

ONE AGENCY

Disclaimer

The information in this pack has been provided by or on behalf of our client. It is made available by us in good faith. One Agency cannot warrant the content or completeness of this document. We have used our best endeavours to provide complete documentation and correct information.

However, to the extent that a recipient relies on any of this material, the recipient does so at their own risk. We will not be liable in any way for any incorrect or incomplete information in this material and no recipient will have any claim against us arising from any information contained or omitted from this material. A prospective purchaser should undertake their own due diligence or obtain advice from their own lawyers before entering into any Agreement for Sale and Purchase.



Dunedin City Council – Land Information Memorandum

Property Address: 17 Seaview Road Brighton

Prepared for: H T Housing Limited and One Agency Limited

Prepared on: 20-Oct-2025

Property Details:

Property ID	5051433
Address	17 Seaview Road Brighton
Parcels	LOT 2 DP 5510

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 20-Oct-2025

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

Contents

Dunedin City Council – Land Information Memorandum	1
Property Address: 17 Seaview Road Brighton.....	1
Prepared for: H T Housing Limited and One Agency Limited	1
Prepared on: 20-Oct-2025	1
Property Details:	1
Disclaimer:	1
s44A(2)(a) Information identifying any special feature or characteristics of the land	4
District Plan Hazard Information.....	4
Other Natural Hazard Information.....	4
Flood Hazards	4
Land Stability Hazards	4
Coastal Hazards	4
Seismic Hazards	4
Other Natural Hazards.....	4
Otago Regional Council Hazard Information.....	4
Contaminated Site, Hazardous Substances and Dangerous Goods	4
Contaminated Site Information.....	4
Historic Dangerous Goods Licence(s)	4
Hazardous Substances.....	4
s44A(2)(b) Information on private and public stormwater and sewerage drains.....	5
Drainage	5
Foul Sewer and Waste Water	5
Public Sewer Sheets.....	5
Dunedin City Council Private Drainage plans incomplete	5
s44A(2)(bb) Information Council holds regarding drinking water supply to the land	6
Water Supply	6
s44A(2)(c) Information relating to any rates owing in relation to the land	6
Rates Details	6
Rates Assessment Details	6
s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land	7
(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and.....	7
(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004	7
Building and Drainage Consents.....	7
Building and Drainage Permits	8
Building Notices	8
Resource Consents	8
Consent Notices.....	8
Alcohol Licensing	8
Health Licensing.....	8
s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006	8

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use	8
District Plan	8
District Plan Map	9
s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation.....	9
s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004	9
Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.	10
Building Information.....	10
Drainage	10
Foul Sewer and Waste Water.....	10
Minimum Floor Levels	11
Planning.....	11
Resource Consents within 50m of 17 Seaview Road Brighton.....	11
3 Waters	14
Information Regarding Watercourses	14
Transport	15
Glossary of Terms and Abbreviations.....	16
Consent, Permit, Licence & Complaint types	16
Terms used in Permits & Consents.....	16
General terms.....	17
Appendices	18

s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer holds any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **14th September 1995**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2051433
Address	17 Seaview Road Brighton
Valuation Number	27880-37500
Latest Valuation Details	
Capital Value	\$590,000
Land Value	\$315,000
Value of Improvements	\$275,000
Area (Hectares)	0.055HA
Units of Use	1

Current Rates

Current Rating Year Starting 01-Jul-2025
Dunedin City Council Rates \$3,836.03

Rates Outstanding for Year \$2,259.01

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:

- BC - Building Consent Issued
- CCC - Code Compliance Certificate Issued
- Archived - In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
- /CCC
- Refused
- Lapsed - Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2005-306892](#) Building Consent - Connect Existing Drain Cil to New Mud Tank and then to Council Stormwater Sewer

Lodgement Date 04-Feb-2005
Decision Granted
Decision Date 09-Feb-2005
Current Status **CCC Issued**
Previous Number ABA50264
(Applications before 2007)

[ABA-2005-310786](#) Building Consent - Deck/Lounge Doors/Window-Reclad Bedroom 1/Heater - Masport Le 3000

Lodgement Date 23-Dec-2005
Decision Granted
Decision Date 24-Feb-2006
Current Status **CCC Issued**
Previous Number ABA54223
(Applications before 2007)

Building and Drainage Permits

[H-1949-34583](#) AAB19495133

1425 - Erect Shed (Hollows). The permit was lodged on 25-Mar-1949.

[H-1951-39074](#) AAB19514884

2038 - Erect Dwelling (Freeman). The permit was lodged on 14-Dec-1951.

[H-1962-59300](#) AAB19621900

93780 - Erect Garage and Add Sunroom to Dwelling (Freeman). The permit was lodged on 16-Apr-1962.

[H-1992-113791](#) AAB19923174

6097 - Install Juno Heater in Living Room. The permit was lodged on 18-Jun-1992.

[H-1983-283225](#) AAS19830560

4246 - Water Connection, Lay Drains to Foul and Stormwater Sewer (Freeman). The permit was lodged on 10-Jun-1983.

Building Notices

No Building Notices

Resource Consents

There are no resource consents for this property.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan ("The 2GP") is subject to change at any time.

To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- Township and Settlement (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Archaeological Alert Layer (part)

[Please note that some of the items above may only extend over part of the property. If there are multiple designations over the property, these may overlap.]

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Seepage

A seepage incident has been lodged on this property.

Seepage Incident 847890 – 30/10/2002 - Completed

Foul Sewer and Waste Water

Restrictions near Council infrastructure

There is Dunedin City Council water infrastructure located within the boundaries of this property, as shown on the attached reticulation plans.

Relevant deposited plans, certificates of title and memoranda of transfer at Land Information New Zealand (www.linz.govt.nz) should be reviewed for information relating to any existing registered easements. However, as the Local Government Act 2002 (LGA) provides statutory rights for public infrastructure, easements are not always registered.

No building or structure shall be constructed within 2.5 metres of any Council-owned underground infrastructure, or as specified on any registered easement, without the written approval of the Council.

Infrastructure shall not be damaged or otherwise interfered with. Prior to commencing any works within the subject property, all Council-owned structures, mains and service pipes, and associated fittings are to be located on-site and, if necessary, protected.

The Council can enter the land to inspect, alter, renew, repair or clean its infrastructure under the LGA. For planned works, reasonable notice will be given.

Within new land subdivisions the Council requires an easement in gross over public water supply infrastructure. The easement in gross must be a minimum of 3 metres wide, centred on the as-built position, and made in accordance with the Dunedin Code of Subdivision and Development 2010: Section 6.3.10.3 (Water).

Planting near infrastructure should be avoided, particularly large trees or other species whose roots could cause damage.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 17 Seaview Road Brighton

232 R Brighton Road Brighton

[LUC-2024-73/A](#) Land Use Consent s127 variation to conditions - earthworks over Council-owned infrastructure. The outcome was s127 Upheld on 04/12/2024.

[LUC-2024-73](#) Land Use Consent earthworks over Council-owned infrastructure. The outcome was Granted on 04/03/2024.

[RMA-2001-364800](#) Resource Management Act (Historical Data) TELECOMMUNICATIONS CABINET IN ROAD RESERVE ABOVE PERMITTED SIZE FOR ABOVE GROUND UNIT (Non-Notified - Restricted Discretionary). The outcome was Granted on 08/06/2001.

[RMA-2006-370219](#) Resource Management Act (Historical Data) DIRECTIONAL SIGNS FOR TOURISTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 03/08/2006.

[RMA-1995-357475](#) Resource Management Act (Historical Data) Ownr:KENNEDY R.J.W. (Non-Notified - Non Complying).

5051371 28 Seaview Road Brighton

[LUC-2013-73](#) Land Use Consent demolish existing house/establish new home. The outcome was Granted on 14/03/2013.

5051410 984 Brighton Road Brighton

[LUC-2007-107](#) Land Use Consent To construct a garage. The outcome was Granted on 17/04/2007.

5051411 986 Brighton Road Brighton

[LUC-2021-450](#) Land Use Consent the establishment of a dwelling and retaining walls within side yard setbacks. The outcome was Granted on 08/10/2021.

5051412 988 Brighton Road Brighton

[LUC-2018-595](#) Land Use Consent land use consent to undertake earthworks and construct a dwelling. The outcome was Granted on 30/10/2018.

5051413 990 Brighton Road Brighton

[RMA-1985-354391](#) Resource Management Act (Historical Data) SUBDIVIDE CERT TITLE 255/240 INTO 3 ALLO Ownr:TL THOMSON / App: TL THOMSON (Notified - Non Complying). The outcome was Granted on 10/02/1986.

5051417 998 Brighton Road Brighton

[POL-2005-350314](#) Planning Other Legislation RIGHT OF WAY OVER OT256/228 IN FAVOUR OF OT3D/664 (Other). The outcome was Granted on 28/04/2005.

5051429 9 Seaview Road Brighton

[DIS-2013-2](#) District Plan Matters Change of Requiring Authority on 19 Telecom designations to Chorus and 6 to Chorus & Telecom (D319 and D332 still with Telecom); uplift of D338; condition on radiofrequency emissions consideration for redundancy with Telecommunications NES. The outcome was Accept in Part on 22/08/2013.

5051431 13 Seaview Road Brighton

[LUC-2024-432](#) Land Use Consent a retaining wall supporting fill sited on the boundary. The outcome was Granted on 20/01/2025.

[RMA-1991-353161](#) Resource Management Act (Historical Data) ER DECK, DINING ROOM, LOUNGE Ownr:THOMSON / App: THOMSON (Non-Notified - Non Complying). The outcome was Granted on 04/07/1991.

5051432 15 Seaview Road Brighton

[LUC-2024-432](#) Land Use Consent a retaining wall supporting fill sited on the boundary. The outcome was Granted on 20/01/2025.

[RMA-1991-353157](#) Resource Management Act (Historical Data) ADD DECK TO DWELLING Ownr:BURGESS / App: BURGESS (Non-Notified - Non Complying). The outcome was Granted on 24/06/1991.

5051435 21 Seaview Road Brighton

[RMA-2005-369230](#) Resource Management Act (Historical Data) ADDITION TO DWELLING WITHIN 4.5M (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/07/2005.

5114512 45 McIntosh Road Brighton

[SUB-1976-353463](#) Subdivision Consent Scheme Plan 151 to subdivide CT 6C/1112 to create one lot (fronting Scroggs Hill Road) and balance area. The outcome was Granted on 08/03/1976.

[S221-2008-14](#) s221 Change or Cancellation of Consent Notice Partial cancellation of a consent notice as the result of a subdivision. The outcome was Granted on 28/08/2008.

[LUC-2008-389](#) Land Use Consent Construction of two additional residential units on Lot 2 DP 406172 prior to issue of new certificates of title (under SUB-2008-118 which will subdivide the site into three lots). The outcome was Granted on 28/08/2008.

[SUB-2008-118](#) Subdivision Consent 3 lot subdivision. The outcome was Granted on 28/08/2008.

[RMA-2005-368675](#) Resource Management Act (Historical Data) Two lot subdivision of CT 6303 (Lot 1 DP 301486) (Non-Notified - Restricted Discretionary). The outcome was Granted on 12/02/2005.

[RMA-2001-364816](#) Resource Management Act (Historical Data) Boundary adjustment subdivision - Reapproval of subdivision scheme subject of RMA-1997-361183 to enable new certification of survey plan (Non-Notified - Non Complying). The outcome was Granted on 12/06/2001.

[RMA-1997-361183](#) Resource Management Act (Historical Data) Boundary adjustment subdivision between CT 17A/960 and CT 6B/1224 to transfer Lot 1 (696m²) to amalgamate with Lot 5 DP 4819 (Non-Notified - Non Complying). The outcome was Granted on 22/08/1997.

[RMA-1995-357283](#) Resource Management Act (Historical Data) Subdivide Certificate of Title 8C/232 (balance land area resulting from SUB-1976-353463) into four lots (Non-Notified - Non Complying). The outcome was Granted on 10/07/1995.

5124768 996 Brighton Road Brighton

LUC-2016-623 Land Use Consent land use consent for existing residential activity with bulk and location breaches on the new undersized Lot 2 SUB-2016-130, and the existing residential activity utilising an under-width access on new Lot 1 SUB-2016-130. The outcome was Granted on 02/02/2017.

SUB-2016-130 Subdivision Consent subdivision consent to subdivide into two lots. The outcome was Granted on 02/02/2017.

RMA-1994-356816 Resource Management Act (Historical Data) EST FIRST FLOOR DECK AREA Ownr:D WRIGHT / App: D WRIGHT 996 BRIGHTON RD (Non-Notified - Non Complying). The outcome was Granted on 10/06/1994.

RMA-1993-356309 Resource Management Act (Historical Data) EXTEND DWELLING AND BUILD ADDITIONAL STOREY Ownr:PJM WRIGHT / App: PJM WRIGHT 996 BRIGHTON RD (Non-Notified - Non Complying). The outcome was Granted on 30/11/1993.

POL-2005-350314 Planning Other Legislation RIGHT OF WAY OVER OT256/228 IN FAVOUR OF OT3D/664 (Other). The outcome was Granted on 28/04/2005.

5124769 11 Seaview Road Brighton

LUC-2016-623 Land Use Consent land use consent for existing residential activity with bulk and location breaches on the new undersized Lot 2 SUB-2016-130, and the existing residential activity utilising an under-width access on new Lot 1 SUB-2016-130. The outcome was Granted on 02/02/2017.

SUB-2016-130 Subdivision Consent subdivision consent to subdivide into two lots. The outcome was Granted on 02/02/2017.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand.

The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Vehicle crossing - shared vehicle access.

It appears that the vehicle access to this property is via a shared driveway. Please consult with your Lawyer to find out if this is registered under your property title and/or there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

Non-compliant vehicle crossing – not sealed for the first 5 metres.

