RETAINED ON WORKS AND PRODUCED ON REQUEST OF BUILDING INSPECTOR.  
 DATE 12-8-92  
*[Signature]* BUILDING INSPECTOR

concrete floor (100mm over polythene + sandfill)

dampcourse all timber in contact with concrete.

Amended Proposed Alterations to 136 Taven Road. - Lower Floor

1 of 2 plans  
 A.B.  
 18-8-92  
 L-4479

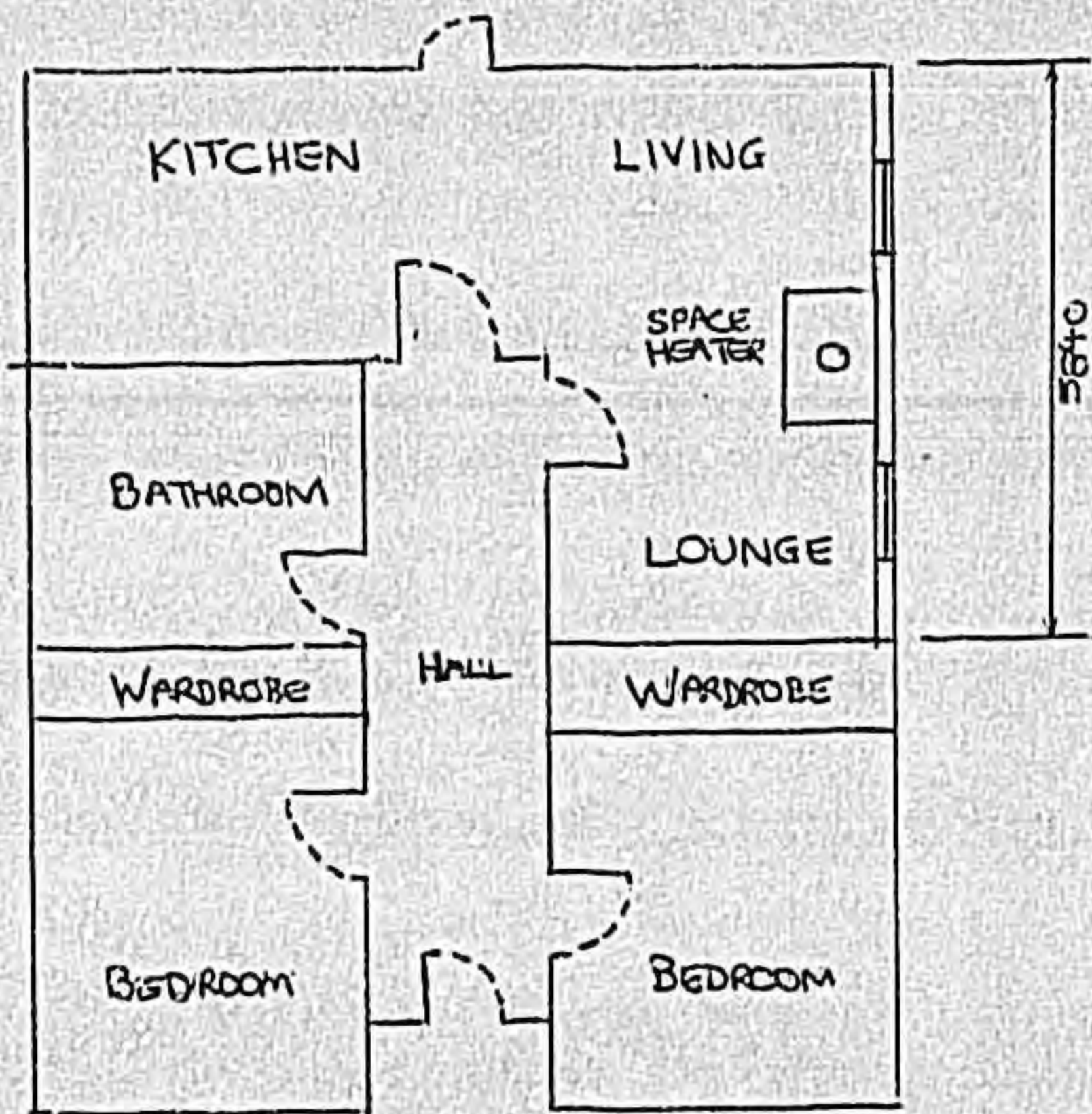
L-4479

DUNEDIN CITY COUNCIL

Copy of Approved Plan  
and/or Specification

TO BE RETAINED ON WORKS  
AND PRODUCED ON REQUEST  
OF BUILDING INSPECTOR.

*[Signature]* DATE 28.5.92  
BUILDING INSPECTOR



TAIERI ROAD

SINGLE LINE DRAWING

S.A. ROBINSON 36 TAIERA RD DN  
INSTALLATION OF A POT BELLY SPACE HEATER.

5811

5/22 11:54

DISPLAY 4774760/875



**Code Compliance Certificate** Form 7

Section 95, Building Act 2004

D J Lewis  
33 County Road  
Dunedin 9010

**The building**

**Street address of building:** 136 Taieri Road Dunedin

**Legal description of land where building is located:** LOT 2 DP 1508

**Building Name:** n/a

**Location of building within site/block number:** n/a

**Level/unit Number:** n/a

**Current, lawfully established, use:** Housing

**Number of occupants:** 3

**Year first constructed:** 1919

**The owner**

**Name of owner:** D J Lewis

**Contact person:** D J Lewis

**Mailing address:** 33 County Road, Dunedin 9010

**Street address/registered office:**

**Mobile:** 027 717 7304

**Landline:**

**Email address:** Dylan-Lewis@live.com

**First point of contact for communications with the building consent authority:** As above

**Building work**

**Building Consent Number:**

ABA-2019-1409 Alter Dwelling - Convert Bedroom to Ensuite, Walk in Wardrobe and form Store Room in Basement, Extend Rear and Entry Decks

**This CCC also applies to the following amended consents:**

ABA-2019-1409/A - Amendment - Extend and Raise Deck

**Issued by: Dunedin City Council**

**Code Compliance**

The building consent authority named below is satisfied, on reasonable grounds, that-

- (a) The building work complies with the building consent

**Team Leader Inspections**  
**On behalf of Dunedin City Council**

Date: 24 August 2022



**BUILDING CONSENT - ABA-2019-1409**

(Section 51, Building Act 2004)  
Form 5

**The building**

**Street address of building:** 136 Taieri Road Dunedin

**Legal description of land where building is located:** LOT 2 DP 1508

**Building Name:** N/A

**Location of building within site/block number:**

**Level/unit Number:**

**The owner**

**Name of owner:** D J Lewis

**Contact person:** D J Lewis

**Mailing address:** 136 Taieri Road, Dunedin 9010

**Street address/registered office:**

**Mobile:** 027 717 7304

**Landline:**

**Email address:** Dylan-Lewis@live.com

**First point of contact for communications with the building consent authority:** As above

**Building work**

**The following building work is authorised by this building consent:**

Alter Dwelling - Convert Bedroom to Ensuite, Walk in Wardrobe and form Store Room in Basement, Extend Rear and Entry Decks

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

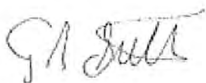
This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

**Compliance Schedule**

A compliance schedule is not required for the building.

**Attachments**

Copies of the following documents are attached to this building consent:  
Record of required site inspections (section 90(2) of the Building Act 2004)  
Project Consideration PCON-2019-392



Grant Sutton  
**Authorised Officer**  
**On behalf of Dunedin City Council**

Date: 23 September 2019



### Water Supply

|  |                                |  |                                |
|--|--------------------------------|--|--------------------------------|
|  | Manifold Box                   |  | Water Non-Return Valve         |
|  | Water Meter                    |  | Water Pump Station             |
|  | Toby                           |  | Water Bore                     |
|  | Meter without manifold box     |  | Water Treatment Plant          |
|  | Retic Flow Meter               |  | Water Storage Tank             |
|  | Combination Meter              |  | Supply Main                    |
|  | Manifold Box With Restrictor   |  | Trunk Main                     |
|  | Water Valve - Zone             |  | Disused                        |
|  | Non Return Valve               |  | Reticulation                   |
|  | Water Valve - Gate             |  | Rider                          |
|  | Water Valve - Sluice           |  | Scour                          |
|  | Water Hydrant                  |  | Water Service Lateral          |
|  | Water Backflow Preventor - RPZ |  | Water Fire Service Lateral     |
|  |                                |  | Water Critical Service Lateral |
|  |                                |  | Water Zone Boundary            |
|  |                                |  | Water Reservoir                |
|  |                                |  | Redundant Water Main           |

**NOTE:** Private water services have the same symbols as those above, however they are coloured pink.

### Foul Sewerage

|  |                             |  |                                |
|--|-----------------------------|--|--------------------------------|
|  | Standard Manhole            |  | Pump Station                   |
|  | Valve Chamber (pressurised) |  | Treatment Plant                |
|  | Boundary Kit                |  | Vent                           |
|  | Non-Return Valve            |  | Foul Sewer Node                |
|  | Pump Station Domestic       |  | Foul Drains in Common (public) |
|  | Drop Manhole                |  | Sewer                          |
|  | Inspection Manhole          |  | Trunk Sewer                    |
|  | Inspection Opening          |  | Vent Line                      |
|  | Lamphole                    |  | Rising Main                    |
|  | Outlet                      |  | Redundant Foul Sewer Pipe      |

**NOTE:** Private foul drains have the same symbols as those above, however they are coloured orange.

### Stormwater

|  |                                   |  |                           |
|--|-----------------------------------|--|---------------------------|
|  | SW Bubble-up Tank                 |  | Roading Bubble-Up Tank    |
|  | SW Drop Manhole                   |  | Roading Mudtank           |
|  | SW Insp Chamber and Grating Inlet |  | Stormwater Main           |
|  | SW Inspection Manhole             |  | Stormwater Trunk Main     |
|  | SW Inspection Opening             |  | DCC Open Channel          |
|  | SW Lamphole                       |  | Piped WC                  |
|  | SW Mudtank Inlet                  |  | Open WC                   |
|  | SW Outlet                         |  | Culvert                   |
|  | SW Pipe Inlet                     |  | Stormwater Mudtank Pipe   |
|  | SW Pressure Manhole               |  | Redundant Stormwater Main |
|  | SW Standard Manhole               |  | SW Sump                   |
|  | SW Stormwater Node                |  | SW Pump Station           |

**NOTE:** Private stormwater drains have the same symbols as those above, however they are coloured light green.

### General

|  |                             |  |                          |
|--|-----------------------------|--|--------------------------|
|  | DCC Water & Waste Structure |  | Parcel                   |
|  | Railway Centreline          |  | Road/Rail                |
|  |                             |  | Hydro                    |
|  |                             |  | Motorway Parcels         |
|  |                             |  | Strata                   |
|  |                             |  | Easment (where recorded) |

Full legend can be viewed at <http://www.dunedin.govt.nz/council-online/webmaps/waterservices>

Aerial photography DCC, Jan/Feb 2013, CC BY 3.0 NZ



## Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of this information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A3:  
1:500  
17/07/2019  
1:57:31 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES. This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2013 Urban and rural photography January / February 2013. Dunedin City Council CC BY 3.0 NZ.  
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.

# DUNEDIN DRAINAGE AND SEWERAGE BOARD

APPLICATION No. 17/12521

DATE 7/11/17

## HOUSE CONNECTION PLAN.

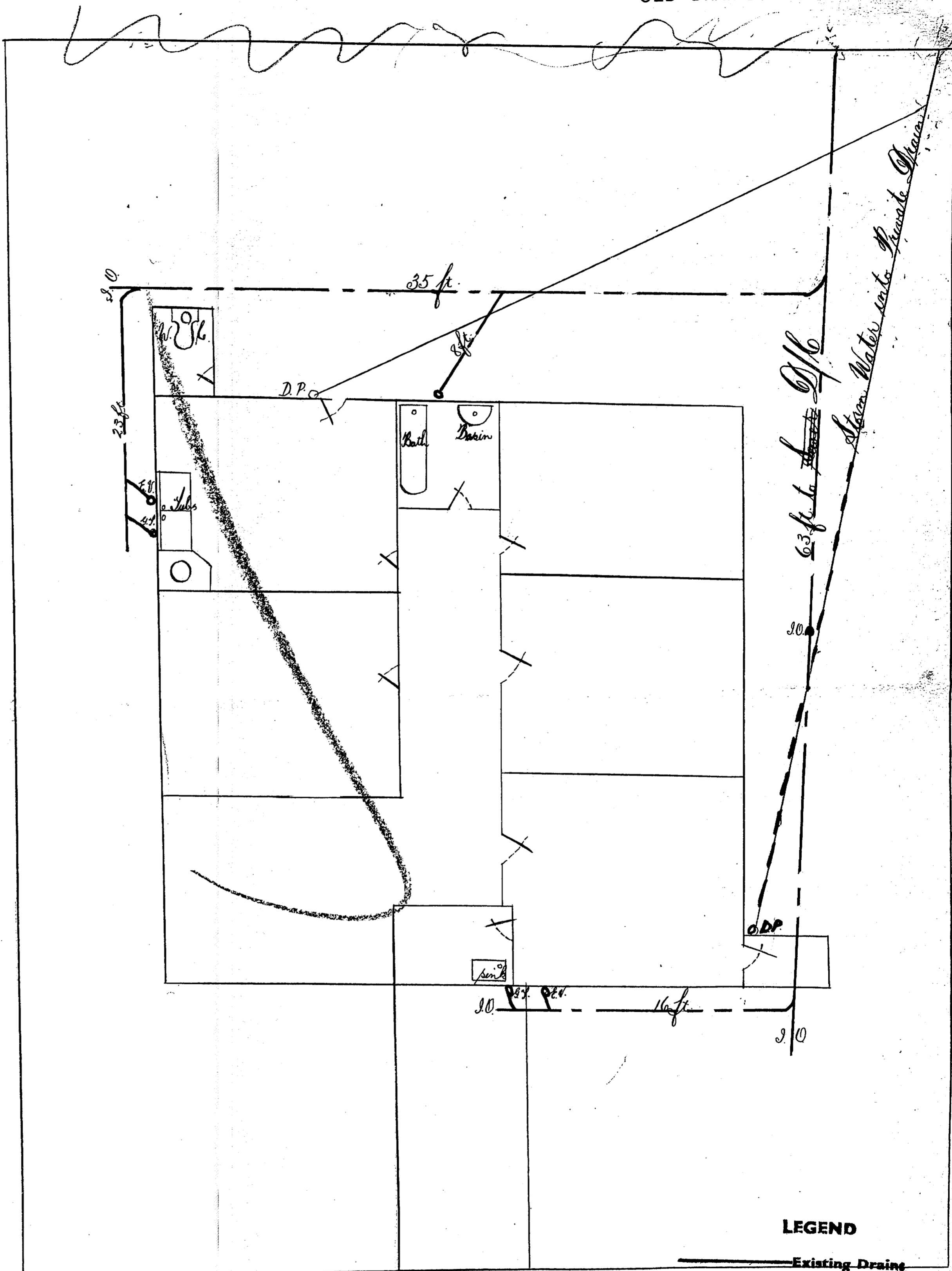
SCALE:  $\frac{1}{8}$  in. to a Foot.

