

ONE AGENCY

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Dunedin City Council – Land Information Memorandum

Property Address: 44 Leckhampton Court Dunedin

Prepared for: Sheena Te Waimania Patricia and Jared Robbie Wiel.

Prepared on: 12-Dec-2025

Property Details:

Property ID	5023706
Address	44 Leckhampton Court Dunedin
Parcels	LOT 25 DP 169

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 12-Dec-2025

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information section: *s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

FAULT

Kaikorai

Description: This report presents a general outline of the locations and character of active geological faults and folds in the Clutha and Dunedin City districts. The work described in this report is based on a desktop review of information from regional-scale geological mapping and from more detailed published or open-file geological studies relevant to understanding active faults in the two districts. This project involved the compilation of a Geographic Information System (GIS) dataset that gives the locations of active faults and folds delineated in the two districts. The interpretations and geographic positionings of the faults and folds were aided, where available, by topographic information from airborne LiDAR scans (laser radar) and from satellite, aerial or ground-based photographic archives.

Barrell, D.J.A. (2021). *General distribution and characteristics of active faults and folds in the Clutha and Dunedin City districts, Otago*. GNS Science.

<https://www.orc.govt.nz/media/10002/active-faults-folds-in-the-clutha-and-dunedin-city-districts-otago-2021.pdf>

Commissioned by: Otago Regional Council

Purpose: To describe the general distribution and characteristics of active faults and folds in the Clutha and Dunedin City districts of Otago, to assist with the identification and assessment of earthquake hazard for land-use planning purposes.

Scope of report: The Clutha District and Dunedin City District areas of Otago Region

Reference Number: 12094

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively.

This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **17th August 1994**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Urban Stormwater Catchment

This property is located within an urban stormwater catchment that has been modelled in a study to determine the potential effects of land use and climate change that may occur over the next 50 years. This indicates that some areas of the catchment might be subject to a potential flooding risk or surface water ponding during particular rainfall events.

These effects are outlined in the Integrated Catchment Management Plans (ICMPs) that are available on the Council website. The ICMPs show the areas in the catchment that have been modelled which might be susceptible to a higher risk of flooding. The ICMPs contain maps that indicate a potential worst case scenario for a 1 in 100 year rainfall event. However, there are a series of maps also available that show modelling results from a range of other scenarios.

While the maps have been produced to help Council manage the reticulation networks, they are not sufficiently detailed to specifically account for individual properties which may be affected by local factors not included in the models.

For further information please contact 3 Waters Services at Dunedin City Council.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account 2023706

Address 44 Leckhampton Court Dunedin

Valuation Number 27060-62000

Latest Valuation Details

Capital Value	\$400,000
Land Value	\$145,000
Value of Improvements	\$255,000
Area (Hectares)	0.0427HA
Units of Use	1

Current Rates

Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$3,359.10

Rates Outstanding for Year \$1,679.56

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

[H-1979-210918](#) AAD19790550

K1124 - Repair Foul Drain, No Plan (Cox). The permit was lodged on 23-Nov-1979.

Building Notices

No Building Notices

Resource Consents

There are no resource consents for this property.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan ("The 2GP") is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 1 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Nil

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 44 Leckhampton Court Dunedin

[5023759 71 Leckhampton Court Dunedin](#)

[RMA-1991-350877](#) Resource Management Act (Historical Data) Right Of Way / App: A.D. Hosken PO Box 1083 (Non-Notified - Non Complying).

5023764 4 Forfar Street Dunedin

[RMA-2006-370003](#) Resource Management Act (Historical Data) SUBDIVIDE INTO 3 ALLOTMENTS (Non-Notified - Non Complying). The outcome was Granted on 16/05/2006.

[RMA-2006-370838](#) Resource Management Act (Historical Data) S127 VARIATION TO REMOVE ACCESS VIA ROW CREATED UNDER RMA 20060198 FOR RECENTLY PURCHASED PROPERTY AT 53 LECKHAMPTON COURT. The outcome was s127 Upheld on 15/12/2006.

[POL-2005-350349](#) Planning Other Legislation S 348 CGA 1974 'RIGHT OF WAY' (Other). The outcome was Granted on 09/09/2005.

5023765 6 Forfar Street Dunedin

[LUC-2017-133](#) Land Use Consent land use consent to establish a retaining wall and the associated bulk and location breaches. The outcome was Granted on 21/04/2017.

[LUC-2012-238](#) Land Use Consent earthworks. The outcome was Granted on 01/06/2012.

[RMA-2006-370003](#) Resource Management Act (Historical Data) SUBDIVIDE INTO 3 ALLOTMENTS (Non-Notified - Non Complying). The outcome was Granted on 16/05/2006.

[POL-2005-350349](#) Planning Other Legislation S 348 CGA 1974 'RIGHT OF WAY' (Other). The outcome was Granted on 09/09/2005.

5023766 8 Forfar Street Dunedin

[RMA-1997-361471](#) Resource Management Act (Historical Data) erect retaining wall (note: in 2007 wall was found to encroach upon 10 Forfar Street) (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 02/12/1997.

5023767 10 Forfar Street Dunedin

[RMA-2002-365669](#) Resource Management Act (Historical Data) ERECT DECK AND PERGOLA (Non-Notified - Restricted Discretionary). The outcome was Granted on 24/05/2002.

[RMA-1997-361471](#) Resource Management Act (Historical Data) erect retaining wall (note: in 2007 wall was found to encroach upon 10 Forfar Street) (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 02/12/1997.