To meet current Council standards the vehicle crossing would be required to be hard surfaced from the edge of the carriageway for first 5m towards the property boundary. This requirement is to prevent debris migrating from inside the property out onto the footpath and/or carriageway. Council accepts this situation but accepts no liability and points out that maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer

HEA	Heater
ICC	Interim Code Compliance
MH	Manhole
PL	Plumbing
PLB	Plumbing
PTE	Private
SIS	Sewer in section
WC	Water course
WT	Water table
SW	Stormwater

General terms

RDMS Records and Document Management System

Appendices



Photographic Map

Scale at A4:

1:750

14/10/2025
8:03:42 PM



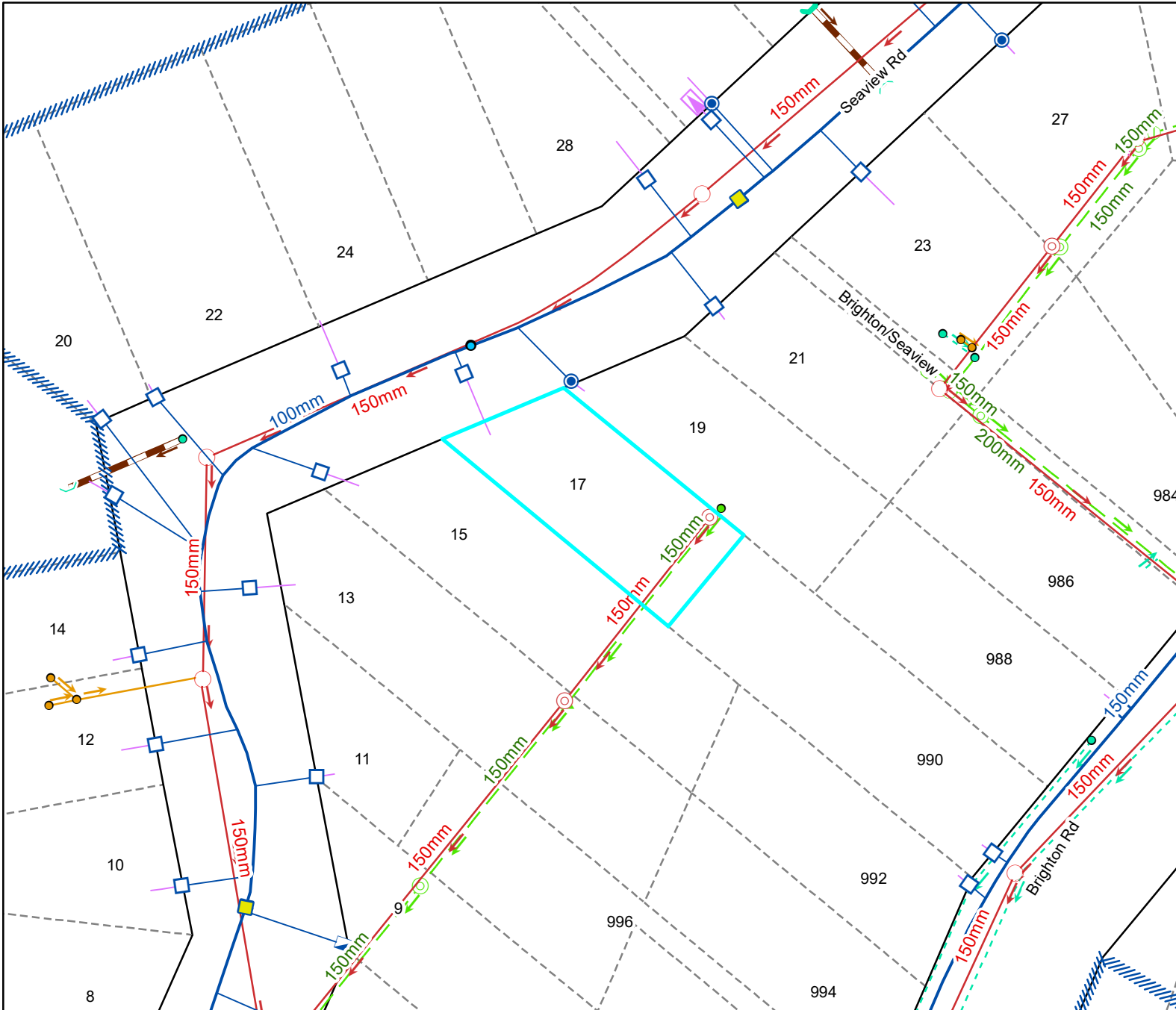
PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES

This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthophotographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

2019-2019 Urban. Copyright DCC/Aerial Surveys
Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ

2013 Urban and rural photography Jan/Feb 2013.
Copyright DCC. CC BY 3.0 NZ.

2006/2007 Urban photography March 2007,
copyright NZAM. Rural photography March
2006, copyright Terralink International Ltd.



Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Rider
	Water Valve - Sluice		Scour
	Water Hydrant		Water Service Lateral
	Water Backflow Preventor - RPZ		Water Fire Service Lateral
			Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

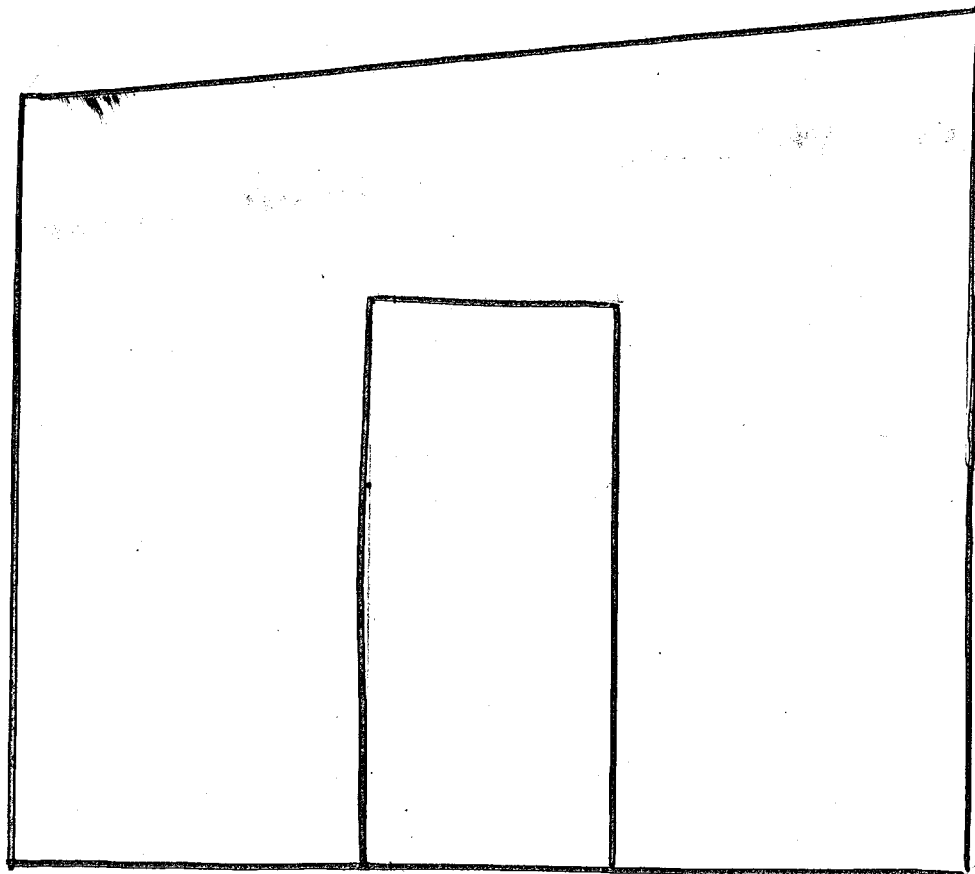
	SW Bubble-Up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

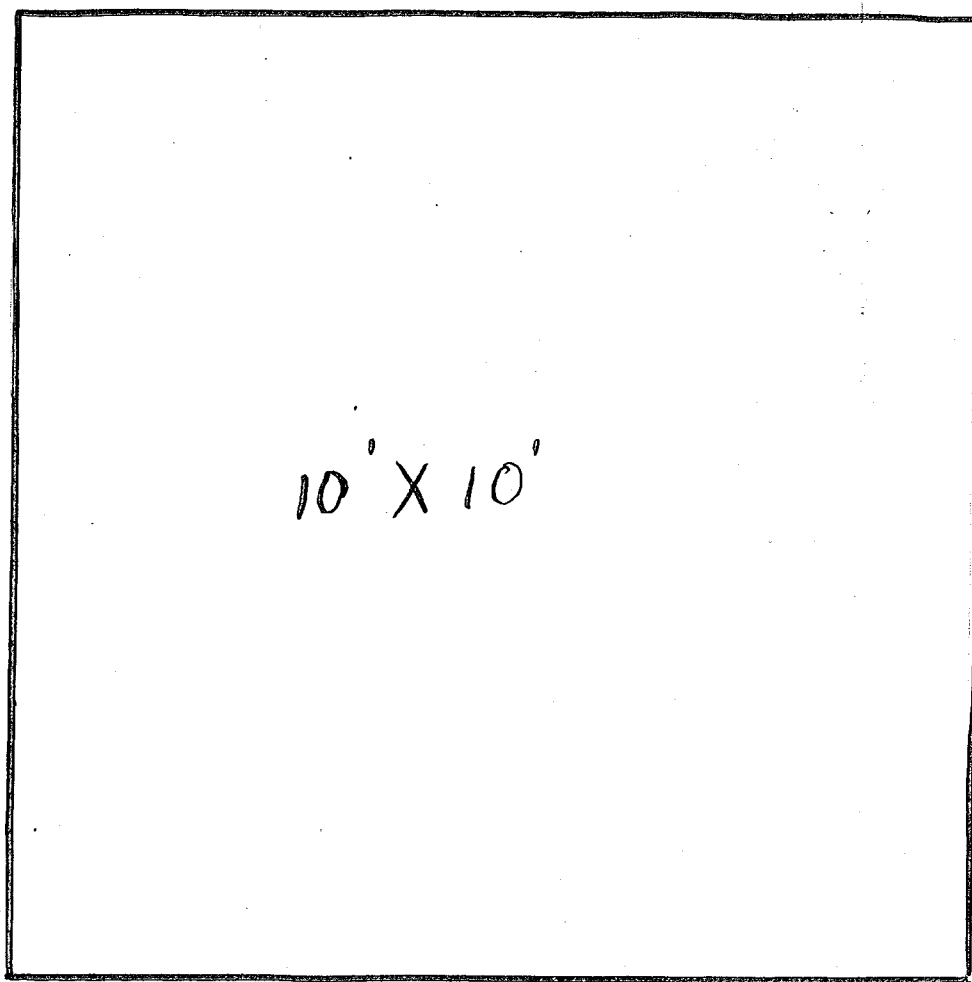
General

	DCC Water & Waste Structure		Parcel
	Railway Centreline		Hydro
			Road/Rail
			Motorway Parcels
			Strata
			Easment (where recorded)

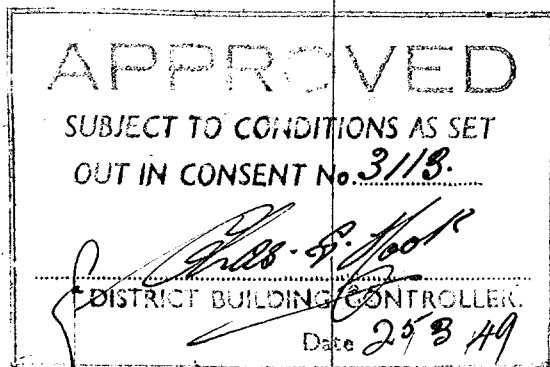
Binding Margin to be left Blank



FRONT
ELEVATION



PLAN



Owner

Street

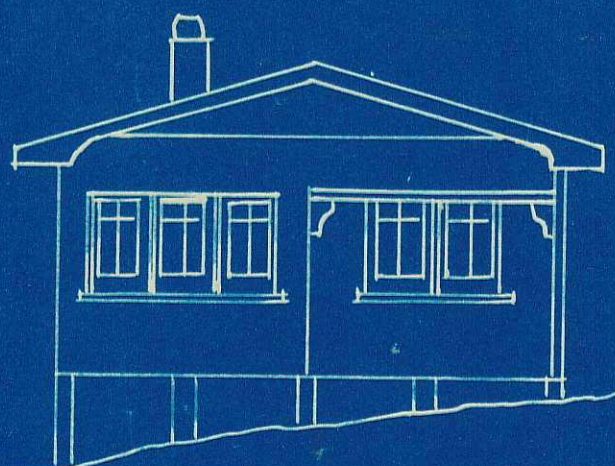
Locality

Block

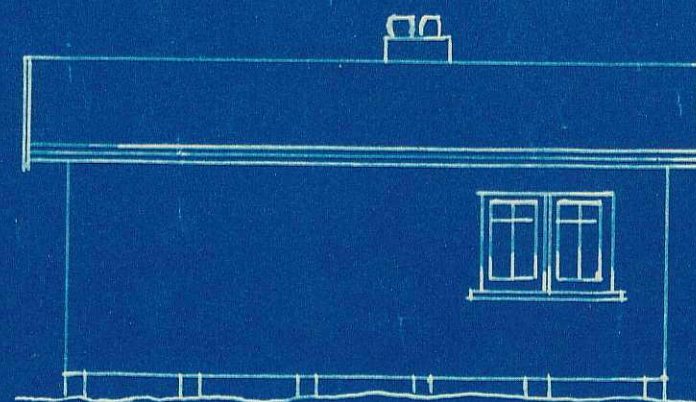
Section

Allotment

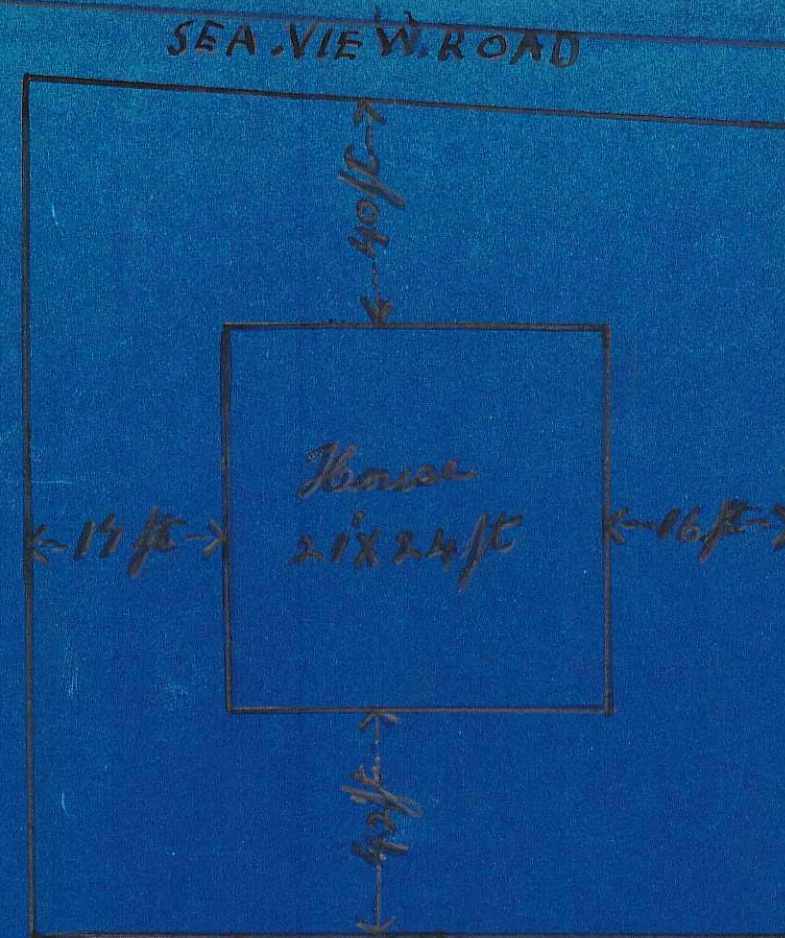
PROPOSED RESIDENCE for MRS C. FREEMAN BRIGHTON
 SCALE $\frac{1}{8}$ INCH = 1 FT.



