

TAX INVOICE

Ray White - Smart Property Management

Invoice Date

7 Jun 2022

Invoice Number

INV-7562

Reference

18 Ellesmere Road
D/Stopping take 2

GST Number

123395751

Warm Fuzzies Ltd

252 Cumberland Street

Dunedin 9016

NEW ZEALAND

warmfuzzies.co.nz

0800 Warm Fuzzies

Description	Amount NZD
Additional D/Stopping on door	222.00
Subtotal	222.00
TOTAL GST 15%	33.30
TOTAL NZD	255.30

Due Date: 14 Jun 2022

Payment made in full on payment date will not incur an admin charge.

Invoice payable to:

Warm Fuzzies Ltd ANZ 06-0942-0688005-00

Please use address & invoice number as reference

Thank you from the team at Warm Fuzzies!

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PAYMENT ADVICE

To: Warm Fuzzies Ltd
252 Cumberland Street
Dunedin 9016
NEW ZEALAND
warmfuzzies.co.nz
0800 Warm Fuzzies

Customer

Ray White - Smart Property
Management

Invoice Number

INV-7562

Amount Due

255.30

Due Date

14 Jun 2022

Amount Enclosed

Enter the amount you are paying above

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Healthy Homes Standards Summary

✖ Property failed Healthy Homes Standards Inspection

89%

Healthy Homes Compliant
(100% Required)

✓ Pass

* Pass with conditions or an exemption

✖ Fail

✓ Heating

✓ Ceiling Insulation

✓ Underfloor Insulation

✓ Openable Windows

* Kitchen Extractor Fan(s)

* Bathroom Extractor Fan(s)

✖ Draught Stopping

✓ Moisture Barrier

✓ Drainage & Moisture Ingress

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Quotes

Warm Fuzzies Draught Stopping Quote on behalf of:

Quote No.	Category	Product	Contractor	Amount(excl GST)
1	Draught Stopping	Draught Stopping under 10m	Taylor Property	\$163.39

Quotes Terms and Conditions

General

Quotes are subject to change and as such are only valid for 30 days.

Warm Fuzzies is committed to collecting the correct information at the point of inspection to meet the HHS obligations. However, there will be circumstances that a comprehensive scope is not obtained due to not being reasonably practicable.

The scope of works is as detailed in the quotes and there may be instances that additional works are required to ensure compliance, these additional works are not included in this quote.

The installation terms & conditions are detailed on our website in the terms and conditions - warmfuzzies.co.nz

The quotes do not include the investigation, management, decontamination or removal of asbestos. Accepting the quote is accepting that the contract is between the Contractor and the Client. Warm Fuzzies is acting as a broker.

All quotes are given without commitment.

If any of the works are completed by the landlord or others, it is necessary that they ensure that the works are done in accordance with building code and the HHS requirements.

Heatpump Terms

If you would like the Heatpump or inverter placed in a particular location, please let us know as this may impact the quoted amount.

If current wiring on the property is inadequate, up to \$150+GST may be charged.

If trunking between heatpump and inverter exceeds 4 metres in length, \$50+GST per linear metre will be charged.

Extractor Fans

If quoted ventilation or extraction fan unit is unavailable a similar quality unit will be used.

Window repairs

Window inspections are not detailed inspections and the repairs are limited to that detailed in the scope. Window frame or glass repair replacement is not included in this pricing and obtaining advice from a window specialist is recommended.

Rubbish removal

Rubbish removal has been priced for the removal of 1 m³, taking 4 labour hours. If the quantum of rubbish exceeds 1 m³ or 4 labour hours, additional costs will be charged at \$144 + GST per 1 m³ and \$60 + GST per labour hour.

Further product information is detailed on our website - warmfuzzies.co.nz

QCard terms & conditions are detailed in the following link www.qcard.co.nz/

To secure this pricing and have access to 12 months interest free with Qcard (T&C's apply), quotes need to be accepted within 30 days.

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Heating

i Qualifying fixed heaters must be able to directly heat the main living room to a maintained temperature of 18 degrees Celsius (e.g a heating capacity that exceeds the heating requirement of the room).

✓ This property has a main living room that has a qualifying heater/s with the required heating capacity to achieve 18 degrees Celsius (e.g the heating capacity exceeds the heating requirement).

This is the heat loss of the main living room.

