

ONE AGENCY

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Dunedin City Council – Land Information Memorandum

Property Address: 335 Highcliff Road Dunedin

Prepared for: One Agency Limited

Prepared on: 22-Jun-2026

Property Details:

Property ID	5112200
Address	335 Highcliff Road Dunedin
Parcels	LOT 6 DP 368732, LOT 11 DP 368732 1/10 SH 0.0249HA

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 22-Jun-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

LAND MOVEMENT

Peninsula Landslides Class 1 – Very Slight Risk

Description: Situations in which materials of high shear strength overlie similar strength materials, on flat to gently undulating slopes, with no apparent surface or zone of potential failure.

Leslie, D. M. (1974). *Effects of Basement Lithology, Regolith, and Slope on Landslide Potential, Otago Peninsula, New Zealand*. Department of Scientific and Industrial Research (DSIR).
<https://www.dunedin.govt.nz/do-it-online/pay-online/request-lim/hazard-information>

Commissioned by: Dunedin City Council

Purpose: To examine how basement lithology, regolith, and slope influence the potential for landslides on the Otago Peninsula, New Zealand

Scope of report: Otago Peninsula

Reference Number: 10127

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

Description: A Geotechnical Report exists for this property, please contact Dunedin City Council on landinformation@dcc.govt.nz for a copy of this report

Reference Number: 12651, 12687

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Private water service - Connected

This property is connected to the Dunedin City Council's water supply via a private water service. The property owner(s) serviced by the private water service are responsible for its maintenance. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request. Please note the Dunedin City Council cannot guarantee the accuracy of water pressure for private connections.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. This shows the location of the DCC owned water mains. It may or may not show the water service to the property. It is recommended that the applicant check the property.

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2111014
Address	335 Highcliff Road Dunedin
Valuation Number	27600-14606
Latest Valuation Details	
Capital Value	\$1,170,000
Land Value	\$475,000
Value of Improvements	\$695,000
Area (Hectares)	0.0775HA
Units of Use	1

Current Rates

Current Rating Year Starting 01-Jul-2025
Dunedin City Council Rates \$5,620.69

Rates Outstanding for Year \$0.00

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key: BC - Building Consent Issued
CCC - Code Compliance Certificate Issued
Archived - In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
/CCC
Refused
Lapsed - Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2005-310780](#) Building Consent - Subdivision Drainage

Lodgement Date 23-Dec-2005
Decision Granted
Decision Date 06-Jan-2006
Current Status **CCC Issued**
Previous Number ABA54217
(Applications before 2007)

[ABA-2013-2200](#) Building Consent - Erect Dwelling with Adjoining Garage, Siteworks

Lodgement Date 21-Nov-2013
Decision Granted
Decision Date 06-Dec-2013
Current Status **CCC Issued**
Previous Number
(Applications before 2007)

[ABA-2013-2200/A](#) Building Consent - Amendment - Resized Windows, Raising Flat Roofs, Lowered Roof over internal Deck, Remove Deck, Doors Changed in Size

Lodgement Date	03-Jul-2014
Decision	Granted
Decision Date	26-Sep-2014
Current Status	CCC Issued
Previous Number	
<i>(Applications before 2007)</i>	

Building and Drainage Permits

There are no Building or Drainage Permits recorded for this property. In some instances permits may have been recorded as building consents, please also check the consent section of the LIM.

Building Notices

No Building Notices

Resource Consents

The following Resource Consent(s) are recorded for this property:

[RMA-2005-369582](#) - Resource Management Act (Historical Data)

Description	SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS
Lodgement Date	01-Nov-2005
Decision	Granted
Decision Date	04-Jan-2006
Current Status	Consent Issued

Consent Stages

Type	s223 Certificate
Issued Date	07 February 2006
Further Details	

Type	s224 Certificate
Issued Date	07 February 2006
Further Details	

[RMA-2006-369844](#) - Resource Management Act (Historical Data)

Description	15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY
Lodgement Date	26-Jan-2006
Decision	Granted
Decision Date	20-Feb-2006
Current Status	Completed

Consent Stages

Type	s223 Certificate
Issued Date	23 August 2006
Further Details	

Type	s224 Certificate
Issued Date	23 August 2006
Further Details	

[RMA-2006-369984](#) - Resource Management Act (Historical Data)

Description	SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038
Lodgement Date	14-Mar-2006
Decision	Granted
Decision Date	12-Apr-2006
Current Status	Consent Issued

[S243-2007-1](#) - s243 Cancellation of Easement

Description	CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376
Lodgement Date	17-Jan-2007
Decision	Granted
Decision Date	31-Jan-2007
Current Status	Consent Issued

[LUC-2013-494](#) - Land Use Consent

Description	undertake earthworks
Lodgement Date	06-Dec-2013
Decision	Withdrawn
Decision Date	21-Jan-2014
Current Status	Completed

Consent Notices

Consent Notice

The record of title for this property has a consent notice recorded against it:

- CONO 7125684.5

A copy of the consent notice is attached to this LIM. The conditions in the consent notice must be complied with on an ongoing basis.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

This property is subject to the Operative Dunedin City Second Generation District Plan 2026 (2GP), which became fully operative on 17 June 2026. The 2GP, including planning maps, is available on the Dunedin City Council website <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> and at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 1 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Nil

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Seepage

A seepage incident has been lodged on this property.

Seepage Incident 101482 – 20/09/2011 - Completed

Contact Building Compliance Team for further details. **Form 5 (building consent) copy**

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any building consent, or to enquire about information referred to in this section, please contact Building Services Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 335 Highcliff Road Dunedin

831 R Highcliff Road Dunedin

COC-2017-7 Certificate of Compliance to swap – out an existing pole, underground existing overhead power lines and cables, and establish, operate and maintain a telecommunications facility in the road reserve adjacent to 1A Highcliff Road. The outcome was Granted on 06/09/2017.

LUC-2016-631 Land Use Consent the painting of murals on twelve telecommunication cabinets on the road reserve throughout Dunedin. The outcome was Granted on 03/02/2017.

LUC-2008-290 Land Use Consent New telecommunications cabinet in road reserve. The outcome was Granted on 25/06/2008.

RMA-2004-367538 Resource Management Act (Historical Data) ERECT 4 BUS SHELTERS (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 06/04/2004.

RMA-2005-368851 Resource Management Act (Historical Data) UPGRADE HIGHCLIFF ROAD FROM SEATON RD TO PORTOBELLO RD (Non-Notified - Non Complying). The outcome was Granted on 10/05/2005.

RMA-2005-369397 Resource Management Act (Historical Data) TEMPORARY SIGNAGE FOR SCHOOL FAIR (Non-Notified - Restricted Discretionary). The outcome was Granted on 14/09/2005.

[RMA-2005-369318](#) Resource Management Act (Historical Data) install poles and connections for a 11kv underground cable and pole mounted 11kv to 230v transformer (Non-Notified - Restricted Discretionary). The outcome was Granted on 01/09/2005.

[RMA-2006-370219](#) Resource Management Act (Historical Data) DIRECTIONAL SIGNS FOR TOURISTS (Non-Notified - Restricted Discretionary). The outcome was Granted on 03/08/2006.

[RMA-2004-367902](#) Resource Management Act (Historical Data) TELECOMMUNICATION CABINET (Other). The outcome was Granted on 15/06/2004.

[RMA-1996-359930](#) Resource Management Act (Historical Data) ELECTION SIGNS (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 15/08/1996.

[RMA-1996-360395](#) Resource Management Act (Historical Data) INSTALLATION OF SIGNAGE (Non-Notified - Non Complying). The outcome was Granted on 19/12/1996.

[RMA-1978-354068](#) Resource Management Act (Historical Data) DWELLINGHOUSE Ownr:OCKWELL / App: G C OCKWELL 25 HUNT STREET (Notified - Non Complying). The outcome was Granted on 18/12/1978.

[RMA-1978-354063](#) Resource Management Act (Historical Data) ERECT DWELLINGHOUSE RU 2 Ownr:MORRIS / App: LUCY R MORRIS BOX 803 TONKINSON WOOD (Notified - Non Complying). The outcome was Granted on 25/10/1978.

[RMA-1993-351361](#) Resource Management Act (Historical Data) (Non-Notified - Non Complying).

[5043178 317 Highcliff Road Dunedin](#)

[LUC-2008-419](#) Land Use Consent Retrospective consent for retaining wall supporting fill. The outcome was Granted on 19/08/2008.

[5043179 313 Highcliff Road Dunedin](#)

[RMA-1986-351852](#) Resource Management Act (Historical Data) GARAGE ADDN Ownr:ROWSON (Non-Notified - Non Complying). The outcome was Granted on 17/03/1986.

[5043181 311A Highcliff Road Dunedin](#)

[LUC-2007-685](#) Land Use Consent Construct a deck. The outcome was Granted on 04/12/2007.

[RMA-2000-364305](#) Resource Management Act (Historical Data) RETROSPECTIVE CONSENT (LANDUSE) FOR AN EXISTING GARAGE (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 25/09/2000.

[5044608 332 Highcliff Road Dunedin](#)

[RMA-2002-366006](#) Resource Management Act (Historical Data) Extn of time & change of conditions on 20000157 Sec125 & 127- change of sequence for staging (Other). The outcome was Granted on 14/10/2002.

[RMA-2000-363851](#) Resource Management Act (Historical Data) TO SUBDIVIDE LANDS CONTAINED IN CT 19A/231 to be staged DPs 27860,300150,302429,314231 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/03/2000.

[RMA-1998-361917](#) Resource Management Act (Historical Data) SUBDIVISION OF PROPOSED LOT 1 FROM REMAINDER OF LAND CONTAINED IN CT 13C/440 (Non-Notified - Restricted Discretionary). The outcome was Granted on 14/05/1998.

[RMA-1991-350862](#) Resource Management Act (Historical Data) Certificate 312 Ownr:KENNEDY (Non-Notified - Non Complying). The outcome was Granted on 31/01/1991.

[RMA-1991-354767](#) Resource Management Act (Historical Data) SUBDIVISION / App: G KENNEDY BOX 1092 DUNEDIN (Notified - Non Complying). The outcome was Declined on 09/08/1991.

[POL-2002-350090](#) Planning Other Legislation SECTION 321 RESOLUTION (Other). The outcome was Granted on 02/12/2002.

[5044617 328 Highcliff Road Dunedin](#)

[RMA-1992-354893](#) Resource Management Act (Historical Data) ERECT DWELLING - Owner: HOLMES / App: HOLMES/COLLINS PO BOX 1113 (Non-Notified - Non Complying). The outcome was Granted on 09/03/1992.

[5066361 321 Highcliff Road Dunedin](#)

[RMA-2006-370486](#) Resource Management Act (Historical Data) ADDITION/ALTERATION TO GARAGE (Non-Notified - Restricted Discretionary). The outcome was Granted on 01/09/2006.

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

[5066377 325 Highcliff Road Dunedin](#)

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

[RMA-1990-350784](#) Resource Management Act (Historical Data) Subdivision / App: M.D. Body PO Box 235 (Non-Notified - Non Complying). The outcome was Granted on 29/11/1990.

[5105289 353 Highcliff Road Dunedin](#)

[RMA-1997-360943](#) Resource Management Act (Historical Data) ERECT DWELLING HUGH & SHARMAINE DUNCKLEY (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 29/05/1997.

[5105917 330 Highcliff Road Dunedin](#)

[RMA-2002-366006](#) Resource Management Act (Historical Data) Extn of time & change of conditions on 20000157 Sec125 & 127- change of sequence for staging (Other). The outcome was Granted on 14/10/2002.

[RMA-2000-363851](#) Resource Management Act (Historical Data) TO SUBDIVIDE LANDS CONTAINED IN CT 19A/231 to be staged DPs 27860,300150,302429,314231 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/03/2000.

[RMA-1998-361917](#) Resource Management Act (Historical Data) SUBDIVISION OF PROPOSED LOT 1 FROM REMAINDER OF LAND CONTAINED IN CT 13C/440 (Non-Notified - Restricted Discretionary). The outcome was Granted on 14/05/1998.

[5106228 334 Highcliff Road Dunedin](#)

[RMA-2003-367214](#) Resource Management Act (Historical Data) SUBDIVISION OF 2.9 HA TITLE IN TO 8 LOTS stg1-DP 330001 stg2-6 -DP 351878 (Non-Notified - Non Complying). The outcome was Granted on 24/11/2003.

[RMA-2002-366006](#) Resource Management Act (Historical Data) Extn of time & change of conditions on 20000157 Sec125 & 127- change of sequence for staging (Other). The outcome was Granted on 14/10/2002.

[RMA-2003-366252](#) Resource Management Act (Historical Data) TO ESTABLISH A RESIDENTIAL ACTIVITY ON RURAL ZONED AREA OF SITE WHICH IS UNDERSIZE (Notified - Unrestricted Discretionary). The outcome was Granted on 25/06/2003.

[RMA-2000-363851](#) Resource Management Act (Historical Data) TO SUBDIVIDE LANDS CONTAINED IN CT 19A/231 to be staged DPs 27860,300150,302429,314231 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/03/2000.

[RMA-1998-361917](#) Resource Management Act (Historical Data) SUBDIVISION OF PROPOSED LOT 1 FROM REMAINDER OF LAND CONTAINED IN CT 13C/440 (Non-Notified - Restricted Discretionary). The outcome was Granted on 14/05/1998.

[5109904 330B Highcliff Road Dunedin](#)

[RMA-2003-367214](#) Resource Management Act (Historical Data) SUBDIVISION OF 2.9 HA TITLE IN TO 8 LOTS stg1-DP 330001 stg2-6 -DP 351878 (Non-Notified - Non Complying). The outcome was Granted on 24/11/2003.

[RMA-2002-366006](#) Resource Management Act (Historical Data) Extn of time & change of conditions on 20000157 Sec125 & 127- change of sequence for staging (Other). The outcome was Granted on 14/10/2002.

[RMA-2000-363851](#) Resource Management Act (Historical Data) TO SUBDIVIDE LANDS CONTAINED IN CT 19A/231 to be staged DPs 27860,300150,302429,314231 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 23/03/2000.

[RMA-1998-361917](#) Resource Management Act (Historical Data) SUBDIVISION OF PROPOSED LOT 1 FROM REMAINDER OF LAND CONTAINED IN CT 13C/440 (Non-Notified - Restricted Discretionary). The outcome was Granted on 14/05/1998.

[5111877 327 Highcliff Road Dunedin](#)

[LUC-2019-102](#) Land Use Consent land use consent for the earthworks associated with the establishment of a dwelling with a basement garage and associated bulk and location breaches. The outcome was Granted on 11/04/2019.

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

[5111878 329 Highcliff Road Dunedin](#)

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

[5111879 331 Highcliff Road Dunedin](#)

[LUC-2011-207](#) Land Use Consent construct a dwelling. The outcome was Granted on 02/06/2011.

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

[5112199 333 Highcliff Road Dunedin](#)

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

[5112201 337 Highcliff Road Dunedin](#)

[S241-2008-1](#) s241 Cancellation of Amalgamation Condition Cancellation of an amalgamation condition under Section 241(3) of the RMA. The outcome was Granted on 12/02/2008.

[5112202 339 Highcliff Road Dunedin](#)

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

[5112203 347 Highcliff Road Dunedin](#)

[LUC-2012-201](#) Land Use Consent land-use consent as consequence of subdivision. The outcome was Granted on 01/06/2012.

[SUB-2012-39](#) Subdivision Consent boundary adjustment. The outcome was Granted on 01/06/2012.

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

[5112204 349 Highcliff Road Dunedin](#)

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

5112205 351 Highcliff Road Dunedin

[LUC-2014-609](#) Land Use Consent retrospective consent to construct deck. The outcome was Granted on 19/01/2015.

[LUC-2010-104](#) Land Use Consent retaining wall on a residential site. The outcome was Granted on 14/04/2010.

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

5113705 329 Highcliff Road Dunedin

[LUC-2011-473/A](#) Land Use Consent s357 objection to fees. The outcome was S357 Upheld on 18/05/2012.

[LUC-2011-473](#) Land Use Consent earthworks for driveway and basement garage. The outcome was Granted on 11/11/2011.

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

5113706 337 Highcliff Road Dunedin

[LUC-2013-269](#) Land Use Consent undertake earthworks. The outcome was Granted on 25/07/2013.

[S241-2008-1](#) s241 Cancellation of Amalgamation Condition Cancellation of an amalgamation condition under Section 241(3) of the RMA. The outcome was Granted on 12/02/2008.

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

5119757 347 Highcliff Road Dunedin

[LUC-2012-201](#) Land Use Consent land-use consent as consequence of subdivision. The outcome was Granted on 01/06/2012.

[SUB-2012-39](#) Subdivision Consent boundary adjustment. The outcome was Granted on 01/06/2012.

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[S243-2007-1](#) s243 Cancellation of Easement CONSENT NOTICE CANCELLATION FOR LOT 2 DP 365376. The outcome was Granted on 31/01/2007.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

[5119758 297 Highcliff Road Dunedin](#)

[LUC-2016-383](#) Land Use Consent the establishment of a residential unit on an undersized rural residential site. The outcome was Granted on 19/09/2016.

[LUC-2012-298](#) Land Use Consent alter a dwelling and construct garage. The outcome was Granted on 12/07/2012.

[LUC-2012-201](#) Land Use Consent land-use consent as consequence of subdivision. The outcome was Granted on 01/06/2012.

[SUB-2012-39](#) Subdivision Consent boundary adjustment. The outcome was Granted on 01/06/2012.

[RMA-2006-369844](#) Resource Management Act (Historical Data) 15 LOT SUBDIVISION CREATING 10 SITES FOR RESIDENTIAL ACTIVITY (Non-Notified - Non Complying). The outcome was Granted on 20/02/2006.

[RMA-2006-369984](#) Resource Management Act (Historical Data) SECTION 127 REQUEST FOR CHANGE OF CONDITIONS FOR RMA20060038 (Other). The outcome was Granted on 12/04/2006.

[RMA-2005-369582](#) Resource Management Act (Historical Data) SUBDIVISION OF LOTS 11-13 DP528 INTO 2 LOTS (Non-Notified - Non Complying). The outcome was Granted on 04/01/2006.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site.

Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information:
infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules it might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Shared driveway

This property's vehicle access is via a shared driveway. DCC Transport does not own or maintain this driveway. It is advised if there isn't already one in place that a formal agreement be drawn up between the owners/users of all private accesses in order to clarify their maintenance responsibilities.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

MH Manhole
PL Plumbing
PLB Plumbing
PTE Private
SIS Sewer in section
WC Water course
WT Water table
SW Stormwater

General terms

RDMS Records and Document Management System

Appendices



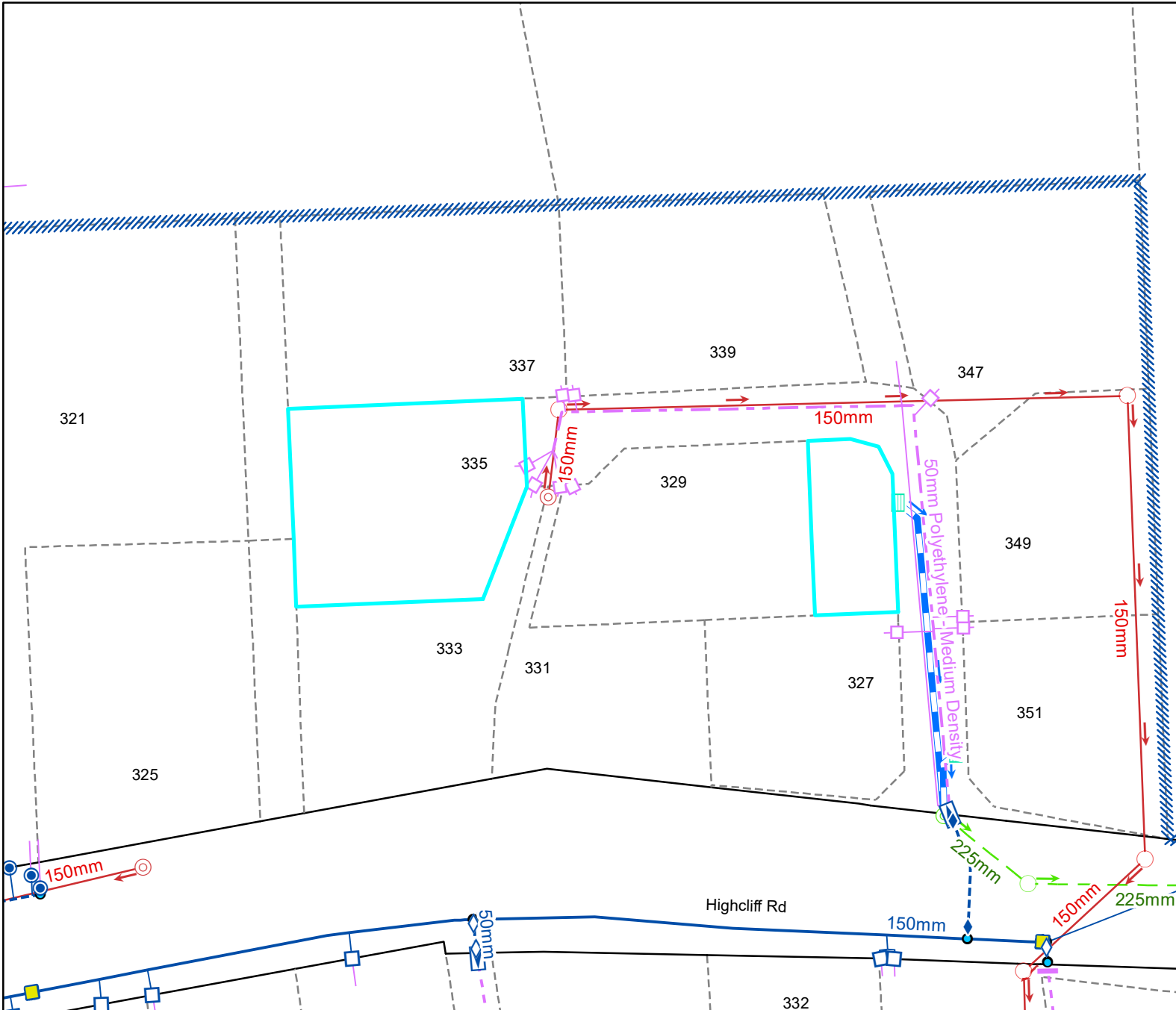
Photographic Map

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1:750
16/06/2026
8:04:22 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

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Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Rider
	Water Valve - Sluice		Scour
	Water Hydrant		Water Service Lateral
	Water Backflow Preventor - RPZ		Water Fire Service Lateral
			Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel		Road/Rail
	Railway Centreline		Hydro		Motorway Parcels
			Strata		Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>





DUNEDIN CITY

Kaunihera-a-rohe o Otepoti

50 The Octagon, PO Box 5045, Dunedin 9031, New Zealand

Telephone: 03 477 4000, Fax: 03 474 3594,

Email: dcc@dcc.govt.nz

www.CityofDunedin.com

CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

CCC No:	ABA54217	Telephone No:	03 477 4000
APPLICANT		PROJECT	
Russell Wayne Scott C/O Geoff Kennery 8 Hilton Road Dunedin 9001		Work Type: Plumbing & Drainage	
PROJECT LOCATION		Intended Use/Description of Work:	
297 Highcliff Road Dunedin		Subdivision Drainage	
LEGAL DESCRIPTION		Intended Life:	
Legal Description: LOT 1 DP 365376, LOT 13 DP 368732		Indefinite, not less than 50 years.	
Valuation Roll No: 27600-1450027600-14501			
Building Name: N/A			

The building consent authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:

Name:

Position: AUTHORISED OFFICER

Date: 18 May 2007

BUILDING CONSENT



Section 51, Building Act 2004

ISSUED BY:

Telephone No:	477-4000	Consent No:	ABA 54217	Reference No:	5043170
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(Insert a cross in each applicable box. Attach relevant documents).

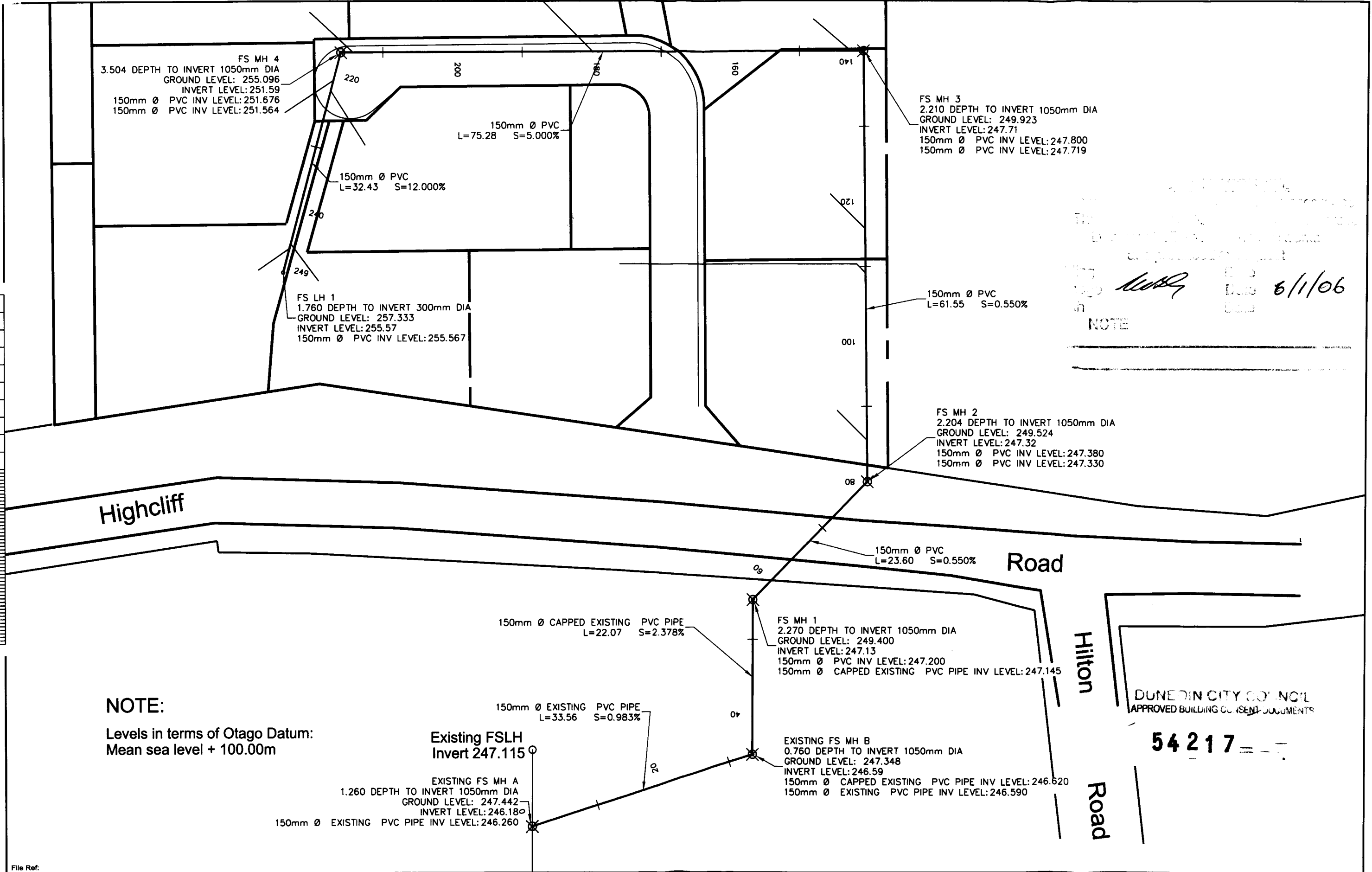
APPLICANT	PROJECT
SCOTT, RUSSELL WAYNE C/O GEOFF KENNERY 8 HILTON ROAD DUNEDIN 9001	All <input checked="" type="checkbox"/> Stage No of an intendedstages New Building <input checked="" type="checkbox"/> Alteration <input type="checkbox"/>
PROJECT LOCATION Street Address: 297 HIGHCLIFF ROAD, DUNEDIN 9001	Intended Use(s) in detail: SUBDIVISION DRAINAGE
LEGAL DESCRIPTION Building Name: Property Number: 5043170 Valuation Roll No: 27600 14500 Legal Description: LOT 11 DP 528 Year Constructed:	Level/Unit Numbers: Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/>
COUNCIL CHARGES The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$ ALL FEES ARE GST INCLUSIVE	Signed for and on behalf of the Council: Name: <i>Neville Hood</i> Position: AUTHORISED OFFICER Date: 06/01/2006 Estimated Value: \$41000

This building consent is a consent under the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."