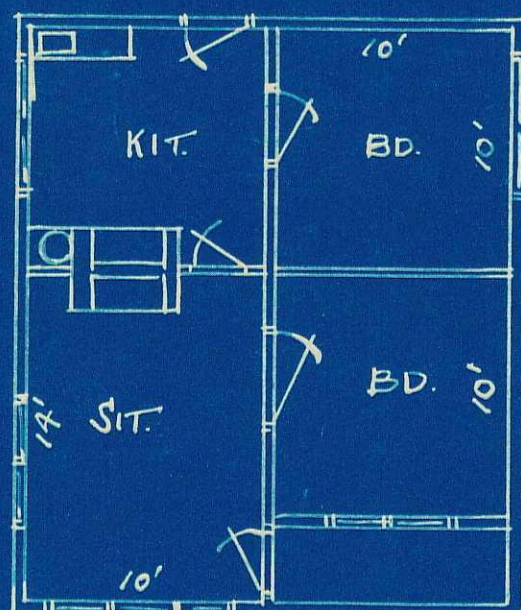
FRONT
ELEVATION



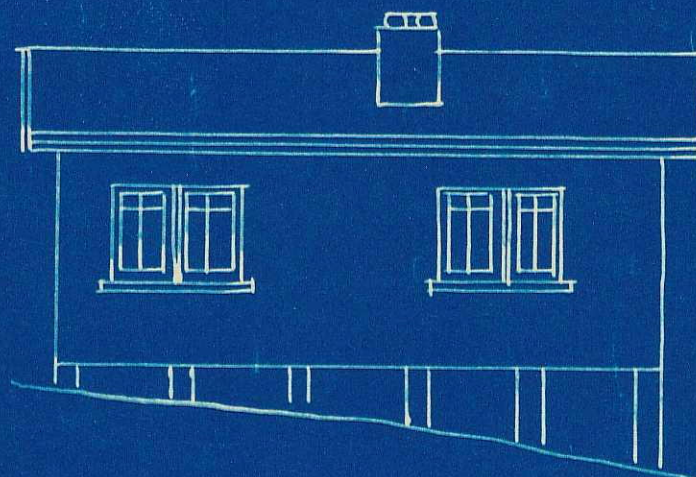
SIDE
ELEVATION



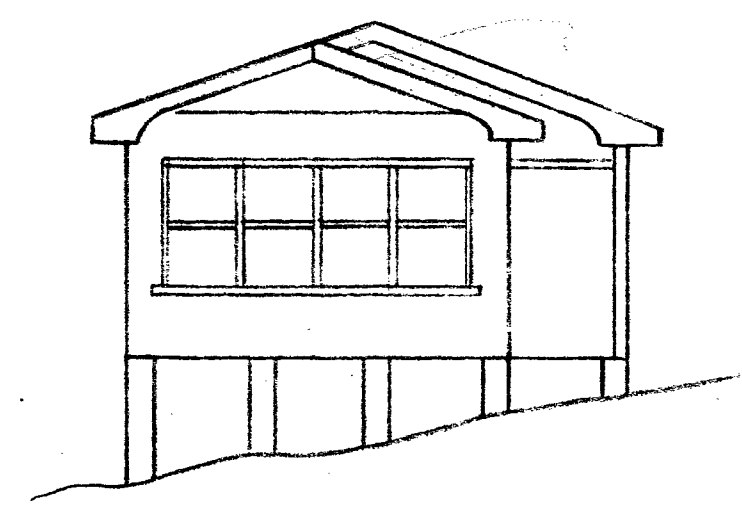
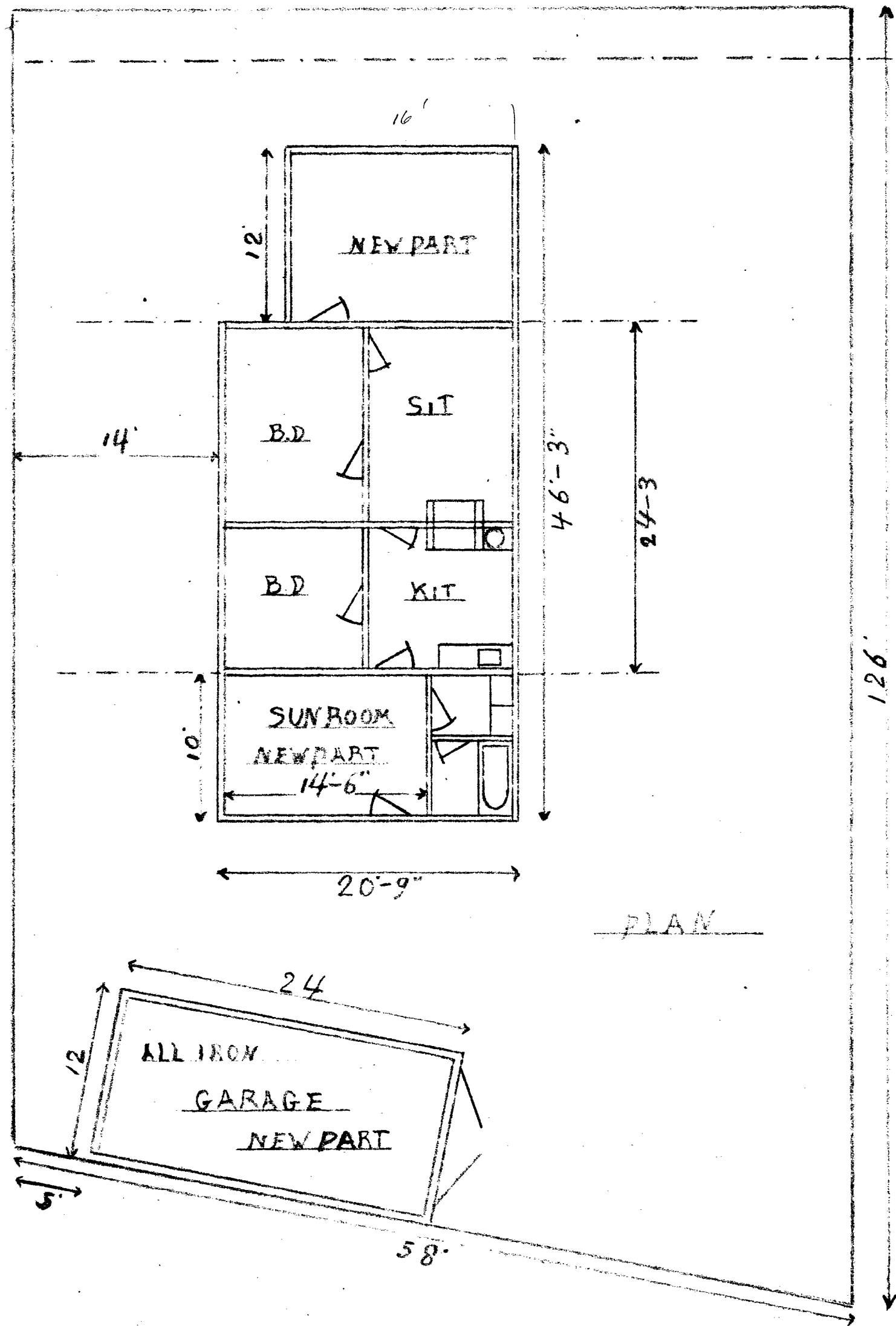
GROUND
PLAN



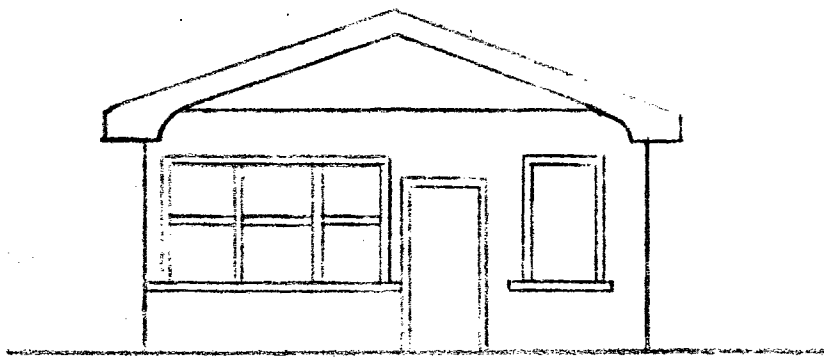
PLAN



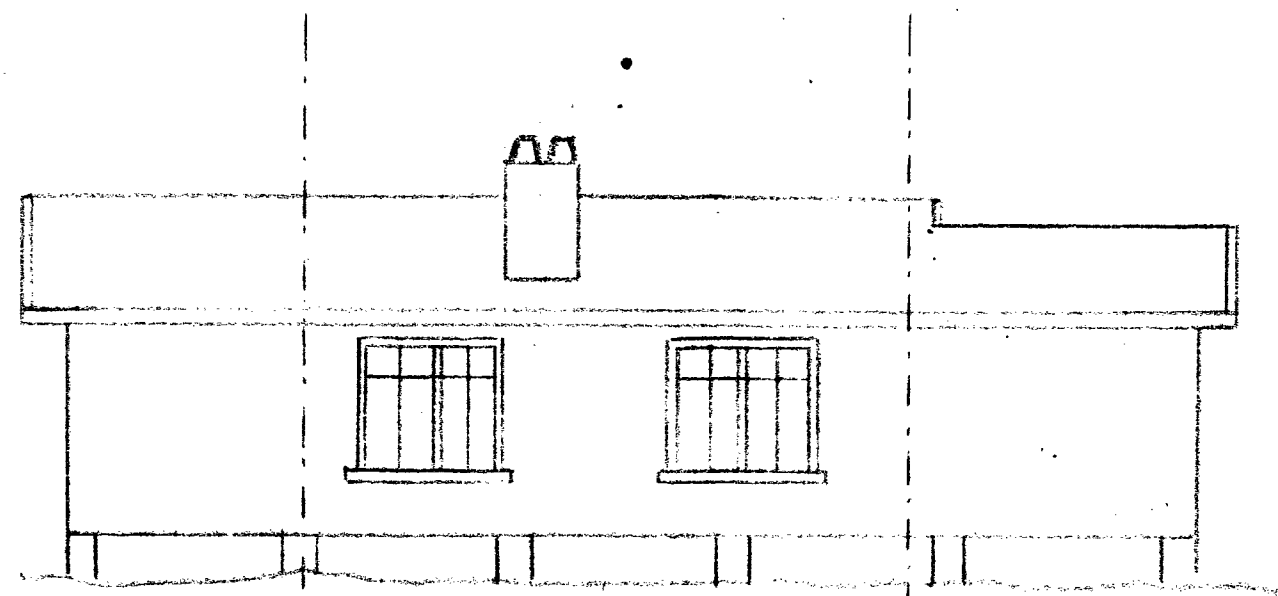
SIDE
ELEVATION



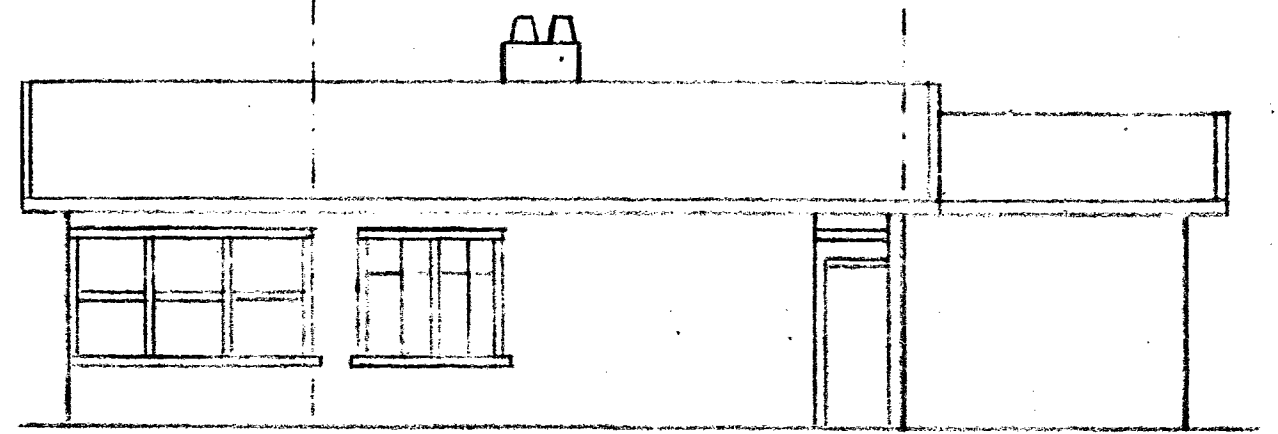
FRONT



BACK



NEW PART SOUTH SIDE NEW PART



NORTH SIDE

ADDITION FOR MRS C. FREEMAN		
SEAVIEW ROAD BRIGHTON		
BUILDER D. MC GREGOR	SCALE 1/8" = 1 FOOT	DRAWN BY <i>[Signature]</i>

