

## ONE AGENCY

# Disclaimer

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## Dunedin City Council – Land Information Memorandum

Property Address: 4 St Leonards Drive St Leonards

Prepared for: Ryan George and Leanne Kerry Brayshaw

Prepared on: 09-Dec-2025

### Property Details:

<b>Property ID</b>	5010174
<b>Address</b>	4 St Leonards Drive St Leonards
<b>Parcels</b>	LOT 2 DP 3737

### Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 09-Dec-2025

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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## Historic Dangerous Goods Licence(s)

No information.

## Hazardous Substances

No information.

## **WARNING – Change in legislation and management of hazardous substances**

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates If you have any questions, please contact Worksafe.

## s44A(2)(b) Information on private and public stormwater and sewerage drains

## Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

## Foul Sewer and Waste Water

## Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

## Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **4<sup>th</sup> December 2025**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

## Public Sewer Sheets

**WARNING.** Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

## Dunedin City Council Private Drainage plans incomplete

**WARNING.** The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

## Water Supply

## Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure), and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

## **Terms and conditions of supply**

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at [www.dunedin.govt.nz/water-bylaw](http://www.dunedin.govt.nz/water-bylaw).

## Water pressure

Indicative network water pressure to the property is shown on maps available at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure). Specific detail is available on request.

## Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

## s44A(2)(c) Information relating to any rates owing in relation to the land

### Rates Details

#### Rates Assessment Details

**Rate Account** 2010174

**Address** 4 St Leonards Drive St Leonards

**Valuation Number** 26700-16000

#### Latest Valuation Details

Capital Value	\$670,000
Land Value	\$315,000
Value of Improvements	\$355,000
Area (Hectares)	0.0728HA
Units of Use	1

#### Current Rates

Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$4,112.96

**Rates Outstanding for Year** \$2,056.48

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

### Building and Drainage Consents

The following consents are recorded for this property:

Status Key:

BC	-	Building Consent Issued
CCC	-	Code Compliance Certificate Issued
Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
/CCC		
Refused	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect
Lapsed	-	

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2003-301144](#) Building Consent - Heater - Kent Spectra

Lodgement Date 30-Jul-2003  
 Decision Granted  
 Decision Date 31-Jul-2003  
 Current Status **CCC Issued**  
 Previous Number ABA32261  
*(Applications before 2007)*

[ABA-1994-329186](#) Building Consent - Add to Dwelling- Conservatory and Laundry (Hippolite)

Lodgement Date 30-Nov-1994  
 Decision Granted  
 Decision Date 23-Dec-1994  
 Current Status **CCC Issued**  
 Previous Number ABA944776  
*(Applications before 2007)*

[ABA-1996-337359](#) Building Consent - Plumbing Alts in Bathroom, No Plan

Lodgement Date 30-Aug-1996  
 Decision Granted  
 Decision Date 02-Sep-1996  
 Current Status **CCC Issued**  
 Previous Number ABA963460  
*(Applications before 2007)*

[ABA-2007-315755](#) Building Consent - Install Parkwood YF2 Pellet Heater

Lodgement Date 30-Apr-2007  
 Decision Granted  
 Decision Date 30-Apr-2007  
 Current Status **CCC Issued**  
 Previous Number  
*(Applications before 2007)*

[ABA-2008-942](#) Building Consent - Alter Kitchen, Move Laundry, Add French Doors, Replace Pellet Fire.

Lodgement Date 02-May-2008  
 Decision Granted  
 Decision Date 08-May-2008  
 Current Status **CCC Issued**  
 Previous Number  
*(Applications before 2007)*

[ABA-2018-1120](#) Building Consent - Extend Dwelling to Convert Study to Bedroom, Alter Kitchen/Dining Layout, Install External Sliding Door and 2 x External French Doors, Change External French Doors to Sliding Door, Add Verandah and Deck with Stairs

Lodgement Date 05-Jun-2018  
 Decision Granted  
 Decision Date 28-Jun-2018  
 Current Status **CCC Issued**  
 Previous Number  
*(Applications before 2007)*

[\*\*ABA-2019-949\*\*](#) Building Consent - Amendment to ABA-2018-1120 - Decrease Size of Proposed Deck and Sliding Door, Alter Part Balustrade to Wing Walls, Alter Foundation and Floor Framing Plan

Lodgement Date 15-May-2019  
Decision Granted  
Decision Date 20-Jun-2019  
Current Status **CCC Issued**  
Previous Number  
(Applications before 2007)

## Building and Drainage Permits

[H-1983-92621](#) AAB19830008

5574 - Install Warmaire Heater (Hippolite). The permit was lodged on 26-Aug-1983.

[H-1986-98525](#) AAB19860014

1370 - Erect Garage (Hippolite). The permit was lodged on 19-Aug-1986.

[H-1989-104055](#) AAB19890012

5741 - Install Juno Heater (Hippolite). The permit was lodged on 31-Jan-1989.

[H-1972-200631](#) AAD19721772

J290 - Connect to Foul Sewer (Montgomery). The permit was lodged on 28-Mar-1972.

[H-1972-200632](#) AAD19721773

J1076 - Plumbing Alterations (Montgomery). The permit was lodged on 26-Sep-1972.

## Building Notices

No Building Notices

## Resource Consents

There are no resource consents for this property.

## Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

## Alcohol Licensing

There are no records of any Alcohol Licences for this property.

## Health Licensing

There are no records of any Health Licences for this property.

## s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

## District Plan

**The information on district plan requirements is correct at the date this LIM is issued.** Note that the Dunedin City Second Generation District Plan (“The 2GP”) is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

## Zoning

- Township and Settlement (refer Section 15, Residential)

## Scheduled Items

• Nil

## Overlay Zones

• Nil

## Mapped Areas

- Archaeological Alert Layer
- Road Classification Hierarchy (main roads within 30m of site)
  - Dunedin-Port Chalmers Rd is a Strategic road

## District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

## s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

### No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

## Building Information

### Drainage

#### Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

### Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## Planning

### Resource Consents within 50m of 4 St Leonards Drive St Leonards

#### [1406 R Dunedin-Port Chalmers Road Dunedin](#)

[LUC-2018-371](#) Land Use Consent alterations to the Otago Harbour Wall, earthworks (including earthworks in a coastal habitat) and construction of a boardwalk (to the extent that is not within the coastal marine area) associated with the shared cycling and pedestrian path. The outcome was Granted on 21/09/2018.

[RMA-1998-362404](#) Resource Management Act (Historical Data) ALTERATION TO DESIGNATION, SH88 SHANDON TO STATION RDS UNDER SECTION 181 OF RMA. (Converted - Ended). The outcome was Granted on 13/12/1999.

[RMA-1996-359776](#) Resource Management Act (Historical Data) ELECTION SIGNS (Non-Notified - Restricted Discretionary). The outcome was Granted on 27/06/1996.

[RMA-1999-363239](#) Resource Management Act (Historical Data) INSTALLATION OF NEW POWER POLE WHICH DOES NOT COMPLY WITH PROPOSED DISTRICT PLANS UTILITY SECTION (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 19/08/1999.

[RMA-1996-360054](#) Resource Management Act (Historical Data) ERECTION OF GENERAL ELECTION SIGNS DBTR - NEIL BENSON (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/09/1996.

#### [5010171 1 Kiwi Street St Leonards](#)

[LUC-2010-364](#) Land Use Consent construct a 6m by 4.2m by 2.1m garage. The outcome was Granted on 09/09/2010.

#### [5010173 5 St Leonards Drive St Leonards](#)

[RMA-1995-357303](#) Resource Management Act (Historical Data) Existing shed on boundary (converted to laundry) Ownr:A MCIVOR / App: ALISON MCIVOR 5 ST LEONARDS RD (Non-Notified - Non Complying). The outcome was Granted on 10/02/1995.

[RMA-1995-353030](#) Resource Management Act (Historical Data) DISPENSATION 1611 for garage in side yard attached to dwelling (Non-Notified - Non Complying). The outcome was Granted on 04/02/1991.

**[5108925 LOT 3 Dunedin - Tranzrail \(N/R\) Dunedin](#)**

[LUC-2021-88](#) Land Use Consent To undertake additional earthworks in association with the construction of the shared pathway route from St Leonards to Port Chalmers. The outcome was Granted on 11/05/2021.

[LUC-2018-371](#) Land Use Consent alterations to the Otago Harbour Wall, earthworks (including earthworks in a coastal habitat) and construction of a boardwalk (to the extent that is not within the coastal marine area) associated with the shared cycling and pedestrian path. The outcome was Granted on 21/09/2018.

[LUC-2017-14](#) Land Use Consent construction of the St Leonards to Port Chalmers Shared Pathway at Various Sites along the St Leonards to Port Chalmers Shared Pathway Route. The outcome was Granted on 11/04/2017.

[LUC-2013-99](#) Land Use Consent mural on retaining wall. The outcome was Granted on 02/04/2013.

[SUB-2011-61](#) Subdivision Consent amalgamation subdivision - subdivide railway land at Burnside into an industrial lot and a balance lot. The outcome was Granted on 15/07/2011.

[RMA-2006-370524](#) Resource Management Act (Historical Data) construct and operate a self-service fuel facility. The outcome was Granted on 29/10/2007.

[RMA-2001-364796](#) Resource Management Act (Historical Data) ESTABLISH CAR PARK (Non-Notified - Non Complying). The outcome was Granted on 06/06/2001.

[RMA-2004-368439](#) Resource Management Act (Historical Data) CREATE A THREE LOT INDUSTRIAL 1 SUBDIVISION (Non-Notified - Restricted Discretionary). The outcome was Granted on 02/12/2004.

[RMA-2001-365039](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365038](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365037](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365036](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365035](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365034](#) Resource Management Act (Historical Data) ALTER SIGNS/HOARDINGS (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2002-366126](#) Resource Management Act (Historical Data) CERTIFICATE OF COMPLIANCE FOR THE ERECTION, OPERATION AND MAINTENANCE OF A REPLACEMENT SULPHURIC ACID CONVERTER (Other). The outcome was Granted on 04/12/2002.

[RMA-1999-362972](#) Resource Management Act (Historical Data) MURAL FOR WILKIE ROAD/NEVILLE ROAD TRANZ RAIL BRIDGE (Non-Notified - Restricted Discretionary). The outcome was Granted on 20/08/1999.

[RMA-1993-357917](#) Resource Management Act (Historical Data) Subdivision Ownr:NZ RAILWAYS CORP. / App: K.G. Harford Private Bag (Non-Notified - Non Complying). The outcome was Granted on 18/11/1993.

[RMA-1997-361305](#) Resource Management Act (Historical Data) VARIATION TO SUBDIVISION CONSENT AND EXTENSION OF TIME FOR SUBDIVISION OF LOT 1 DP 25158 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 13/10/1997.

[RMA-1991-350984](#) Resource Management Act (Historical Data) Report Ownr:RAILWAYS (Non-Notified - Non Complying). The outcome was Granted on 24/05/1991.

[RMA-1993-355755](#) Resource Management Act (Historical Data) Subdivision for disposal of surplus railway land App: WORKS CONSULTANCY (Non-Notified - Non Complying). The outcome was Granted on 25/06/1993.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

## Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

## Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: [infodeepsouth@heritage.org.nz](mailto:infodeepsouth@heritage.org.nz); 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at [www.mfe.govt.nz](http://www.mfe.govt.nz).) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner.

Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

## 3 Waters

## Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website [www.dunedin.govt.nz](http://www.dunedin.govt.nz).

## Transport

**DCC Transport has carried out a desktop inspection of this property and found the following:**

## Encroachment on road reserve

On the property's frontage there are landscaping rock walls, concrete steps, a part of garage frontage and various plantings that appear to be located within the road reserve. These may remain at the pleasure of Council however an encroachment license may be required in the future. Council accepts this situation but accepts no liability. Maintenance is the responsibility of the property owner.

## Encroachment on road reserve – privately owned vegetation over road reserve.

It appears that the vegetation at this property's frontage is encroaching on the road reserve. Private vegetation is required to be maintained so that it does not interfere with road users or extend over your property boundary. Council accepts this situation but accepts no liability. Maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

## Encroachment on road reserve – privately owned concrete steps.

It appears the privately owned concrete steps at this property's frontage are encroaching on to road reserve. These may remain at the pleasure of Council however an encroachment license may be required in the future. Council accepts this situation but accepts no liability. Any damage caused and the maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

### Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside.

The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

## Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

### Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

### Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer

HEA	Heater
ICC	Interim Code Compliance
MH	Manhole
PL	Plumbing
PLB	Plumbing
PTE	Private
SIS	Sewer in section
WC	Water course
WT	Water table
SW	Stormwater

## General terms

RDMS Records and Document Management System

## Appendices



## Photographic Map



Scale at A4:  
1:750  
3/12/2025  
8:02:19 PM



PARCEL LINES CAN VARY FROM  
LEGAL PARCEL BOUNDARIES  
This map is for illustration purposes only  
and is not accurate to surveying, engineering  
or orthophotographic standards. Every effort  
has been made to ensure correctness and  
timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys  
Ltd, Rural, ORC/Aerial Surveys Ltd, CC BY 4.0 NZ

2013 Urban and rural photography Jan/Feb 2013.  
Copyright DCC, CC BY 3.0 NZ.

2006/2007 Urban photography March 2007,  
copyright NZAM, Rural photography March  
2006, copyright Terralink International Ltd.

## Legend

### Water Supply

- NR ► Water Non-Return Valve
- \* Water Pump Station
- ▲ Water Meter
- Toby
- Meter without manifold box
- Retic Flow Meter
- Combination Meter
- Manifold Box With Restrictor
- Supply Main
- Trunk Main
- Diseased
- Reticulation
- Rider
- Scour
- Water Service Lateral
- Water Service Lateral
- Water Critical Service Lateral
- Water Zone Boundary
- Water Reservoir
- NR ► Non Return Valve
- Water Valve - Zone
- Water Valve - Gate
- Water Valve - Sluice
- Water Hydrant
- Water Backflow Preventer - RPZ

**NOTE:** Private water services have the same symbols as those above, however they are coloured pink.

### Foul Sewerage

- \* Pump Station
- Treatment Plant
- Vent
- NR ► Boundary Kit
- Non-Return Valve
- Pump Station Domestic
- Drop Manhole
- Inspection Manhole
- Inspection Opening
- Lamphole
- Outlet

**NOTE:** Private foul drains have the same symbols as those above, however they are coloured orange.

### Stormwater

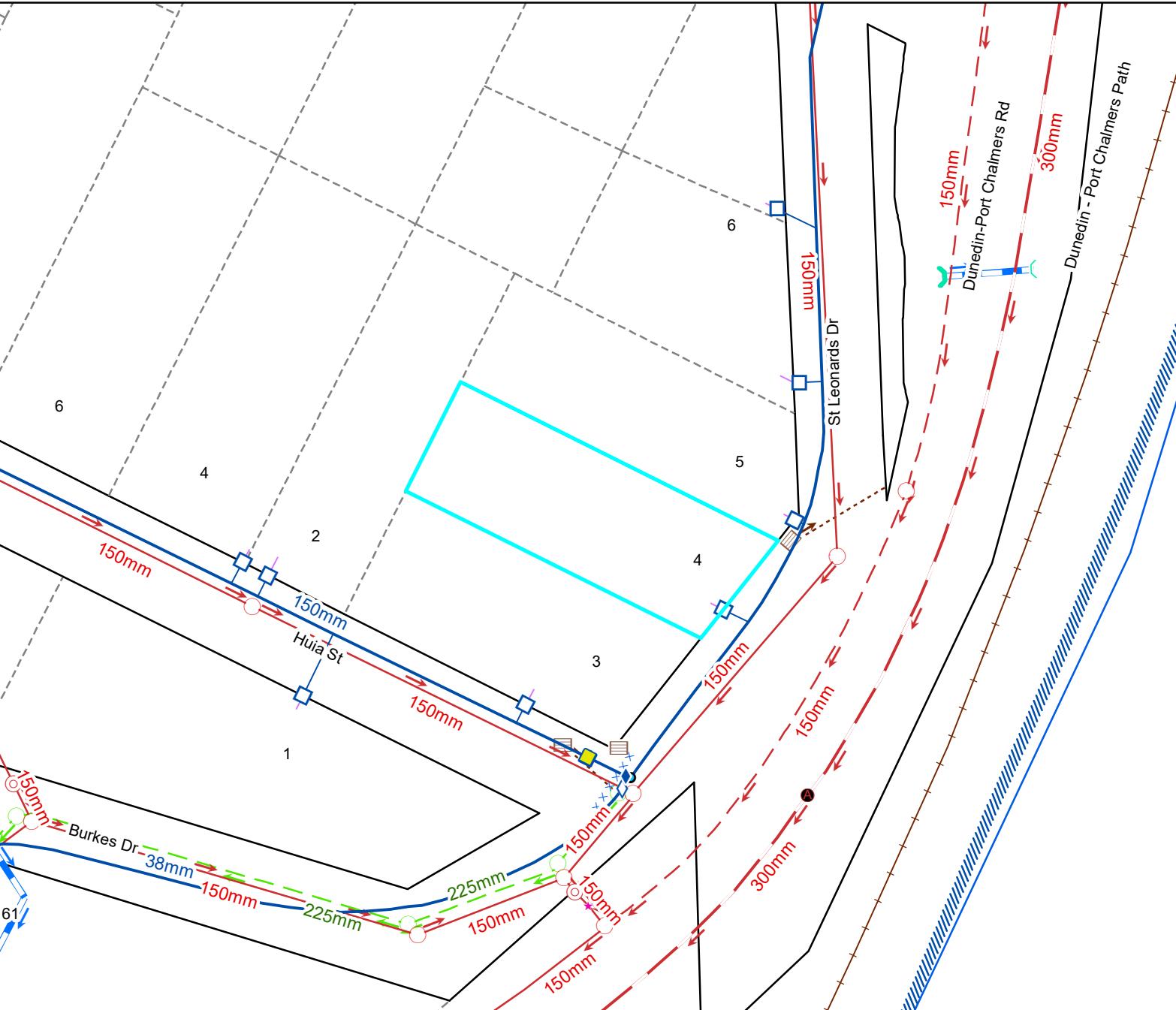
- SW Bubble-up Tank
- SW Drop Manhole
- SW Insp Chamber and Grating Inlet
- SW Inspection Manhole
- SW Inspection Opening
- SW Lamphole
- SW Mudtank Inlet
- SW Outlet
- SW Pipe Inlet
- SW Pressure Manhole
- SW Standard Manhole
- SW Stormwater Node
- Roading Bubble-Up Tank
- Roading Mudtank
- Stormwater Main
- Stormwater Trunk Main
- DCC Open Channel
- Piped WC
- Open WC
- Culvert
- Stormwater Mudtank Pipe
- Redundant Stormwater Main
- SW Sump
- SW Pump Station

**NOTE:** Private stormwater drains have the same symbols as those above, however they are coloured light green.

### General

- DCC Water & Waste Structure
- Railway Centreline
- Parcell
- Road/Rail
- Hydro
- Motorway Parcels
- Strata
- Easement (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



## Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of this information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:

1:750

3/12/2025  
8:02:25 PM



PARCEL LINES CAN VARY FROM  
LEGAL PARCEL BOUNDARIES  
This map is for illustration purposes only  
and is not accurate to surveying, engineering  
or orthophotographic standards. Every effort  
has been made to ensure correctness and  
timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys Ltd, Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ

2013 Urban and rural photography Jan/Feb 2013.  
Copyright DCC. CC BY 3.0 NZ.

2006/2007 Urban photography March 2007,  
copyright NZAM. Rural photography March 2008,  
copyright Teralink International Ltd.

J/290  
K.M.

28/3/72.

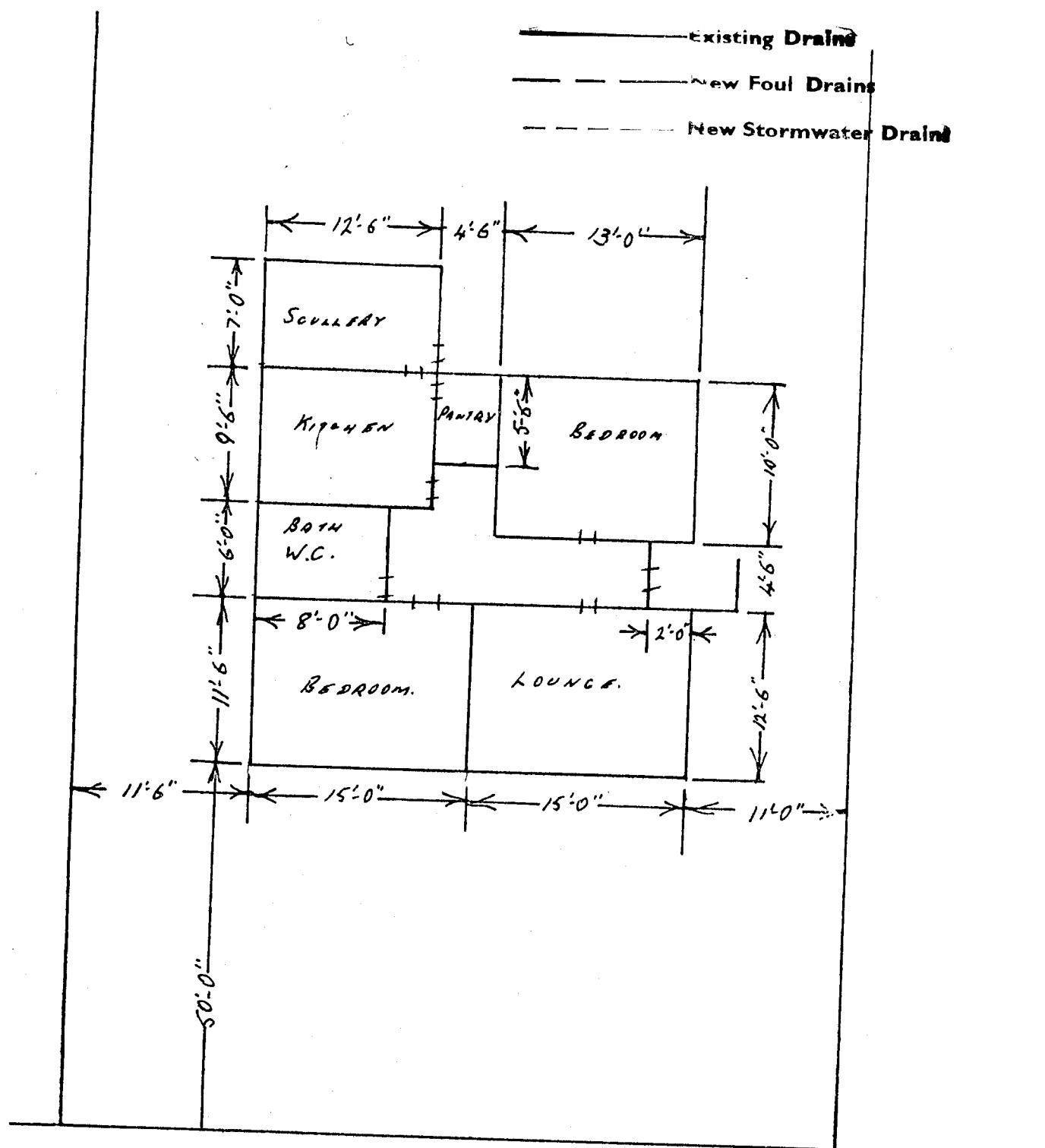
HOUSE AND SITE PLAN  
R.C. MONTGOMERY  
NO 4 ST LEONARDS  
ST LEONARDS.

