

ONE AGENCY

Disclaimer

The information in this pack has been provided by or on behalf of our client. It is made available by us in good faith. One Agency cannot warrant the content or completeness of this document. We have used our best endeavours to provide complete documentation and correct information.

However, to the extent that a recipient relies on any of this material, the recipient does so at their own risk. We will not be liable in any way for any incorrect or incomplete information in this material and no recipient will have any claim against us arising from any information contained or omitted from this material. A prospective purchaser should undertake their own due diligence or obtain advice from their own lawyers before entering into any Agreement for Sale and Purchase.



Dunedin City Council – Land Information Memorandum

Property Address: 4 St Leonards Drive St Leonards

Prepared for: Ryan George and Leanne Kerry Brayshaw

Prepared on: 09-Dec-2025

Property Details:

Property ID	5010174
Address	4 St Leonards Drive St Leonards
Parcels	LOT 2 DP 3737

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 09-Dec-2025

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

Contents

Dunedin City Council – Land Information Memorandum	1
Property Address: 4 St Leonards Drive St Leonards	1
Prepared for: Ryan George and Leanne Kerry Brayshaw	1
Prepared on: 09-Dec-2025	1
Property Details:	1
Disclaimer:	1
s44A(2)(a) Information identifying any special feature or characteristics of the land	4
District Plan Hazard Information	4
Other Natural Hazard Information	4
Flood Hazards	4
Land Stability Hazards	4
Coastal Hazards	4
Seismic Hazards	4
Other Natural Hazards	4
Otago Regional Council Hazard Information	4
Contaminated Site, Hazardous Substances and Dangerous Goods	4
Contaminated Site Information	4
Historic Dangerous Goods Licence(s)	5
Hazardous Substances	5
s44A(2)(b) Information on private and public stormwater and sewerage drains	5
Drainage	5
Foul Sewer and Waste Water	5
Public Sewer Sheets	6
Dunedin City Council Private Drainage plans incomplete	6
s44A(2)(bb) Information Council holds regarding drinking water supply to the land	6
Water Supply	6
s44A(2)(c) Information relating to any rates owing in relation to the land	7
Rates Details	7
Rates Assessment Details	7
s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land	7
(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and	7
(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004	7
Building and Drainage Consents	7
Building and Drainage Permits	9
Building Notices	9
Resource Consents	9
Consent Notices	9
Alcohol Licensing	9
Health Licensing	9
s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006	9

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use	10
District Plan	10
District Plan Map	10
s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation.....	10
s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004	10
Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.	11
Building Information.....	11
Drainage	11
Minimum Floor Levels	11
Planning.....	11
Resource Consents within 50m of 4 St Leonards Drive St Leonards	11
3 Waters	14
Information Regarding Watercourses	14
Transport	14
Glossary of Terms and Abbreviations.....	16
Consent, Permit, Licence & Complaint types	16
Terms used in Permits & Consents.....	16
General terms.....	17
Appendices	18

s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

INTENSIFIED SHAKING

Earthquake Possible Amplification 1:100000 Map

Description: This area has been identified as lying within a zone susceptible to amplified shaking in an earthquake and the approximate area of possible amplification of earthquake intensity by 0-1 on MM Scale.

Dunedin City Lifelines Project. (1999). *Dunedin City Lifelines Project Report*. Dunedin City Lifelines Project.

<https://www.civildefence.govt.nz/assets/Uploads/documents/lifelines/dunedin-lifelines-report-1999.pdf>

Commissioned by: Dunedin City Council and Otago Regional Council

Purpose: To assess the vulnerability of Dunedin's lifeline utilities to natural hazards and to develop strategies that reduce risks and strengthen the city's resilience.

Scope of report: The Dunedin City Council area, bounded west by Flagstaff and Three Mile Hill, east by the Otago Harbour entrance, north by Waitati, and south by Brighton.

Reference Number: 10111

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **4th December 2025**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2010174
Address	4 St Leonards Drive St Leonards
Valuation Number	26700-16000
Latest Valuation Details	
Capital Value	\$670,000
Land Value	\$315,000
Value of Improvements	\$355,000
Area (Hectares)	0.0728HA
Units of Use	1
Current Rates	
Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$4,112.96
Rates Outstanding for Year	\$2,056.48

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	/CCC	-	
	Refused	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect
	Lapsed	-	

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2003-301144](#) Building Consent - Heater - Kent Spectra

Lodgement Date 30-Jul-2003
Decision Granted
Decision Date 31-Jul-2003
Current Status **CCC Issued**
Previous Number ABA32261

(Applications before 2007)

[ABA-1994-329186](#) Building Consent - Add to Dwelling- Conservatory and Laundry (Hippolite)

Lodgement Date 30-Nov-1994
Decision Granted
Decision Date 23-Dec-1994
Current Status **CCC Issued**
Previous Number ABA944776

(Applications before 2007)

[ABA-1996-337359](#) Building Consent - Plumbing Alts in Bathroom, No Plan

Lodgement Date 30-Aug-1996
Decision Granted
Decision Date 02-Sep-1996
Current Status **CCC Issued**
Previous Number ABA963460

(Applications before 2007)

[ABA-2007-315755](#) Building Consent - Install Parkwood YF2 Pellet Heater

Lodgement Date 30-Apr-2007
Decision Granted
Decision Date 30-Apr-2007
Current Status **CCC Issued**
Previous Number

(Applications before 2007)

[ABA-2008-942](#) Building Consent - Alter Kitchen, Move Laundry, Add French Doors, Replace Pellet Fire.

Lodgement Date 02-May-2008
Decision Granted
Decision Date 08-May-2008
Current Status **CCC Issued**
Previous Number

(Applications before 2007)

[ABA-2018-1120](#) Building Consent - Extend Dwelling to Convert Study to Bedroom, Alter Kitchen/Dining Layout, Install External Sliding Door and 2 x External French Doors, Change External French Doors to Sliding Door, Add Verandah and Deck with Stairs

Lodgement Date 05-Jun-2018
Decision Granted
Decision Date 28-Jun-2018
Current Status **CCC Issued**
Previous Number

(Applications before 2007)

[ABA-2019-949](#) Building Consent - Amendment to ABA-2018-1120 - Decrease Size of Proposed Deck and Sliding Door, Alter Part Balustrade to Wing Walls, Alter Foundation and Floor Framing Plan

Lodgement Date	15-May-2019
Decision	Granted
Decision Date	20-Jun-2019
Current Status	CCC Issued
Previous Number	
<i>(Applications before 2007)</i>	

Building and Drainage Permits

[H-1983-92621](#) AAB19830008

5574 - Install Warmaire Heater (Hippolite). The permit was lodged on 26-Aug-1983.

[H-1986-98525](#) AAB19860014

1370 - Erect Garage (Hippolite). The permit was lodged on 19-Aug-1986.

[H-1989-104055](#) AAB19890012

5741 - Install Juno Heater (Hippolite). The permit was lodged on 31-Jan-1989.

[H-1972-200631](#) AAD19721772

J290 - Connect to Foul Sewer (Montgomery). The permit was lodged on 28-Mar-1972.

[H-1972-200632](#) AAD19721773

J1076 - Plumbing Alterations (Montgomery). The permit was lodged on 26-Sep-1972.

Building Notices

No Building Notices

Resource Consents

There are no resource consents for this property.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan ("The 2GP") is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- Township and Settlement (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Archaeological Alert Layer
- Road Classification Hierarchy (main roads within 30m of site)
 - Dunedin-Port Chalmers Rd is a Strategic road

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 4 St Leonards Drive St Leonards

1406 R Dunedin-Port Chalmers Road Dunedin

LUC-2018-371 Land Use Consent alterations to the Otago Harbour Wall, earthworks (including earthworks in a coastal habitat) and construction of a boardwalk (to the extent that is not within the coastal marine area) associated with the shared cycling and pedestrian path. The outcome was Granted on 21/09/2018.

RMA-1998-362404 Resource Management Act (Historical Data) ALTERATION TO DESIGNATION, SH88 SHANDON TO STATION RDS UNDER SECTION 181 OF RMA. (Converted - Ended). The outcome was Granted on 13/12/1999.

RMA-1996-359776 Resource Management Act (Historical Data) ELECTION SIGNS (Non-Notified - Restricted Discretionary). The outcome was Granted on 27/06/1996.

RMA-1999-363239 Resource Management Act (Historical Data) INSTALLATION OF NEW POWER POLE WHICH DOES NOT COMPLY WITH PROPOSED DISTRICT PLANS UTILITY SECTION (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 19/08/1999.

RMA-1996-360054 Resource Management Act (Historical Data) ERECTION OF GENERAL ELECTION SIGNS DBTR - NEIL BENSON (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/09/1996.

5010171 1 Kiwi Street St Leonards

LUC-2010-364 Land Use Consent construct a 6m by 4.2m by 2.1m garage. The outcome was Granted on 09/09/2010.

5010173 5 St Leonards Drive St Leonards

RMA-1995-357303 Resource Management Act (Historical Data) Existing shed on boundary (converted to laundry) Ownr:A MCIVOR / App: ALISON MCIVOR 5 ST LEONARDS RD (Non-Notified - Non Complying). The outcome was Granted on 10/02/1995.

RMA-1995-353030 Resource Management Act (Historical Data) DISPENSATION 1611 for garage in side yard attached to dwelling (Non-Notified - Non Complying). The outcome was Granted on 04/02/1991.

5108925 LOT 3 Dunedin - Tranzrail (N/R) Dunedin

[LUC-2021-88](#) Land Use Consent To undertake additional earthworks in association with the construction of the shared pathway route from St Leonards to Port Chalmers. The outcome was Granted on 11/05/2021.

[LUC-2018-371](#) Land Use Consent alterations to the Otago Harbour Wall, earthworks (including earthworks in a coastal habitat) and construction of a boardwalk (to the extent that is not within the coastal marine area) associated with the shared cycling and pedestrian path. The outcome was Granted on 21/09/2018.

[LUC-2017-14](#) Land Use Consent construction of the St Leonards to Port Chalmers Shared Pathway at Various Sites along the St Leonards to Port Chalmers Shared Pathway Route. The outcome was Granted on 11/04/2017.

[LUC-2013-99](#) Land Use Consent mural on retaining wall. The outcome was Granted on 02/04/2013.

[SUB-2011-61](#) Subdivision Consent amalgamation subdivision - subdivide railway land at Burnside into an industrial lot and a balance lot. The outcome was Granted on 15/07/2011.

[RMA-2006-370524](#) Resource Management Act (Historical Data) construct and operate a self-service fuel facility. The outcome was Granted on 29/10/2007.

[RMA-2001-364796](#) Resource Management Act (Historical Data) ESTABLISH CAR PARK (Non-Notified - Non Complying). The outcome was Granted on 06/06/2001.

[RMA-2004-368439](#) Resource Management Act (Historical Data) CREATE A THREE LOT INDUSTRIAL 1 SUBDIVISION (Non-Notified - Restricted Discretionary). The outcome was Granted on 02/12/2004.

[RMA-2001-365039](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365038](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365037](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365036](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365035](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365034](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2002-366126](#) Resource Management Act (Historical Data) CERTIFICATE OF COMPLIANCE FOR THE ERECTION, OPERATION AND MAINTENANCE OF A REPLACEMENT SULPHURIC ACID CONVERTER (Other). The outcome was Granted on 04/12/2002.

[RMA-1999-362972](#) Resource Management Act (Historical Data) MURAL FOR WILKIE ROAD/NEVILLE ROAD TRANZ RAIL BRIDGE (Non-Notified - Restricted Discretionary). The outcome was Granted on 20/08/1999.

[RMA-1993-357917](#) Resource Management Act (Historical Data) Subdivision Ownr:NZ RAILWAYS CORP. / App: K.G. Harford Private Bag (Non-Notified - Non Complying). The outcome was Granted on 18/11/1993.

[RMA-1997-361305](#) Resource Management Act (Historical Data) VARIATION TO SUBDIVISION CONSENT AND EXTENSION OF TIME FOR SUBDIVISION OF LOT 1 DP 25158 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 13/10/1997.

[RMA-1991-350984](#) Resource Management Act (Historical Data) Report Ownr:RAILWAYS (Non-Notified - Non Complying). The outcome was Granted on 24/05/1991.

[RMA-1993-355755](#) Resource Management Act (Historical Data) Subdivision for disposal of surplus railway land App: WORKS CONSULTANCY (Non-Notified - Non Complying). The outcome was Granted on 25/06/1993.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner.

Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Encroachment on road reserve

On the property's frontage there are landscaping rock walls, concrete steps, a part of garage frontage and various plantings that appear to be located within the road reserve. These may remain at the pleasure of Council however an encroachment license may be required in the future. Council accepts this situation but accepts no liability. Maintenance is the responsibility of the property owner.

Encroachment on road reserve – privately owned vegetation over road reserve.

It appears that the vegetation at this property's frontage is encroaching on the road reserve. Private vegetation is required to be maintained so that it does not interfere with road users or extend over your property boundary. Council accepts this situation but accepts no liability. Maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

Encroachment on road reserve – privately owned concrete steps.

It appears the privately owned concrete steps at this property's frontage are encroaching on to road reserve. These may remain at the pleasure of Council however an encroachment license may be required in the future. Council accepts this situation but accepts no liability. Any damage caused and the maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside.

The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer

HEA	Heater
ICC	Interim Code Compliance
MH	Manhole
PL	Plumbing
PLB	Plumbing
PTE	Private
SIS	Sewer in section
WC	Water course
WT	Water table
SW	Stormwater

General terms

RDMS Records and Document Management System

Appendices



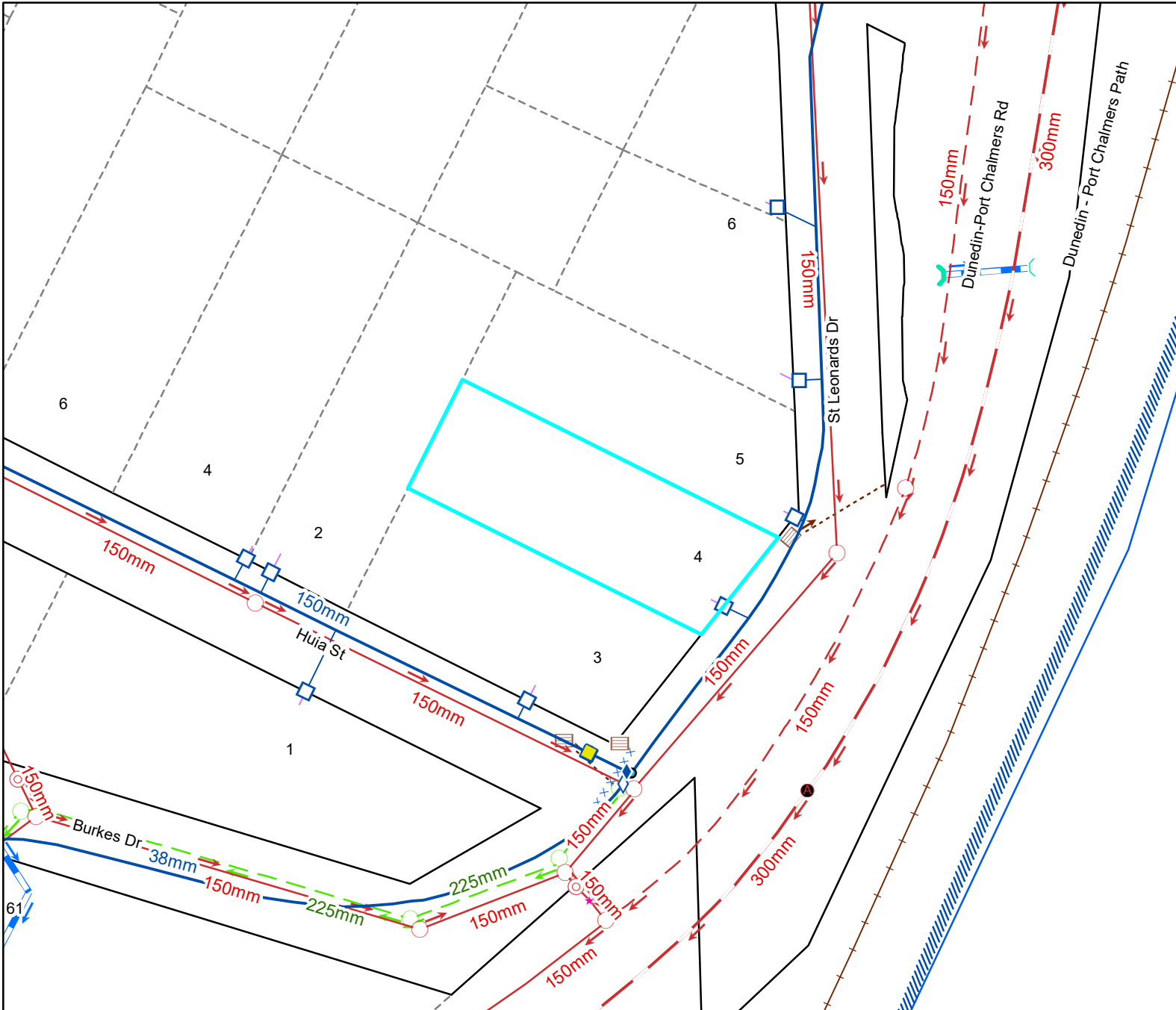
Photographic Map

Scale at A4:
1:750
3/12/2025
8:02:19 PM



PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthophotographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys
Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013.
Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007,
copyright NZAM. Rural photography March
2006, copyright Terralink International Ltd.



Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Rider
	Water Valve - Sluice		Scour
	Water Hydrant		Water Service Lateral
	Water Backflow Preventor - RPZ		Water Fire Service Lateral
			Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel		Road/Rail
	Railway Centreline		Hydro		Motorway Parcels
			Strata		Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
1:750
3/12/2025
8:02:25 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright T erralink International Ltd.

J/290
K.M.

28/3/72.

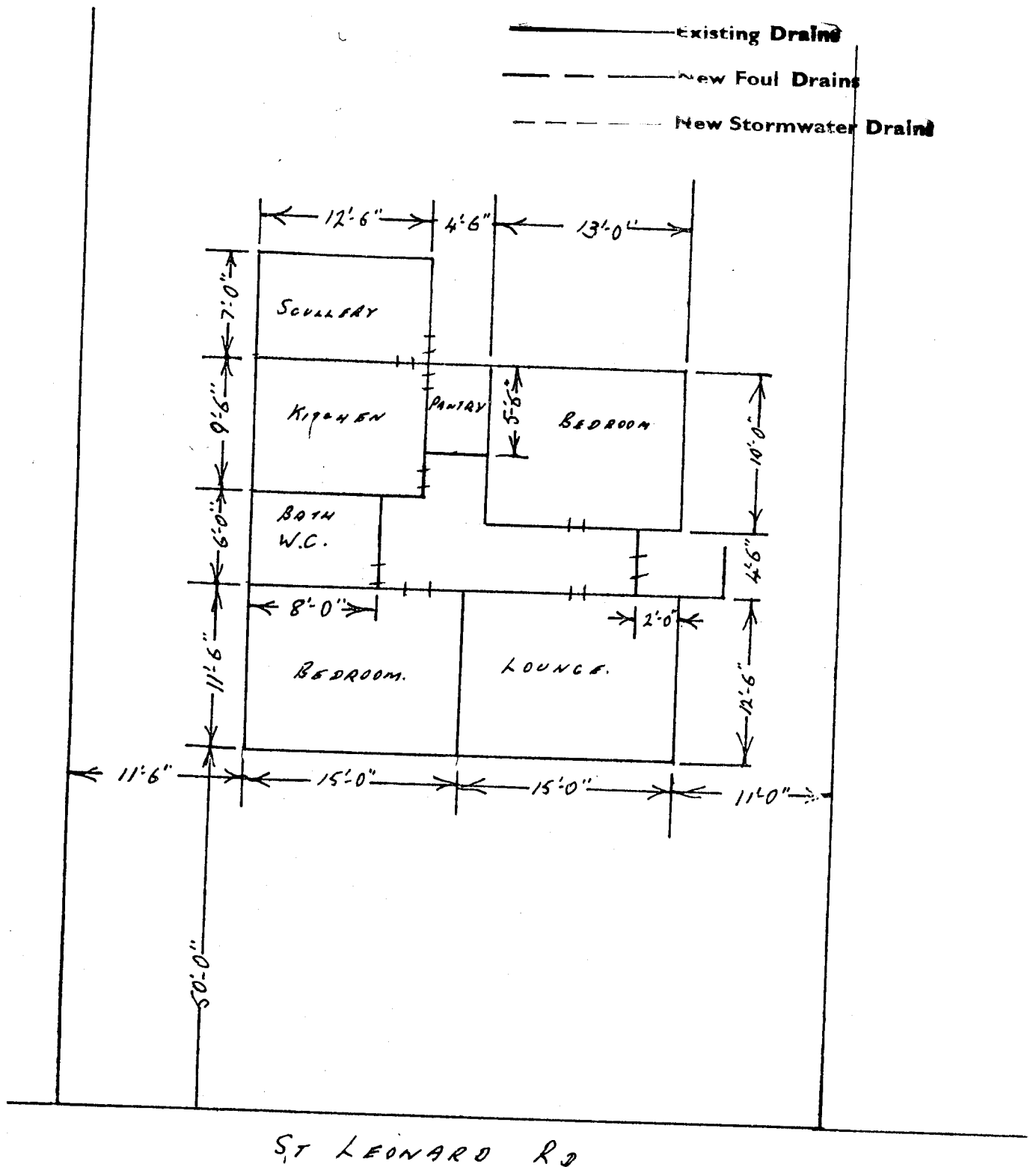
HOUSE AND SITE PLAN

R.C. MONTGOMERY

NO 4 ST LEONARDS
ST LEONARDS.