DO NOT SCALE - IF IN DOUBT, ASK

ORIGINAL SIZE A3

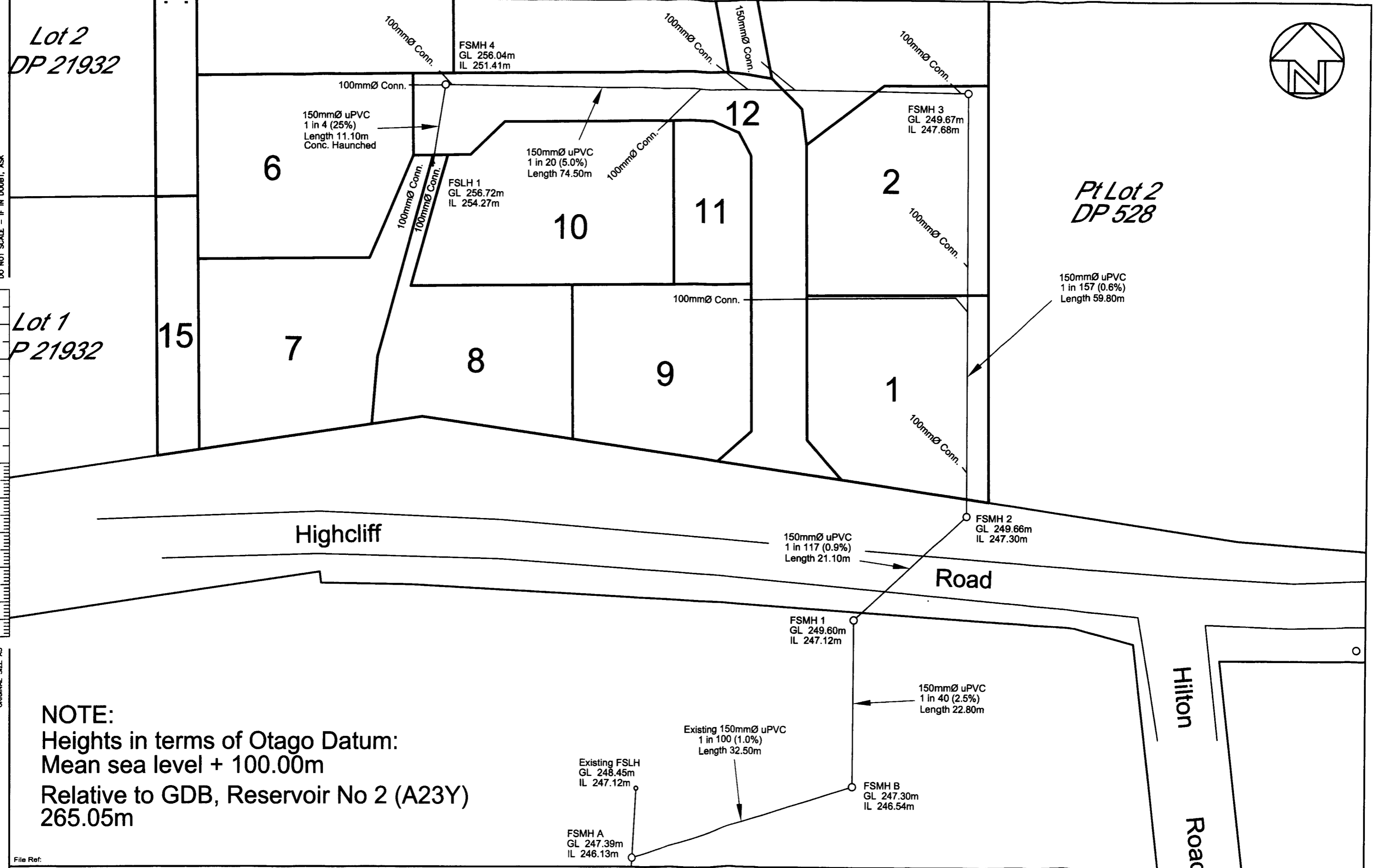
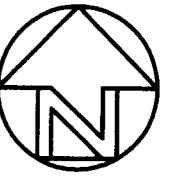


NOTE:
Levels in terms of Otago Datum:
Mean sea level + 100.00m

APPROVED BUILDING CONSENT DOCUMENTS
6/1/06

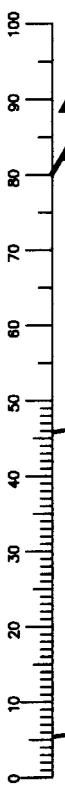
DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENTS
54217

Prepared For: <p style="text-align: center; font-weight: bold;">RW & M Scott</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Amendments</th> <th>Drawn</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Amendments	Drawn	Date																	TAB/DWG : SERVER : DUNEDIN (OCTAGON_D) XREFS : COPYRIGHT © <small>These drawings shall only be used for the purpose for which they were supplied. Any re-use is prohibited and no part of this document may be reproduced or distributed without the written permission of TL Survey Services LTD.</small>	<p style="font-size: 1.2em; font-weight: bold;">297 HIGHCLIFF RD</p> <p style="font-weight: bold;">PRELIMINARY DESIGN</p> <p style="font-weight: bold;">PROPOSED RETICULATION</p> <p style="font-weight: bold;">Foul Sewer Design</p>	Project No.: 05128 Scale: 1:500 Date: DEC 2005 Sheet: 1 OF 3	Surveyed: CFW/DPJ Designed: DPJ Drawn: DPJ Checked:	
No.	Amendments	Drawn	Date																							



DO NOT SCALE - IF IN DOUBT, ASK

ORIGINAL SIZE A3



Lot 2
DP 21932

Lot 1
P 21932

Pt Lot 2
DP 528

NOTE:
 Heights in terms of Otago Datum:
 Mean sea level + 100.00m
 Relative to GDB, Reservoir No 2 (A23Y)
 265.05m

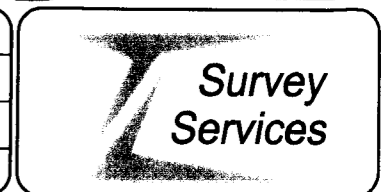
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GEOFF KENNEDY

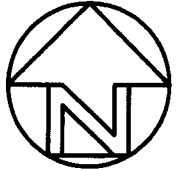
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297 HIGHCLIFF ROAD
AS BUILT SERVICE PLAN
FOUL SEWER

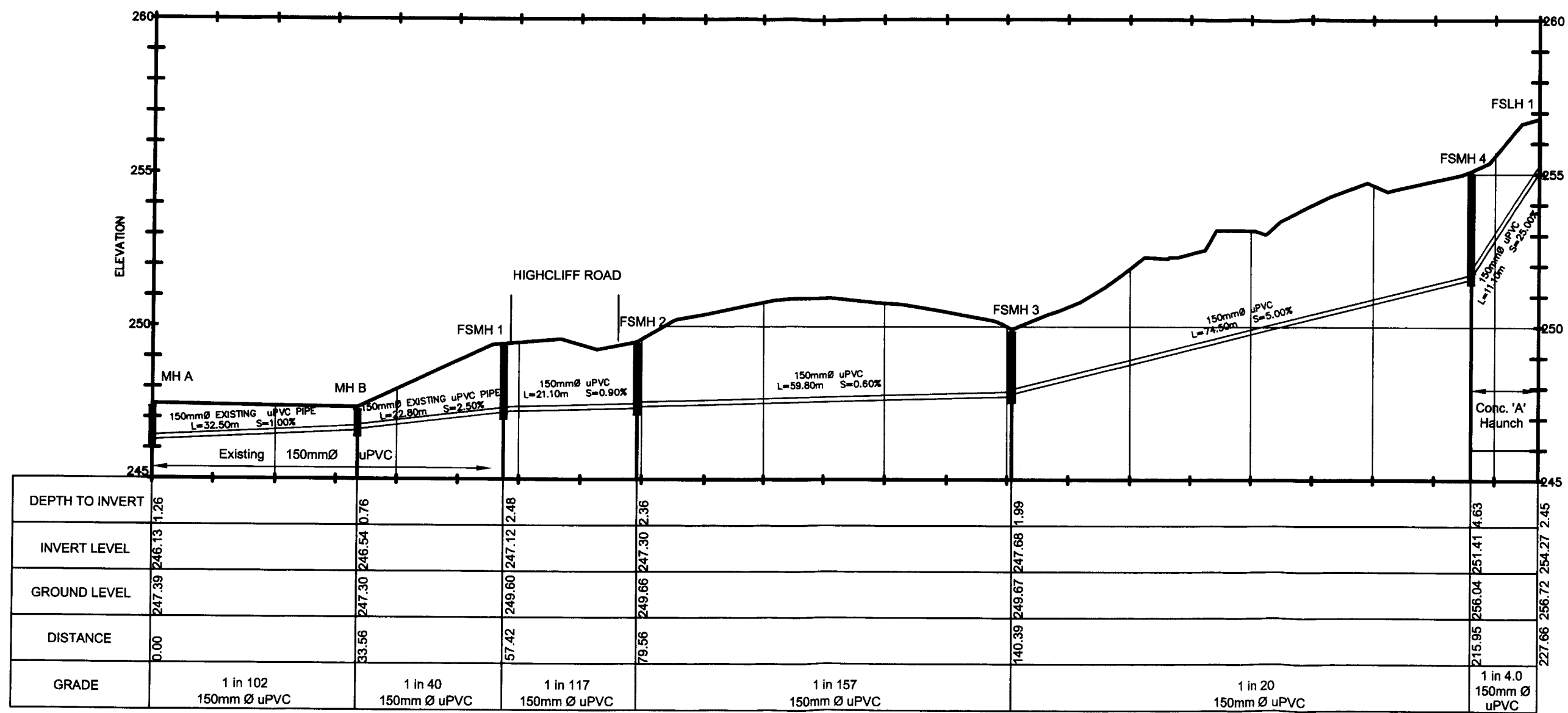
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ORIGINAL SIZE A3
 DO NOT SCALE - IF IN DOUBT, ASK



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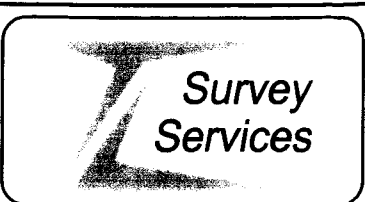
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GEOFF KENNEDY

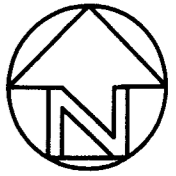
No.	Amendments	Drawn	Date

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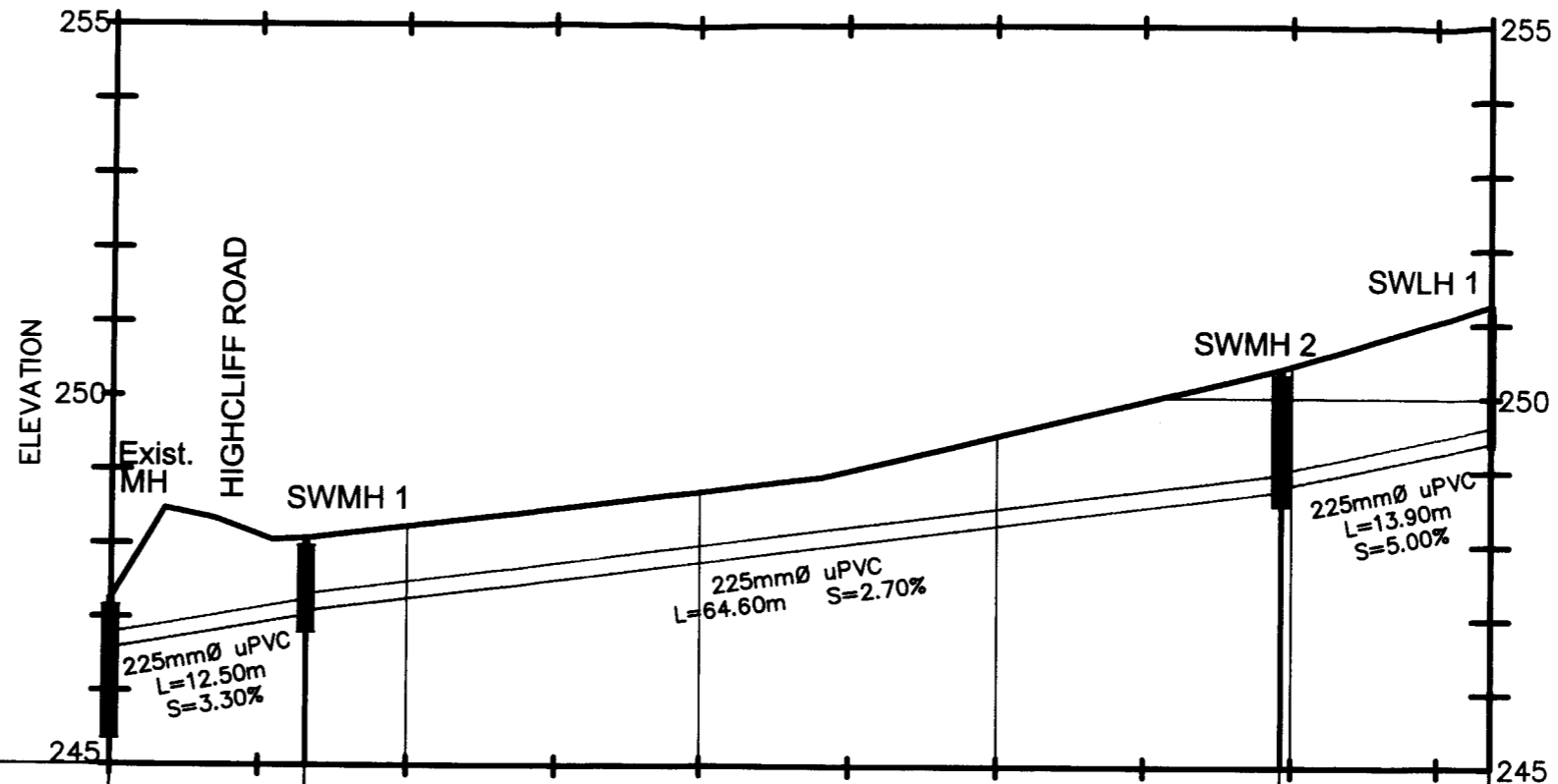
297 HIGHCLIFF ROAD
 AS BUILT LONG SECTION
 FOUL SEWER

Project No.: 051218
 Scale: 1:750
 Date: JUNE 2006
 Sheet: 2 OF 5
 Surveyed: DPJ
 Designed: DPJ
 Drawn: DPJ
 Checked:





PROFILE VIEW: STORMWATER
AS BUILT LONG SECTION
VERT SCALE: 1:100
DATUM: 245.00
HZ SCALE 1:500



DEPTH TO INVERT	0.62	1.12	1.54	1.85
INVERT LEVEL	246.59	246.94	248.67	249.37
GROUND LEVEL	247.21	248.06	250.21	251.22
DISTANCE	0.00	13.47	79.11	93.62
GRADE	1 in 30 225mm Ø uPVC SN16	1 in 37 225mm Ø uPVC SN16		1 in 20 225mm Ø uPVC SN16

DO NOT SCALE - IF IN DOUBT, ASK
ORIGINAL SIZE A3

File Ref:

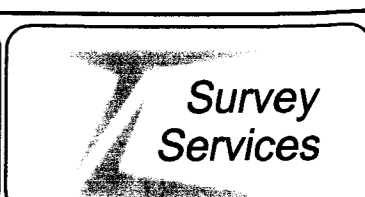
Prepared For:
GEOFF KENNEDY

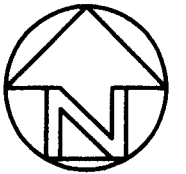
No.	Amendments	Drawn	Date

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297 HIGHCLIFF ROAD
AS BUILT LONG SECTION
STORMWATER

Project No.: 051218	Surveyed: DPJ
Scale: 1:500	Designed: DPJ
Date: JUNE 2006	Drawn: DPJ
Sheet: 4 OF 5	Checked: DPJ





DO NOT SCALE - IF IN DOUBT, ASK
100
90
80
70
60
50
40
30
20
10
0
ORIGINAL SIZE A3

Lot 2
DP 21932

Lot 1
DP 21932

Pt Lot 2
DP 528

14

5

4

13

3

6

50Ø Blank Cap

New 50mmØ M.D.P.E Ridermain

12

New 50mmØ M.D.P.E
Ridermain

2

10

11

15

7

8

9

1

Double non-
return valve
at Boundary

50mmØ M.D.P.E Ridermain
To service Lot 13 (Access Lot)
Not Connected to Main.

Highcliff

Existing F.H.

Road

s.v.

Existing Watermain

Hilton

File Ref:

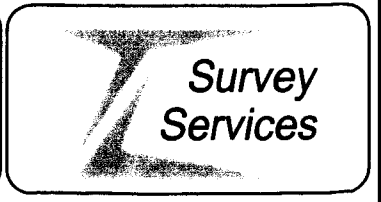
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GEOFF KENNEDY

No.	Amendments	Drawn	Date

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297 HIGHCLIFF ROAD
AS BUILT SERVICE PLAN
WATER RETICULATION

Project No.: 051218	Surveyed: DPJ
Scale: 1:500	Designed: DPJ
Date: JUNE 2006	Drawn: DPJ
Sheet: 5 OF 5	Checked: <i>DPJ</i>



CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07-v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2013-2200	Telephone No:	03 477 4000
APPLICANT		PROJECT	
<p>G M Oliver and L D Oliver C/O Stevenson and Williams Limited PO Box 4007 St Kilda Dunedin 9046</p>		<p>Work Type: New Construction</p> <p>Intended Use/Description of Work: Erect Dwelling with Adjoining Garage, Siteworks</p> <p>Intended Life: Indefinite, not less than 50 years.</p>	
PROJECT LOCATION		<p>This CCC also applies to the following Amended Consents: ABA-2013-2200/A</p>	
335 Highcliff Road Dunedin			
LEGAL DESCRIPTION			
<p>Legal Description: LOT 6 DP 368732, LOT 11 DP 368732 1/10 SH 0.0249HA</p> <p>Valuation Roll No: 27600-14606</p> <p>Building Name: N/A</p>			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

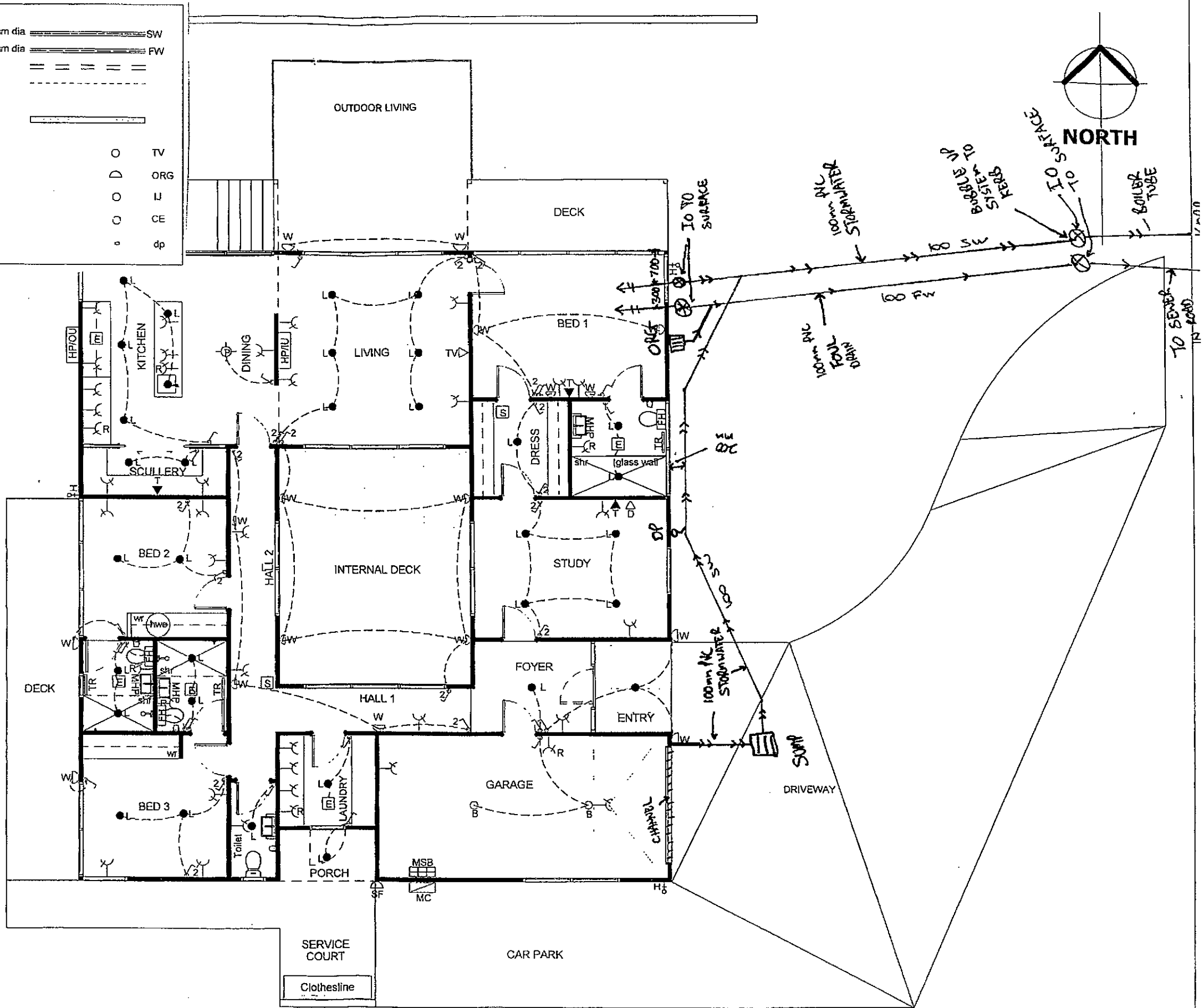
Compliance Schedule attached

Signed for and on behalf of the Council:



PLUMBING & DRAINAGE		KEY	
Sanitary Plumbing & Drainage design to NZS/AS1 3500		Surface water	100mm dia SW
DN40mm dia 1:40 Gradient waste above slab level.		Foul water	100mm dia FW
DN100mm dia 1:60 Gradient waste above slab level.		Common trench	
All drainage below floor level to be DN100mm dia 1:60 Gradient		80 dia drainage coils behind retaining foundation walls	
Shower waste DN40mm dia		Aco deckline proprietary drainage channel with fall to sumps	
100mm dia- surface water drain 1:60 Gradient,		80 dia Terminal Vent	
100mm dia- Foul drain 1:60 Gradient		Overflow Relief Gully	
All drains under slab floor be 100 dia		Inspection Junction G13/AS2	
FLOOR LEVELS		Cleaning Eye G13/AS2	
Floor Level 257m		Downpipe (100x50 rectangular)	
Sump	300x300 sump as per E1/AS1	TV	
		ORG	
		U	
		CE	
		dp	

As Built Plan
 Received by:
 Date: 21-7-15
 ABA No: 13-2200
 As Built Drainage



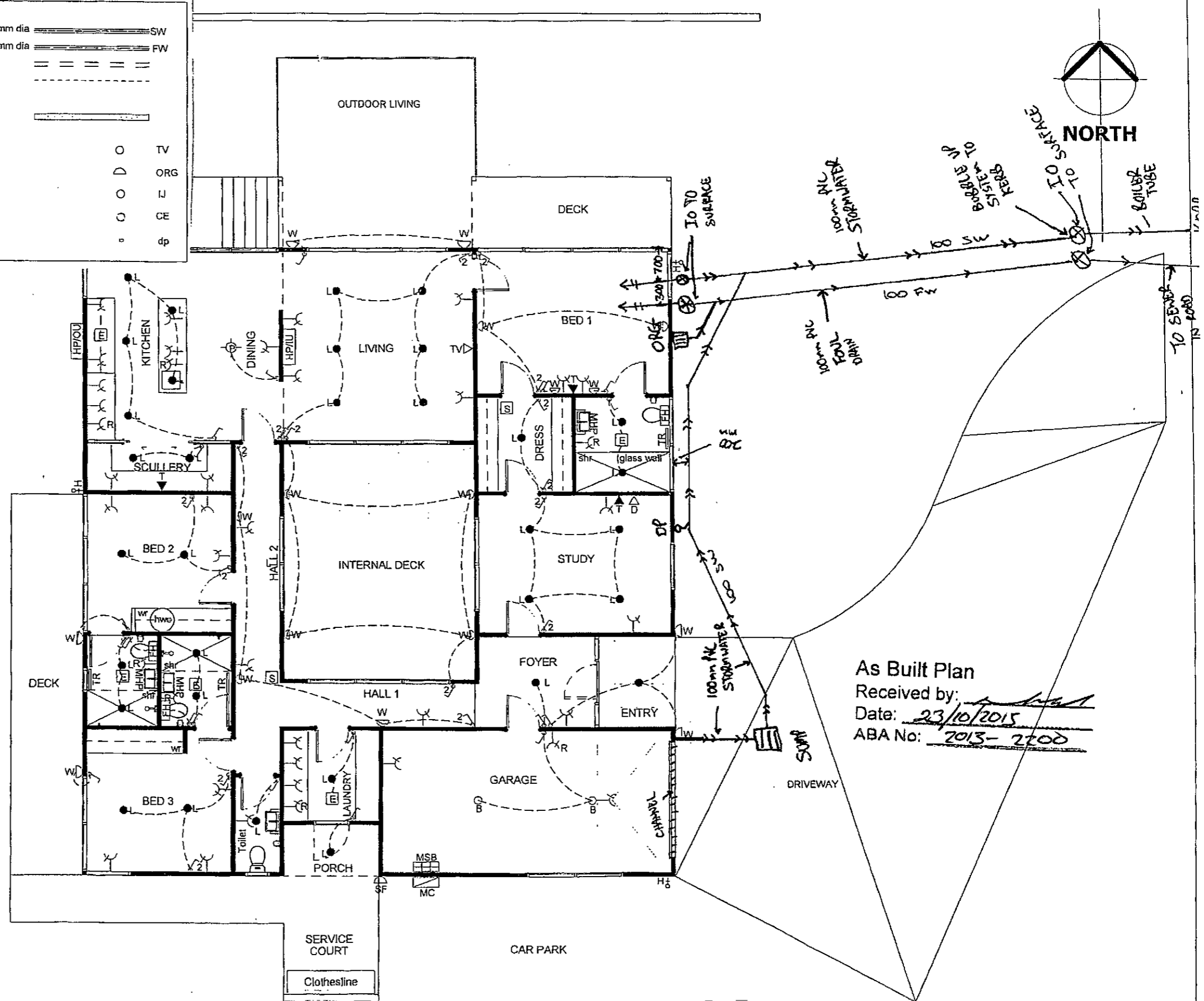
As Built Drainage Plan
 SCALE : 1:100

PLUMBING & DRAINAGE
 Sanitary Plumbing & Drainage design to NZS/AS1 3500
 DN40mm dia 1:40 Gradient waste above slab level.
 DN100mm dia 1:60 Gradient waste above slab level.
 All drainage below floor level to be DN100mm dia 1:60 Gradient
 Shower waste DN40mm dia
 100mm dia- surface water drain 1:60 Gradient.
 100mm dia- Foul drain 1:60 Gradient
 All drains under slab floor be 100 dia