NEW SEWAGE DRAINS: RED  
STORM WATER: DOTTED BLACK  
OLD DRAINS: FULL BLACK

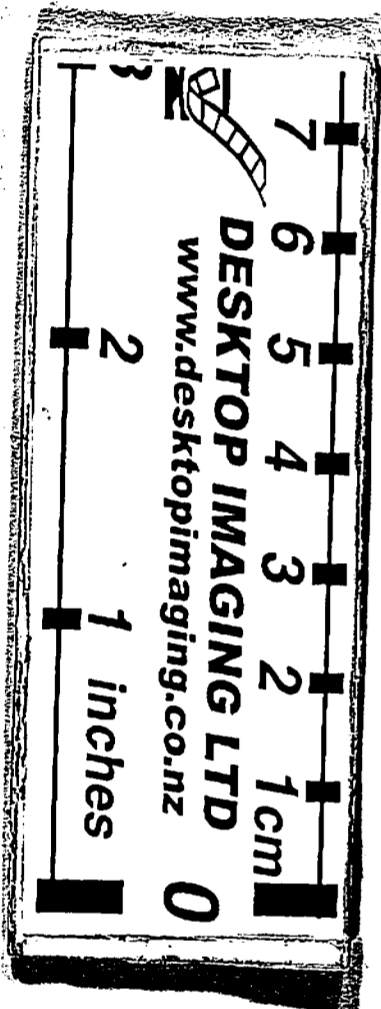
DUNEDIN CITY COUNCIL



DPB002007



Binding margin to be left blank



### LEGEND

- Existing Drain
- New Foul Drains
- New Stormwater Drains

Owner Mrs. A. Aitken  
 Street 14 Nth Lauri Rd,  
 Locality Roslyn

Block Malden  
 Section 2  
 Allotment \_\_\_\_\_

Signature of Drainer Morrison & Warren

**DCC CITY PLANNING**  
**THESE PLANS ARE APPROVED**  
 This development is permitted under the District Plan

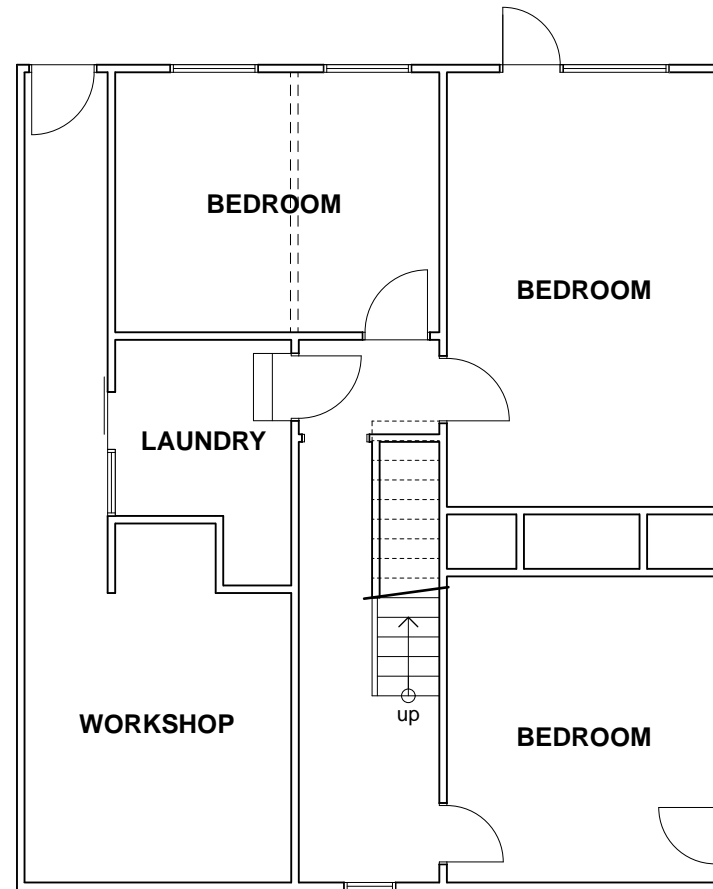
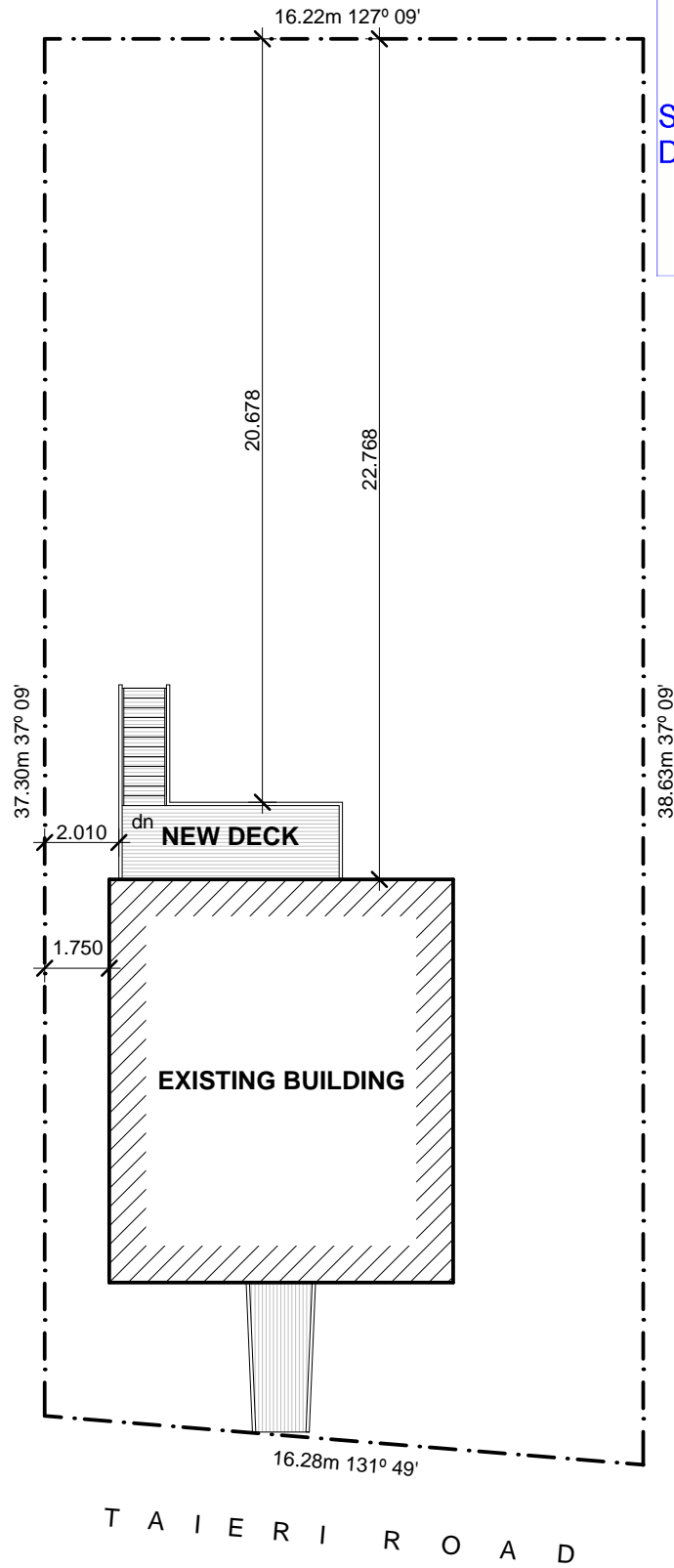
Signed: Iburrows  
 Date: 20/09/2019

**DUNEDIN CITY COUNCIL**  
 Plans and Specifications approved in accordance  
 with the NZ Building Code.  
 To be retained on works and produced on request.

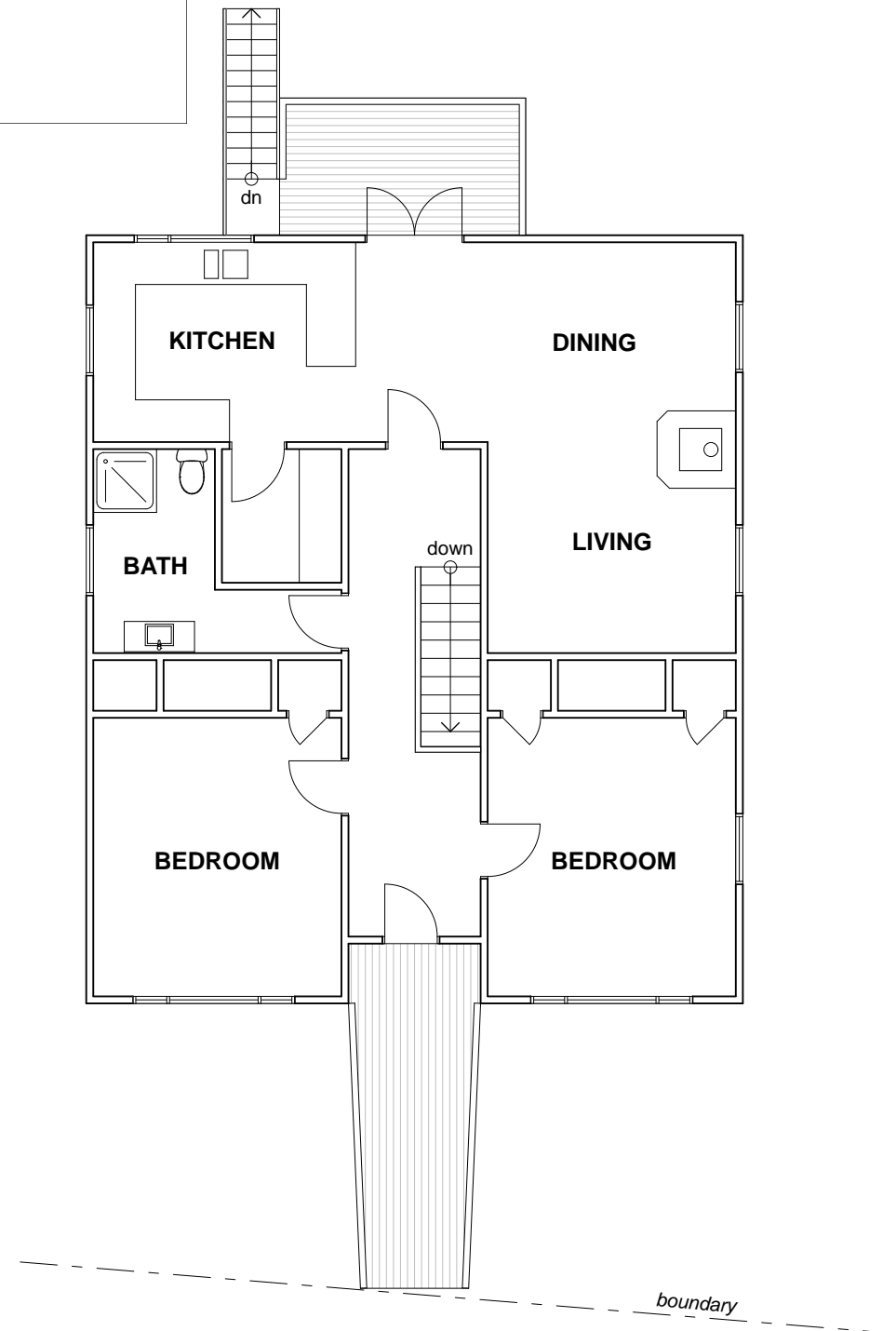
Date: 20/09/2019 Building: N Marshall

Date: 01/09/2019 Plumbing: D Anfield

**DUNEDIN CITY COUNCIL - Approved Building Consent Document**  
**ABA-2019-1409**



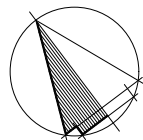
**EXISTING BASEMENT PLAN**  
 SCALE 1:100



**EXISTING GROUND FLOOR PLAN**  
 SCALE 1:100

**SITE PLAN**

SCALE 1:250



**LEGAL DESCRIPTION**

136 Taieri Road  
 DUNEDIN

LOT 2 DP 1508  
 SITE AREA = 607m<sup>2</sup>

**SITE DATA**

Snow Zone/Loading = N5 - 1kPa - 150m altitude  
 Wind Zone = Medium Wind Zone  
 Wind Region = A  
 Earthquake Zone = Zone 1  
 Durability Zone = Zone 3

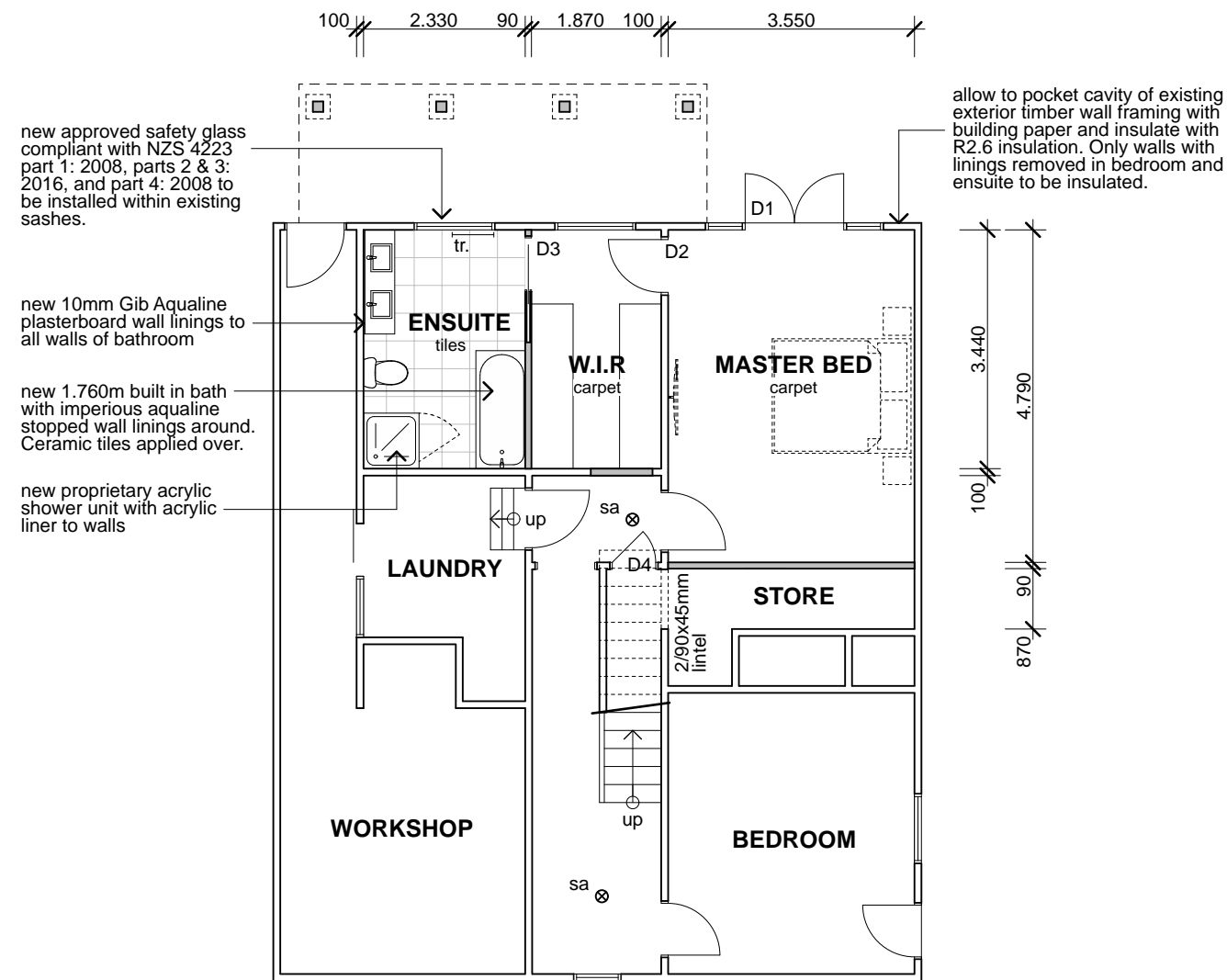
**PROPOSED ALTERATIONS**  
**LEWIS RESIDENCE**  
 136 TAIERI, DUNEDIN

SCALE 1:100, 1:200 @ A3  
 DATE JULY 2019  
 JOB NUMBER CN-001  
 PRINT DATE 18/09/19

BUILDING CONSENT

01

DO NOT SCALE OFF DRAWINGS. DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION



**PROPOSED BASEMENT PLAN**  
SCALE 1:100

**TOP PLATE CONNECTION:**  
top plate to stud connection to be 2/100 x 3.75 skewed nails and 2 wire dogs per stud as per NZS3604 for a High Wind Zone.

**LINTEL CONNECTION:**  
lintels to be fixed with 3 / 90 x 3.15mm power driven nails end nailed to trimming stud as per Table 8.14 NZS3604 for a Medium Wind Zone.