LEGEND

- Existing Drain
- - - New Foul Drains
- - - New Stormwater Drain



DUNEDIN DRAINAGE AND SEWERAGE BOARD
House Connection Plan

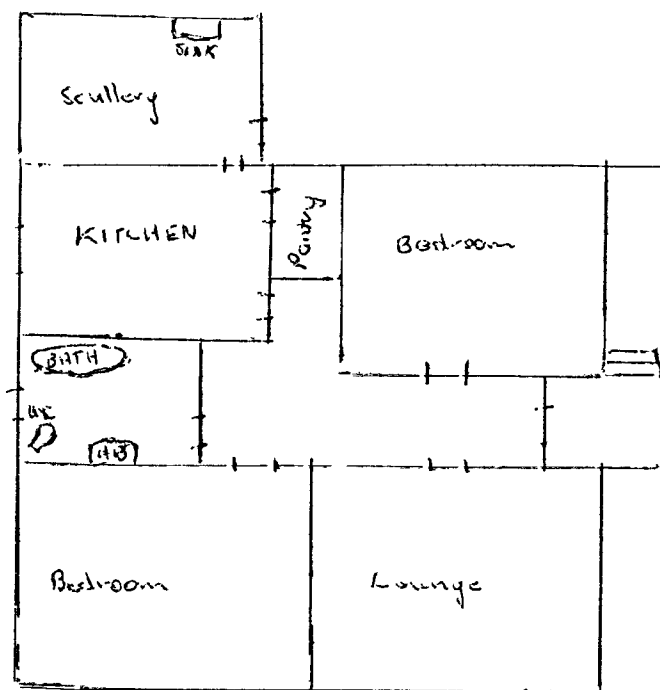
APPLICATION No. J/1076

DATE 2-10-72

H.M.

SCALE (TO BE SHOWN) _____

NEW SEWERAGE DRAINS: RED : OLD DRAINS: FULL BLACK : STORMWATER: DOTTED BLACK



LEGEND

Existing Drains

New Foul Drains

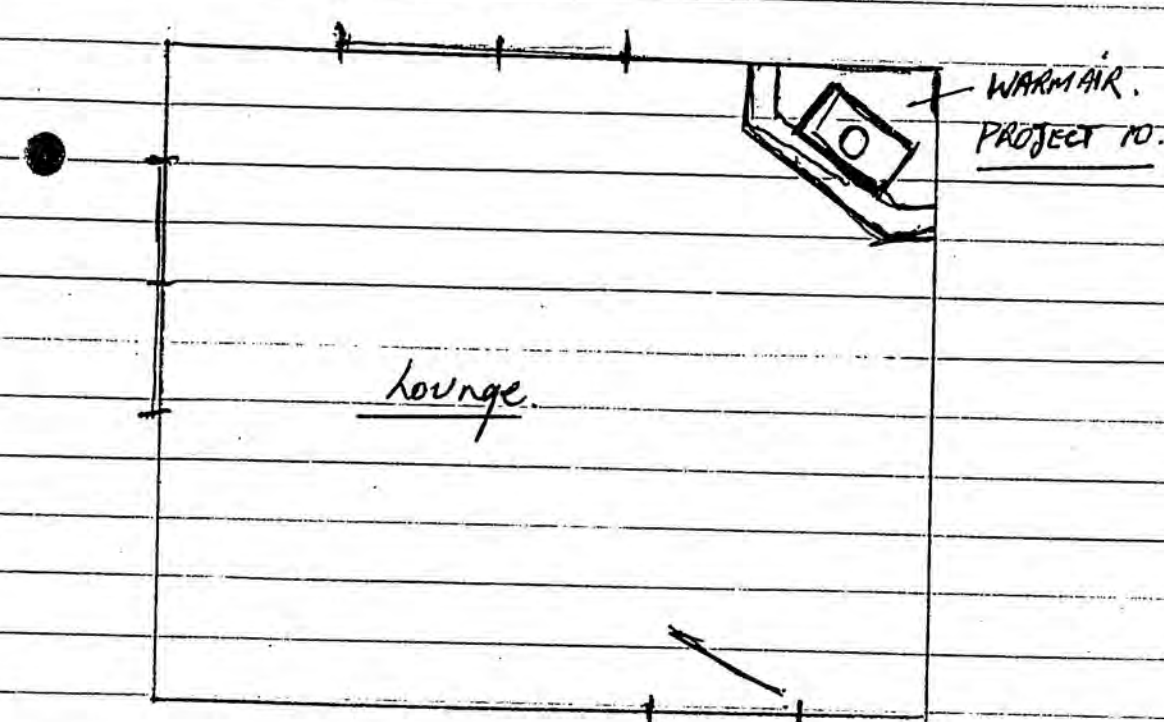
New Stormwater Drains

Binding Margin to be left Blank

Signature of Drainer _____

Owner Ronald Charles Montgomery Street & Locality 7 St Leonards Road, St Leonards, Dn.

Block 1 Hastings Section 2 Allotment _____



4 ST LEONARDS RD.

DUNEDIN CITY CORPORATION
COPY OF APPROVED PLAN
OR SPECIFICATION
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.
DATE 26.8.83
R. A. Jennings CITY ENGINEER

CITY PLANNING DEPARTMENT
Pursuant to the provisions of the District Scheme, these
plans and specifications are approved, provided that
no change shall be made to the details shown hereon,
and contained in the specification attached hereto,
and subject to

23/8/83
Signed R. A. Jennings
for City Planning Officer

5574

DUNEDIN DRAINAGE &

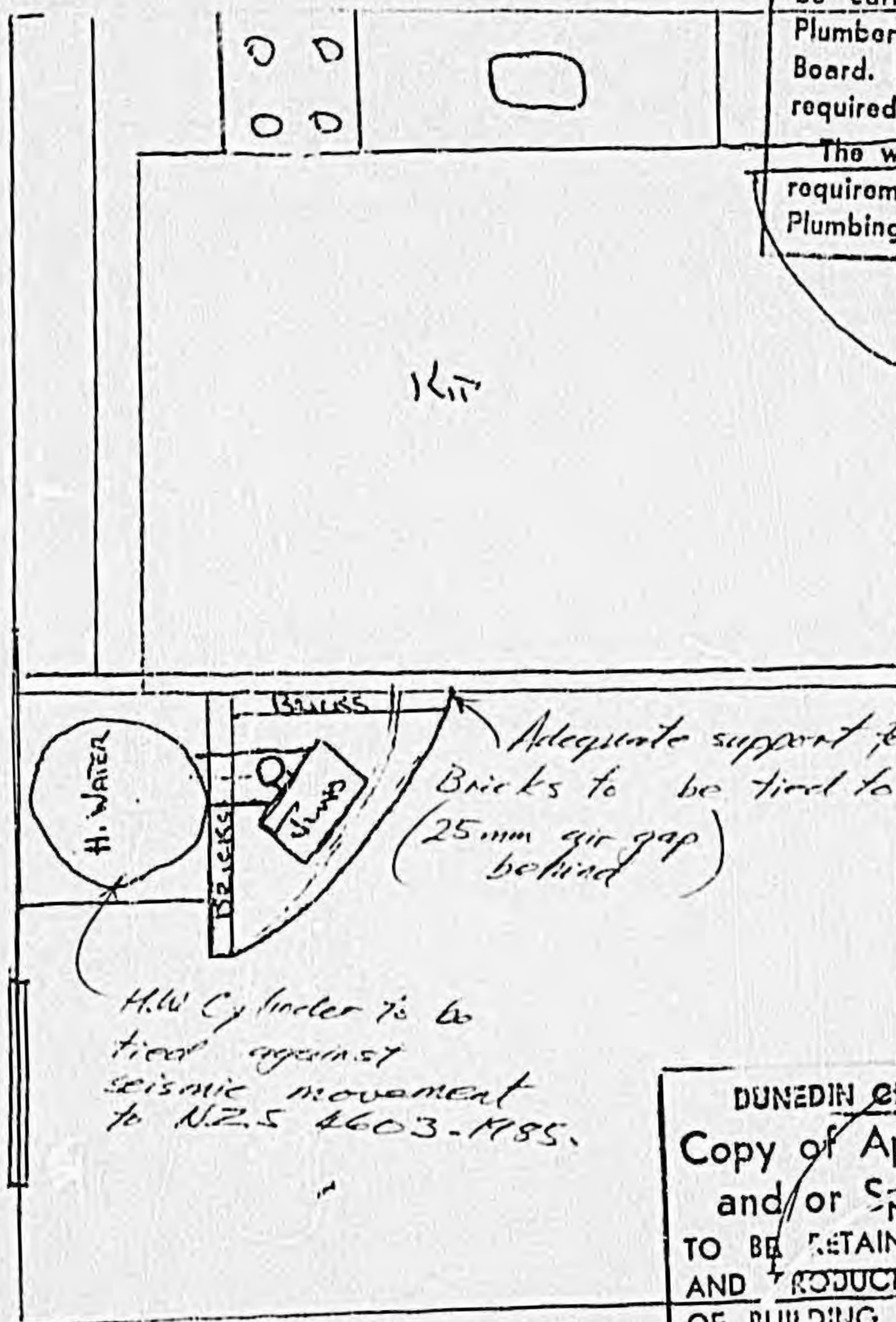
SEWERAGE BOARD

Installation of Wetback Heaters

All work involved in installing the wetback and water pipework must be carried out by a Craftsman Plumber under permit from the Board. A separate application is required for this permit.

The work must comply with the requirements of the Drainage and Plumbing Regulations 1978.

[Signature]
26-1-89



DUNEDIN CITY COUNCIL
Copy of Approved Plan
and/or Specification
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.

DATE 27-1-89

[Signature] FOR CITY ENGINEER

S.M.K. Hippolite.
4 ST LEONARDS DRIVE.
ST LEONARDS
DUNEDIN.

5741

CODE COMPLIANCE CERTIFICATE No.: 94/4776

Section 43(3), Building Act 1991

ISSUED BY

DUNEDIN CITY COUNCIL

BUILDING CONSENT No.: 94/4776

(Insert a cross in each applicable box. Attach relevant documents.)

PROJECT		PROJECT LOCATION	
All	<input type="checkbox"/>	Street Number:	
Stage No. of an intended stages		MS J HIPPOLITE 4 ST LEONARDS DVE DUNEDIN	
New or relocated building	<input type="checkbox"/>		
Alteration	<input type="checkbox"/>		
Intended use(s) (in detail): HOUSING ALTERATION ADD TO DWG P/D		LEGAL DESCRIPTION	
Intended Life:		Property Number: 5010174	
Indefinite, but not less than 50 years	<input checked="" type="checkbox"/>	Valuation Roll Number: 2670016000	
Specified as years		Lot: 2 DP: 3737	
Demolition	<input type="checkbox"/>	Section: Block: 1	
		Survey District:	

This is:

- ☒ A final code compliance certificate issued in respect of all of the building work under the above building consent
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No." (being this certificate).

The Council charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are: \$ 0.00

Receipt No.:

Signed for and on behalf of the Council:

Name: 

Position:

Date: 07.10.2019

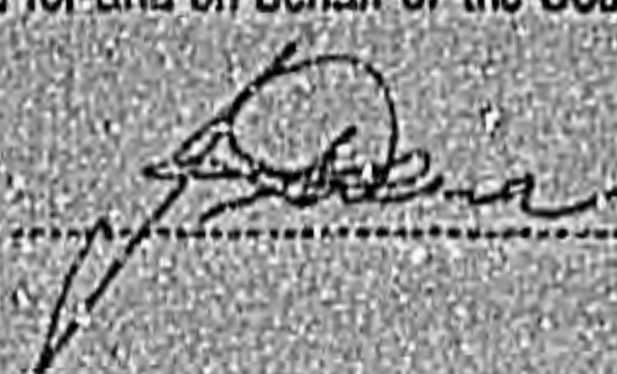
BUILDING CONSENT No.: 94/4776

Project Information Memorandum No.:

Section 35, Building Act 1991

ISSUED BY DUNEDIN CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents)

APPLICANT	PROJECT
Name: MS W HIPPOLITE Mailing Address: C/-178 BALNACEWAN RD DUNEDIN	All <input type="checkbox"/> Stage No. X of an intended stages of: <input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/>
Street Address: 4 ST LEONARDS DVE DUNEDIN	Intended Use(s) (in detail): HOUSING ALTERATION ADD TO DWG P/D Intended Life:
Property Number: 5010174 Valuation Roll Number: 2670016000 Lot: 2 DP: 3737 Section: Block: 1 Survey District:	Indefinite, but not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/> Estimated Value: \$ 4,200.00
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$ 0.00 ALL FEES ARE G.S.T. INCLUSIVE	Signed for and on behalf of the Council: Name:  Position: Date: 06.10.1995

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages, headed "Conditions of Building Consent No. /".

DUNEDIN CITY COUNCIL

**Copy of Approved Plan
and/or Specification**

TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.

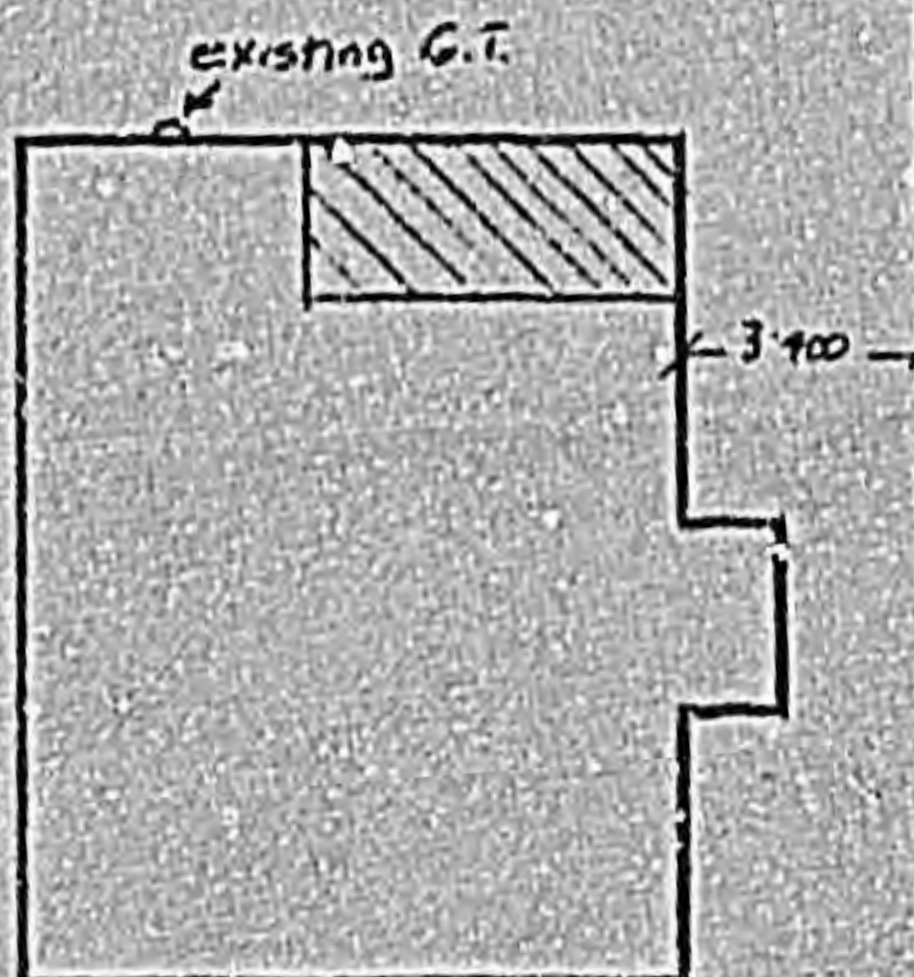
DATE 22-12-94

[Signature] BUILDING INSPECTOR

DUNEDIN CITY COUNCIL

Plans and Specifications
Approved in accordance with
The New Zealand Building Code
and Approved Documents.