Heating Requirement

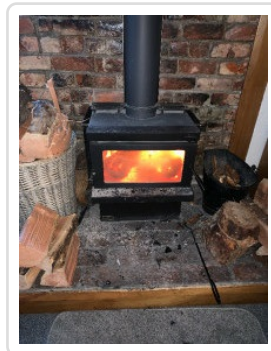
3.78KW

Heating Capacity

7KW

Main Living Room Heaters

Combustion flued heater
Fireplace
7kw



Assumptions/Additional Comments

The heating capacity of the combustion flued heater has been assumed. If the landlord is aware that the assumed value is greater or lesser than the actual heating capacity, the landlord is obliged to inform Warm Fuzzies.

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Ceiling Insulation

i Ceiling insulation needs to meet the minimum R-values, or the existing ceiling insulation needs to be at least 120mm thick, and in good condition.

✓ This property has a ceiling cavity with compliant insulation.

Cavity #1

Compliant Insulation



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Underfloor Insulation

i Underfloor insulation needs a minimum R-value of 1.3.

✓ There is no suspended floor or underfloor cavity.



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Openable Windows

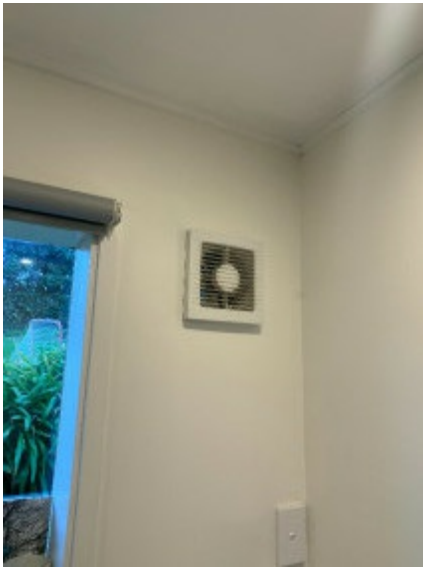
i Habitable rooms must have at least one openable window to the outdoors, which can be fixed in the opened position. The openable window areas must be at least 5% of the floor area of each room.

✓ All habitable rooms at this property have adequate openable windows to the outdoors.

Kitchen Extractor

i All kitchens must have an extractor fan that ventilates to the outdoors.

* The kitchen/s at this property have an extractor fan that is externally ducted. It is assumed that the extractor fan was installed prior to 1 July 2019. If this is not the case, the landlord is required to inform Warm Fuzzies and supply the extractor fan product details.



Bathroom Extractor

i All bathrooms must have an extractor fan that ventilates to the outdoors.

* The bathroom/s at this property have an extractor fan that is externally ducted. It is assumed that the extractor fan was installed prior to 1 July 2019. If this is not the case, the landlord is required to inform Warm Fuzzies and supply the extractor fan product details.



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Draught Stopping

i Any unreasonable gaps or holes in walls, windows, ceilings, floors and doors that cause noticeable draughts must be blocked. Landlords will have to block the fireplace or chimney of an open fireplace, unless the tenant and landlord agree and confirm that it is required as a heating source.

✘ This property has unreasonable gaps or holes that could cause noticeable draughts that must be blocked. Note that the scope detailed below includes all items identified by Warm Fuzzies, there may be further draught issues identified due to a change in wind direction.

Bedroom 1

✘ There are potential draught issues in this room. There is a approximately 0.58 meters of draught stopping required in and around the windows/doors.

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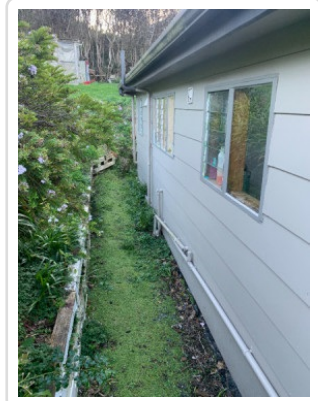
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Moisture Barrier

i If a property has an enclosed subfloor, a ground moisture barrier must be installed.

✓ There is no suspended floor or underfloor cavity.



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Drainage Checks

i The property must have sufficient drainage for the removal of stormwater, surface water and ground water, including an appropriate outfall. The drainage system must include intact gutters, downpipes and drains for the removal of water from the roof/s.

✓ This inspection has found no evidence of insufficient drainage. This is not a guarantee that there are no drainage issues at this property.