LEGEND

— Existing Drains

— — — New Foul Drains

— — — New Stormwater Drains



ST LEONARD RD

DUNEDIN DRAINAGE AND SEWERAGE BOARD

# House Connection Plan

SCALE (TO BE SHOWN)

NEW SEWERAGE DRAINS: RED : OLD DRAINS: FULL BLACK : STORMWATER: DOTTED BLACK

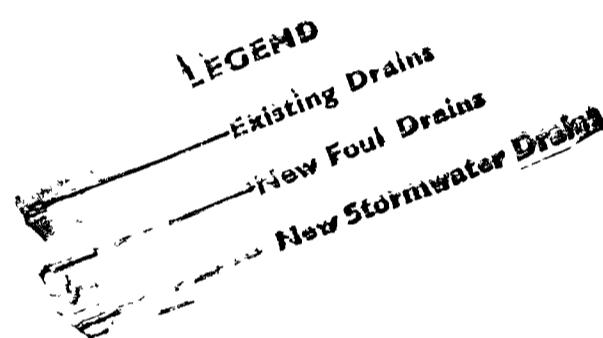
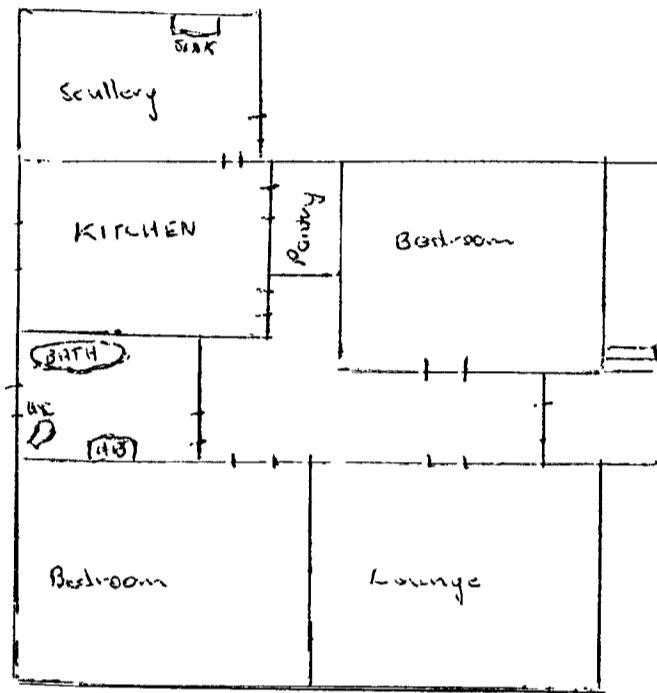
APPLICATION No. J/1076

DATE 2-10-72.

H.M.

Binding Margin to be left Blank

Signature of Drainer



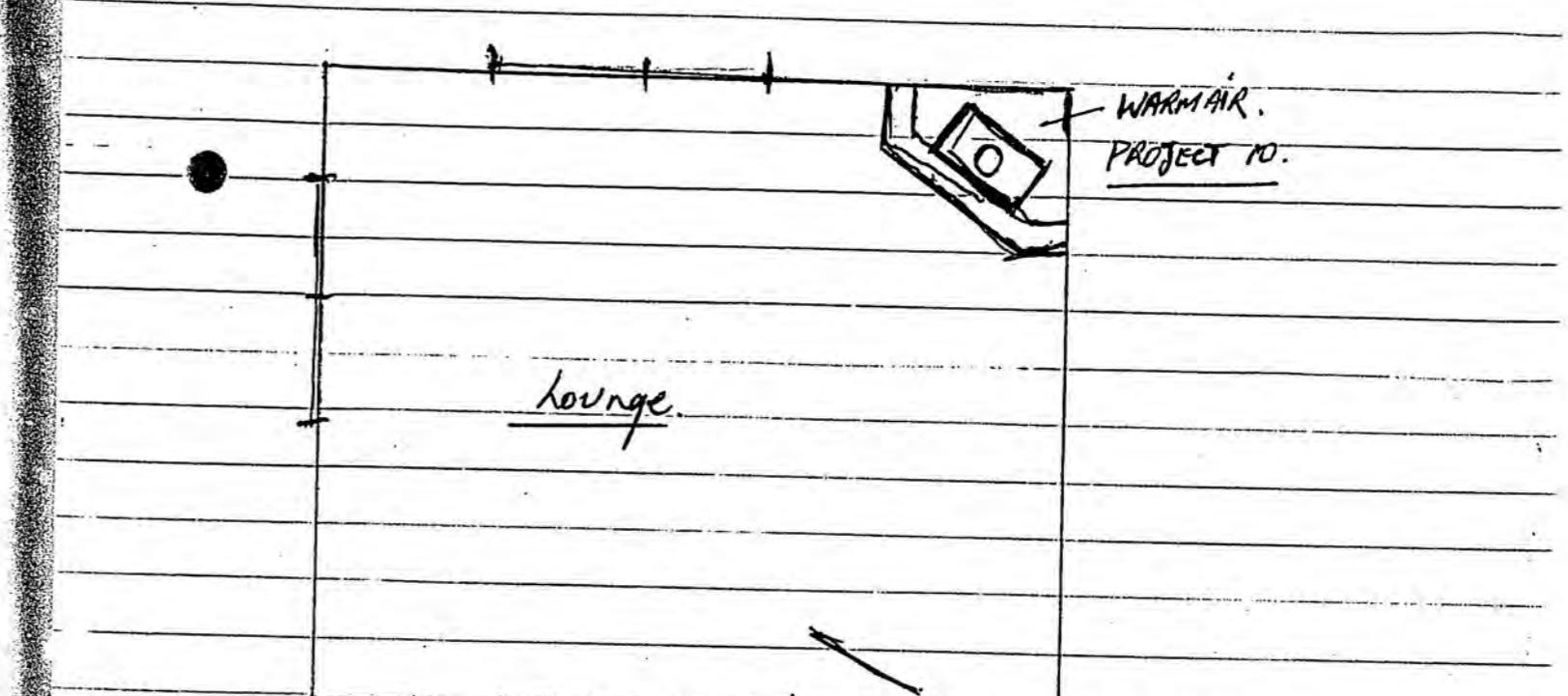
Owner Ronald Charles Montgomery

Street & Locality 7 St Leonards Road, St Leonards, Dun.

Block 1 Hastings Section 2

Allotment

8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36



4 ST LEONARDS RD.

DUNEDIN CITY CORPORATION  
COPY OF APPROVED PLAN  
OR SPECIFICATION  
TO BE RETAINED ON WORKS  
AND PRODUCED ON REQUEST  
OF BUILDING INSPECTOR.

DATE 24-8-83  
R. A. Jennings, CITY ENGINEER

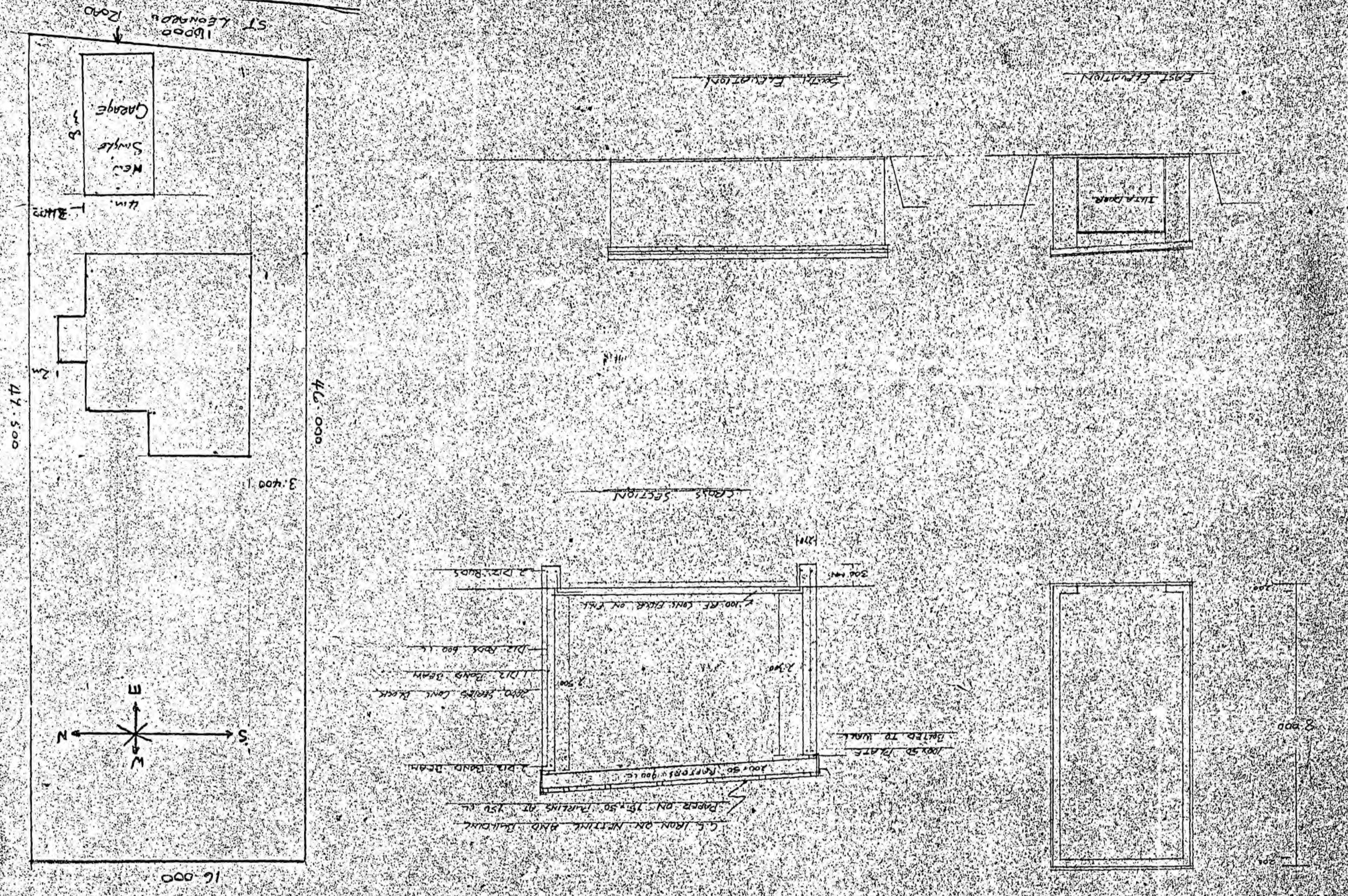
CITY PLANNING DEPARTMENT  
Pursuant to the provisions of the District Scheme, these  
plans and specifications are approved, provided that  
no change shall be made to the details shown hereon,  
and contained in the specification attached hereto,  
and subject to

23/8/83

5574

R1-R2-B

Signed *R. A. Jennings*  
for City Planning Officer



Processor Single Cache L1 L2 MRU S: HyperCache

1978, and the Board's By-laws. A separate application to the Drainage Board for planning  
drainage work is required. Such work shall comply fully  
with the Plumbers, Gasfitters and Drainlayers Act 1978, Drainage  
and Drainlayers Regulations 1977, Drainage and Plumbing  
1978, and the Board's By-laws. *Shed Channel*

Stormwater to be discharged to street channel  
as well as sealed areas or  
as required by Open Space Act

Mr. Gillette

Copy of proposed Plan  
and/or Specification  
TO THE STATE OF  
AND PROVINCE OF  
OF BOMBAY DATED  
12.8.36.  
M. M. 12.8.36.

21/7/87

Signed  for City Planning Officer

A metric ruler with markings every 1 mm. The numbers are: 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400.

DUNEDIN DRAINAGE &

SEWERAGE BOARD

Installation of Wetback Heaters

All work involved in installing the wetback and water pipework must be carried out by a Craftsman Plumber under permit from the Board. A separate application is required for this permit.

The work must comply with the requirements of the Drainage and Plumbing Regulations 1978.

*O. H. Gray*  
26-1-89

1K17



Adequate support for brickwork required.  
Bricks to be tied to wall to N253604  
(25mm gir gap)  
Ap. F5-4, 1986

H.W. Cylinder to be  
tied against  
seismic movement  
to N.Z.S 4603-1985.

DUNEDIN CITY COUNCIL  
Copy of Approved Plan  
and/or Specification  
TO BE RETAINED ON WORKS  
AND PRODUCED ON REQUEST  
OF BUILDING INSPECTOR.

*O. H. Gray* DATE 27-1-89

FOR CITY ENGINEER

S. M. R. HIPPOLITE.

4 ST LEONARDS DRIVE.

ST LEONARDS  
DUNEDIN.

5741

# CODE COMPLIANCE CERTIFICATE No.: 94/4776

Section 43(3), Building Act 1991

ISSUED BY DUNEDIN CITY COUNCIL

BUILDING CONSENT No.: 94/4776

(Insert a cross in each applicable box. Attach relevant documents.)

PROJECT	PROJECT LOCATION
All	<input type="checkbox"/> Street Number:
Stage No. of an intended of:	MS J HIPPOLITE 4 ST LEONARDS DVE DUNEDIN
New or relocated building	<input type="checkbox"/>
Alteration	<input type="checkbox"/>
<b>LEGAL DESCRIPTION</b>	
Intended use(s) (in detail): HOUSING ALTERATION ADD TO DWG P/D	Property Number: 5010174
Intended Life: Indefinite, but not less than 50 years	Valuation Roll Number: 2670016000
Specified as years	Lot: 2 DP: 3737
Demolition	Section: Block: 1
	Survey District:

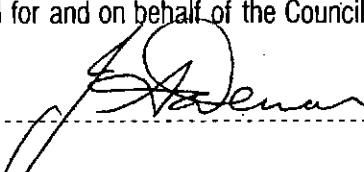
This is:

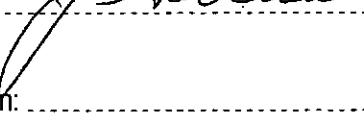
- A final code compliance certificate issued in respect of all of the building work under the above building consent
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent
- This certificate is issued subject to the conditions specified in the attached ..... page(s) headed "Conditions of Code Compliance Certificate No. ...." (being this certificate).

The Council charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are: \$ 0.00

Receipt No.:

Signed for and on behalf of the Council:

Name: 

Position: 

Date: 07.10.2.1995

**BUILDING CONSENT NO.:**

94/4776

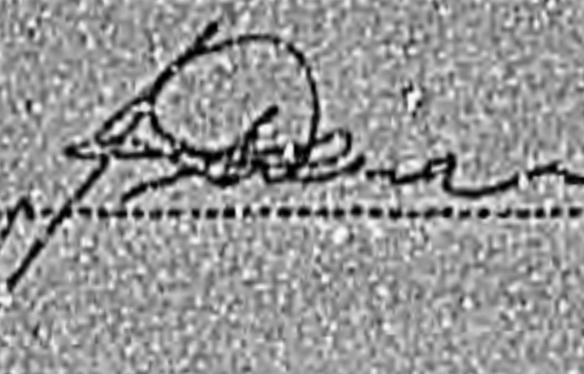
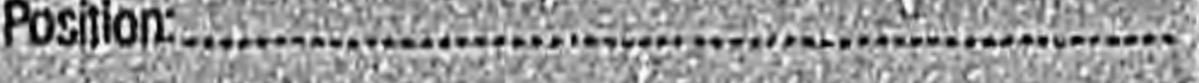
Project Information Memorandum No.:

**ISSUED BY**

Section 35, Building Act 1991

DUNEDIN CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents.)

<b>APPLICANT</b>		<b>PROJECT</b>	
Name: MS M HIPPOLITE	Mailing Address: C/-178 BALNACEWAN RD DUNEDIN	All <input checked="" type="checkbox"/> Stage No. X of an intended of:  New Building <input type="checkbox"/> Alteration <input type="checkbox"/>	<input type="checkbox"/>
<b>PROJECT LOCATION</b>			
Street Address: 4 ST LEONARDS DVE DUNEDIN	Intended Use(s) (in detail): HOUSING ALTERATION ADD TO DWG P/D		
<b>LEGAL DESCRIPTION</b>			
Property Number: 5010174	Valuation Roll Number: 2670015000	Lot: 2 DP: 3737	Intended Life: Indefinite, but not less than 50 years <input checked="" type="checkbox"/> Specified as years <input type="checkbox"/>
Section: 1	Block: 1	Demolition <input type="checkbox"/>	Estimated Value: \$ 4,200.00
<b>COUNCIL CHARGES</b>			
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:		Signed for and on behalf of the Council:  Name:  Position: 	
Total: \$ 0.00	ALL FEES ARE G.S.T. INCLUSIVE	Date: 06.10.1997	

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached ..... pages, headed "Conditions of Building Consent No. /".