Signed [Signature] Date 21/12/1994

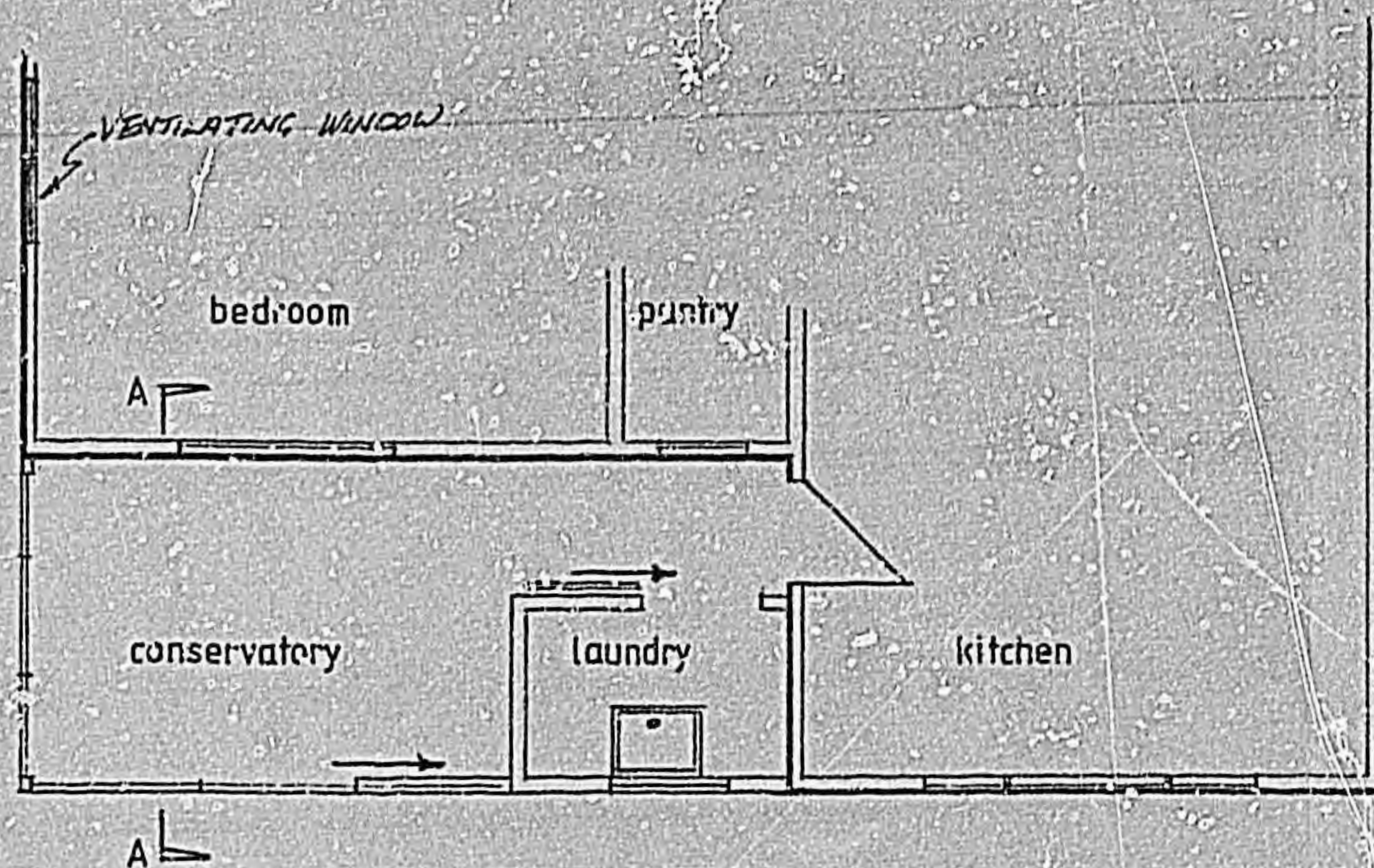


garage

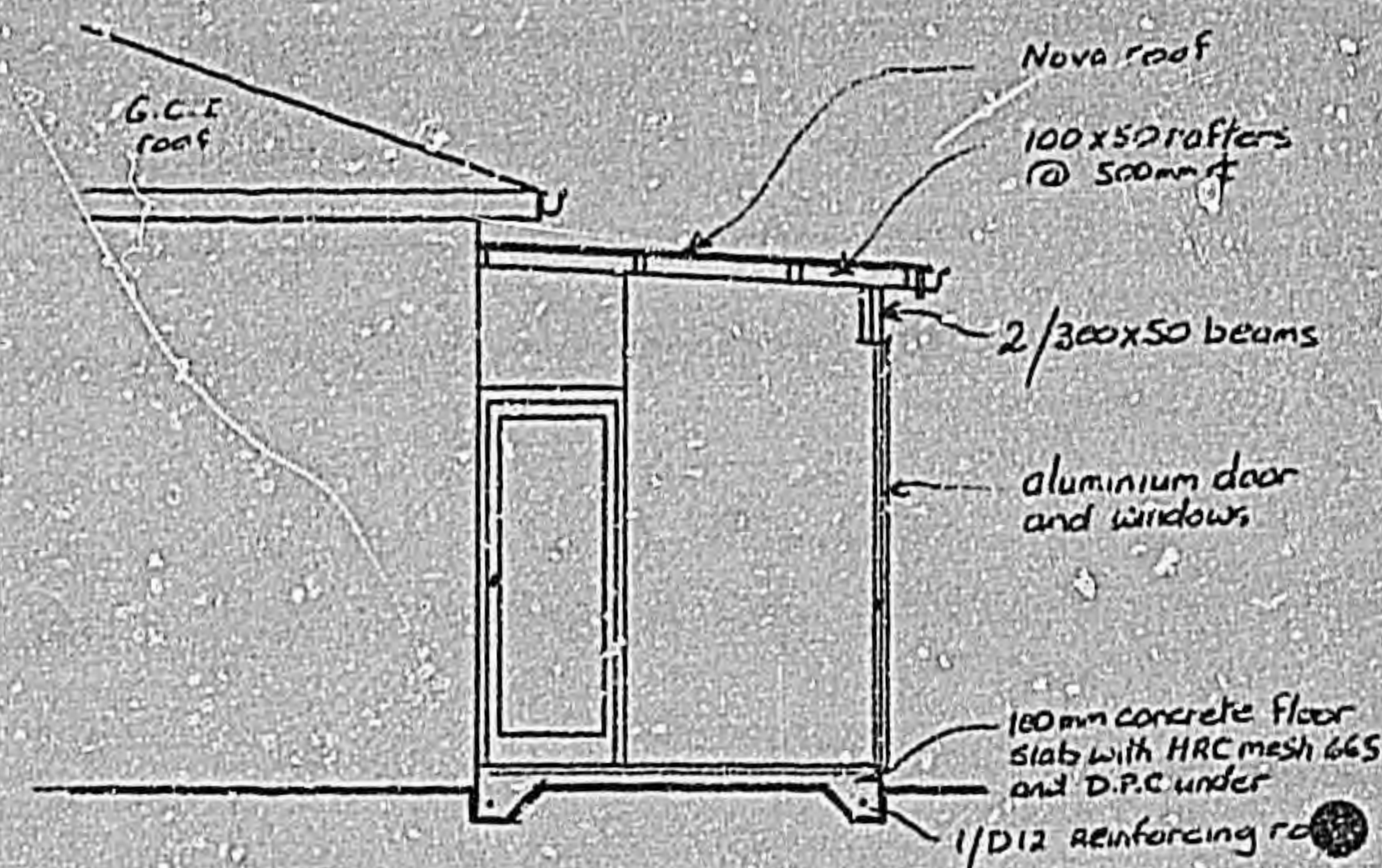
ST LEONARDS DRIVE

SITE PLAN 1:200
4 ST LEONARDS DRIVE

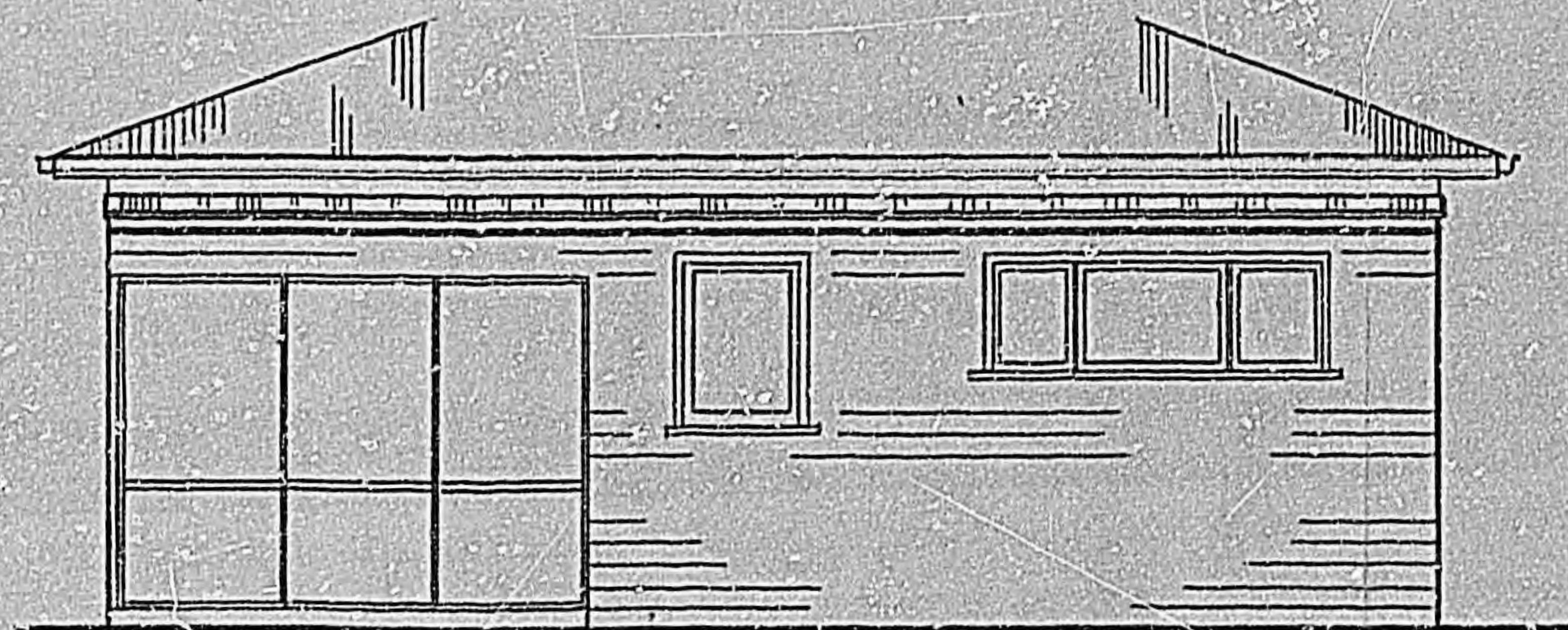
94/4776



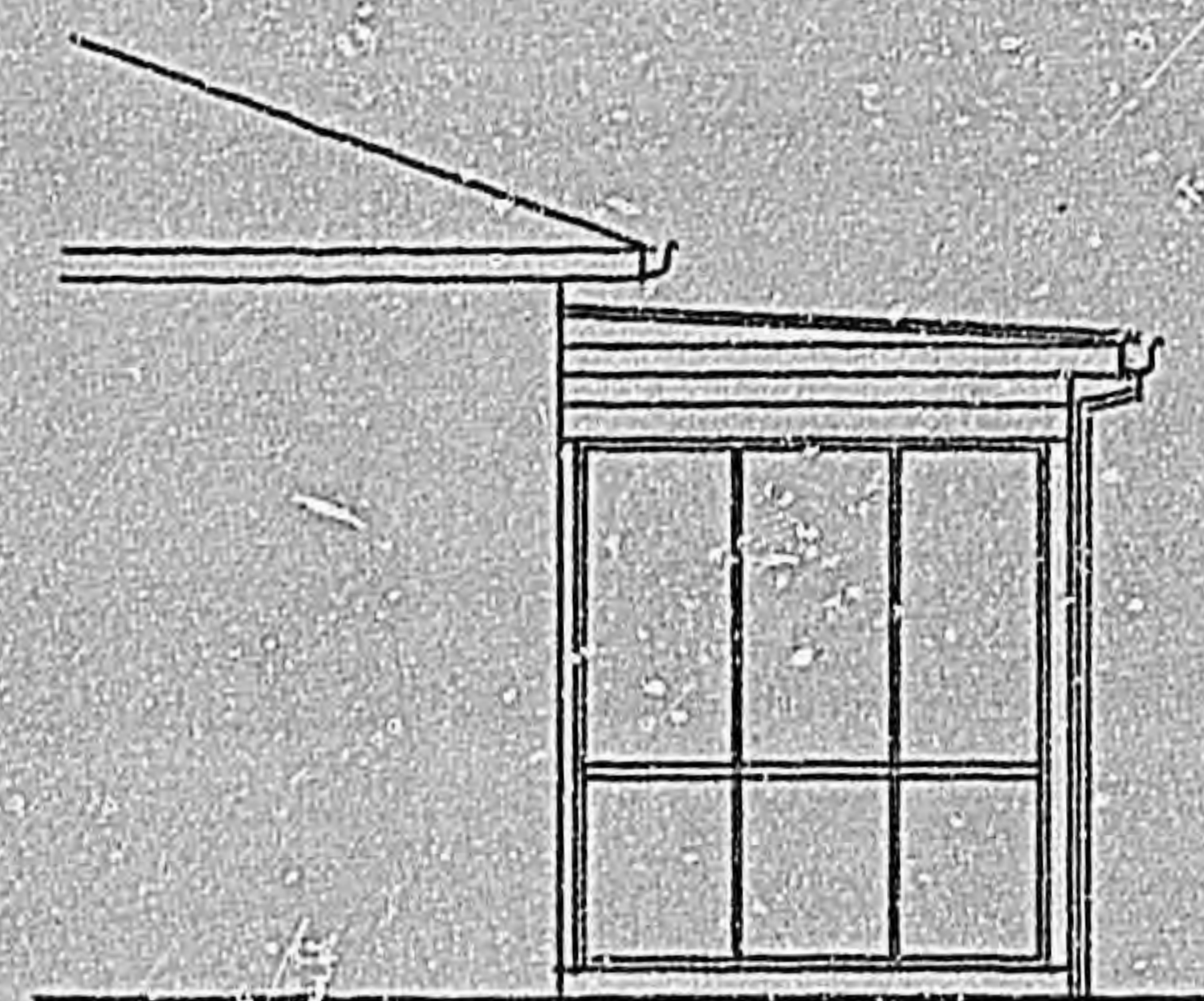
CONSERVATORY/LAUNDRY LAYOUT 1:50



SECTION A:A 1:50



REAR ELEVATION 1:50



END ELEVATION 1:50

CONSERVATORY/LAUNDRY ADDITION AT 4 ST LEONARDS DRIVE
DUNEDIN

IBA SERVICES LTD

drawn Nov 1994

JOB No
212

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:

DUNEDIN CITY COUNCIL

50 THE OCTAGON. P.O. BOX 5045, DUNEDIN 9031, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	477-4000	CCC No:	ABA 963460	Reference No:	5010174
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

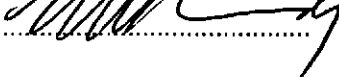
PROJECT LOCATION	PROJECT
Name and Mailing Address: STRANG, HELEN MARGARET C/O MONTECILLO HOME 79 EGLINTON RD DUNEDIN 9001	All <input checked="" type="checkbox"/> Stage Noof an intendedstages New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: PLB ALTS Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/>
LEGAL DESCRIPTION	
Property Number: 5010174 Valuation Roll No: 26700 16000 Street Address: 4 ST LEONARDS DRIVE, ST LEONARDS, DUNEDIN 9001 Legal Description: LOT 2 DP 3737	

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name:.....

Position: AUTHORISED OFFICER

Date: 25/11/1998

BUILDING CONSENT



Section 35, Building Act 1991

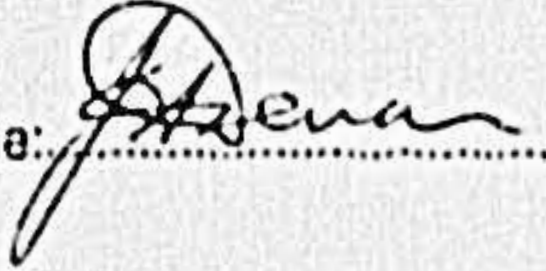
ISSUED BY:

DUNEDIN CITY COUNCIL

50 THE OCTAGON, BOX 5045, DUNEDIN, NEW ZEALAND TELEPHONE (03) 477-4000 FACSIMILE (03) 474-3594

Telephone No:	474-3525	Consent No:	ABA 963460	Reference No:	5010174
---------------	----------	-------------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: STRANG, HELEN MARGARET	All <input checked="" type="checkbox"/>
Mailing Address: C/O MONTECILLO HOME, 79 EGLINTON RD, DUNEDIN	Stage No of an intendedstages
PROJECT LOCATION	New Building <input type="checkbox"/>
Street Address: 4 ST LEONARDS DRIVE, ST LEONARDS, DUNEDIN	Alteration <input checked="" type="checkbox"/>
LEGAL DESCRIPTION	Intended Use(s) in detail: PLB ALTS
Property Number: 5010174	Intended Life:
Valuation Roll No: 26700 16000	Indefinite, not less than 50 years <input type="checkbox"/>
Legal Description: LOT 2 DP 3737	Specified as years
	Demolition <input type="checkbox"/>
	Estimated Value: \$4000
COUNCIL CHARGES	Signed for and on behalf of the Council:
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:	Name: 
Total: \$	Position: AUTHORISED OFFICER
ALL FEES ARE GST INCLUSIVE	Date: 02/09/1996

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

Telephone No:	477-4000	CCC No:	ABA 32261	Reference No:	5010174
---------------	----------	---------	-----------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
Name and Mailing Address: MOLS, JOHANNA YVONNE 4 ST LEONARDS DRIVE ST LEONARDS DUNEDIN 9001	All <input checked="" type="checkbox"/> Stage Noof an intendedstages New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: HEATER-KENT SPECTRA Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/>
LEGAL DESCRIPTION	
Property Number: 5010174 Valuation Roll No: 26700 16000 Street Address: 4 ST LEONARDS DRIVE, ST LEONARDS, DUNEDIN 9001 Legal Description: LOT 2 DP 3737	

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name:

Position: AUTHORISED OFFICER

Date: 14/08/2003



BUILDING CONSENT

Section 35, Building Act 1991

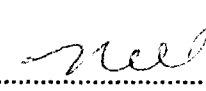
ISSUED BY:



DUNEDIN CITY COUNCIL


Telephone No:	477-4000	Consent No:	ABA 32261	Reference No:	5010174
---------------	----------	-------------	-----------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: MOLS, JOHANNA YVONNE 4 ST LEONARDS DRIVE ST LEONARDS DUNEDIN 9001	All <input checked="" type="checkbox"/> Stage No of an intendedstages New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: HEATER-KENT SPECTRA Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/> Estimated Value: \$1760
PROJECT LOCATION	
Street Address: 4 ST LEONARDS DRIVE, ST LEONARDS, DUNEDIN 900	
LEGAL DESCRIPTION	
Property Number: 5010174 Valuation Roll No: 26700 16000 Legal Description: LOT 2 DP 3737	
COUNCIL CHARGES	Signed for and on behalf of the Council:
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$ ALL FEES ARE GST INCLUSIVE	Name:  Position: AUTHORISED OFFICER Date: 31/07/2003

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

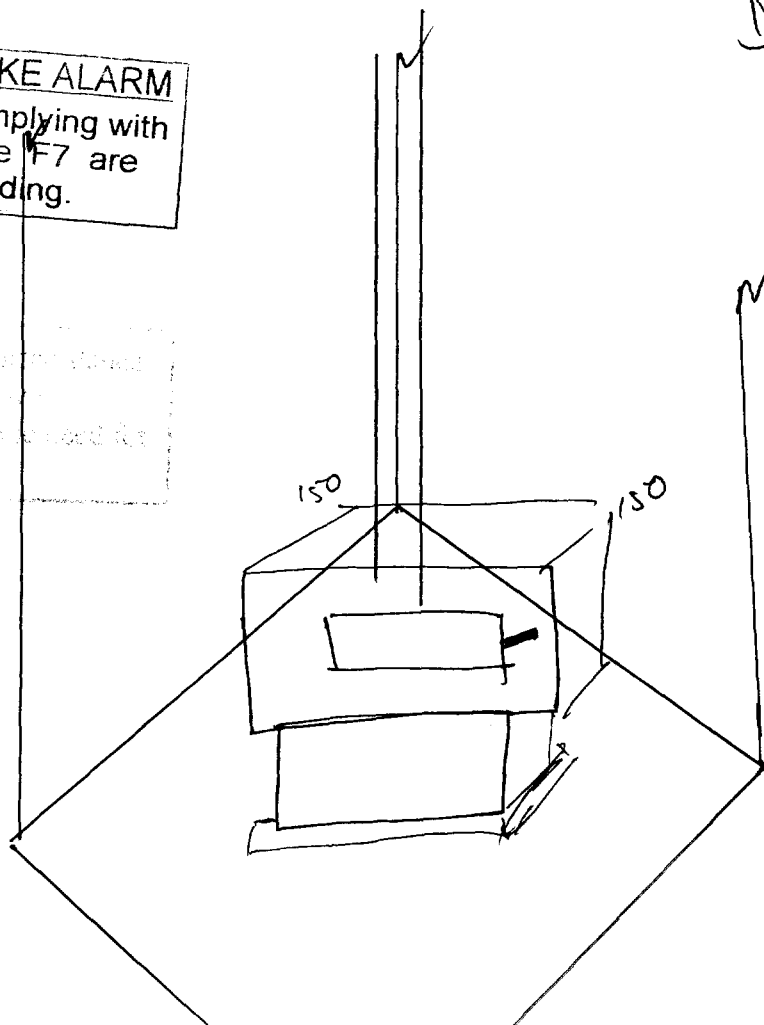
This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."

K/D	Laundry	N B/K
<p>DUNEDIN CITY COUNCIL Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request</p>		<p>Firebox F/S Lounge</p> 
Building Drainage Health	<i>mmk</i> B Date 30/7/03 Date Date Date	
NOTE		

VERANDAH

04 ST LEONARDS
DRIVE

DOMESTIC SMOKE ALARM
Smoke alarms complying with
the NZBC clause F7 are
required in this building.



ABA 32261

**DUNEDIN CITY***Kaunihera-a-rohe o Otepoti*

50 The Octagon, PO Box 5045, Dunedin 9031, New Zealand

Telephone: 03 477 4000, Fax: 03 474 3594,

Email: dcc@dcc.govt.nz

www.CityofDunedin.com

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

CCC NO:	ABA-2007-315755	Telephone No:	03 477 4000
APPLICANT		PROJECT	
H W Alchin 4 St Leonards Drive St Leonards Dunedin 9002		Work Type: Additions & Alterations Intended Use/Description of Work: Install Parkwood YF2 Pellet Heater	
PROJECT LOCATION		Intended Life: Indefinite, not less than 50 years. This CCC also applies to the following Amended Consents:	
4 St Leonards Drive St Leonards			
LEGAL DESCRIPTION			
Legal Description: LOT 2 DP 3737 Valuation Roll No: 26700-16000 Building Name: N/A			

The building consent authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

☐ Compliance Schedule attached**Signed for and on behalf of the Council:**

Name: _____

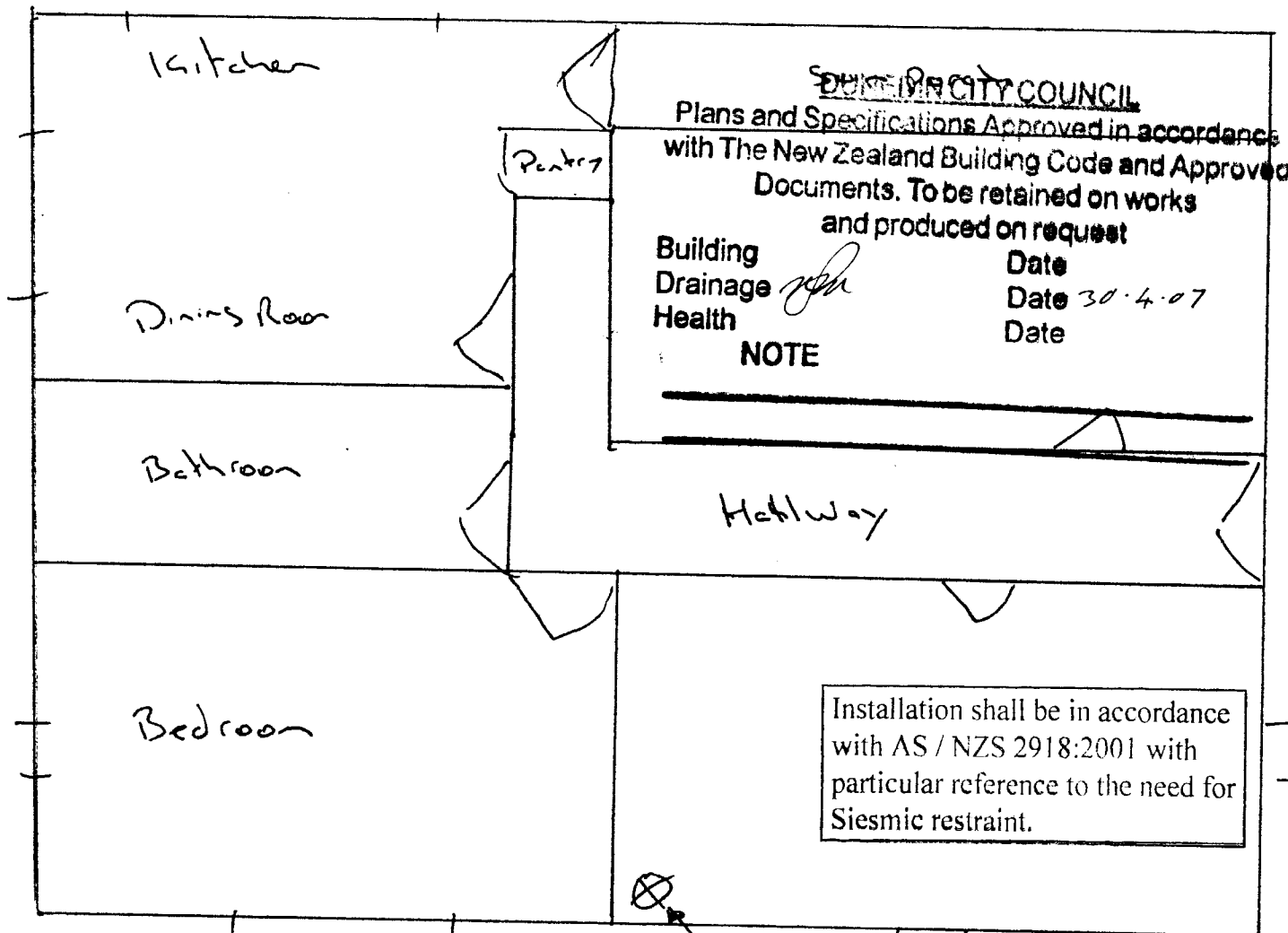
Position: AUTHORISED OFFICER

Date: 10 May 2007

DOMESTIC SMOKE ALARM

Smoke alarms complying with the NZBC clause F7 are required in this building.