Limitations

General Limitations - Inspection

- This report and inspection are in accordance with the Warm Fuzzies terms and conditions - warmfuzzies.co.nz
- The inspection was limited to a visual inspection, was non-invasive, and may be constrained due to health & safety requirements. Where compliance is not obvious, an assumption will be made. It is the responsibility of the landlord to contradict the suitability of these assumptions, if they are aware of contradictory information.
- This inspection and the conclusions of this report was done in good faith and with limited knowledge of the history of the property and the maintenance schedule. If the landlord identifies:
 - Any element that has been incorrectly concluded, it is the landlord's responsibility to highlight the error; or
 - Any building or electrical element that has been relied on for compliance, is not in good working order (e.g. the heater), it is the landlord's responsibility to highlight the error.
- This inspection and report have not been completed by a qualified asbestos assessor and should not be relied upon as an asbestos survey. If asbestos is suspected in a Healthy Homes Assessment, this should not be considered a comprehensive list of all asbestos at the property. Conversely, if no asbestos is identified this is not confirmation of no asbestos at the property. The landlord and property manager should make themselves aware of their obligations - www.worksafe.co.nz
- All hazards identified in this report should not be considered a full, comprehensive risk assessment of this property. For information on risk assessment and PCBU responsibilities follow this link - www.worksafe.co.nz
- If the landlord has installed an extractor fan into the property post 1 July 2019, they need to confirm that this has been installed in accordance with the Healthy Homes Standards Regulations 23.
- The drainage inspection is limited, if any obvious issues are identified these will be raised. However, this report is not to be relied upon for confirmation/guarantee that there are no drainage issues and/or weather-tightness issues with the property.

Specific Limitations to this Inspection

- This ceiling assessment was limited due to the insulation covering the joists and it would be unsafe to climb across. The findings are limited to that what can be seen from the manhole access.

Heating Compliance (Regulation 8)

h	3.78	Required heating capacity (kW)
t	2553.98	Transmission heat loss
v	401.6	Ventilation heat loss
f	20.65	Floor Area
t	2553.98	Transmission heat loss
d	88.14	Transmission heat loss—External elements
e	55.9	Transmission heat loss—Internal elements
g	0.5	Temperature adjustment internal vs. External
b	18	Required internal temperature (HHS)
c	-4	External temperature - Schedule 2(5)
d	88.14	Transmission heat loss—External elements
A(j)	20.65	Ceiling area (thermal envelope)
Rj	2.4	Ceiling r-value
Ak	20.16	External wall area
Rk	0.5	External wall r-value
Am	20.65	Floor area
Rm	1.3	Floor r-value
Ans	3.5	Single Glazing external
Ans	0.15	Single Glazing r-value (incl skylights)
An	0	Double Glazing external
Rn	0.26	Double Glazing r-value (incl skylights)
e	55.9	Transmission heat loss—Internal elements
A(q)	0	Ceiling area (internal)
Rq	0.5	Ceiling r-value
As	22.36	Internal wall area
Rs	0.4	Internal wall r-value
Au	0	Floor area (internal)
Ru	0.5	Floor r-value
v	401.6	Ventilation heat loss
w	53.69	Volume of room
y	1	assumed air change rate
z	0.34	Air specific heat
b	18	Required internal temperature
c	-4	External temperature - Schedule 2(5)

The formula is as per the HHS Schedule 2, with minor adjustment for glazing

$$h = \frac{(t + v + 40(f))}{1000}$$

$$t = (d + e(g))(b - c)$$

$$v = w(y)(z)(b - c)$$

$$e = \sum_q \frac{A_q}{R_q} + \sum_s \frac{A_s}{R_s} + \sum_u \frac{A_u}{R_u}$$

$$d = \sum_j \frac{A_j}{R_j} + \sum_k \frac{A_k}{R_k} + \sum_m \frac{A_m}{R_m} + \sum_{n(s)} \frac{A_{n(s)}}{R_{n(s)}} + \sum_{n(d)} \frac{A_{n(d)}}{R_{n(d)}}$$

Assumptions

The main living room calculation includes the kitchen, as it is open plan

All other areas are able to be and will continue to be closed off with a functioning door

Values *b*, *c*, *g*, *y* & *z* are as per the Residential Tenancies (Healthy Homes Standard) 2019 Schedule 2

Values *R* are as per the assumed *R* values in the Tenancy Services heating tool calculator

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Section 13A(1CB) Statement



This statement is in accordance with the Residential Tenancies (Healthy Homes Standard) 2019, by including all the information set out in the regulations 34 to 39. This statement is to be included in a tenancy agreement under section 13A(1CA) of the Act or in a renewal of tenancy under section 13A(1CB) commencing after 1 July 2020.