16-00001

**DUNEDIN CITY COUNCIL**

**Copy of Approved Plan  
and/or Specification**

**TO BE RETAINED ON WORKS  
AND PRODUCED ON REQUEST  
OF BUILDING INSPECTOR.**

**DATE 21-12-94**

**BUILDING INSPECTOR**

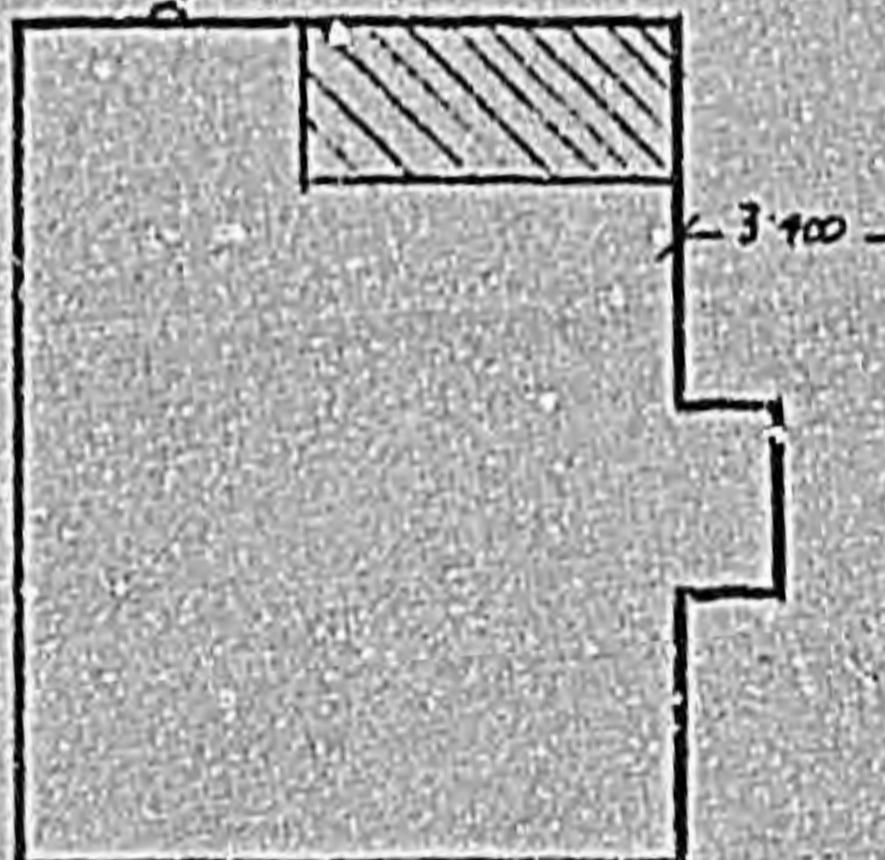
**DUNEDIN CITY COUNCIL**

**Plans and Specifications  
Approved in accordance with  
The New Zealand Building Code  
and Approved Documents.**

**Signed..... 8/12/94 Date 21/12/94**

47.100m

*existing G.T.*



*garage*

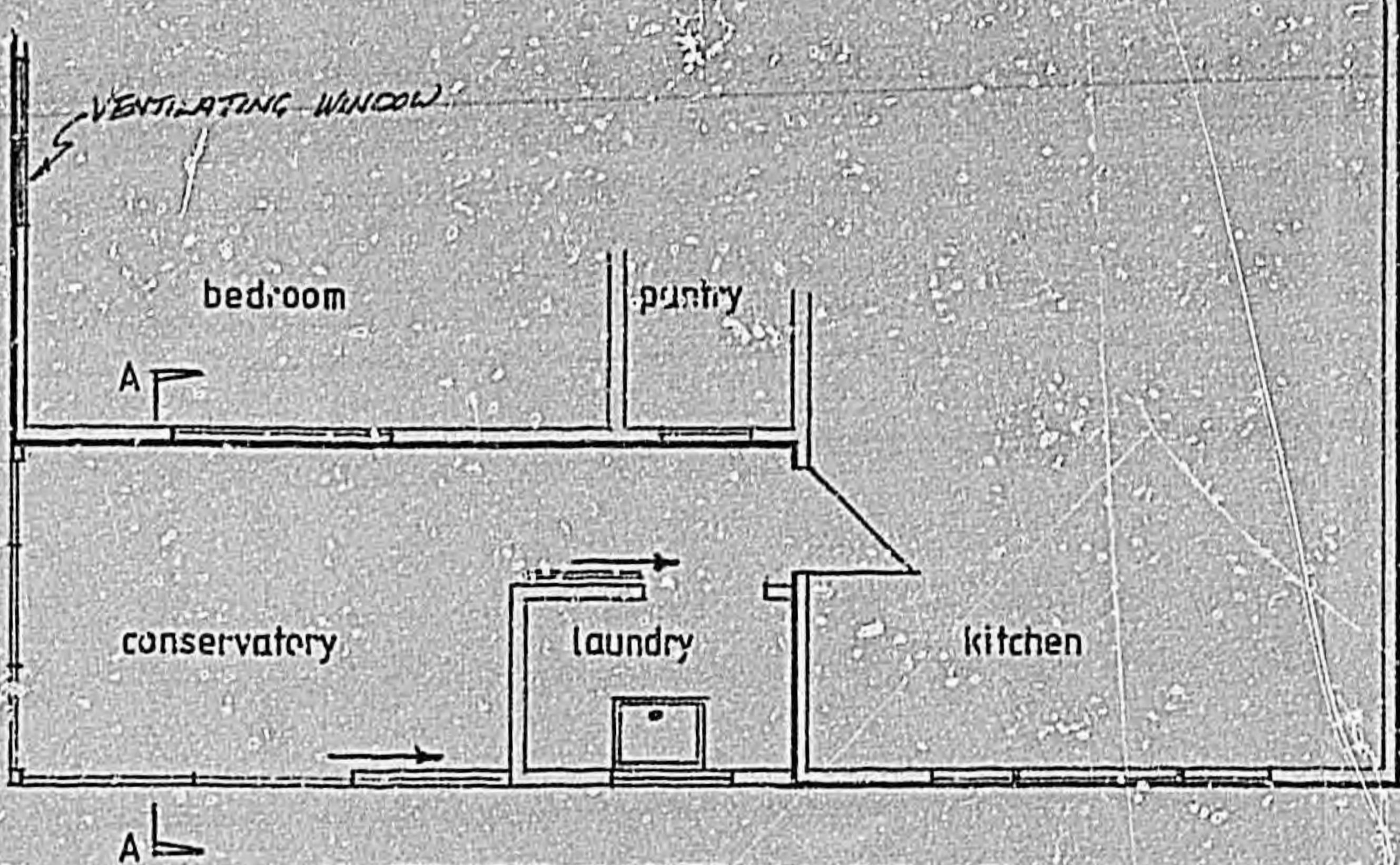
4

*ST LEONARDS DRIVE*

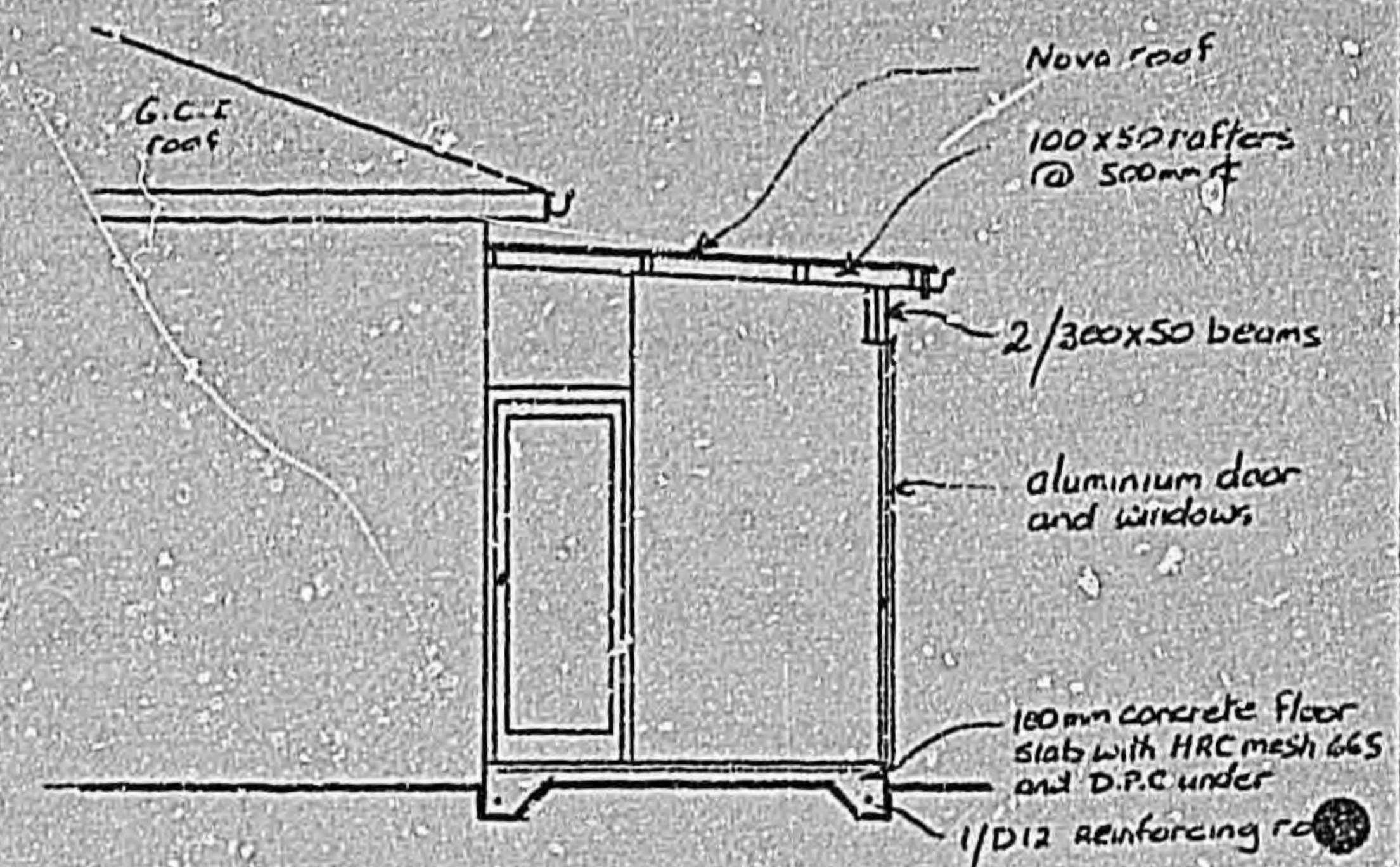
**SITE PLAN 1:200**

**4 ST LEONARDS DRIVE**

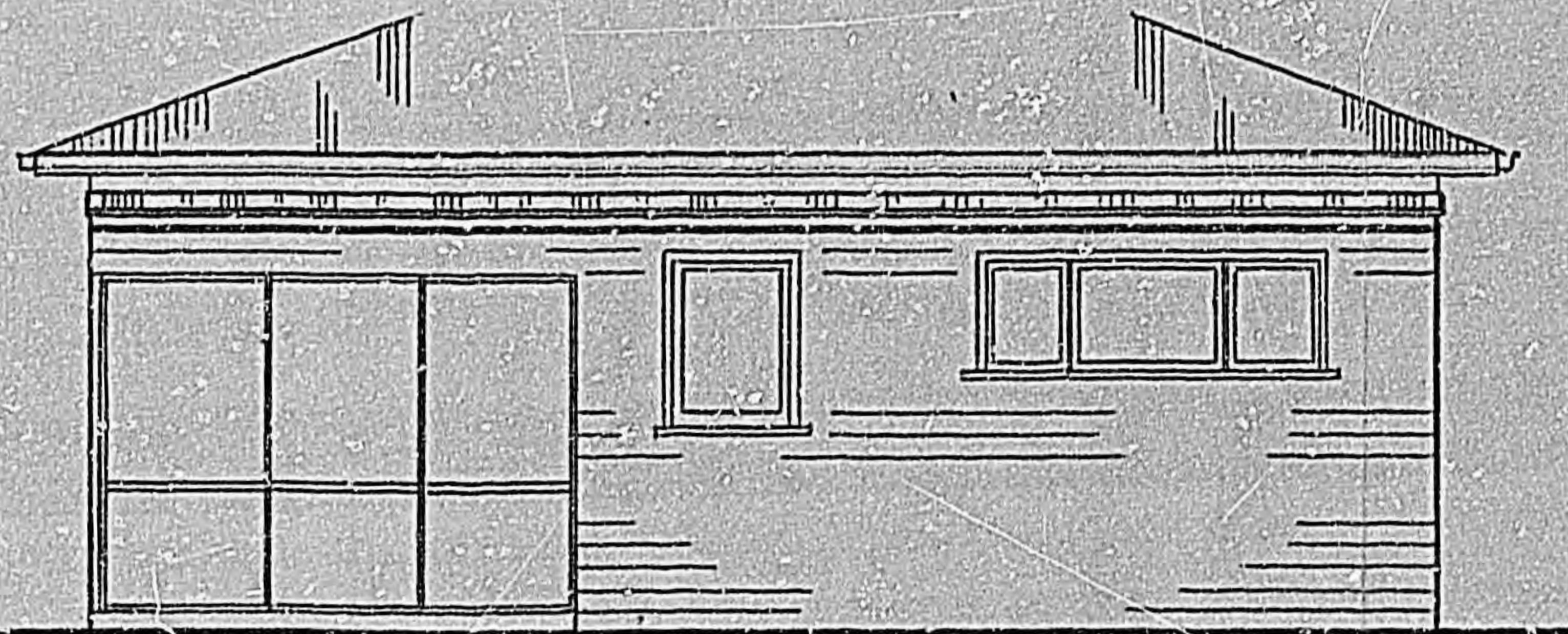
94/4776



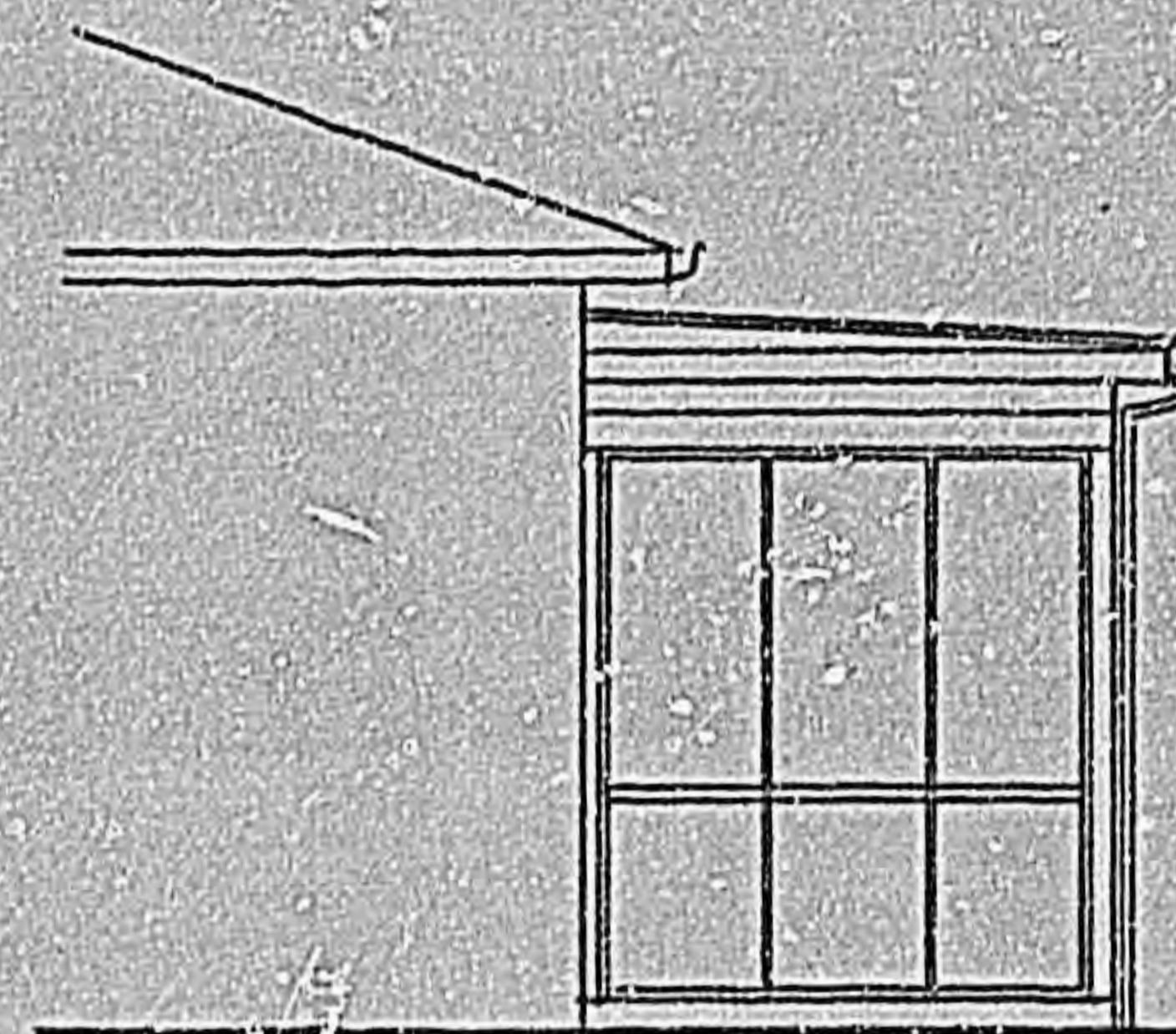
CONSERVATORY/LAUNDRY LAYOUT 1:50



SECTION A:A 1:50



REAR ELEVATION 1:50



END ELEVATION 1:50

# CODE COMPLIANCE CERTIFICATE



Section 43(3), Building Act 1991

ISSUED BY:

DUNEDIN CITY COUNCIL

50 THE OCTAGON, P.O. BOX 5045, DUNEDIN 9031, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	477-4000	CCC No:	ABA 963460	Reference No:	5010174
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
Name and Mailing Address:  STRANG, HELEN MARGARET C/O MONTECILLO HOME 79 EGLINTON RD DUNEDIN 9001	All <input checked="" type="checkbox"/>  Stage No ..... of an intended ..... stages <input type="checkbox"/>  New Building <input type="checkbox"/>  Alteration <input checked="" type="checkbox"/>
LEGAL DESCRIPTION	Intended Use(s) in detail:  PLB ALTS  Intended Life:  Indefinite, not less than 50 years <input checked="" type="checkbox"/>  Specified as ..... years  Demolition <input type="checkbox"/>
Property Number: 5010174 Valuation Roll No: 26700 16000  Street Address: 4 ST LEONARDS DRIVE, ST LEONARDS, DUNEDIN 900  Legal Description:  LOT 2 DP 3737	

This is:

- A final code compliance issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This certificate is issued subject to the conditions specified in the attached ..... page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$  
Receipt No:

Signed for and on behalf of the Council:

Name:.....

Position: AUTHORISED OFFICER

Date: 25/11/1998

# BUILDING CONSENT



Section 35, Building Act 1991

ISSUED BY: DUNEDIN CITY COUNCIL

50 THE OCTAGON, BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE (03) 477-4000. FACSIMILE (03) 474-3594

Telephone No:	474-3525	Consent No:	ABA 963460	Reference No:	5010174
---------------	----------	-------------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: STRANG, HELEN MARGARET	All <input checked="" type="checkbox"/>
Mailing Address: C/O MONTECILLO HOME, 79 EGLINTON RD, DUNEDIN	Stage No ..... of an intended ..... stages
PROJECT LOCATION	
Street Address: 4 ST LEONARDS DRIVE, ST LEONARDS, DUNEDIN	New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/>
LEGAL DESCRIPTION	Intended Use(s) in detail: PLB ALTS
Property Number: 5010174	Intended Life: Indefinite, not less than 50 years <input type="checkbox"/>
Valuation Roll No: 26700 16000	Specified as years
Legal Description: LOT 2 DP 3737	Demolition <input type="checkbox"/>
	Estimated Value: \$4000
COUNCIL CHARGES	Signed for and on behalf of the Council: Name: <u>Heaven</u>
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:	Position: AUTHORISED OFFICER Date: 02/09/1996
Total: \$	
ALL FEES ARE GST INCLUSIVE	

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached ..... pages headed "Conditions of Building Consent No....."

# CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

Telephone No:	477-4000	CCC No:	ABA 32261	Reference No:	5010174
---------------	----------	---------	-----------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
<p>Name and Mailing Address:</p> <p>MOLS, JOHANNA YVONNE 4 ST LEONARDS DRIVE ST LEONARDS DUNEDIN 9001</p>	<p>All <input checked="" type="checkbox"/></p> <p>Stage No .....of an intended .....stages <input checked="" type="checkbox"/></p> <p>New Building <input type="checkbox"/></p> <p>Alteration <input checked="" type="checkbox"/></p>
LEGAL DESCRIPTION	<p>Intended Use(s) in detail: HEATER-KENT SPECTRA</p> <p>Intended Life:</p> <p>Indefinite, not less than 50 years <input checked="" type="checkbox"/></p> <p>Specified as ..... years <input type="checkbox"/></p> <p>Demolition <input type="checkbox"/></p>
<p>Property Number: 5010174 Valuation Roll No: 26700 16000</p> <p>Street Address: 4 ST LEONARDS DRIVE, ST LEONARDS, DUNEDIN 900</p> <p>Legal Description: LOT 2 DP 3737</p>	

This is:

A final code compliance issued in respect of all of the building work under the above building consent.

An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.

This certificate is issued subject to the conditions specified in the attached ..... page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$  
Receipt No:

Signed for and on behalf of the Council:

Name: .....

Position: AUTHORISED OFFICER

Date: 14/08/2003



# BUILDING CONSENT

Section 35, Building Act 1991

ISSUED BY:



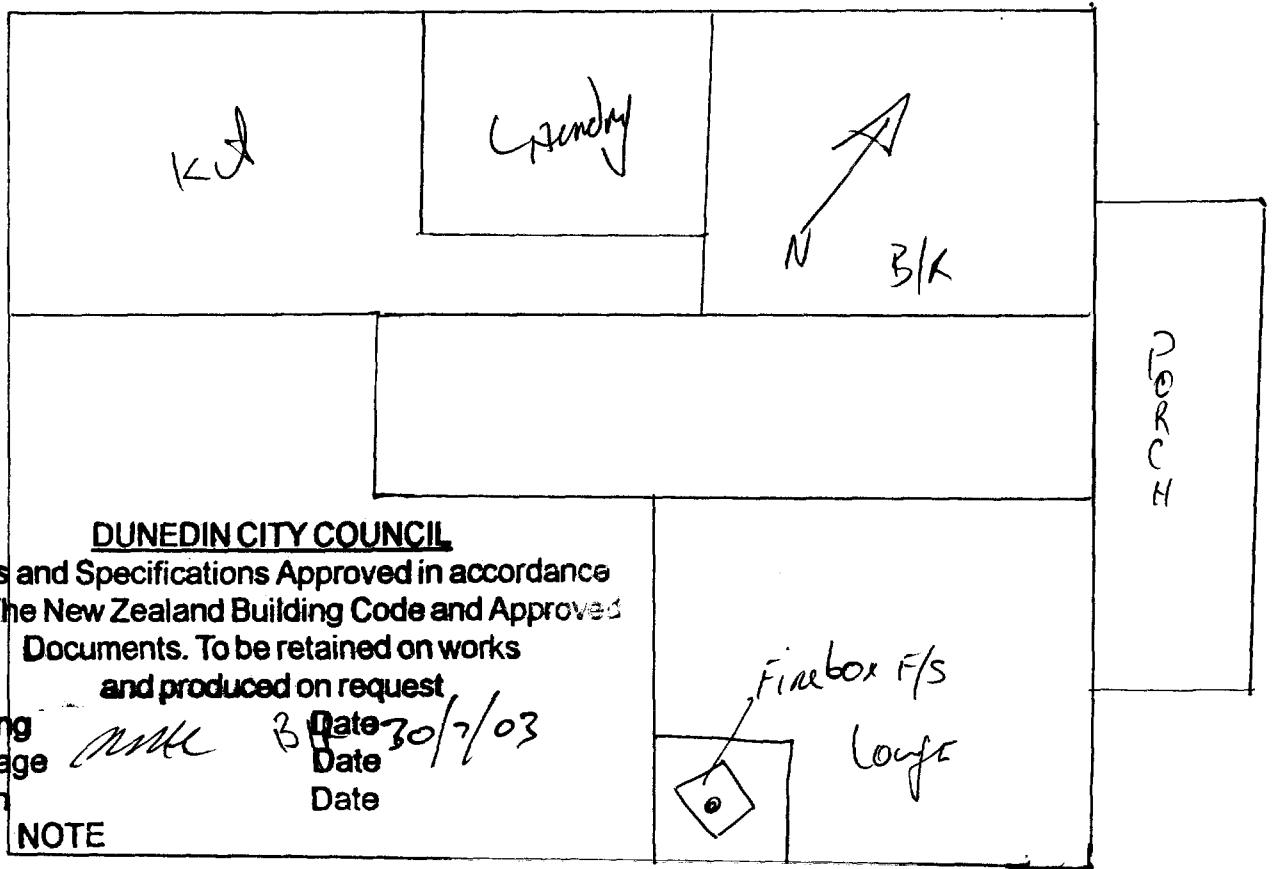
Telephone No:	477-4000	Consent No:	ABA 32261	Reference No:	5010174
---------------	----------	-------------	-----------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: MOLS, JOHANNA YVONNE 4 ST LEONARDS DRIVE ST LEONARDS DUNEDIN 9001	All <input checked="" type="checkbox"/> Stage No ..... of an intended ..... stages <input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: HEATER-KENT SPECTRA
Street Address: 4 ST LEONARDS DRIVE, ST LEONARDS, DUNEDIN 900	Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/> Estimated Value: \$1760
LEGAL DESCRIPTION	
Property Number: 5010174 Valuation Roll No: 26700 16000 Legal Description: LOT 2 DP 3737	Signed for and on behalf of the Council: Name: ..... <i>Mel</i> Position: AUTHORISED OFFICER Date: 31/07/2003
COUNCIL CHARGES	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:  Total: \$  ALL FEES ARE GST INCLUSIVE	

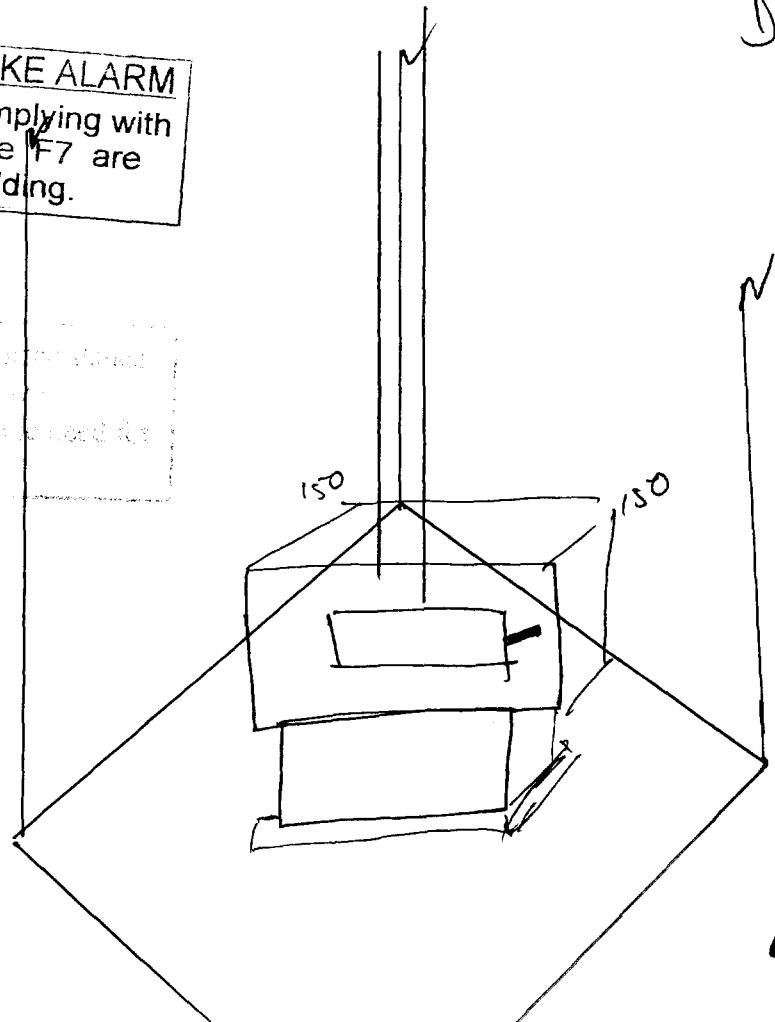
This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached ..... pages headed "Conditions of Building Consent No....."