FLOOR LEVELS
 Floor Level 257m
 Sump 300x300 sump as per E1/AS1

KEY
 Surface water 100mm dia SW
 Foul water 100mm dia FW
 Common trench
 60 dia drainage coils behind retaining foundation walls
 Aco deckline proprietary drainage channel with fall to sumps
 80 dia Terminal Vent
 Overflow Relief Gully
 Inspection Junction G13/AS2
 Cleaning Eye G13/AS2
 Downpipe (100x50 rectangular)

TV
 ORG
 L
 CE
 dp



As Built Drainage Plan

SCALE : 1:100

GARY TODD ARCHITECTURE

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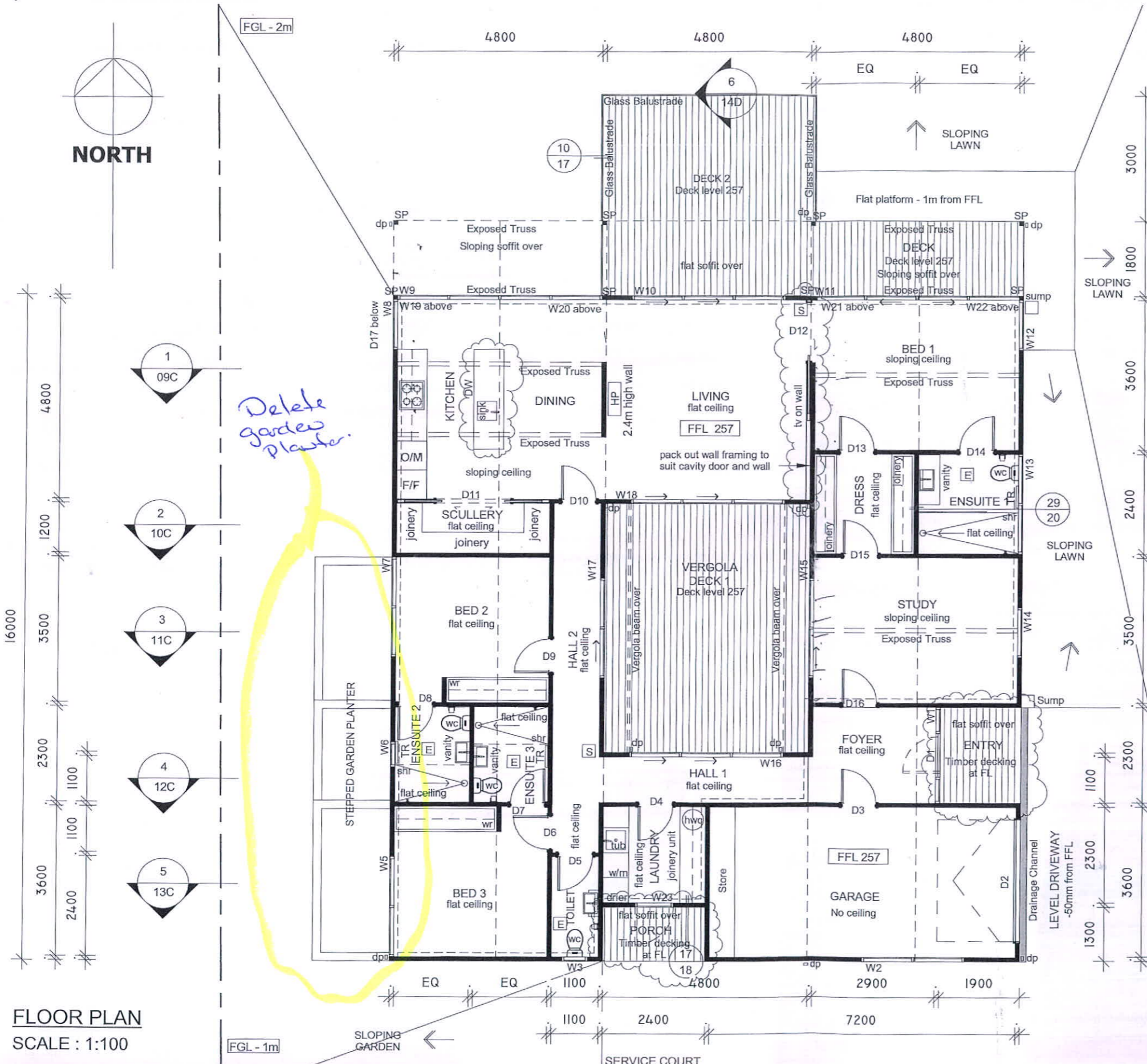
Design Licence D3
 All Buildings

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Page 26

Project: 963
 Date: 16/08/13
 Drawn: Author



DOOR SCHEDULE

D no	Size (H x W)	Description
D1	2400x1100	Vertical Cedar lined Solid core door with lock set and side lights
D2	2200x3000	Sectional panel overhead garage door, refer to Section 14.
D3	2400x810	Hinged door with lockset & doorstop.
D4	2400x810	Hinged door with latchset & doorstop.
D5	2400x810	Hinged door with privacy lock & doorstop
D6	2400x810	Hinged door with privacy lock & doorstop
D7	2400x810	Hinged door with privacy lock & doorstop
D8	2400x810	Hinged door with privacy lock & doorstop
D9	2400x810	Hinged door with privacy lock & doorstop
D10	2400x810	Hinged door & doorstop
D11	2/2400x900	Double cavity door with finger pulls on track gear.
D12	2400x1400	Cavity slider with finger pulls both sides and privacy lock
D13	2400x710	Hinged door with latchset & doorstop. (Louvred style)
D14	2400x710	Hinged door with privacy lock & doorstop. (Louvred style)
D15	2400x710	Hinged door with latchset & doorstop. (Louvred style)
D16	2400x710	Hinged door with lockset, with privacy lock & doorstop. (Louvred style)
D17	2400x1000	Subfloor space single glazed hinged door with lockset

FLOOR AREA: 201 sqm
DECK AREA: 80 sqm

- SP Steel Post (refer to structural drawings by Hadley & Robinson Ltd for further information)
- Supply and install hard wired smoke alarm to comply with NZBC Clause F7 as required by the local authority within 3m outside of all bedroom doors
- Extract unit ducted to exterior

As Built Plan
Received by: *Chris Evans*
Date: *23/10/15*
ABA No: *2013-2200*

- Amendment E 01/08/2014
Timber decking to Entry and Porch at FL
New wall and cavity slider D12 revised
Kitchen sink moved
- Amendment D 18/06/2014
Vergola revised
W4 deleted
D13, D14, D15, D16 changed to 710mm wide
- Amendment C 08/05/2014
Site works revised
Vergola added
Deck 3 removed
Concrete pad added to subfloor space
D17 added
Steps removed
Paved area to the north removed
Glass balustrade to the west of deck 1 extended to building
W7 revised
Raised Planters added
- Amendment B 20/01/2014
Delete retaining walls and slope fill from foundation walls to EGL
North and West boundaries.
- Amendment A. 04/12/2013
W16 clarified

FLOOR PLAN
SCALE : 1:100

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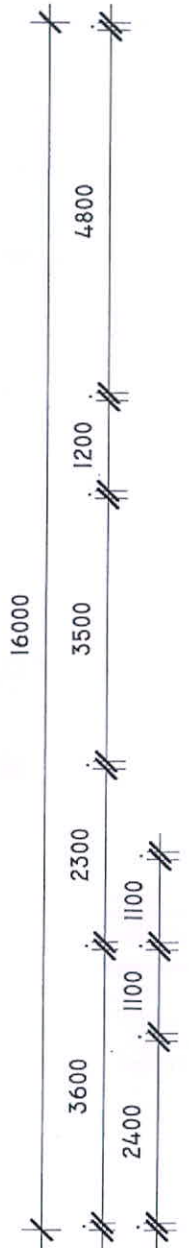
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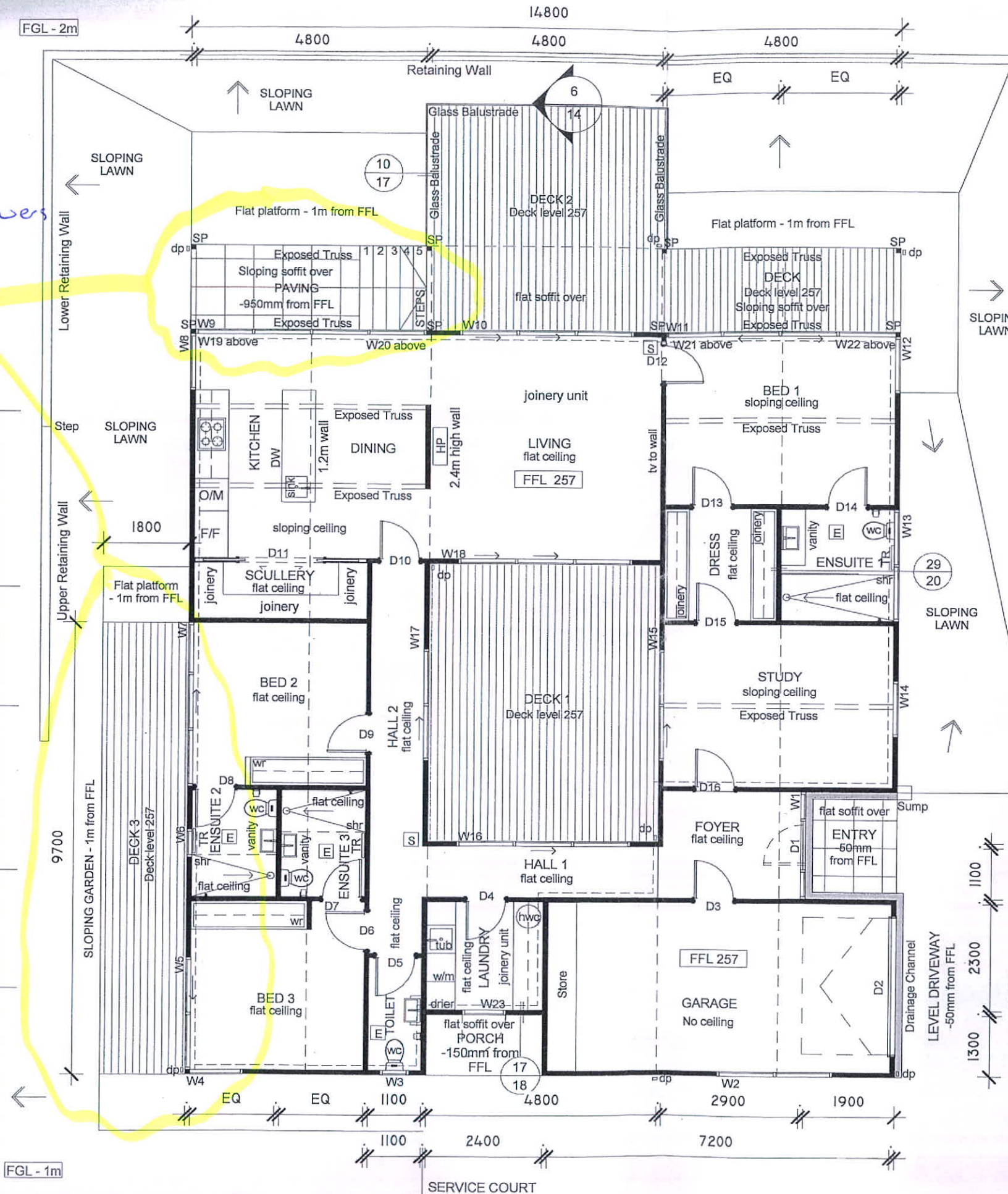
Page 03E
Project: 963
Date: 08/05/14
Drawn: Author



Delete stairs + Powers from Deck 2
Delete Deck 3



FLOOR PLAN
SCALE : 1:100



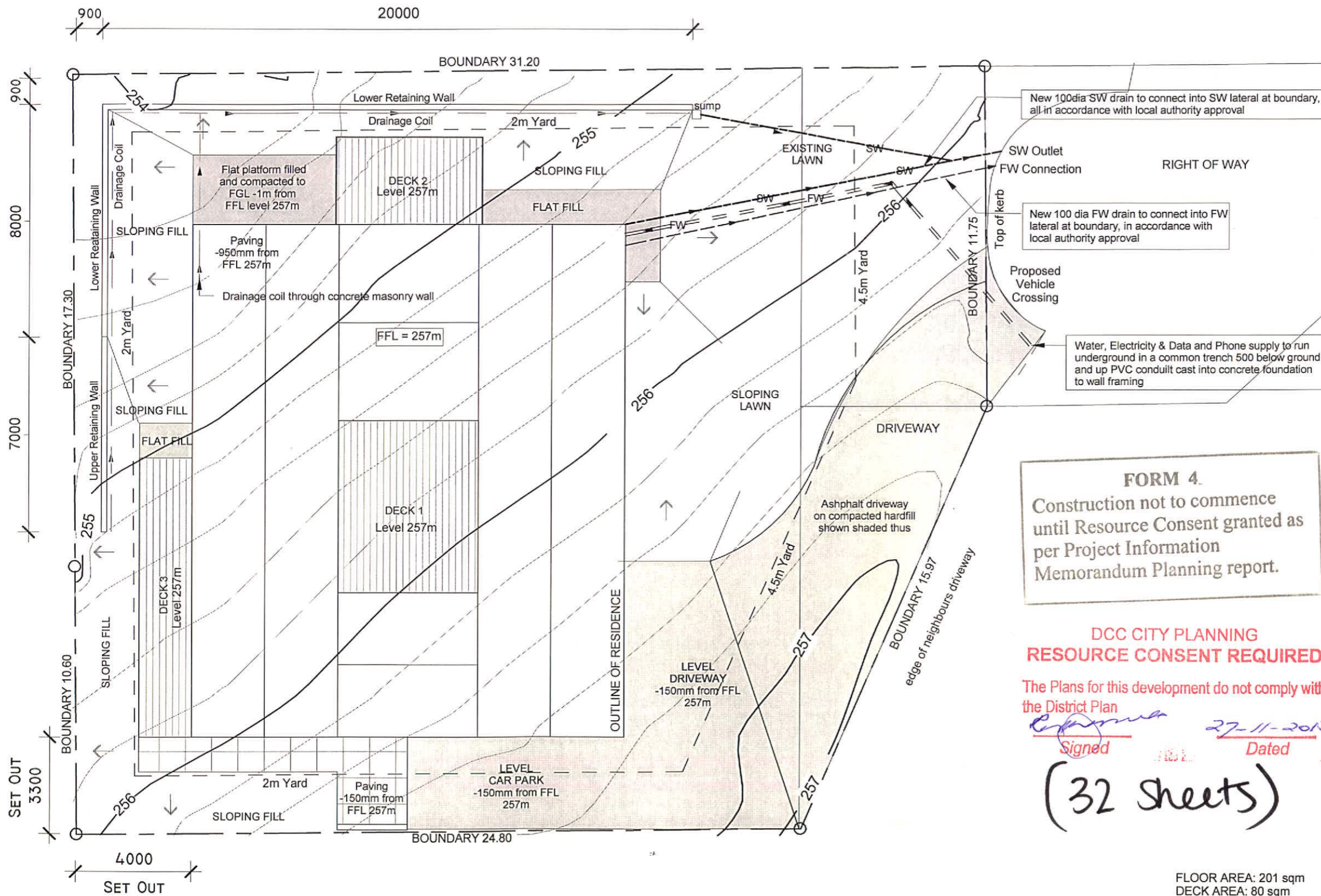
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D6	2400x810	Hinged door with privacy lock & doorstop
D7	2400x810	Hinged door with privacy lock & doorstop
D8	2400x810	Hinged door with privacy lock & doorstop
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D16	2400x810	Hinged door with lockset, with privacy lock & doorstop. (Louvred style)
D17	800x710	Subfloor space door

RECEIVED
20 NOV 2013

- SP Steel Post (refer to structural drawings by Hadley & Robinson Ltd for further information)
 - S Supply and install hard wired smoke alarm to comply with NZBC Clause F7 as required by the local authority within 3m outside of all bedroom doors
 - E Extract unit ducted to exterior
- FLOOR AREA: 201 sqm
DECK ARE

DCC COPY



HARBOUR VIEW ESTATE
DUNEDIN CITY COUNCIL
 Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request.

Building Date
 Plumbing Date 6/12/2013
 Health Date

NOTE

FORM 4.
 Construction not to commence until Resource Consent granted as per Project Information Memorandum Planning report.

DCC CITY PLANNING
RESOURCE CONSENT REQUIRED

The Plans for this development do not comply with the District Plan

Signed [Signature] Dated 27-11-2013

(32 sheets)

DRAWING LEGEND

- Page 1. Site Plan
- Page 2. Site Works Plan
- Page 3. Floor plan
- Page 4. Floor Framing and Drainage Plan
- Page 5. Roof Plan
- Page 6. Roof Framing Plan
- Page 7. Elevations
- Page 8. Elevations
- Page 9. Section 1
- Page 10. Section 2
- Page 11. Section 3
- Page 12. Section 4
- Page 13. Section 5
- Page 14. Section 6
- Page 15. Details
- Page 16. Details
- Page 17. Details
- Page 18. Details
- Page 19. Details
- Page 20. Details
- Page 21. Internal Elevations
- Page 22. Internal Elevations
- Page 23. Internal Elevations
- Page 24. Internal Elevations
- Page 25. Internal Elevations
- Page 26. Services Plan
- Page 27. Floor Coverings Plan

FLOOR AREA: 201 sqm
 DECK AREA: 80 sqm

Legal Description
 335 Highcliff Road
 Lot 6
 D.P. 368732
 Dunedin
 Site Area: 775 sqm
 Site Coverage: 36%
 Wind Zone: Very High

--- Boundary Line
 --- Major Contour
 --- Minor Contour

SITE PLAN (Note: Read in conjunction with site works plan sheet 02)
 1:200

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 62 Lagoon Avenue, Wanaka
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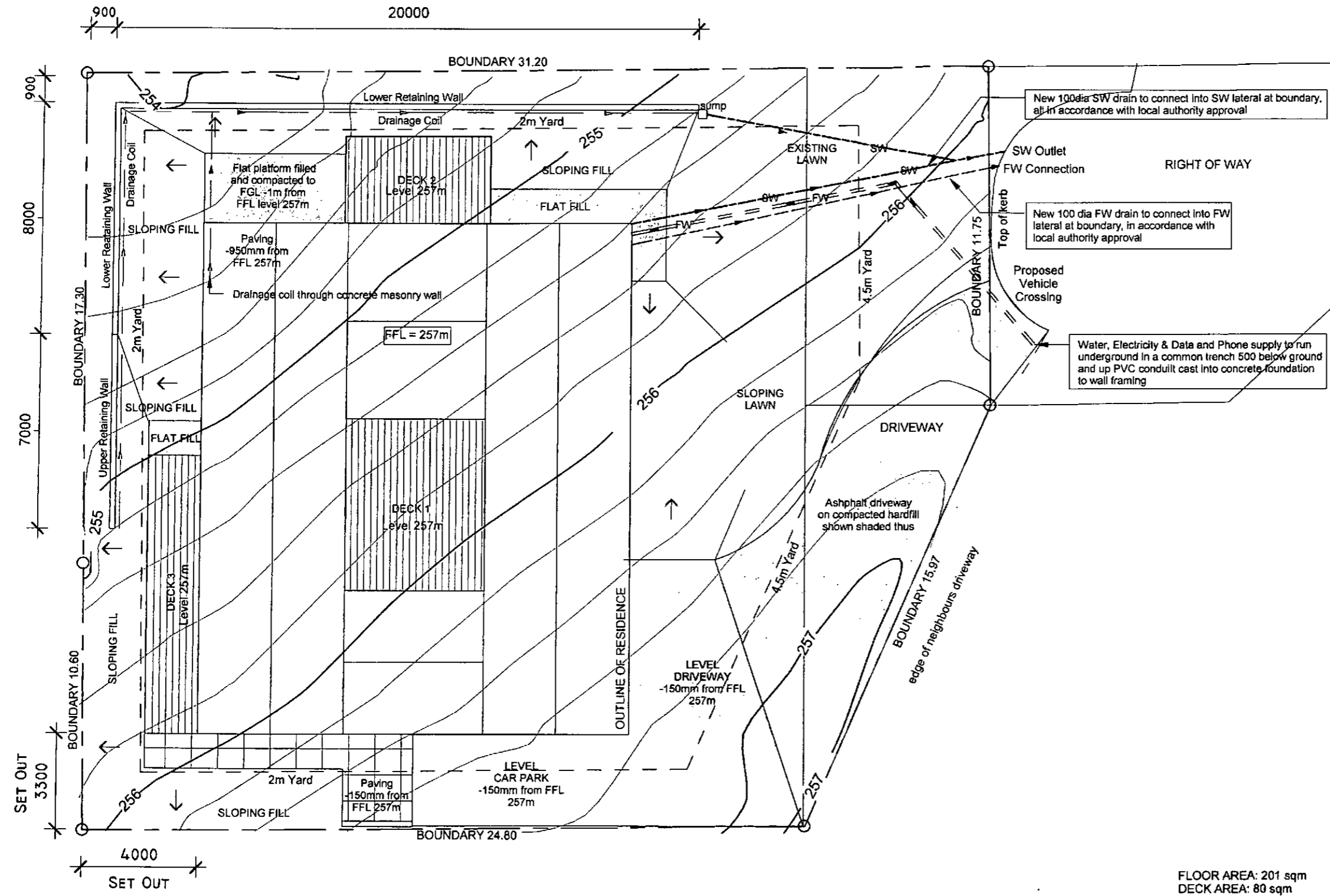
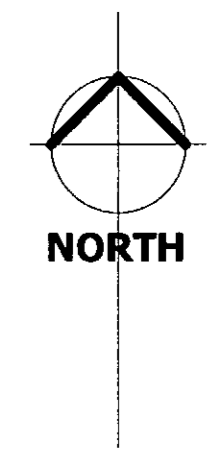


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2013 - 2200

Page 01
 Project: 963
 Date: 16/08/13
 Drawn: Author



DRAWING LEGEND	
Page 1. Site Plan	
Page 2. Site Works Plan	
Page 3A. Floor plan	
Page 4A. Floor Framing and Drainage Plan	
Page 5. Roof Plan	
Page 6A. Roof Framing Plan	
Page 7A. Elevations	
Page 8A. Elevations	
Page 9. Section 1	
Page 10. Section 2	
Page 11A. Section 3	
Page 12. Section 4	
Page 13. Section 5	
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Page 15. Details	
Page 16A. Details	
Page 17. Details	
Page 18. Details	
Page 19A. Details	
Page 20A. Details	
Page 21. Internal Elevations	
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SITE PLAN (Note: Read in conjunction with site works plan sheet 02)
1:200



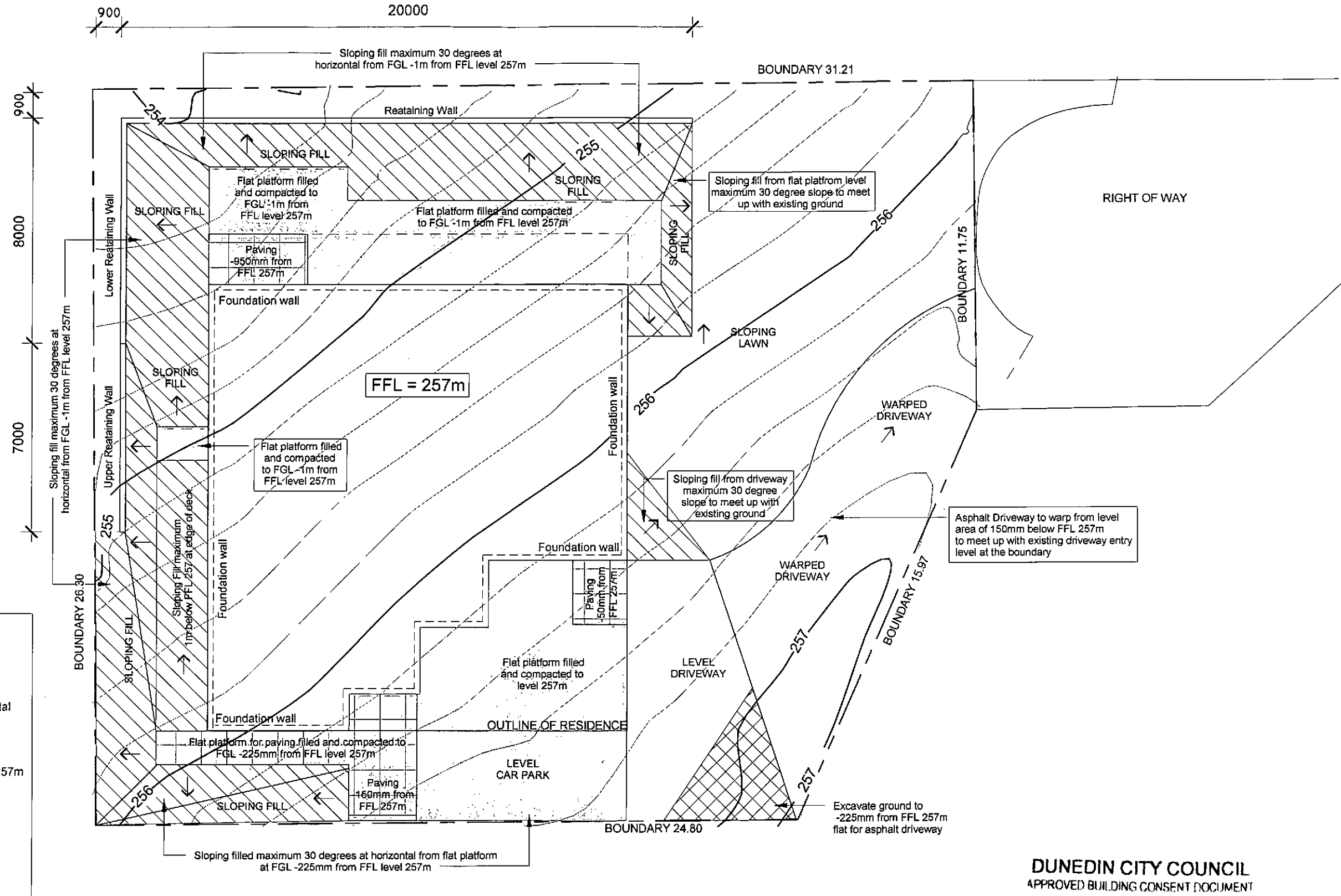
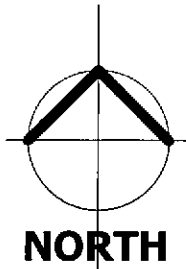
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Date: 16/08/13
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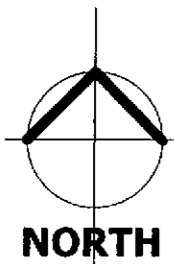
KEY

- Area of flat compacted hardfill to various levels
- Area of sloping fill always 30 degrees at horizontal from flat platforms of 225mm below FFL 257m and 1m below FFL 257m
- Area of excavation to level 225mm below FFL 257m for area of level driveway
- Boundary Line
- Major Contour
- Minor Contour
- Foundation wall

NOTE: Retaining walls to be 900mm from boundary with a maximum 900mm fall to existing ground on the boundary side
 NOTE: Foundation wall height and footings determined by existing solid ground and engineers drawings.