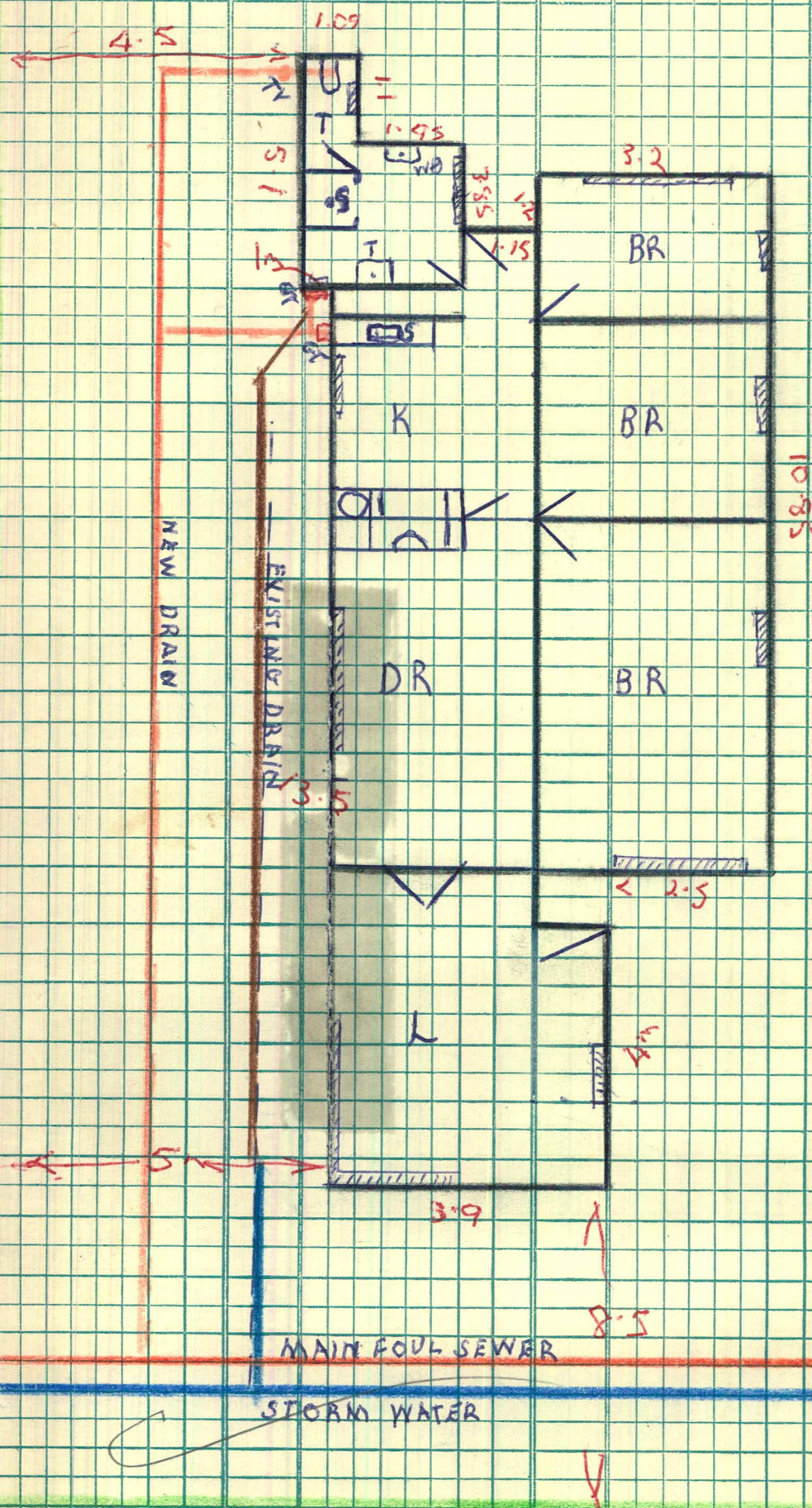
27880/375

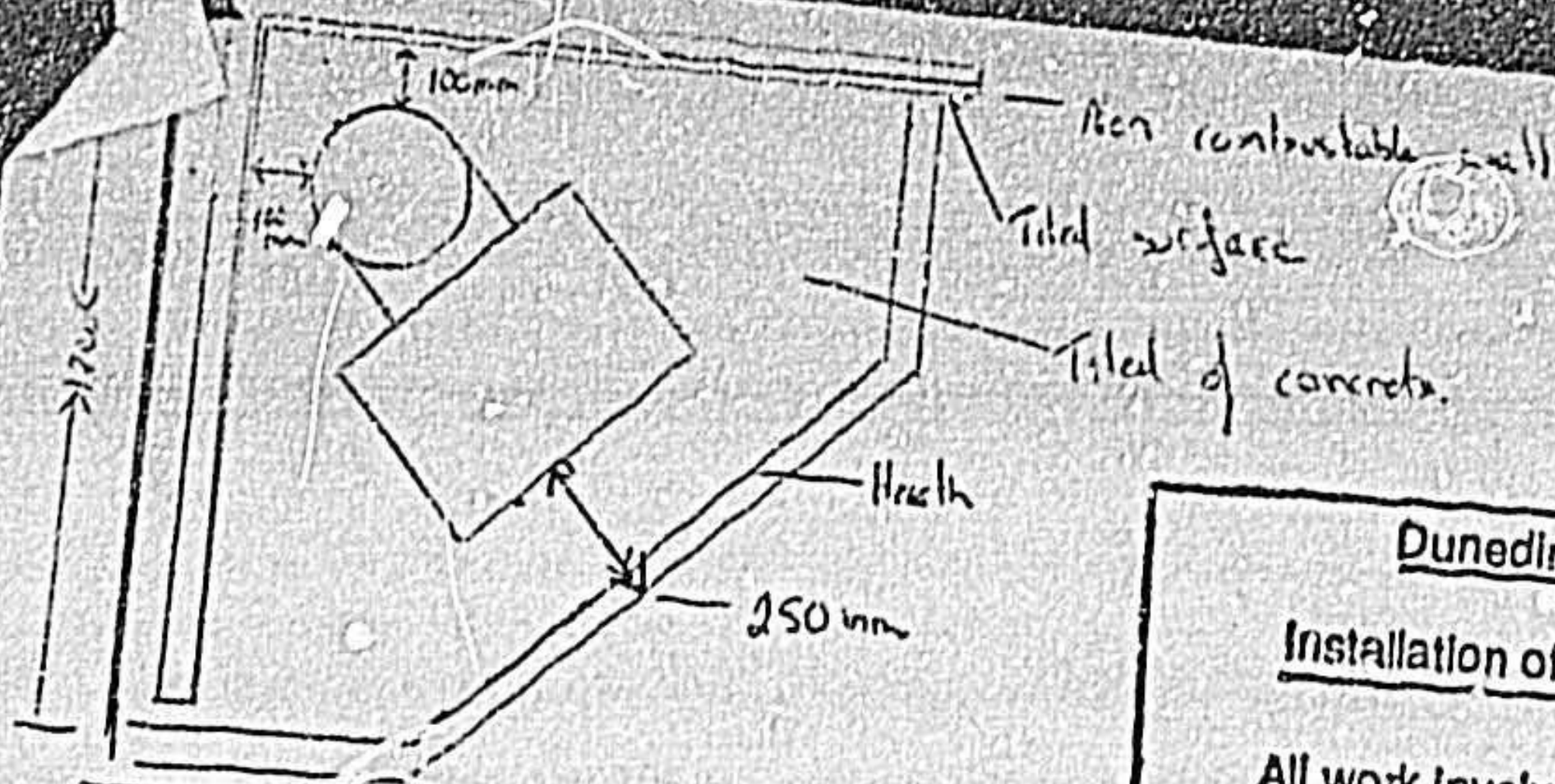
Ni 1

17 BEAUFIELD

Rd

FREEMAN





Dunedin City Council

Installation of Wetback Heaters

All work involved in installing the wetback and water pipework must be carried out by a Craftsman Plumber under permit from the Board. A separate application is required for this permit.

The work must comply with the requirements of the Drainage and Plumbing Regulations 1978.

DUNEDIN CITY COUNCIL

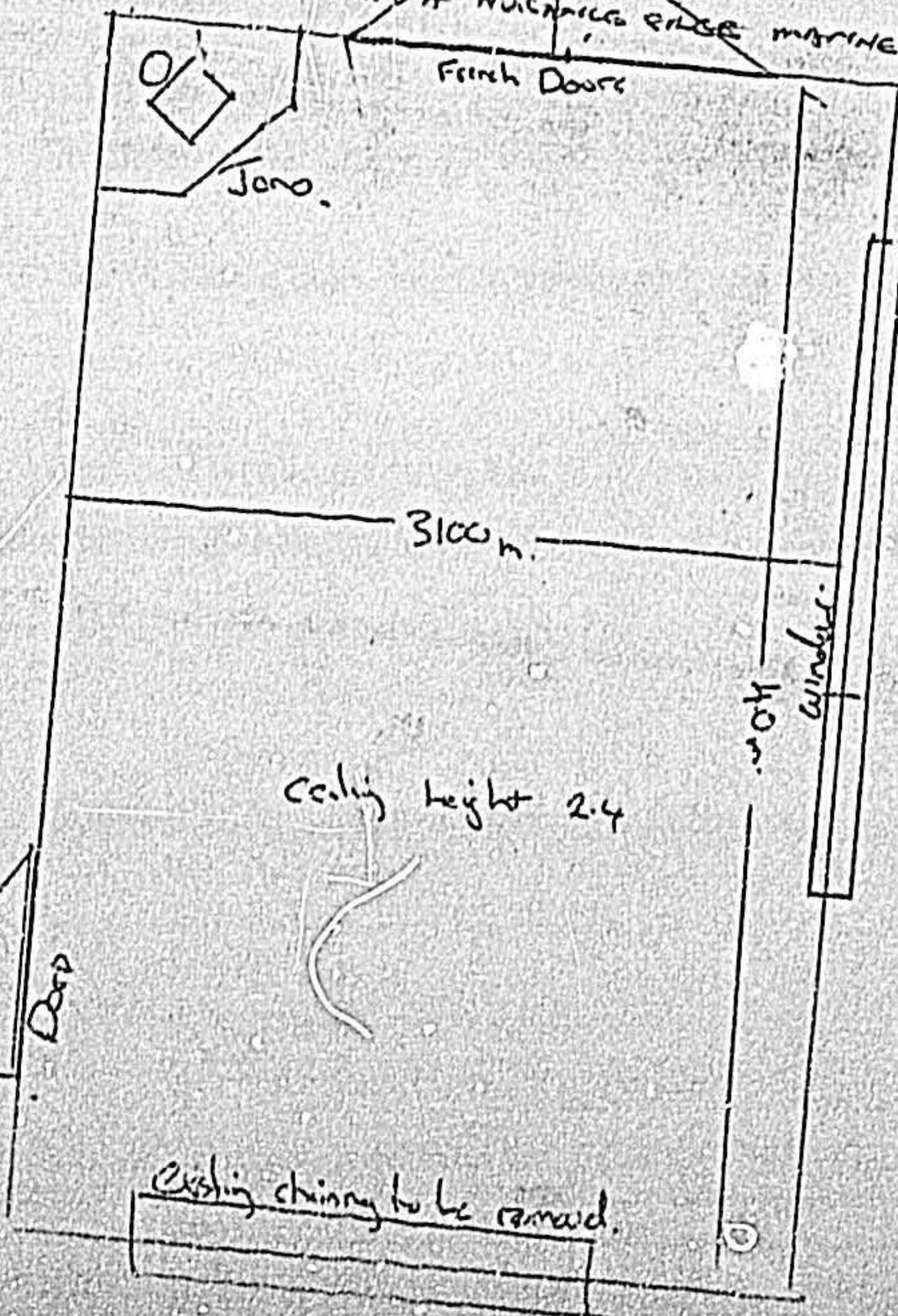
Copy of Approved Plan and/or Specification

TO BE RETAINED ON WORK AND PRODUCED ON REQUEST OF BUILDING INSPECTOR

DATE: 16/06/92

BUILDING INSPECTOR

APPLIANCE TO BE OPERATED IN A NON-FLAME RISE MANNER



Proposed Jono
in living
17 situation
Bright!

To be installed
And local co.

Piles will be applied in suitable places for weight control.
The hearth must extend a minimum of 152mm (6") on each side of the heater and not less than 250mm (10") in front.

Flue pipes Stainless steel not less than 0.6m (24BG) thick. Seams may be welded or lock folded, and joints between sections may be welded, flanged or inserted with a lap of not less than 50mm.

The free air clearance in any direction between heat sensitive material and the surface of a bare flue pipe must be not less than 225mm approx for a steel metal pipe.