5035497 21 Leckhampton Court Dunedin

[RMA-1999-363383](#) Resource Management Act (Historical Data) ERECTION OF GARAGE WITHIN SIDE YARD (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 30/09/1999.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Non-compliant vehicle crossing – stormwater run-off and not sealed for the first 5 metres

To meet current Council standards the vehicle crossing would be required to be hard surfaced from the edge of the carriageway to 5m inside the property boundary. This requirement is to prevent debris migrating from inside the property out onto the footpath and/or carriageway. The stormwater run-off would be required to be captured at the boundary and managed in a way where it does not cause a nuisance to neighbouring properties, including the road corridor. For example: a strip drain with sump or a sump and piped to the kerb and channel. Council accepts this situation but accepts no liability and points out that maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

Encroachment on road reserve – privately owned fence

It appears the privately owned fence at this property's rear side is encroaching on to road reserve. This may remain at the pleasure of Council however an encroachment license may be required in the future. Council accepts this situation but accepts no liability. Any damage caused and the maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer

HEA	Heater
ICC	Interim Code Compliance
MH	Manhole
PL	Plumbing
PLB	Plumbing
PTE	Private
SIS	Sewer in section
WC	Water course
WT	Water table
SW	Stormwater

General terms

RDMS Records and Document Management System

Appendices



Photographic Map

Scale at A

1:75
8/12/

N

PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthophotographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

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2013 Urban and rural photography Jan/Feb 2013.
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2006/2007 Urban photography March 2007,
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2006, copyright Terralink International Ltd.

Legend

Water Supply

- NR ► Water Non-Return Valve
- * Water Pump Station
- Water Meter
- Toby
- Meter without manifold box
- Retic Flow Meter
- Combination Meter
- Manifold Box With Restrictor
- Water Valve - Zone
- Non Return Valve
- Water Valve - Gate
- Water Valve - Sluice
- Water Hydrant
- Water Backflow Preventor - RPZ

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

- Pump Station
- Treatment Plant
- Vent
- Boundary Kit
- NR ► Non-Return Valve
- Pump Station Domestic
- Foul Drains in Common (public)
- Sewer
- Trunk Sewer
- Vent Line
- Rising Main
- Drop Manhole
- Inspection Manhole
- Inspection Opening
- Lamphole
- Outlet

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

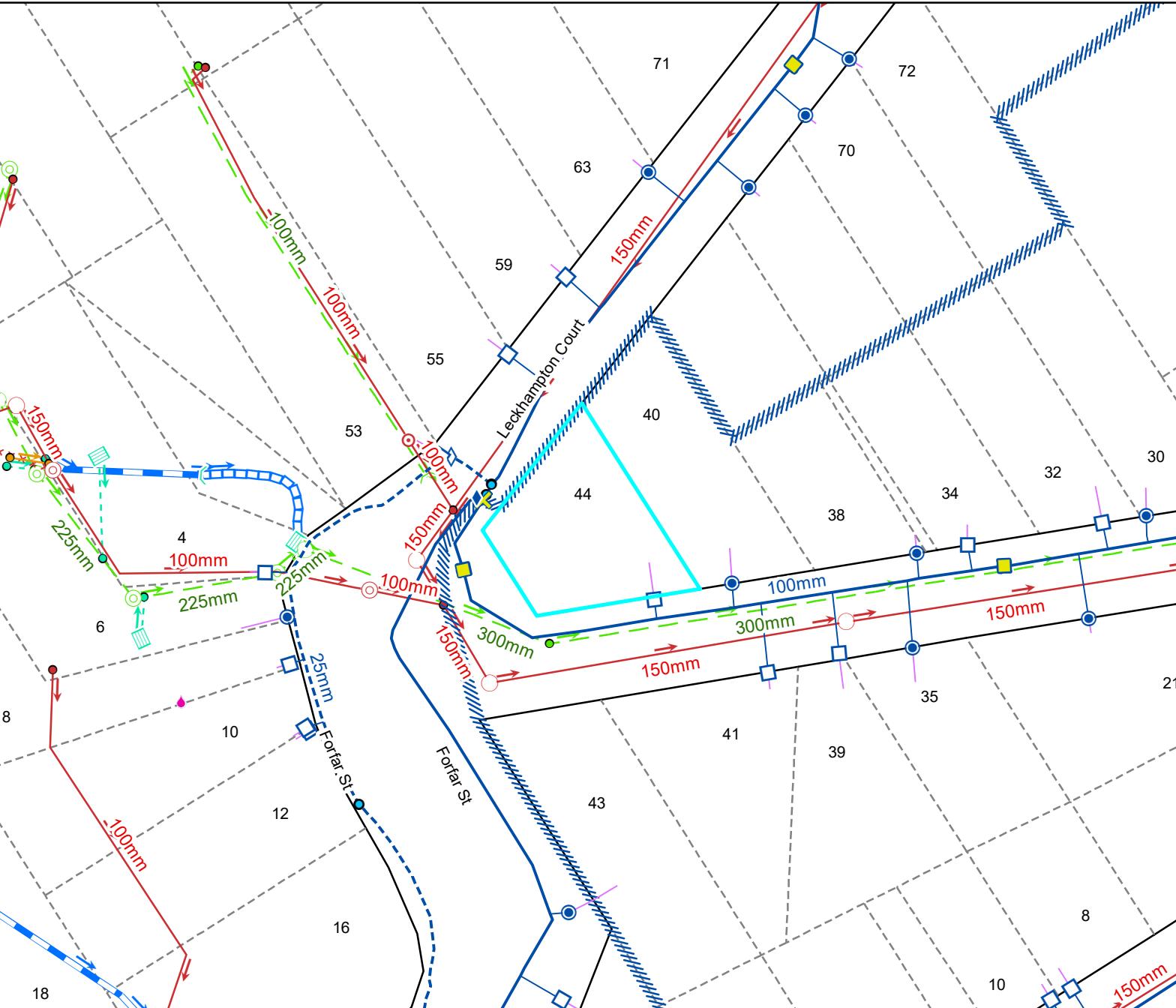
- SW Bubble-up Tank
- SW Drop Manhole
- SW Insp Chamber and Grating Inlet
- SW Inspection Manhole
- SW Inspection Opening
- SW Lamphole
- SW Mudtank Inlet
- SW Outlet
- SW Pipe Inlet
- SW Pressure Manhole
- SW Standard Manhole
- SW Stormwater Node
- Roading Bubble-Up Tank
- Roading Mudtank
- Stormwater Main
- Stormwater Trunk Main
- DCC Open Channel
- Piped WC
- Open WC
- Culvert
- Stormwater Mudtank Pipe
- Redundant Stormwater Main
- SW Sump
- SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

- DCC Water & Waste Structure
- Railway Centreline
- Parcell
- Road/Rail
- Hydro
- Motorway Parcels
- Strata
- Easement (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of this information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
1:750