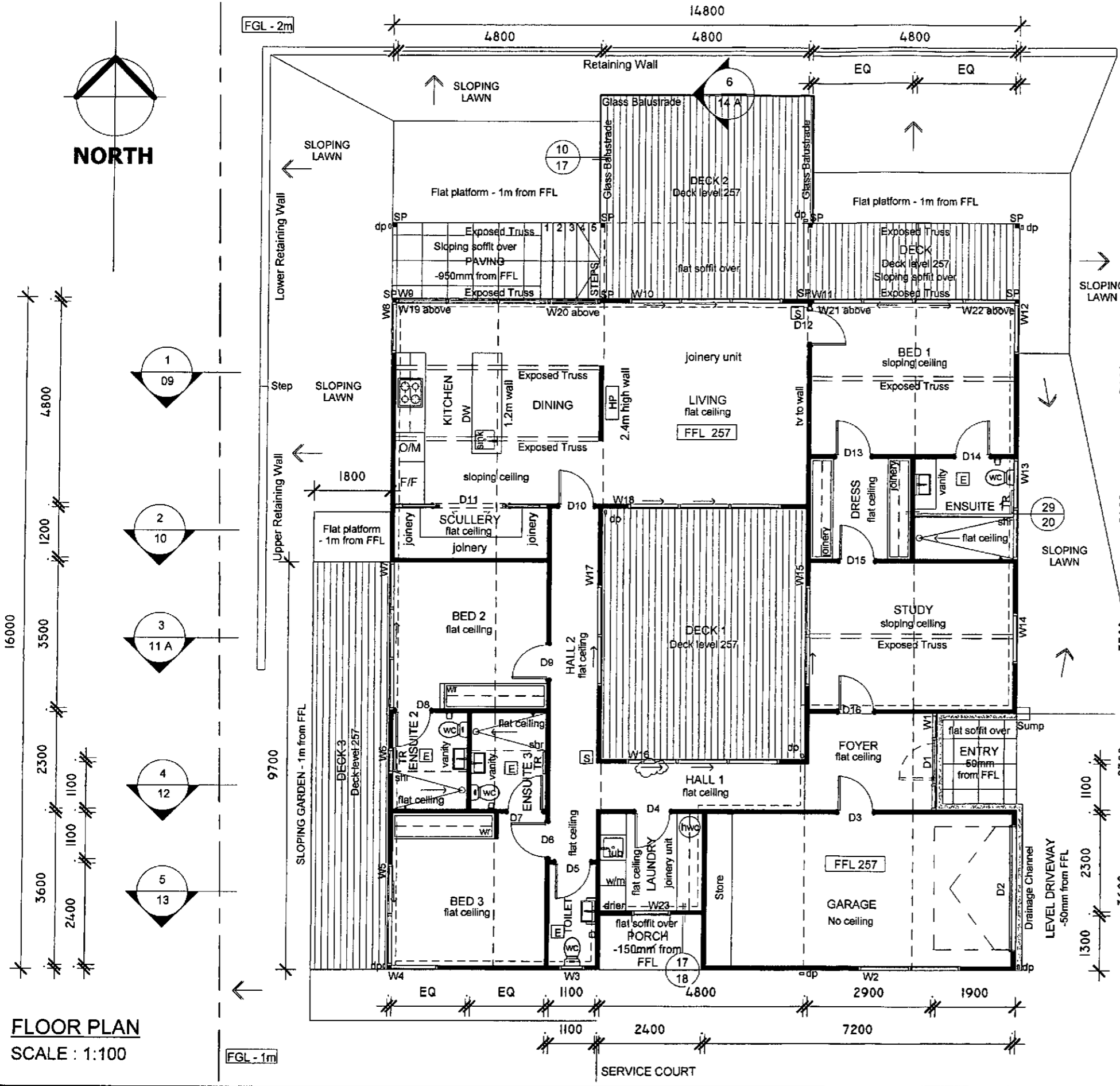
SITE WORKS PLAN
 1:200

DUNEDIN CITY COUNCIL
 APPROVED BUILDING CONSENT DOCUMENT
 2013 2200

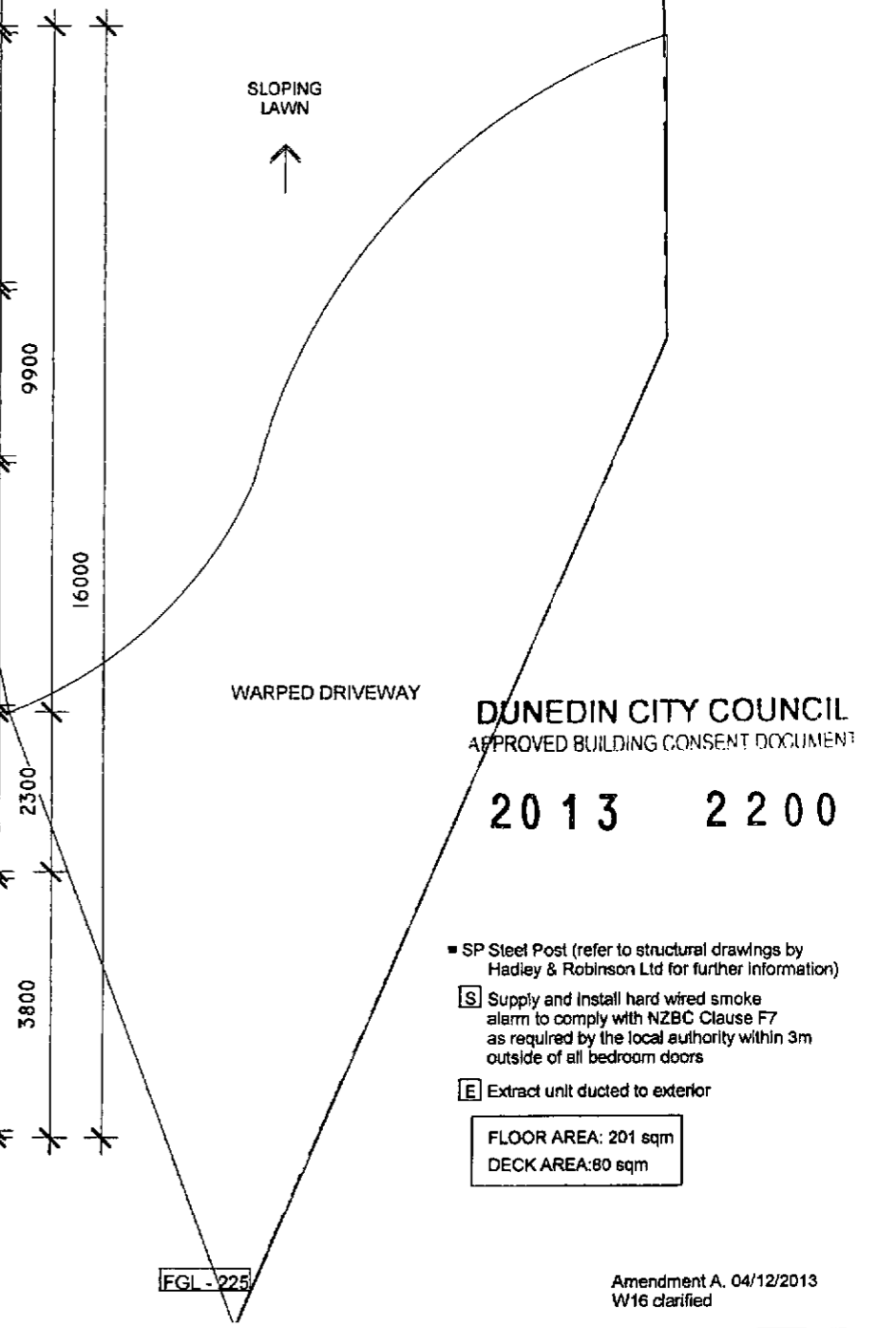


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D10	2400x810	Hinged door & doorstop
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D16	2400x810	Hinged door with lockset, with privacy lock & doorstop. (Louvred style)
D17	800x710	Subfloor space door



FLOOR PLAN
SCALE : 1:100



DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2013 2200

- SP Steel Post (refer to structural drawings by Hadley & Robinson Ltd for further information)
- Supply and install hard wired smoke alarm to comply with NZBC Clause F7 as required by the local authority within 3m outside of all bedroom doors
- Extract unit ducted to exterior

FLOOR AREA: 201 sqm
DECK AREA: 80 sqm

Amendment A. 04/12/2013
W16 clarified

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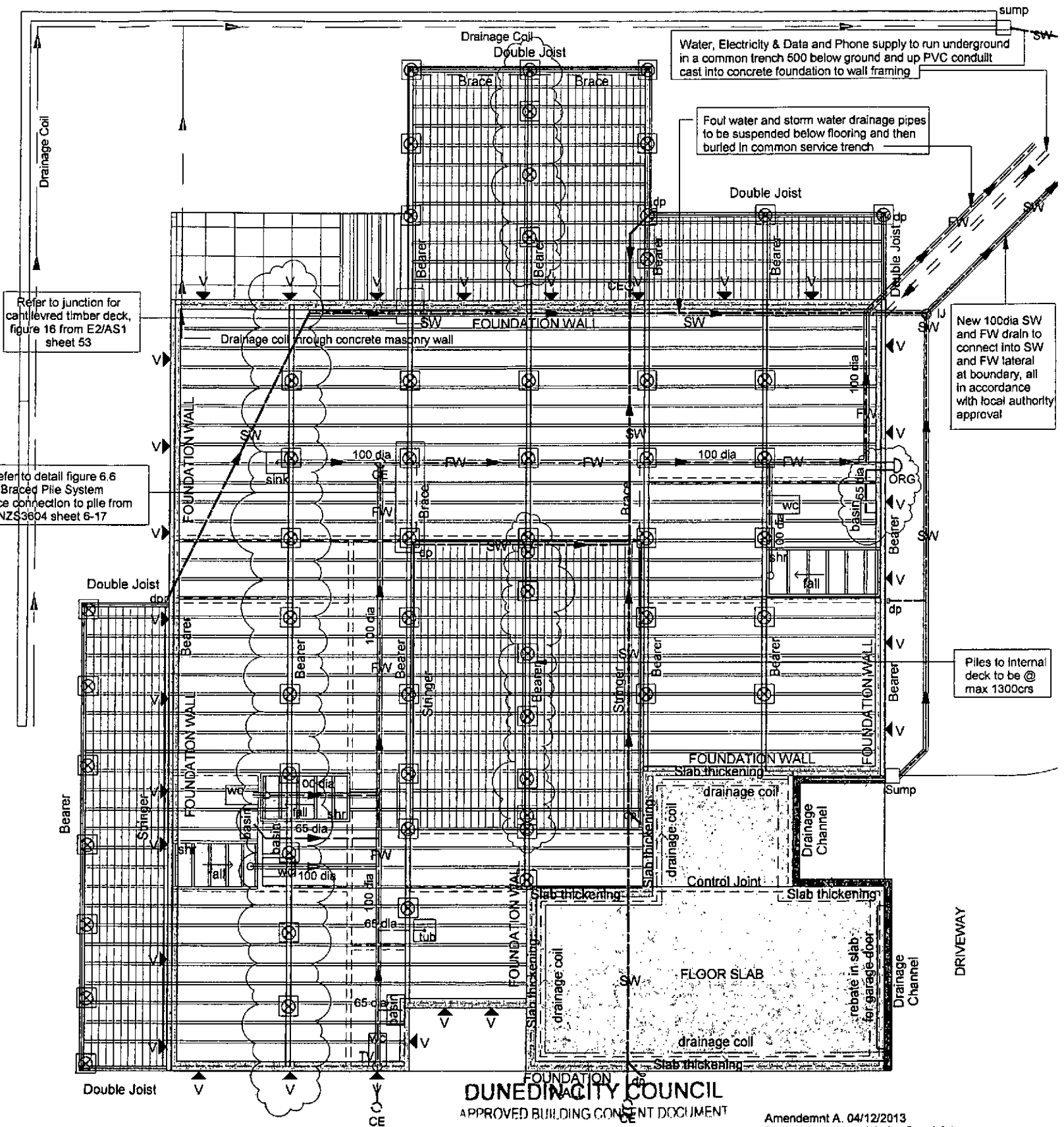
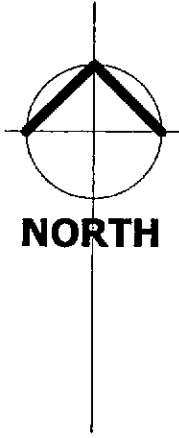
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PLUMBING & DRAINAGE		KEY	
Sanitary Plumbing & Drainage design to NZS/AS1 3500		Surface water	100mm dia SW
DN40mm dia 1:40 Gradient waste above slab level.		Foul water	100mm dia FW
DN100mm dia 1:60 Gradient waste above slab level.		Common trench	
All drainage below floor level to be DN100mm dia 1:60 Gradient		80 dia drainage coils behind retaining foundation walls	
Shower waste DN40mm dia		Aoo declline proprietary drainage channel with fall to sumps	
100mm dia- surface water drain 1:60 Gradient.		80 dia Terminal Vent	TV
100mm dia- Foul drain 1:60 Gradient		Overflow Relief Gully	ORG
All drains under slab floor be 100 dia		Inspection Junction G13/AS2	IJ
FLOOR LEVELS		Cleaning Eye G13/AS2	CE
Floor Level 257m		Downpipe (100x50 rectangular)	dp
Sump 300x300 sump as per E1/AS1			

SLAB DETAILS		KEY	
F.F.L. +225 minimum above ground level at all points unless otherwise stated.		2/140x45 Double Joists and 140x90 bearers	
F.F.L. + 50 minimum above paved level with drainage channel at building face.		140 dia H3. 2 treated SG8 Timber Pile in 460mm square concrete footing @ 1650crs max	
Alternative + 150 above paved level with no drainage channel		B Braced Piles	
Areas, measurements and site levels subject to final Survey on site.		140x45 SG8 Timber floor joists @ 400crs to residence and decks	
2D12 trimmers @ all internal corners		Wall framing above	
Provide slab thickenings under all load bearing walls		Slab thickening	
floor slab and foundation walls as per Engineers details		Subfloor vents 400mm from corner of wall and @ 1800crs	

NOTE: Read drawings in conjunction with structural engineering foundation plan and details prepared by Hadley Robinson Ltd



DRAINAGE PLAN
SCALE : 1:100

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT
2013 2200

Amendmnt A. 04/12/2013
Bearer moved to minimise floor joist span.
45 dia wastes changed to 65 dia.
Piles to internal Deck changed to max 1.3m crs.
65 dia waste from basin in esulte to discharge into ORG.

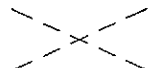


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 62 Lagoon Avenue, Wanaka
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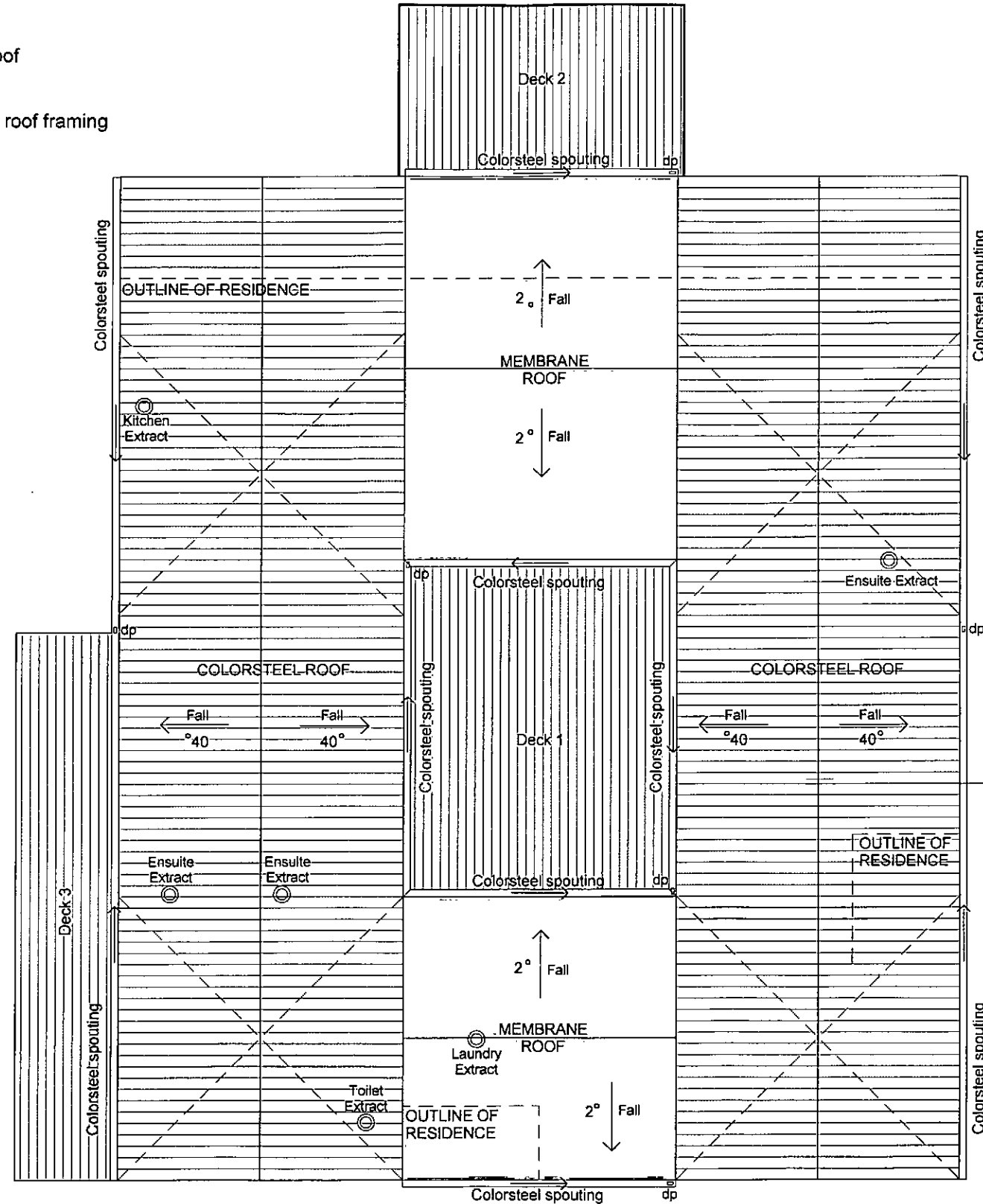
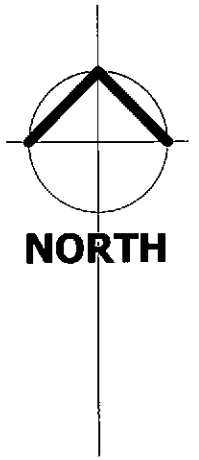


OLIVER RESIDENCE, 335 HIGHCLIFF ROAD, DUNEDIN

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Page 04A
 Project: 963
 Date: 16/08/13
 Drawn: Author

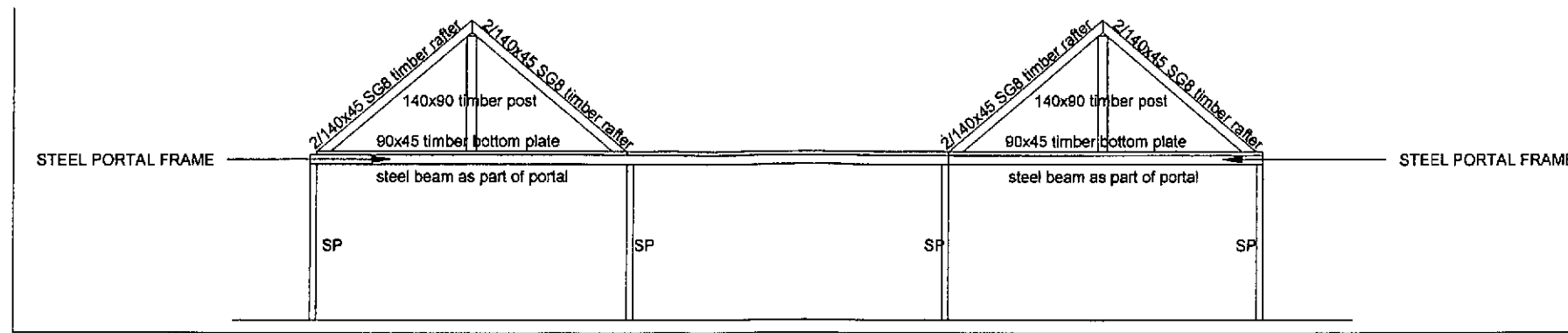
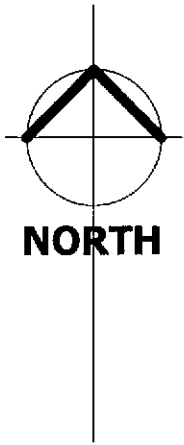
- 100 x 50 Colorsteel downpipes
-  Roof brace to be lumberlock multi roof braces as per manufacturers instructions
-  Colorsteel high five roofing on building underlay on roof framing as per manufacturers instructions
-  Membrane roof on H3.2 treated plywood on furring on roof framing



Refer to detail Figure 48:
Ridge & Hip Flashings for Profile Metal,
Sheet 81 for E2/AS1

ROOF PLAN
SCALE : 1:100

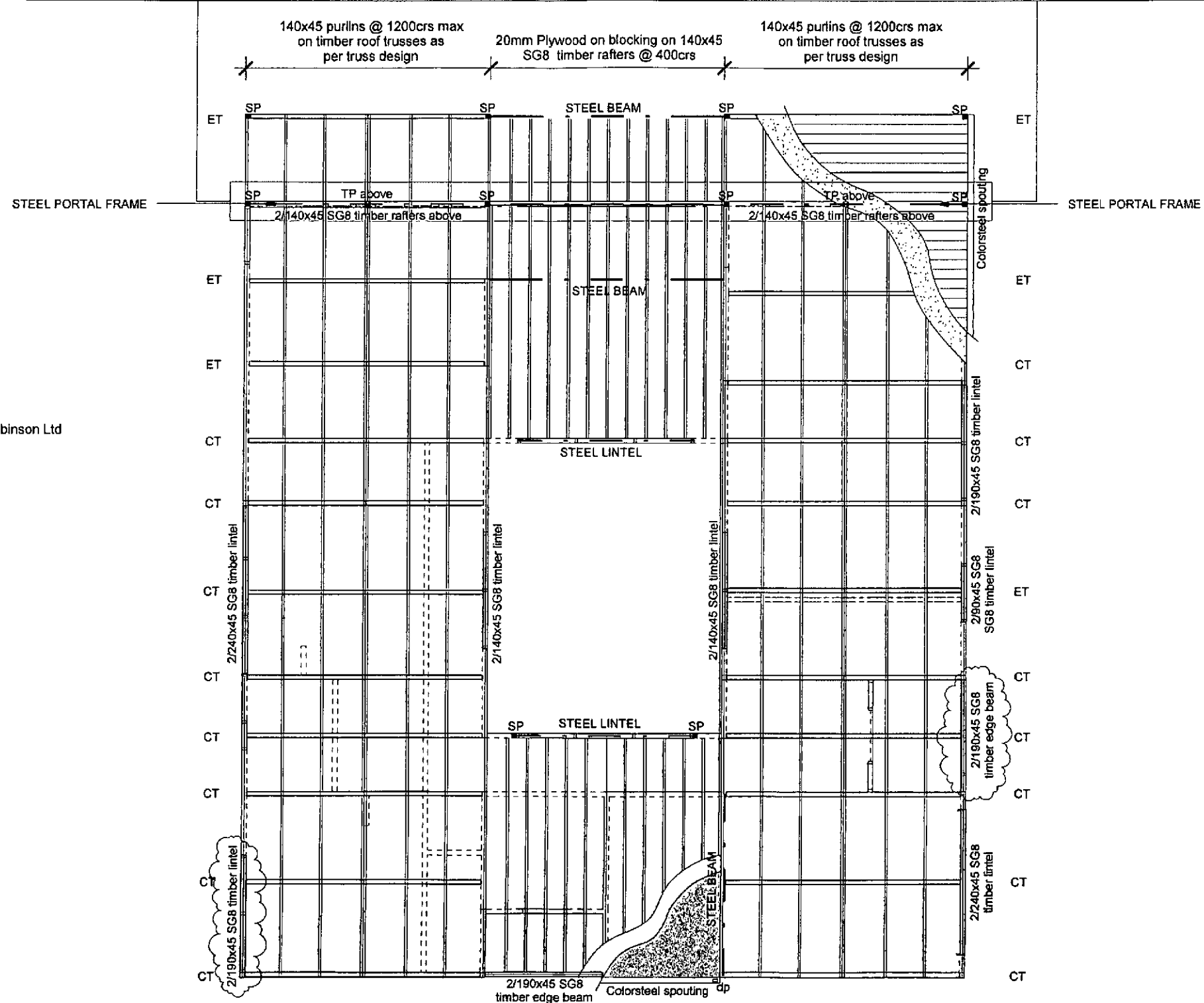
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2013 2200



KEY

- Wall Framing shown dashed
- ==== ET Exposed timber roof trusses with metal plates and bolt fixings as per truss design
- ==== CT Concealed timber roof trusses with nail plated fixings as per truss design
- TP ■ Timber Post
- SP ■ Steel post
- Steel Beams various sizes
- ==== Timber lintels various sizes
- Membrane roof on H3.2 Plywood
- ▨ HI Five Colorsteel Roofing
- ▨ Building wrap

Note: Read in conjunction with structural drawings by Hadley Robinson Ltd



ROOF FRAMING PLAN

SCALE : 1:100

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2013 2200

Amendment A. 04/12/2013
Lintel sizes clarified.