04 ST (onwards)  
 D.R.I.C

**DOMESTIC SMOKE ALARM**  
 Smoke alarms complying with  
 the NZBC clause F7 are  
 required in this building.



ABA 32261



**DUNEDIN CITY**

*Kaunihera-a-rohe o Otepoti*

50 The Octagon, PO Box 5045, Dunedin 9031, New Zealand  
Telephone: 03 477 4000, Fax: 03 474 3594,  
Email: [dcc@dcc.govt.nz](mailto:dcc@dcc.govt.nz)  
[www.CityofDunedin.com](http://www.CityofDunedin.com)

## CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

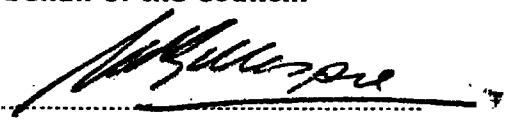
CCC NO:	ABA-2007-315755	Telephone No:	03 477 4000
APPLICANT	PROJECT		
H W Alchin 4 St Leonards Drive St Leonards Dunedin 9002	<b>Work Type:</b> Additions & Alterations  <b>Intended Use/Description of Work:</b> Install Parkwood YF2 Pellet Heater		
PROJECT LOCATION	<b>Intended Life:</b> Indefinite, not less than 50 years.		
LEGAL DESCRIPTION	<b>This CCC also applies to the following Amended Consents:</b>		
<b>Legal Description:</b> LOT 2 DP 3737 <b>Valuation Roll No:</b> 26700-16000 <b>Building Name:</b> N/A			

The building consent authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

**Signed for and on behalf of the Council:**

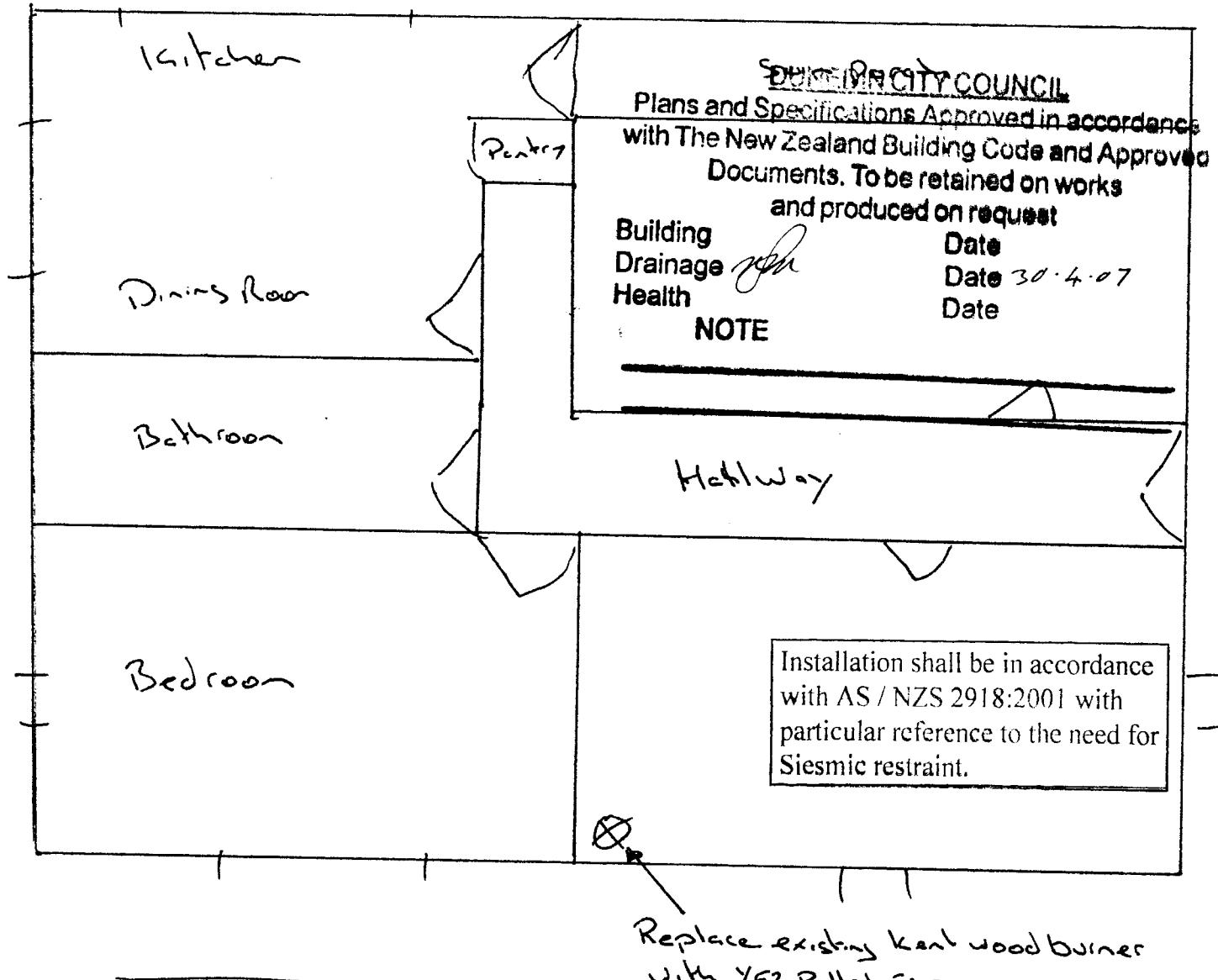
Name: 

Position: AUTHORISED OFFICER

Date: 10 May 2007

**DOMESTIC SMOKE ALARM**  
Smoke alarms complying with  
the NZBC clause F7 are  
required in this building.

4 St Leonards Drive



St Leonards Drive

AB97135755

## CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

CCC NO:	ABA-2008-942	Telephone No:	03 477 4000
<b>APPLICANT</b>		<b>PROJECT</b>	
H W Alchin 4 St Leonards Drive Saint Leonards Dunedin 9022		<b>Work Type:</b> Alterations/Repairs <b>Intended Use/Description of Work:</b> Alter Kitchen, Move Laundry, Add French Doors, Replace Pellet Fire.	
<b>PROJECT LOCATION</b>			
4 St Leonards Drive St Leonards			
<b>LEGAL DESCRIPTION</b>			
<b>Legal Description:</b> LOT 2 DP 3737 <b>Valuation Roll No:</b> 26700-16000 <b>Building Name:</b> N/A			
<b>This CCC also applies to the following Amended Consents:</b> N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

This Certificate is issued subject to the conditions specified:

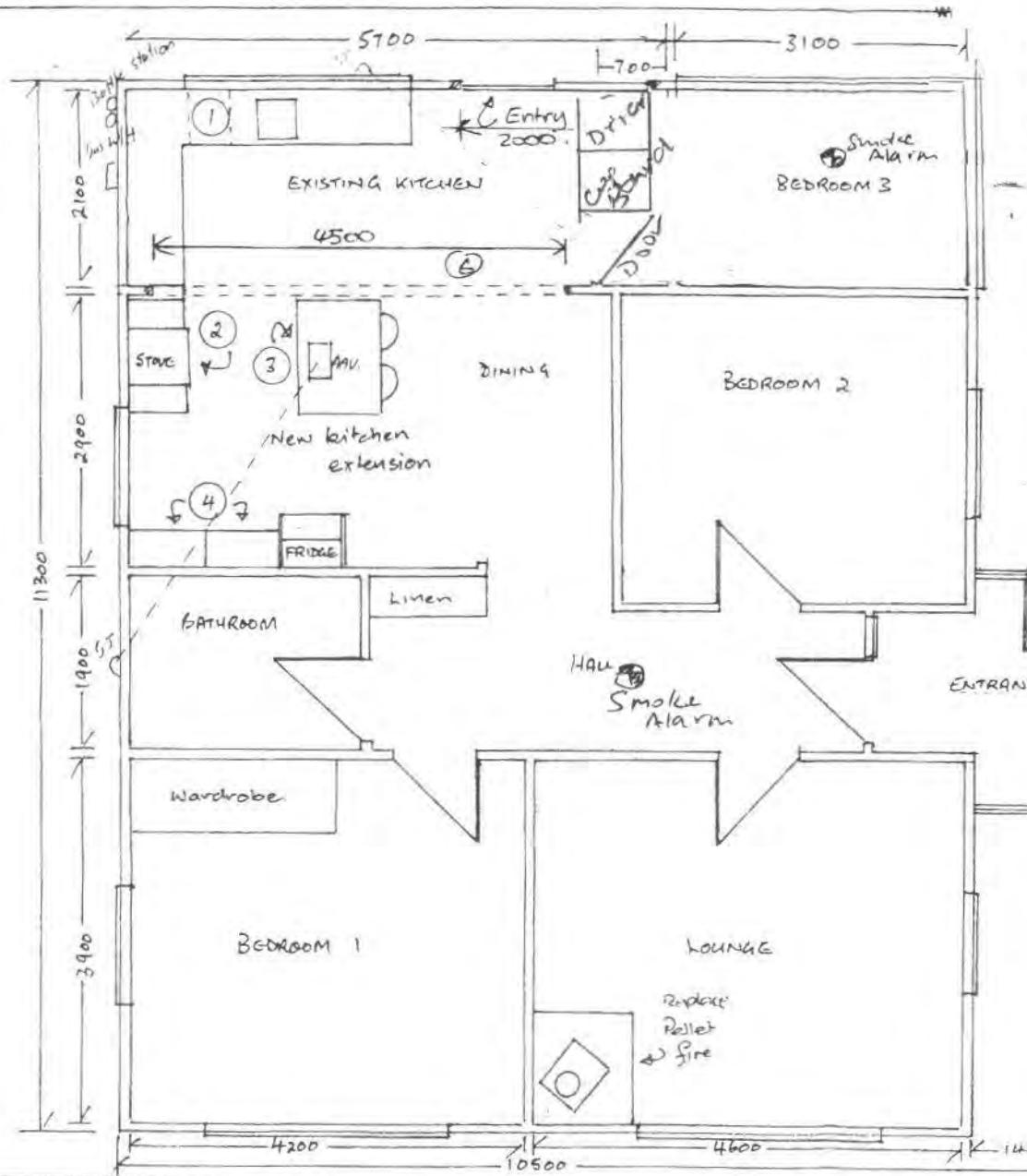
The Building Consent is subject to a modification to the Building Code to the effect that, Clause B2.3.1 applies from 30 September 2008 instead of from time of issue of the Code Compliance Certificate.

**Signed for and on behalf of the Council:**



**TEAM LEADER INSPECTIONS**

Date: 21 February 2012



### Floor As Built Plan

Received by: R Berland

Date: 16/12/12

ABA No: 2008-A42 ① Dishwasher under Bisazza bench insert

- ② Stove relocated with Bisazza benches either side
- ③ Work bench/island with cold water preparation sink.
- ④ New pantries with fridge.
- ⑤ Laundry cupboard, 100mm extract fan ducted to exterior. Semi gloss paint to walls & ceiling.
- ⑥ New Beam - refer to Sheet ③
- ⑦ New French doors (inward opening) 190 x 90 VSG8 H1.2 (Beam)  
All wall framing H1.2
- Wing floor coverings  
Kitchen, dining

Concept Drawings

03 455 6751 027 222 4751

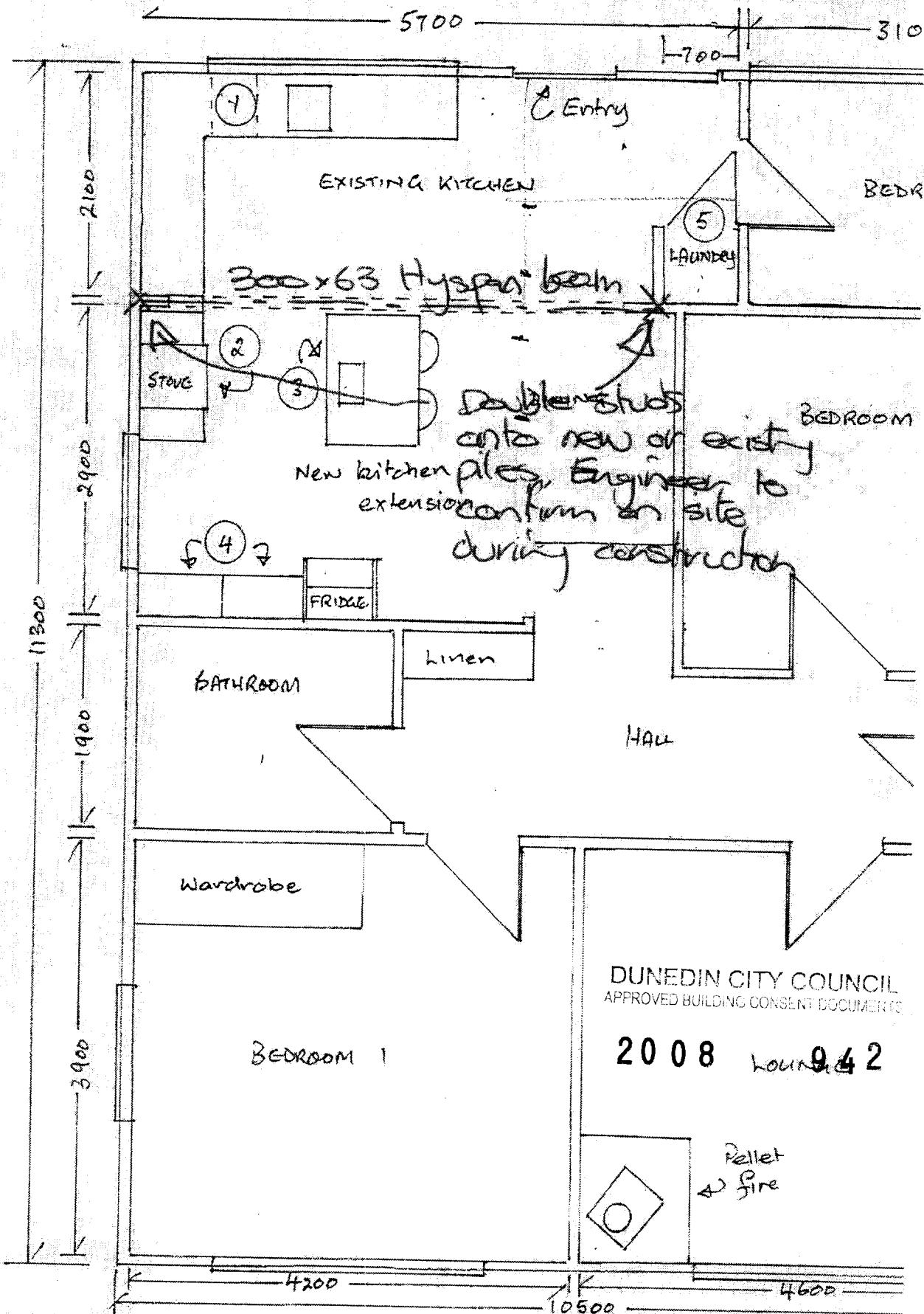
David J Mills

Client: Howard Alchin  
4 St Leonards Drive  
DUNEDIN

Scale: 1:500  
Date: 9/10/2007

Notes

AS BUILT PLAN



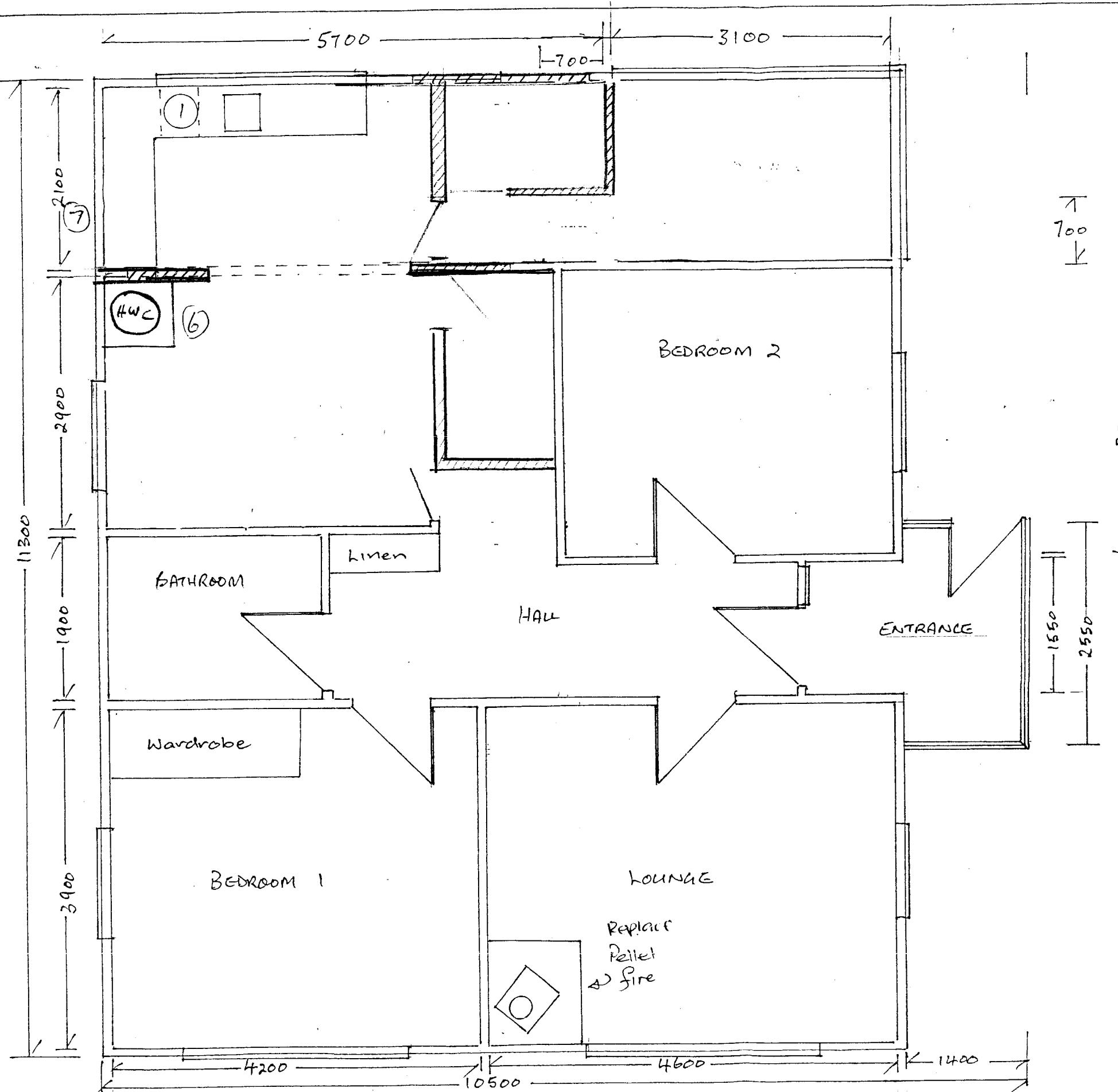
Concept Drawings

03 455 6751 027 222 4751

David J Mills

Client: Howard Alchin  
11 St Leonards Drive  
DUNEDIN

(3)



||||| walls - to be removed.

(6) Hot water cupboard to be replaced w gas infinity 26

(7) Gas bottle station + calorifier.

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

2008 942

Concept Drawings

03 455 6751 027 222 4751

David J Mills

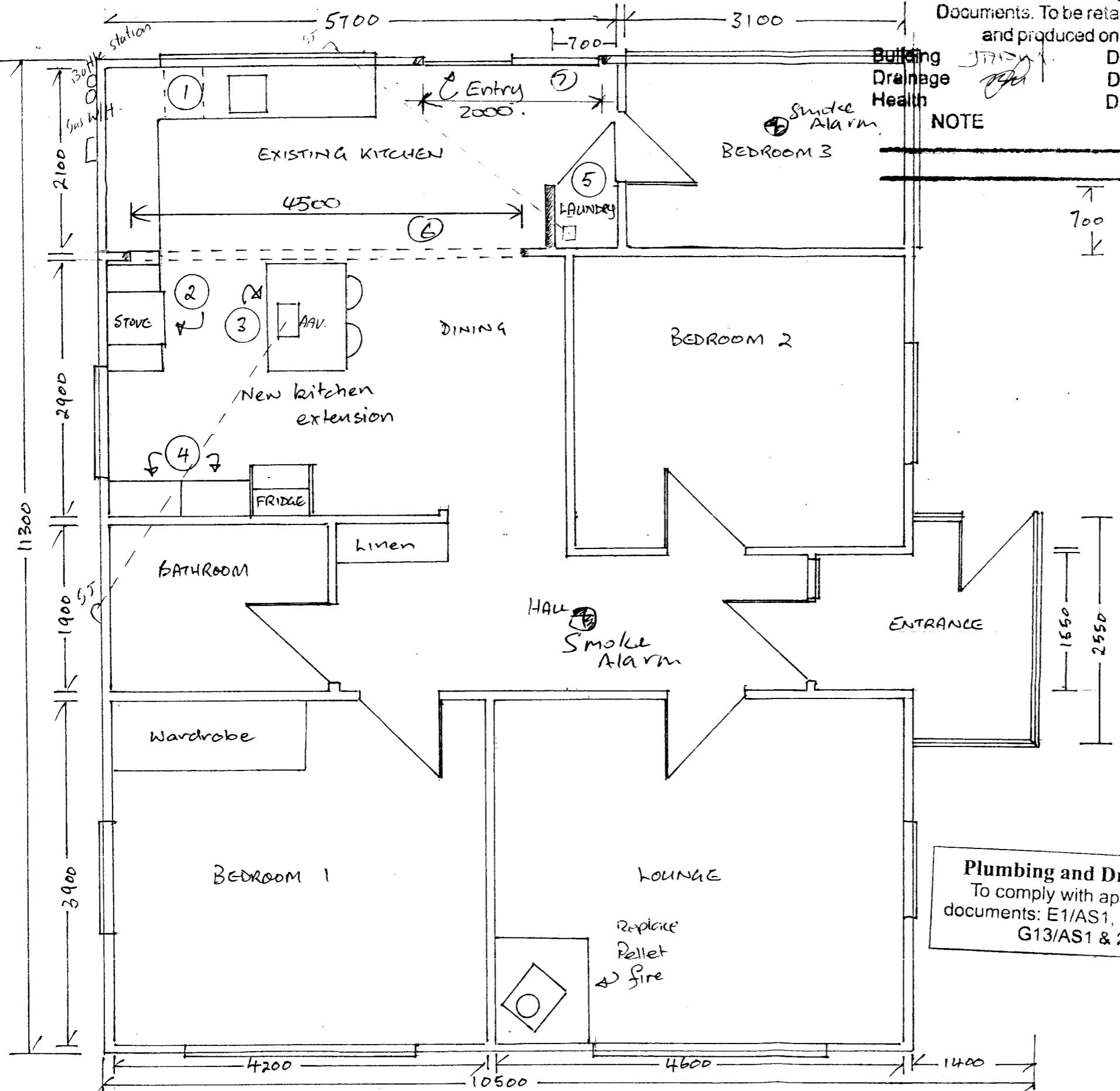
Client: Howard Alchin  
11 St Leonards Drive  
DUNEDIN

Scale: 1:500  
Date: 9/10/2007

Notes: Proposed kitchen alterations  
Existing plan - including demolition plan

Building Date 7/5/08  
Drainage Date 7/5/08  
Health Date

NOTE



1

2

3

4

5

6

7

All wall framing H1.2

Vinyl floor coverings,  
kitchen, dining,  
lau

2008 942

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENTS

Concept Drawings

03 455 6751 027 222 4751

David J Mills

Client: Howard Alchin  
11 St Leonards Drive  
DUNEDIN

Scale: 1:500  
Date: 9/10/2007

Notes: Proposed kitchen alterations  
PROPOSED PLAN

## Code Compliance Certificate Form 7

Section 95, Building Act 2004

P E Heron and J M Dodds  
4 St Leonards Drive  
Saint Leonards  
Dunedin 9022

### The building

**Street address of building:** 4 St Leonards Drive St Leonards

**Legal description of land where building is located:** LOT 2 DP 3737

**Building Name:** n/a

**Location of building within site/block number:**

**Level/unit Number:**

**Current, lawfully established, use:** Housing

**Number of occupants:** 2

**Year first constructed:** 1927

### The owner

**Name of owner:** P E Heron and J M Dodds

**Contact person:** P E Heron and J M Dodds

**Mailing address:** 4 St Leonards Drive, Saint Leonards, Dunedin 9022

**Street address/registered office:**

**Mobile:** 021 190 9007

**Landline:**

**Email address:** jennydodds21@gmail.com

**First point of contact for communications with the building consent authority:** As above

### Building work

#### **Building Consent Number:**

ABA-2018-1120 Extend Dwelling to Convert Study to Bedroom, Alter Kitchen/Dining Layout, Install External Sliding Door and 2 x External French Doors, Change External French Doors to Sliding Door, Add Verandah and Deck with Stairs

#### **This CCC also applies to the following amended consents:**

ABA-2019-949 - Amendment to ABA-2018-1120 - Decrease Size of Proposed Deck and Sliding Door, Alter Part Balustrade to Wing Walls, Alter Foundation and Floor Framing Plan

**Issued by:** Dunedin City Council

### Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that-

- (a) The building work complies with the building consent



### Team Leader Inspections

**On behalf of Dunedin City Council**

50 The Octagon | PO Box 5045 | Dunedin 9054, New Zealand | T 03 477 4000 | E [dcc@dcc.govt.nz](mailto:dcc@dcc.govt.nz) | [www.dunedin.govt.nz](http://www.dunedin.govt.nz)

 [DunedinCityCouncil](#)  [@DnCityCouncil](#)

Date: 10 June 2020

DCFB7A-F4-117-v4.0

**BUILDING CONSENT - ABA-2018-1120**

(Section 51, Building Act 2004)  
Form 5

**The building**

**Street address of building:** 4 St Leonards Drive St Leonards

**Legal description of land where building is located:** LOT 2 DP 3737

**Building Name:** N/A

**Location of building within site/block number:**

**Level/unit Number:**

**The owner**

**Name of owner:** P E Heron and J M Dodds

**Contact person:** P E Heron and J M Dodds

**Mailing address:** 4 St Leonards Drive, Saint Leonards, Dunedin 9022

**Street address/registered office:**

**Mobile:** 021 190 9007

**Landline:**

**Email address:** [paul.e.heron@googlemail.com](mailto:paul.e.heron@googlemail.com)

**First point of contact for communications with the building consent authority:** As above

**Building work**

**The following building work is authorised by this building consent:**

Extend Dwelling to Convert Study to Bedroom, Alter Kitchen/Dining Layout, Install External Sliding Door and 2 x External French Doors, Change External French Doors to Sliding Door, Add Verandah and Deck with Stairs

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

**Compliance Schedule**

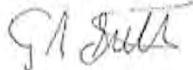
A compliance schedule is not required for the building.