4 St Leonards Drive



St Leonards Drive

PH

ABA 7 / 315-755



DUNEDIN CITY COUNCIL

Kaunihera-a-rahe o Otepoti

50 The Octagon, PO Box 5045, Moray Place
Dunedin 9058, New Zealand
Telephone: 03 477 4000, Fax: 03 474 3488
Email: dcc@dcc.govt.nz
www.dunedin.govt.nz

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

CCC NO:	ABA-2008-942	Telephone No:	03 477 4000
APPLICANT		PROJECT	
H W Alchin 4 St Leonards Drive Saint Leonards Dunedin 9022		Work Type: Alterations/Repairs Intended Use/Description of Work: Alter Kitchen, Move Laundry, Add French Doors, Replace Pellet Fire.	
PROJECT LOCATION		Intended Life: Indefinite, not less than 50 years. This CCC also applies to the following Amended Consents: N/A	
4 St Leonards Drive St Leonards			
LEGAL DESCRIPTION			
Legal Description: LOT 2 DP 3737 Valuation Roll No: 26700-16000 Building Name: N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

☐ Compliance Schedule attached

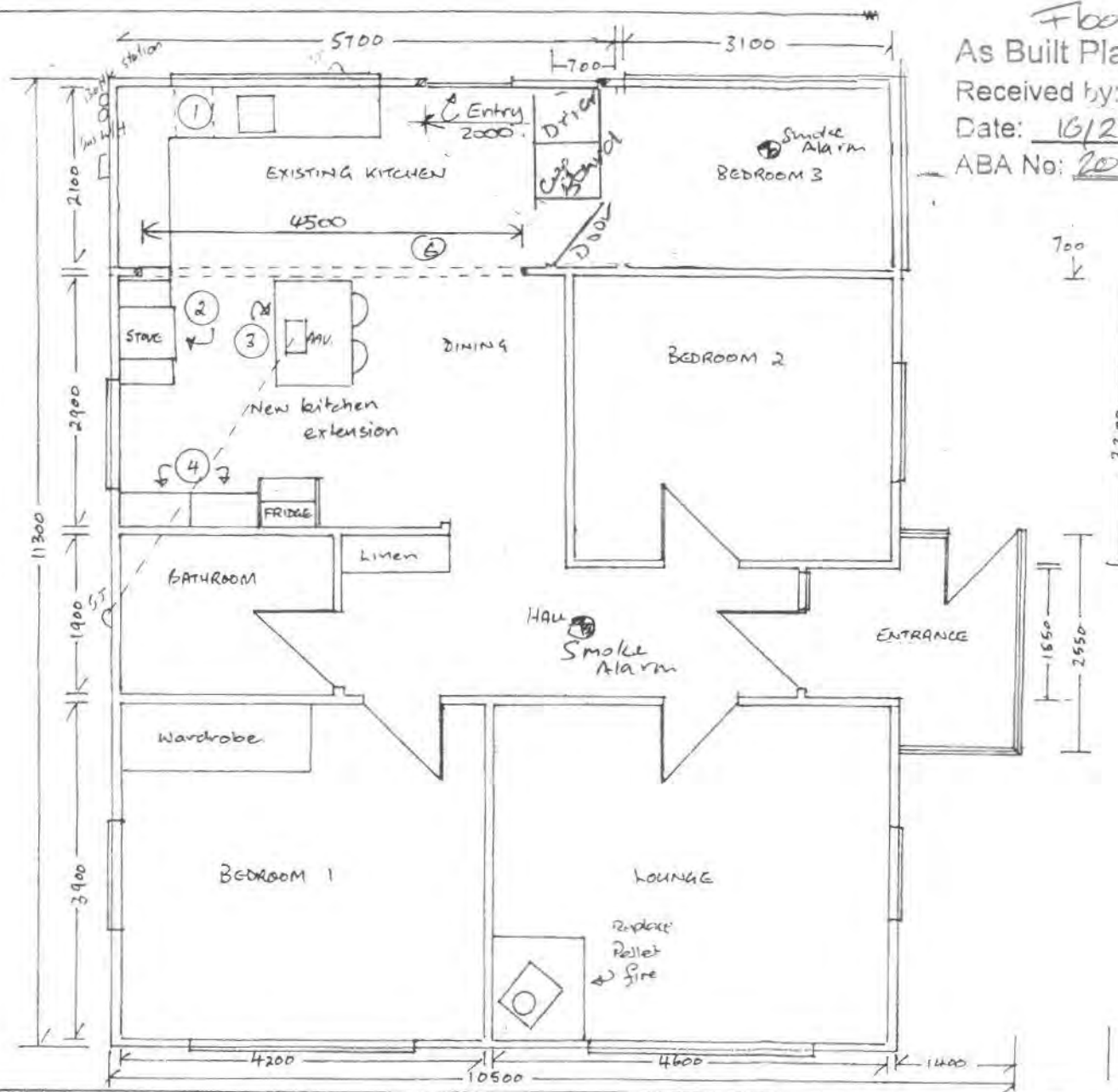
This Certificate is issued subject to the conditions specified:

The Building Consent is subject to a modification to the Building Code to the effect that, Clause B2.3.1 applies from 30 September 2008 instead of from time of issue of the Code Compliance Certificate.

Signed for and on behalf of the Council:

TEAM LEADER INSPECTIONS

Date: 21 February 2012



Floor
 As Built Plan
 Received by: R. Berland
 Date: 16/12/12
 ABA No: 2008-942

- ① Dishwasher under Bisazza bench insert
 - ② Stove relocated with Bisazza benches either side
 - ③ Work bench/island with cold water preparation sink
 - ④ New pantries with fridge
 - ⑤ Laundry cupboard, 100mm extract fan ducted to exterior. Semi gloss paint to walls & ceiling.
 - ⑥ New Beam - refer to sheet ③
 - ⑦ New French doors (inward opening) 190 x 90 VS98 H1.2 (Beam)
- All wall framing H1.2
- Vinyl floor coverings
Kitchen, dining

Concept Drawings

03 455 6751 027 222 4751

David J Mills

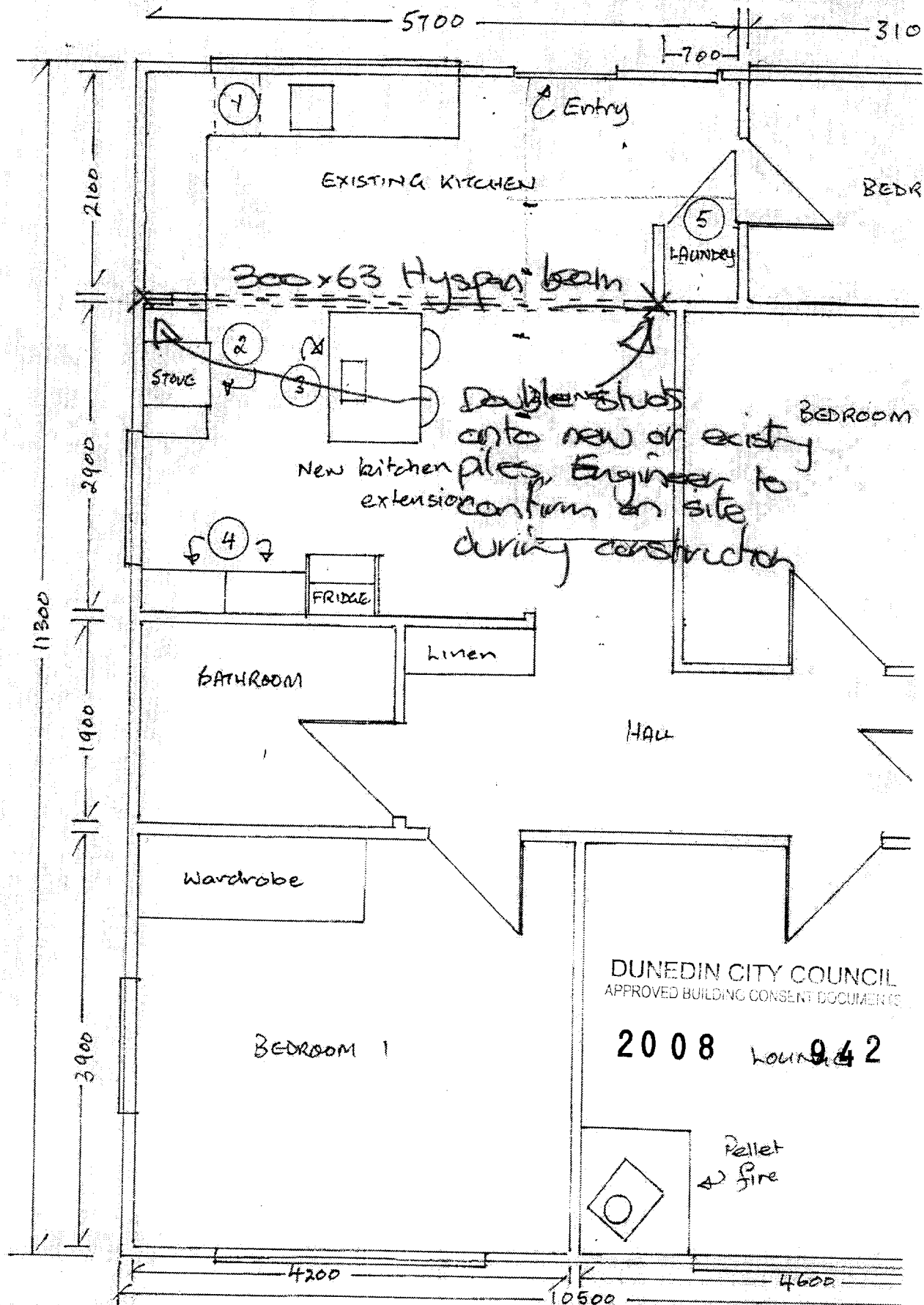
Client: Howard Alchin
4 St Leonards Drive
DUNEDIN

Scale: 1:500

Date: 9/10/2007

Notes

AS BUILT PLAN



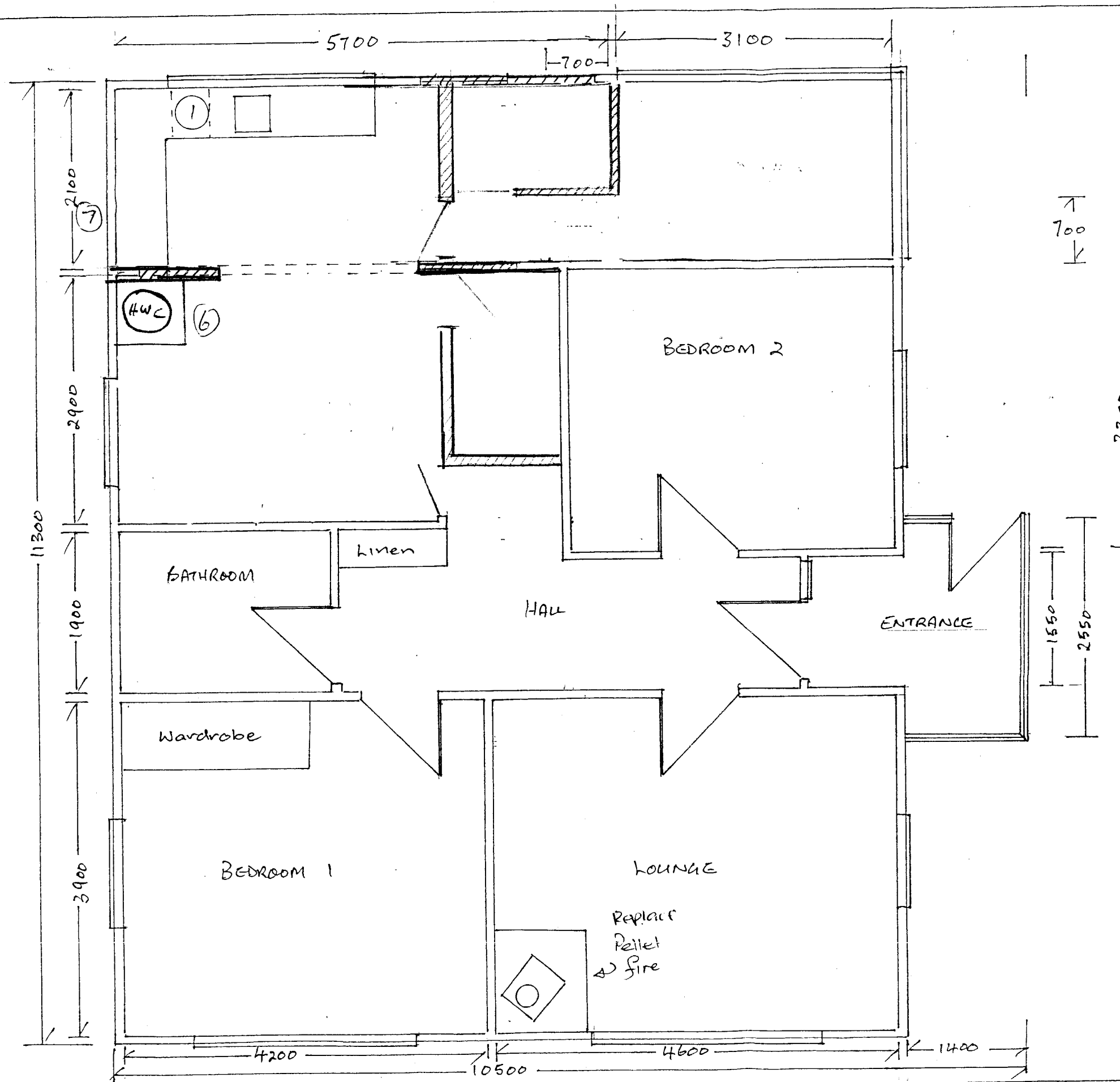
Concept Drawings

03 455 6751 027 222 4751

David J Mills

Client: Howard Alchin
4 St. Leonards Drive
DUNEDIN

3



- Walls - to be removed.
- ⑥ Hot water cylinder to be replaced w gas Infinity.26
- ⑦ Gas bottle station + calufant.

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2008 942

Concept Drawings

03 455 6751 027 222 4751

David J Mills

Client: Howard Alchin
H. St Leonards Drive
DUNEDIN

Scale: 1:500
Date: 9/10/2007

Notes: Proposed kitchen alterations

Existing plan - including demolition plan

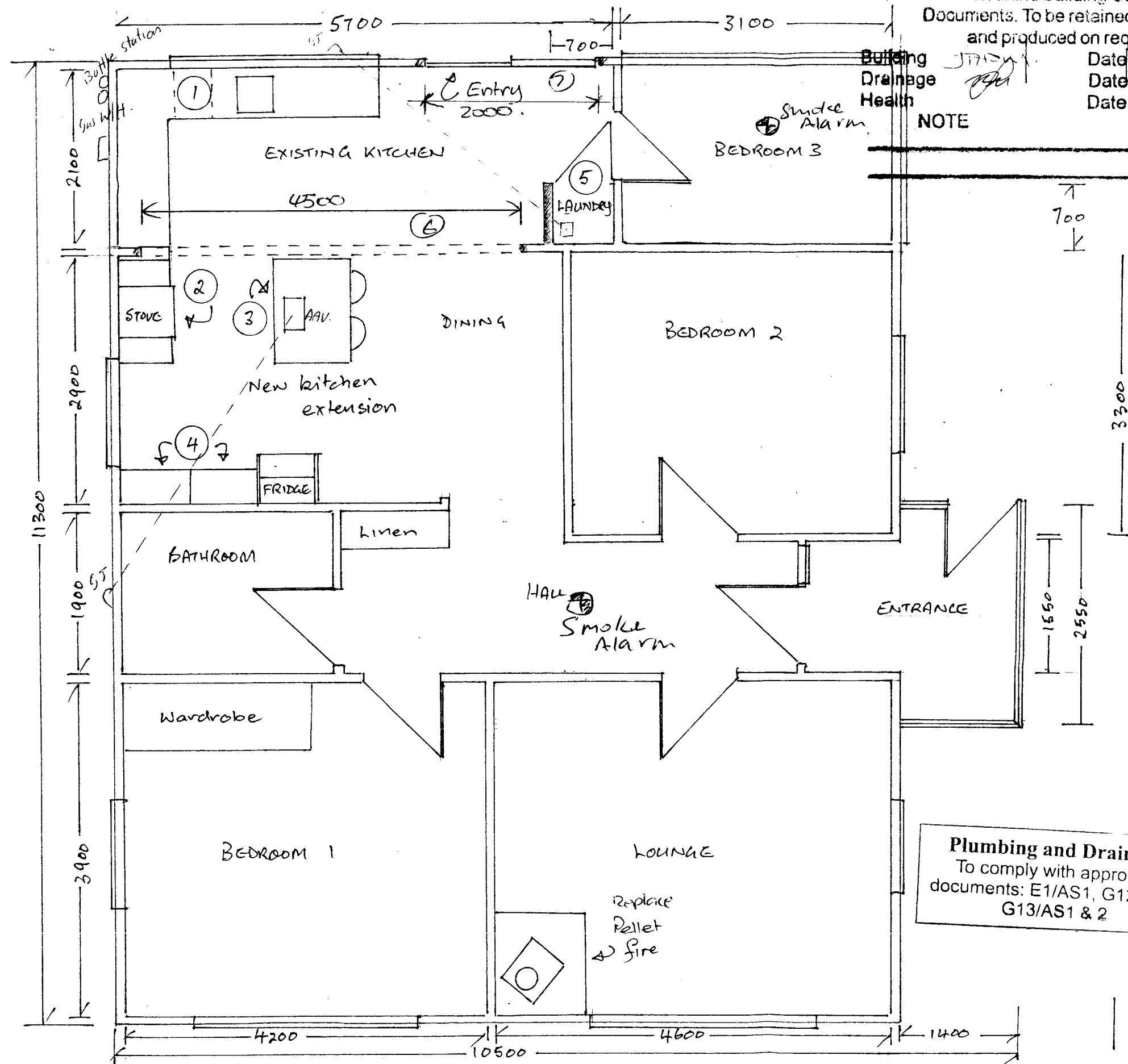
*COPYRIGHT: Reproduction or usage of all or part of this document or its Concepts without express permission of David Mills will be considered a breach of Copyright

1

Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request

Building
Drainage
Health

Date 7/5/08
Date 7/5/08
Date



NOTE

- ① Dishwasher under Bisazza bench insert
 - ② Stove relocated with Bisazza benches either side
 - ③ Work bench/island with cold water preparation sink.
 - ④ New pantries with fridge.
 - ⑤ Laundry cupboard. 100mm extract fan ducted to exterior. Semi gloss paint to walls + ceiling.
 - ⑥ New Beam - refer to sheet ③
 - ⑦ New French doors (inward opening) 190 x 90 VS98 H1.2 (Beam)
- All wall framing H1.2
- vinyl floor coverings
Kitchen, dining,
laundry

Plumbing and Drainage
To comply with approved documents: E1/AS1, G12/AS1, G13/AS1 & 2

2008 942

Concept Drawings
03 455 6751 027 222 4751

David J Mills

Client: Howard alchin
4 St Leonards Drive
DUNEDIN

Scale: 1:500
Date: 9/10/2007

Notes: Proposed kitchen alterations
PROPOSED PLAN



DUNEDIN
CITY COUNCIL

kaunihera
a-rohe o
ōtepoti

Code Compliance Certificate Form 7

Section 95, Building Act 2004

P E Heron and J M Dodds
4 St Leonards Drive
Saint Leonards
Dunedin 9022

The building

Street address of building: 4 St Leonards Drive St Leonards

Legal description of land where building is located: LOT 2 DP 3737

Building Name: n/a

Location of building within site/block number:

Level/unit Number:

Current, lawfully established, use: Housing

Number of occupants: 2

Year first constructed: 1927

The owner

Name of owner: P E Heron and J M Dodds

Contact person: P E Heron and J M Dodds

Mailing address: 4 St Leonards Drive, Saint Leonards, Dunedin 9022

Street address/registered office:

Mobile: 021 190 9007

Landline:

Email address: jennydodds21@gmail.com

First point of contact for communications with the building consent authority: As above

Building work

Building Consent Number:

ABA-2018-1120 Extend Dwelling to Convert Study to Bedroom, Alter Kitchen/Dining Layout, Install External Sliding Door and 2 x External French Doors, Change External French Doors to Sliding Door, Add Verandah and Deck with Stairs

This CCC also applies to the following amended consents:

ABA-2019-949 - Amendment to ABA-2018-1120 - Decrease Size of Proposed Deck and Sliding Door, Alter Part Balustrade to Wing Walls, Alter Foundation and Floor Framing Plan

Issued by: Dunedin City Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that-

- (a) The building work complies with the building consent

Team Leader Inspections

On behalf of Dunedin City Council

Date: 10 June 2020

50 The Octagon | PO Box 5045 | Dunedin 9054, New Zealand | T 03 477 4000 | E dcc@dcc.govt.nz | www.dunedin.govt.nz

DunedinCityCouncil @DnCityCouncil

DCC/CCA-F4-07-v4.0

BUILDING CONSENT - ABA-2018-1120

(Section 51, Building Act 2004)
Form 5

The building

Street address of building: 4 St Leonards Drive St Leonards

Legal description of land where building is located: LOT 2 DP 3737

Building Name: N/A

Location of building within site/block number:

Level/unit Number:

The owner

Name of owner: P E Heron and J M Dodds

Contact person: P E Heron and J M Dodds

Mailing address: 4 St Leonards Drive, Saint Leonards, Dunedin 9022

Street address/registered office:

Mobile: 021 190 9007

Landline:

Email address: paul.e.heron@gmail.com

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Extend Dwelling to Convert Study to Bedroom, Alter Kitchen/Dining Layout, Install External Sliding Door and 2 x External French Doors, Change External French Doors to Sliding Door, Add Verandah and Deck with Stairs

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

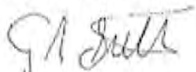
A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Project Consideration PCON-2018-261

List of required site inspections



Grant Sutton
Authorised Officer
On behalf of Dunedin City Council

Date: 2 July 2018

AS BUILT

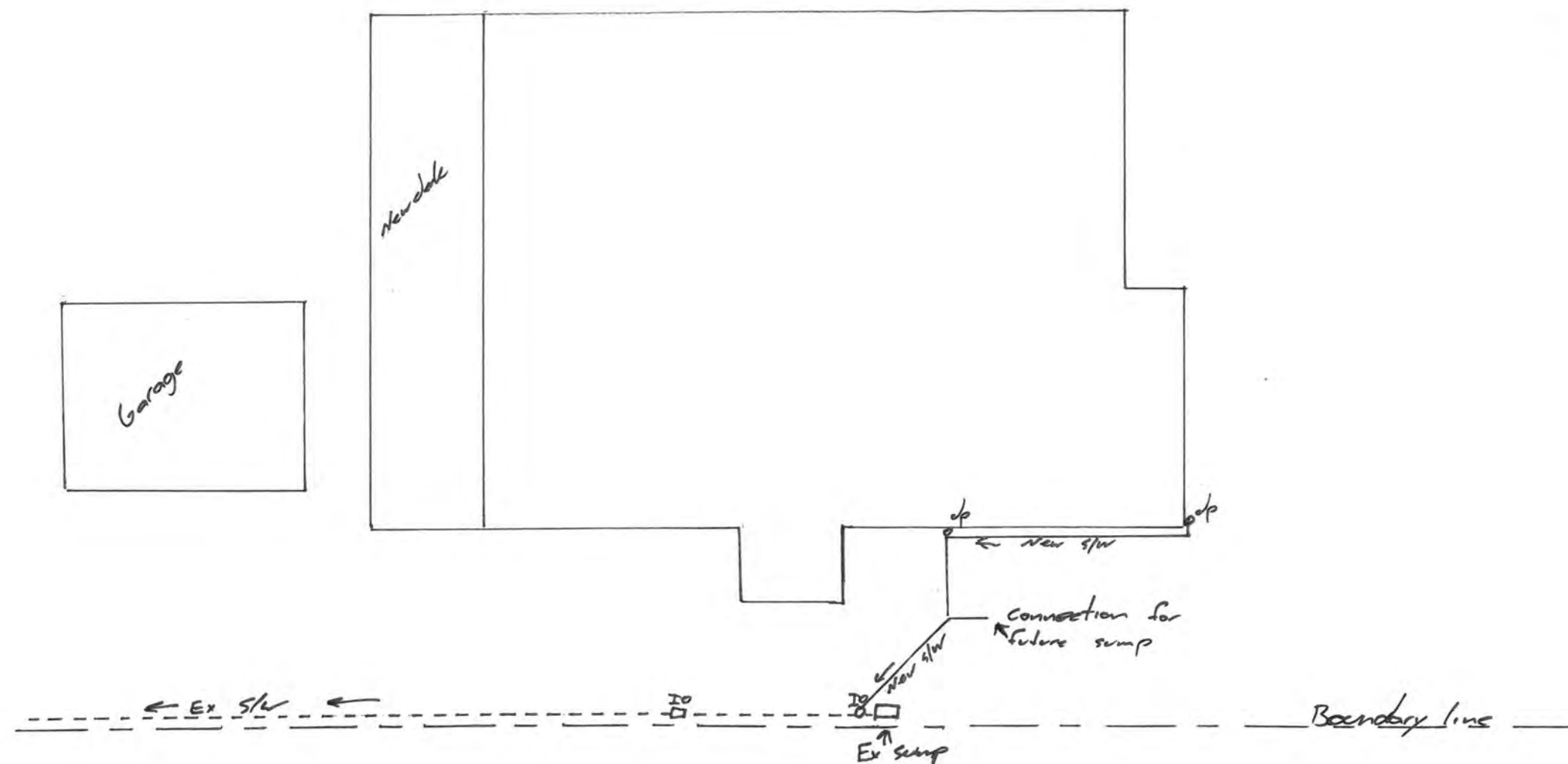
ABA-2018-1120

As Built Plan

Received by: Kris Hilltop

Date: 21/08/2019

ABA No: 2018-1120



BARRY DELL PLUMBING
SERVICES (2001) LTD

OFFICE & WORKSHOP:
104 South Road, The Glen
Telephone 455-4100 Fax 455-0871 Mobile 025-328-834

4 ST LEONARDS DR

DRAWN
TRACED

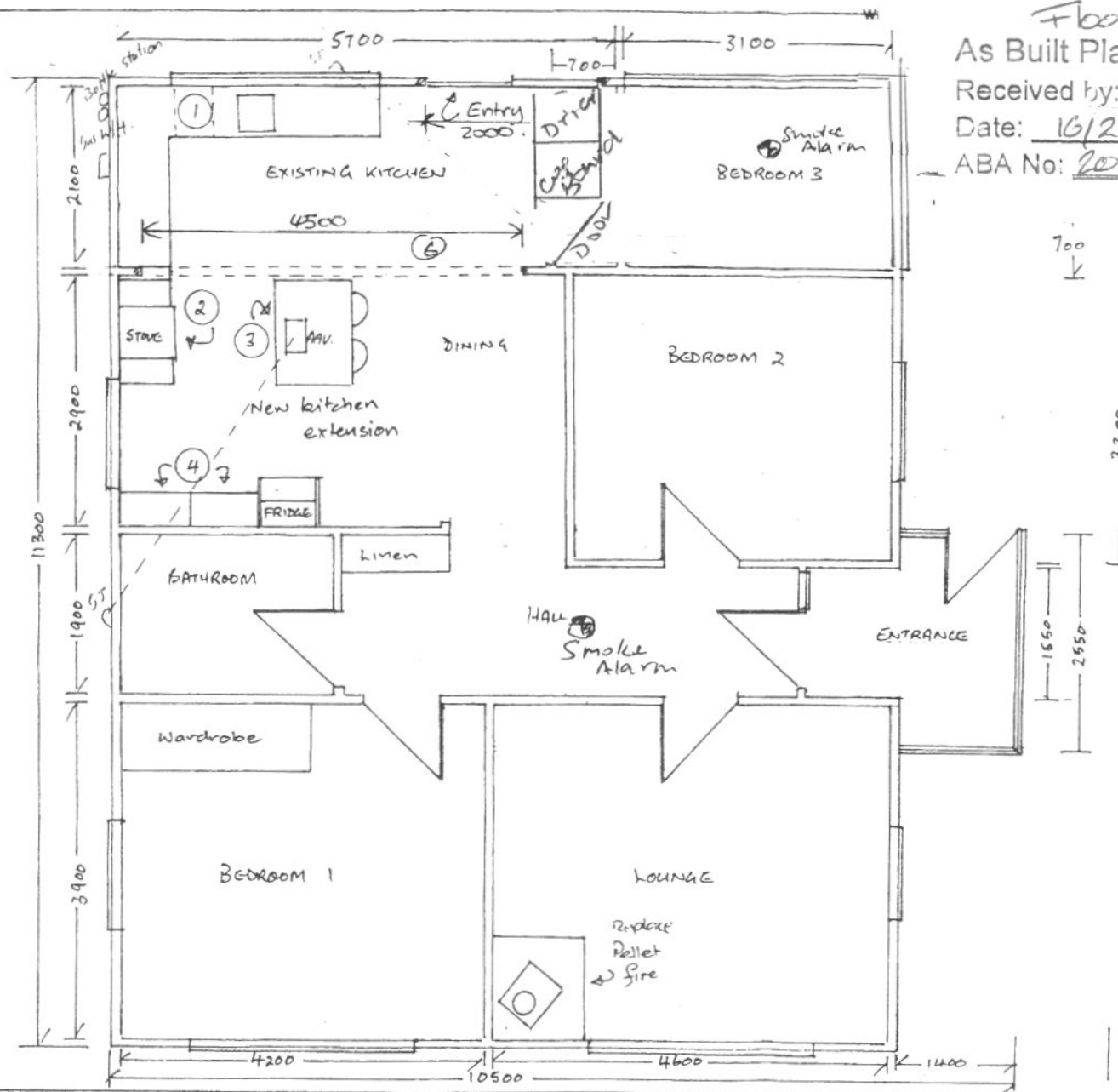
CHECKED
DATE

SCALES
1:100 @ A3

SHEET

1

SERIES OF
REF



Floor
As Built Plan.
Received by: R Berland
Date: 16/2/12
ABA No: 2008-942

① Dishwasher under Bisazza bench insert

② Stove relocated with Bisazza benches either side

③ Work bench/island with cold water preparation sink.

④ New pantries with fridge.

⑤ Laundry cupboard. 100mm extract fan ducted to exterior. Semi gloss paint to walls & ceiling.

⑥ New Beam - refer to Sheet ③

⑦ New French doors (Inward opening) 190 x 90 VS98 H1.2 (Beam)

All wall framing H1.2

Vinyl floor coverings Kitchen, dining.

Concept Drawings
03 455 6751 027 222 4751

David J Mills

Client: Howard Alchin
11 St Leonards Drive
DUNEDIN

Scale: 1:500
Date: 9/10/2007

Notes

AS BUILT PLAN

LEGEND

- existing wall
existing to be demolished
new 90x45mm H1.2 SG8 studs at 400crs dwangs at 800crs
area of excavation
new extension
existing hinged door
new hinged timber door
bracing element
bracing element number, type, and length
smoke alarm

NOTE: install domestic smoke alarms to comply with NZBC, section F7, clause 3.3.1
NOTE: all timber to be SG8 KD PG radiata unless otherwise specified

bracing systems specification

GIB GS1-N 10mm GIB standard fixed to one face 0.4m + horizontal or vertical
Bracing installation in accordance with the manufacturers specifications. Ceiling runners installed to braced walls as indicated to comply with NZS3604:2011 8.7.3.4.
New bracing values exceed the values of the existing walls removed. No change to existing along values.

removed bracing across				new bracing across			
length (m)	W (BU)	EQ (BU)		element	W (BU)	EQ (BU)	
3.3	1-side	66	59	1	41	41	
				2	90	78	
				3	28	29	
				TOTAL	159	148	

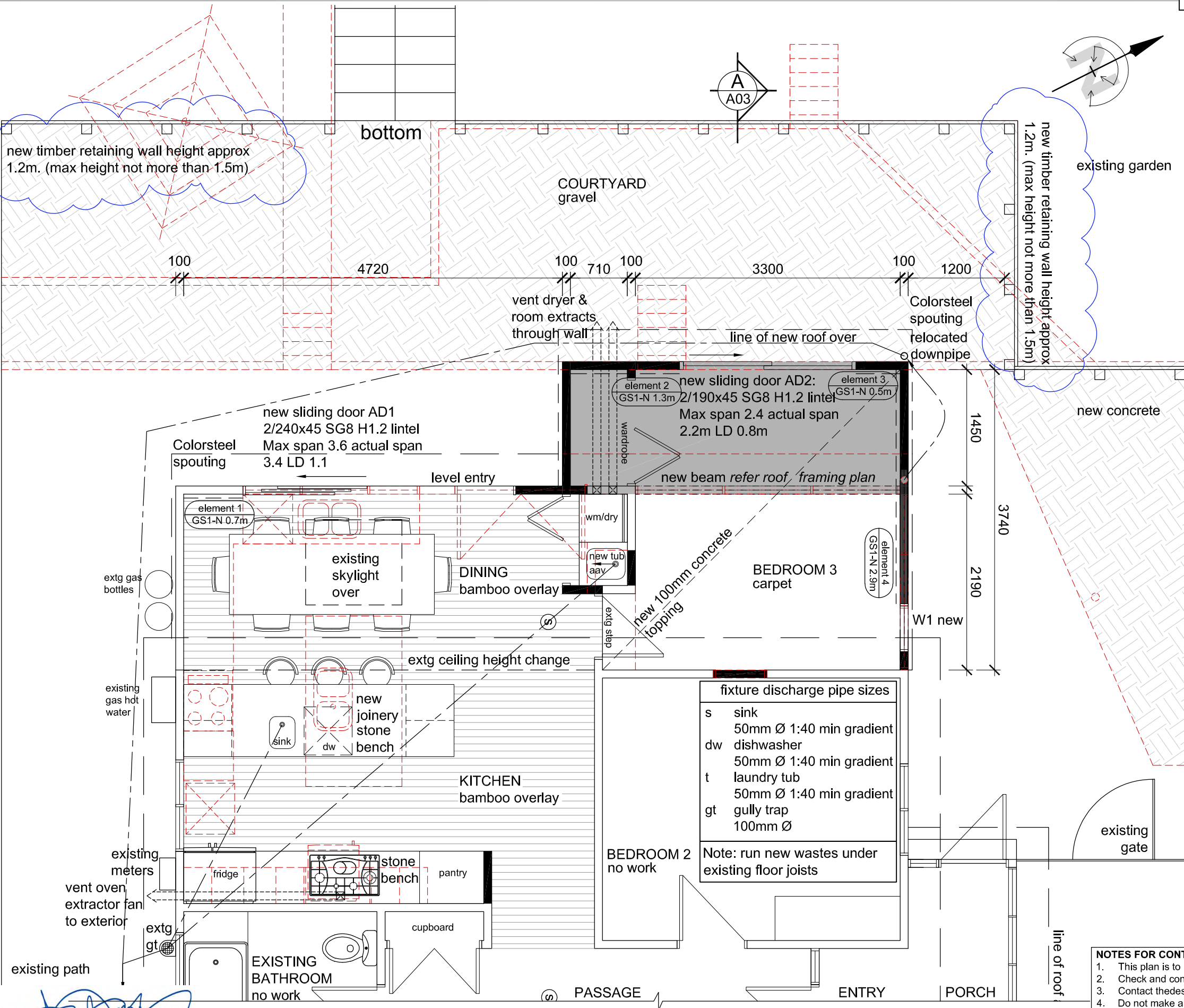
removed bracing along				new bracing along			
length (m)	W (BU)	EQ (BU)		element	W (BU)	EQ (BU)	
none				1	200	174	
				TOTAL	0	0	

REV	DATE	DESCRIPTION
A	27/06/2018	updated note about max height of retaining walls

ground floor plan - rear

showing proposed alterations scale 1:50 @A3

- NOTES FOR CONTRACTOR:
- This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
 - Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
 - Contact thedesignstudio for clarification or correction.
 - Do not make any changes without the written approval of thedesignstudio.

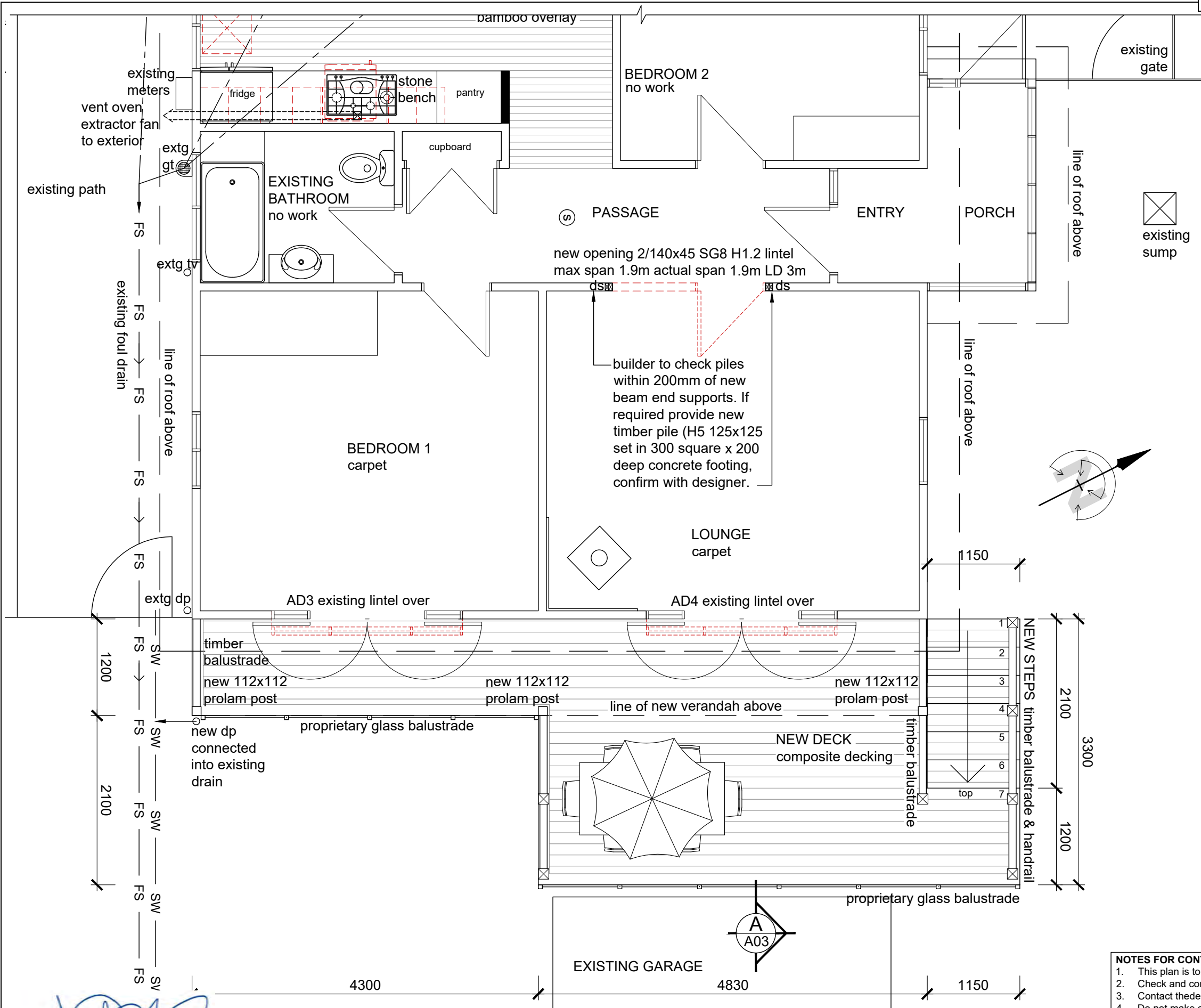


Proposed Alterations for:
Jenny Dodds & Paul Heron
4 St Leonards Drive, St Leonards, Dunedin

sheet title
proposed floor plan

Revised Building Consent Issue

date: 27/06/2018
drawn: KM
job #: 1762
sheet of 12
A02



LEGEND

- existing wall
- existing to be demolished
- new 90x45mm H1.2 SG8 studs at 400crs dwangs at 800crs
- area of excavation
- new extension
- existing hinged door
- new hinged timber door
- bracing element
- bracing element number, type, and length
- smoke alarm

NOTE: install domestic smoke alarms to comply with NZBC, section F7, clause 3.3.1

NOTE: all timber to be SG8 KD PG radiata unless otherwise specified

fixture discharge pipe sizes

s	sink
dw	dishwasher
t	laundry tub
gt	gully trap

Note: run new wastes under existing floor joists

ground floor plan - front

showing proposed alterations scale 1:50 @A3

NOTES FOR CONTRACTOR:

- This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
- Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
- Contact thedesignstudio for clarification or correction.
- Do not make any changes without the written approval of thedesignstudio.