Heating Compliance (Regulation 8)

Heating Requirements

13(a) Clause	Requirements	Value	Source
34(1)(a)	The required heating capacity of the main living room of the premises	3.78Kw	Warm Fuzzies

Current Heating Capacity

34(1)(b)	Combustion flued heater	7Kw	Warm Fuzzies
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✓ This property meets the HHS Standards regulations 8 (heating).

Insulation Compliance (Regulation 13 & 15)

Insulation Details			
13(a) Clause	Details	Value	Source
35(1)(a)(i)	The date the insulation was installed	Unknown	Warm Fuzzies
	The date the insulation was last inspected	Aug 16, 2021	Warm Fuzzies
35(1)(a)(ii)	The insulation's R-value when it was installed	Unknown	Warm Fuzzies
	The thickness of the insulation material when it was last inspected	160mm	Warm Fuzzies
	Condition of insulation at inspection (Aug 16, 2021)	Satisfactory	Warm Fuzzies
35(1)(b)(i)	is there a suspended floor?	Negative	Warm Fuzzies
35(1)(b)(i)	The date when the insulation was installed	Unknown	Warm Fuzzies
	The date the insulation was last inspected	Aug 16, 2021	Warm Fuzzies
35(1)(b)(ii)	The insulation's R-Value when it was installed	Unknown	Warm Fuzzies
	Condition of insulation at inspection (Aug 16, 2021)	No Access	Warm Fuzzies

✓ This property meets the HHS standards regulations 13 (ceiling insulation).

✓ This property meets the HHS standards regulations 15 (underfloor insulation).

Ventilation Compliance (Regulation 21 & 23)

Insulation Details			
13(a) Clause	Requirements	Value	Source
36(1)(a)	Each habitable space in the premises has 1 or more qualifying windows or doors as required in Regulation 21	Satisfactory	Warm Fuzzies
36(1)(b)	Kitchen - Exhaust diameter. Exempt if installed prior to the 1 July 2019	N/A - Exempt Schedule (1)8	Warm Fuzzies
	Kitchen - Air Flow. Exempt if installed prior to the 1 July 2019	N/A - Exempt Schedule (1)8	Warm Fuzzies
	Kitchen - Externally Exhausted	Satisfactory	Warm Fuzzies
	Bathroom - Exhaust diameter. Exempt if installed prior to the 1 July 2019	N/A - Exempt Schedule (1)8	Warm Fuzzies
	Bathroom - Air Flow. Exempt if installed prior to the 1 July 2019	N/A - Exempt Schedule (1)8	Warm Fuzzies
	Bathroom - Externally Exhausted	Satisfactory	Warm Fuzzies

✓ This property meets the HHS standards regulation 21 (openable windows).

✓ This property meets the HHS standards regulation 23 (Kitchen and bathroom extractor fan).

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Draught Stopping Compliance (Regulation 25 & 26)

Insulation Details			
13(a) Clause	Regulation Requirements	Value	Source
37(1) (a) Clause	If there are open fire places, they have been blocked or opened upon request by the tenant	Satisfactory	Warm Fuzzies
37(1) (b) Clause	The property is free from obvious, unintentional and unreasonable gaps between, and holes in, building elements that allow draughts into or out of the premises	Unsatisfactory	Warm Fuzzies

✓ This property meets the HHS standards regulation 25 (Open fire places).

✗ This property does not meet the HHS standards for regulation 26 (Draught stopping), but it is the landlord's intent to be compliant prior to the HHS start date (1 July 2021).

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Moisture Ingress & Drainage Compliance (Regulation 27 & 28)

Insulation Details

13(a) Clause	Requirements	Value	Source
38(1)	There are no obvious issues that would suggest an inefficient drainage system	Satisfactory	Warm Fuzzies
38(2)	The building does not have a suspended sub floor	Satisfactory	Warm Fuzzies

✓ This property meets the HHS standards regulation 27 (drainage)

✓ This property meets the HHS standards regulation 28 (moisture barrier)