GARY TODD ARCHITECTURE

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Email - gary.todd@xtira.co.nz
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62 Lagoon Avenue, Wanaka
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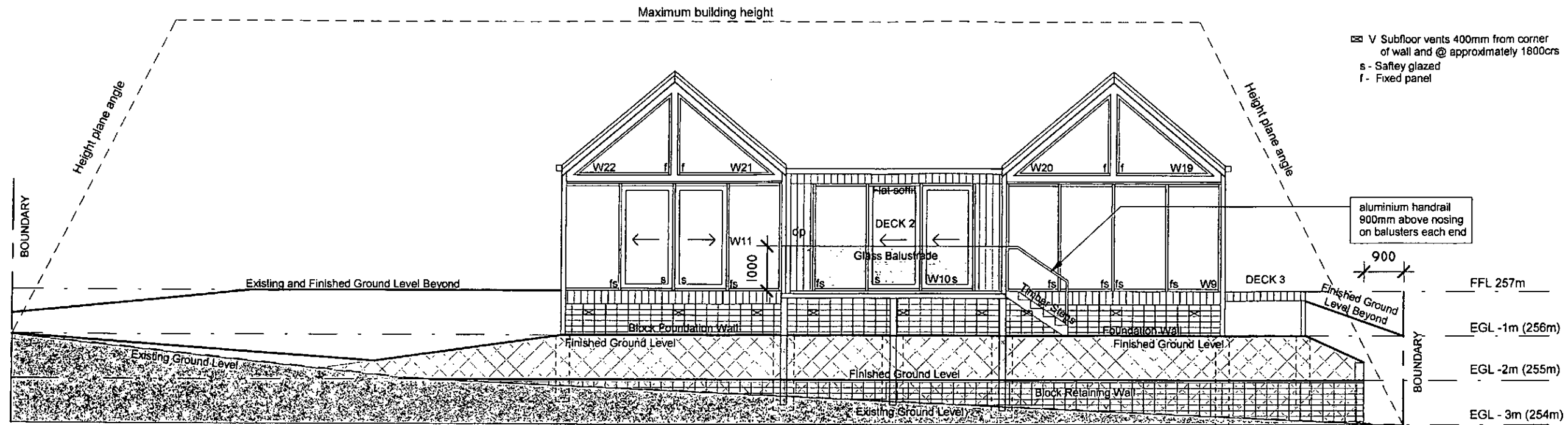


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Project: 963
Date: 16/08/13
Drawn: Author

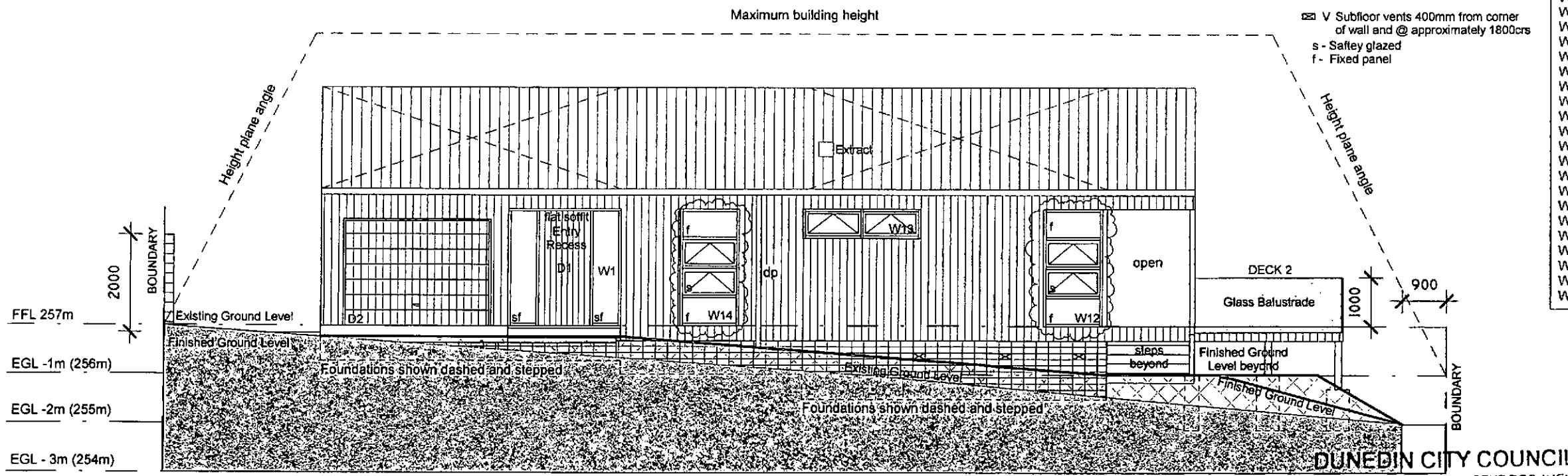


NORTH ELEVATION

SCALE : 1:100

WINDOW SCHEDULE

W no	Size (H x W)	Lintel	Fixing
W1	2400 x 2300	2/190x45	G
W2	600 x 2400	2/190x45	G
W3	600 x 600	2/90x45	F
W4	2400 x 1200	2/90x45	F
W5	2400 x 2400	2/190x45	G
W6	600 x 600	2/90x45	F
W7	2400 x 3600	2/240x45	G
W8	2400 x 1200	2/90x45	F
W9	2400 x 4800	Steel	-
W10	2400 x 3600	Steel	-
W11	2400 x 4800	Steel	-
W12	2400 x 1200	2/90x45	F
W13	600 x 2400	2/190x45	G
W14	2400 x 1200	2/90x45	F
W15	2400 x 2400	2/190x45	G
W16	2400 x 3600	2/240x45	G
W17	2400 x 2400	2/190x45	G
W18	2400 x 3600	2/240x45	G
W19	0-1800 x 2400	Truss	-
W20	0-1800 x 2400	Truss	-
W21	0-1800 x 2400	Truss	-
W22	0-1800 x 2400	Truss	-
W23	2400 x 900	2/90x45	E



EAST ELEVATION

SCALE : 1:100

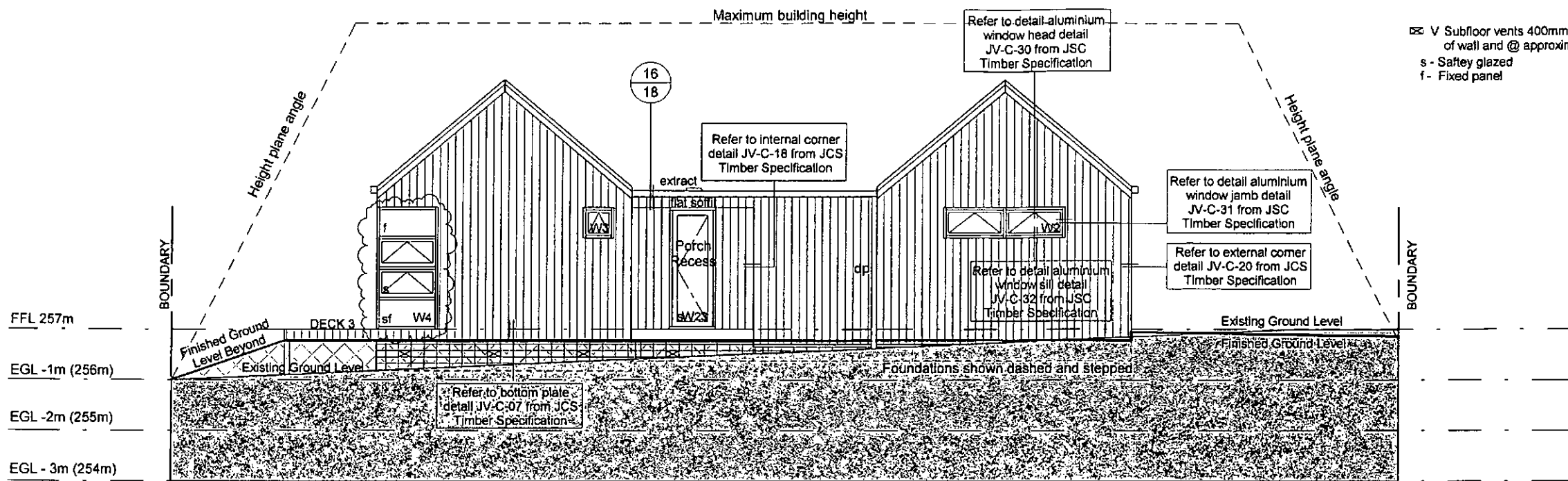
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2013 2200

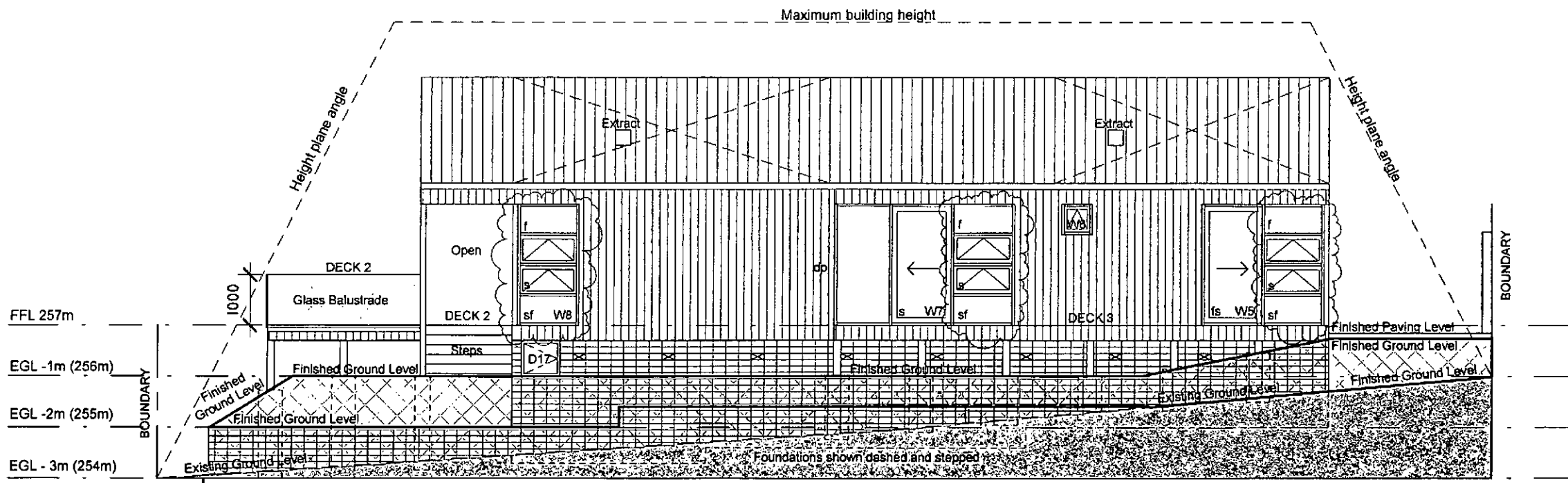
KEY:

- Area of backfill
- Vertical Cedar Cladding
- Concrete Masonry
- ColorSteel Roofing

Amendment A 04/12/2013
W12 & W14 changed
to 2 opening sashes and 2
fixed panels



SOUTH ELEVATION
SCALE : 1:100



WEST ELEVATION
SCALE : 1:100

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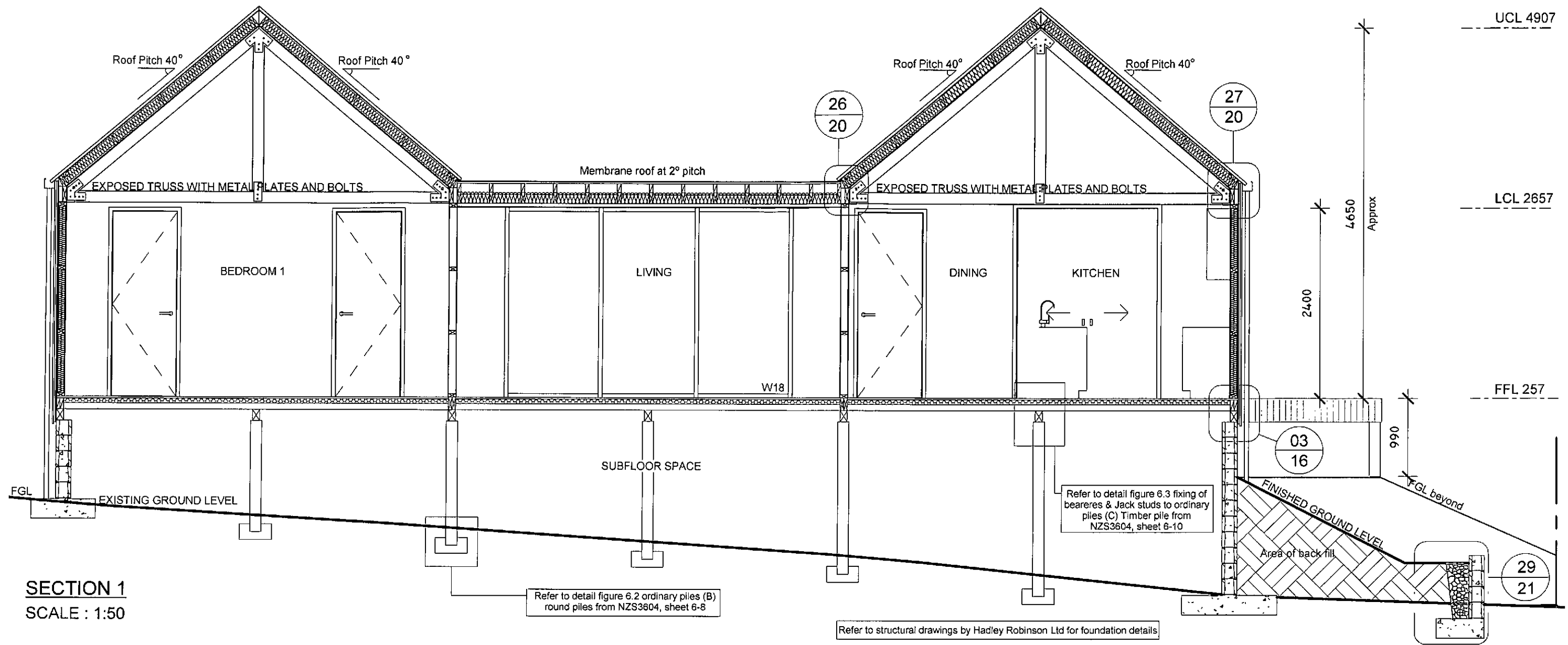
2013 2200

V Subfloor vents 400mm from corner of wall and @ approximately 1800crs
s - Safety glazed
f - Fixed panel

KEY:

	Area of backfill
	Vertical Cedar Cladding
	Concrete Masonry
	ColorSteel Roofing

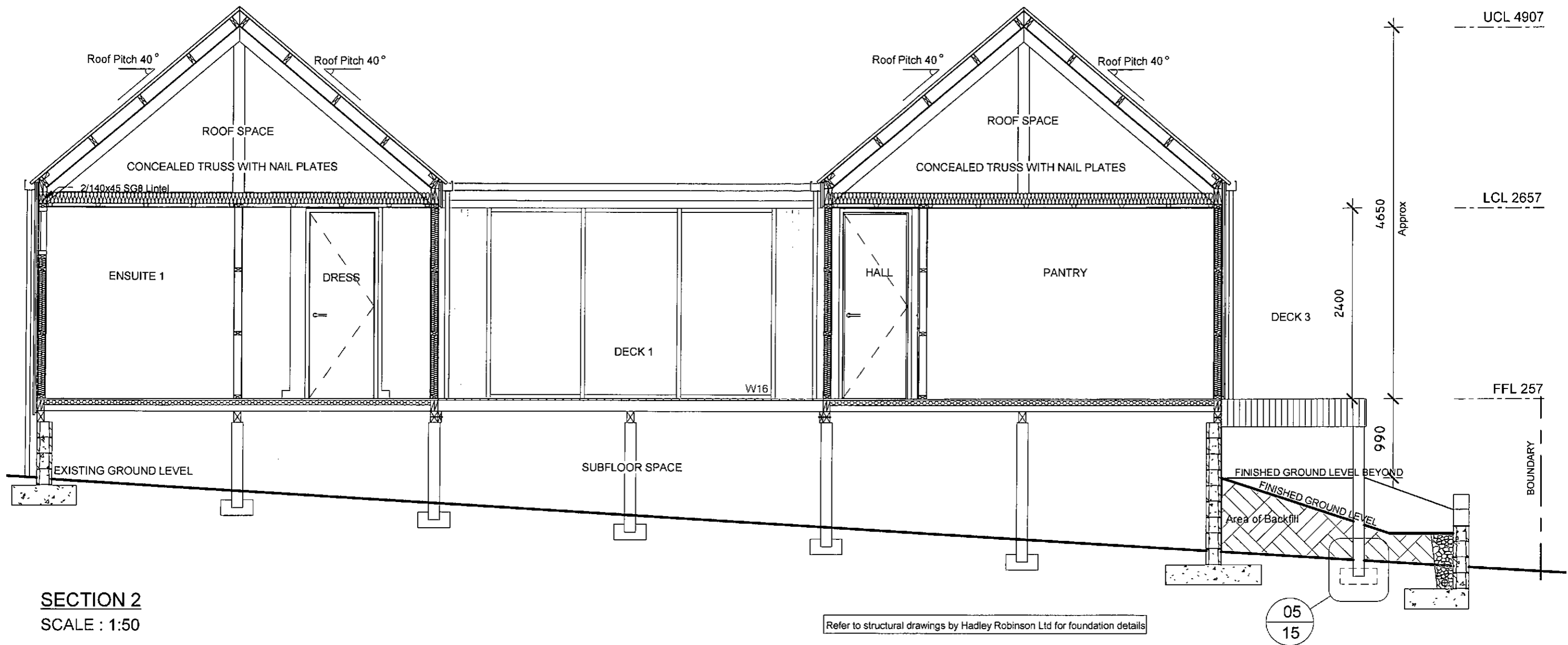
Amendment A 04/12/2013
W4, W5, W7 & W8 changed to 2 opening sashes and 2 fixed panels



SECTION 1
SCALE : 1:50

<p>CONSTRUCTION/MATERIAL SCHEDULE:</p> <p>These drawings are to be read in conjunction with all other documentation. Foundation construction to comply with NZS 3604:2011 & max R system -All timber treatments to comply with NZS3602: 2003 and shall be SG8 minimum for all wall and roof timber framing. Roof Cladding:</p> <p>10. Colorsteel Hi five roofing on building underlay on roof structure to fall to colorsteel spoutings and down pipes.</p> <p>11. Membrane roofing on H3.2 18mm plywood over firing on roof framing to fall to colorsteel spoutings and down pipes</p> <p>12. Colorsteel flashings eg. barge, capping, ridge etc.</p> <p>13. Roofing underlay shall be Thermakraft 213 self supporting bituminous building paper as per manufacturers instructions.</p> <p>14. Roof bracing shall be achieved with Lumberlok roof bracing as per structural drawings and manufacturers instructions.</p> <p>Exterior Wall Cladding:</p> <p>20. JCS VerticClad Cedar boarding system on cavity on building wrap on timber framing as per manufacturers instructions.</p> <p>21. Building wrap shall be Thermakraft coverup building wrap as per manufacturers instructions.</p>	<p>Exterior Joinery:</p> <p>30. Metro series, powder coated aluminium joinery frame with double glazing, clear, (exterior) and (interior) with argon gas as infill and gib liner adapter to all exterior joinery to living area, Ensuite and Bedroom 1 only.</p> <p>31. Sectional Vertical Cedar Clad garage door on auto gear with two remotes.</p> <p>32. Glass balustrade to deck 2 as per manufacturers instructions and PS1</p> <p>Lining and Insulation:</p> <p>40. Sloping ceilings shall be 12mm Ecoply Grooved lining to be fixed to underside of purlins with joints concealed with paint finish white wash.</p> <p>40. All other ceilings shall be 13mm Gib plaster board to be fixed to underside steel battens or directly fixed to the underside of roof framing & stopped as per manufacturer instructions.</p> <p>41. Soffits 6mm villaboard fixed to underside of steel battens or directly to framing.</p> <p>42. All walls lined with 10mm Gib board fixed & stopped as per manufacturer instructions.</p> <p>43. Tiled wet area walls & ceilings 10mm Gib aqualine plaster board fixed & stopped for tiled and paint finish as per manufacturer instructions.</p> <p>44. R2.8 batt insulation to all external wall framing as per manufacturers instructions.</p>	<p>45. R3.2 115mm Pink Batt skillion roof insulation between purlins to sloping roofs.</p> <p>46. R3.6 batt insulation to all other ceiling areas as per manufacturer instructions.</p> <p>47. R2.8 60mm polystyrene insulation to under floor between joists.</p> <p>Roof Framing:</p> <p>50. Timber roof trusses @ approx 1600mm crs to all sloping roofs as per truss design and engineers drawings.</p> <p>51. 140x45 SG8 Rafters @ approx 400 crs to all membrane roofs.</p> <p>52. 140x45 SG8 timber purlins on edge @ max 1200 crs to span over trusses all as per roof framing plan.</p> <p>53. All steel work in locations as shown on drawings and as per engineer drawings.</p> <p>Wall Framing:</p> <p>60. All external wall framing shall be SG8 90x45 with H1.2 treatment.</p> <p>61. All internal wall framing shall be SG8 90x45. All internal studs shall be 400crs with dwangs 800crs unless otherwise stated.</p> <p>Floor Slab, Foundation & Floor Framing</p> <p>70. To Garage and Foyer supply 100mm thick 20mpa concrete slab reinforced with E665 mesh on DPM on 50mm sand on hard fill to solid bearing ground. 3xD12 rods to all concrete footings with 1.2m long supplementary reinforcing bars to internal corners.</p>	<p>71. 20 Series concrete masonry foundation walls as per structural drawings</p> <p>72. Floor framing to be SG8 140x45 timber floor joists @ 400 crs on 2/140x45 SG8 timber bearers @ approx 2400 crs on 140dia timber piles @ max 1650 crs with 400mm sq concrete footings.</p> <p>73. Braced piles to Deck 1 and 2 as shown on drawings</p> <p>75. Provide 25mm asphalt to driveway and car park areas on 150mm thick compacted hardfill.</p> <p>Deck Construction</p> <p>76. H3.2 SG8 140x45 timber joists spanning over H3.2 SG8 140x90 timber bearers with maximum span of 1650 crs on 140dia timber piles @ max 1650 crs with 250mm deep x 400mm square concrete footings.</p> <p>Services:</p> <p>80. Water, Electricity, Telephone, and Data supply services from street to residence underground in common service trench.</p> <p>81. 82. Foul drainage and Surface Water drainage from residence to laterals at North west boundary corner near Street.</p> <p>82. Electric hot water cylinder with relief valve, pipe to discharge to exterior with 3 seismic resistant straps as per manufacturers instructions and specification.</p>
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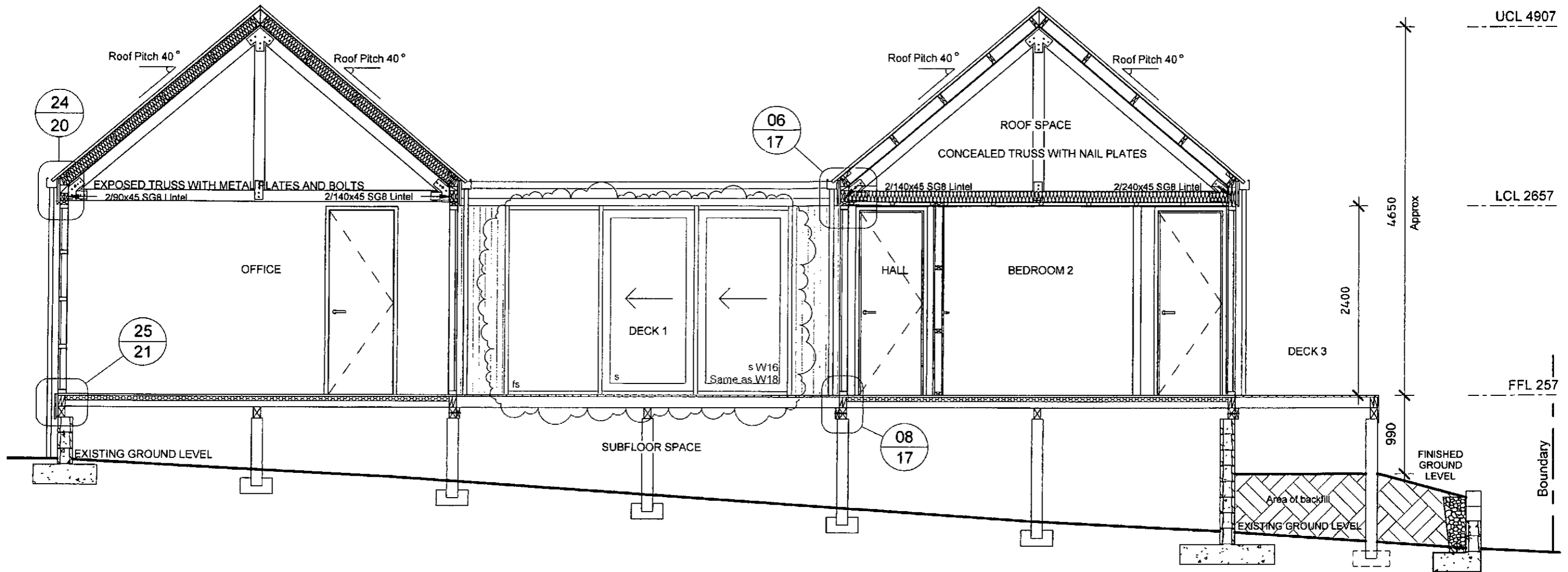
DUNEDIN CITY COUNCIL
 APPROVED BUILDING CONSENT DOCUMENT



SECTION 2
SCALE : 1:50

Refer to structural drawings by Hadley Robinson Ltd for foundation details

<p>CONSTRUCTION/MATERIAL SCHEDULE:</p> <p>These drawings are to be read in conjunction with all other documentation. Foundation construction to comply with NZS 3604:2011 & max R system -All timber treatments to comply with NZS3602: 2003 and shall be SG8 minimum for all wall and roof timber framing. Roof Cladding:</p> <p>10. Colorsteel Hi five roofing on building underlay on roof structure to fall to colorsteel spoutings and down pipes.</p> <p>11. Membrane roofing on H3.2 18mm plywood over firing on roof framing to fall to colorsteel spoutings and down pipes</p> <p>12. Colorsteel flashings eg. barge, capping, ridge etc.</p> <p>13. Roofing underlay shall be Thermakraft 213 self supporting bituminous building paper as per manufacturers instructions.</p> <p>14. Roof bracing shall be achieved with Lumberlok roof bracing as per structural drawings and manufacturers instructions.</p> <p>Exterior Wall Cladding:</p> <p>20. JCS VerticClad Cedar boarding system on cavity on building wrap on timber framing as per manufacturers instructions.</p> <p>21. Building wrap shall be Thermakraft coverup building wrap as per manufacturers instructions.</p>	<p>Exterior Joinery:</p> <p>30. Metro series, powder coated aluminium joinery frame with double glazing, clear, (exterior) and (Interior) with argon gas as infill and gib liner adapter to all exterior joinery to living area, Ensuite and Bedroom 1 only.</p> <p>31. Sectional Vertical Cedar Clad garage door on auto gear with two remotes.</p> <p>32. Glass balustrade to deck 2 as per manufacturers instructions and PS1</p> <p>Lining and Insulation:</p> <p>40. Sloping ceilings shall be 12mm Ecoply Grooved lining to be fixed to underside of purlins with joints concealed with paint finish white wash.</p> <p>40. All other ceilings shall be 13mm Gib plaster board to be fixed to underside steel battens or directly fixed to the underside of roof framing & stopped as per manufacturer instructions.</p> <p>41. Soffits 6mm villaboard fixed to underside of steel battens or directly to framing.</p> <p>42. All walls lined with 10mm Gib board fixed & stopped as per manufacturer instructions.</p> <p>43. Tiled wet area walls & ceilings 10mm Gib aqualine plaster board fixed & stopped for tiled and paint finish as per manufacturer instructions.</p> <p>44. R2.8 batt insulation to all external wall framing as per manufacturers instructions.</p>	<p>45. R3.2/15mm Pink Batt skillion roof insulation between purlins to sloping roofs.</p> <p>46. R3.6 batt insulation to all other ceiling areas as per manufacturer instructions.</p> <p>47. R2.8 60mm polystyrene insulation to under floor between joists.</p> <p>Roof Framing:</p> <p>50. Timber roof trusses @ approx 1600mm crs to all sloping roofs as per truss design and engineers drawings.</p> <p>51. 140x45 SG8 Rafters @ approx 400 crs to all membrane roofs.</p> <p>52. 140x45 SG8 timber purlins on edge @ max 1200 crs to span over trusses all as per roof framing plan.</p> <p>53. All steel work in locations as shown on drawings and as per engineer drawings.</p> <p>Wall Framing:</p> <p>60. All external wall framing shall be SG8 90x45 with H1.2 treatment.</p> <p>61. All internal wall framing shall be SG8 90x45. All internal studs shall be 400crs with dwangs 800crs unless otherwise stated.</p> <p>Floor Slab, Foundation & Floor Framing</p> <p>70. To Garage and Foyer supply 100mm thick 20mpa concrete slab reinforced with E665 mesh on DPM on 50mm sand on hard fill to solid bearing ground. 3xD12 rods to all concrete footings with 1.2m long supplementary reinforcing bars to internal corners.</p>	<p>71. 20 Series concrete masonry foundation walls as per structural drawings</p> <p>72. Floor framing to be SG8 140x45 timber floor joists @ 400 crs on 2/140x45 SG8 timber bearers @ approx 2400 crs on 140dia timber piles @ max 1650 crs with 400mm sq concrete footings.</p> <p>73. Braced piles to Deck 1 and 2 as shown on drawings</p> <p>75. Provide 25mm asphalt to driveway and car park areas on 150mm thick compacted hardfill.</p> <p>Deck Construction</p> <p>76. H3.2 SG8 140x45 timber joists spanning over H3.2 SG8 140x90 timber bearers with maximum span of 1650 crs on 140dia timber piles @ max 1650 crs with 250mm deep x 400mm square concrete footings.</p> <p>Services:</p> <p>80. Water, Electricity, Telephone, and Data supply services from street to residence underground in common service trench.</p> <p>81. 82. Foul drainage and Surface Water drainage from residence to laterals at North west boundary corner near Street.</p> <p>82. Electric hot water cylinder with relief valve, pipe to discharge to exterior with 3 seismic resistant straps as per manufacturers instructions and specification.</p>
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SECTION 3
SCALE : 1:50

Refer to structural drawings by Hadley Robinson Ltd for foundation details

Amendment A. 04/12/2013
W16 & W18 clarified

CONSTRUCTION/MATERIAL SCHEDULE:

These drawings are to be read in conjunction with all other documentation.
-All foundation construction to comply with NZS 3604:2011 & max R system
-All timber treatments to comply with NZS3602: 2003 and shall be SG8 minimum for all wall and roof timber framing.