**DOMESTIC SMOKE ALARMS**  
Smoke alarms shall be located on the escape routes on all levels within the household unit. On levels containing sleeping spaces, the smoke alarms shall be located either:  
a) In every sleeping space, or  
b) Within 3.0 m of every sleeping space door. In this case the alarms must be audible to the sleeping occupants on the other side of closed doors.

sa ⊗ indicates smoke alarm

**LININGS SCHEDULE**  
generally walls are to be lined with 10mm thick standard Gib Board fixed and stopped for level 4 paint finish except where lighting conditions require level 5. Unless otherwise stated.

generally ceilings to be lined with 13mm thick standard Gib Board fixed and stopped for level 4 paint finish. Unless otherwise stated.

generally walls in wet areas (ensuite) are to be lined with 10mm thick Gib Aqualine Board fixed and stopped for level 4 paint finish except where lighting conditions require level 5. Unless otherwise stated.

generally ceilings in wet areas (ensuite) are to be lined with 13mm thick Gib Aqualine Board fixed and stopped for level 4 paint finish. Unless otherwise stated.

**WALL FRAMING NOTE**  
90 x 45mm SG8 H1.2 studs at 400mm crs max. to **loadbearing** timber wall framing up to 3.6m high max. - refer NZS3604:2011 Table 8.2 for **High Wind Zone**.

90 x 45mm SG8 H1.2 studs at 400mm crs max. to **internal loadbearing** timber wall framing up to 3.0m high max. - refer NZS3604:2011 Table 8.3.

90 x 45mm SG8 H1.2 studs at 600mm crs max. to **internal non-loadbearing** timber wall framing up to 3.0m high max. - refer NZS3604:2011 Table 8.3.

**MECHANICAL VENTILATION**  
Allow to mechanically ventilate the rooms listed below through roof or wall to outside and fit weatherproof cowl to same. Mechanical ventilation to comply with NZBC G4/AS1 clause 1.5 and AS 1668.2 Table B2. Allow for Manrose Pro Series (or similar) in line fan kit to achieve 15 air changes per hour to bathroom / ensuites.

Ensuite - extract fan thru exterior wall wired to light switch (with time delay switch off)

**LEGEND**

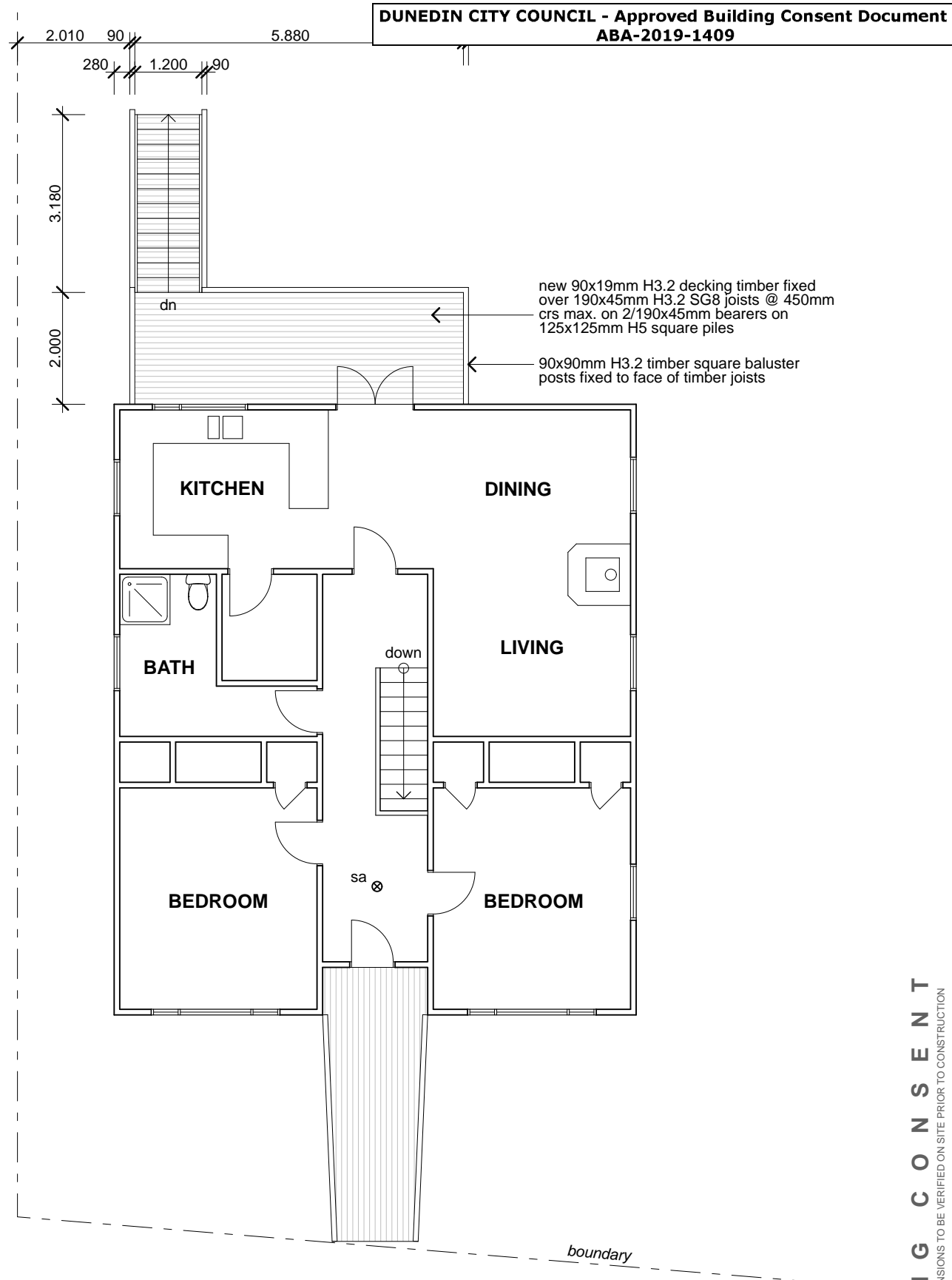
|  |                                       |
|--|---------------------------------------|
|  | indicates existing timber framed wall |
|  | indicates new timber framed wall      |

D1 lintel to be fixed in accordance with Fig 8.12 NZS3604:2011

**DOOR SCHEDULE**

| No. | WIDTH  | HEIGHT   | HEAD HEIGHT | LINTEL                  |
|-----|--------|----------|-------------|-------------------------|
| D1  | 2.600m | x 1.980m | 2.000m      | 2 / 240 x 45mm SG8 H1.2 |
| D2  | 0.810m | x 1.980m | 2.000m      | 2 / 90 x 45mm SG8 H1.2  |
| D3  | 0.810m | x 1.980m | 2.000m      | 2 / 90 x 45mm SG8 H1.2  |
| D4  | 0.610m | x 1.980m | 2.000m      | 2 / 90 x 45mm SG8 H1.2  |

**NOTE:**  
- sizes indicative only. All opening sizes to be confirmed prior to constructing any joinery.

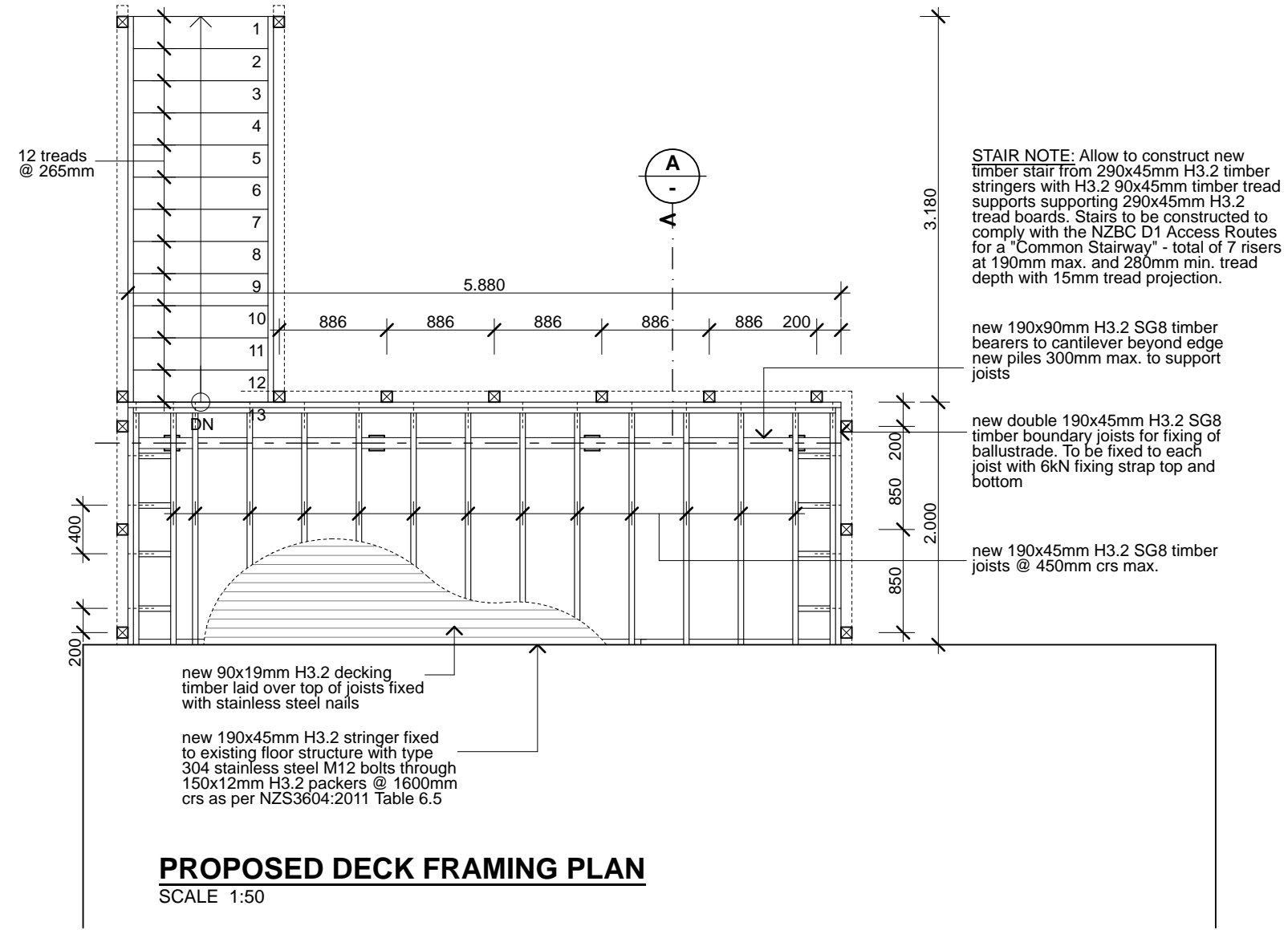
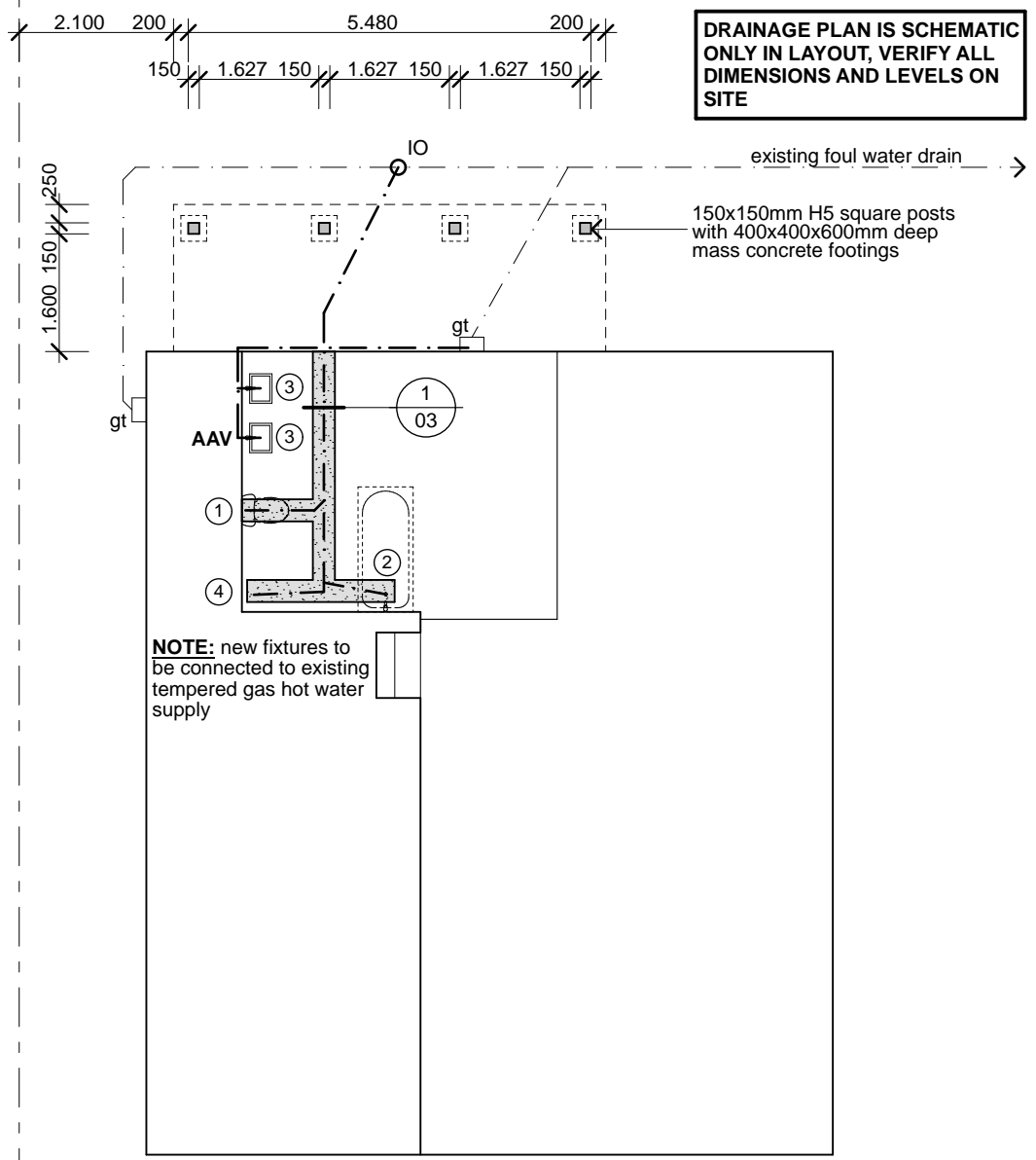


**PROPOSED GROUND FLOOR PLAN**  
SCALE 1:100

**PROPOSED ALTERATIONS  
LEWIS RESIDENCE**  
136 TAIERI, DUNEDIN

SCALE 1:100 @ A3  
DATE JULY 2019  
JOB NUMBER CN-001  
PRINT DATE 11/09/19

BUILDING CONSENT  
DO NOT SCALE OFF DRAWINGS. DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION



**PROPOSED DECK FRAMING PLAN**  
SCALE 1:50

**PROPOSED FOUNDATION PLAN**  
SCALE 1:100

| DIAMETER | GRADIENT |      |      |       |       |
|----------|----------|------|------|-------|-------|
|          | 1:20     | 1:40 | 1:60 | 1:80  | 1:100 |
| 65 (1)   | 60       | 25   | X    | X     | X     |
| 80       | 215      | 100  | 61   | (42)  | X     |
| 100      | 515      | 255  | 165  | (120) | X     |
| 150      | 2920     | 1790 | 1310 | 1040  | 855   |

NOTE:  
(1) 65 DN drains may be used as branch drains only, provided that no soil fixtures (except urinals) are connect thereto.  
(2) figures in brackets are the maximum fixture unit loadings for drains laid at reduced grades as permitted by AS/NZS 3500.2 Clause 3.4.2

ADAPTED FROM AS/NZS 3500.2 Table 3.1

| Fixture discharge pipe sizes and discharge units |     |              |                   |
|--|-----|--------------|-------------------|
| SANITARY FIXTURE                                 | D U | MIN PIPE DIA | MIN PIPE GRADIENT |
| Laundry  | 5   | 40mm         | 1:40              |
| Kitchen Sink                                     | 3   | 40mm         | 1:40              |
| Dishwasher                                       | 3   | 40mm         | 1:40              |
| Basin (WHB)                                      | 1   | 32mm         | 1:40              |
| Shower   | 2   | 40mm         | 1:40              |
| Toilet (WC)                                      | 4   | 100mm        | 1:60              |
| Total discharge units for house TOTAL = 29       |     |              |                   |
| MIN SIZE & GRADE OF DRAINS                       |     |              |                   |
| Main drain                                       |     | 100mm        | 1:60              |
| Branch drain                                     |     | 65mm         | 1:40              |

ADAPTED FROM AS/NZS 3500.2 Table 6.1

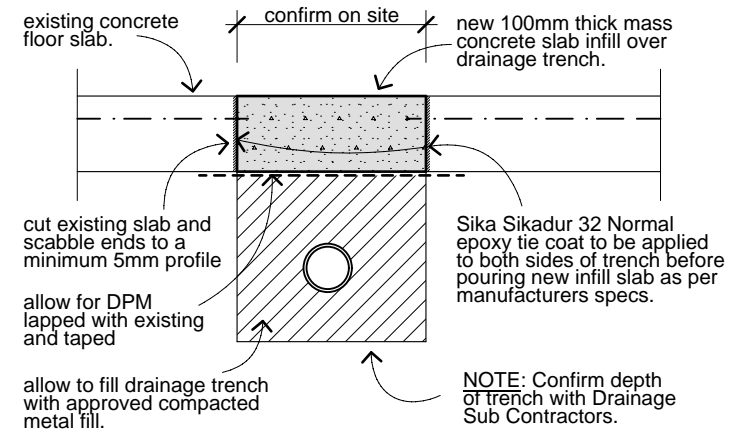
**PLUMBING SCHEDULE**

NOTE:  
Water supply services shall be in accordance with NZBC Acceptable Solution G12/AS1 Water Supplies.