8/12/2025
8:04:02 PM

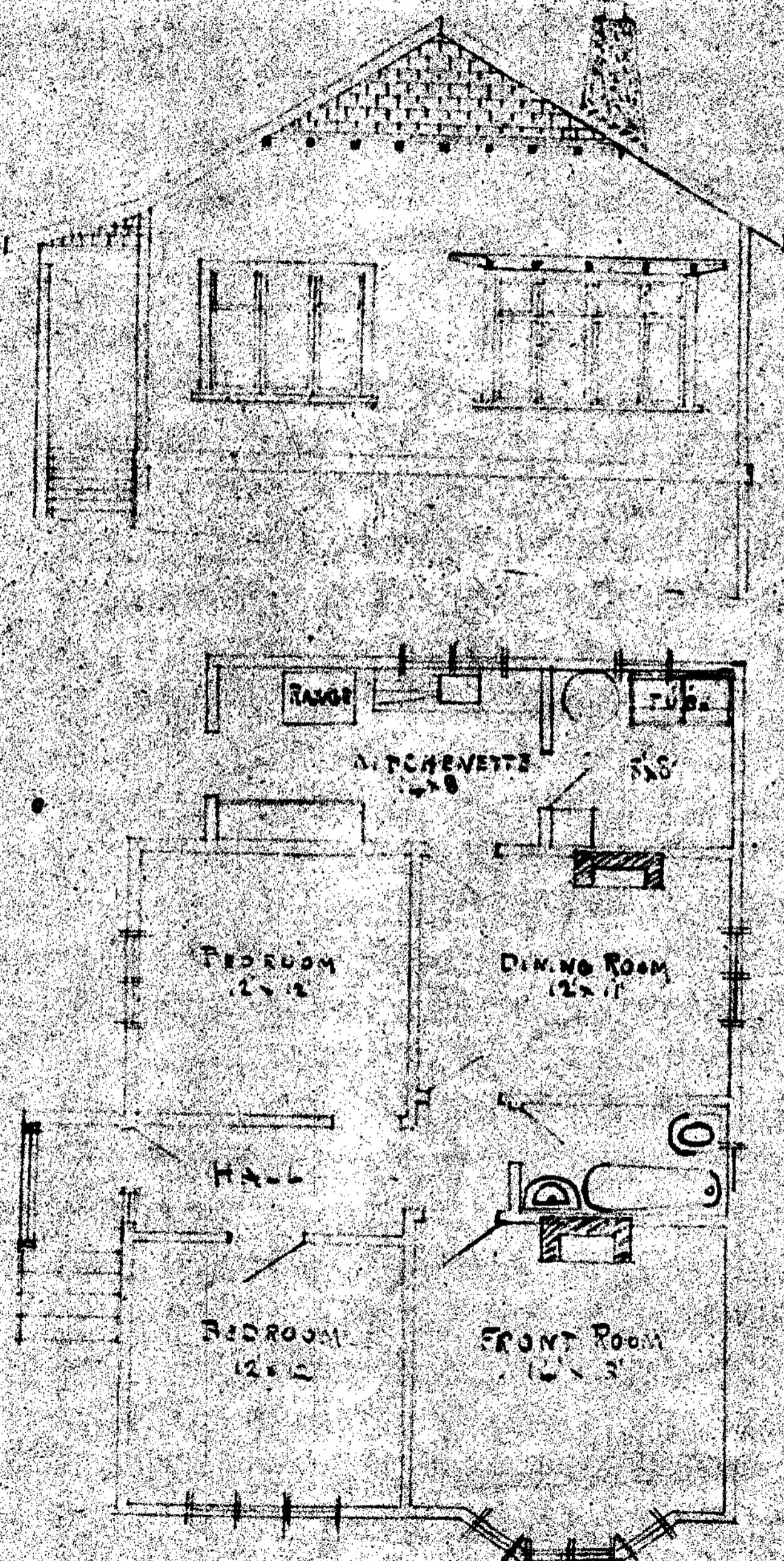


PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
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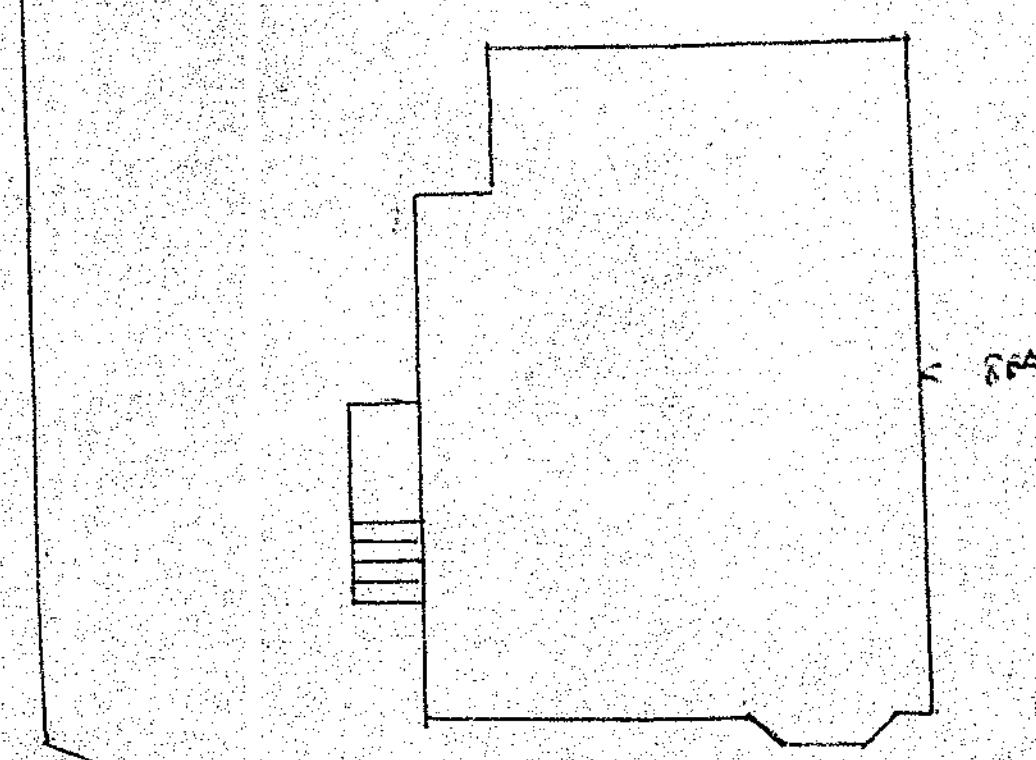