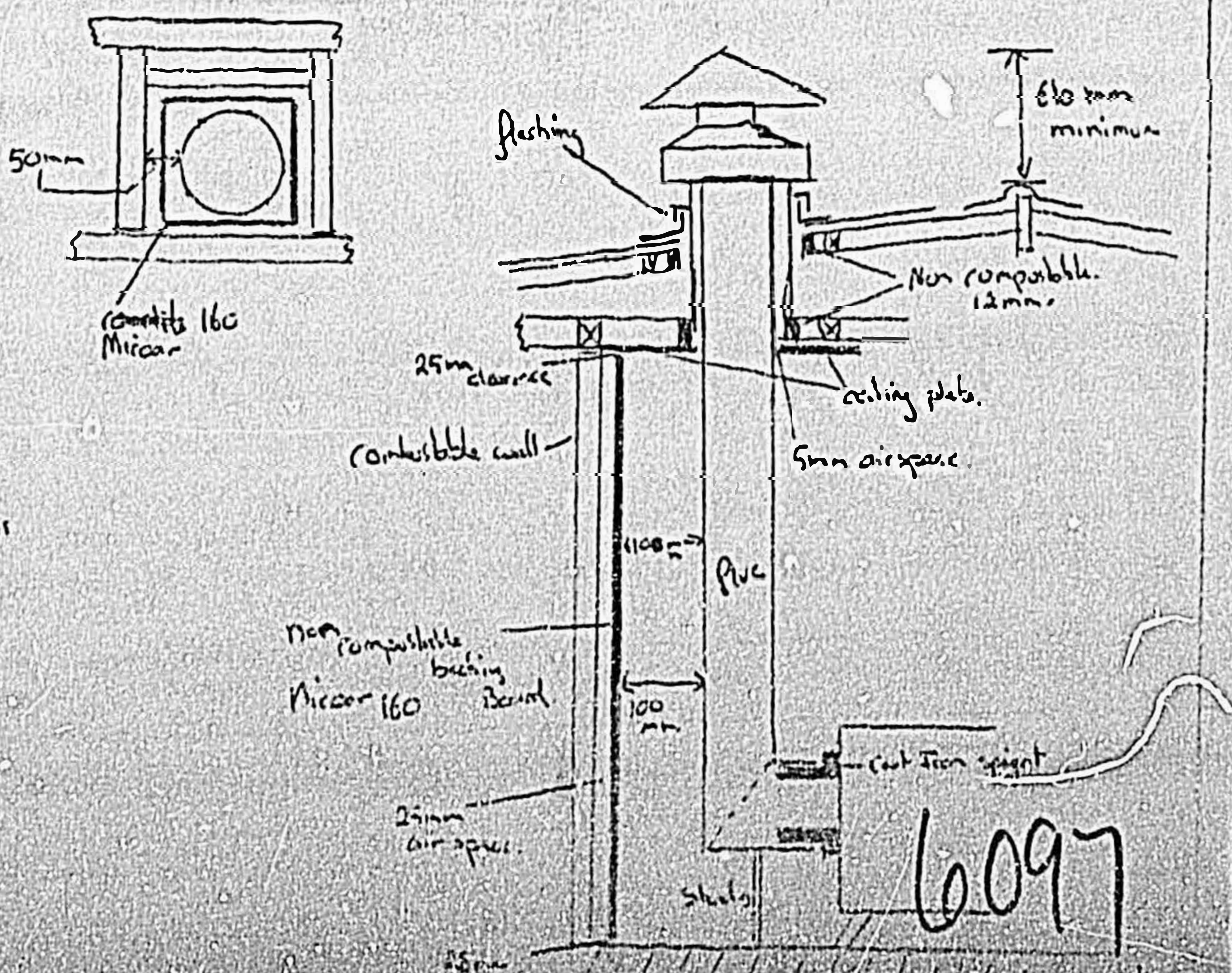
However provided a non combustible backing board is used this space can be reduced.

This will comply with the minimum requirements of NZ standards 7421.

A galvanised steel external liner will be used from ceiling height to reduce heat above roof.

Generally 125mm internal Diameter 316 stainless steel liner is used.

No existing or New Timber around flue.



no manufacturer
information

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



Telephone No:	477-4000	CCC No:	ABA 50264	Reference No:	5051433
---------------	----------	---------	-----------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
Name and Mailing Address: TELFER, HAYDEN WAYNE C/O BRONWYN MONTAGUE 15 BEDFORD PARADE BRIGHTON DUNEDIN 9051	All ☒ Stage Noof an intendedstages New Building ☐ Alteration ☒ Intended Use(s) in detail: CONNECT EXISTING DRAIN COIL TO NEW MUD TANK & THEN TO COUNCIL STORMWATER SEWER Intended Life: Indefinite, not less than 50 years ☒ Specified as years Demolition ☐
LEGAL DESCRIPTION	
Property Number: 5051433 Valuation Roll No: 27880 37500 Street Address: 17 SEAVIEW ROAD, BRIGHTON 9051 Legal Description: LOT 2 DP 5510	

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

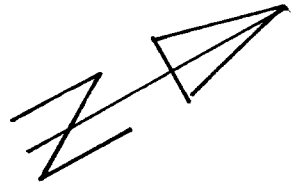
The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name:

Position: AUTHORISED OFFICER

Date: 07/03/2005



11 Seaview Rd.

BRISTOL.

Lot 2 : D.P. 8810.

D.P.

EXISTING
4" E.W.
STORM
WATER

D.P.

New Sump & new
connection to existing stormwater.

L.H.

1500 Council Stormwater Sewer.

Plumbing and Drainage

To comply with approved
documents: E1/AS1, G12/AS1
G13/AS1&2

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance
with The New Zealand Building Code and Approved
Documents. To be retained on works
and produced on request

Building

Drainage

Health

Date

Date 8/2/05

Date

NOTE

Stormwater Sump to be half trapped

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

ISSUED BY:



**DUNEDIN CITY
COUNCIL**
Kaunihera-a-rohe o Otepoti

Telephone No:	477-4000	CCC No:	ABA 54223	Reference No:	5051433
---------------	----------	---------	-----------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Owner: TELFER, HAYDEN WAYNE 17 SEAVIEW ROAD BRIGHTON 9051	All ☒ Stage Noof an intendedstages New Building ☐ Alteration ☒ Intended Use(s) in detail: DECK/LOUNGE DOORS/WINDOW-RECLAD BDRM 1/HEATER - MASPORT LE 3000 Intended Life: Indefinite, not less than 50 years ☒ Specified as years Demolition ☐
PROJECT LOCATION	
Street Address: 17 SEAVIEW ROAD, BRIGHTON 9051	
LEGAL DESCRIPTION	
Building Name: Property Number: 5051433 Valuation Roll No: 27880 37500 Building Use: Year Constructed: Legal Description: LOT 2 DP 5510	

The building consent authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
(b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

☐

Compliance Schedule attached.

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

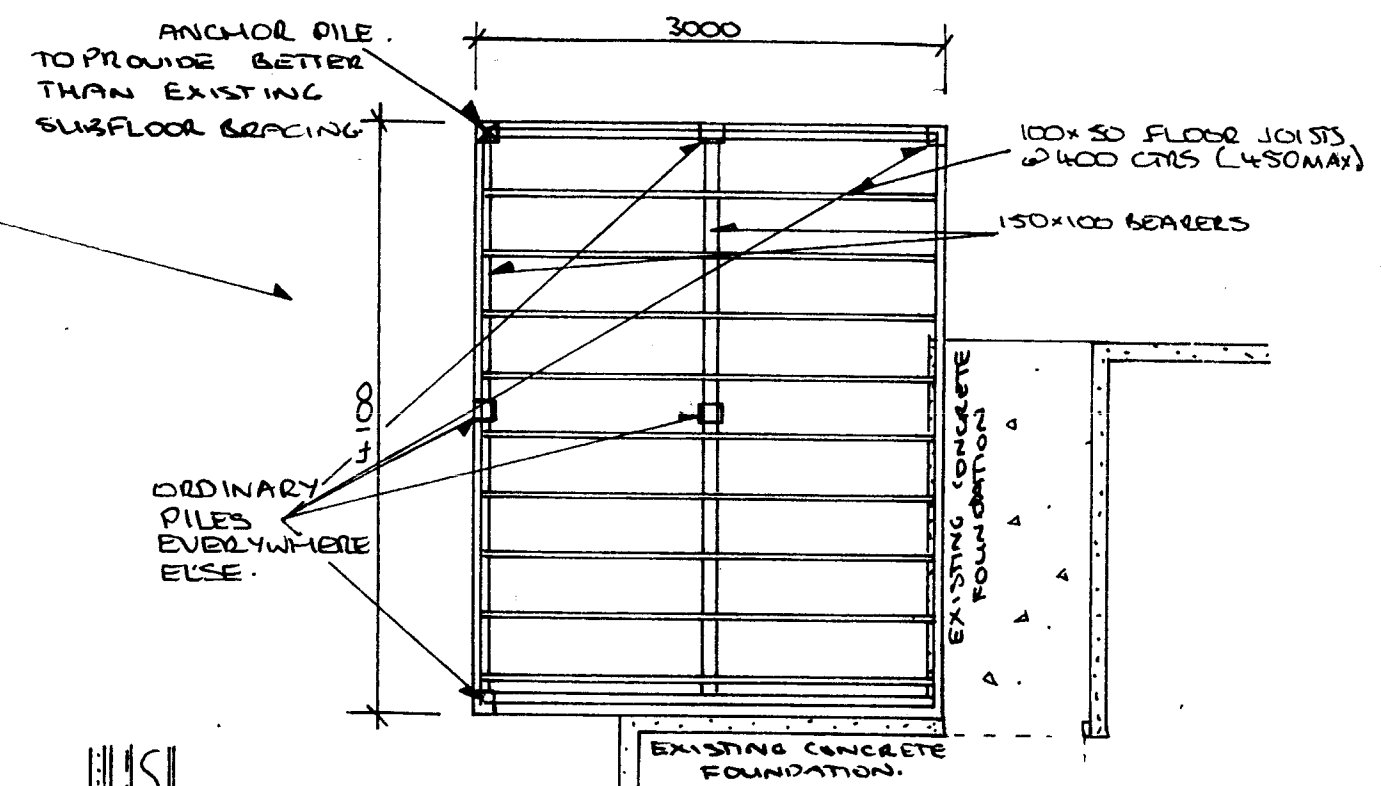
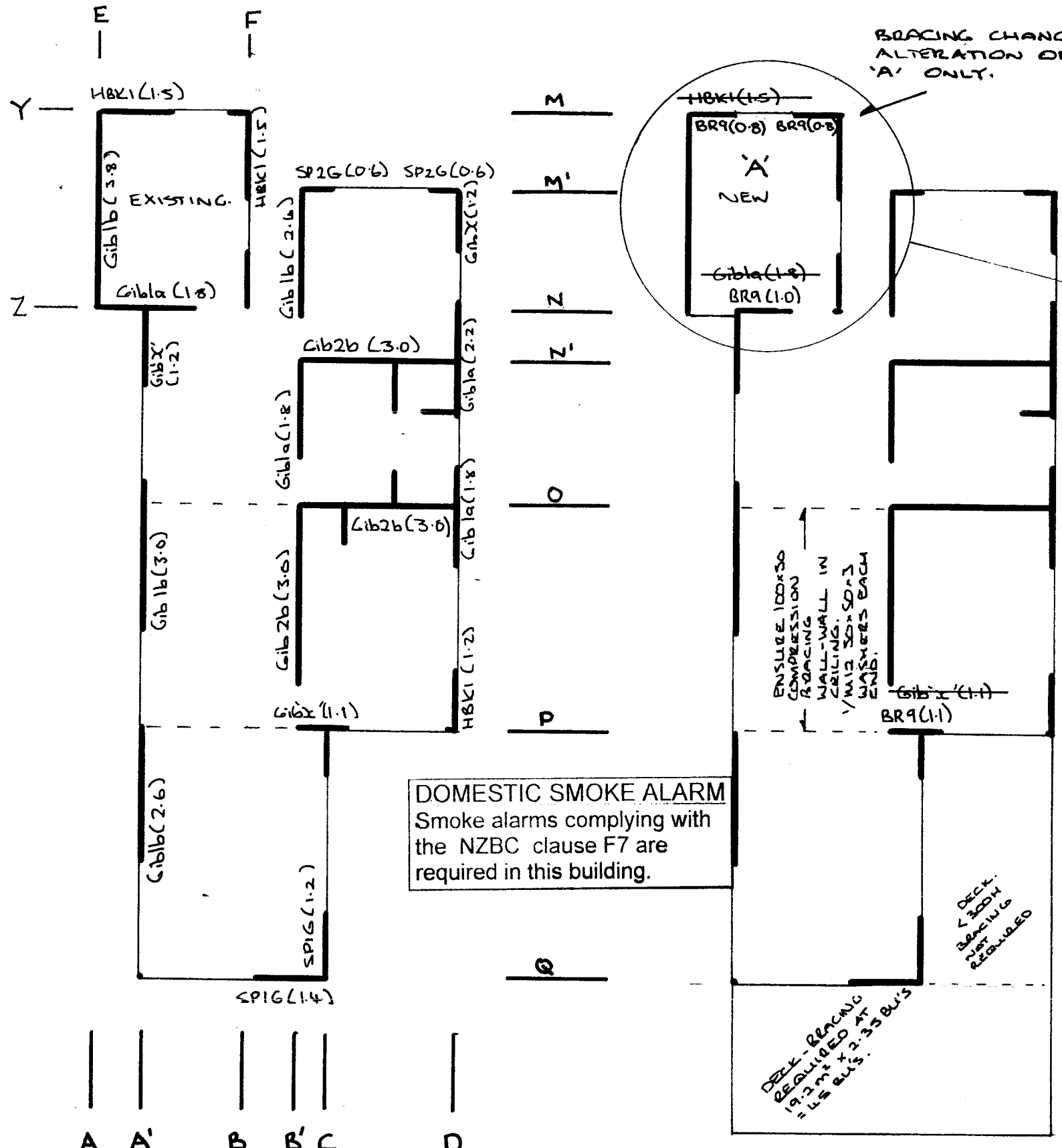
Name:.....