Stormwater drainage has been designed in accordance with NZBC Acceptable Solution E1/AS1 Surface Water.

Sanitary plumbing and drainage has been designed to AS/NZS 3500: Part 2:2003 Sanitary Plumbing and Drainage.

- 1 wc - 100mm Ø waste from wc pan connecting connect into 100mm Ø waste run under floor slab connecting into existing main foul sewer drain.
- 2 bath - easiclean waste to bath discharging into a 65mm Ø waste and connect into 100mm Ø waste run under floor slab connecting into 1existing main foul sewer drain.
- 3 whb - 50mm Ø waste from whb to run within wall framing to discharge over existing gully trap. Air admittance valve to be fitted.
- 4 shower - easiclean waste to shower discharging into a 65mm Ø waste and connect into 100mm Ø waste run under floor slab connecting into 1existing main foul sewer drain.



**DETAIL OF NEW DRAINAGE TRENCH IN EXISTING SLAB**  
SCALE 1:10

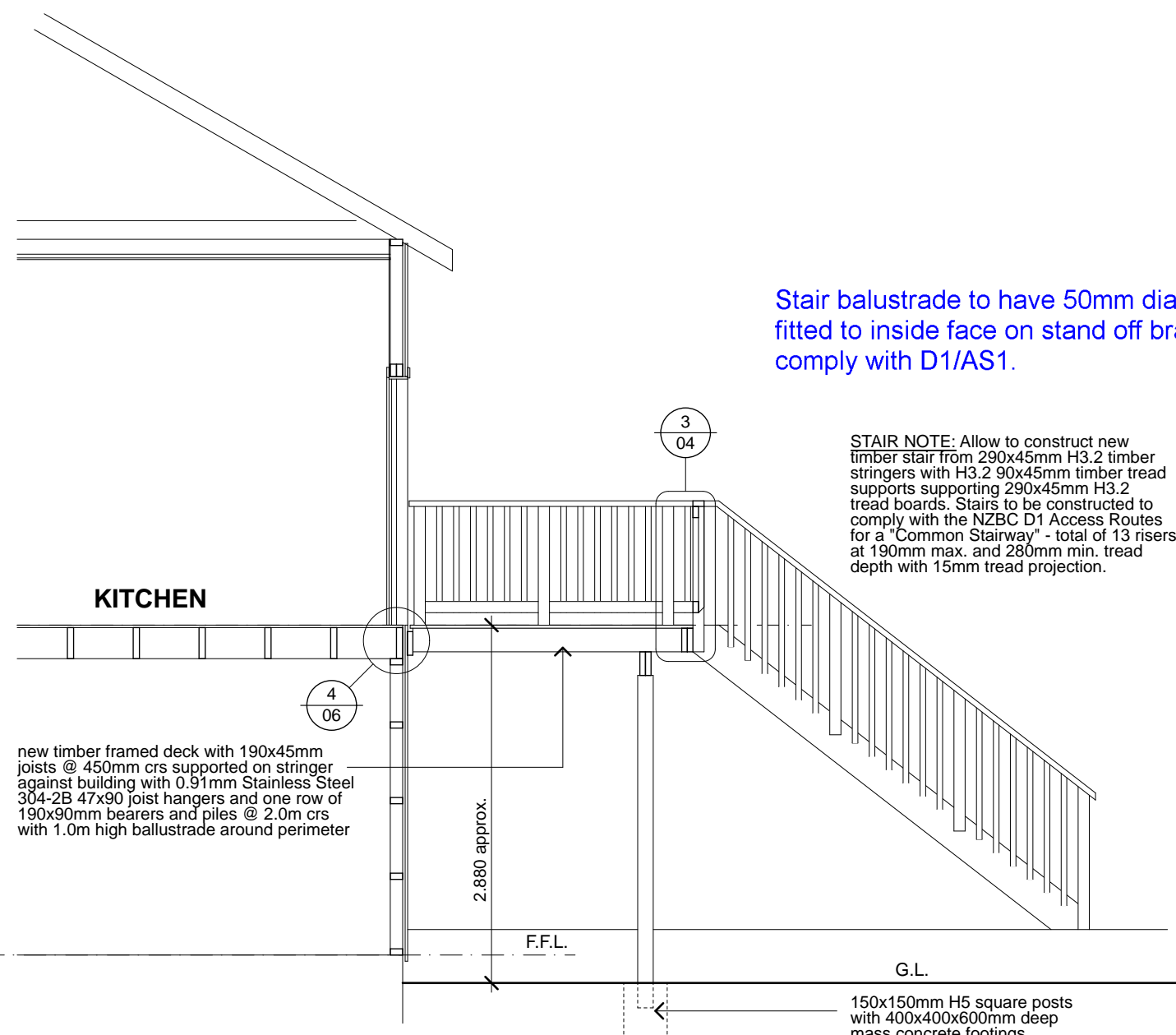
1  
03

**PROPOSED ALTERATIONS LEWIS RESIDENCE**  
136 TAIERI, DUNEDIN

SCALE 1:100, 1:50, 1:10 @ A3  
DATE JULY 2019  
JOB NUMBER CN-001  
PRINT DATE 11/09/19

03

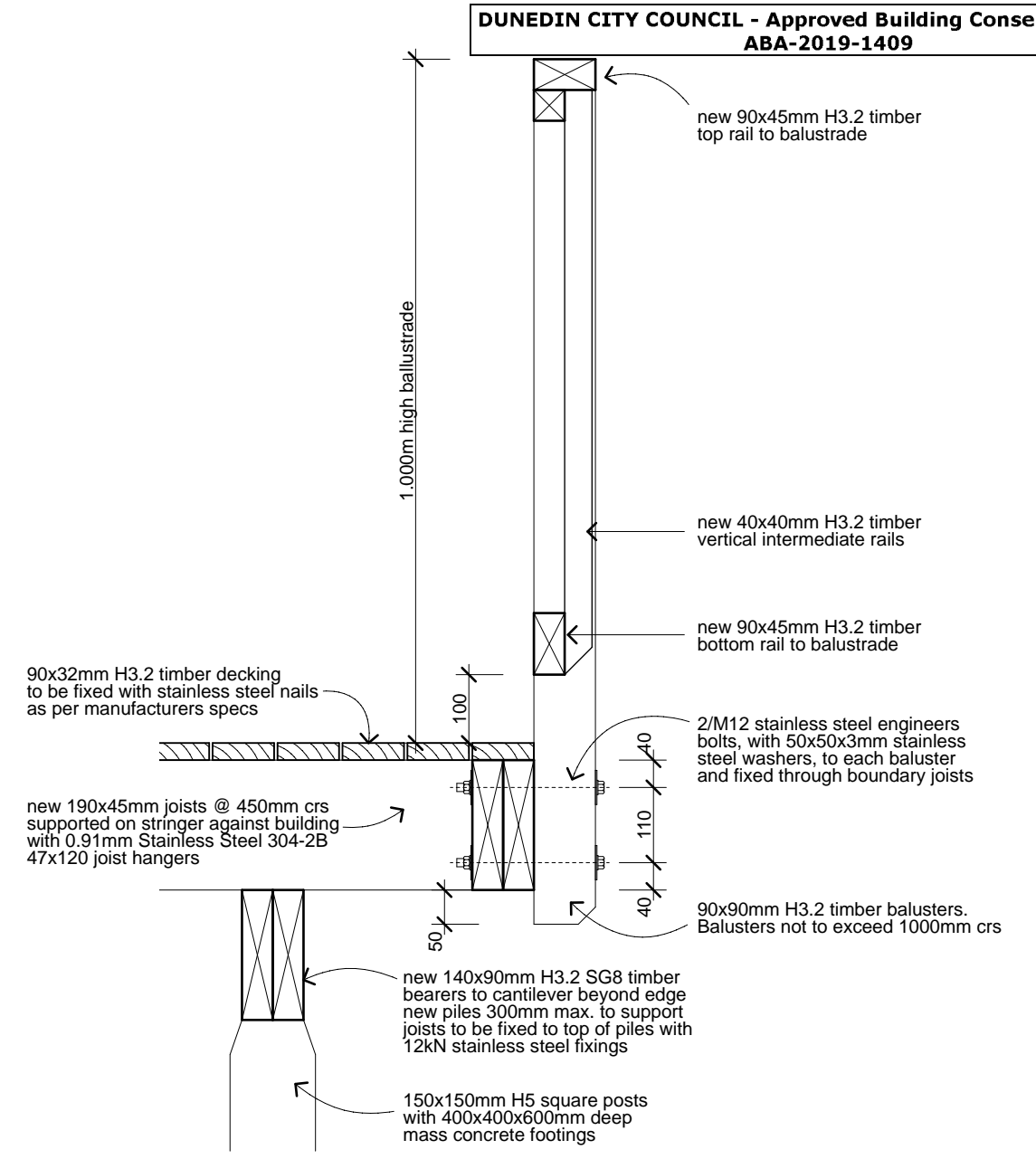
BUILDING CONSENT  
DO NOT SCALE OFF DRAWINGS. DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION



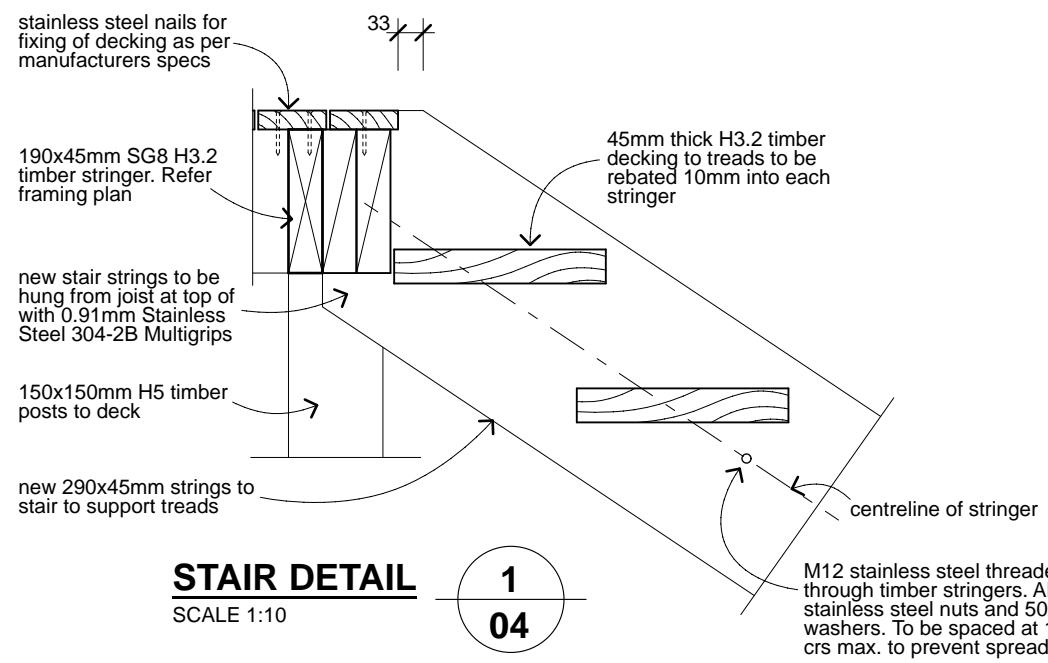
Stair balustrade to have 50mm dia handrail fitted to inside face on stand off brackets to comply with D1/AS1.

**STAIR NOTE:** Allow to construct new timber stair from 290x45mm H3.2 timber stringers with H3.2 90x45mm timber tread supports supporting 290x45mm H3.2 tread boards. Stairs to be constructed to comply with the NZBC D1 Access Routes for a "Common Stairway" - total of 13 risers at 190mm max. and 280mm min. tread depth with 15mm tread projection.

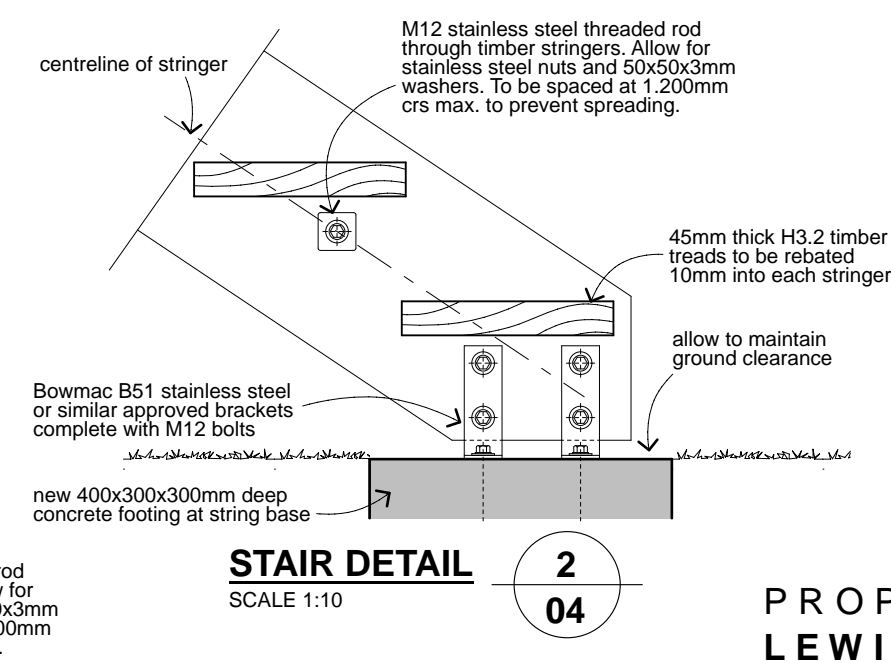
**PROPOSED SECTION A**  
SCALE 1:50



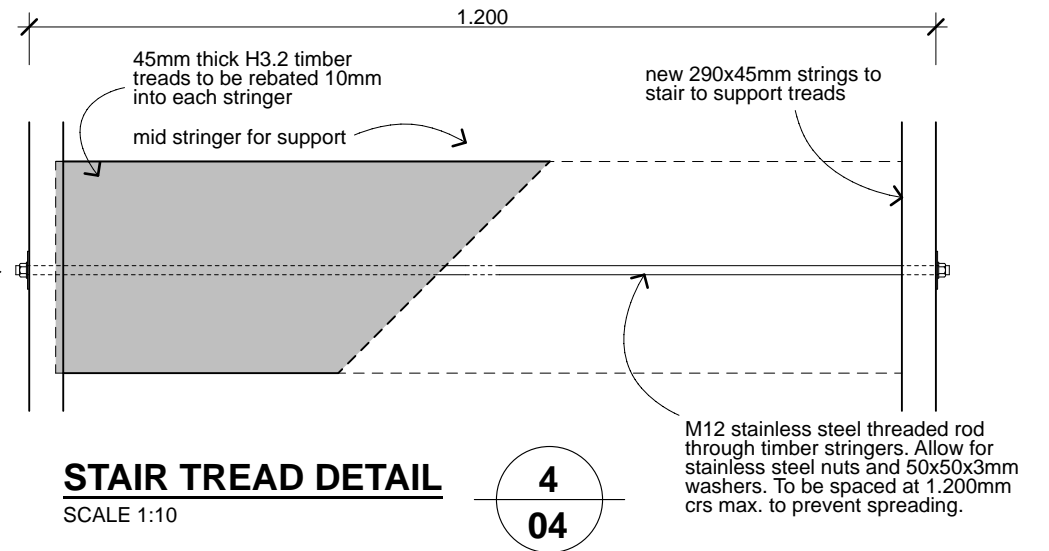
**DECK EDGE/BALUSTRADE CONNECTION DETAIL**  
SCALE 1:10