917

LECKHAMPTON COURT

AREA 17.5 POLES

LECKHAMPTON COURT



884

VACANT
SECTION

LECKHAMPTON COURT

LOCALITY PLAN

pt Sec 25 Blk 7
Caversham ~~Extension~~
Rise

917

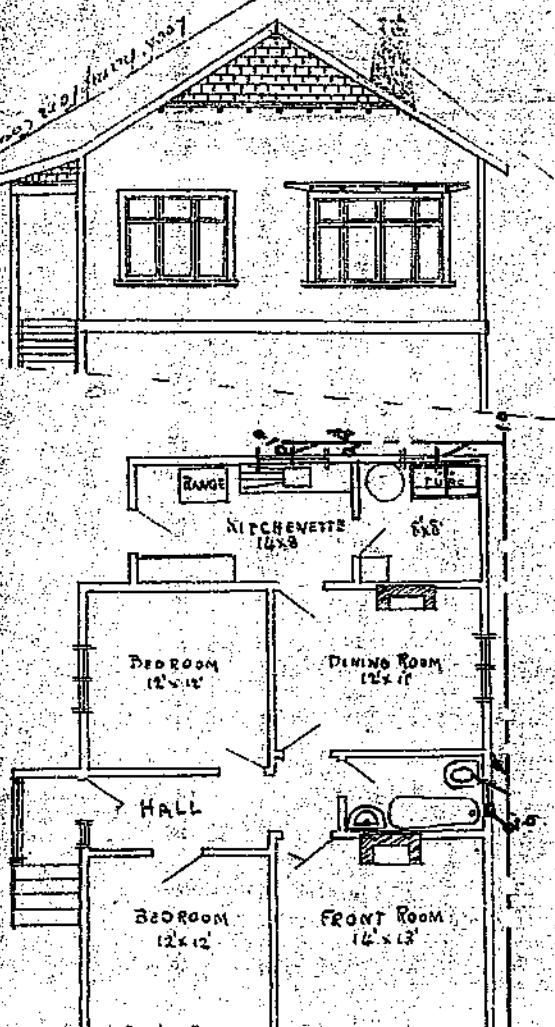
C/1946

LECKHAMPTON COURT

LECKHAMPTON COURT

LECKHAMPTON COURT

LOCALITY PLAN



LEGEND

Existing Drains

New Foul Drains

New Stormwater Drains

PROPOSED DWELLING