Roof Cladding:

10. Colorsteel HI five roofing on building underlay on roof structure to fall to colorsteel spoutings and down pipes.

11. Membrane roofing on H3.2 18mm plywood over fling on roof framing to fall to colorsteel spoutings and down pipes

12. Colorsteel flashings eg. barge, capping, ridge etc.

13. Roofing underlay shall be Thermakraft 213 self supporting bituminous building paper as per manufacturers instructions.

14. Roof bracing shall be achieved with Lumberlok roof bracing as per structural drawings and manufacturers instructions.

Exterior Wall Cladding:

20. JCS VerticClad Cedar boarding system on cavity on building wrap on timber framing as per manufacturers instructions.

21. Building wrap shall be Thermakraft coverup building wrap as per manufacturers instructions.

Exterior Joinery:

30. Metro series, powder coated aluminium joinery frame with double glazing, clear, (exterior) and (interior) with argon gas as infill and gib liner adapter to all exterior joinery to living area, Ensuite and Bedroom 1 only.

31. Sectional Vertical Cedar Clad garage door on auto gear with two remotes.

32. Glass balustrade to deck 2 as per manufacturers instructions and PS1

Lining and Insulation:

40. Sloping ceilings shall be 12mm Ecoply Grooved lining to be fixed to underside of purlins with joints concealed with paint finish white wash.

40. All other ceilings shall be 13mm Gib plaster board to be fixed to underside steel battens or directly fixed to the underside of roof framing & stopped as per manufacturer instructions.

41. Soffits 6mm villaboard fixed to underside of steel battens or directly to framing.

42. All walls lined with 10mm Gib board fixed & stopped as per manufacturer instructions.

43. Tiled wet area walls & ceilings 10mm Gib aqualine plaster board fixed & stopped for tiled and paint finish as per manufacturer instructions.

44. R2.8 batt insulation to all external wall framing as per manufacturers instructions.

45. R3.2 115mm Pink Batt skillion roof insulation between purlins to sloping roofs.

46. R3.6 batt insulation to all other ceiling areas as per manufacturer instructions.

47. R2.8 60mm polystyrene insulation to under floor between joists.

Roof Framing:

50. Timber roof trusses @ approx 1600mm crs to all sloping roofs as per truss design and engineers drawings.

51. 140x45 SG8 Rafters @ approx 400 crs to all membrane roofs.

52. 140x45 SG8 timber purlins on edge @ max 1200 crs to span over trusses all as per roof framing plan.

53. All steel work in locations as shown on drawings and as per engineer drawings.

Wall Framing:

60. All external wall framing shall be SG8 90x45 with H1.2 treatment.

61. All internal wall framing shall be SG8 90x45. All internal studs shall be 400crs with dwangs 800crs unless otherwise stated.

Floor Slab, Foundation & Floor Framing

70. To Garage and Foyer supply 100mm thick 20mpa concrete slab reinforced with E865 mesh on DPM on 50mm sand on hard fill to solid bearing ground. 3xD12 rods to all concrete footings with 1.2m long supplementary reinforcing bars to internal corners.

71. 20 Series concrete masonry foundation walls as per structural drawings

72. Floor framing to be SG8 140x45 timber floor joists @ 400 crs on 2/140x45 SG8 timber bearers @ approx 2400 crs on 140dia timber piles @ max 1650 crs with 400mm sq concrete footings.

73. Braced piles to Deck 1 and 2 as shown on drawings

75. Provide 25mm asphalt to driveway and car park areas on 150mm thick compacted hardfill.

Deck Construction

78. H3.2 SG8 140x45 timber joists spanning over H3.2 SG8 140x90 timber bearers with maximum span of 1650 crs on 140dia timber piles @ max 1650 crs with 250mm deep x 400mm square concrete footings.

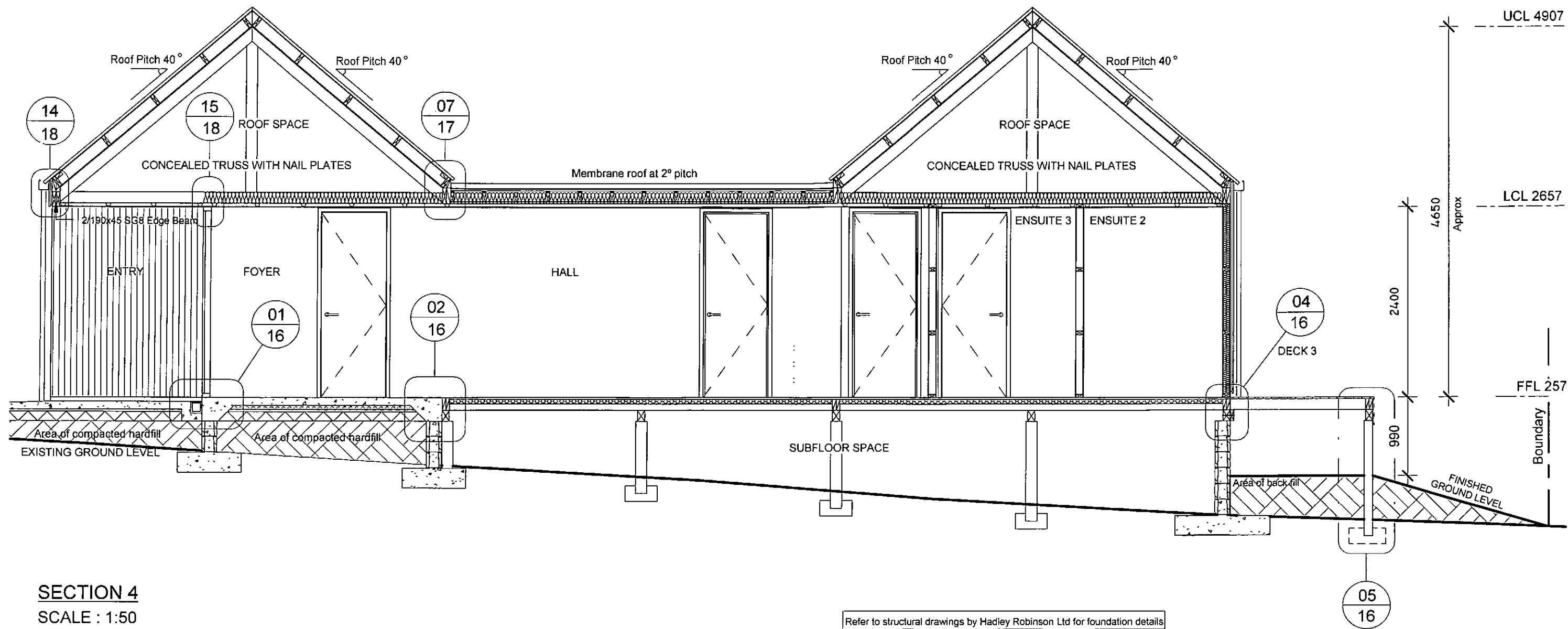
Services:

80. Water, Electricity, Telephone, and Data supply services from street to residence underground in common service trench.

81. 82. Foul drainage and Surface Water drainage from residence to laterals at North west boundary corner near Street.

82. Electric hot water cylinder with relief valve, pipe to discharge to exterior with 3 seismic resistant straps as per manufacturers instructions and specification.

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APPROVED BUILDING CONSENT DOCUMENT



SECTION 4
SCALE : 1:50

Refer to structural drawings by Hadley Robinson Ltd for foundation details

CONSTRUCTION/MATERIAL SCHEDULE:

These drawings are to be read in conjunction with all other documentation.
Foundation construction to comply with NZS 3604:2011 & max R system
-All timber treatments to comply with NZS3602: 2003 and shall be SG8 minimum for all wall and roof timber framing.

Roof Cladding:

- 10. Colorsteel Hi five roofing on building underlay on roof structure to fall to colorsteel spoutings and down pipes.
- 11. Membrane roofing on H3.2 18mm plywood over firing on roof framing to fall to colorsteel spoutings and down pipes
- 12. Colorsteel flashings eg. barge, capping, ridge etc.
- 13. Roofing underlay shall be Thermakraft 213 self supporting bituminous building paper as per manufacturers instructions.
- 14. Roof bracing shall be achieved with Lumberlok roof bracing as per structural drawings and manufacturers instructions.

Exterior Wall Cladding:

- 20. JCS VerticClad Cedar boarding system on cavity on building wrap on timber framing as per manufacturers instructions.
- 21. Building wrap shall be Thermakraft coverup building wrap as per manufacturers instructions.

Exterior Joinery:

- 30. Metro series, powder coated aluminium joinery frame with double glazing, clear, (exterior) and (interior) with argon gas as infill and gib liner adapter to all exterior joinery to living area, Ensuite and Bedroom 1 only.

- 31. Sectional Vertical Cedar Clad garage door on auto gear with two remotes.

- 32. Glass balustrade to deck 2 as per manufacturers instructions and PS1

Lining and Insulation:

- 40. Sloping ceilings shall be 12mm Ecoply Grooved lining to be fixed to underside of purlins with joints concealed with paint finish white wash.
- 40. All other ceilings shall be 13mm Gib plaster board to be fixed to underside steel battens or directly fixed to the underside of roof framing & stopped as per manufacturer instructions.
- 41. Soffits 6mm villaboard fixed to underside of steel battens or directly to framing.
- 42. All walls lined with 10mm Gib board fixed & stopped as per manufacturer instructions.
- 43. Tiled wet area walls & ceilings 10mm Gib aqualine plaster board fixed & stopped for tiled and paint finish as per manufacturer instructions.
- 44. R2.8 batt insulation to all external wall framing as per manufacturers instructions.

- 45. R3.2 115mm Pink Batt skillion roof insulation between purlins to sloping roofs.

- 46. R3.6 batt insulation to all other ceiling areas as per manufacturer instructions.

- 47. R2.8 60mm polystyrene insulation to under floor between joists.

Roof Framing:

- 50. Timber roof trusses @ approx 1600mm crs to all sloping roofs as per truss design and engineers drawings.
- 51. 140x45 SG8 Rafters @ approx 400 crs to all membrane roofs.
- 52. 140x45 SG8 timber purlins on edge @ max 1200 crs to span over trusses all as per roof framing plan.
- 53. All steel work in locations as shown on drawings and as per engineer drawings.

Wall Framing:

- 60. All external wall framing shall be SG8 90x45 with H1.2 treatment.
- 61. All internal wall framing shall be SG8 90x45. All internal studs shall be 400crs with dwangs 800crs unless otherwise stated.

Floor Slab, Foundation & Floor Framing

- 70. To Garage and Foyer supply 100mm thick 20mpa concrete slab reinforced with E665 mesh on DPM on 50mm sand on hard fill to solid bearing ground. 3xD12 rods to all concrete footings with 1.2m long supplementary reinforcing bars to internal corners.

- 71. 20 Series concrete masonry foundation walls as per structural drawings

- 72. Floor framing to be SG8 140x45 timber floor joists @ 400 crs on 2/140x45 SG8 timber bearers @ approx 2400 crs on 140dia timber piles @ max 1650 crs with 400mm sq concrete footings.

- 73. Braced piles to Deck 1 and 2 as shown on drawings

- 75. Provide 25mm asphalt to driveway and car park areas on 150mm thick compacted hardfill.

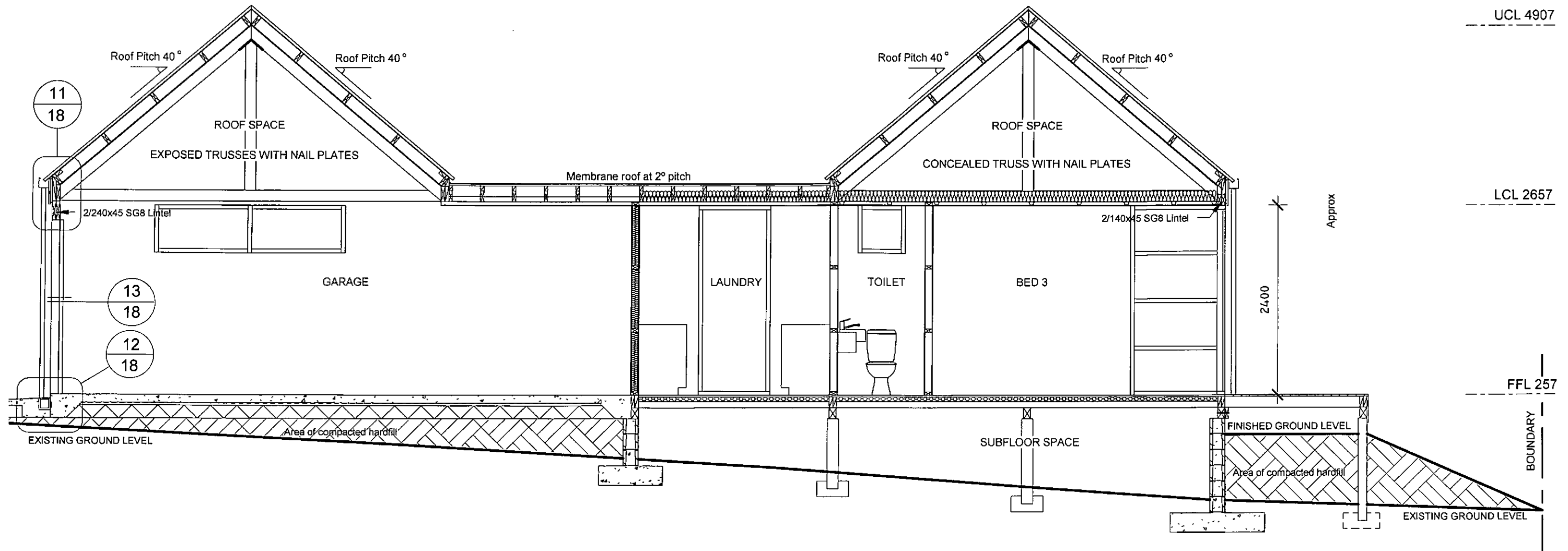
Deck Construction

- 76. H3.2 SG8 140x45 timber joists spanning over H3.2 SG8 140x90 timber bearers with maximum span of 1650 crs on 140dia timber piles @ max 1650 crs with 250mm deep x 400mm square concrete footings.

Services:

- 80. Water, Electricity, Telephone, and Data supply services from street to residence underground in common service trench.
- 81. 82. Foul drainage and Surface Water drainage from residence to laterals at North west boundary corner near Street.
- 82. Electric hot water cylinder with relief valve, pipe to discharge to exterior with 3 seismic resistant straps as per manufacturers instructions and specification.

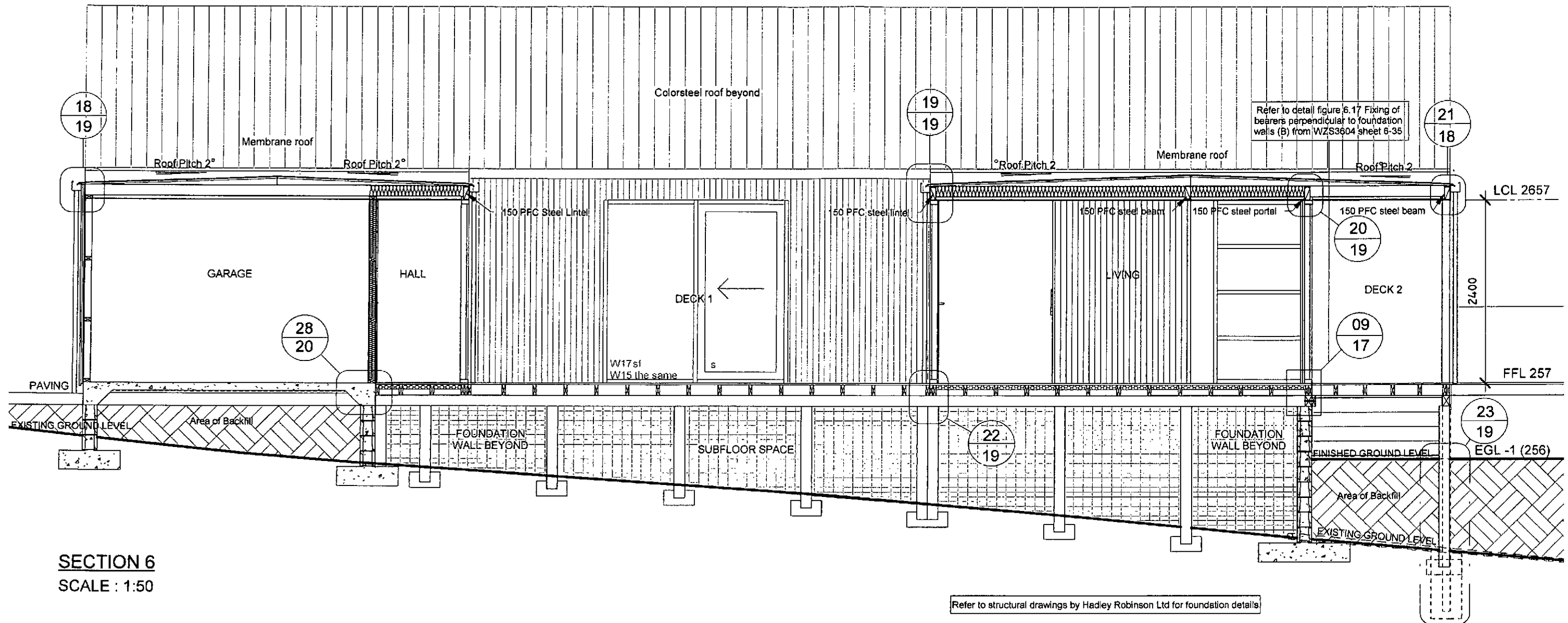
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SECTION 5
SCALE : 1:50

Refer to structural drawings by Hadley Robinson Ltd for foundation details

<p>CONSTRUCTION/MATERIAL SCHEDULE:</p> <p>These drawings are to be read in conjunction with all other documentation.</p> <p>Foundation construction to comply with NZS 3604:2011 & max R system</p> <p>-All timber treatments to comply with NZS3602: 2003 and shall be SG8 minimum for all wall and roof timber framing.</p> <p>Roof Cladding:</p> <p>10. Colorsteel Hi five roofing on building underlay on roof structure to fall to colorsteel spoutings and down pipes.</p> <p>11. Membrane roofing on H3.2 18mm plywood over firing on roof framing to fall to colorsteel spoutings and down pipes</p> <p>12. Colorsteel flashings eg. barge, capping, ridge etc.</p> <p>13. Roofing underlay shall be Thermakraft 213 self supporting bituminous building paper as per manufacturers instructions.</p> <p>14. Roof bracing shall be achieved with Lumberlok roof bracing as per structural drawings and manufacturers instructions.</p> <p>Exterior Wall Cladding:</p> <p>20. JCS VerticClad Cedar boarding system on cavity on building wrap on timber framing as per manufacturers instructions.</p> <p>21. Building wrap shall be Thermakraft coverup building wrap as per manufacturers instructions.</p>	<p>Exterior Joinery:</p> <p>30. Metro series, powder coated aluminium joinery frame with double glazing, clear, (exterior) and (interior) with argon gas as infill and gib liner adapter to all exterior joinery to living area, Ensuite and Bedroom 1 only.</p> <p>31. Sectional Vertical Cedar Clad garage door on auto gear with two remotes.</p> <p>32. Glass balustrade to deck 2 as per manufacturers instructions and PS1</p> <p>Lining and Insulation:</p> <p>40. Sloping ceilings shall be 12mm Ecoply Grooved lining to be fixed to underside of purlins with joints concealed with paint finish white wash.</p> <p>40. All other ceilings shall be 13mm Gib plaster board to be fixed to underside steel battens or directly fixed to the underside of roof framing & stopped as per manufacturer instructions.</p> <p>41. Soffits 6mm villaboard fixed to underside of steel battens or directly to framing.</p> <p>42. All walls lined with 10mm Gib board fixed & stopped as per manufacturer instructions.</p> <p>43. Tiled wet area walls & ceilings 10mm Gib aqualine plaster board fixed & stopped for tiled and paint finish as per manufacturer instructions.</p> <p>44. R2.8 batt insulation to all external wall framing as per manufacturers instructions.</p>	<p>45. R3.2 115mm Pink Batt skillion roof insulation between purlins to sloping roofs.</p> <p>46. R3.6 batt insulation to all other ceiling areas as per manufacturer instructions.</p> <p>47. R2.8 60mm polystyrene insulation to under floor between joists.</p> <p>Roof Framing:</p> <p>50. Timber roof trusses @ approx 1600mm crs to all sloping roofs as per truss design and engineers drawings.</p> <p>51. 140x45 SG8 Rafters @ approx 400 crs to all membrane roofs.</p> <p>52. 140x45 SG8 timber purlins on edge @ max 1200 crs to span over trusses all as per roof framing plan.</p> <p>53. All steel work in locations as shown on drawings and as per engineer drawings.</p> <p>Wall Framing:</p> <p>60. All external wall framing shall be SG8 90x45 with H1.2 treatment.</p> <p>61. All internal wall framing shall be SG8 90x45. All internal studs shall be 400crs with dwangs 800crs unless otherwise stated.</p> <p>Floor Slab, Foundation & Floor Framing</p> <p>70. To Garage and Foyer supply 100mm thick 20mpa concrete slab reinforced with E665 mesh on 50mm sand on hard fill to solid bearing ground. 3xD12 rods to all concrete footings with 1.2m long supplementary reinforcing bars to internal corners.</p>	<p>71. 20 Series concrete masonry foundation walls as per structural drawings</p> <p>72. Floor framing to be SG8 140x45 timber floor joists @ 400 crs on 2/140x45 SG8 timber bearers @ approx 2400 crs on 140dia timber piles @ max 1650 crs with 400mm sq concrete footings.</p> <p>73. Braced piles to Deck 1 and 2 as shown on drawings</p> <p>75. Provide 25mm asphalt to driveway and car park areas on 150mm thick compacted hardfill.</p> <p>Deck Construction</p> <p>76. H3.2 SG8 140x45 timber joists spanning over H3.2 SG8 140x90 timber bearers with maximum span of 1650 crs on 140dia timber piles @ max 1650 crs with 250mm deep x 400mm square concrete footings.</p> <p>Services:</p> <p>80. Water, Electricity, Telephone, and Data supply services from street to residence underground in common service trench.</p> <p>81. 82. Foul drainage and Surface Water drainage from residence to laterals at North west boundary corner near Street.</p> <p>82. Electric hot water cylinder with relief valve, pipe to discharge to exterior with 3 seismic resistant straps as per manufacturers instructions and specification.</p> <p>DUNEDIN CITY COUNCIL APPROVED BUILDING CONSENT DOCUMENT</p>
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CONSTRUCTION/MATERIAL SCHEDULE:
 These drawings are to be read in conjunction with all other documentation.
 -All foundation construction to comply with NZS 3604:2011 & max R system
 -All timber treatments to comply with NZS3602: 2003 and shall be SG8 minimum for all wall and roof timber framing.

Roof Cladding:

10. Colorsteel HI five roofing on building underlay on roof structure to fall to colorsteel spoutings and down pipes.

11. Membrane roofing on H3.2 18mm plywood over firing on roof framing to fall to colorsteel spoutings and down pipes

12. Colorsteel flashings eg. barge, capping, ridge etc.

13. Roofing underlay shall be Thermakraft 213 self supporting bituminous building paper as per manufacturers instructions.

14. Roof bracing shall be achieved with Lumberlok roof bracing as per structural drawings and manufacturers instructions.

Exterior Wall Cladding:

20. JCS VerticClad Cedar boarding system on cavity on building wrap on timber framing as per manufacturers instructions.

21. Building wrap shall be Thermakraft coverup building wrap as per manufacturers instructions.

Exterior Joinery:

30. Metro series, powder coated aluminium joinery frame with double glazing, clear, (exterior) and (interior) with argon gas as infill and gib liner adapter to all exterior joinery to living area, Ensuite and Bedroom 1 only.

31. Sectional Vertical Cedar Clad garage door on auto gear with two remotes.

32. Glass balustrade to deck 2 as per manufacturers instructions and PS1

Lining and Insulation:

40. Sloping ceilings shall be 12mm Ecoply Grooved lining to be fixed to underside of purlins with joints concealed with paint finish white wash.

40. All other ceilings shall be 13mm Gib plaster board to be fixed to underside steel battens or directly fixed to the underside of roof framing & stopped as per manufacturer instructions.

41. Soffits 6mm villoboard fixed to underside of steel battens or directly to framing.

42. All walls lined with 10mm Gib board fixed & stopped as per manufacturer instructions.

43. Tiled wet area walls & ceilings 10mm Gib aqualine plaster board fixed & stopped for tiled and paint finish as per manufacturer instructions.