**STAIR DETAIL 1**  
SCALE 1:10



**STAIR DETAIL 2**  
SCALE 1:10



**STAIR TREAD DETAIL**  
SCALE 1:10

**PROPOSED ALTERATIONS  
LEWIS RESIDENCE**  
136 TAIERI, DUNEDIN

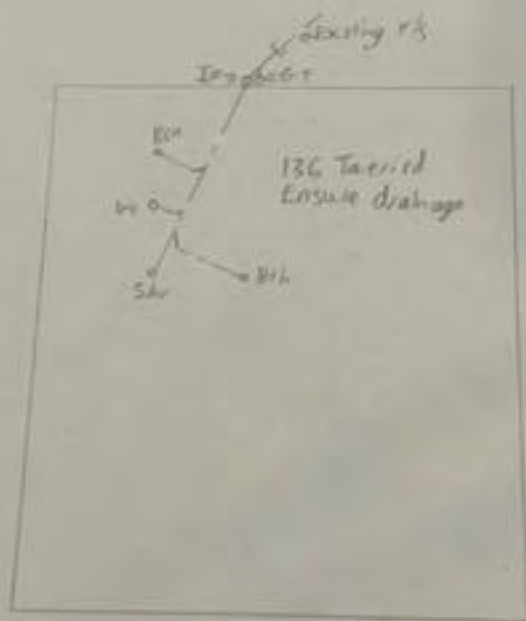
SCALE 1:50, 1:10 @ A3  
DATE JULY 2019  
JOB NUMBER CN-001  
PRINT DATE 2/09/19

BUILDING CONSENT  
DO NOT SCALE OFF DRAWINGS. DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION

ABA 2019-1409

Sustin Rochhan

26379



TAIERI Rd



**BUILDING CONSENT - ABA-2019-1409/A**

(Section 51, Building Act 2004)  
Form 5

**The building**

**Street address of building:** 136 Taieri Road Dunedin

**Legal description of land where building is located:** LOT 2 DP 1508

**Building Name:** N/A

**Location of building within site/block number:**

**Level/unit Number:**

**The owner**

**Name of owner:** D J Lewis

**Contact person:** D J Lewis

**Mailing address:** 136 Taieri Road, Dunedin 9010

**Street address/registered office:**

**Mobile:** 027 717 7304

**Landline:**

**Email address:** [dylanjonlewis@icloud.com](mailto:dylanjonlewis@icloud.com)

**First point of contact for communications with the building consent authority:** As above

**Building work**

**The following building work is authorised by this building consent:**

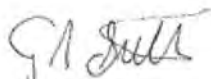
Amendment - Extend and Raise Deck

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

**Compliance Schedule**

A compliance schedule is not required for the building.



Grant Sutton  
**Authorised Officer**  
**On behalf of Dunedin City Council**

Date: 23 January 2020

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request.

Building *N.M.M.* Date *17/12/20*  
 Drainage Date  
 Health Date

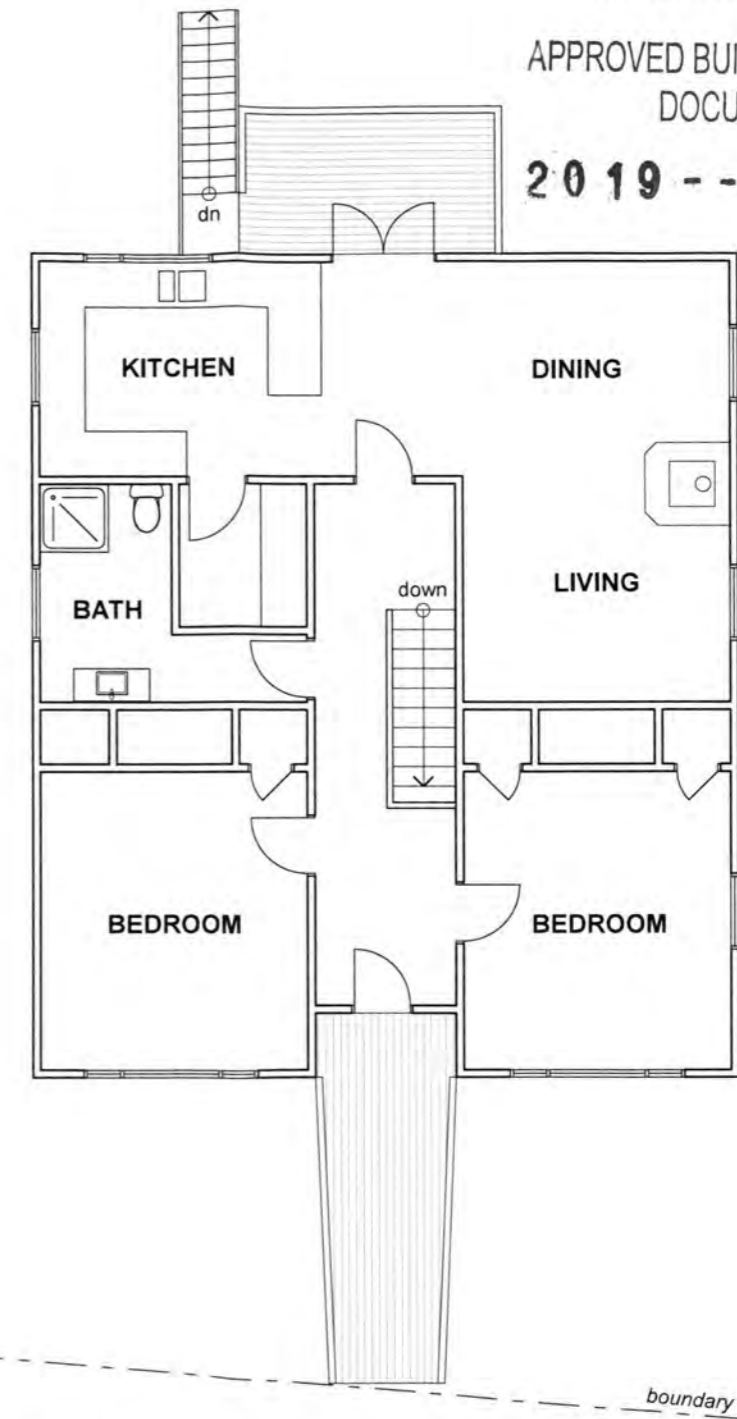
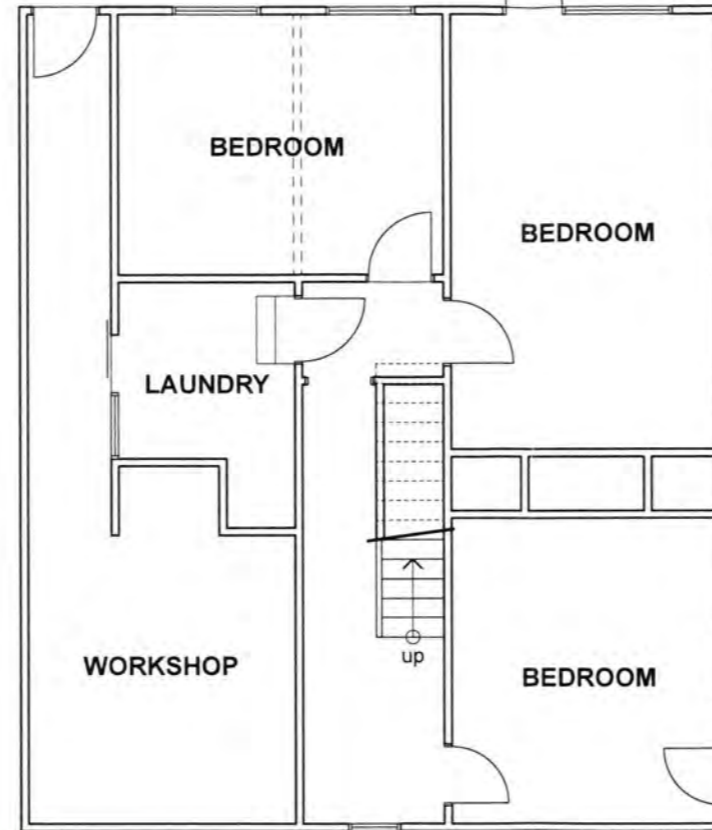
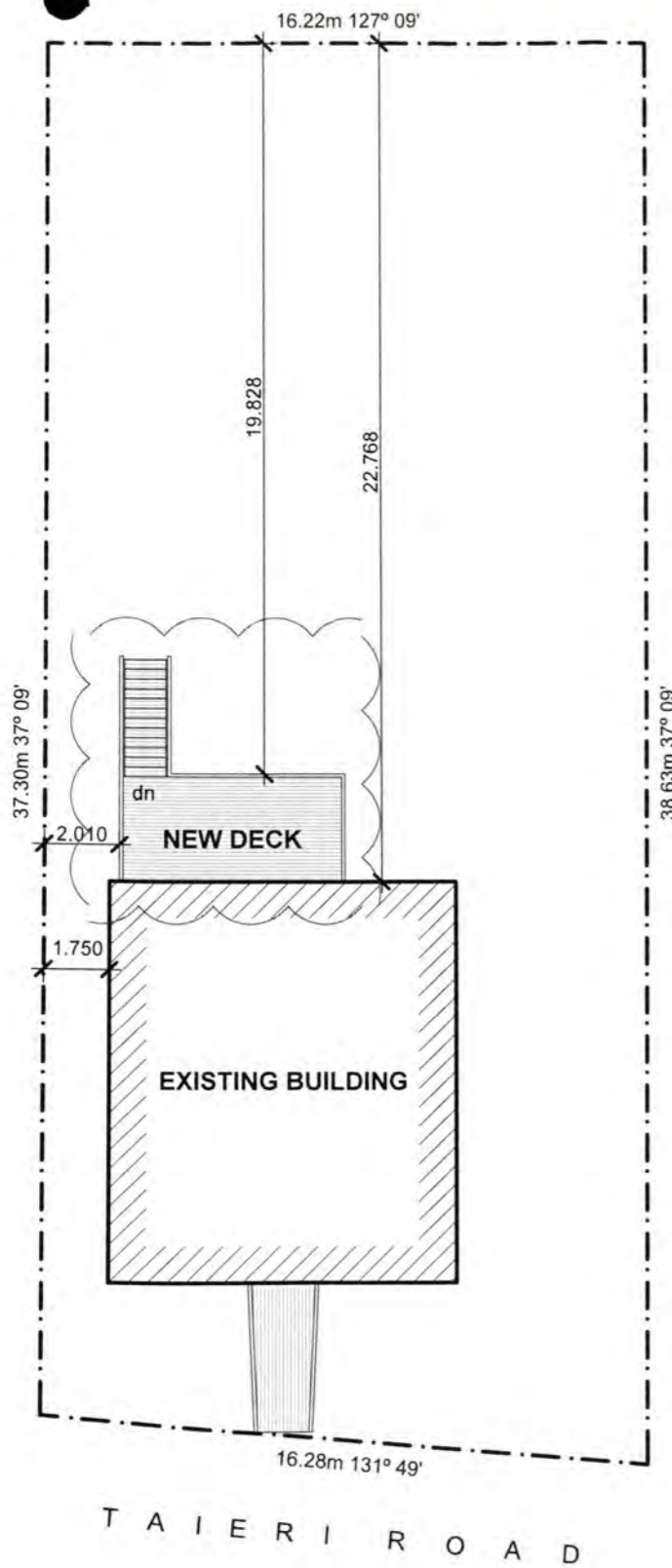
NOTE

DCC COPY

DUNEDIN CITY COUNCIL

APPROVED BUILDING CONSENT DOCUMENTS

2019 - - 1409 / A



DCC CITY PLANNING  
 THESE PLANS ARE APPROVED  
 This development complies with the District Plan(s)  
 subject to:

*Connor* Signed *17-01-2020* Dated

EXISTING BASEMENT PLAN

SCALE 1:100

EXISTING GROUND FLOOR PLAN

SCALE 1:100

SITE PLAN

SCALE 1:250

LEGAL DESCRIPTION

136 Taieri Road  
 DUNEDIN

LOT 2 DP 1508  
 SITE AREA = 607m<sup>2</sup>

SITE DATA

Snow Zone/Loading = N5 - 1kPa - 150m altitude  
 Wind Zone = Medium Wind Zone  
 Wind Region = A  
 Earthquake Zone = Zone 1  
 Durability Zone = Zone 3

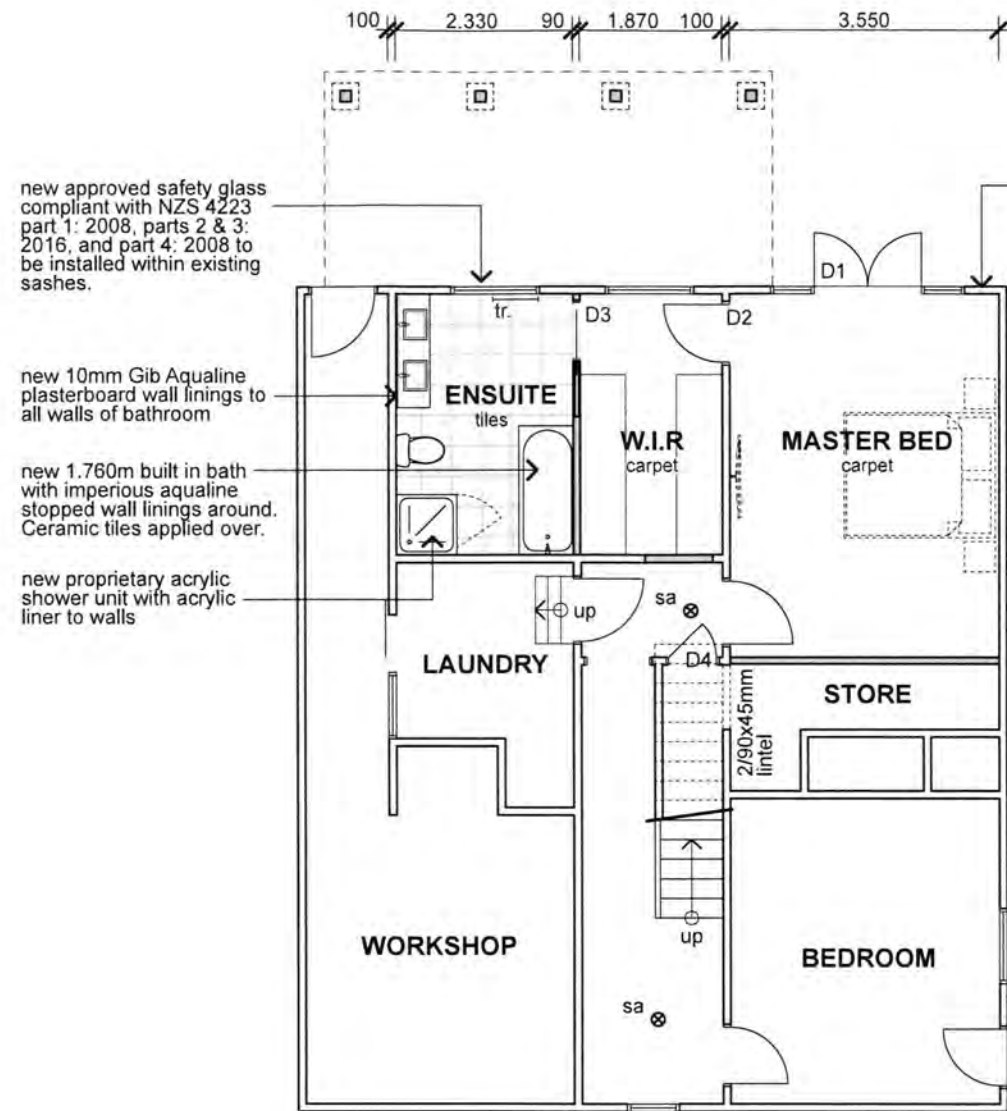
PROPOSED ALTERATIONS  
 LEWIS RESIDENCE

136 TAIERI, DUNEDIN

SCALE 1:100, 1:200 @ A3  
 DATE JULY 2019  
 JOB NUMBER CN-001  
 PRINT DATE 17/12/19

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BUILDING CONSENT  
 DO NOT SCALE OFF DRAWINGS. DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION



new approved safety glass compliant with NZS 4223 part 1: 2008, parts 2 & 3: 2016, and part 4: 2008 to be installed within existing sashes.

new 10mm Gib Aqualine plasterboard wall linings to all walls of bathroom

new 1.760m built in bath with imperious aqualine stopped wall linings around. Ceramic tiles applied over.

new proprietary acrylic shower unit with acrylic liner to walls

allow to pocket cavity of existing exterior timber wall framing with building paper and insulate with R2.6 insulation. Only walls with linings removed in bedroom and ensuite to be insulated.