for Mr. D. T. BOYD

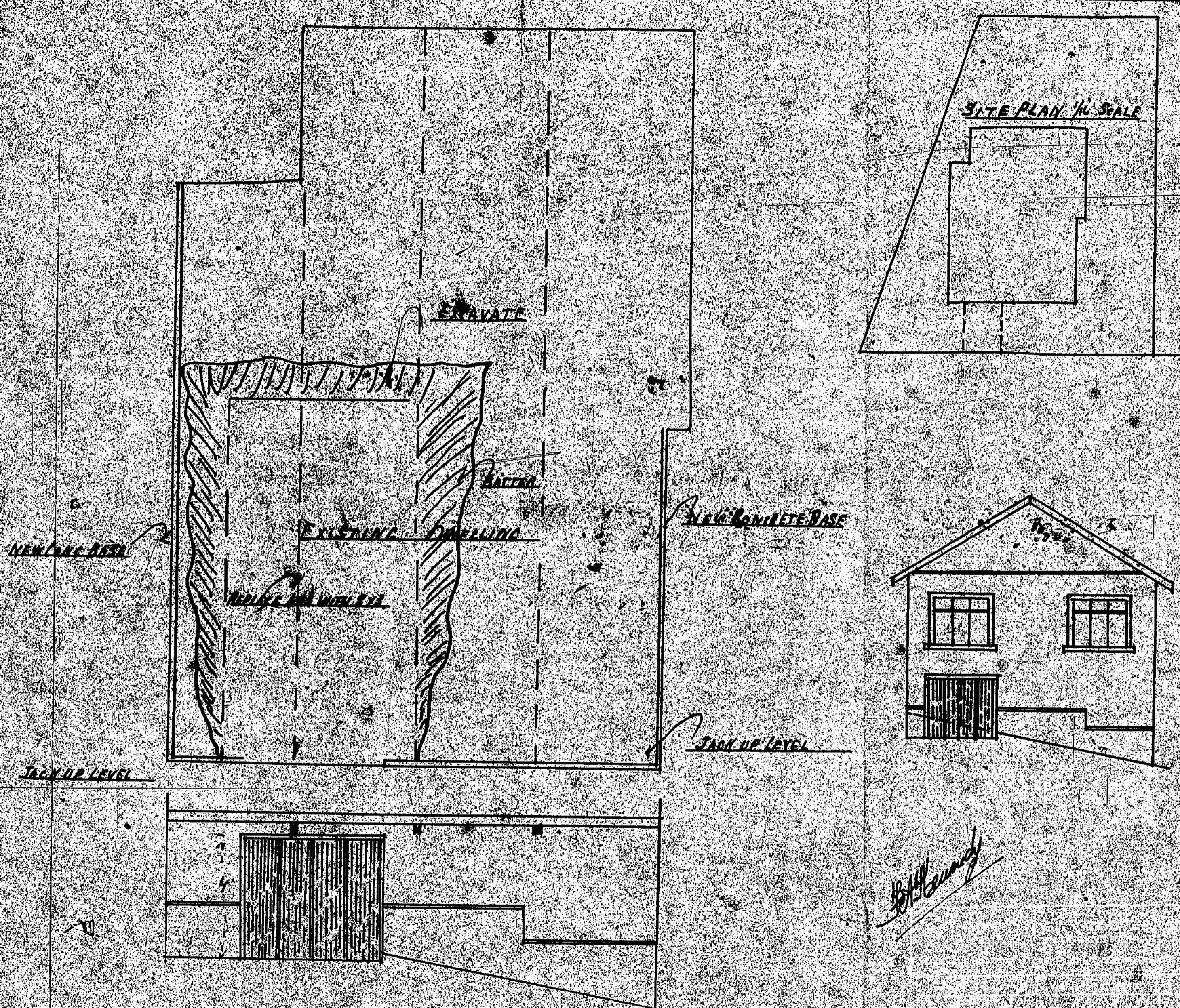
LECKHAMPTON COURT

CAVERSHAM RISE

Sec 25 BLK

Car Rise

Lockhampton Court



REPAIRS TO FOUNDATIONS & NEW BASEMENT GARAGE FOR MRS E. LATTA

LOT 25 DP 169 PT SEC 4 BLK VI Caversham RISE

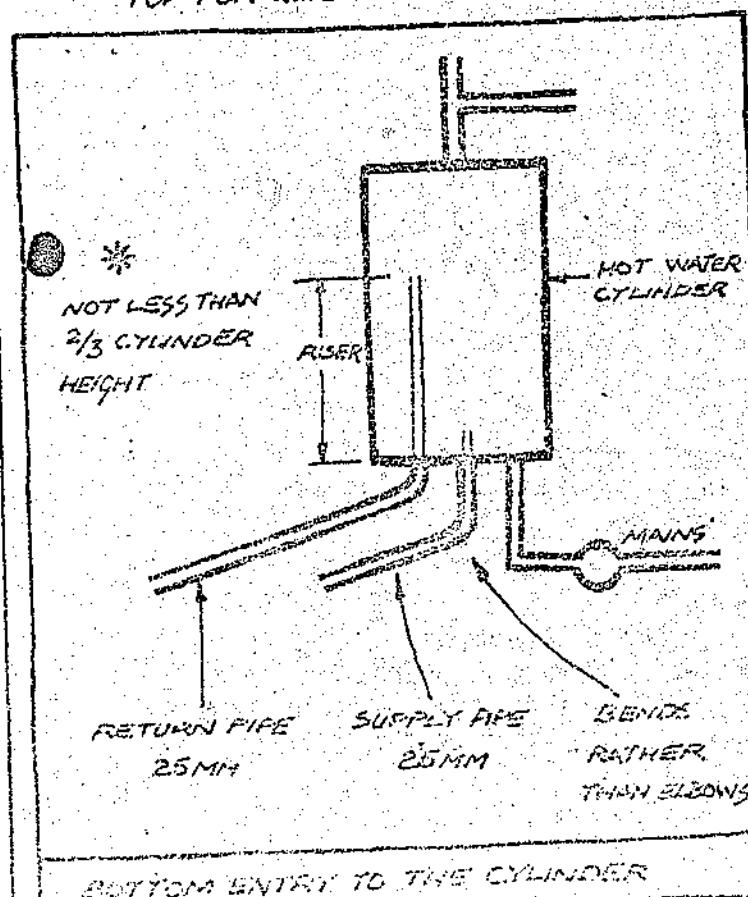
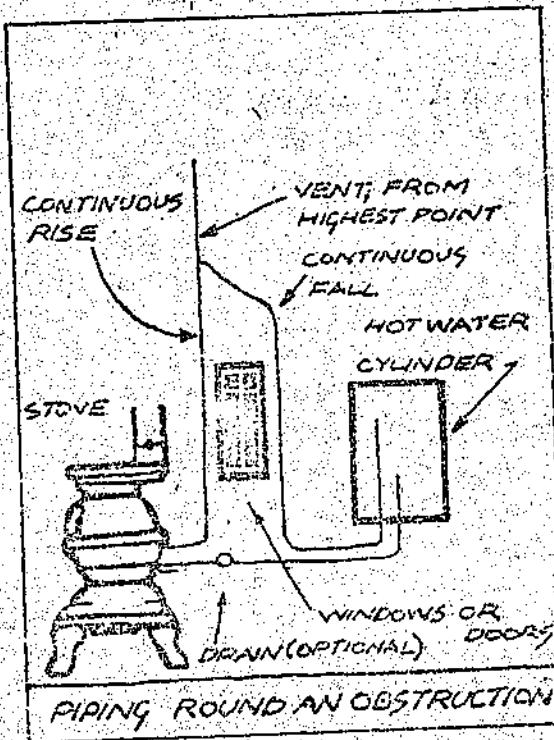
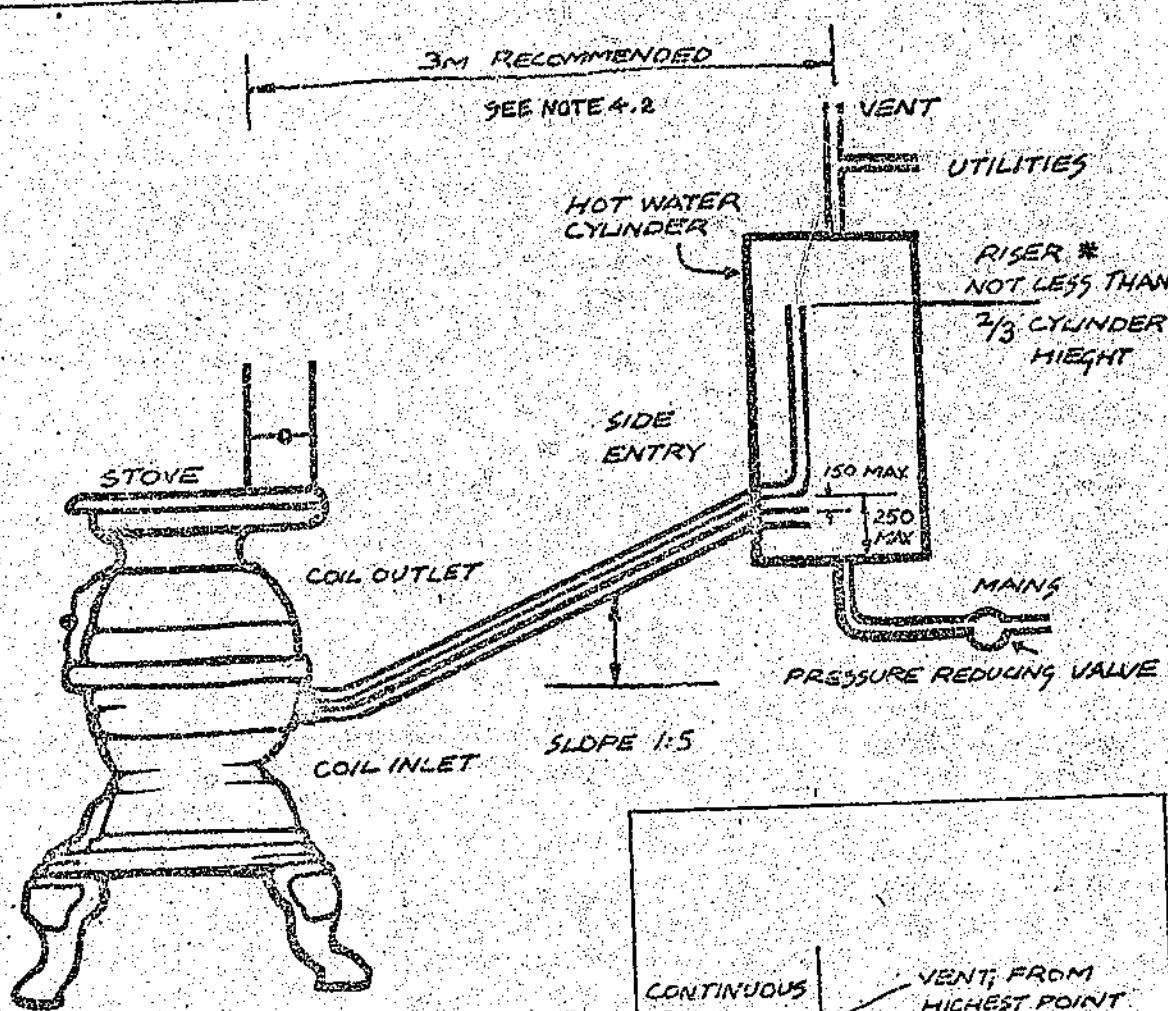