Position: AUTHORISED OFFICER

Date: 10/02/2007

54223

SUB FLOOR PLAN 1:50

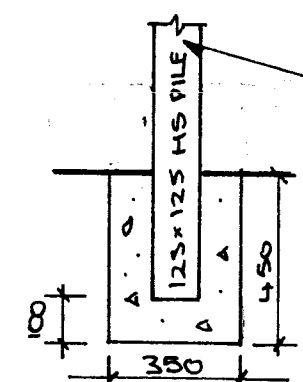
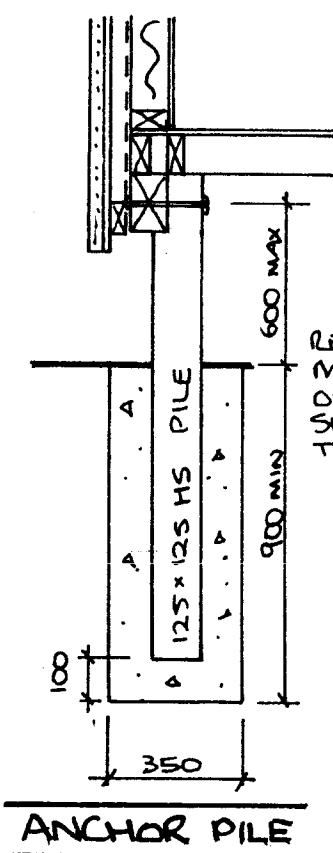


THE EXISTING SUBFLOOR STRUCTURE OF THE ADDITION IS UP TO NZS3604'S STANDARD AS FAR AS CAN BE NOTED EXCEPT THE JOISTS / BEARERS ARE SITTING ON BRICKS AND NOT SECURED.

NEW PILES SHALL BE PLACED UNDER EXISTING. ALTHOUGH 372 BUS IS MAJORITY IS BRACED TO EXISTING CONCRETE FOUNDATION. ONE ANCHOR PILE LOCATED AS INDICATED GIVING 160 BUS SHOULD SUFFICE FOR THE ADDITIONAL PROJECTION OF THE BUILDING.

BEARERS MAY SIT ON TOP OF PILES OR RECESSES, MAX 50 AGAINST PILE FIXED USING 2 x WIRE DOGS & 2 SCREWED NAILS.

NB: BRACED PILES SHALL BE AS ORDINARY PILES EXCEPT FOOTING SHALL BE 450 x 450 x 450.



EXISTING BRACING PLAN
Specification Received
By: *VB*
Date:

PROPOSED BRACING PLAN
1:100
ONLY CHANGES TO EXISTING SHOWN.

Additional Information.

Haden TELFORD 17 Seaview Road Brighton Otago	
CLADDING/RENEW PILES AND NEW DECK	
DRAWN: D C BUIST OTAGO DRAUGHTING SERVICES LTD	SHEET 2 OF 3
DATED: 20 August 2005	
LOT 2 DP 5510	
Revised 2/1/6	
All dimensions shall be checked on site before commencing work. All work shall comply with all relevant standards and codes, in particular NZS3604. Any structural work discovered not covered or relevant to these plans shall be brought to the attention of Otago Draughting Services Ltd for any amendments felt appropriate.	

Plumbing and Drainage
To comply with approved documents: E1/AS1, G12/AS1, G13/AS1 & 2

For the final inspection of your heating appliance please ensure that access is available to the ceiling space if required and that the ceiling plates left unattached.

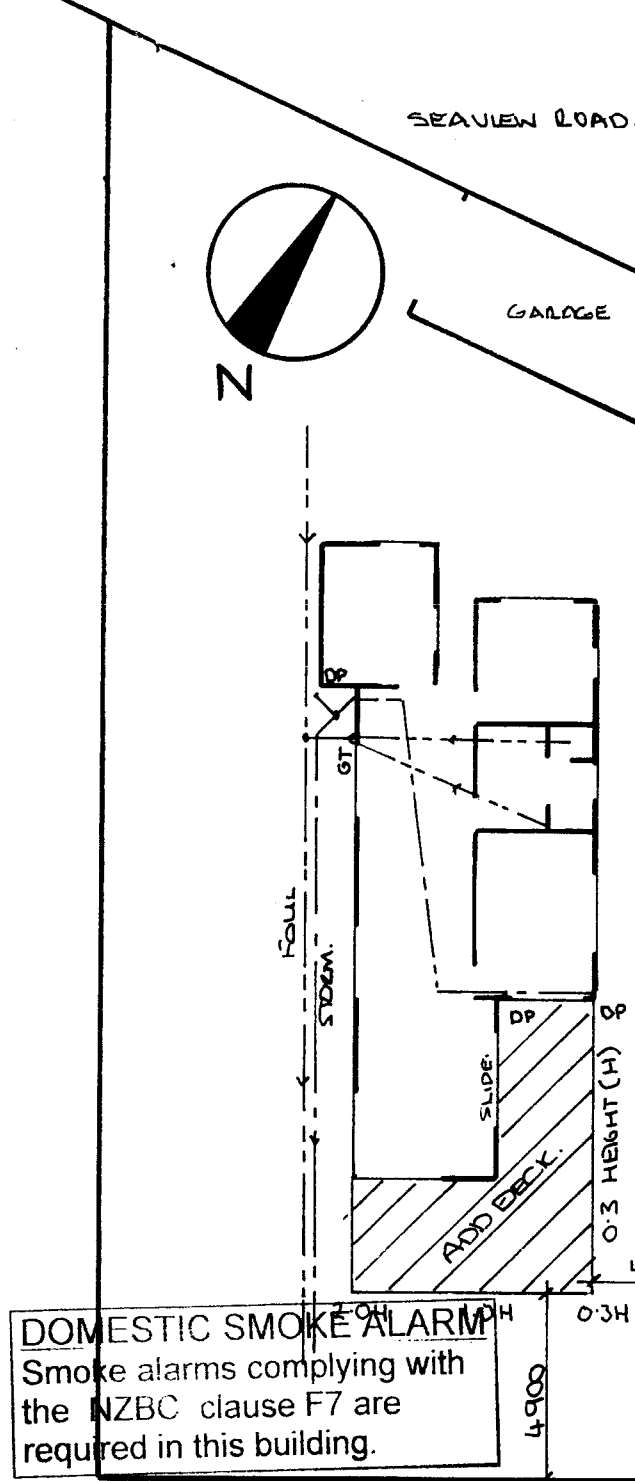
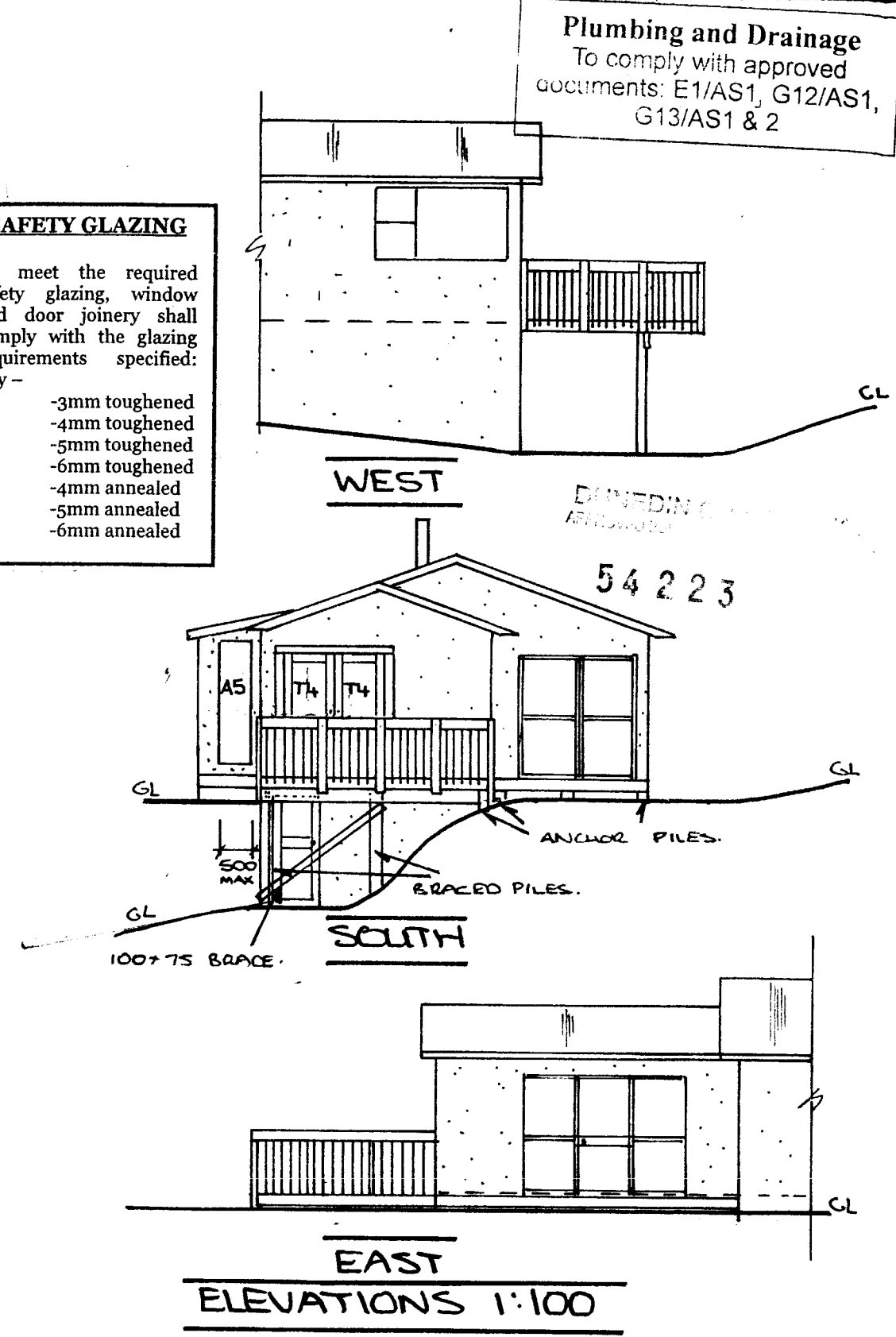
DOMESTIC SMOKE ALARM
Smoke alarms complying with the NZBC clause F7 are required in this building.

Installation shall be in accordance with AS/NZS 2918:2001 with particular reference to the need for seismic restraint.

Amended Plan and/or Specification Received
By: *[Signature]*
Date: 14/2/06

DCC CITY PLANNING
THESE PLANS ARE APPROVED
This development complies with the District Plan(s) subject to:

SAFETY GLAZING
To meet the required safety glazing, window and door joinery shall comply with the glazing requirements specified:
Key -
3T -3mm toughened
4T -4mm toughened
5T -5mm toughened
6T -6mm toughened
4A -4mm annealed
5A -5mm annealed
6A -6mm annealed



DOMESTIC SMOKE ALARM
Smoke alarms complying with the NZBC clause F7 are required in this building.