**PROPOSED BASEMENT PLAN**

SCALE 1:100

**TOP PLATE CONNECTION:**  
top plate to stud connection to be 2/100 x 3.75 skewed nails and 2 wire dogs per stud as per NZS3604 for a High Wind Zone.

**LINTEL CONNECTION:**  
lintels to be fixed with 3 / 90 x 3.15mm power driven nails end nailed to trimming stud as per Table 8.14 NZS3604 for a Medium Wind Zone.

**DOMESTIC SMOKE ALARMS**

Smoke alarms shall be located on the escape routes on all levels within the household unit. On levels containing sleeping spaces, the smoke alarms shall be located either:

- a) In every sleeping space, or
- b) Within 3.0 m of every sleeping space door. In this case the alarms must be audible to the sleeping occupants on the other side of closed doors.

sa indicates smoke alarm

**LININGS SCHEDULE**

generally walls are to be lined with 10mm thick standard Gib Board fixed and stopped for level 4 paint finish except where lighting conditions require level 5. Unless otherwise stated.

generally ceilings to be lined with 13mm thick standard Gib Board fixed and stopped for level 4 paint finish. Unless otherwise stated.

generally walls in wet areas (ensuite) are to be lined with 10mm thick Gib Aqualine Board fixed and stopped for level 4 paint finish except where lighting conditions require level 5. Unless otherwise stated.

generally ceilings in wet areas (ensuite) are to be lined with 13mm thick Gib Aqualine Board fixed and stopped for level 4 paint finish. Unless otherwise stated.

**WALL FRAMING NOTE**

90 x 45mm SG8 H1.2 studs at 400mm crs max. to loadbearing timber wall framing up to 3.6m high max. - refer NZS3604:2011 Table 8.2 for High Wind Zone.

90 x 45mm SG8 H1.2 studs at 400mm crs max. to internal loadbearing timber wall framing up to 3.0m high max. - refer NZS3604:2011 Table 8.3.

90 x 45mm SG8 H1.2 studs at 600mm crs max. to internal non-loadbearing timber wall framing up to 3.0m high max. - refer NZS3604:2011 Table 8.3.

**MECHANICAL VENTILATION**

Allow to mechanically ventilate the rooms listed below through roof or wall to outside and fit weatherproof cowl to same. Mechanical ventilation to comply with NZBC G4/AS1 clause 1.5 and AS 1668.2 Table B2. Allow for Manrose Pro Series (or similar) in line fan kit to achieve 15 air changes per hour to bathroom / ensuite.

Ensuite - extract fan thru exterior wall wired to light switch (with time delay switch off)

**LEGEND**

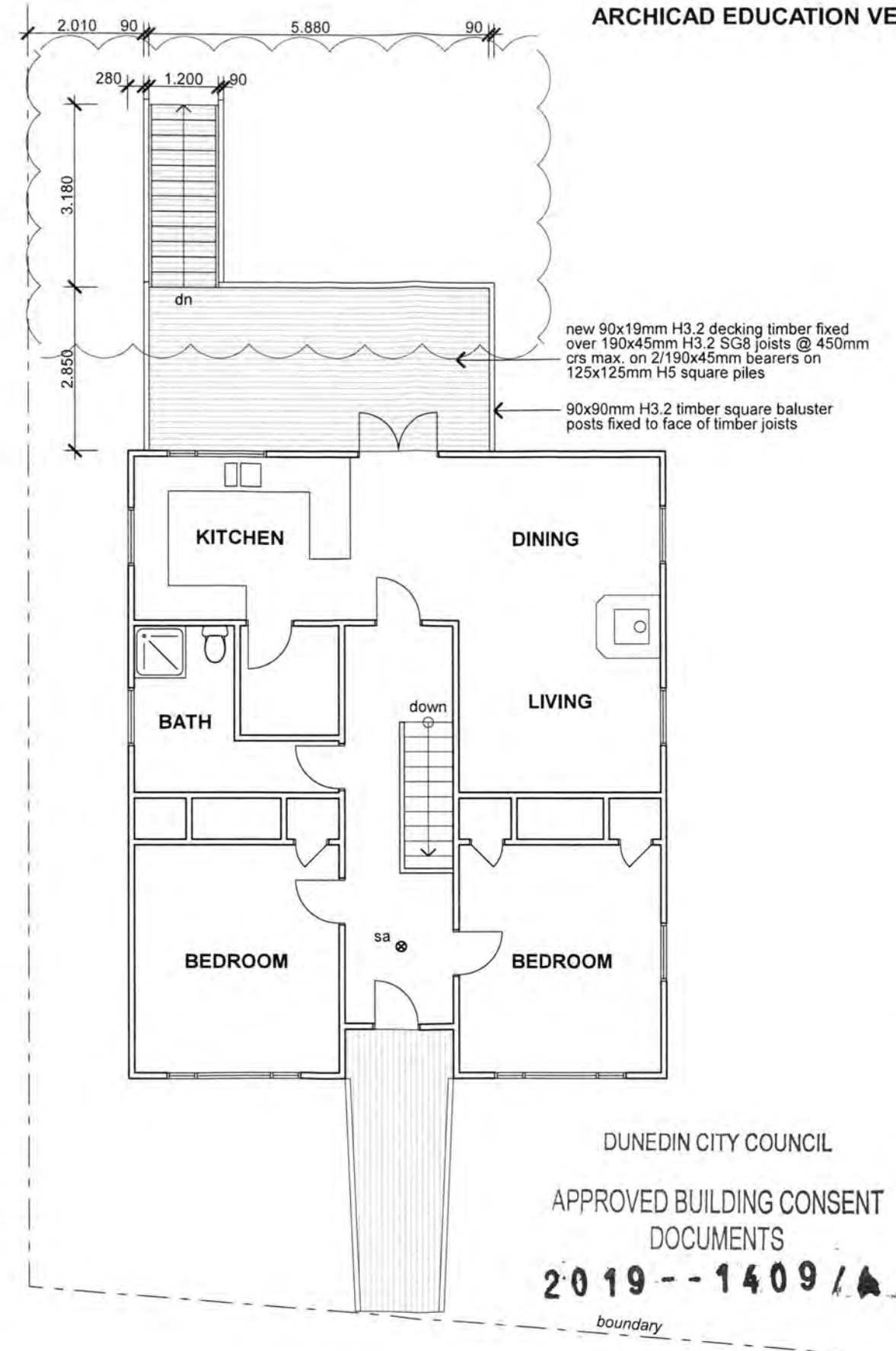
- indicates existing timber framed wall
- indicates new timber framed wall

**DOOR SCHEDULE**

| No. | WIDTH  | HEIGHT   | HEAD HEIGHT | LINTEL                  |
|-----|--------|----------|-------------|-------------------------|
| D1  | 2.600m | x 1.980m | 2.000m      | 2 / 240 x 45mm SG8 H1.2 |
| D2  | 0.810m | x 1.980m | 2.000m      | 2 / 90 x 45mm SG8 H1.2  |
| D3  | 0.810m | x 1.980m | 2.000m      | 2 / 90 x 45mm SG8 H1.2  |
| D4  | 0.610m | x 1.980m | 2.000m      | 2 / 90 x 45mm SG8 H1.2  |

**NOTE:**

sizes indicative only. All opening sizes to be confirmed prior to constructing any joinery.



**PROPOSED GROUND FLOOR PLAN**

SCALE 1:100

**PROPOSED ALTERATIONS LEWIS RESIDENCE**

136 TAIERI, DUNEDIN

DUNEDIN CITY COUNCIL

APPROVED BUILDING CONSENT DOCUMENTS

2019-1409/A

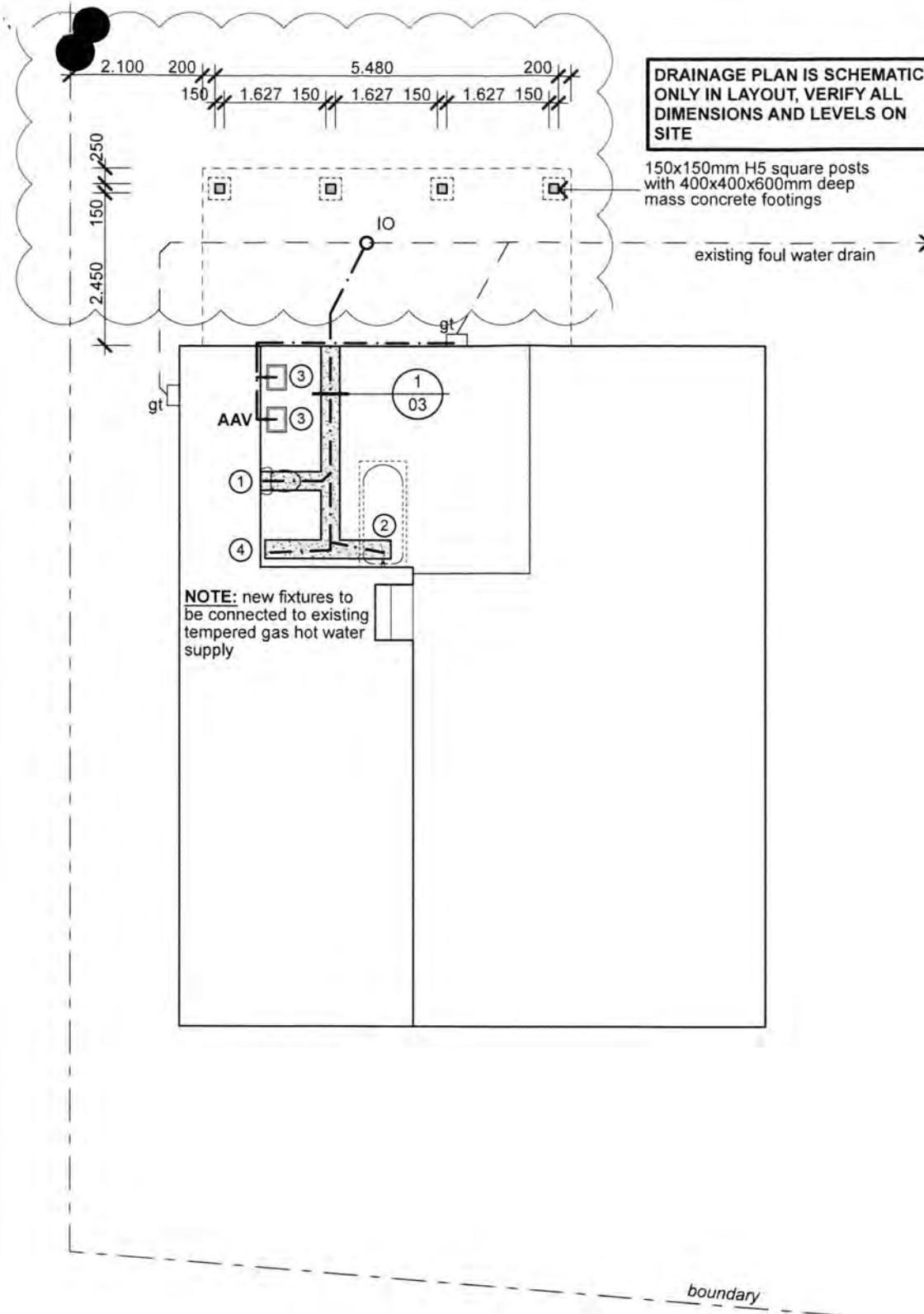
boundary

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SCALE 1:100 @ A3  
DATE JULY 2019  
JOB NUMBER CN-001  
PRINT DATE 17/12/19

BUILDING CONSENT  
DO NOT SCALE OFF DRAWINGS. DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION

02



**PROPOSED FOUNDATION PLAN**  
SCALE 1:100

| DIAMETER | GRADIENT |      |      |       |       |
|----------|----------|------|------|-------|-------|
|          | 1:20     | 1:40 | 1:60 | 1:80  | 1:100 |
| 65 (1)   | 60       | 25   | X    | X     | X     |
| 80       | 215      | 100  | 61   | (42)  | X     |
| 100      | 515      | 255  | 165  | (120) | X     |
| 150      | 2920     | 1790 | 1310 | 1040  | 855   |

**NOTE:**  
(1) 65 DN drains may be used as branch drains only, provided that no soil fixtures (except urinals) are connect thereto.  
(2) figures in brackets are the maximum fixture unit loadings for drains laid at reduced grades as permitted by AS/NZS 3500.2 Clause 3.4.2

ADAPTED FROM AS/NZS 3500.2 Table 3.1

| Fixture discharge pipe sizes and discharge units |     |              |                   |
|--|-----|--------------|-------------------|
| SANITARY FIXTURE                                 | D U | MIN PIPE DIA | MIN PIPE GRADIENT |
| Laundry  | 5   | 40mm         | 1:40              |
| Kitchen Sink                                     | 3   | 40mm         | 1:40              |
| Dishwasher                                       | 3   | 40mm         | 1:40              |
| Basin (WHB)                                      | 1   | 32mm         | 1:40              |
| Shower   | 2   | 40mm         | 1:40              |
| Toilet (WC)                                      | 4   | 100mm        | 1:60              |
| Total discharge units for house = 29             |     |              |                   |
| MIN SIZE & GRADE OF DRAINS                       |     |              |                   |
| Main drain                                       |     | 100mm        | 1:60              |
| Branch drain                                     |     | 65mm         | 1:40              |