**Attachments**

Copies of the following documents are attached to this building consent:

Project Consideration PCON-2018-261

List of required site inspections



Grant Sutton  
**Authorised Officer**  
**On behalf of Dunedin City Council**

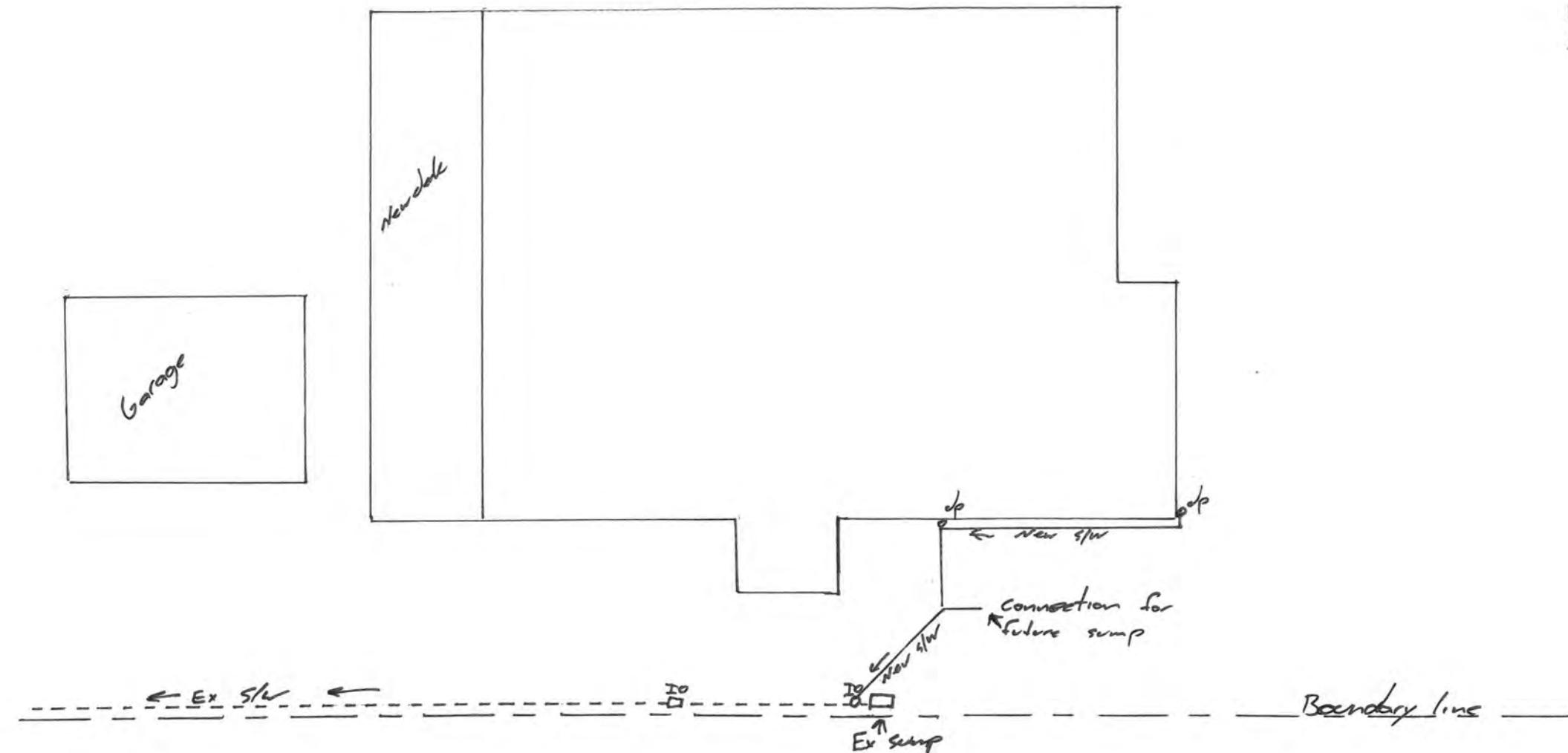
Date: 2 July 2018

# AS BUILT

ABA-2018-1120

As Built Plan

Received by: Kris Hillop  
Date: 21/08/2019  
ABA No: 2018 - 1120

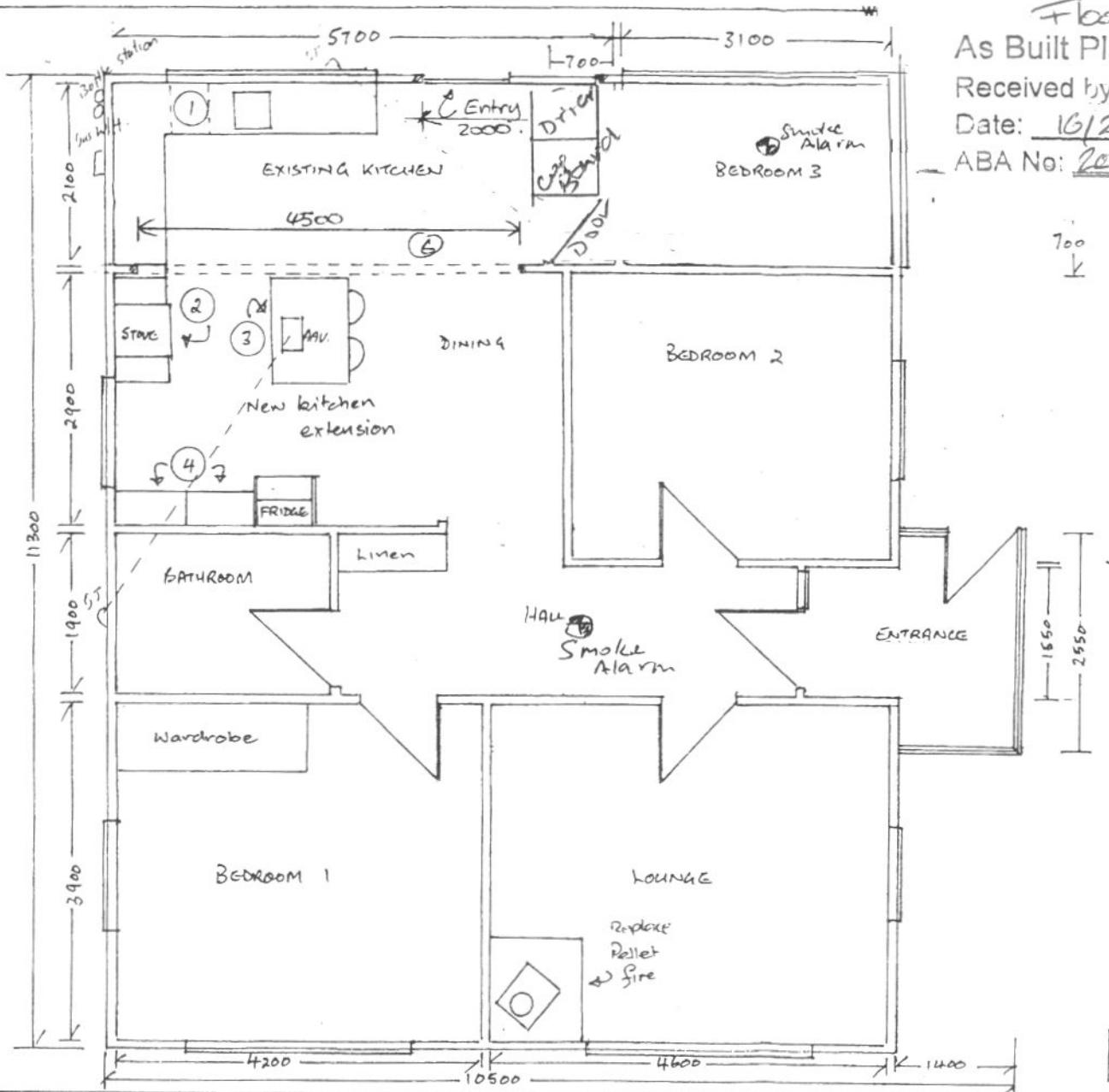


**BARRY DELL PLUMBING  
SERVICES (2001) LTD**

OFFICE & WORKSHOP:  
104 South Road, The Glen  
Telephone 455-4100 Fax 455-0871 Mobile 025-328-834

4 ST LEONARDS DR

SHEET		
DRAWN	CHECKED	SCALES
TRACED	DATE	REF
		1:100 A3



Floor

As Built Plan

Received by: R Berland

Date: 16/2/12

ABA No: 2008-942 ① Dishwasher under Bisazza bench insert

700

3300

1650 2550

② Stove relocated with Bisazza benches either side.

③ Work bench/island with cold water preparation sink.

④ New pantries with fridge.

⑤ Laundry cupboard. 100mm extract fan ducted to exterior. Semi gloss paint to walls & ceiling.

⑥ New Beam - refer to Sheet ③.

⑦ New French doors (inward opening) 190 x 90 VSG8 H1.2 (Beam).

All wall framing H1.2.

Vinyl floor coverings Kitchen, dining.

Concept Drawings

03 455 6751 027 222 4751

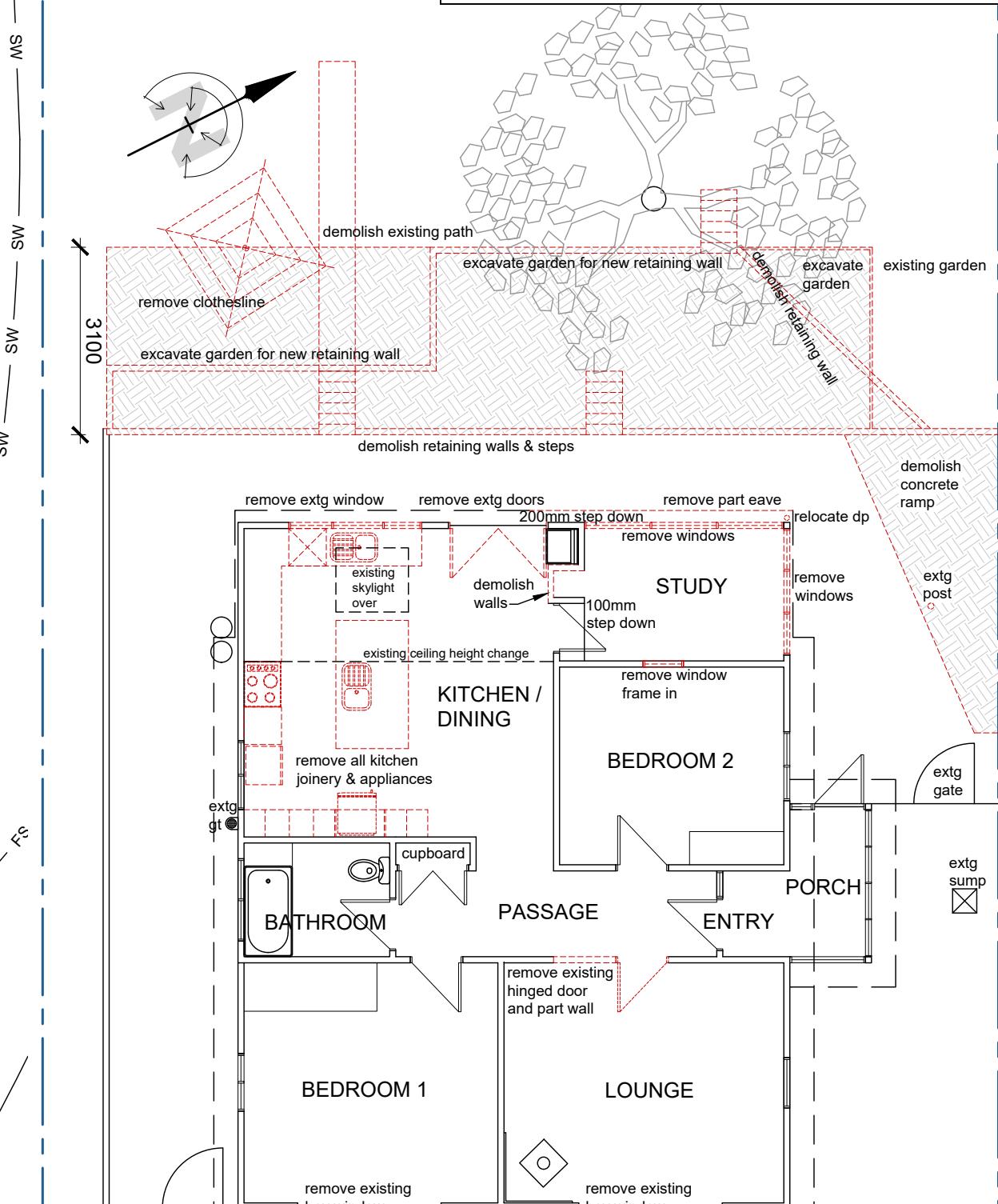
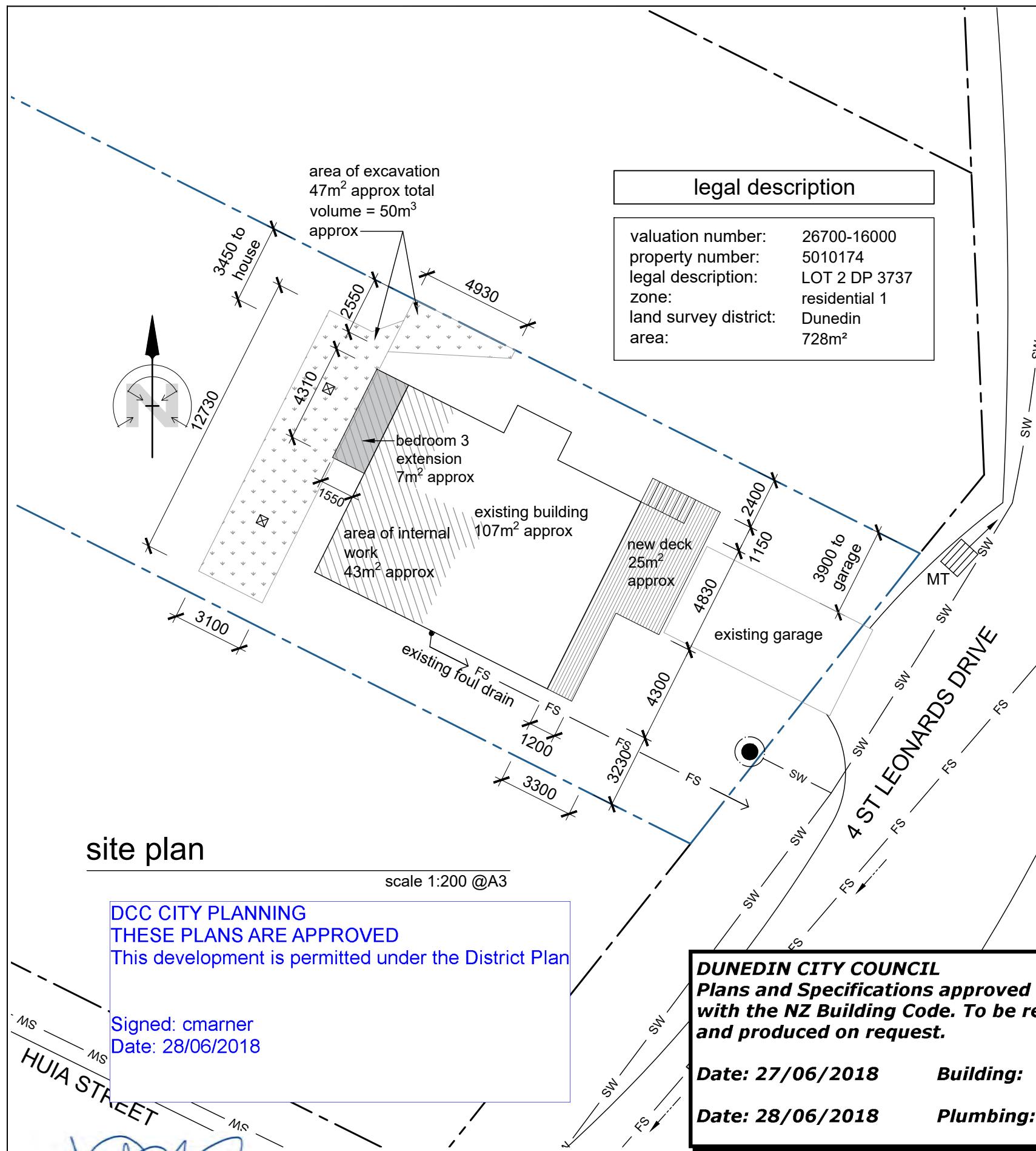
David J Mills

Client: Howard Alchin  
H. St Leonards Drive  
DUNEDIN

Scale: 1:500  
Date: 9/10/2007

Notes

AS BUILT PLAN



as built plan

## showing demolition

---

scale 1:100 @A3

**NOTES FOR CONTRACTOR:**

**NOTES FOR CONTRACTOR:**

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Proposed Alterations for:  
**Jenny Dodds & Paul Heron**  
4 St Leonards Drive, St Leonards, Dunedin

sheet title

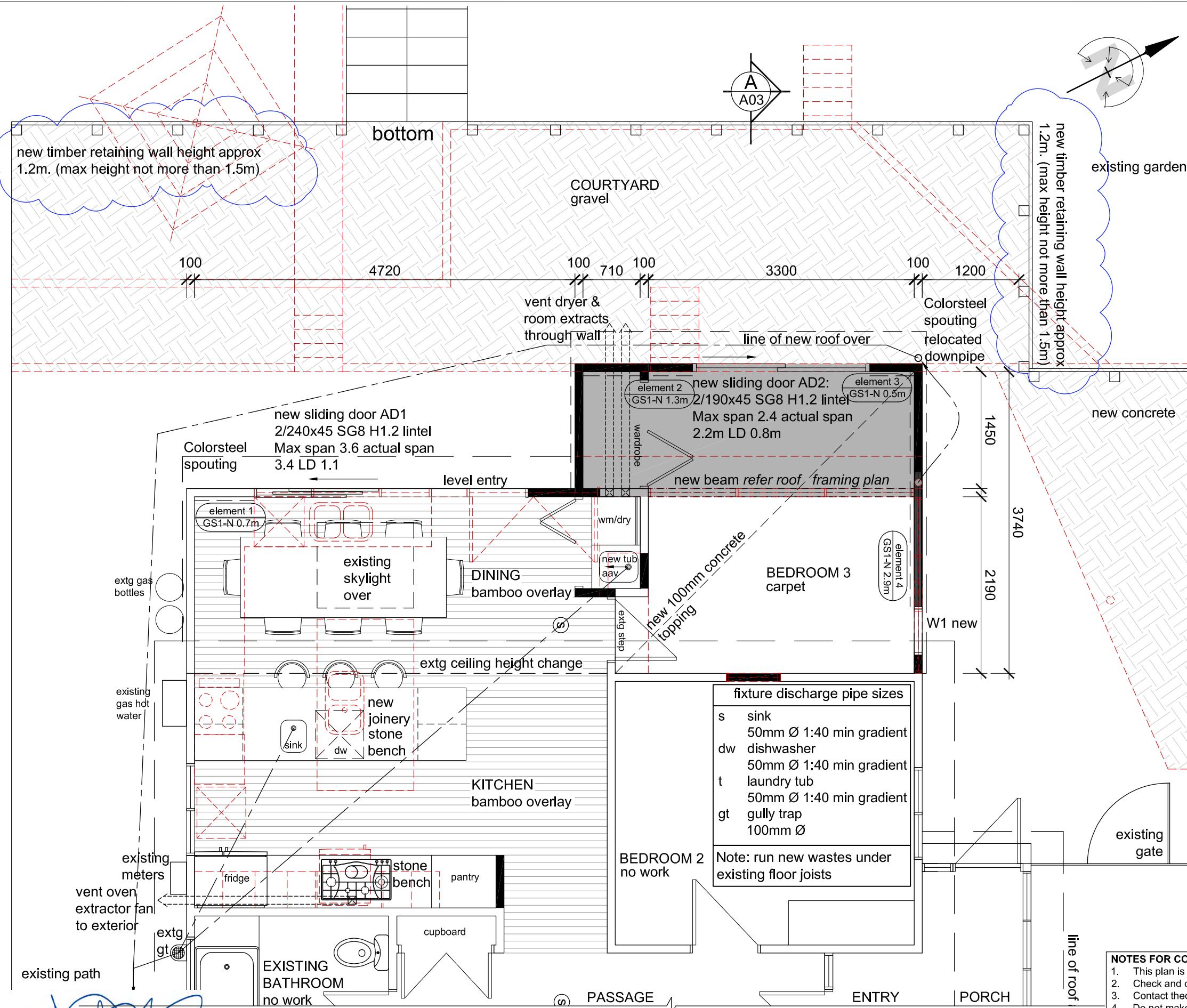
## site plan as built/demo plan

## Building Consent Issue

date:  
30/05/2018  
drawn: KM  
job #: 1762

sheet of 1

## LEGEND



NOTE: install domestic smoke alarms to comply with NZBC, section F7, clause 3.3.1  
NOTE: all timber to be SG8 KD PG radiata unless otherwise specified

## bracing systems specification

GIB GS1-N 10mm GIB standard fixed to one face 0.4m + horizontal or vertical  
Bracing installation in accordance with the manufacturers specifications. Ceiling runners installed to braced walls as indicated to comply with NZS3604:2011 8.7.3.4.