SITE PLAN 1:200

PROPOSED FLOOR PLAN. 1:100

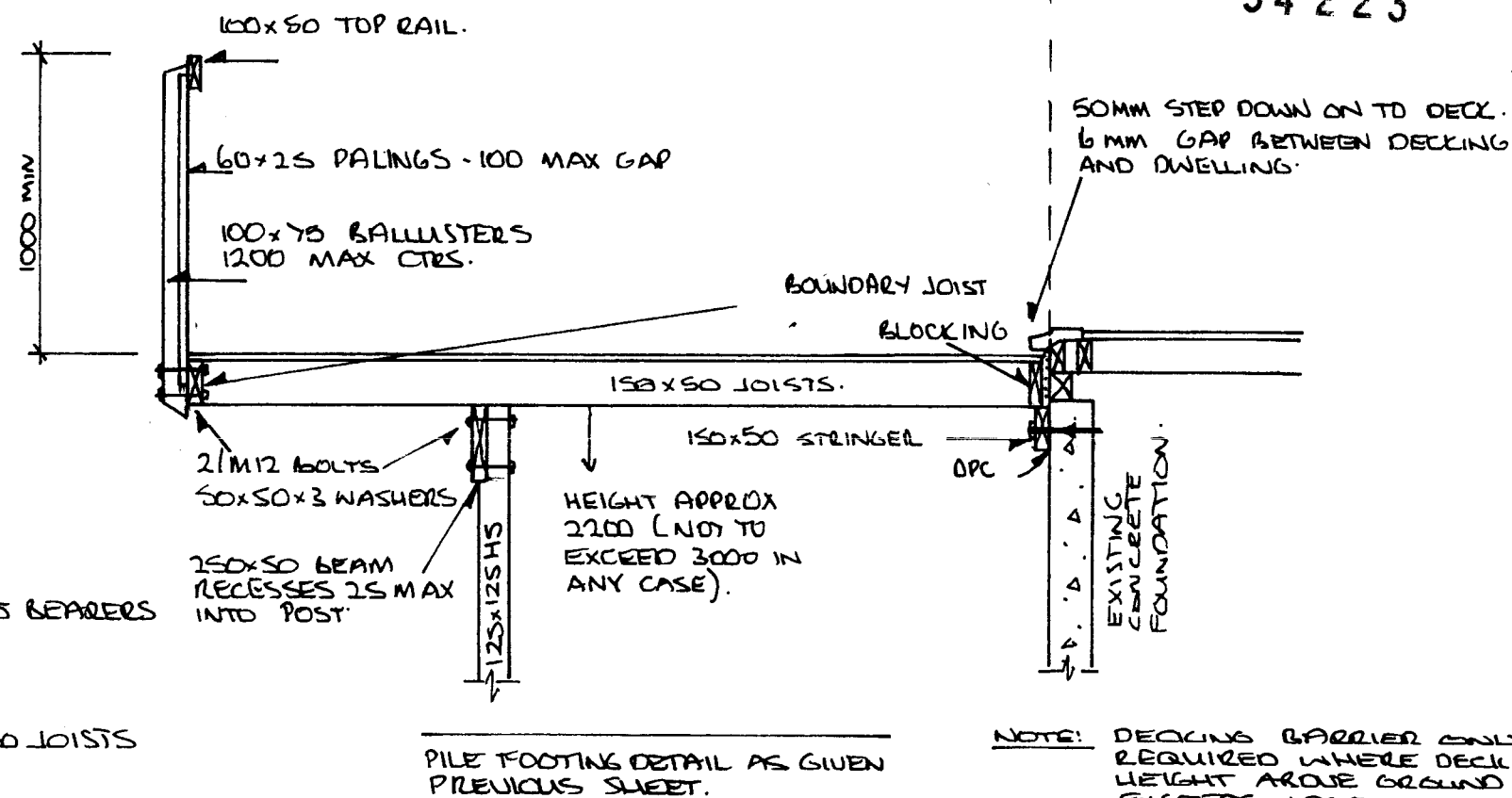
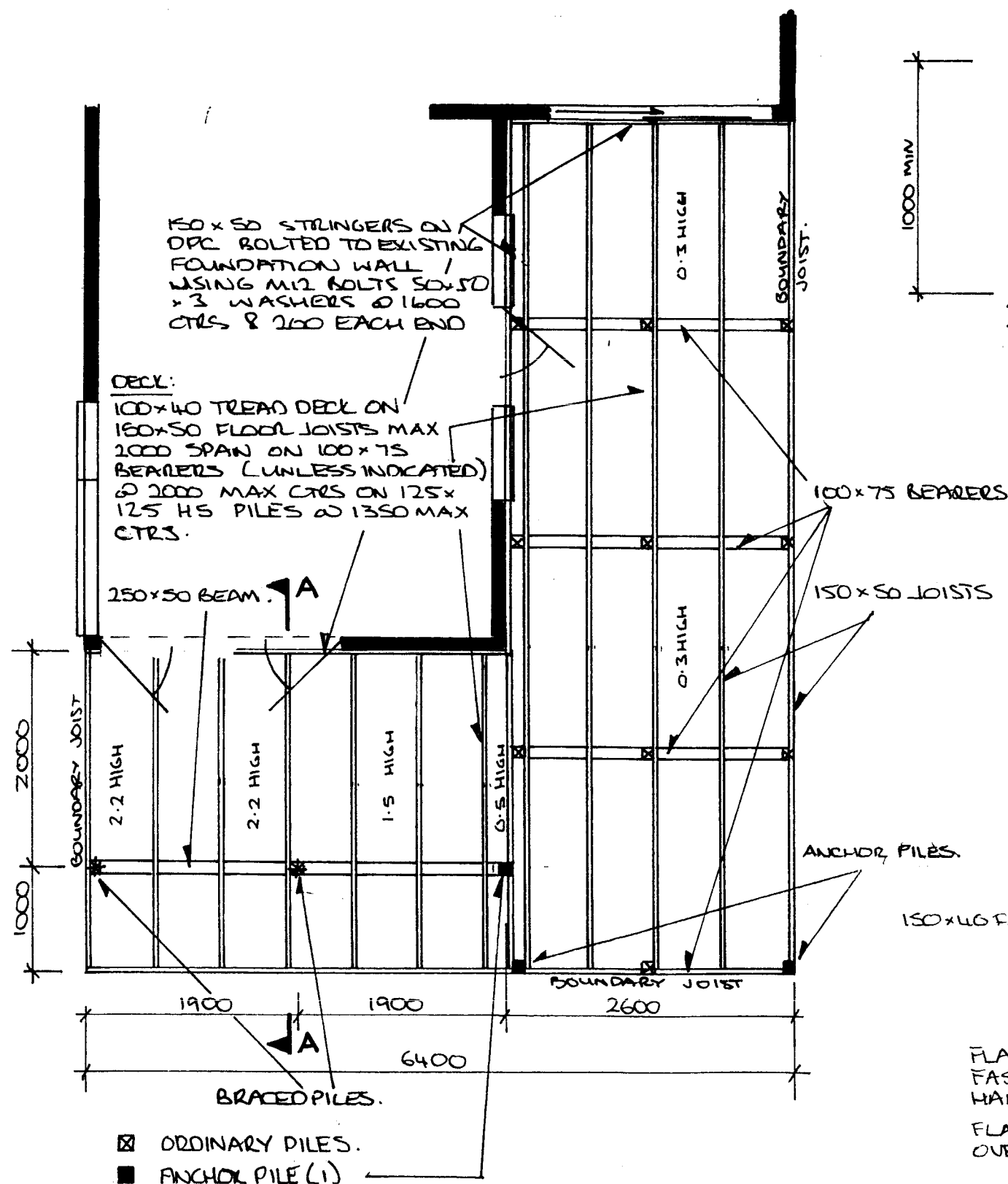
NEW WINDOW / DOOR / DECK & RENOVATE EXISTING SUB FLOOR IN BEDROOM 'A'.

Haden TELFORD
17 Seaview Road Brighton Otago
CLADDING/RENEW PILES AND NEW DECK
DRAWN: D C BUIST OTAGO DRAUGHTING SERVICES LTD
DATED: 20 August 2005 SHEET 1 OF 3
LOT 2 DP 5510 Revised 2/2/6

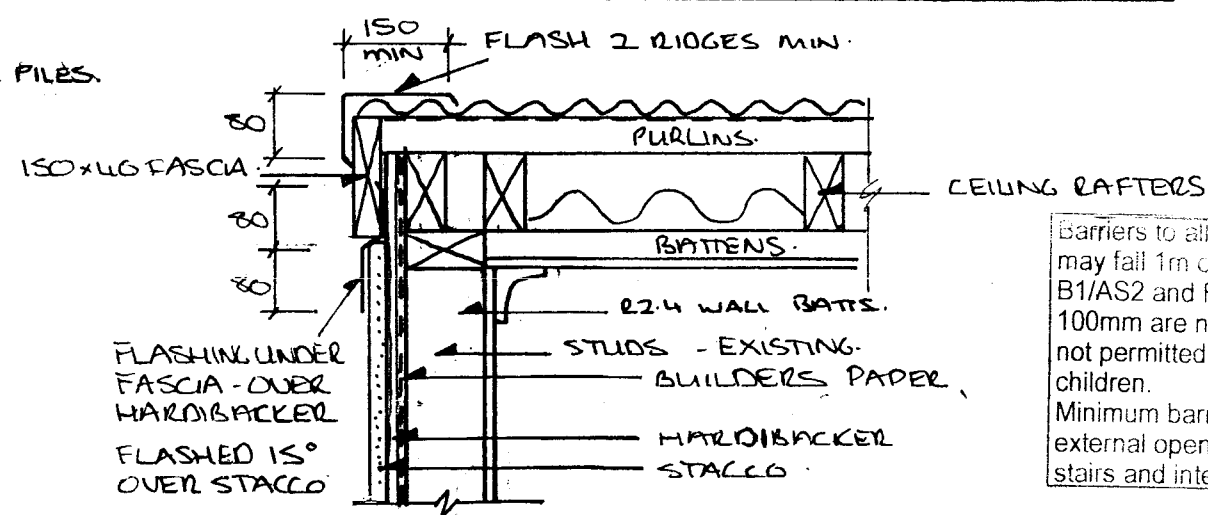
All dimensions shall be checked on site before commencing work. All work shall comply with all relevant standards and codes, in particular NZS3604. Any structural work discovered not covered or relevant to these plans shall be brought to the attention of Otago Draughting Services Ltd for any amendments felt appropriate.

DUNEDIN CITY COUNCIL
Plans and Specifications Approved in accordance with The Resource Management Act and Approved Documents. To be retained on works and produced on request
Date 11/2/06
Date 21/2/06
Date 2/100 x 50 ≤ 1200
2/150 x 50 ≤ 1900
2/200 x 50 ≤ 2500
2/250 x 50 ≤ 3200
NOTE

Additional Information



DECK CONNECTION DETAIL 1:25
SECTION A-A.



Barriers to all decks and stairs where persons may fall 1m or more shall comply with NZBC-B1/AS2 and F4/AS1. Openings larger than 100mm are not permitted. Components are not permitted which can be a foothold for young children. Minimum barrier heights shall be 1000mm for external openings, and decks, and 900mm for stairs and internal barriers.

FLUSH FLASHING DETAIL 1:10 - SECTION B-B

Amended Plan and/or
Specification Received

DECK FOUNDATION DETAIL 1:50

By: J.P.E.

Date:

ENSURE EXISTING FLUSH
EAVES MEETS THAT
OF ABOVE.

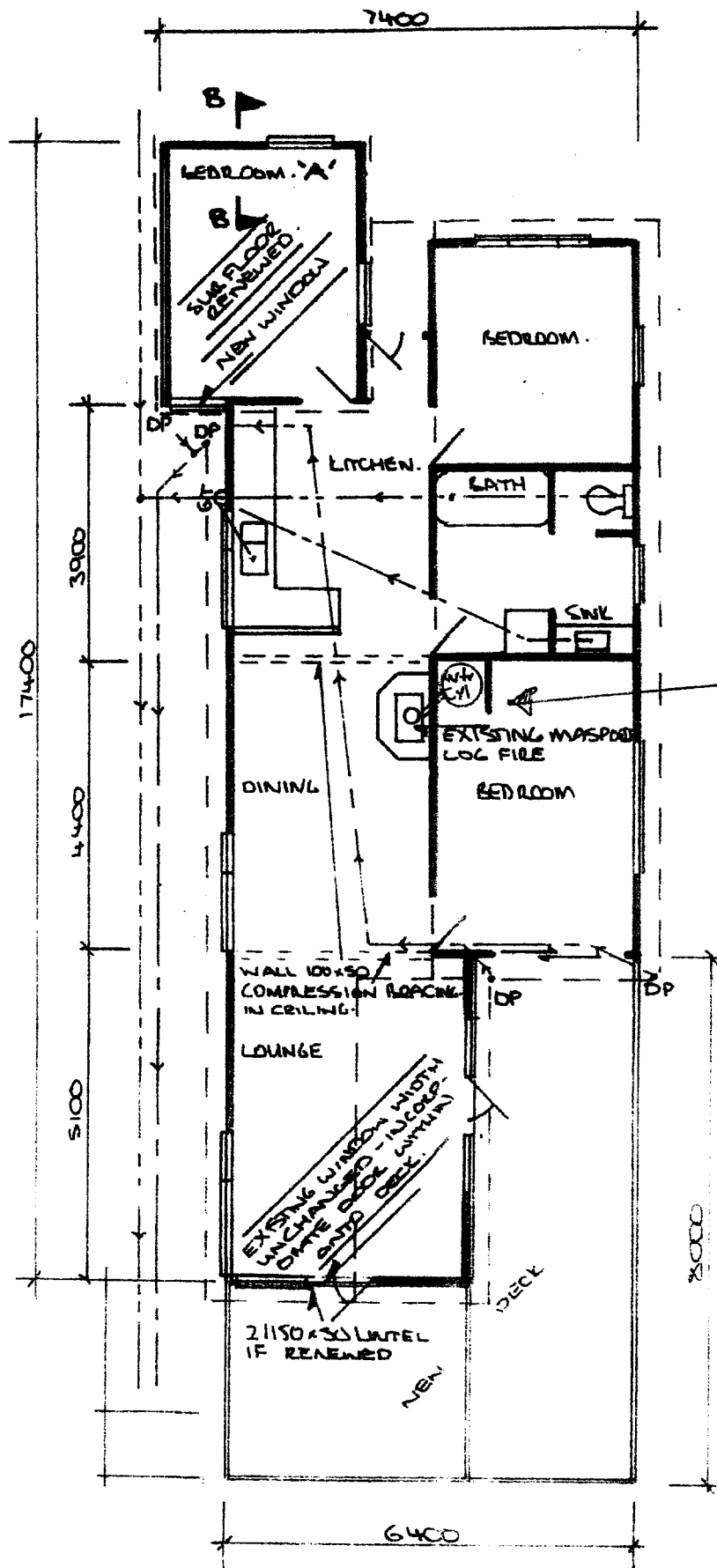
Additional Information

Haden TELFORD
17 Seaview Road Brighton Otago

CLADDING/RENEW PILES AND NEW DECK

DRAWN: D C BUIST OTAGO DRAUGHTING SERVICES LTD
DATED: 20 August 2005 SHEET 3 OF 3
LOT 2 DP 5510 Revised 2/2/16

All dimensions shall be checked on site before commencing work. All work shall comply with all relevant standards and codes, in particular NZS3604. Any structural work discovered not covered or relevant to these plans shall be brought to the attention of Otago Draughting Services Ltd for any amendments felt appropriate.



17 SEAVIEW RD
BRIGHTON
DUNEDIN

MASPORT
LOG FIRE,
WETBACK
& CYLINDER.