ADAPTED FROM AS/NZS 3500.2 Table 6.1

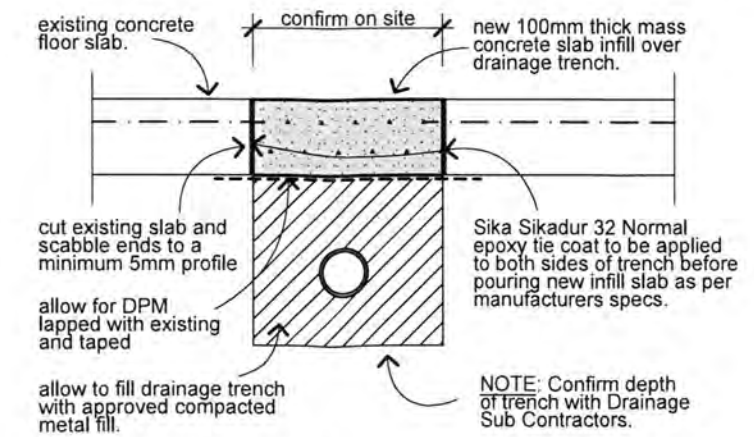
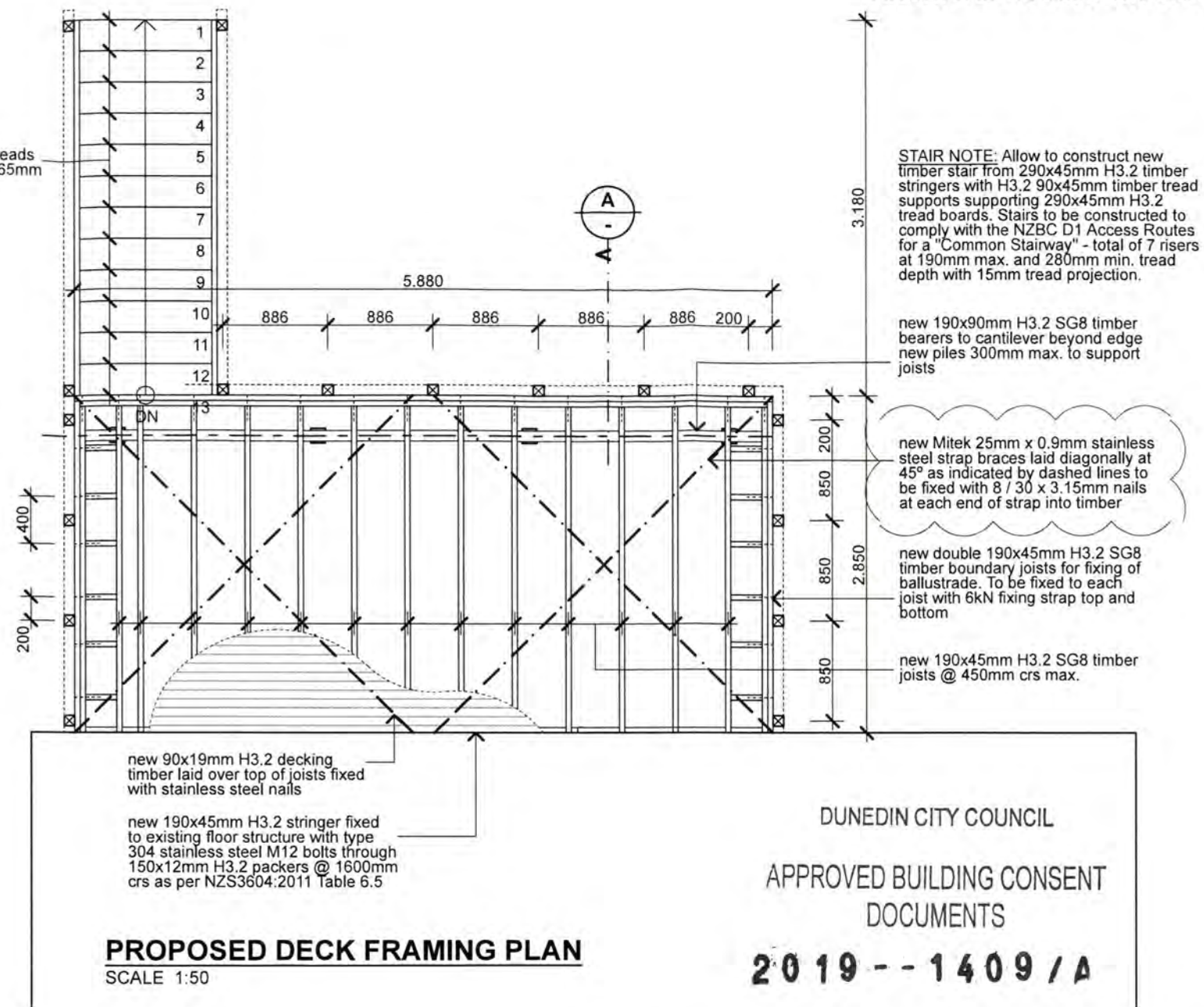
**PLUMBING SCHEDULE**

**NOTE:**  
Water supply services shall be in accordance with NZBC Acceptable Solution G12/AS1 Water Supplies.

Stormwater drainage has been designed in accordance with NZBC Acceptable Solution E1/AS1 Surface Water.

Sanitary plumbing and drainage has been designed to AS/NZS 3500: Part 2:2003 Sanitary Plumbing and Drainage.

- 1 wc - 100mm Ø waste from WC pan connecting connect into 100mm Ø waste run under floor slab connecting into existing main foul sewer drain.
- 2 bath - easiclean waste to bath discharging into a 65mm Ø waste and connect into 100mm Ø waste run under floor slab connecting into 1existing main foul sewer drain.
- 3 whb - 50mm Ø waste from whb to run within wall framing to discharge over existing gully trap. Air admittance valve to be fitted.
- 4 shower - easiclean waste to shower discharging into a 65mm Ø waste and connect into 100mm Ø waste run under floor slab connecting into 1existing main foul sewer drain.



**DETAIL OF NEW DRAINAGE TRENCH IN EXISTING SLAB**  
SCALE 1:10

**PROPOSED ALTERATIONS LEWIS RESIDENCE**  
136 TAIERI, DUNEDIN

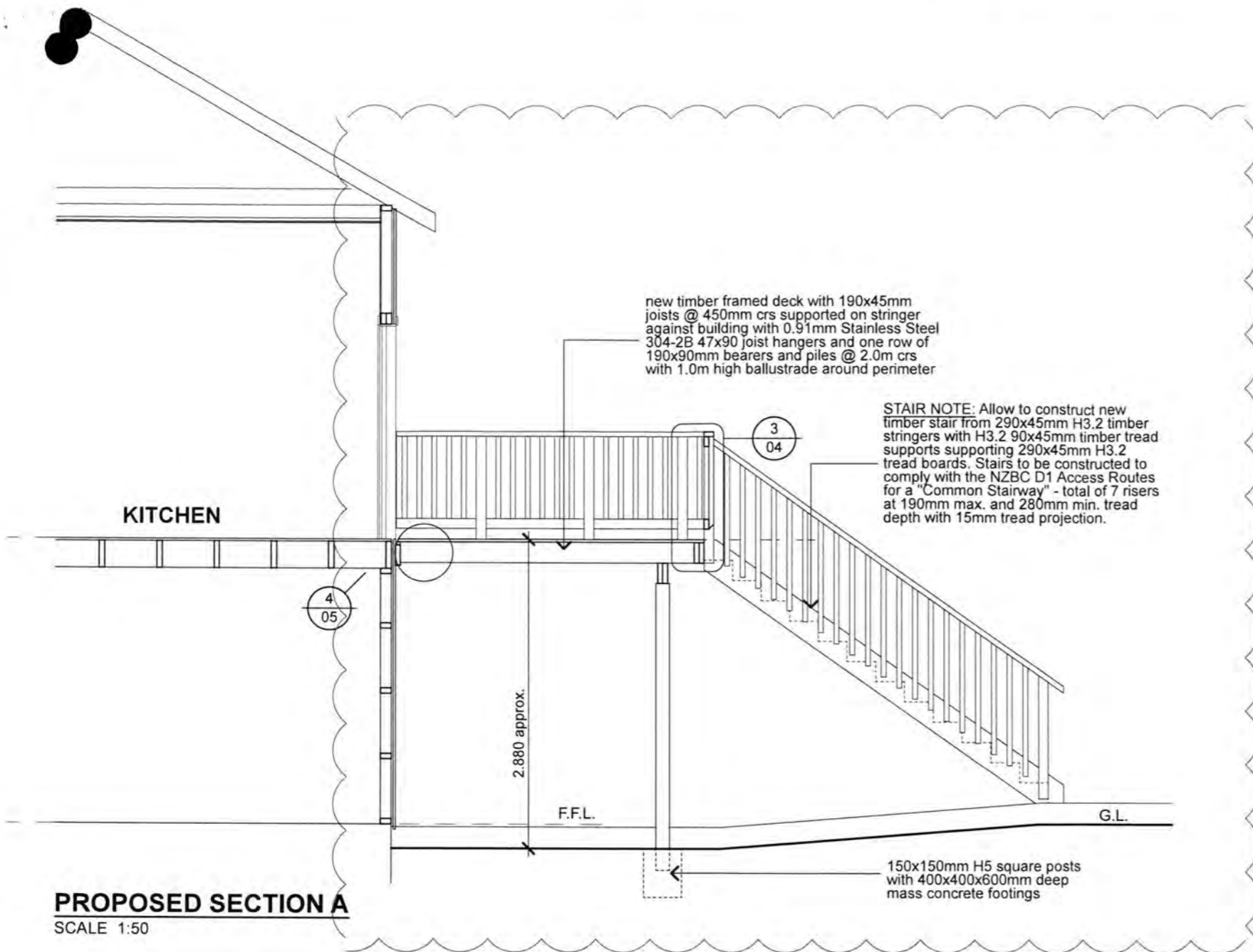
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DATE JULY 2019  
JOB NUMBER CN-001  
PRINT DATE 17/12/19

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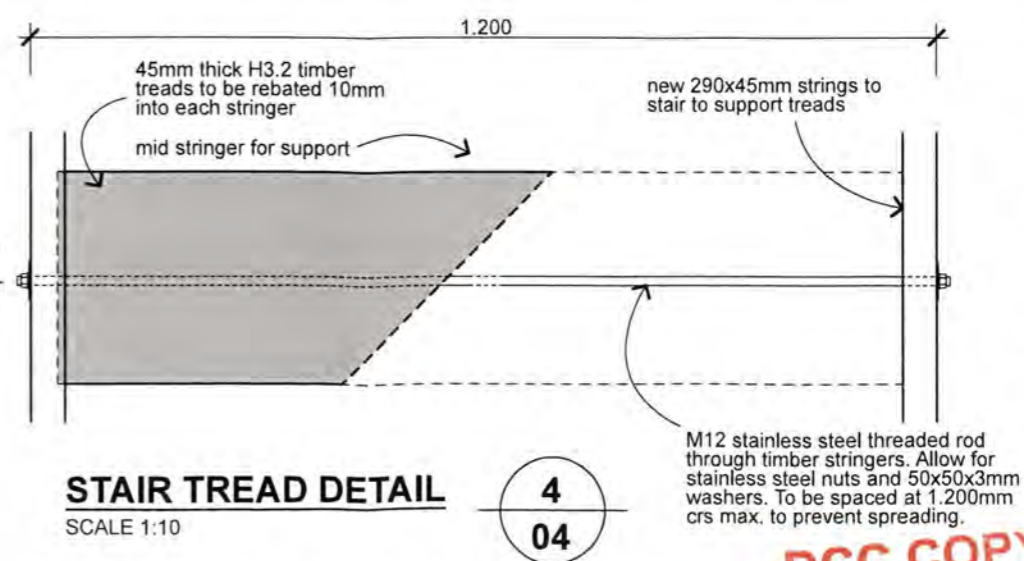
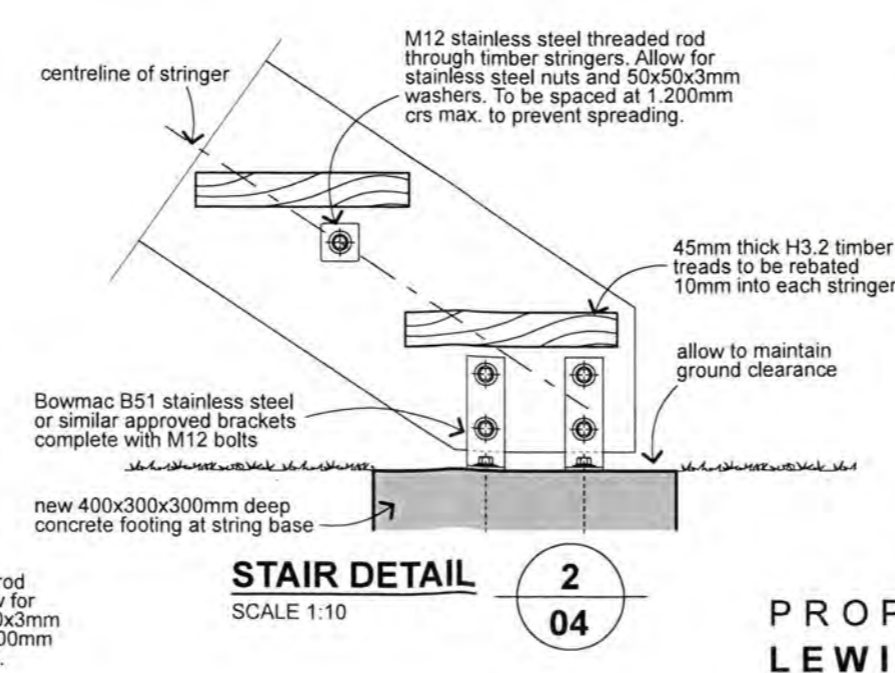
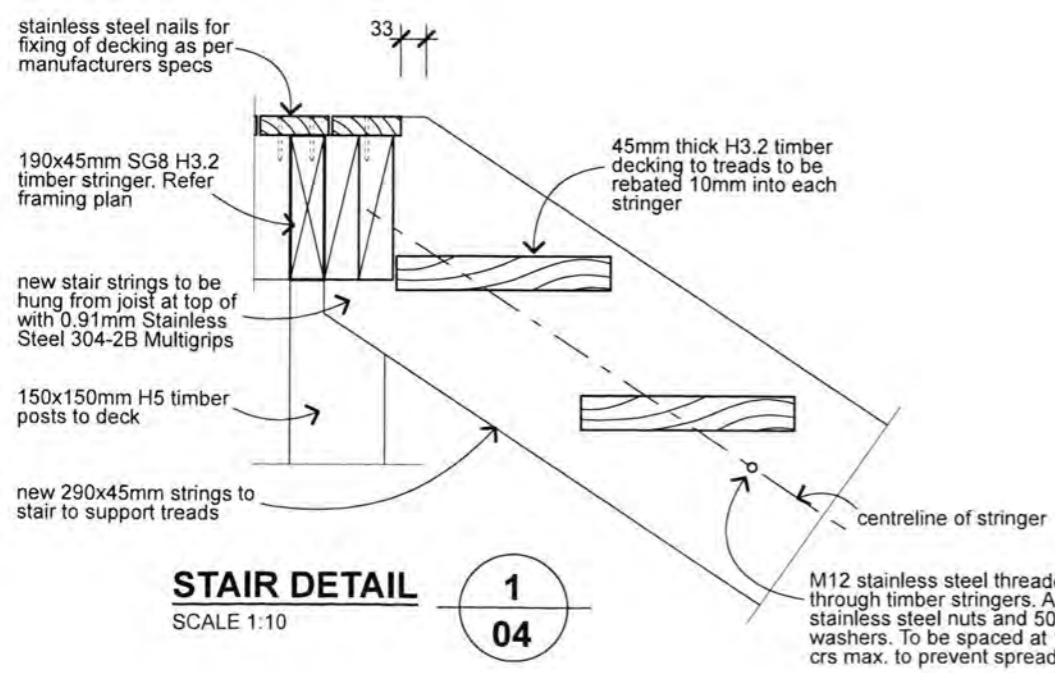
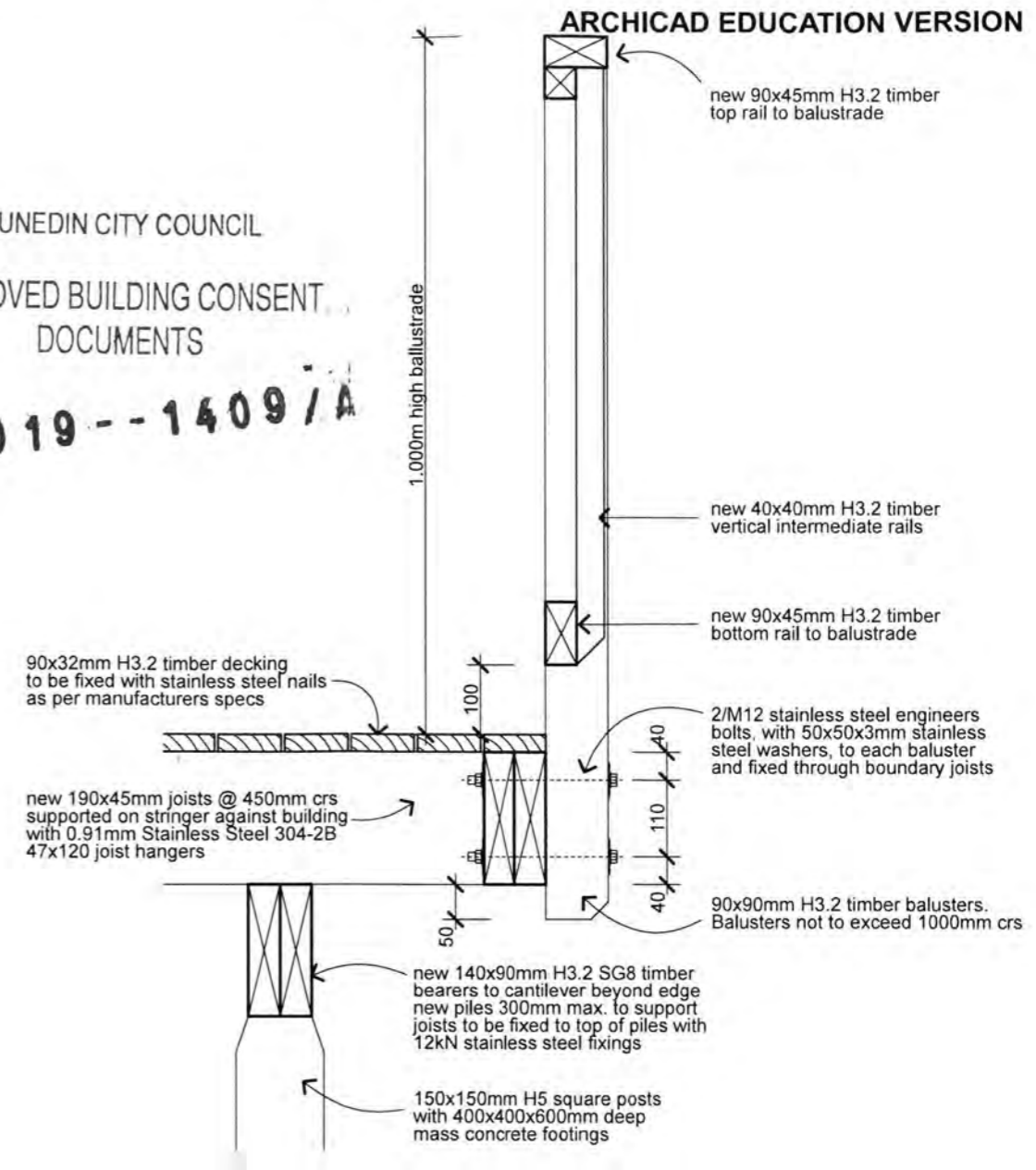
**03**