44. R2.8 batt insulation to all external wall framing as per manufacturers instructions.

45. R3.2 115mm Pink Batt skillion roof insulation between purlins to sloping roofs.

46. R3.6 batt insulation to all other ceiling areas as per manufacturer instructions.

47. R2.8 60mm polystyrene insulation to under floor between joists.

Roof Framing:

50. Timber roof trusses @ approx 1600mm crs to all sloping roofs as per truss design and engineers drawings.

51. 140x45 SG8 Rafters @ approx 400 crs to all membrane roofs.

52. 140x45 SG8 timber purlins on edge @ max 1200 crs to span over trusses all as per roof framing plan.

53. All steel work in locations as shown on drawings and as per engineer drawings.

Wall Framing:

60. All external wall framing shall be SG8 90x45 with H1.2 treatment.

61. All internal wall framing shall be SG8 90x45. All internal studs shall be 400crs with dwangs 800crs unless otherwise stated.

Floor Slab, Foundation & Floor Framing

70. To Garage and Foyer supply 100mm thick 20mpa concrete slab reinforced with E665 mesh on DPM on 50mm sand on hard fill to solid bearing ground. 3xD12 rods to all concrete footings with 1.2m long supplementary reinforcing bars to internal corners.

71. 20 Series concrete masonry foundation walls as per structural drawings

72. Floor framing to be SG8 140x45 timber floor joists @ 400 crs on 2/140x45 SG8 timber bearers @ approx 2400 crs on 140dia timber piles @ max 1650 crs with 400mm sq concrete footings.

73. Braced piles to Deck 1 and 2 as shown on drawings

75. Provide 25mm asphalt to driveway and car park areas on 150mm thick compacted hardfill.

Deck Construction

76. H3.2 SG8 140x45 timber joists spanning over H3.2 SG8 140x90 timber bearers with maximum span of 1650 crs on 140dia timber piles @ max 1650 crs with 250mm deep x 400mm square concrete footings.

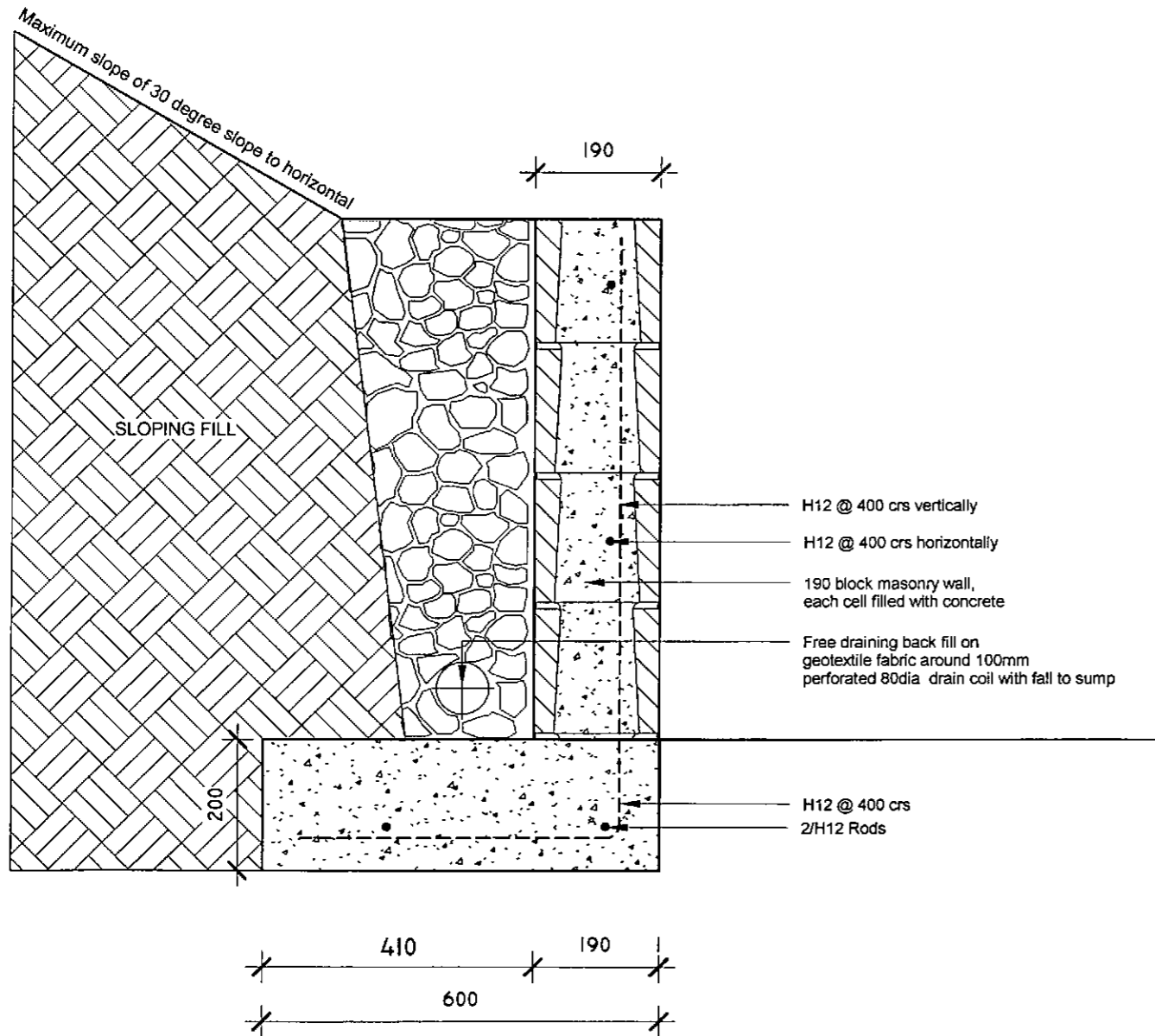
Services:

80. Water, Electricity, Telephone, and Data supply services from street to residence underground in common service trench.

81. 82. Foul drainage and Surface Water drainage from residence to laterals at North west boundary corner near Street.

82. Electric hot water cylinder with relief valve, pipe to discharge to exterior with 3 seismic resistant straps as per manufacturers instructions and specification.

DUNEDIN CITY COUNCIL Amendment A, 04/12/2013
 APPROVED BUILDING CONSENT DOCUMENT W15 & W17 clarified

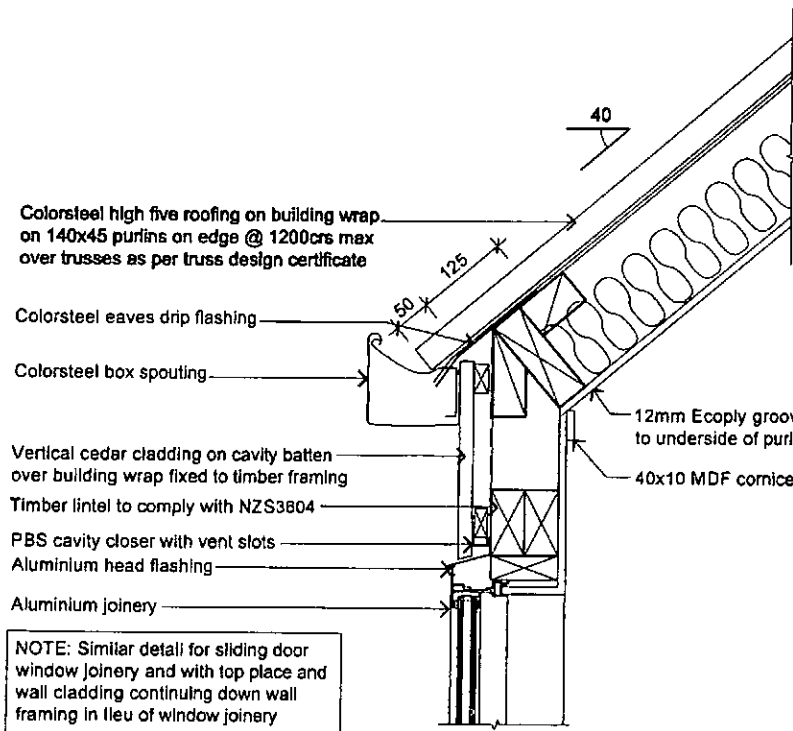


- H12 @ 400 crs vertically
- H12 @ 400 crs horizontally
- 190 block masonry wall, each cell filled with concrete
- Free draining back fill on geotextile fabric around 100mm perforated 80dia drain coil with fall to sump

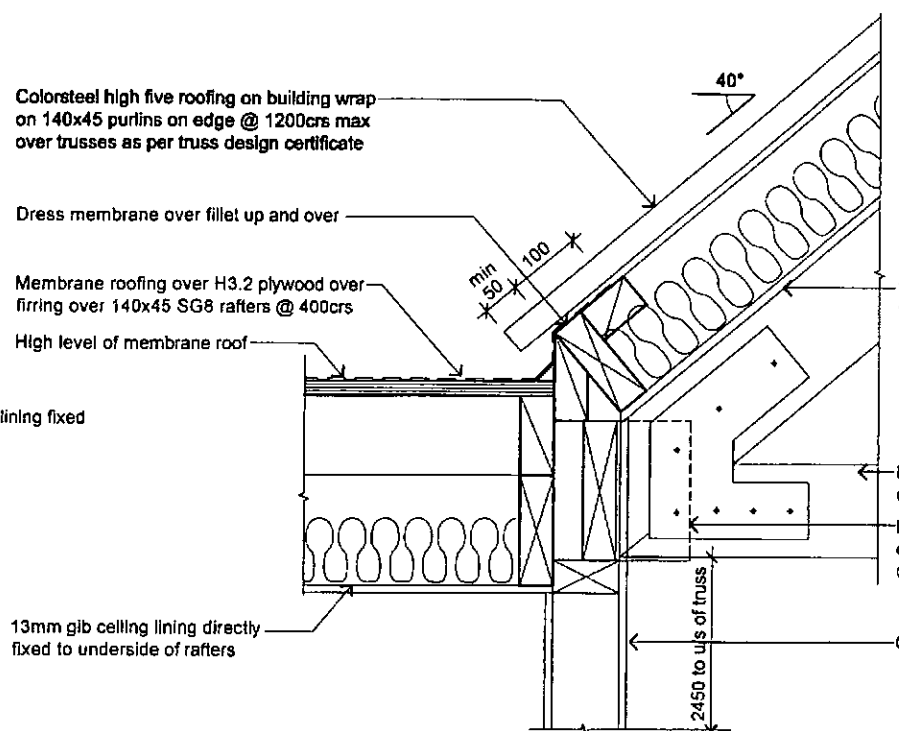
- H12 @ 400 crs
- 2/H12 Rods

29 RETAINING WALL DETAIL
09 SCALE 1:10

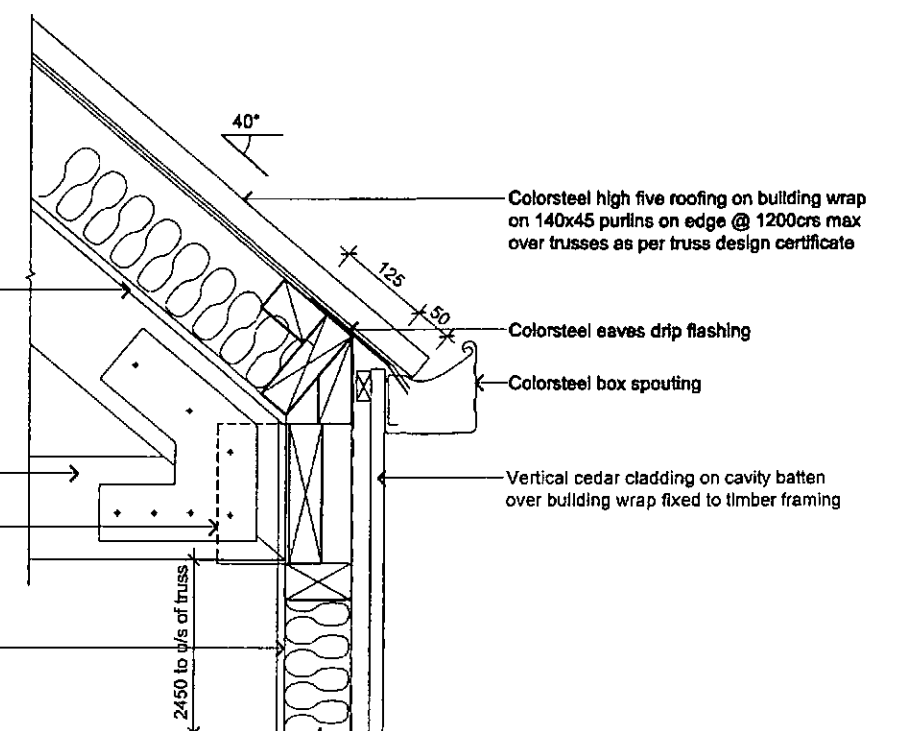
DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT



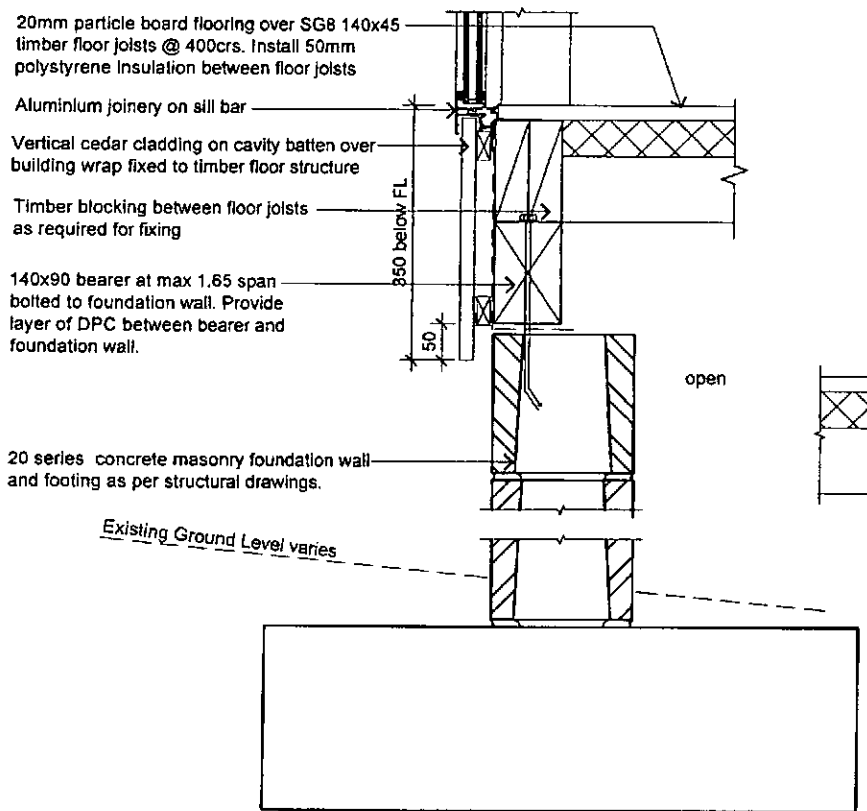
24 SPOUTING DETAIL
11 1:10



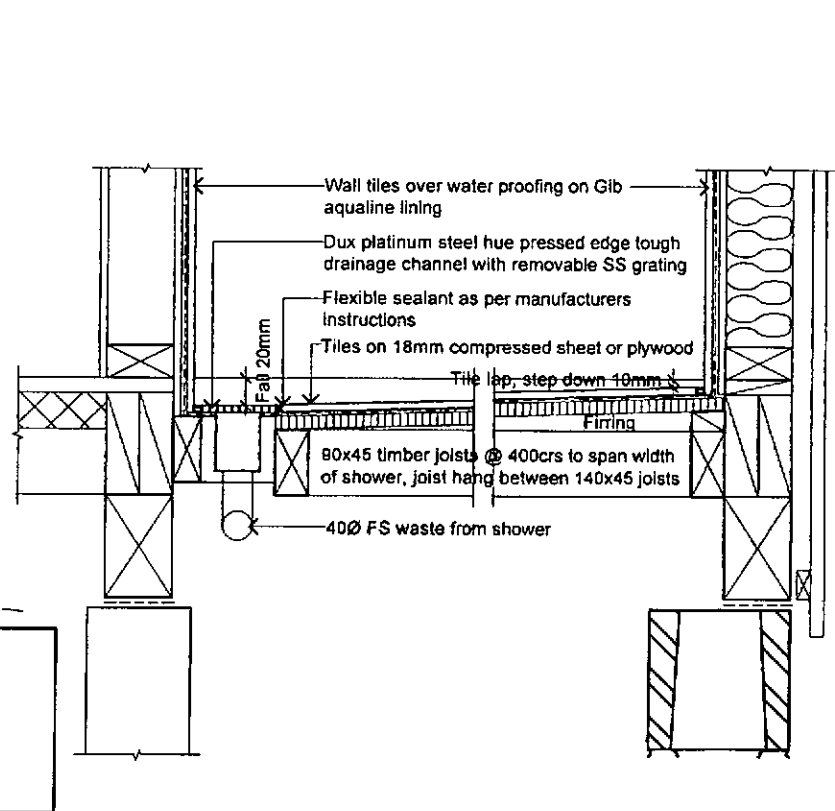
26 ROOF JUNCTION DETAIL
09 1:10



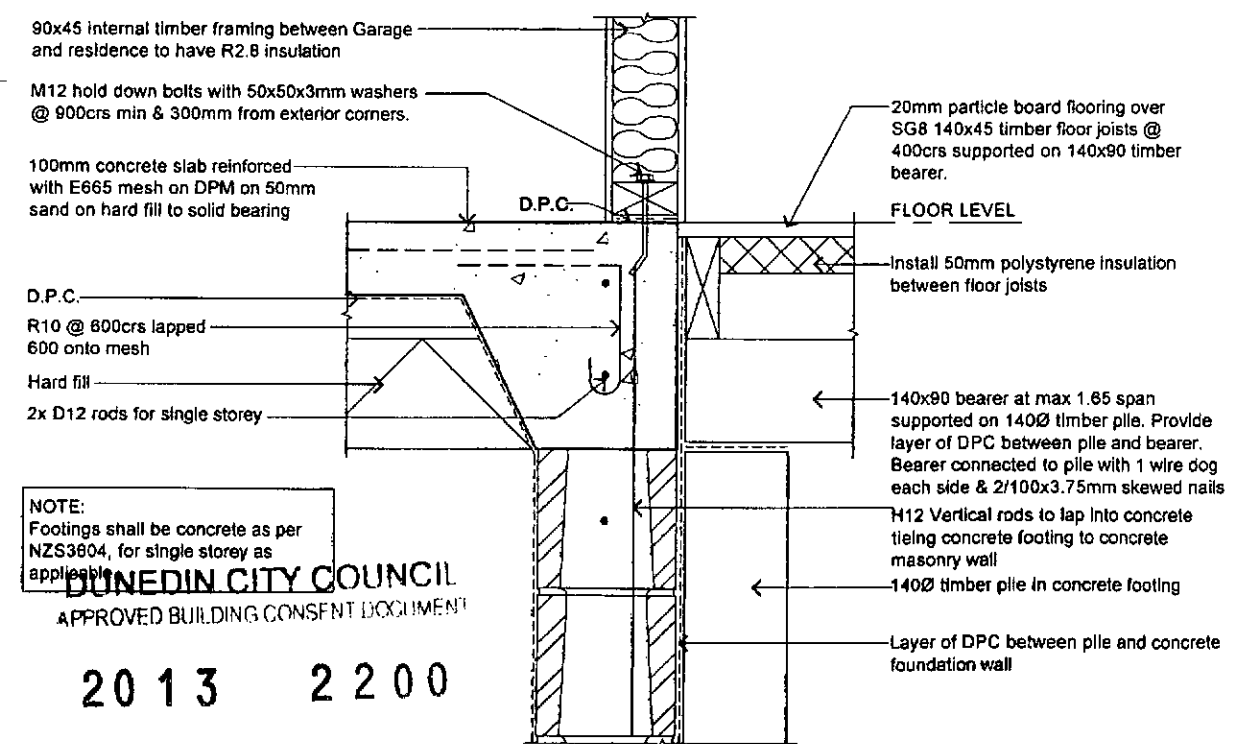
27 SPOUTING DETAIL
09 1:10



25 CLADDING / JOINERY DETAIL
11 1:10



29 SHOWER BASE DETAIL
03 SCALE 1:10



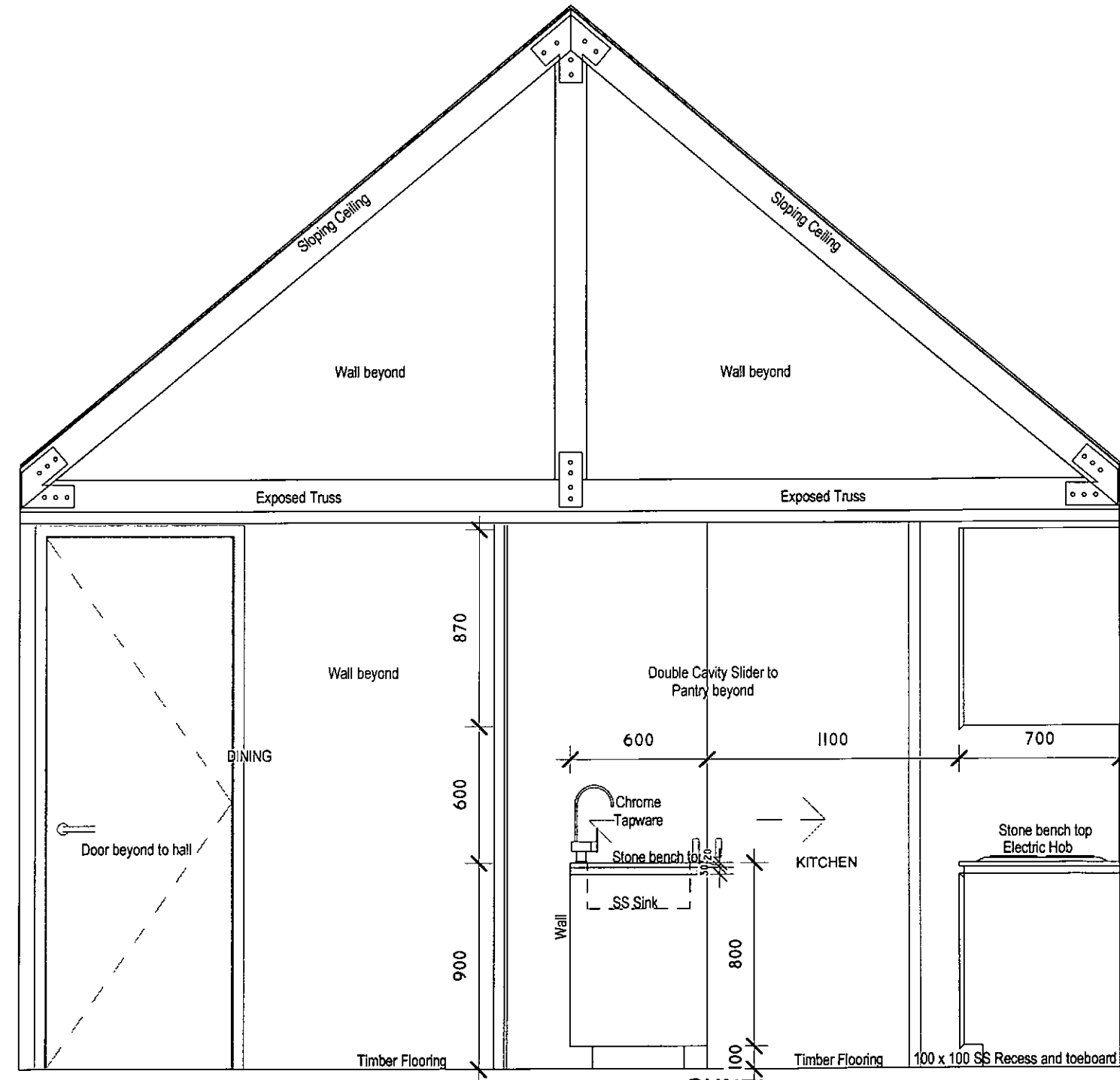
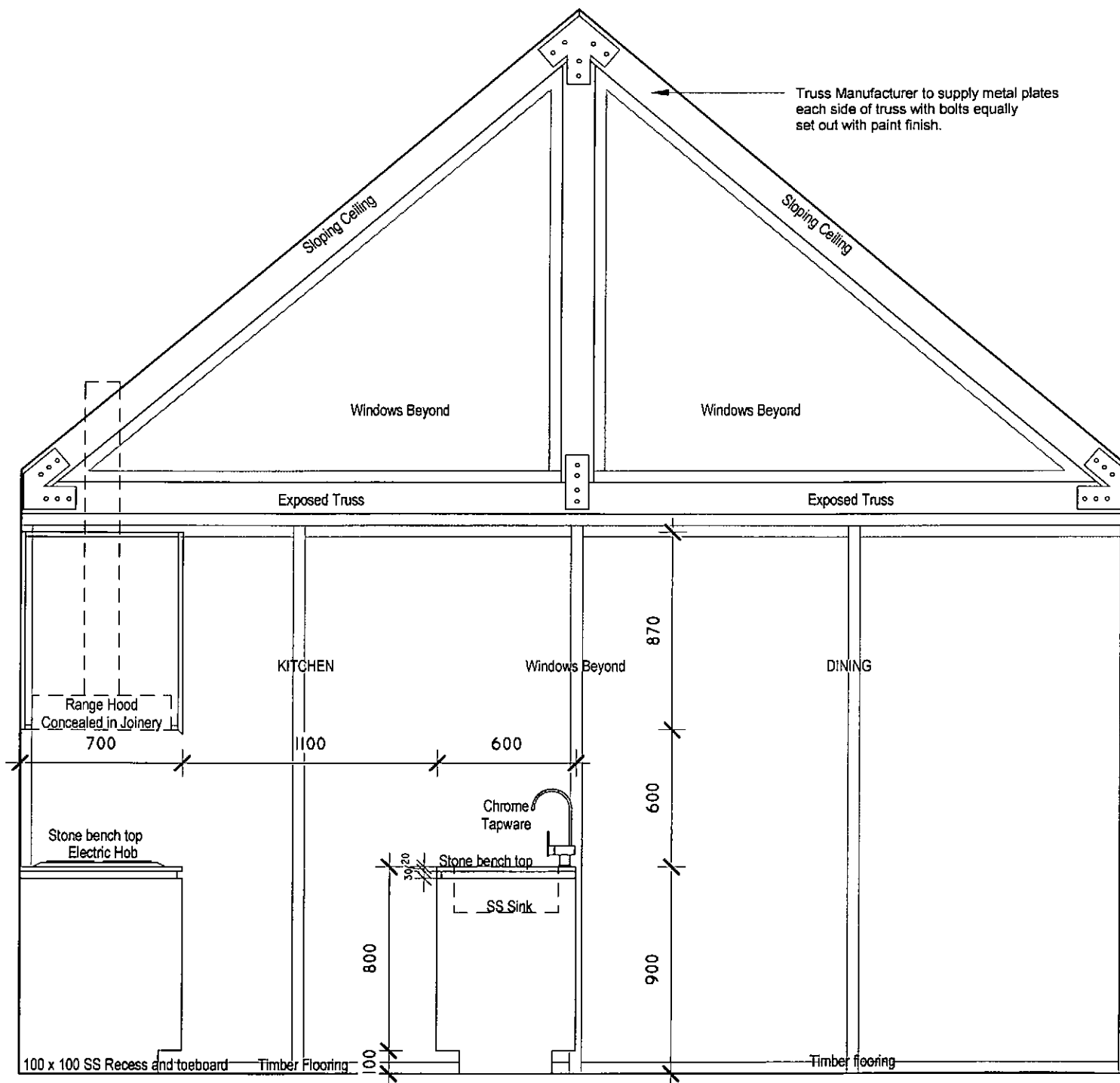
28 FOOTING DETAIL
14 1:10

NOTE:
Footings shall be concrete as per NZS3804, for single storey as applicable.