New bracing values exceed the values of the existing walls removed. No change to existing along values.

removed bracing across	new bracing across		
length (m)	W EQ (BU) (BU)	element	W EQ (BU) (BU)
3.3	1-side	66 59	1 41 41
			2 90 78
		<b>TOTAL</b>	<b>66 59</b>
		3 28 29	<b>TOTAL</b>
			<b>159 148</b>

removed bracing along	new bracing along		
length (m)	W EQ (BU) (BU)	element	W EQ (BU) (BU)
none	0 0	1	200 174
		<b>TOTAL</b>	<b>200 174</b>

REV	DATE	DESCRIPTION
A	27/06/2018	updated note about max height of retaining walls

## ground floor plan - rear

showing proposed alterations scale 1:50 @A3

## NOTES FOR CONTRACTOR:

1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
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4. Do not make any changes without the written approval of thedesignstudio.

date:	27/06/2018
drawn:	KM
job #:	1762

sheet of 12  
**A02**

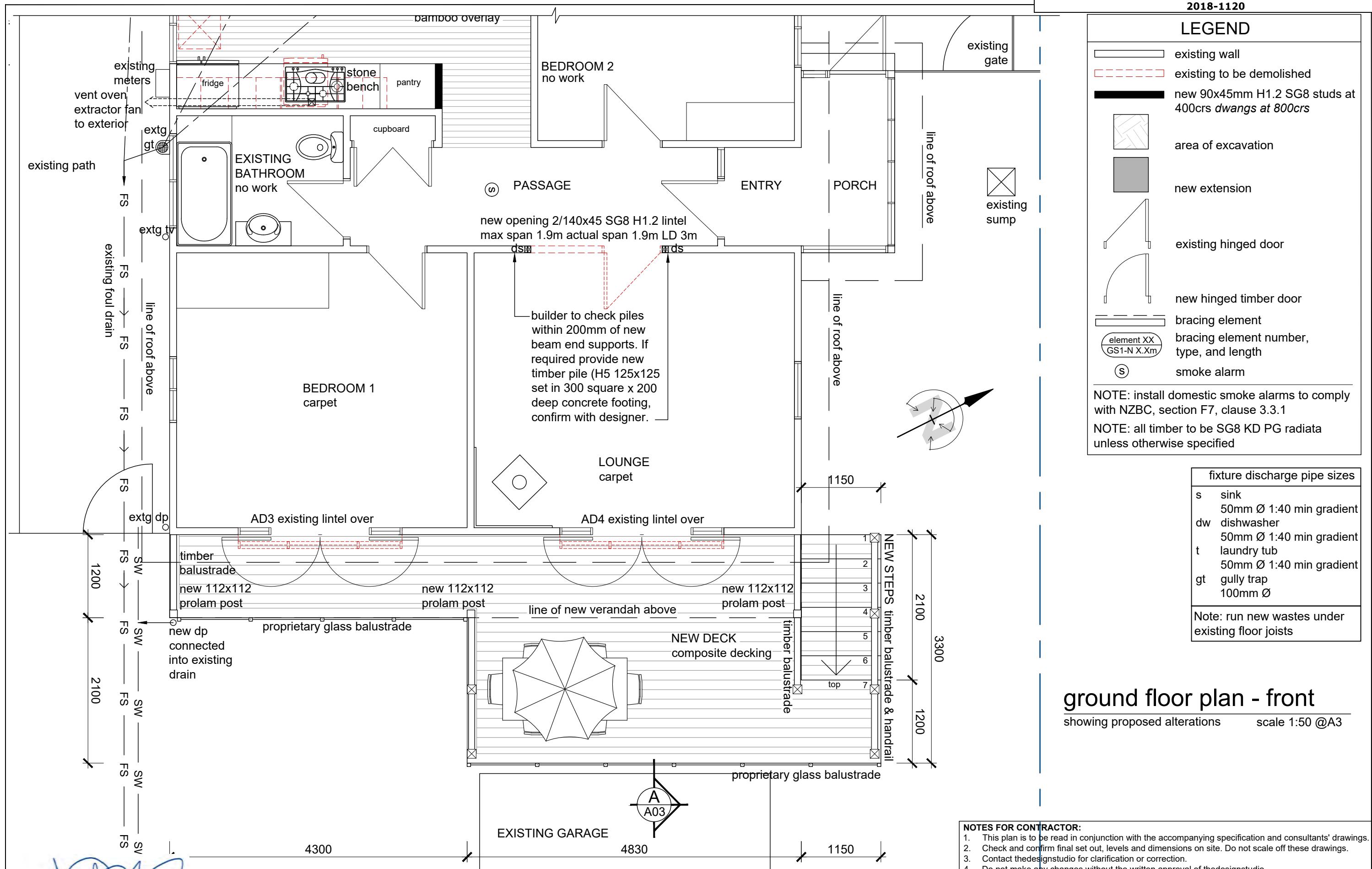


Proposed Alterations for:

**Jenny Dodds & Paul Heron**  
4 St Leonards Drive, St Leonards, Dunedin

sheet title

**proposed floor plan**



Proposed Alterations for:  
**Jenny Dodds & Paul Heron**  
4 St Leonards Drive, St Leonards, Dunedin

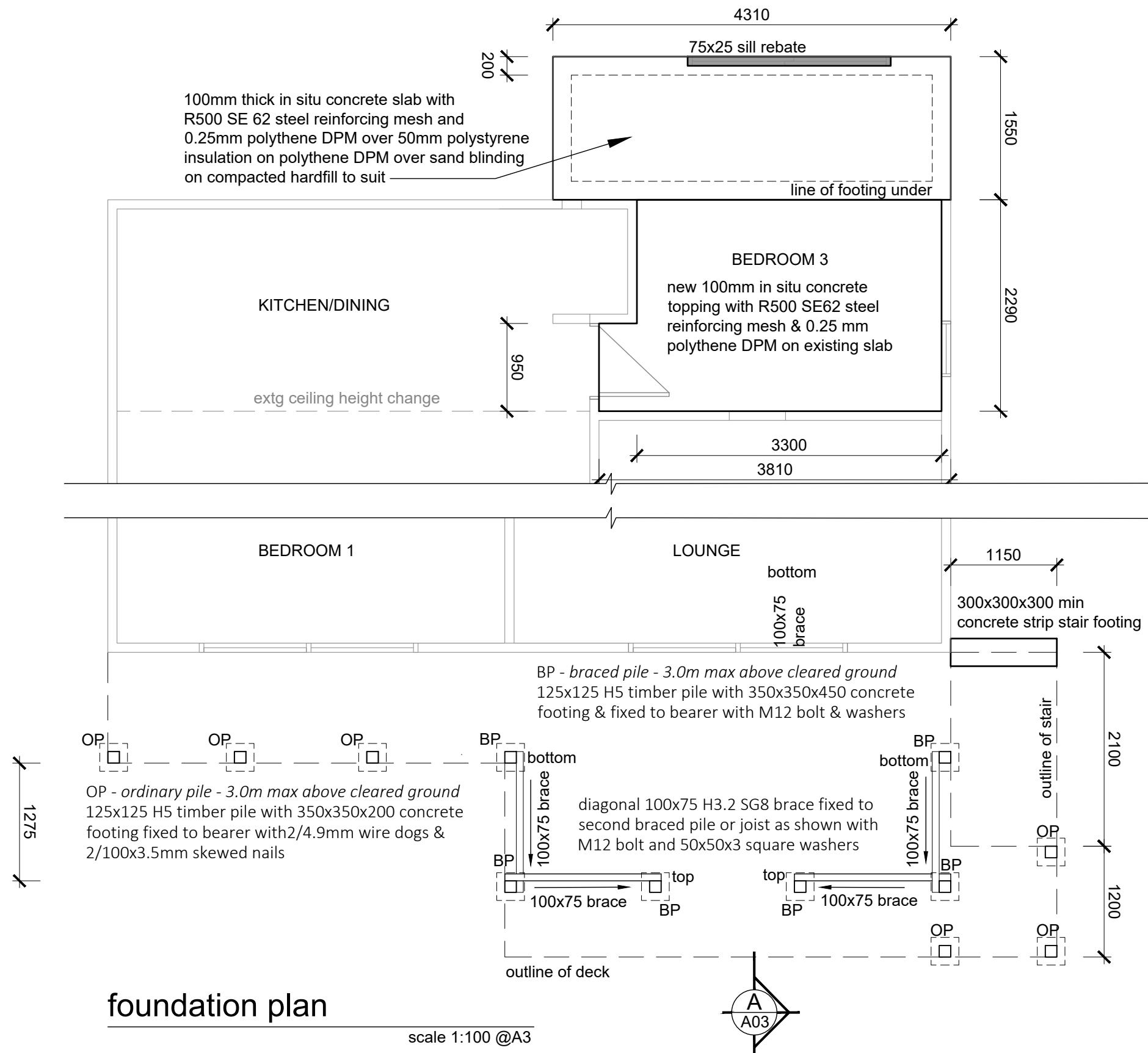
sheet title

**proposed floor plan**

**Building Consent  
Issue**

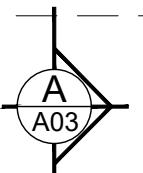
date: 30/05/2018  
drawn: KM  
job #: 1762

sheet of 12  
**A03**



## foundation plan

scale 1:100 @A3



## Proposed Alterations for:

# **Jenny Dodds & Paul Heron**

4 St Leonards Drive, St Leonards, Dunedin

sheet title

foundation plan  
scale 1:100

## Building Consent Issue

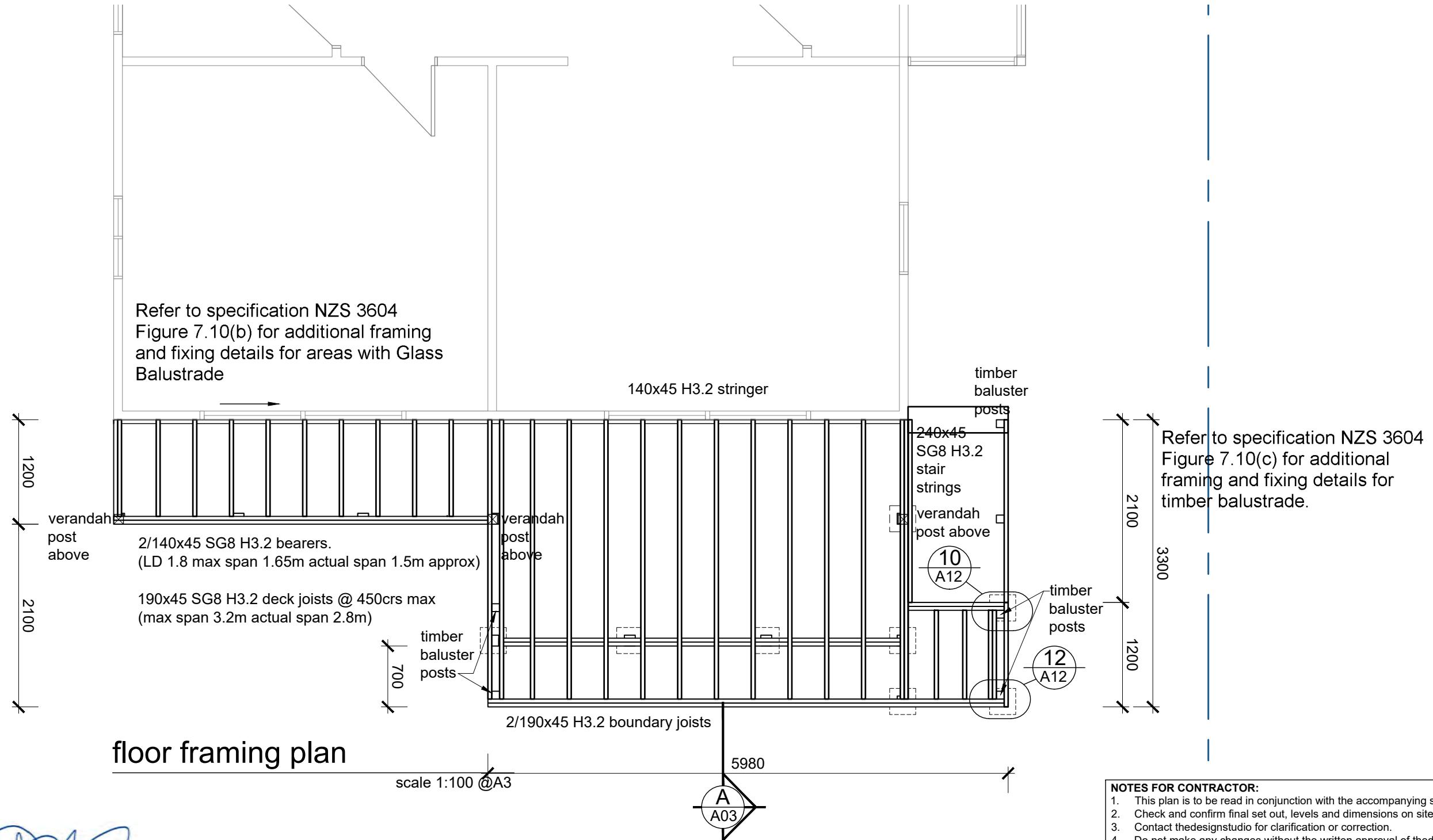
date: sheet of 12  
30/05/2018  
drawn: KM  
job #: 1762

**A04**

**NOTES FOR CONTRACTOR:**

**NOTES OR CONTRACTOR:**

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**NOTES FOR CONTRACTOR:**

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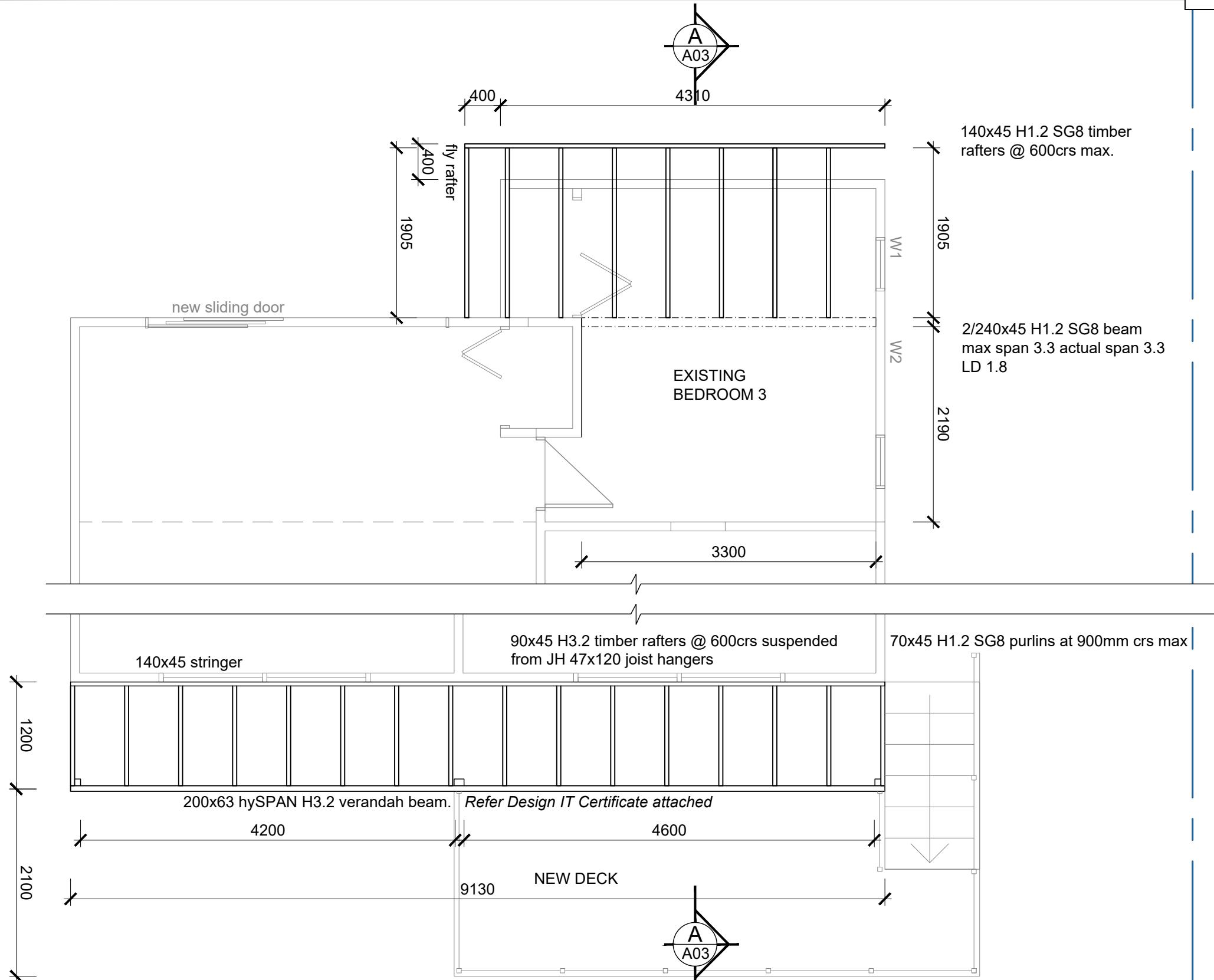
Proposed Alterations for:  
**Jenny Dodds & Paul Heron**  
4 St Leonards Drive, St Leonards, Dunedin

sheet title  
**deck framing plan**

**Building Consent  
Issue**

date: 27/06/2018  
drawn: KM  
job #: 1762

sheet of 12  
**A05**



## roof framing plan

showing proposed alterations

scale 1:100 @A3

### NOTES FOR CONTRACTOR:

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Proposed Alterations for:  
**Jenny Dodds & Paul Heron**  
4 St Leonards Drive, St Leonards, Dunedin

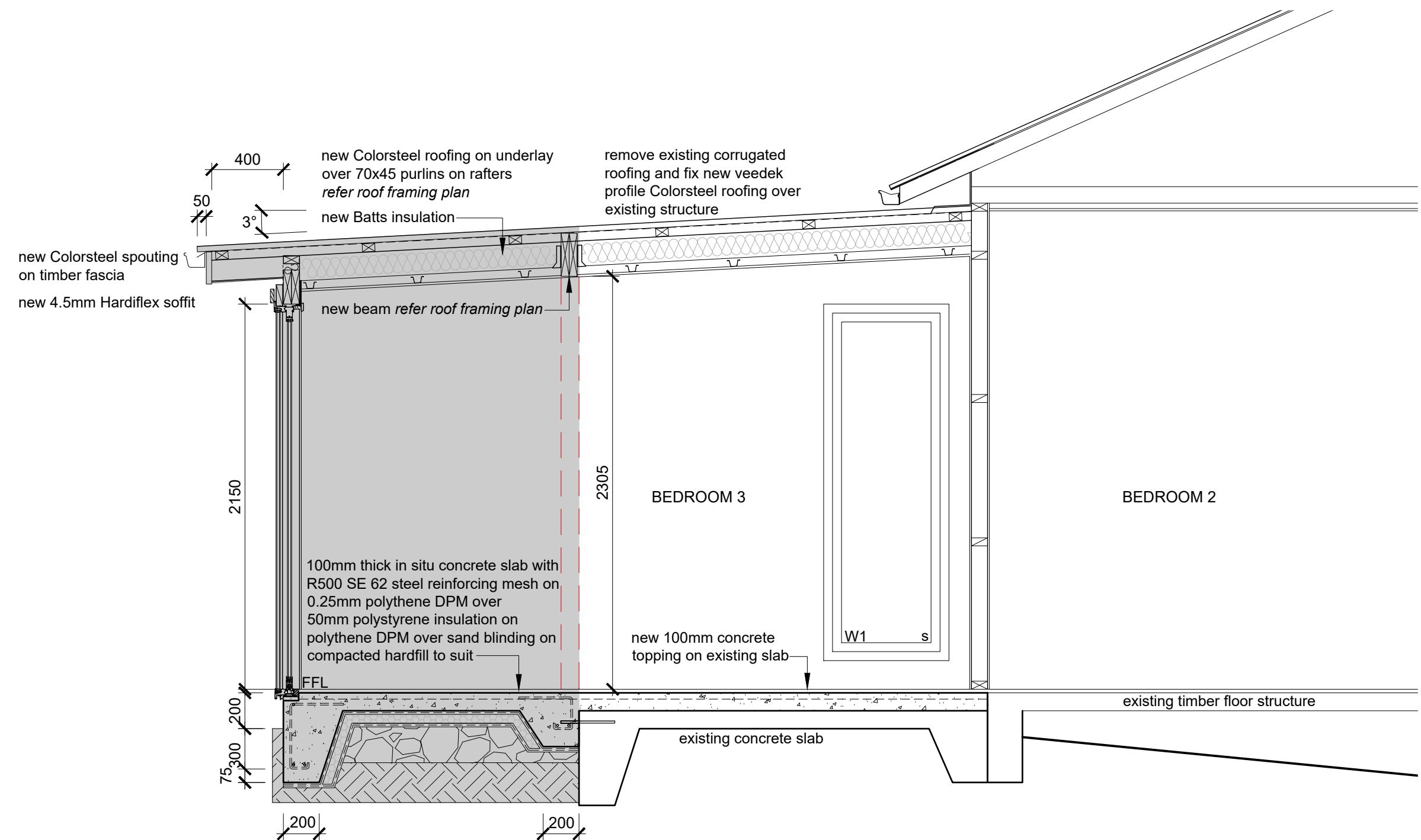
sheet title

roof framing plan

**Building Consent  
Issue**

date: 30/05/2018  
drawn: KM  
job #: 1762

sheet of 12  
**A06**



## cross section part 1

showing extension & back of house scale 1:100 @A3

### NOTES FOR CONTRACTOR:

1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
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Proposed Alterations for:  
**Jenny Dodds & Paul Heron**  
4 St Leonards Drive, St Leonards, Dunedin