Proposed Alterations for:

Jenny Dodds & Paul Heron

4 St Leonards Drive, St Leonards, Dunedin

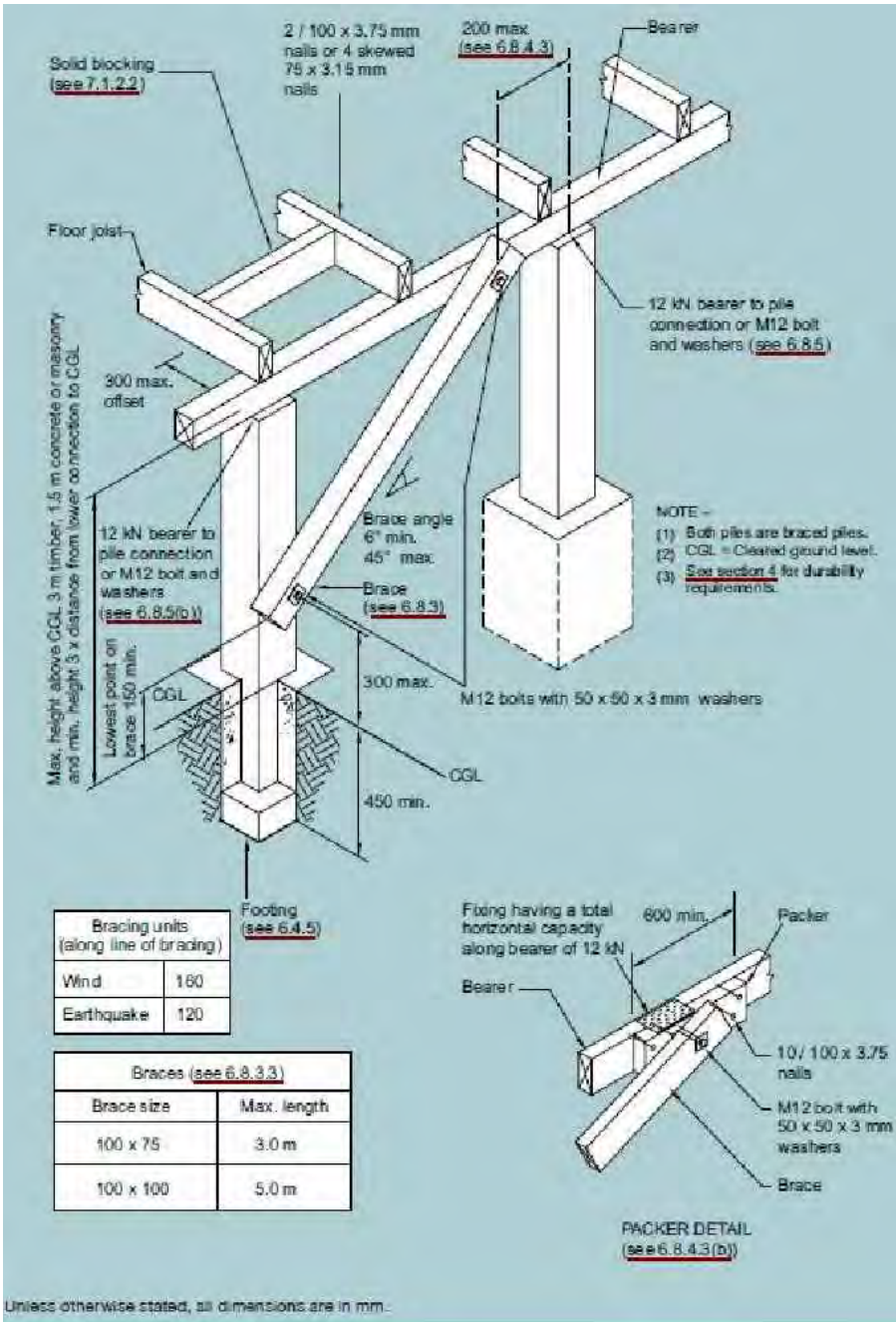
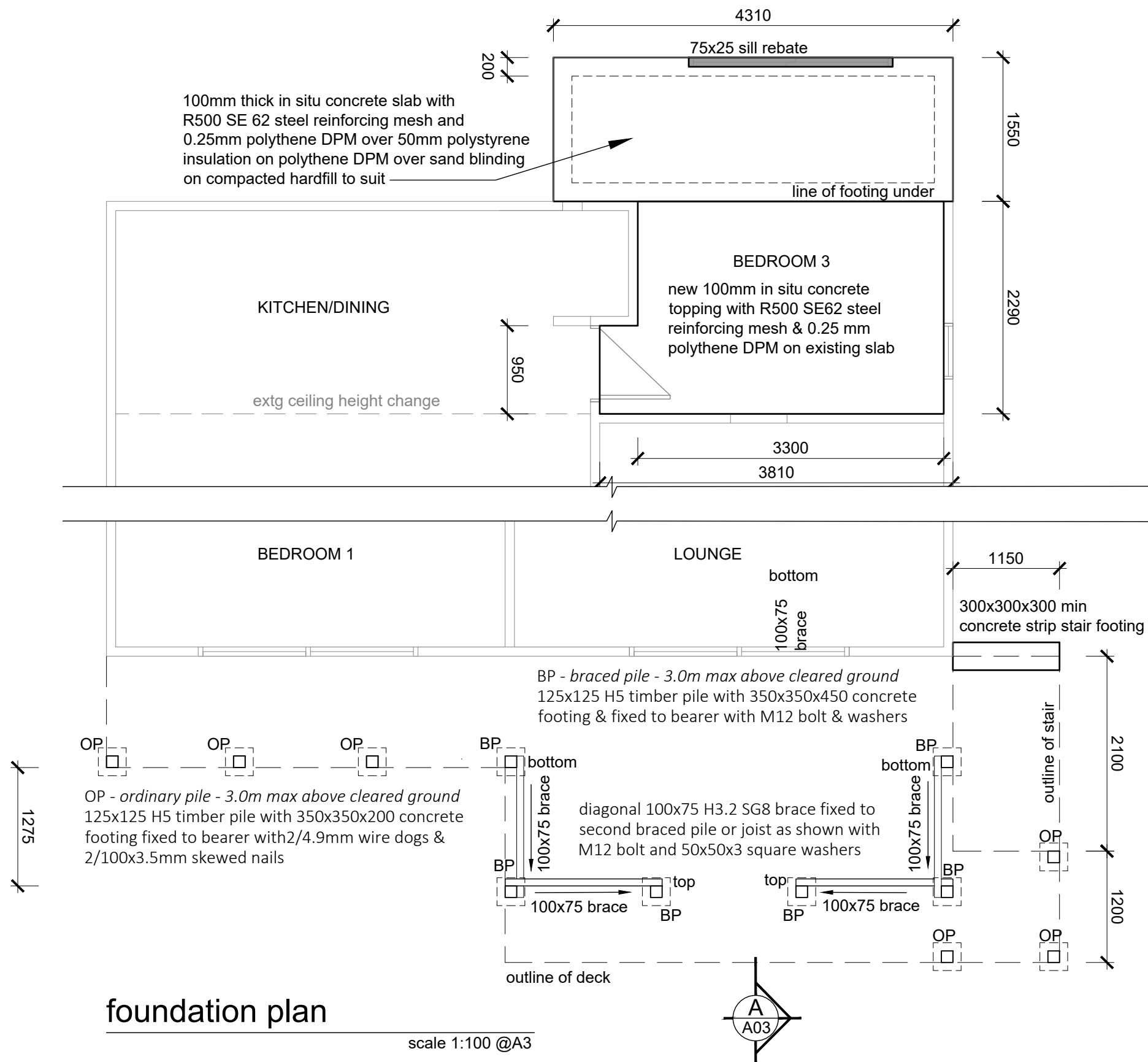
sheet title

proposed floor plan

**Building Consent
Issue**

date:
30/05/2018
drawn: KM
job #: 1762

sheet
of 12
A03



09 typical braced pile design
A09 not to scale

- NOTES FOR CONTRACTOR:
- This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
 - Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
 - Contact thedesignstudio for clarification or correction.
 - Do not make any changes without the written approval of thedesignstudio.



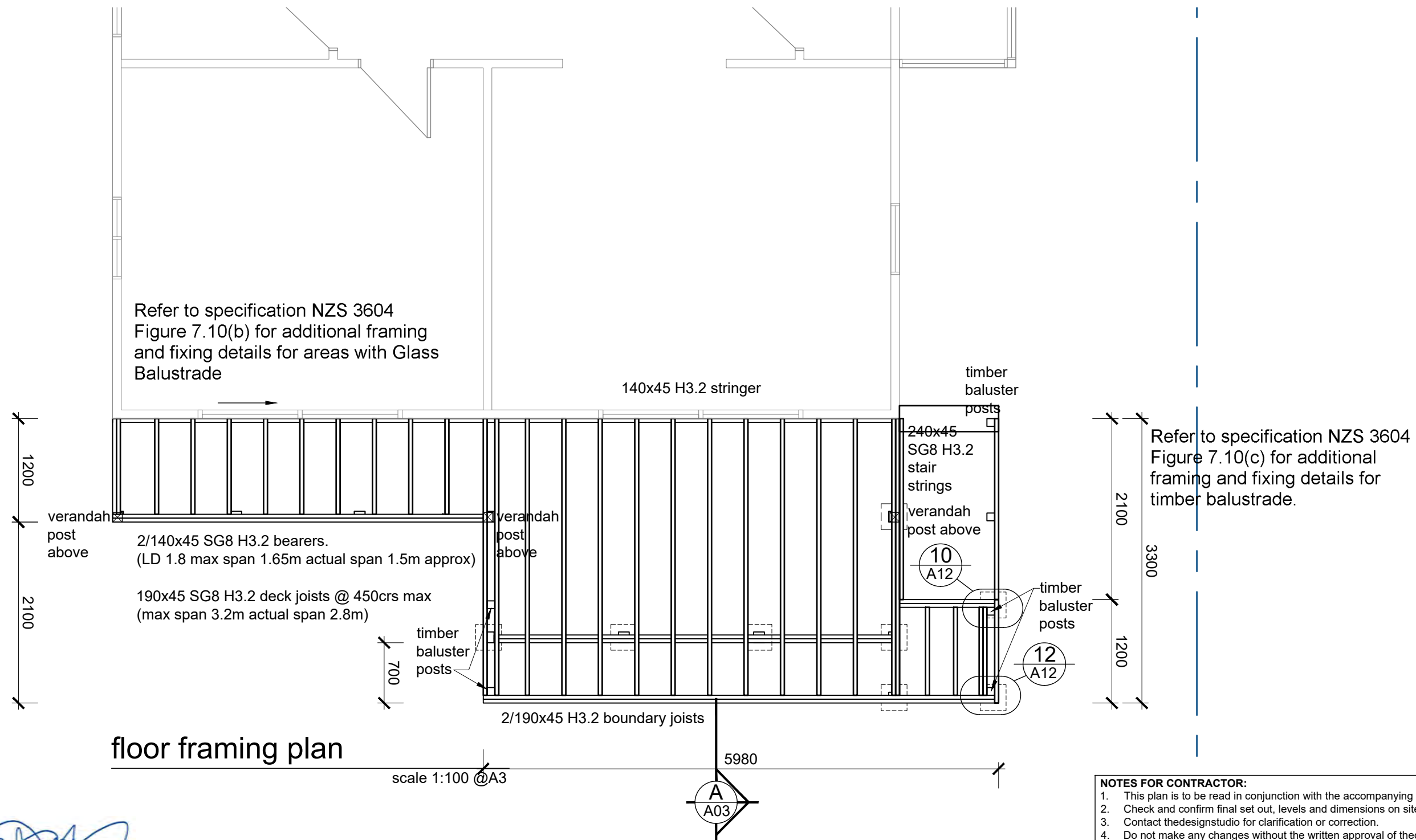
Proposed Alterations for:
Jenny Dodds & Paul Heron
4 St Leonards Drive, St Leonards, Dunedin

sheet title
foundation plan
scale 1:100

Building Consent
Issue

date:
30/05/2018
drawn: KM
job #: 1762

sheet of 12
A04



NOTES FOR CONTRACTOR:

1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
2. Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
3. Contact thedesignstudio for clarification or correction.
4. Do not make any changes without the written approval of thedesignstudio.



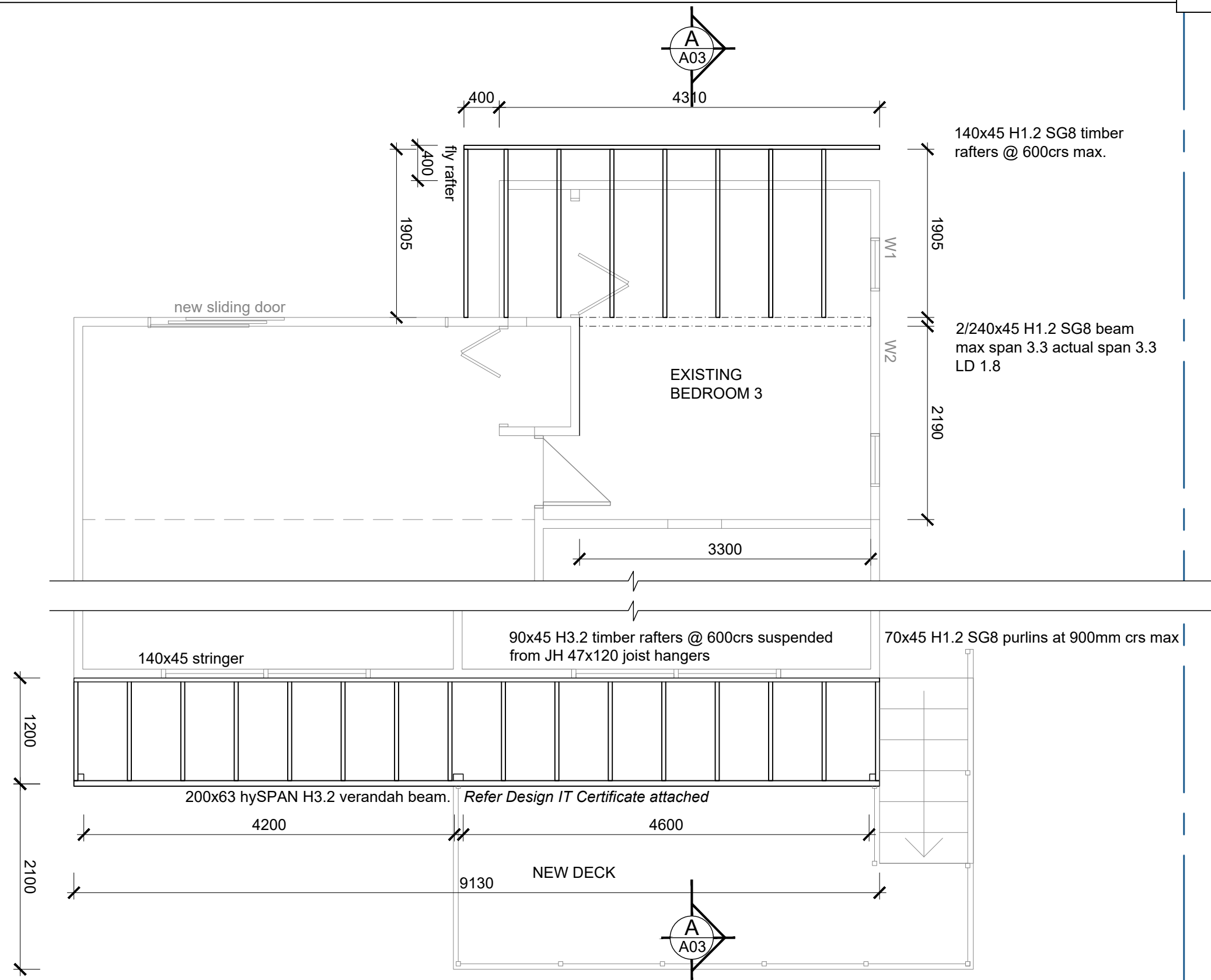
Proposed Alterations for:
Jenny Dodds & Paul Heron
4 St Leonards Drive, St Leonards, Dunedin

sheet title
deck framing plan

**Building Consent
Issue**

date:
27/06/2018
drawn: KM
job #: 1762

sheet
of 12
A05



roof framing plan

showing proposed alterations

scale 1:100 @A3

NOTES FOR CONTRACTOR:

1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
2. Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
3. Contact thedesignstudio for clarification or correction.
4. Do not make any changes without the written approval of thedesignstudio.



Proposed Alterations for:

Jenny Dodds & Paul Heron

4 St Leonards Drive, St Leonards, Dunedin

sheet title

roof framing plan

**Building Consent
Issue**

date:

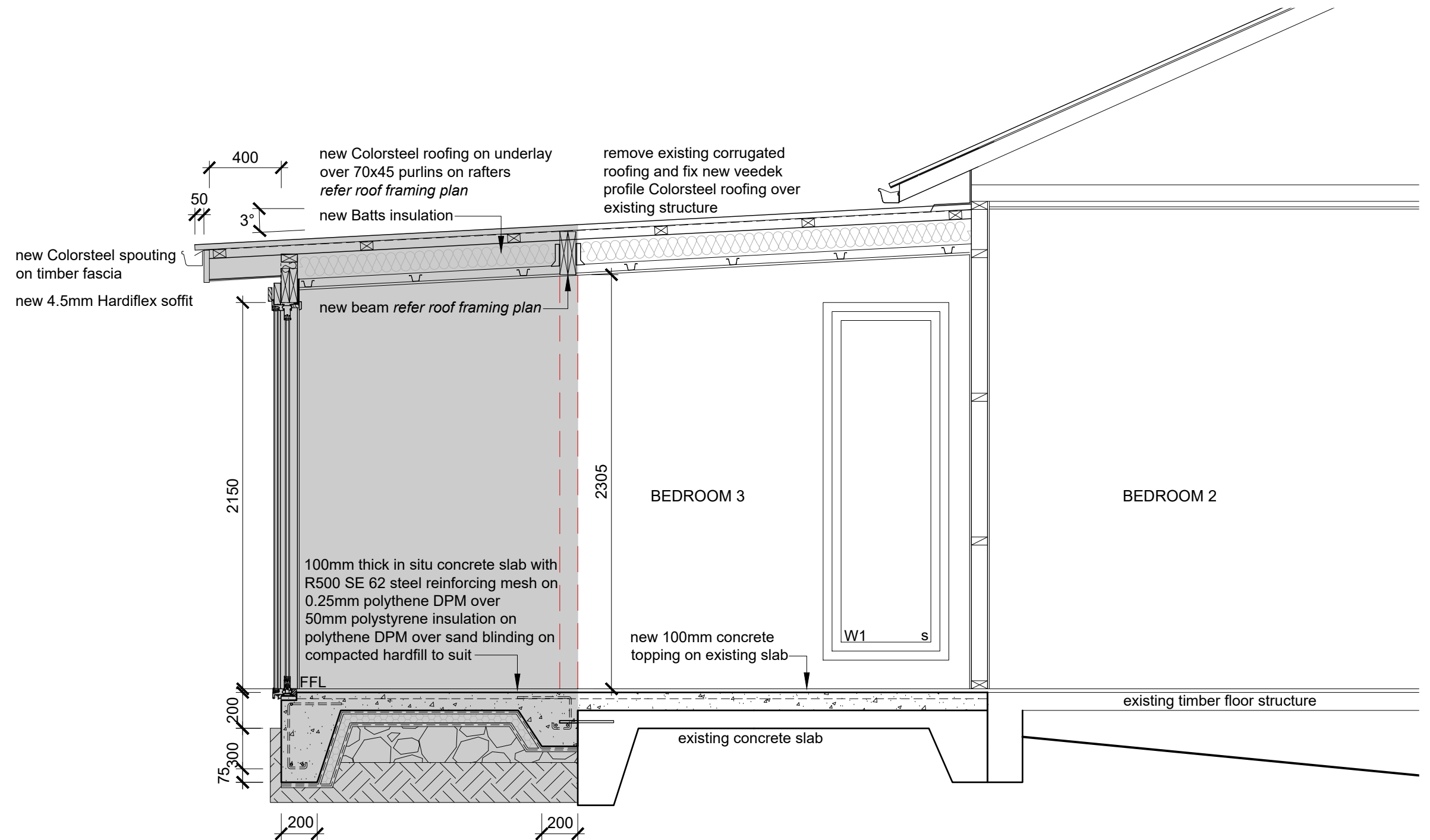
30/05/2018

drawn: KM

job #: 1762

sheet of 12

A06



cross section part 1

showing extension & back of house scale 1:100 @A3

NOTES FOR CONTRACTOR:

1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
2. Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
3. Contact thedesignstudio for clarification or correction.
4. Do not make any changes without the written approval of thedesignstudio.