BUILDING CONSENT

DO NOT SCALE OFF DRAWINGS. DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION



DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENTS  
2019-1409/A



**PROPOSED ALTERATIONS**  
**LEWIS RESIDENCE**  
136 TAIERI, DUNEDIN

SCALE 1:50, 1:10 @ A3  
DATE JULY 2019  
JOB NUMBER CN-001  
PRINT DATE 17/12/19

**DCC COPY**

**04**

BUILDING CONSENT  
DO NOT SCALE OFF DRAWINGS. DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION

**Reference:** Dev 100  
**Enquiries To:** John Dewar  
**Direct Phone:** 474-3925

18 July 2000

Independent Building Advisory Services Ltd  
178 Balmacewen Road  
**DUNEDIN**

Dear Sir

**PROPERTY ADDRESS:** 136 TAIERI ROAD, DUNEDIN  
**PROPERTY NUMBER:** 5017551

I am pleased to advise that your report on the above property has been received by Council and will be placed on the Development Services property file for the property.

Yours faithfully

John Dewar  
**CHIEF BUILDING CONTROL OFFICER**

17 July 2000

Manager Building Control  
Dunedin City Council  
P.O. Box 5045  
Dunedin

S 017551

Dear Sir,

**Re: 136 Taieri Road, Dunedin.**

I inspected the above property on 13 July 2000.  
Following a request from Jan Gassmey, the owner of the property, I report as follows:

Alterations have been carried out to the above property, without the required Building Permit. The house is a two storey dwelling, constructed of part brick and part timber perimeter and internal foundations, timber weatherboard cladding with a galvanised corrugated iron roof.

A Building Permit was issued for fire reinstatement work to the property in 1989. The basement area was developed at the time of the fire reinstatement work. The alterations to the basement area differ to the plans submitted to Council.

The plans show the left rear basement room to be used as a storage area. The room is now used as a bedroom. Has a concrete floor installed. Difficult to ascertain but appears to have a damproof course under the floor slab as there are no signs of dampness to this room. Windows have been installed to the rear exterior wall of the room. Lintels have been installed over the openings and are suitable for the spans as there are no signs of deflection or settlement to these areas. Has opening sashes to the windows which provide the required ventilation.

The downstairs right rear room is shown on the plans as a rumpus room. This is now being used as a bedroom. Has a timber floor. No dampness seen. Has a large window and exterior door at the rear exterior wall of the room. There are three sets of louvre blades windows above the large fixed window which provide the required ventilation to the room.

Part of the basement area at the left side of the house has been altered for use as a laundry. Has a concrete floor installed. Has a laundry tub and cabinet installed with the waste pipe discharging to a gulley trap at the rear of the house. A vent pipe from the drier has been installed and discharges to the exterior of the house. Ventilation to the laundry is provided through the rear door of the basement area.

The alterations have been constructed to a good standard and are structurally sound.

I have advised Jan Gassmey this report will be submitted to you for your perusal and following your acceptance, will be placed on the Development Services file for that address.

Yours faithfully,



**K R BUSWELL** NZCB, RMBOINZ, RMNZIBS, IQP  
REGISTERED BUILDING SURVEYOR & BUILDING CONSULTANT

cc: Jan Gassmey, 3 Liddel Grove, Island Bay Wellington.





16 April 2025



Dear 

### ENCROACHING VEGETATION – 136 Taieri Road

It has been brought to our attention that some of the vegetation from your property is growing over the property boundary and encroaching into the road corridor, which includes footpaths and walkways.

To keep the area safe and clear for vehicles and pedestrians, especially those in our community who are sight impaired, we would like you to have this vegetation trimmed back to meet the clearances shown in the diagram overleaf.

#### Work Required

- 1. Prune vegetation back to edge of footpath
- 2. Prune vegetation 500 mm behind water channel/kerb
- 3. Prune vegetation to clear 2.5 meters height over footpath
- 4. Prune vegetation to clear 4.5 meters over road
- 5. Prune vegetation to clear sightline to traffic lights
- 6. Prune to clear vegetation from street/road signs
- 7. Hedges must be pruned back to property boundary – to contain seasonal growth.

Please complete this work within 28 days of the letter date and advise us upon completion. If you are unable to do the work in this timeframe or if you have already completed this recently, please contact us as soon as possible.

In areas where the work is to be carried out on or near the roadway and at risk from moving traffic the owner will need to engage a suitably qualified contractor to ensure this work can be carried out in accordance with DCC's safety and traffic management requirements.

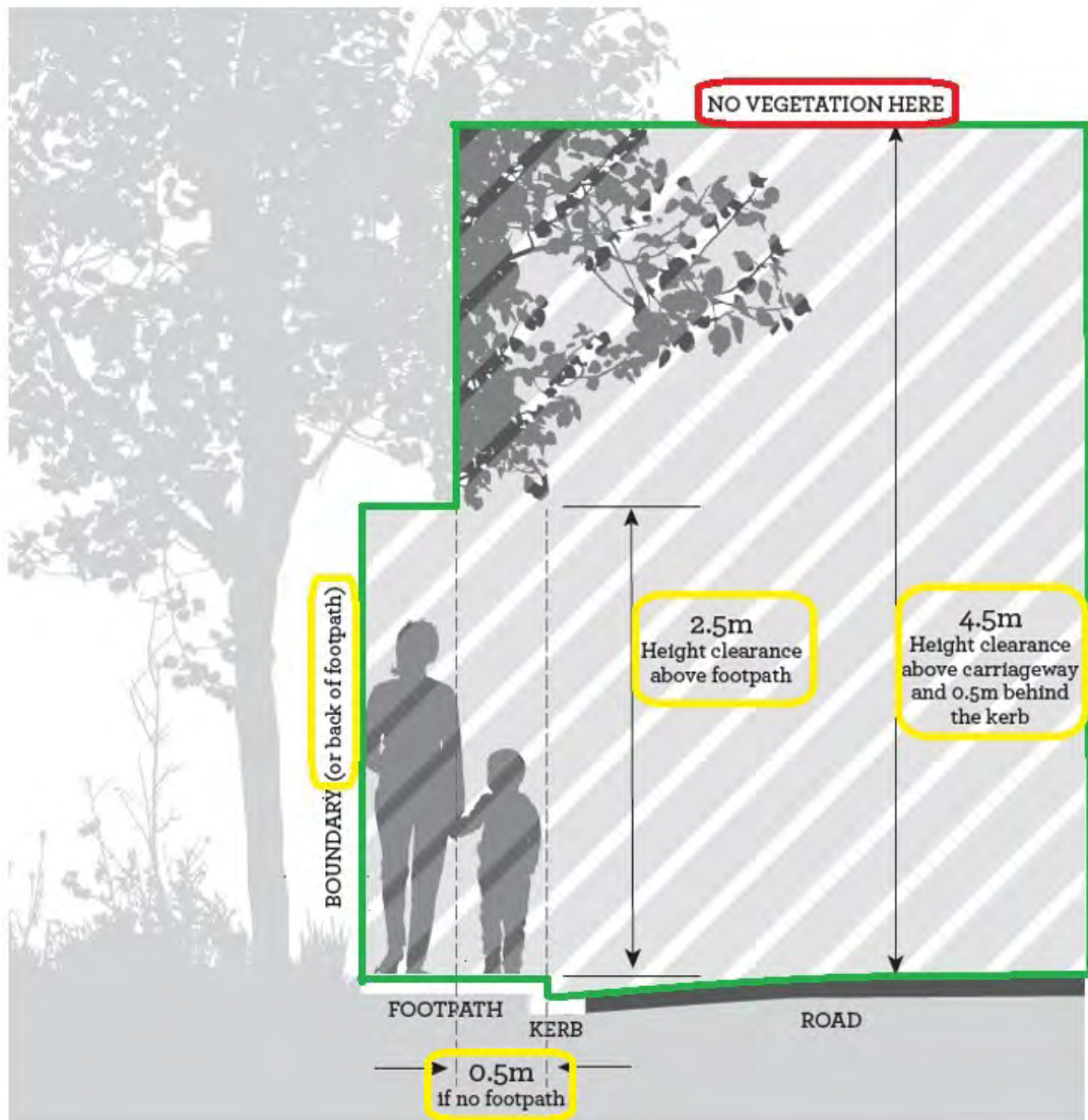
If you have any questions or concerns about this issue, please call the undersigned on 03 477 4000 or email to [dcc@dcc.govt.nz](mailto:dcc@dcc.govt.nz).

Yours faithfully

**TRANSPORT VEGETATION TEAM**  
**DUNEDIN CITY COUNCIL**



## Vegetation Free Envelope



### **Vegetation free envelope:**

4.5m above carriageway (and 0.5m behind kerb)  
2.5m above footpath, full width.



11 June 2025



Dear 

**LOCAL GOVERNMENT ACT 1974 - SECTION 355 - ENCROACHING VEGETATION**

Further to the notice delivered to you on 16/04/2025 the above address, take notice that under Section 355 of the Local Government Act 1974, you are formally required to cut back vegetation in the form of:

*“Vegetation, which is encroaching into the road corridor at 136 Taieri Road”*

Within 10 days of service of this notice, the owner may apply to a District Court for an order setting aside this notice. A copy of such application must be forwarded to the undersigned. Failure of the owner to either make application to the Court or to remove the vegetation within one month of issue of this notice will result in Dunedin City Council carrying out the required work (as provided for in the above Act) with the cost being a charge against the land.

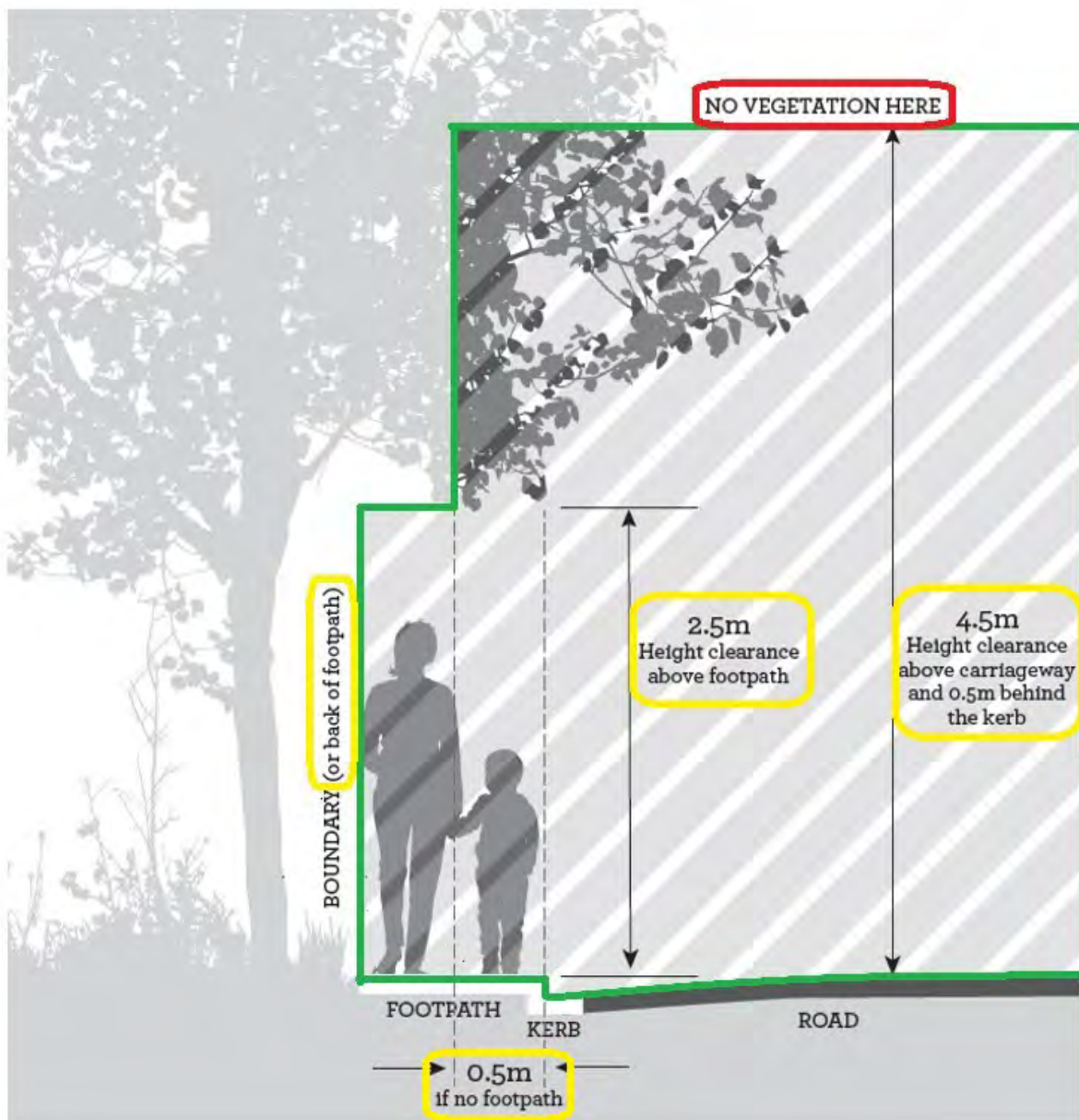
A cost estimate for the work is approximately NZ\$412.29 + GST.

Should you require any further information on the above, please do not hesitate to contact the undersigned on 477 4000 or email to [dcc@dcc.govt.nz](mailto:dcc@dcc.govt.nz).

Yours faithfully

**TRANSPORT VEGETATION TEAM  
DUNEDIN CITY COUNCIL**

## Vegetation Free Envelope



### Vegetation free envelope:

- 4.5m above carriageway (and 0.5m behind kerb)
- 2.5m above footpath, full width.