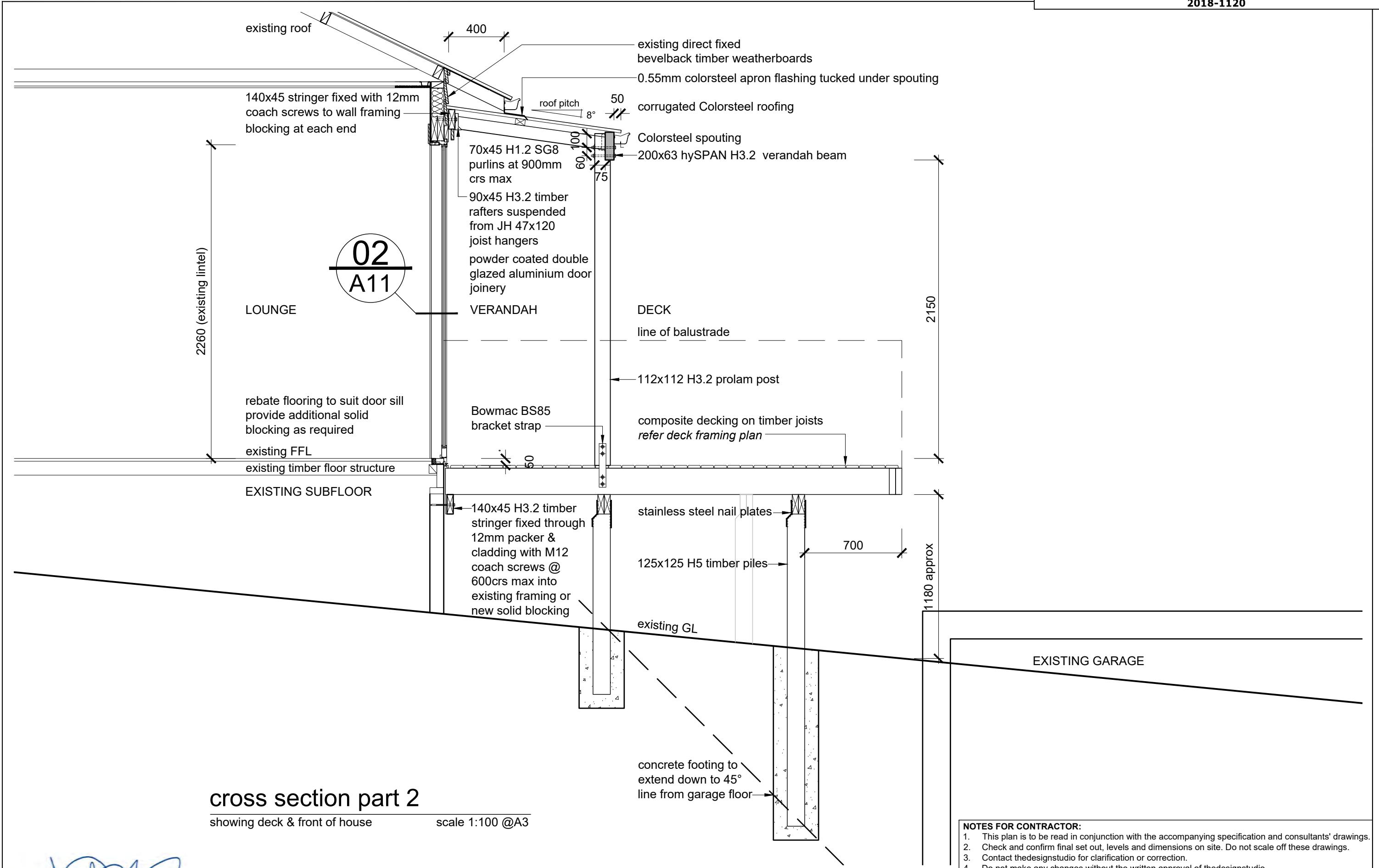
sheet title

**cross section 1  
back half of house**

**Building Consent  
Issue**

date: 30/05/2018  
drawn: KM  
job #: 1762

sheet of 12  
**A07**



## cross section part 2

showing deck & front of house

scale 1:100 @A3



## Proposed Alterations for

# **Jenny Dodds & Paul Heron**

4 St Leonards Drive, St Leonards, Dunedin

sheet title

## cross section 2 front of house

## Building Consent Issue

date:  
30/05/2018

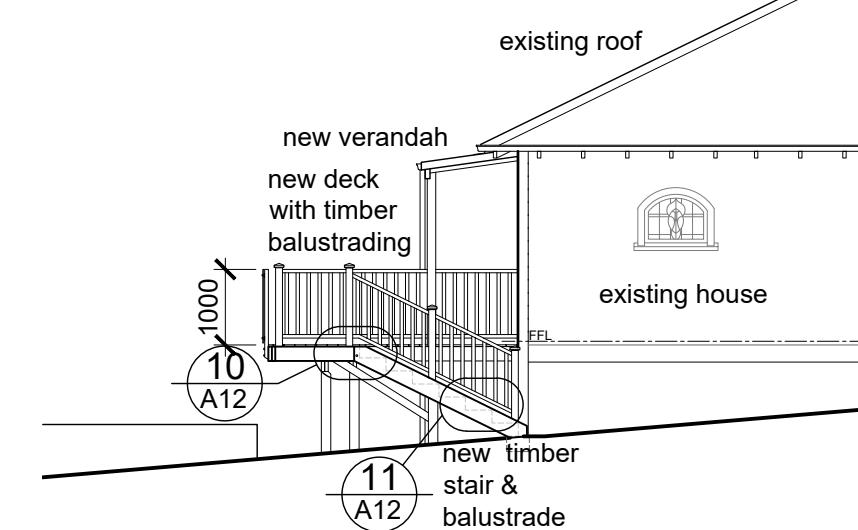
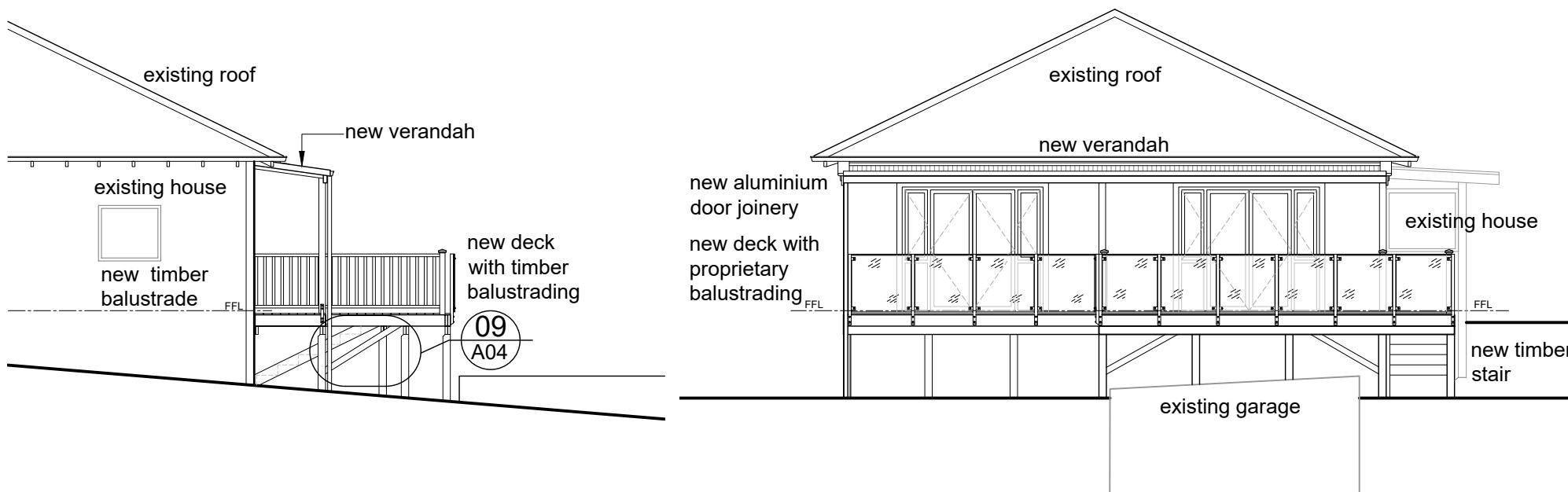
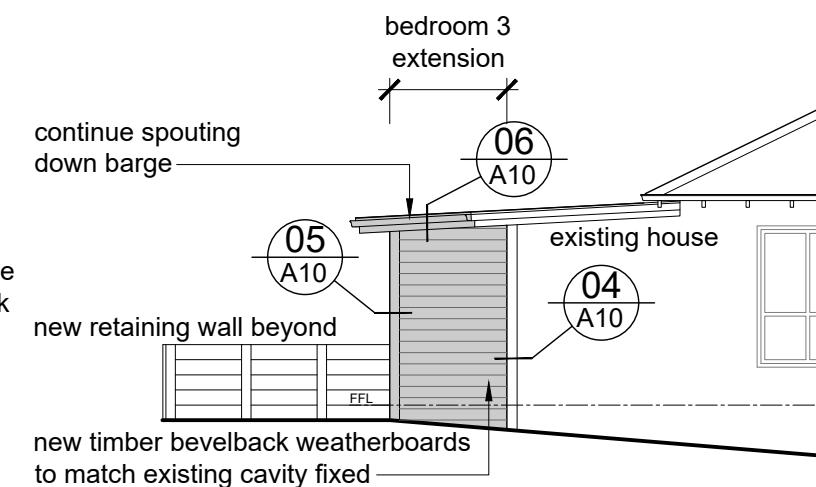
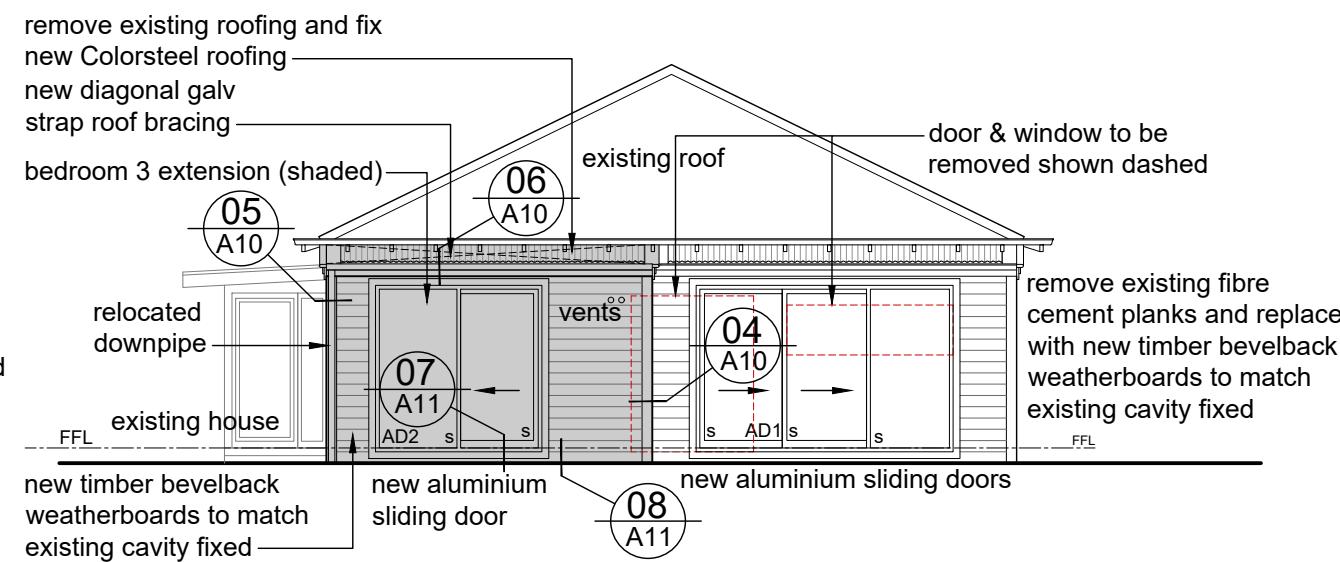
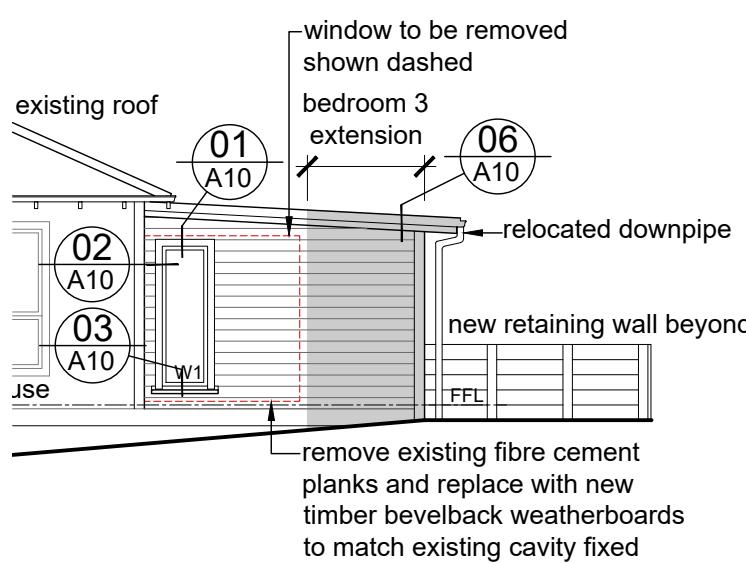
---

drawn: KM

---

job #: 1762

sheet of 1



## elevations

scale 1:100 @A3

**NOTES FOR CONTRACTOR:**  
 1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.  
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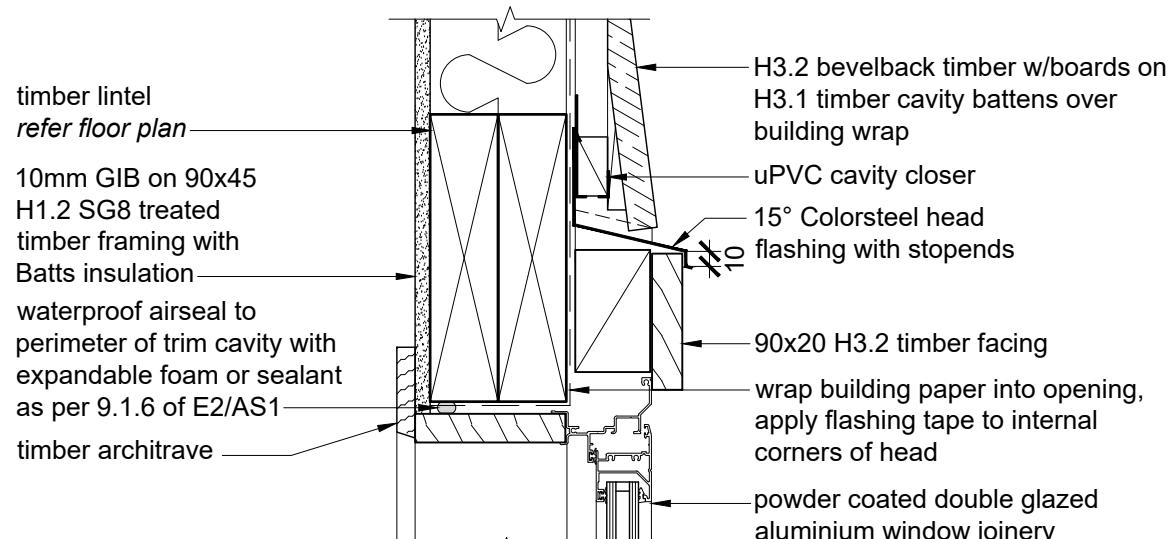
Proposed Alterations for:  
**Jenny Dodds & Paul Heron**  
 4 St Leonards Drive, St Leonards, Dunedin

sheet title  
**elevations**

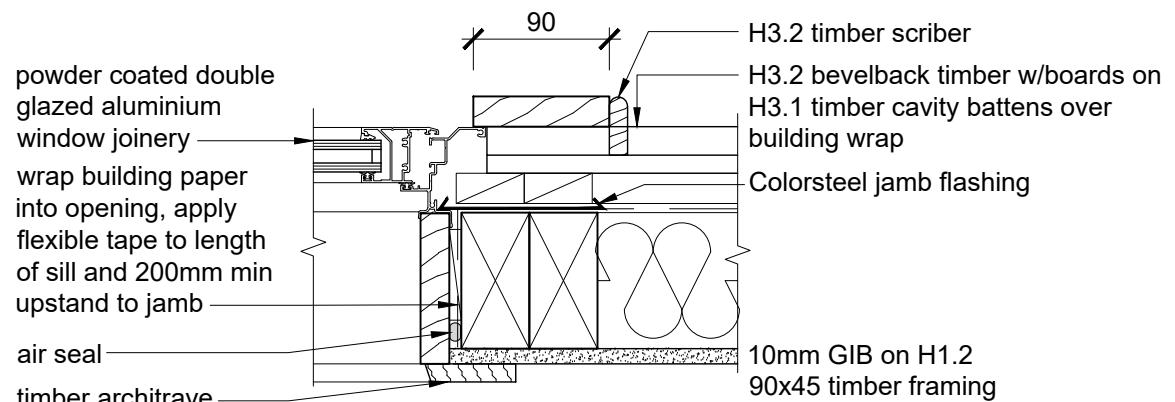
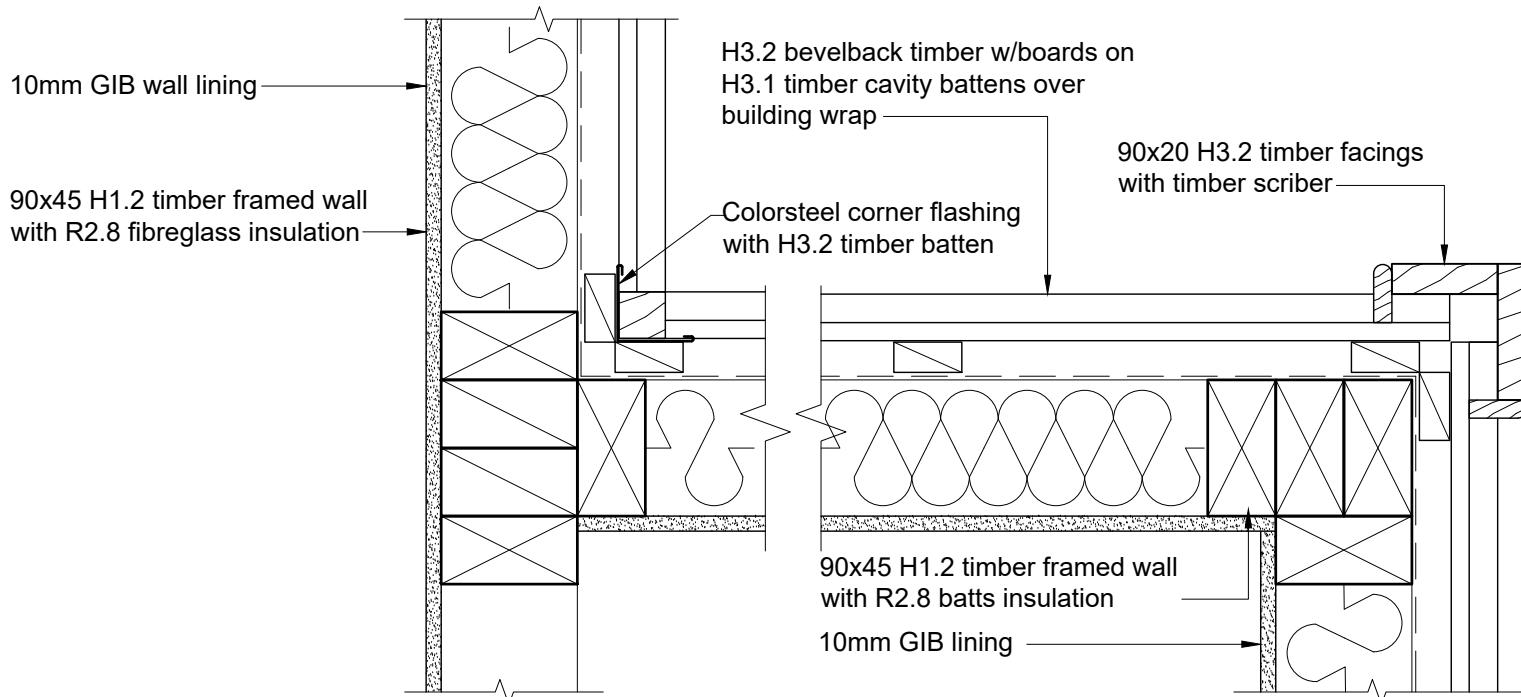
**Building Consent  
Issue**

date: 30/05/2018  
 drawn: KM  
 job #: 1762

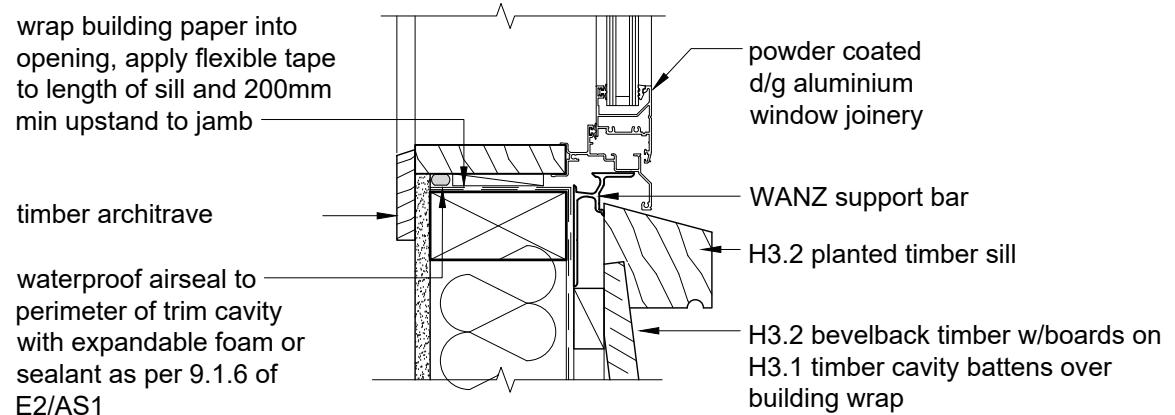
sheet of 12  
**A09**



01  
A07 typical window door head  
b/back w/boards on cavity system scale 1:5

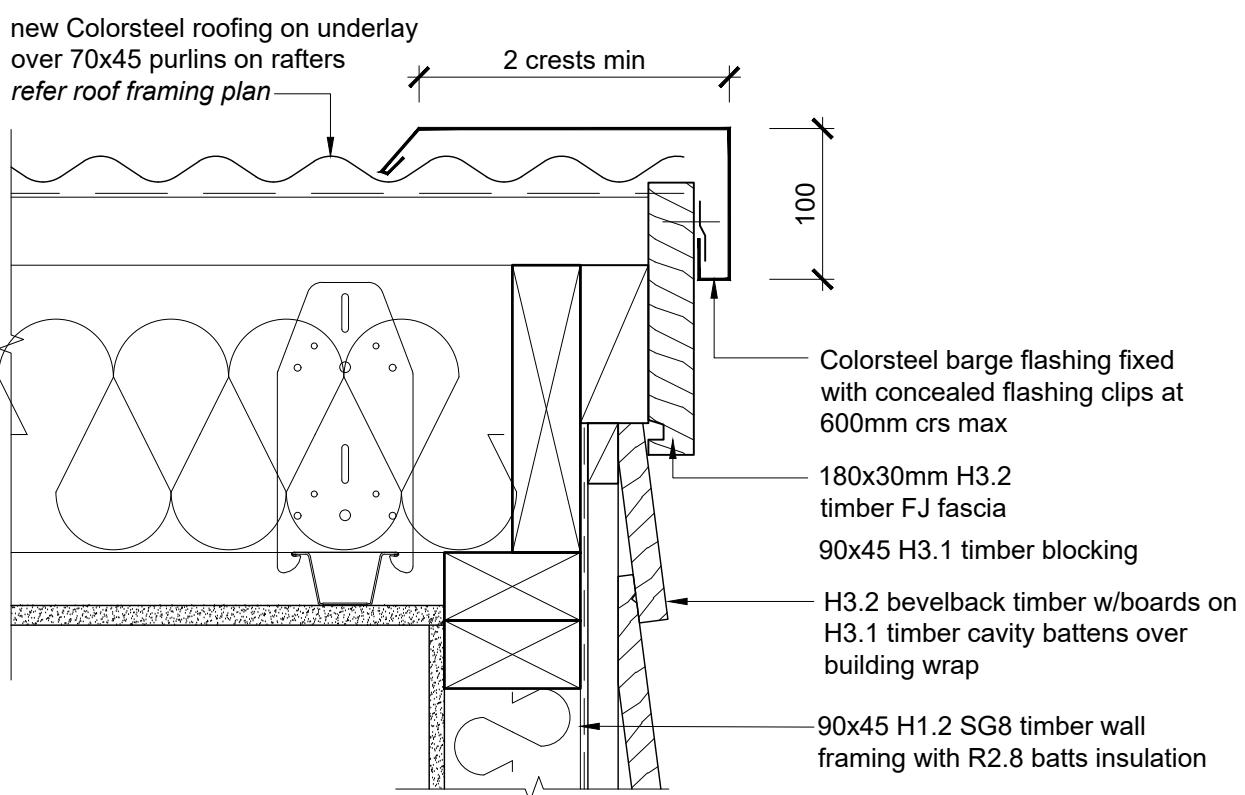


02  
A07 typical window/door jamb  
b/back w/boards on cavity system scale 1:5



03  
A07 typical window sill  
b/back w/boards on cavity system scale 1:5

04  
A09 w/board internal corner  
b/back w/boards on cavity system scale 1:5



06  
A09 barge detail with eave  
(Colorsteel Veedek roofing) scale 1:5

NOTES FOR CONTRACTOR:

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2. Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
3. Contact thedesignstudio for clarification or correction.
4. Do not make any changes without the written approval of thedesignstudio.