Proposed Alterations for:

Jenny Dodds & Paul Heron

4 St Leonards Drive, St Leonards, Dunedin

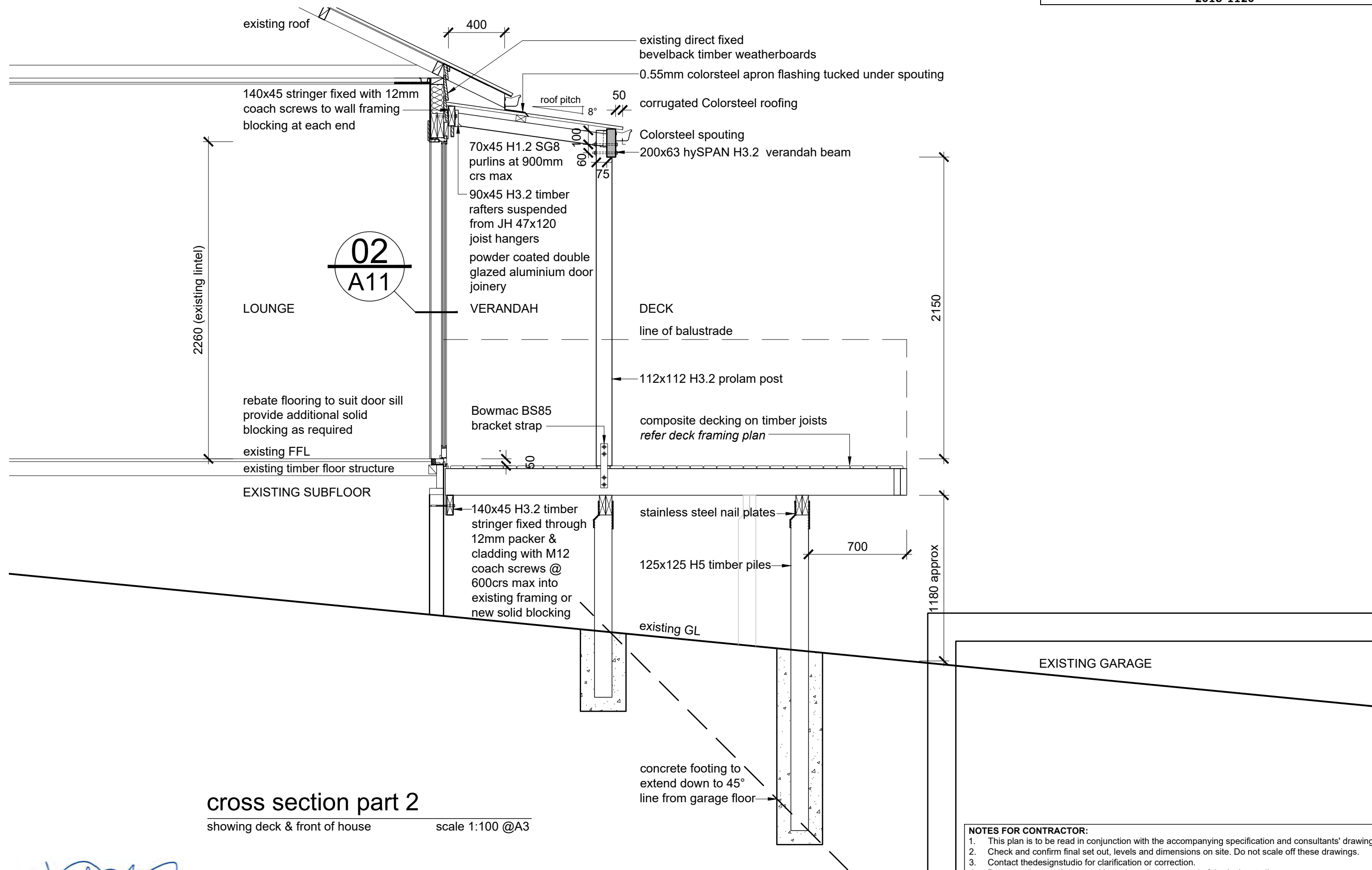
sheet title

cross section 1
back half of house

**Building Consent
Issue**

date:
30/05/2018
drawn: KM
job #: 1762

sheet of 12
A07



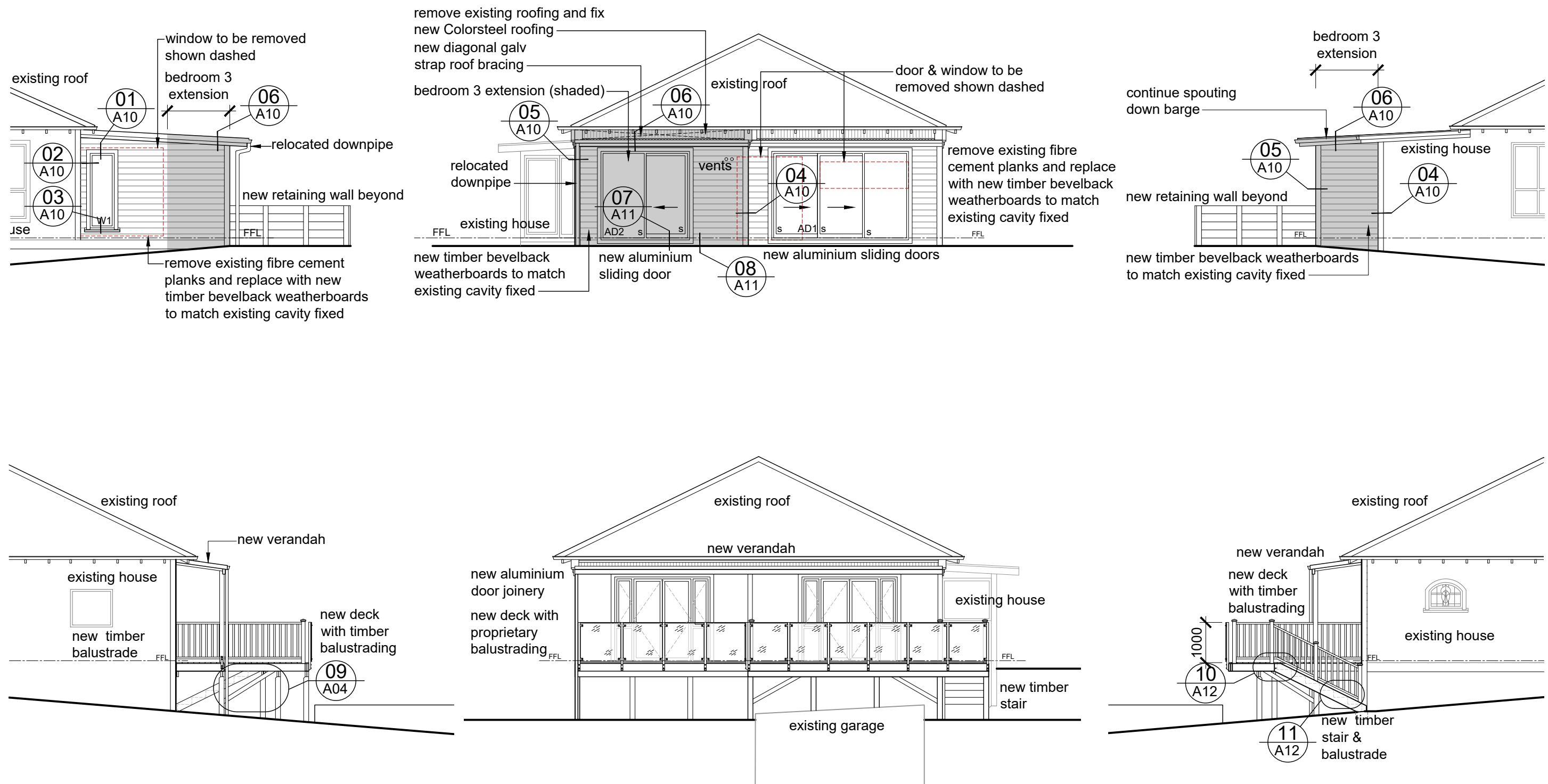
cross section part 2

showing deck & front of house scale 1:100 @A3

- NOTES FOR CONTRACTOR:
1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
 2. Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
 3. Contact thedesignstudio for clarification or correction.
 4. Do not make any changes without the written approval of thedesignstudio.



	Proposed Alterations for: Jenny Dodds & Paul Heron 4 St Leonards Drive, St Leonards, Dunedin	sheet title cross section 2 front of house	<div data-bbox="2172 1848 2552 2026">Building Consent Issue</div> <div data-bbox="2552 1848 2873 2026">date: 30/05/2018 drawn: KM job #: 1762 sheet of 12 A08</div>
--	---	--	--



elevations

scale 1:100 @A3

NOTES FOR CONTRACTOR:

- NOTES FOR CONTRACTOR.**
1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
 2. Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
 3. Contact thedesignstudio for clarification or correction.
 4. Do not make any changes without the written approval of thedesignstudio.



Proposed Alterations for:

Jenny Dodds & Paul Heron

4 St Leonards Drive, St Leonards, Dunedin

sheet title

elevations

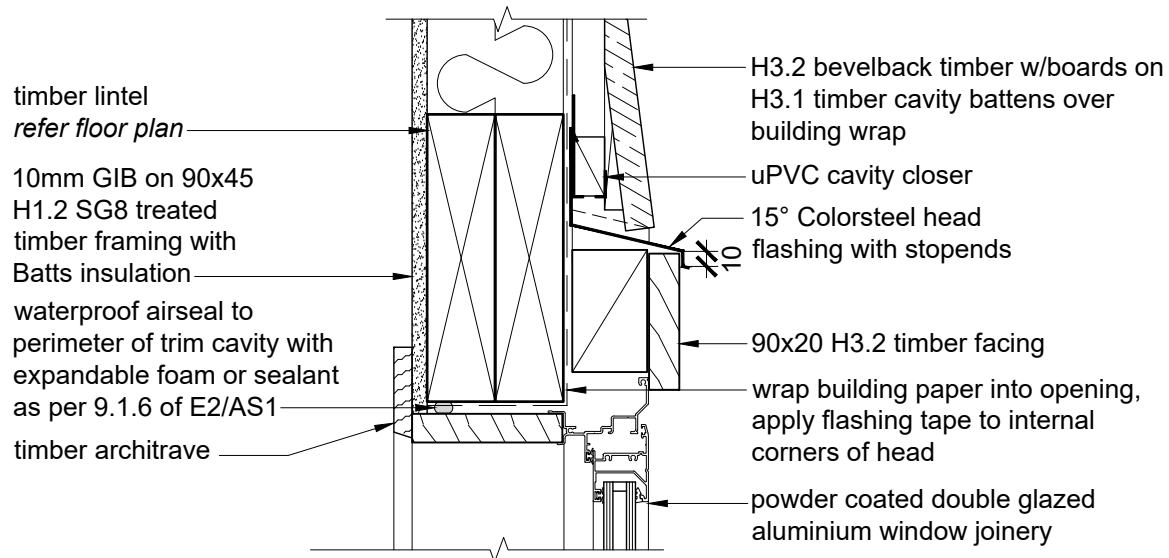
Building Consent Issue

date:	30/05/2018
drawn: KM	
job #: 1762	

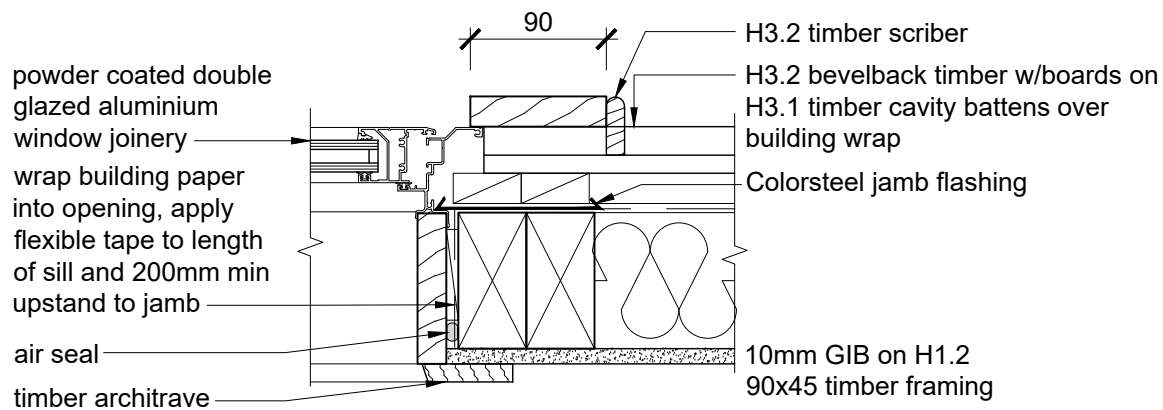
sheet of 12

A09

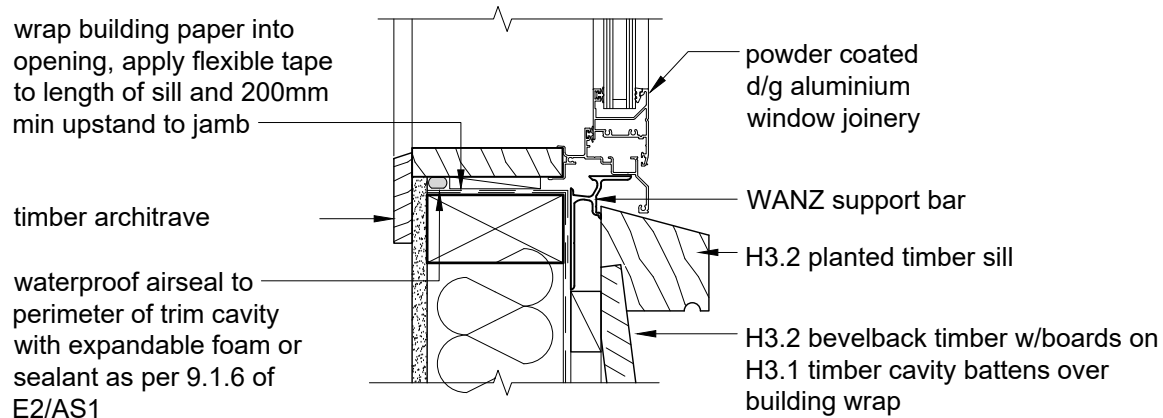
thedesignstudio	03 477 2664	www.thedesignstudio.co.nz	6th Floor Consultancy House : 7 Bond Street : PO Box 1095 Dunedin 9054	the copyright of these drawings, CAD files, and all parts thereof remain the property of thedesignstudio
-----------------	-------------	---------------------------	--	--



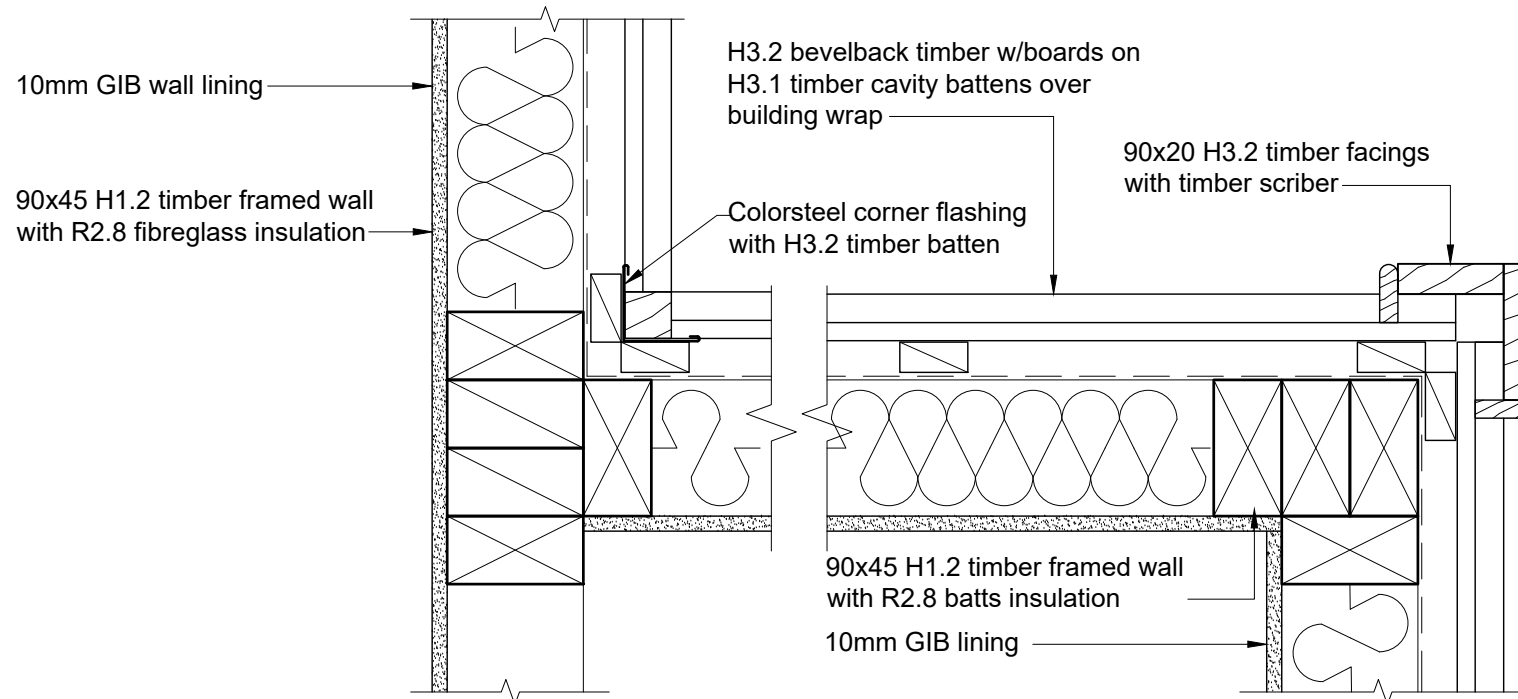
01 typical window door head
A07 b/back w/boards on cavity system scale 1:5



02 typical window/door jamb
A07 b/back w/boards on cavity system scale 1:5

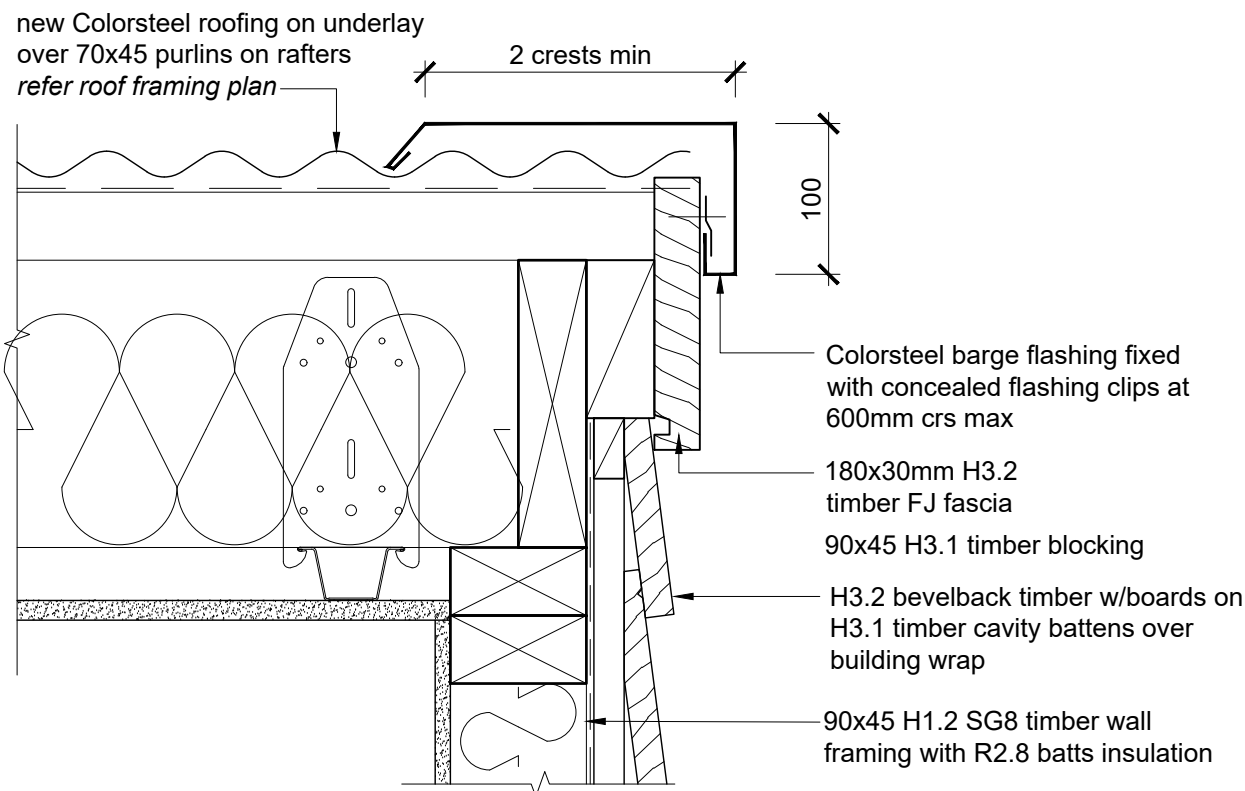


03 typical window sill
A07 b/back w/boards on cavity system scale 1:5



04 w/board internal corner
A09 b/back w/boards on cavity system scale 1:5

05 w/board external corner
A09 b/backw/boards on cavity system scale 1:5



06 barge detail with eave
A09 (Colorsteel Veedek roofing) scale 1:5

NOTES FOR CONTRACTOR:

1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
2. Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
3. Contact thedesignstudio for clarification or correction.
4. Do not make any changes without the written approval of thedesignstudio.



Proposed Alterations for:

Jenny Dodds & Paul Heron
4 St Leonards Drive, St Leonards, Dunedin

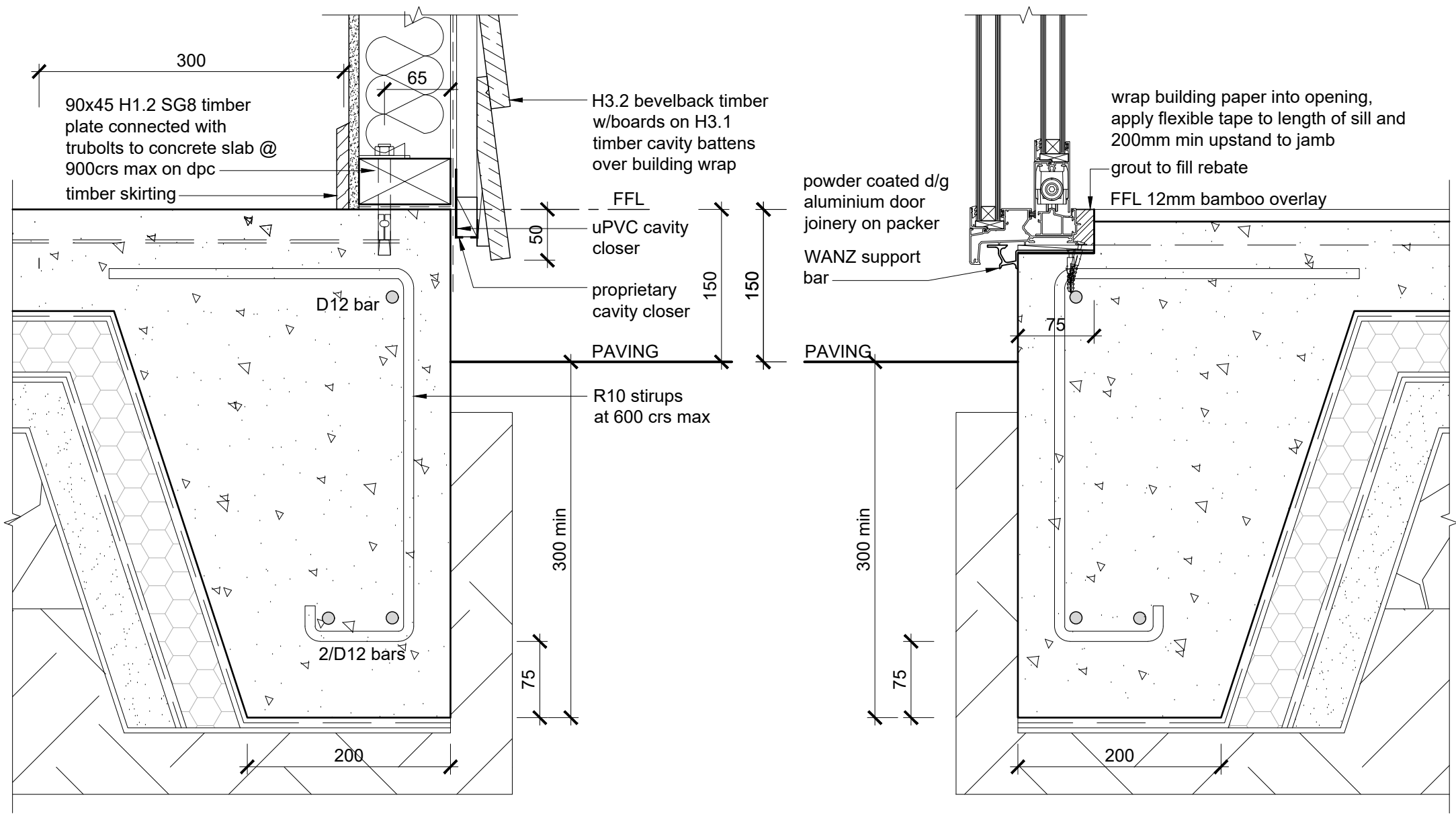
sheet title

details

**Building Consent
Issue**

date:
30/05/2018
drawn: KM
job #: 1762

sheet of 12
A10



07 slab footing detail
A09 scale 1:5

08 typical sliding door sill
A09 b/back w/boards on cavity system scale 1:5

- NOTES FOR CONTRACTOR:
1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
 2. Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
 3. Contact thedesignstudio for clarification or correction.
 4. Do not make any changes without the written approval of thedesignstudio.