FIGURE 28

These diagrams are manufacturer's recommendations only and may not necessarily comply with Local Body requirements regarding water coil installations. Please check with your local authority before proceeding.

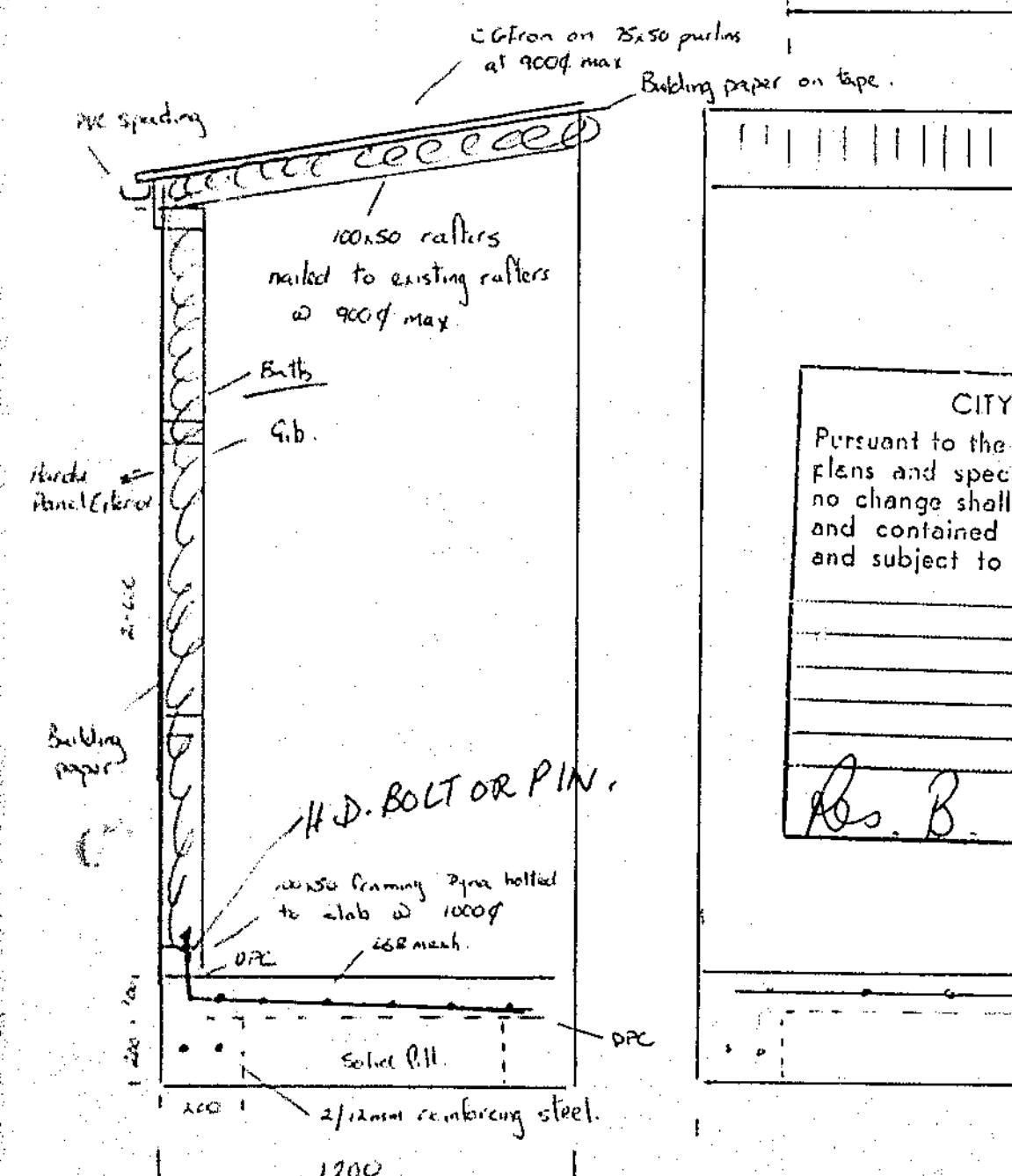
FIGURE 27

1714

A separate application to the Drainage Board for plumbing and/or waste work is required. Such work shall comply fully with the Building, Construction and Development Act 1976, Plumbors, Gasfitters and Drainage Regulations 1977, Drainage and Plumbing Regulations of the Board's by-laws.