PROPOSED FLOOR PLAN. 1:100

- NEW WINDOW / DOOR / DECK & RENOVATE
EXISTING SUB FLOOR IN BEDROOM 'A'

CLA

DRAWN
DATED
LOT

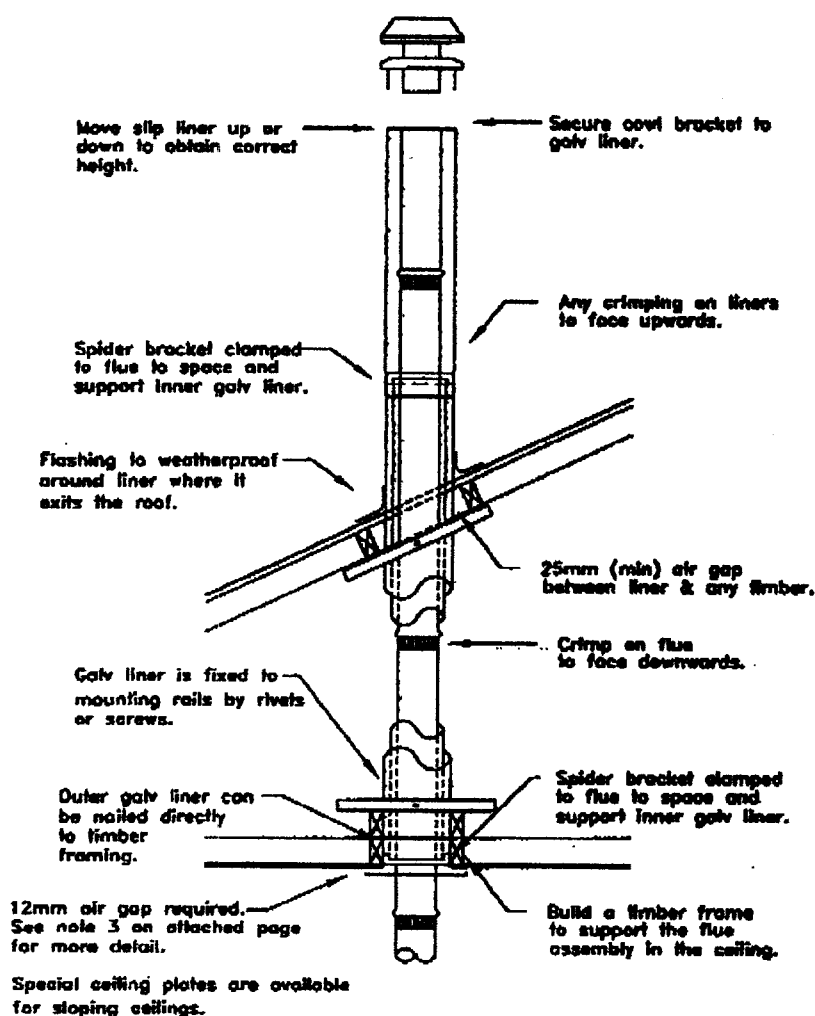
150mm Free-Standing Flue Kit

Satin Black, 4.2 Metres

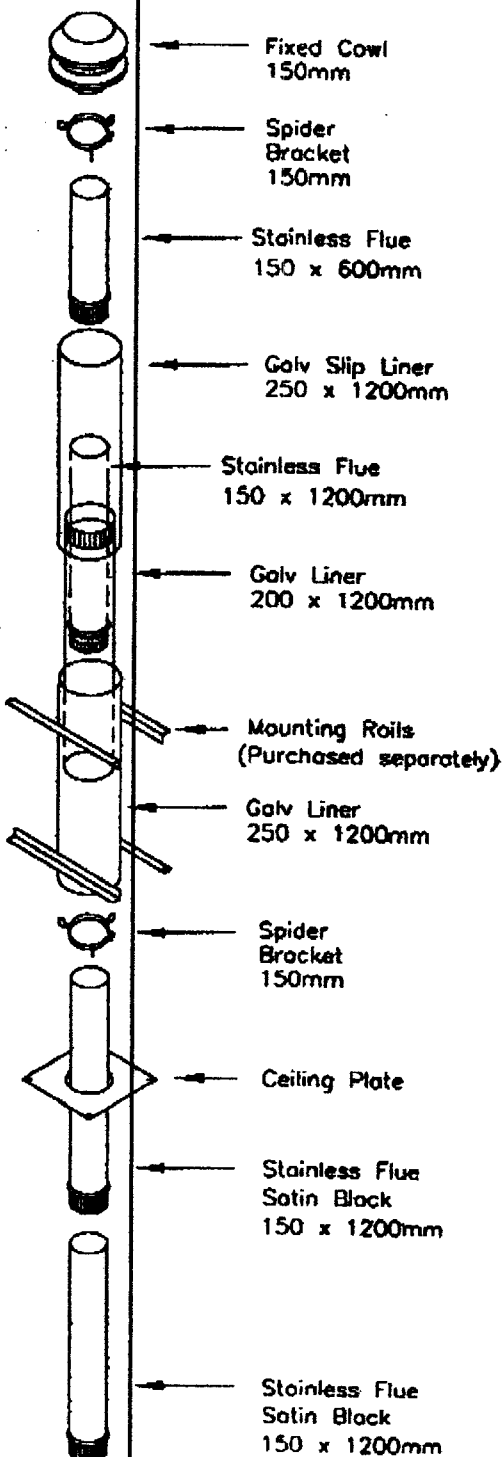
(Kit Code 2074)

This Flue Kit must be installed by a suitably qualified tradesperson or a solid fuel heater installer. This Flue Kit complies with NZS 7401:1985 and NZS 7421: 1990. Please note that this kit may require additional components to complete the installation.

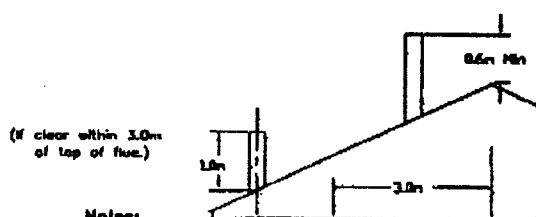
Roof & Ceiling Installation



Assembly List

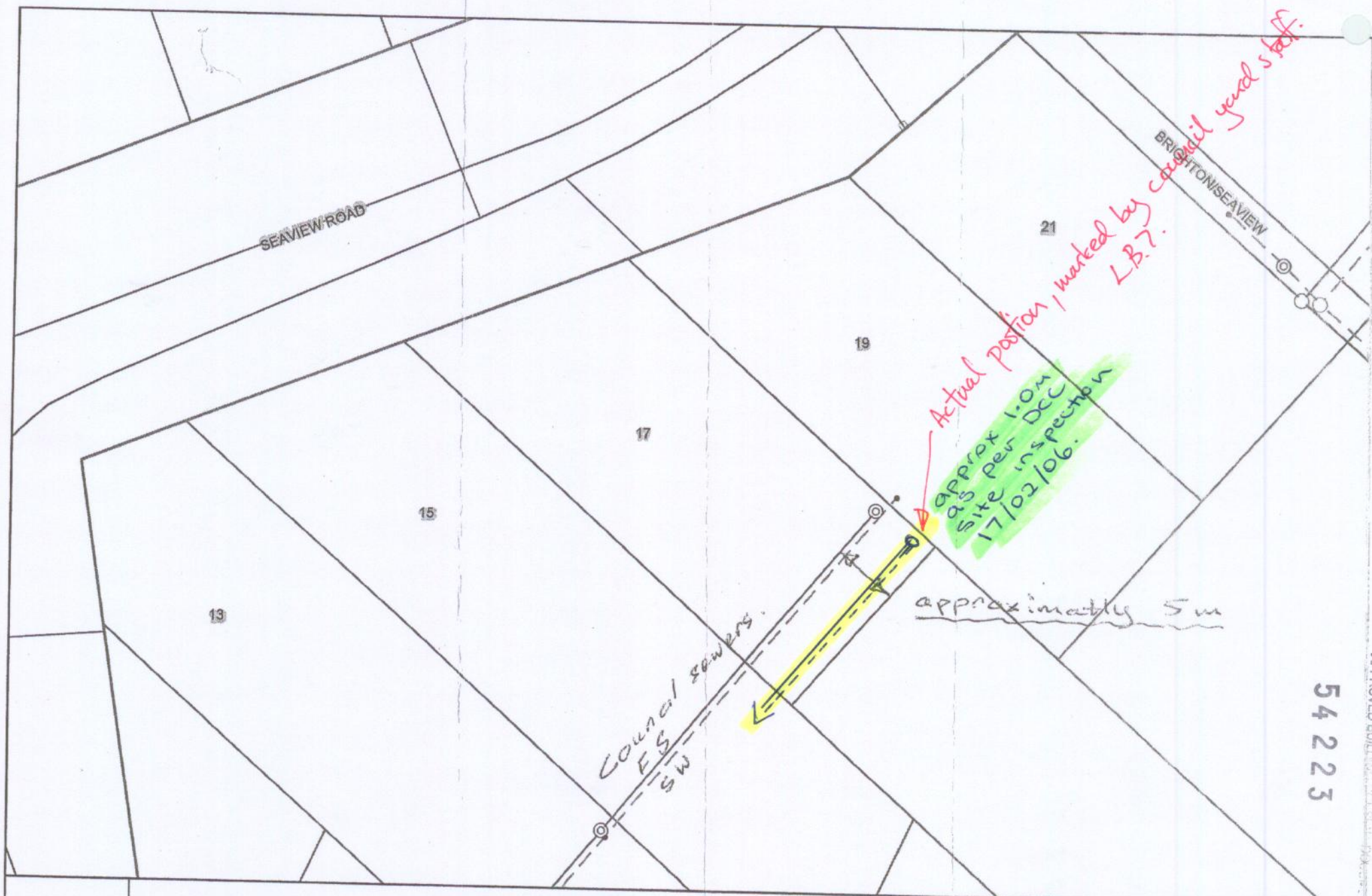


Minimum Chimney Height (excluding cowl)



Notes:

- ① Refer to your heater manufacturers recommendations for flue heights.
- ② Depending on local circumstances, taller chimneys may be required for satisfactory performance. Check with your local building authority.



54223

DUNEDIN CITY COUNCIL
APPROVED BUILDING CO. 20/06/06



Services Map

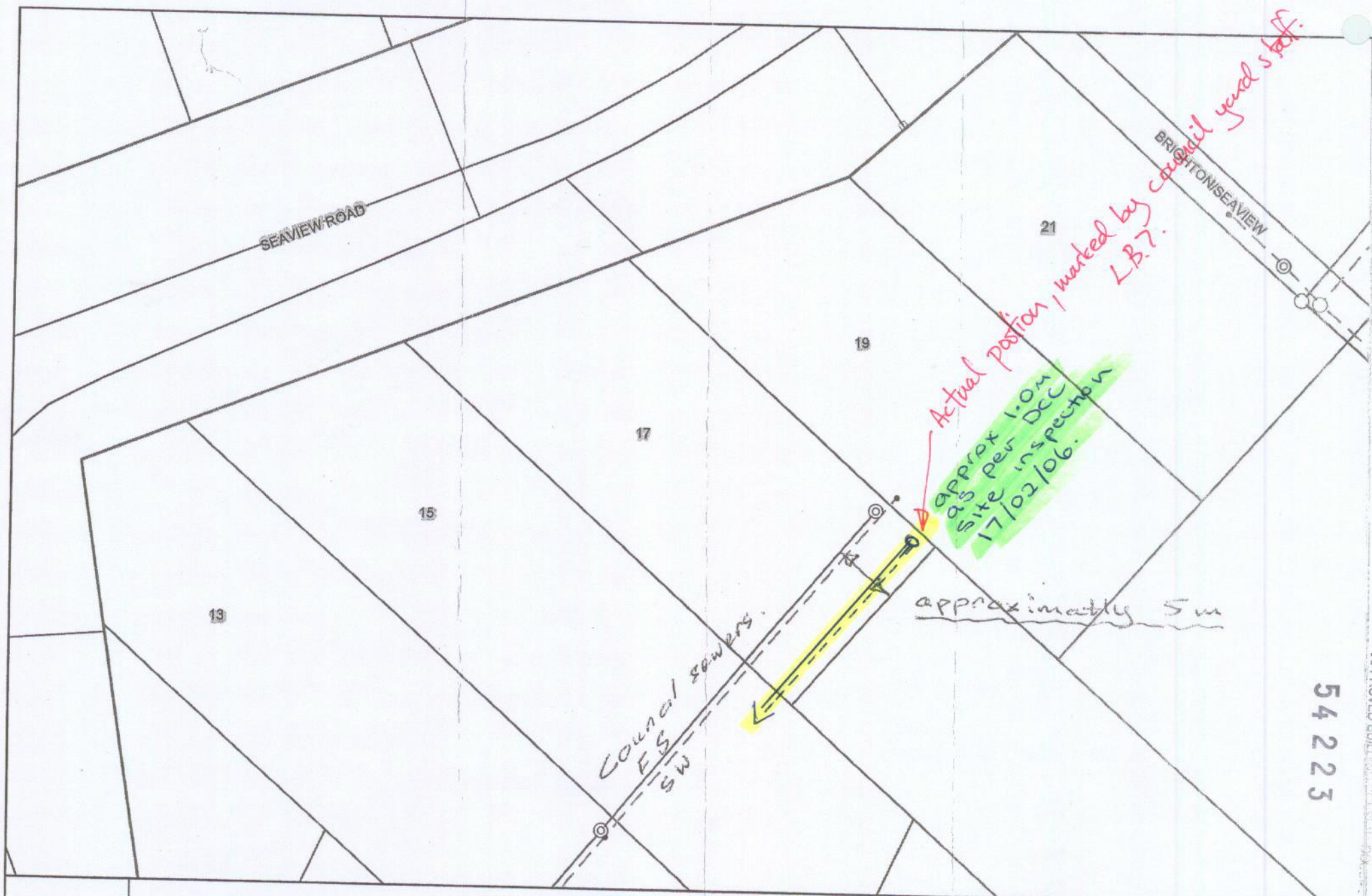
Information shown is the best available at the time of printing
Verify on site before commencing work
All Enquiries 03-477 4000

printed: 14/02/2006 10:45:36

Scale: 1:370

PARCEL LINES DERIVED FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate. It is not a survey, engineering
or orthophoto map. Every effort
has been made to ensure the clarity and
timeliness of the information contained

Cadastral Data Sourced From LINZ
CROWN COPYRIGHT RESERVED



DUNEDIN CITY COUNCIL
APPROVED BUILDING DEPARTMENT

54223



Services Map

Information shown is the best available at the time of printing
Verify on site before commencing work
All Enquiries 03-477 4000

printed: 14/02/2006 10:45:36

Scale: 1:370

PARCEL LINES DERIVED FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate. It is not a survey, engineering
or orthophoto map. Every effort
has been made to ensure the accuracy and
timeliness of the information contained.

Cadastral Data Sourced From LINZ
CROWN COPYRIGHT RESERVED

BOUNDARY

17 SEAVIEW ROAD
BRIGHTON
DUNEDIN

ABA 54223

ABA 54223



NOT TO SCALE

FOUL
STORM.

FS

SW ← DCC SEWERAGE →

NEW DECK

3900

4900

4400

CARAGE

SEAVIEW ROAD

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DRAWING

54223

RETAINED
GARDEN