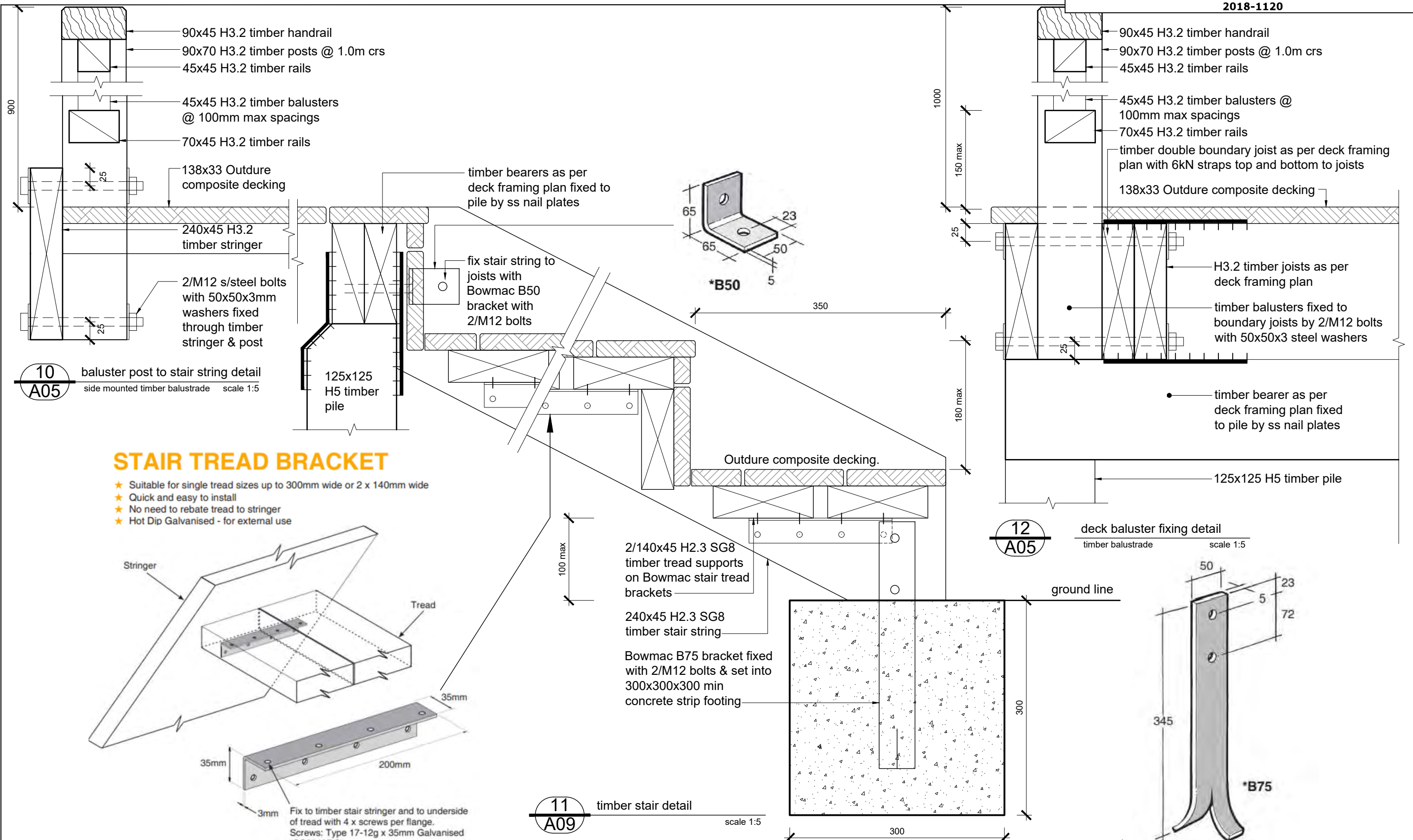
Proposed Alterations for:
Jenny Dodds & Paul Heron
4 St Leonards Drive, St Leonards, Dunedin

sheet title
details

**Building Consent
Issue**

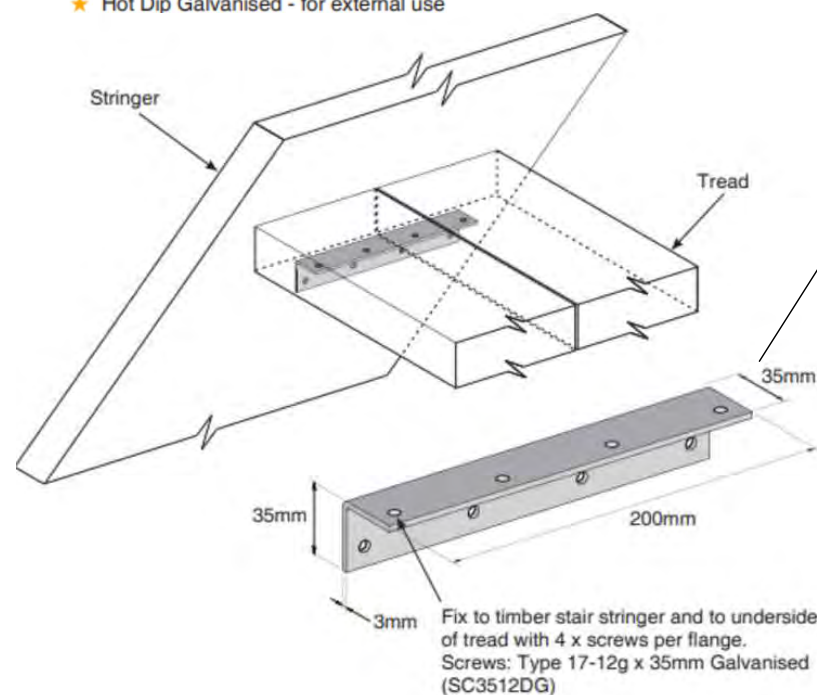
date:
30/05/2018
drawn: KM
job #: 1762

sheet of 12
A11



STAIR TREAD BRACKET

- ★ Suitable for single tread sizes up to 300mm wide or 2 x 140mm wide
- ★ Quick and easy to install
- ★ No need to rebate tread to stringer
- ★ Hot Dip Galvanised - for external use



e: B65200F

Material: ex 3mm thick plate 65x200mm (folded) Hot Dipped Galvanised

11 timber stair detail

scale 1:5

12
A05

deck baluster fixing detail
timber balustrade sca

scale 1:5

NOTES FOR CONTRACTOR:

1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
2. Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
3. Contact thedesignstudio for clarification or correction.
4. Do not make any changes without the written approval of thedesignstudio.

Check you have the items required for installation
on timber deck frame:

OUTDURE QWICKCLIP
STARTER END CLIP (SS304) (50x)

OR

OUTDURE PINNING SCREW
40MM CSK (50x)

CALLULATE:
FOR OUTSIDE EDGE OF
PERIMETER BOARDS @ 400MM CENTERS

ECO-DECKING 138X23X4800

•7LM PER M² (10M²=1.5 BOARDS)
•JOISTS @ 400MM

OUTDURE PINNING SCREW SS304
40MM CSK (FOR WOOD FRAME) (50x)

•CALCULATE:
X2 PER BOARD

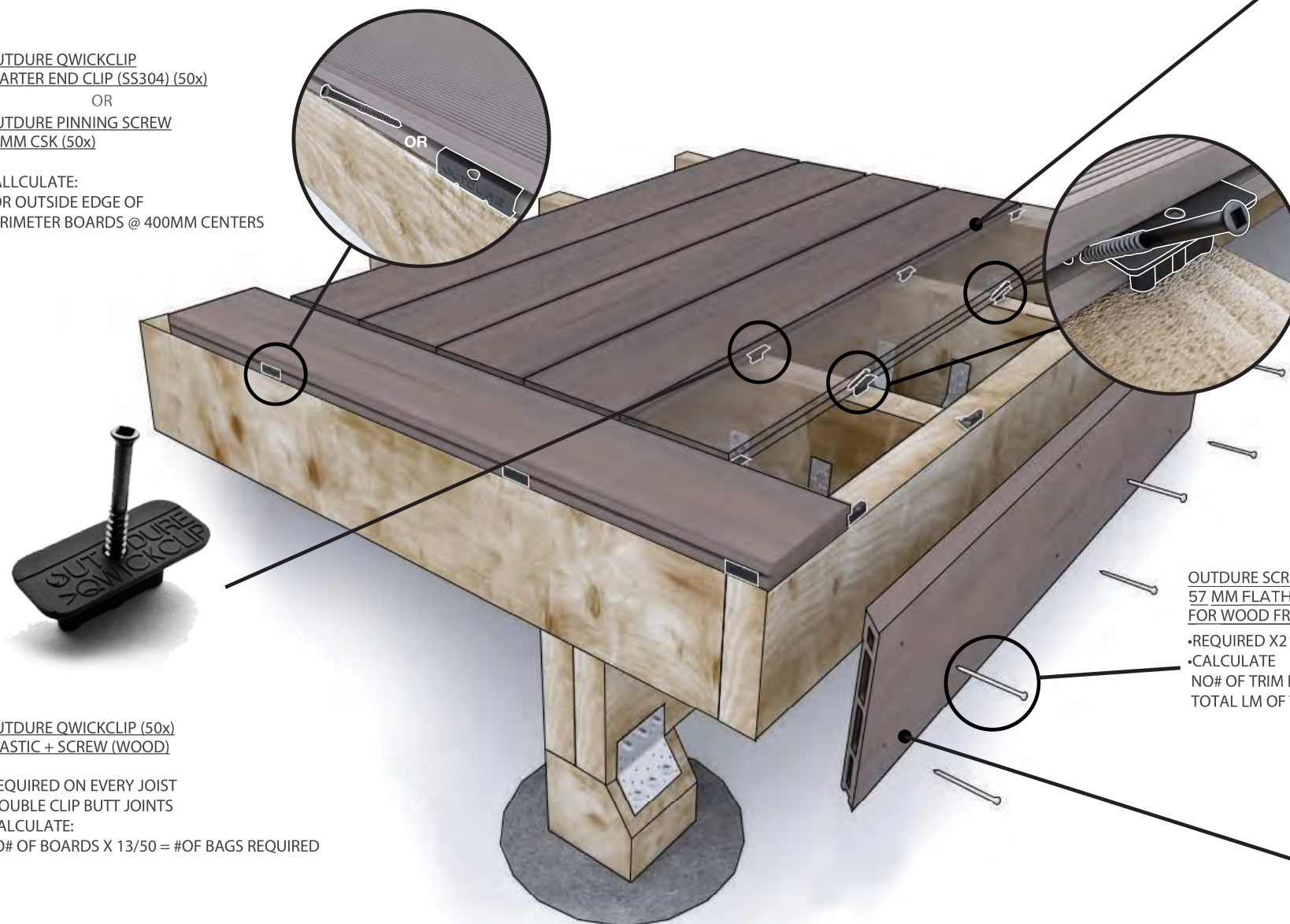
OUTDURE SCREW WD-F57
57 MM FLATHEAD (x50)(
FOR WOOD FRAME)

•REQUIRED X2 @ 400MM CENTERS
•CALCULATE
NO# OF TRIM BOARDS
TOTAL LM OF TRIM BOARDS

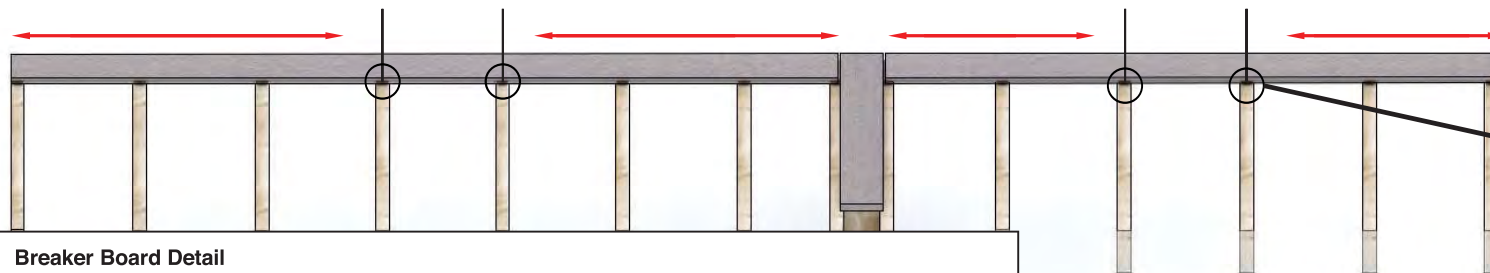
ECO-DECKING TRIM BOARD
138x23x4800

OUTDURE QWICKCLIP (50x)
PLASTIC + SCREW (WOOD)

•REQUIRED ON EVERY JOIST
•DOUBLE CLIP BUTT JOINTS
•CALCULATE:
NO# OF BOARDS X 13/50 = #OF BAGS REQUIRED



Expansion and contraction control fixing



Breaker Board Detail

Secure fix the decking board to the two most center joists to control lateral expansion and contraction



Predrill pilot hole with 4mm drill bit

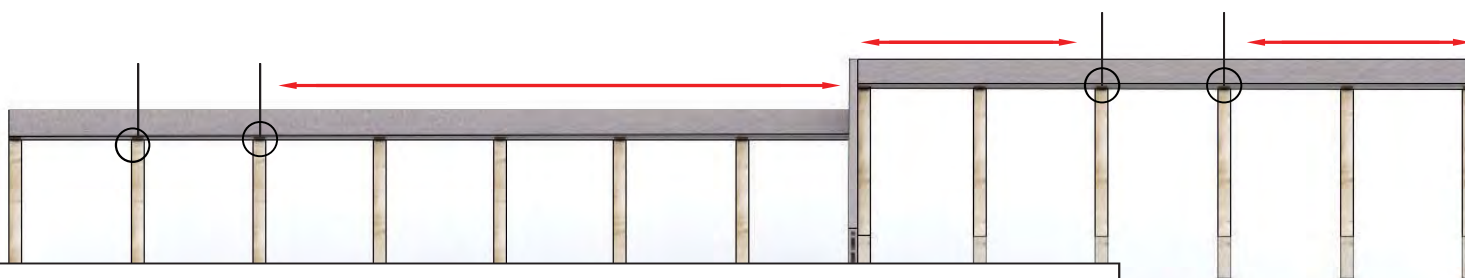


Butt Joint Detail

Secure fix the decking board to the two most center joists to control lateral expansion and contraction

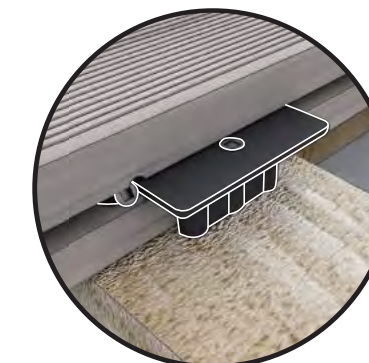


Drive in 40MM CSK pinning screw



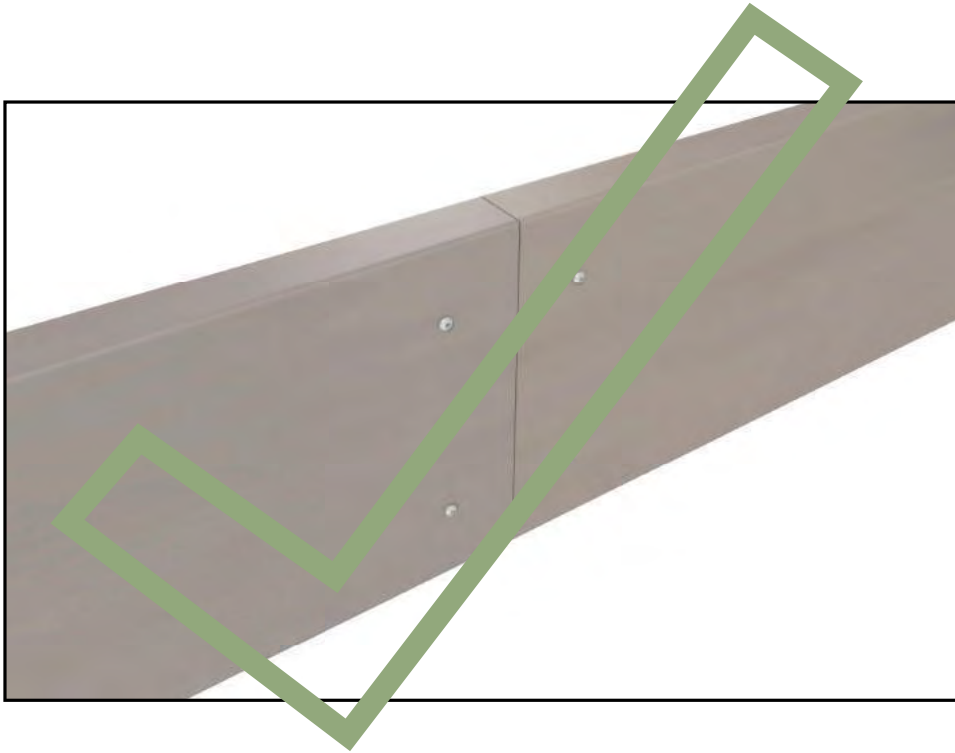
Board underneath step

Secure fix the decking board on furthest edge so that the decking board can expand laterally underneath the step

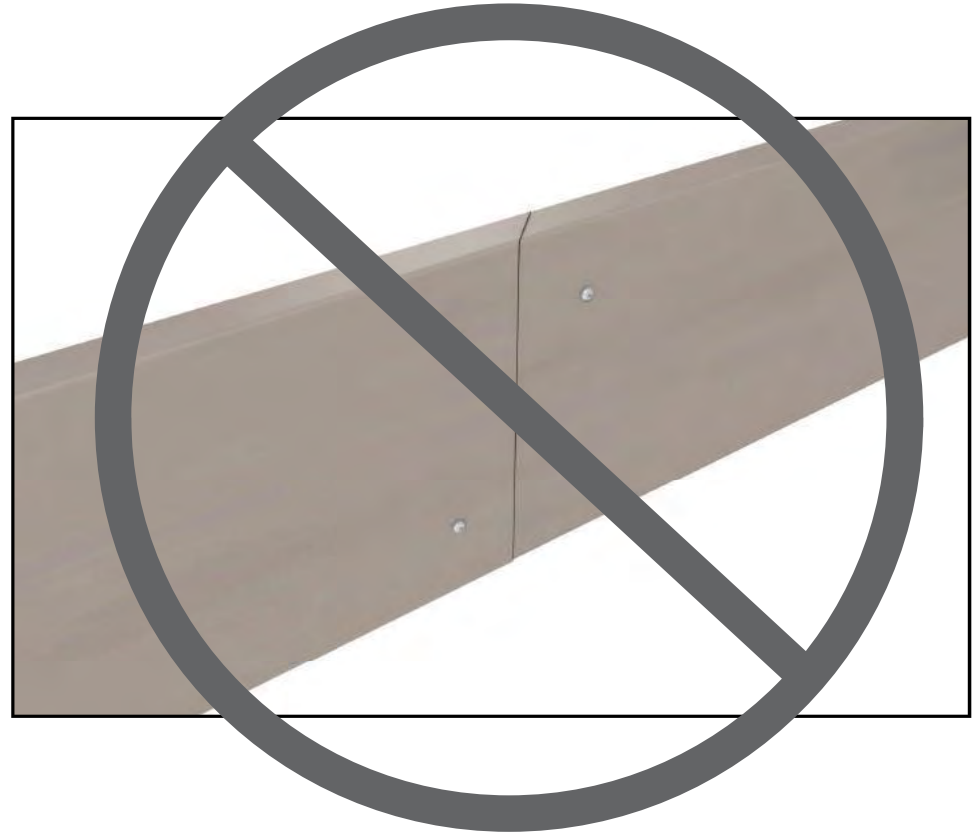


ECODECKING Trimboard butt join

CORRECT INLINE BUTT JOIN



IN-LINE MITRED JOIN



IMPORTANT NOTE: DO NOT MITRE JOIN FOR IN-LINE JOIN OF THE TRIMBOARD, BUTT JOIN TRIMBOARD WITH APPROPRIATE GAP PER BOARD LENGTH

Breaker board layout