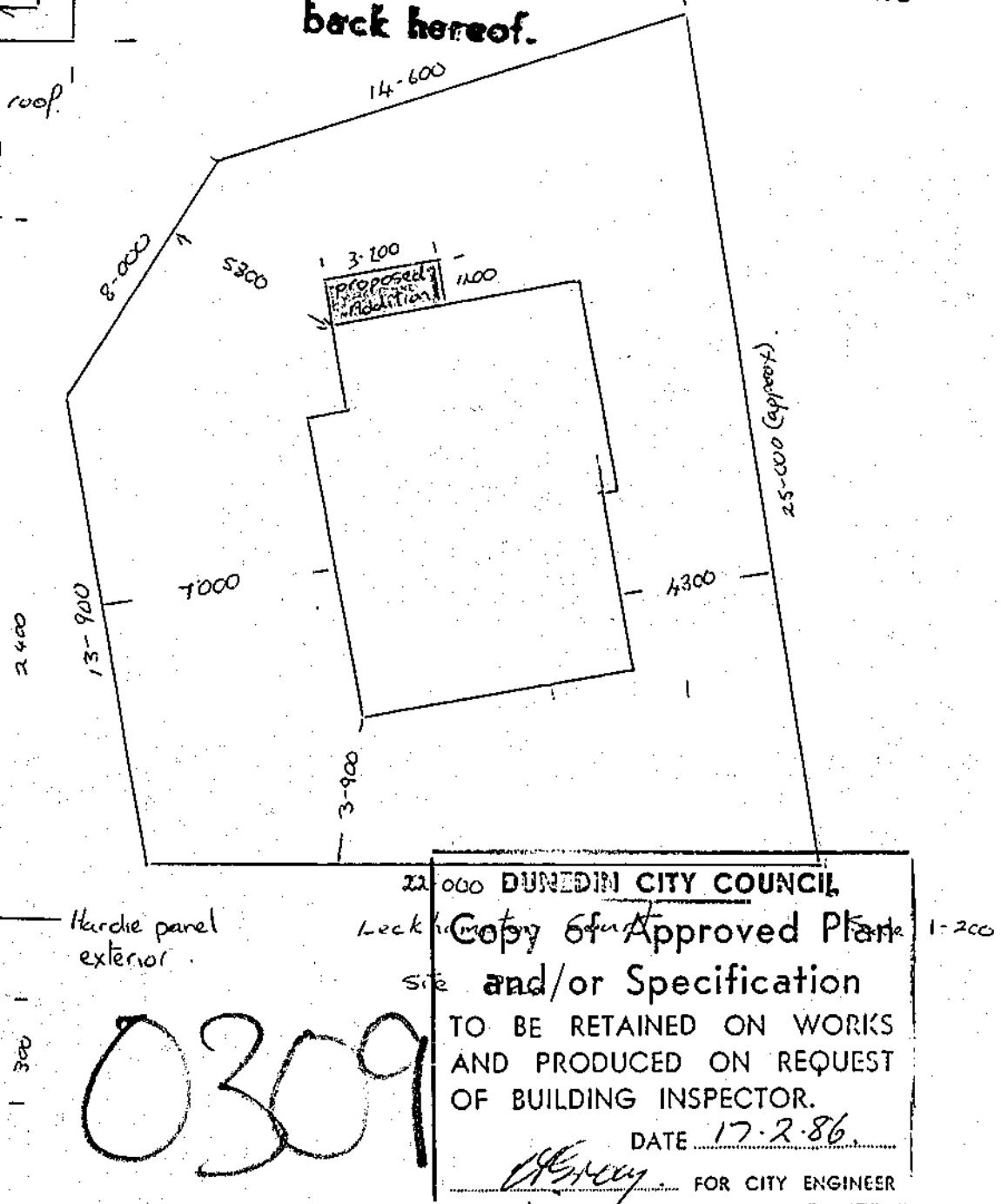
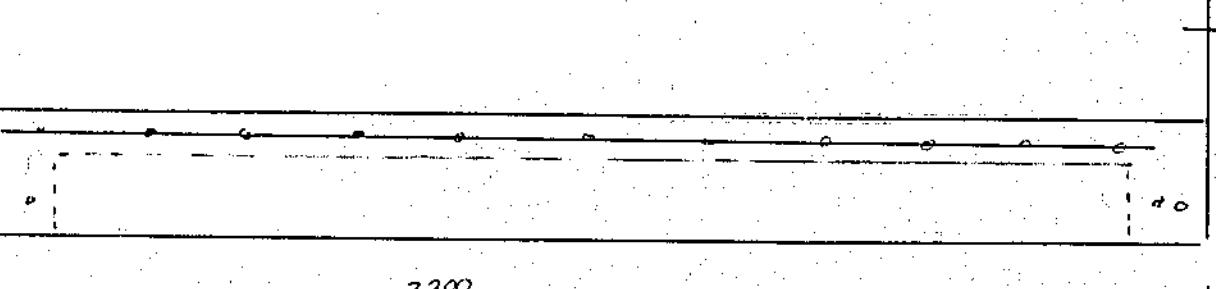
Drainage and Gasfitter's
Approved for
Plumbing and
Gasfitter's Work
to fit drain on addition

14.2.86



CITY PLANNING DEPARTMENT
Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown hereon, and contained in the specification attached hereto, and subject to

13/2/86
R. B. Signed for City Planning Officer



PROPOSED ADDITION C. FREWEN 44 LECKHAMPTON COURT.

A 3.200, 1.200 addition proposed. Exterior is Hardie Panel. Timber framing 100x50. Iron Roof floor is concrete slab. Existing wall (ext) removed. 200x100 beam to take place of wall. Opening 2.2

This permit is issued subject to the additional conditions shown on the back hereof.

CODE COMPLIANCE CERTIFICATE No.: 93/4619

Section 43(3), Building Act 1991

ISSUED BY

DUNEDIN CITY COUNCIL

BUILDING CONSENT No.: 93/4619

(Insert a cross in each applicable box. Attach relevant documents.)