Proposed Alterations for:  
**Jenny Dodds & Paul Heron**  
4 St Leonards Drive, St Leonards, Dunedin

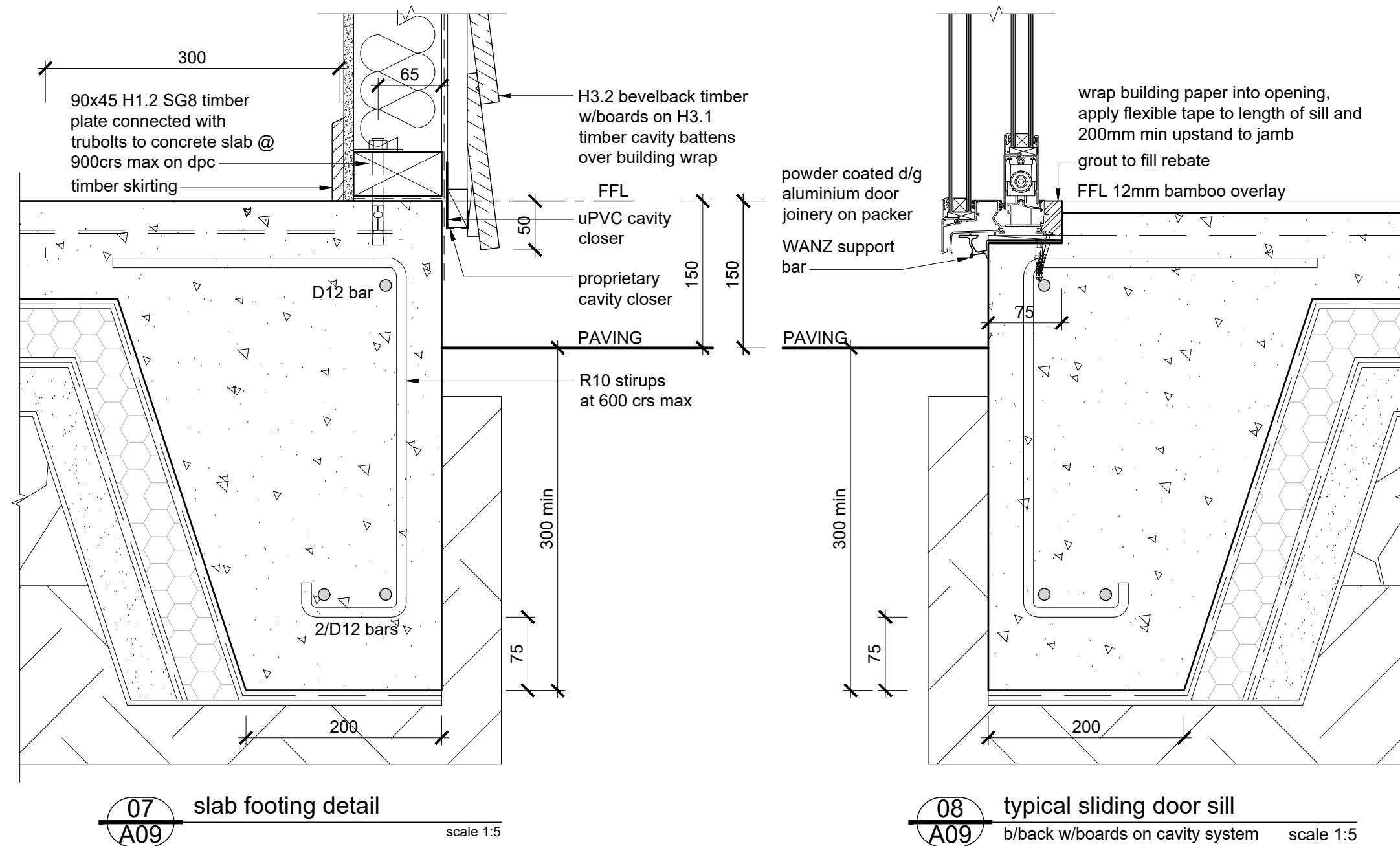
sheet title

details

Building Consent  
Issue

date:  
30/05/2018  
drawn: KM  
job #: 1762

sheet  
of 12  
**A10**



**NOTES FOR CONTRACTOR:**

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Proposed Alterations for:  
**Jenny Dodds & Paul Heron**  
4 St Leonards Drive, St Leonards, Dunedin

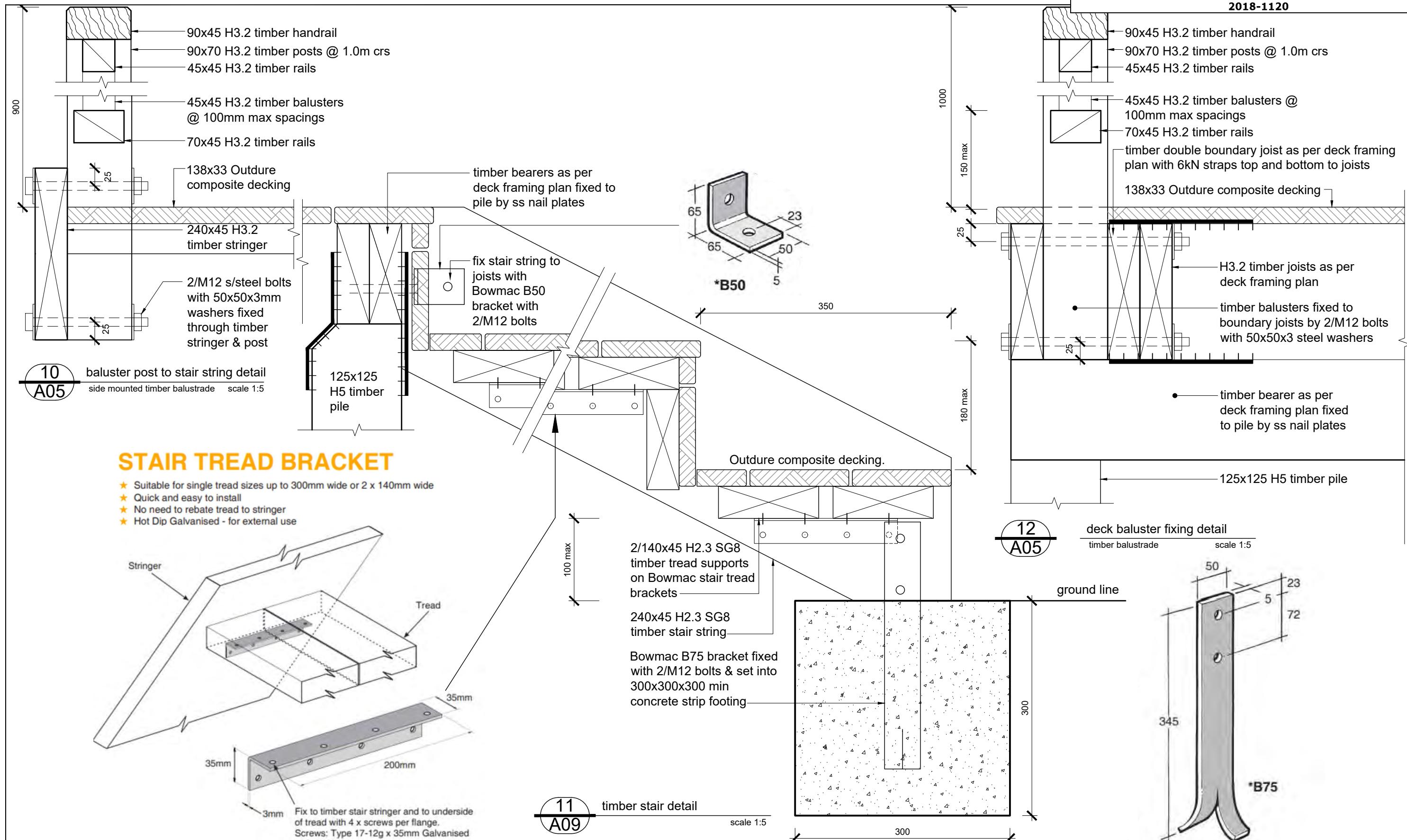
sheet title

details

**Building Consent  
Issue**

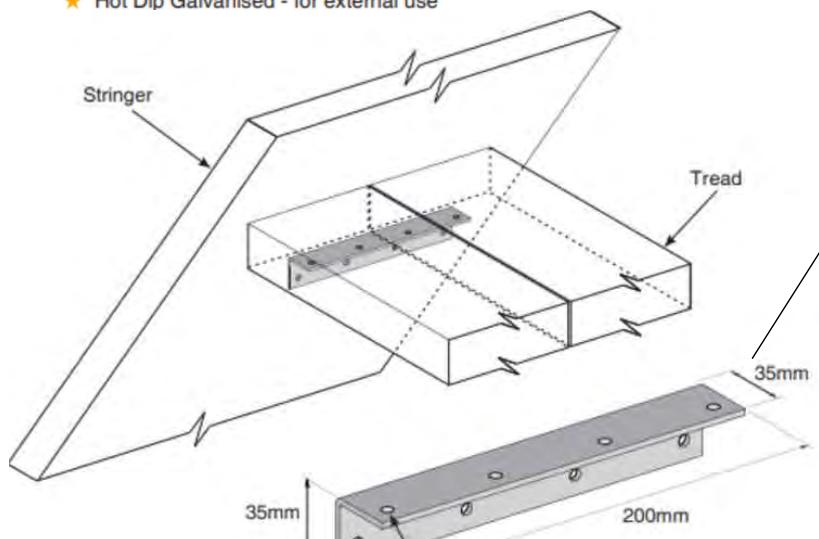
date: 30/05/2018  
drawn: KM  
job #: 1762

sheet of 12  
**A11**



## STAIR TREAD BRACKET

- ★ Suitable for single tread sizes up to 300mm wide or 2 x 140mm wide
- ★ Quick and easy to install
- ★ No need to rebate tread to stringer
- ★ Hot Dip Galvanised - for external use



e: B65200F

serial: ex 3mm thick plate 65x200mm (folded) Hot Dipped Galvanised



Proposed Alterations for:

**Jenny Dodds & Paul Heron**  
4 St Leonards Drive, St Leonards, Dunedin

sheet title

stair & balustrade details

### NOTES FOR CONTRACTOR:

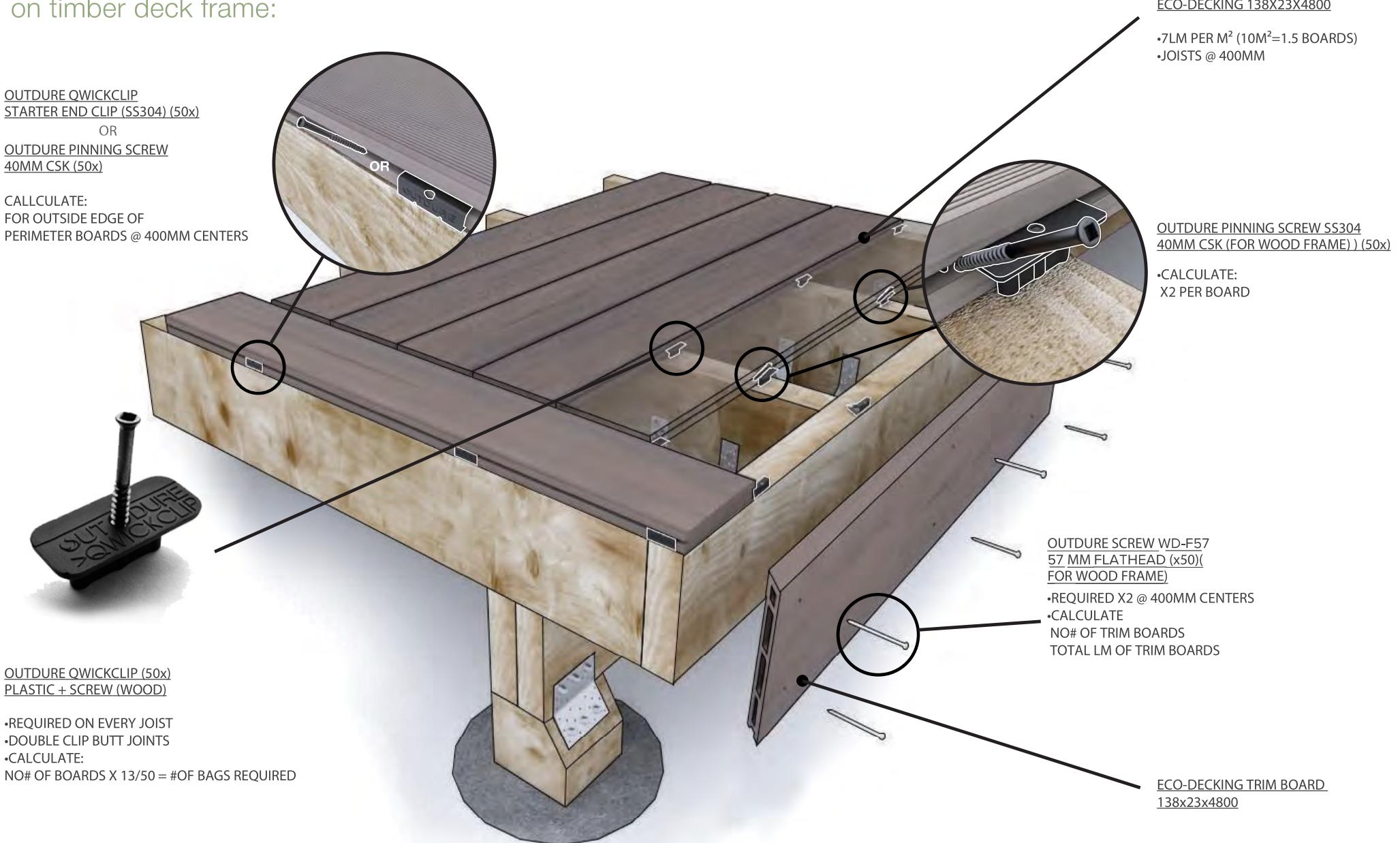
1. This plan is to be read in conjunction with the accompanying specification and consultants' drawings.
2. Check and confirm final set out, levels and dimensions on site. Do not scale off these drawings.
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**Building Consent  
Issue**

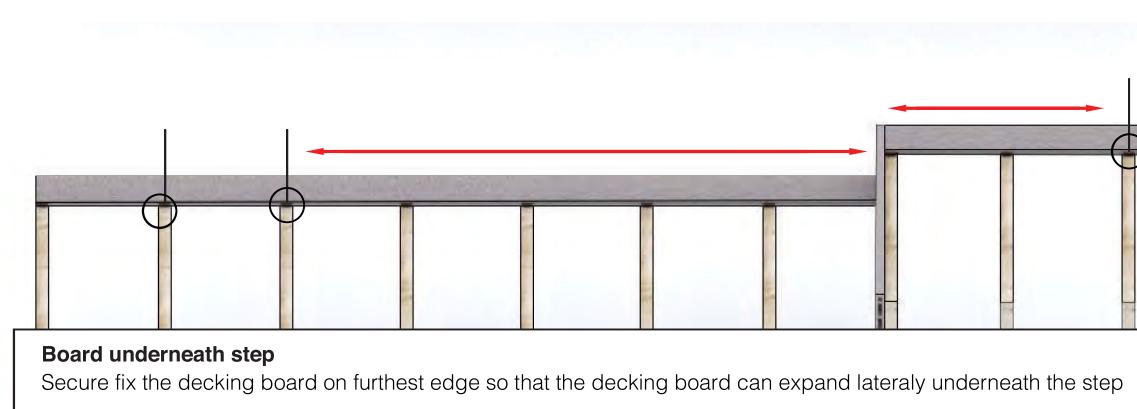
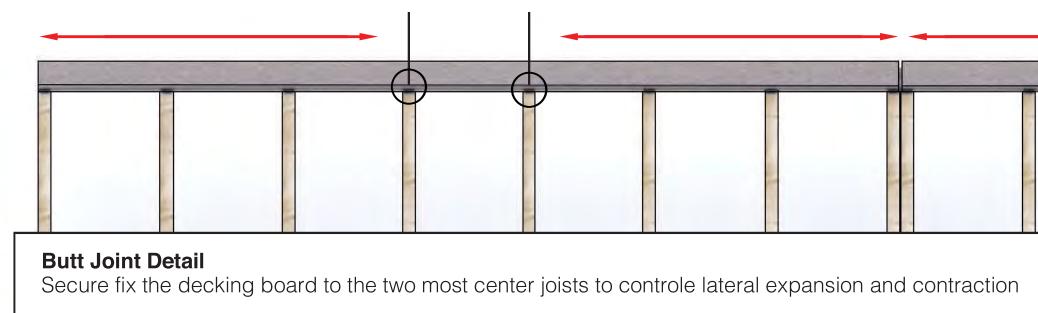
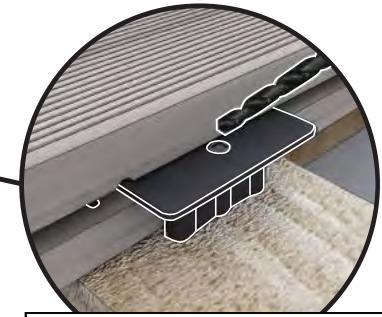
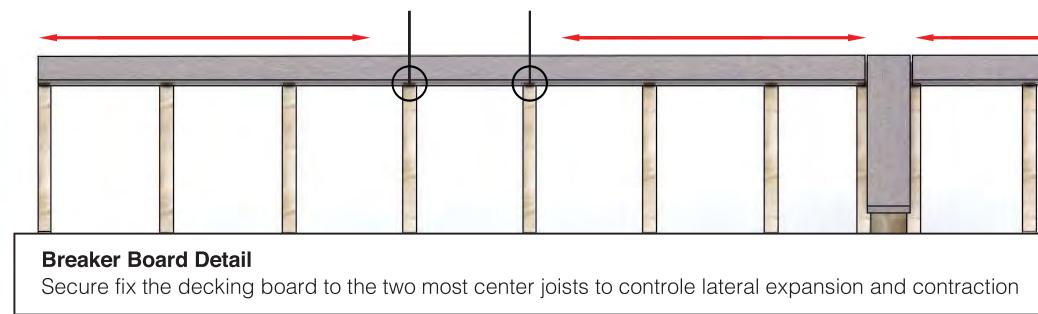
date:  
27/06/2018  
drawn: KM  
job #: 1762

sheet  
of 12  
**A12**

Check you have the items required for installation on timber deck frame:

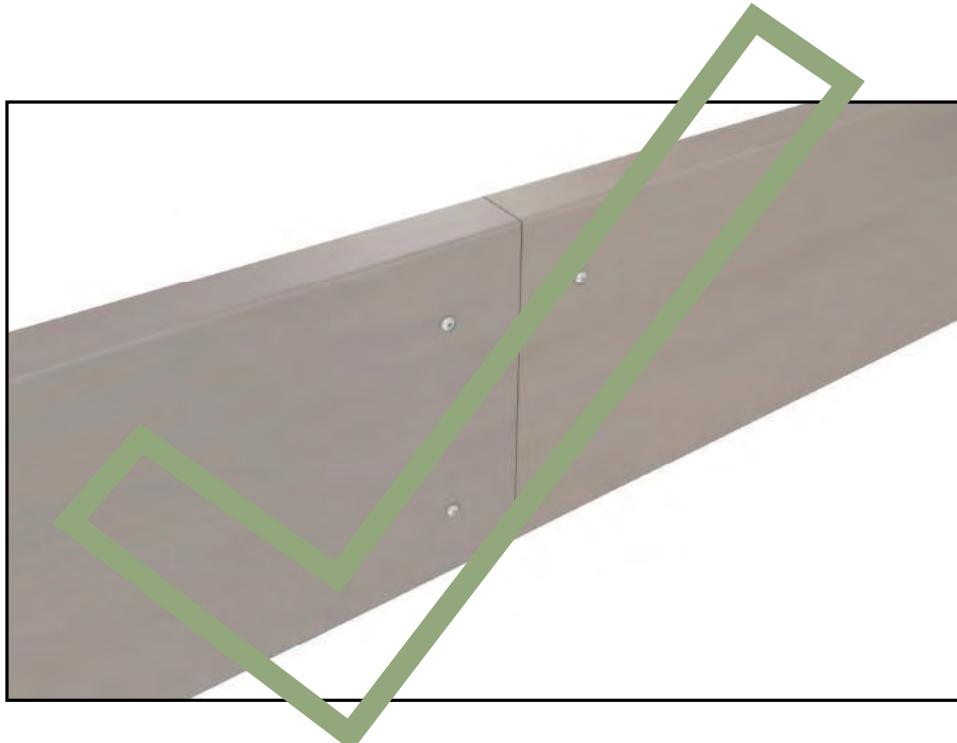


## Expansion and contraction control fixing

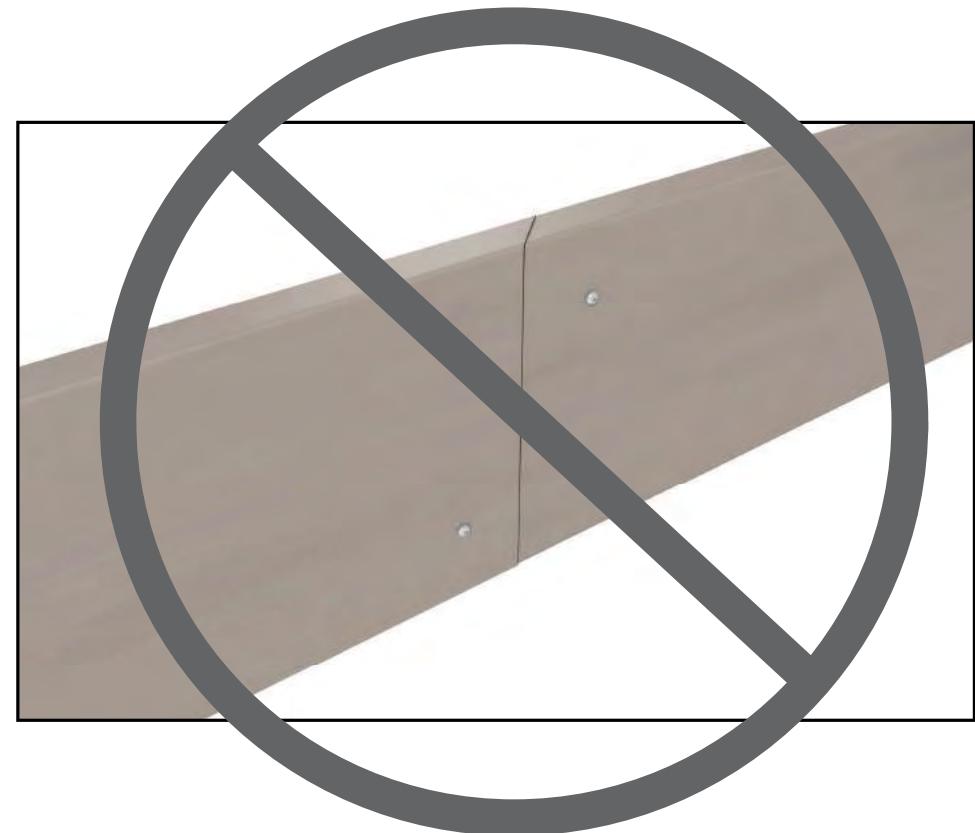


## ECODECKING Trimboard butt join

CORRECT INLINE BUTT JOIN



IN-LINE MITRED JOIN



**IMPORTANT NOTE:** DO NOT MITRE JOIN FOR IN-LINE JOIN OF THE TRIMBOARD, BUTT JOIN TRIMBOARD WITH APPROPRIATE GAP PER BOARD LENGTH

## Breaker board layout