PROJECT	PROJECT LOCATION
All	<input type="checkbox"/> Street Number: MR W RUSSELL 44 LECKHAMPTON CR DUNEDIN
Stage No. of an intended of:	<input type="checkbox"/>
New or relocated building	<input type="checkbox"/>
Alteration	<input type="checkbox"/>
Intended use(s) (in detail): HEATER	LEGAL DESCRIPTION
Intended Life: Indefinite, but not less than 50 years	<input type="checkbox"/> Property Number: 237067
Specified as 5 years	<input type="checkbox"/> Valuation Roll Number: 2706062000
Demolition	<input type="checkbox"/> Lot: 25 DP: 169 Section: Block: Survey District:

This is:

A final code compliance certificate issued in respect of all of the building work under the above building consent

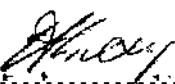
An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent

This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No." (being this certificate).

The Council charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are: \$ 0.00

Receipt No.:

Signed for and on behalf of the Council:

Name: Position: 

Date: 12.12.1993

BUILDING CONSENT No.:

231619

Project Information Memorandum No.:

ISSUED BY

Section 35, Building Act 1991

DUNEDIN CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents)

APPLICANT**PROJECT**

Name:
MR W RUSSELL

Mailing Address:

44 LECKHAMPTON CR
DUNEDIN

All

Stage No. of an intended stages

New Building

Alteration

Street Address:

44 LECKHAMPTON CR
DUNEDIN

Intended Use(s) (in detail):

HEATER

Intended Life:

Indefinite, but not less than 50 years

Specified as 5 years

Demolition

Property Number: 237067

Valuation Roll Number: 2706062000

Lot: 25

DP: 169

Section:

Block:

Survey District:

Estimated Value: \$ 1,300.00

COUNCIL CHARGES

The balance of Council's charges payable on uplift of this building consent, in accordance with the tax invoice are:

Total: \$ 0.00

ALL FEES ARE G.S.T. INCLUSIVE

Signed for and on behalf of the Council:

Name: *SP Russell*

Position:

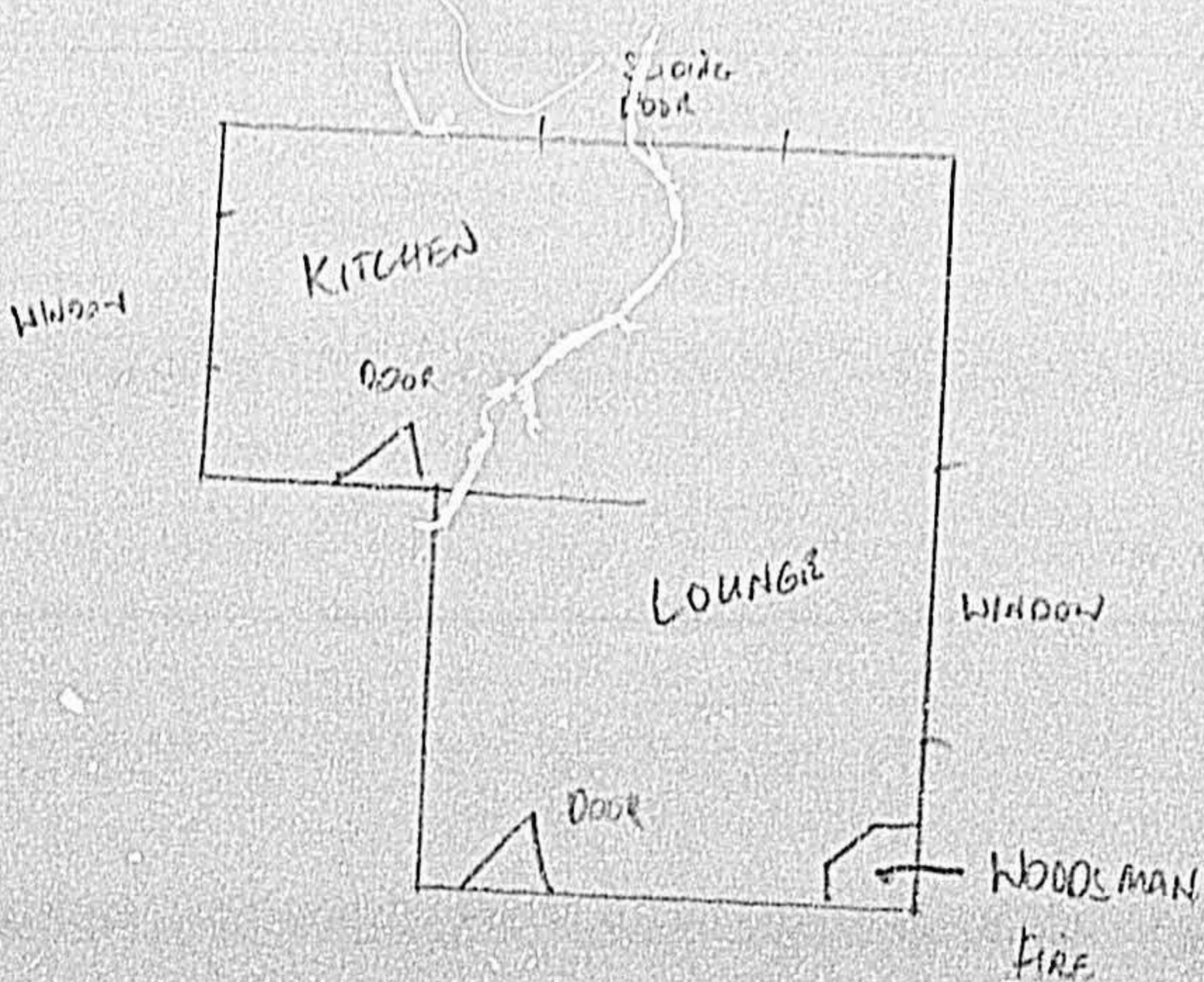
Date: 10/11/2003

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages, headed "Conditions of Building Consent No. /".



MR. W. RUSSELL
44 LICKMAN COTT.
DUNEDIN



93/4619