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2013 2200

Amendment A. 04.12.2013
Concrete Masonry wall to Concrete reinforcing tie in clarified.
Timber bearer fixing to concrete masonry bolt clarified.

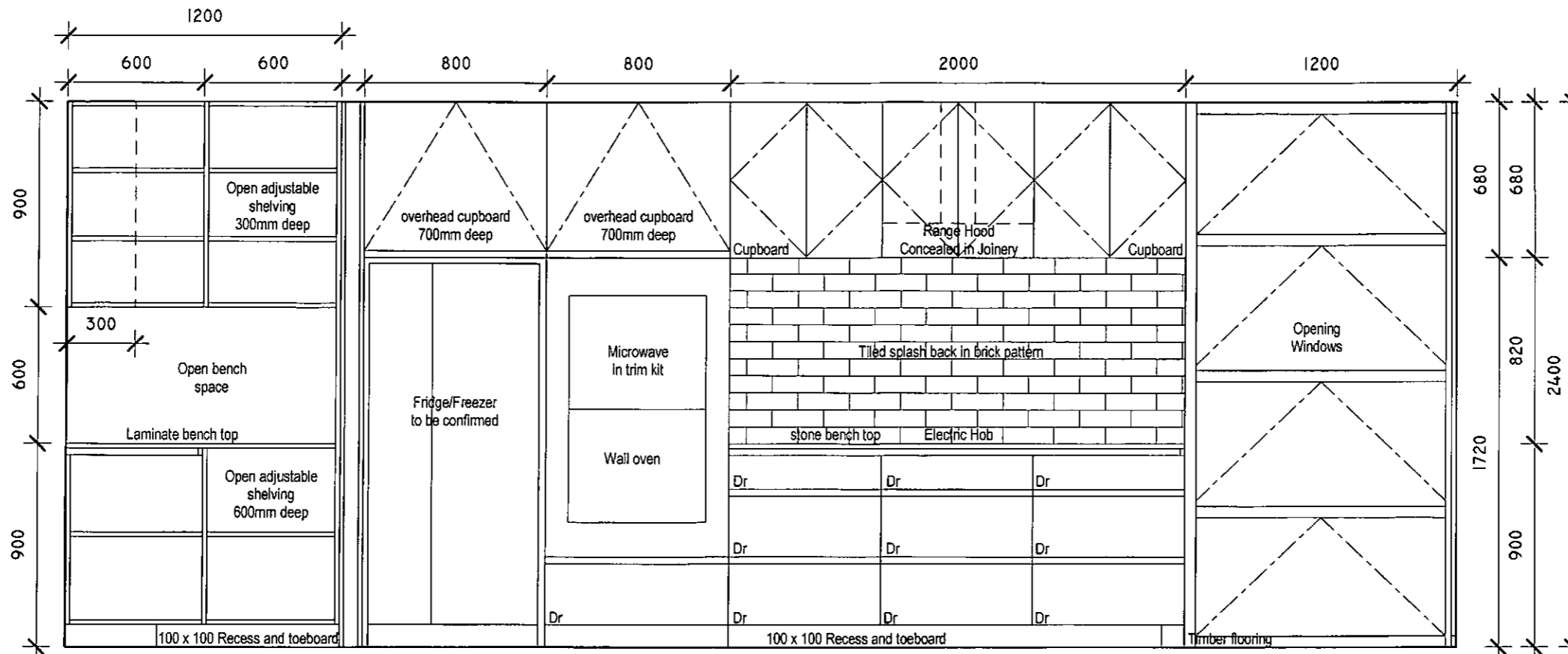


KITCHEN NORTH
SCALE : 1:25

KITCHEN SOUTH
SCALE : 1:25

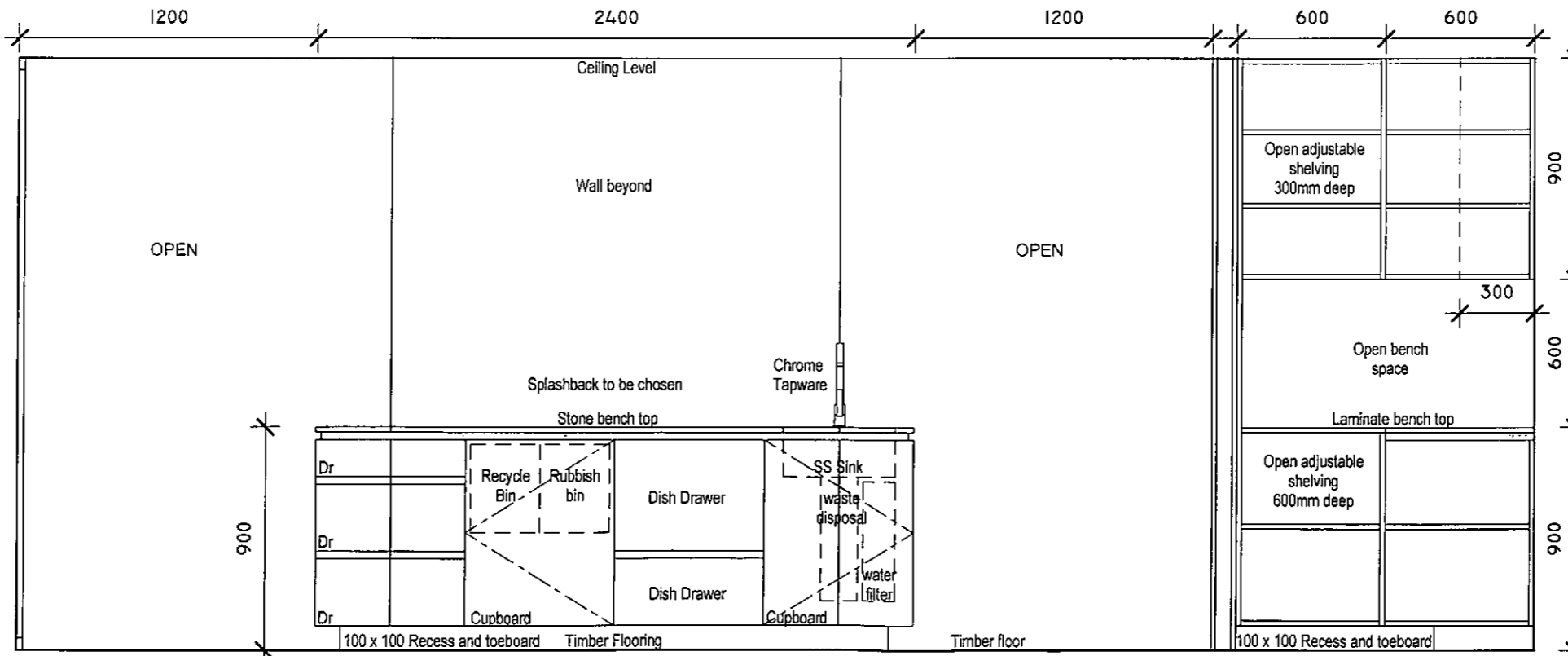
DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2013 2200



KITCHEN/ PANTRY WEST

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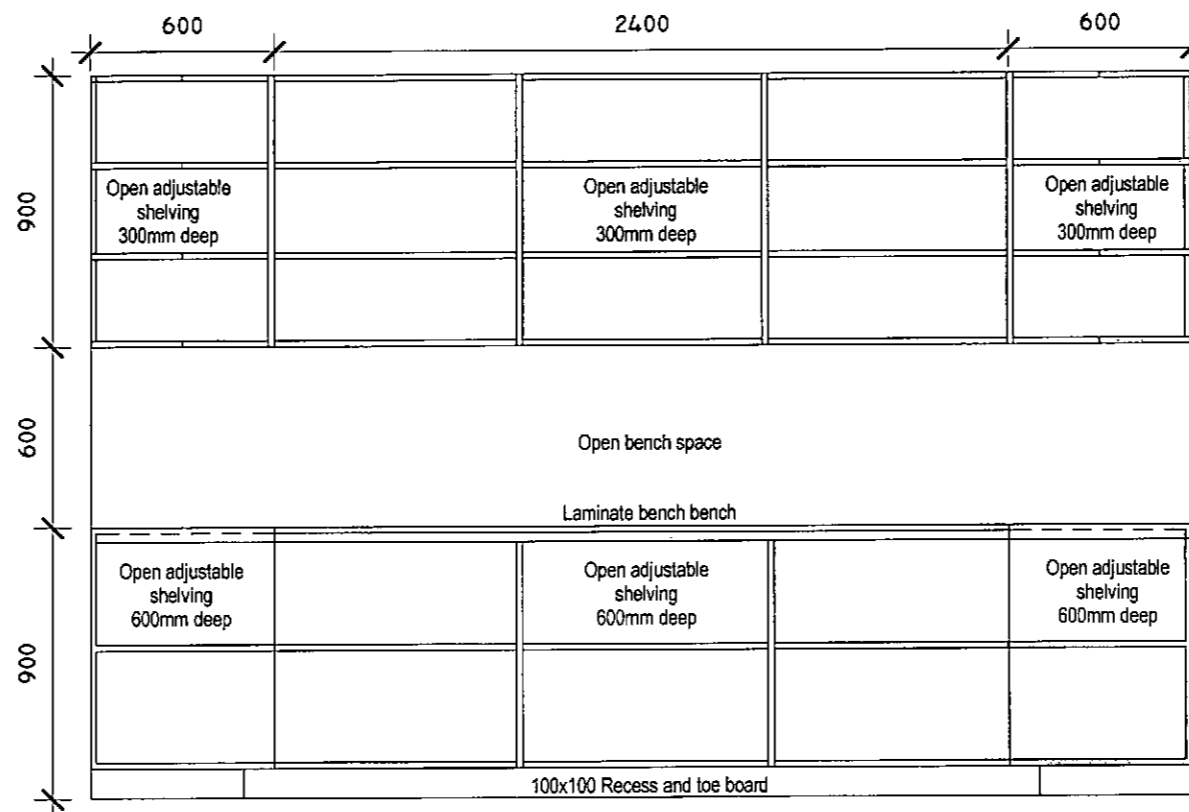


KITCHEN/ PANTRY EAST

SCALE : 1:25

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

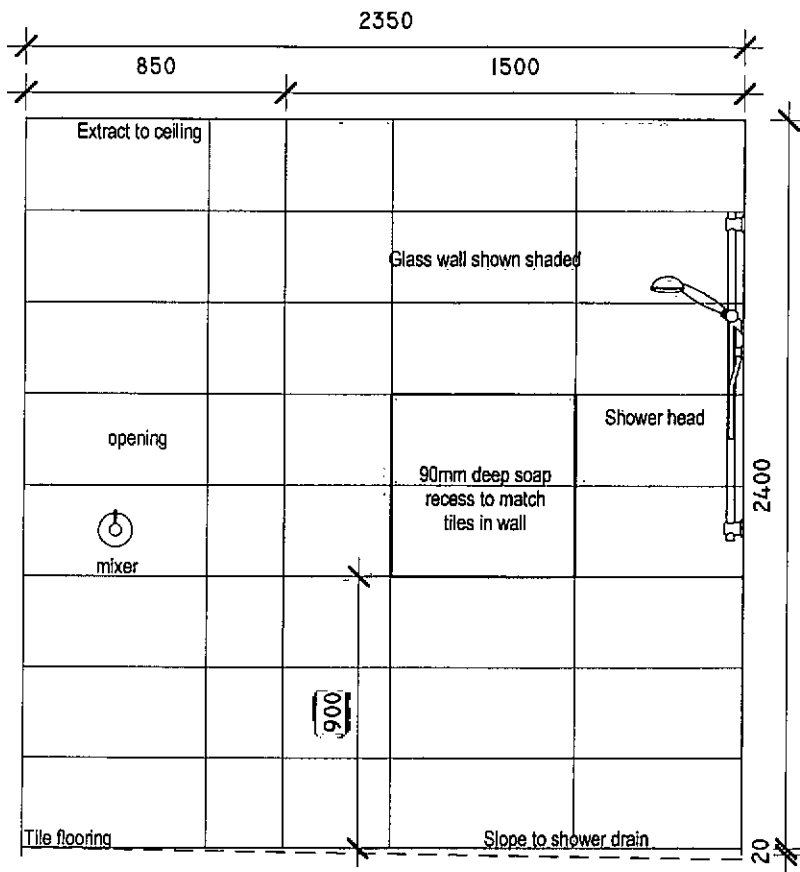
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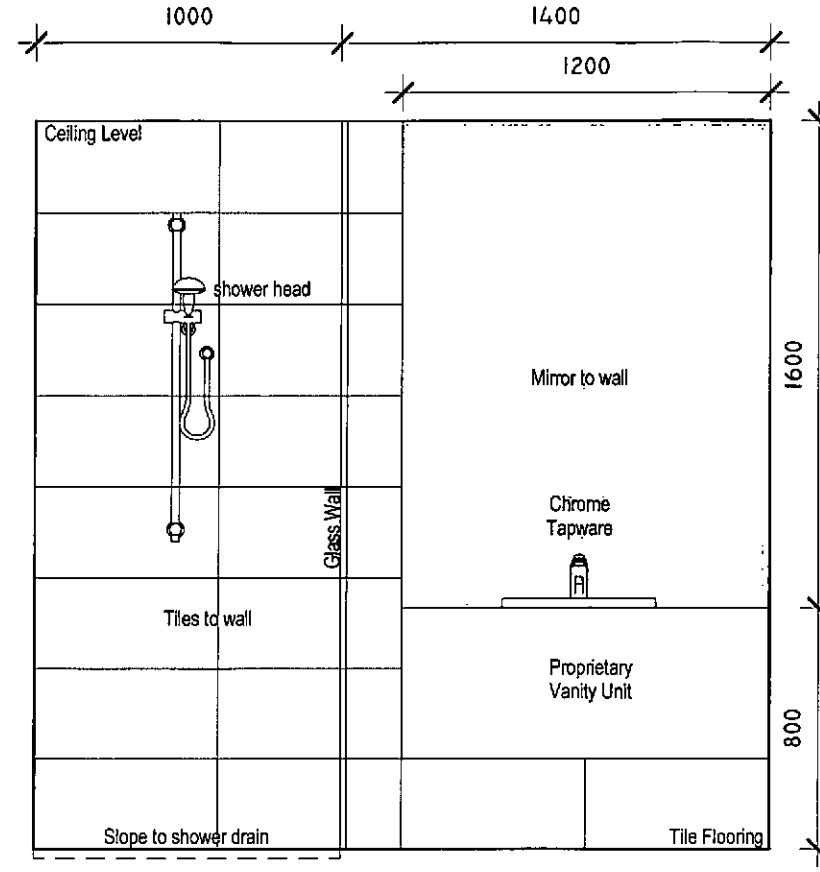
PANTRY SOUTH
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DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

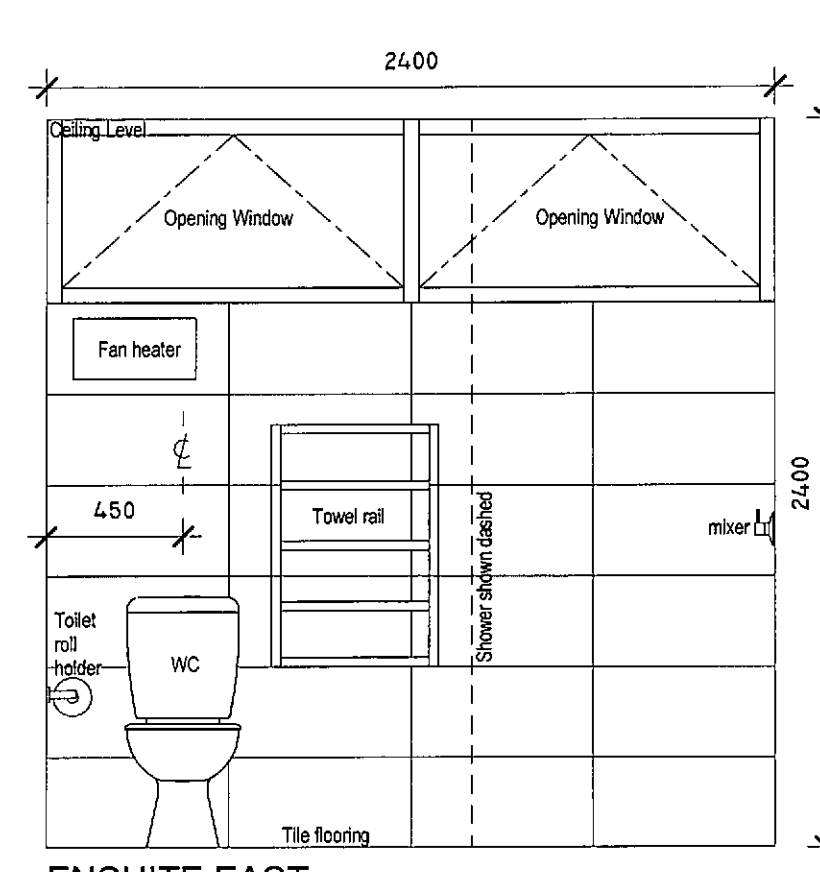
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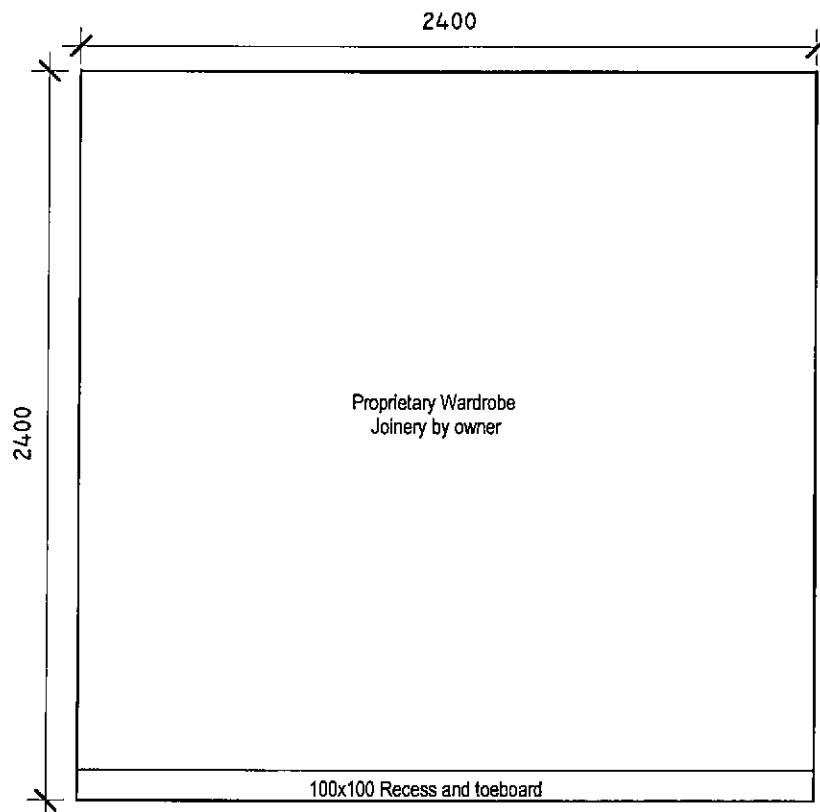
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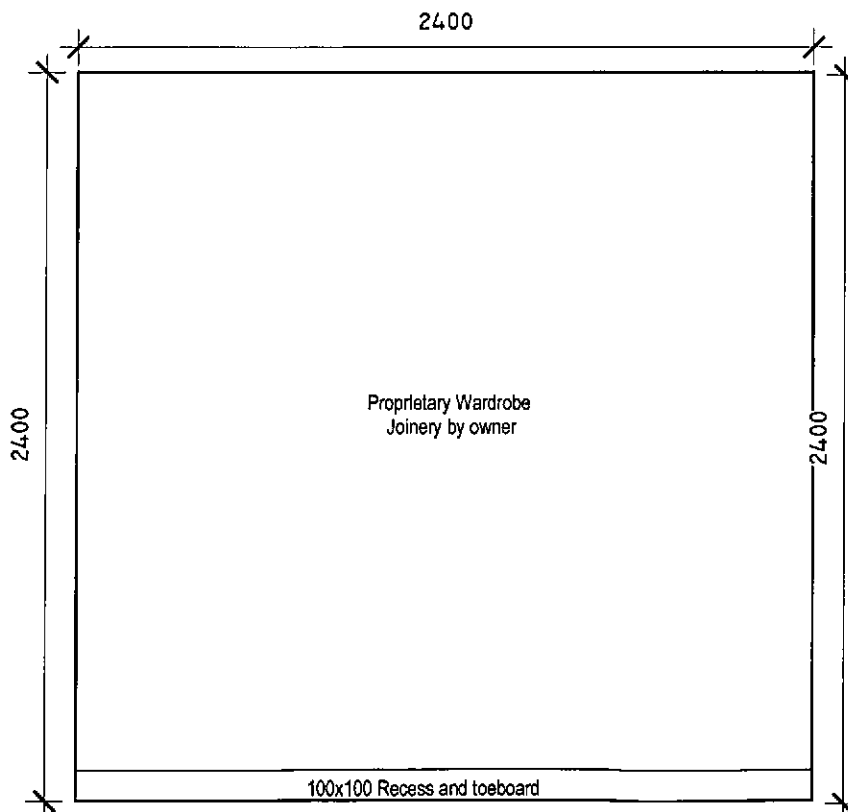
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SCALE : 1:25



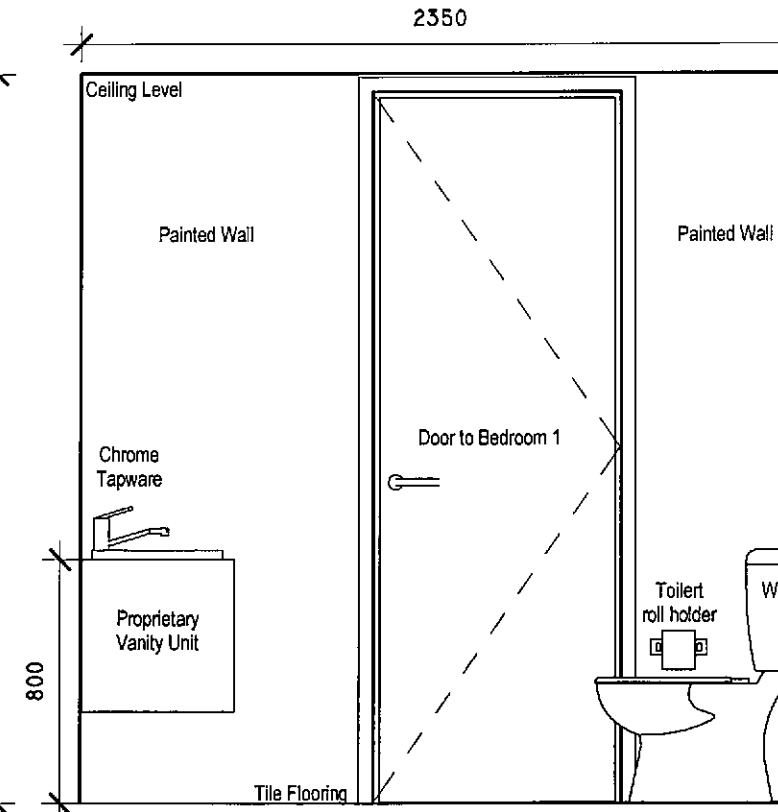
ENSUITE EAST
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DRESS WEST
SCALE : 1:25

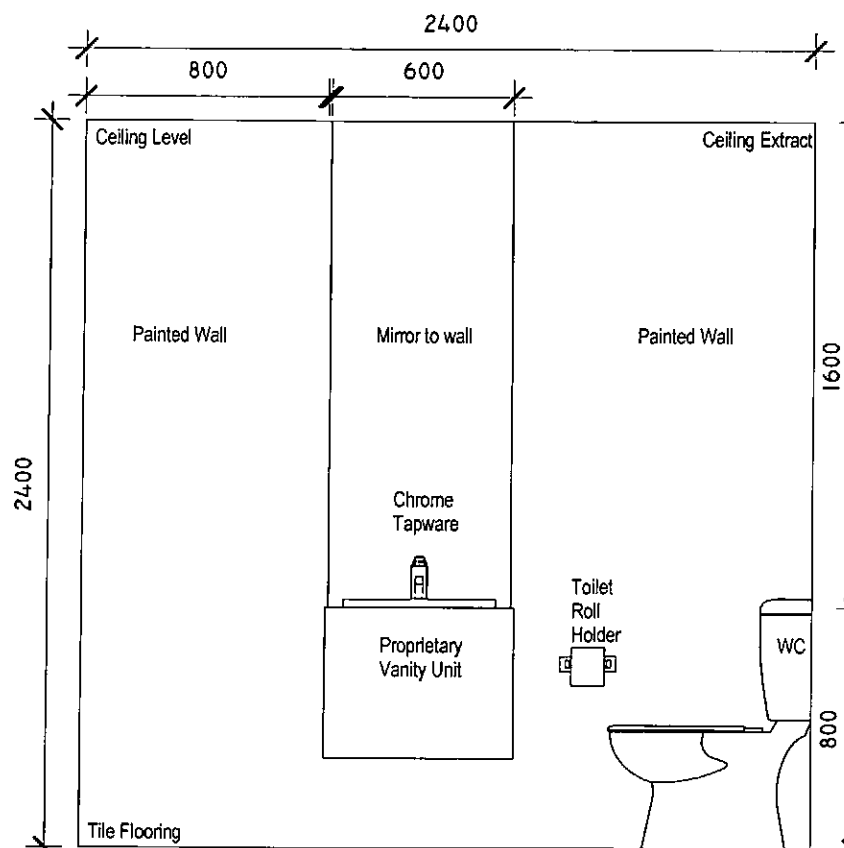


DRESS EAST
SCALE : 1:25



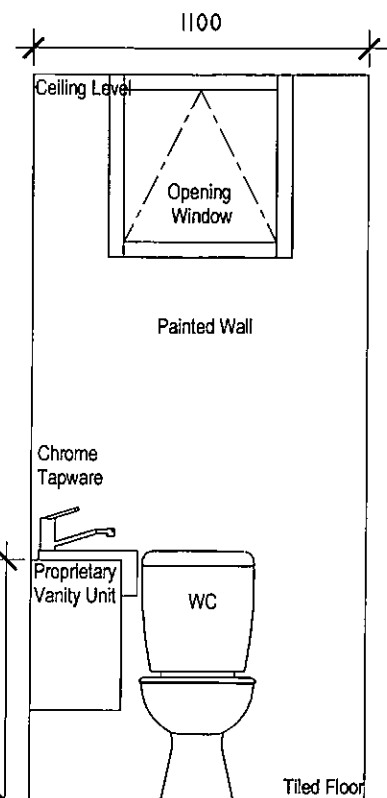
ENSUITE NORTH
SCALE : 1:25

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT
2013 2200



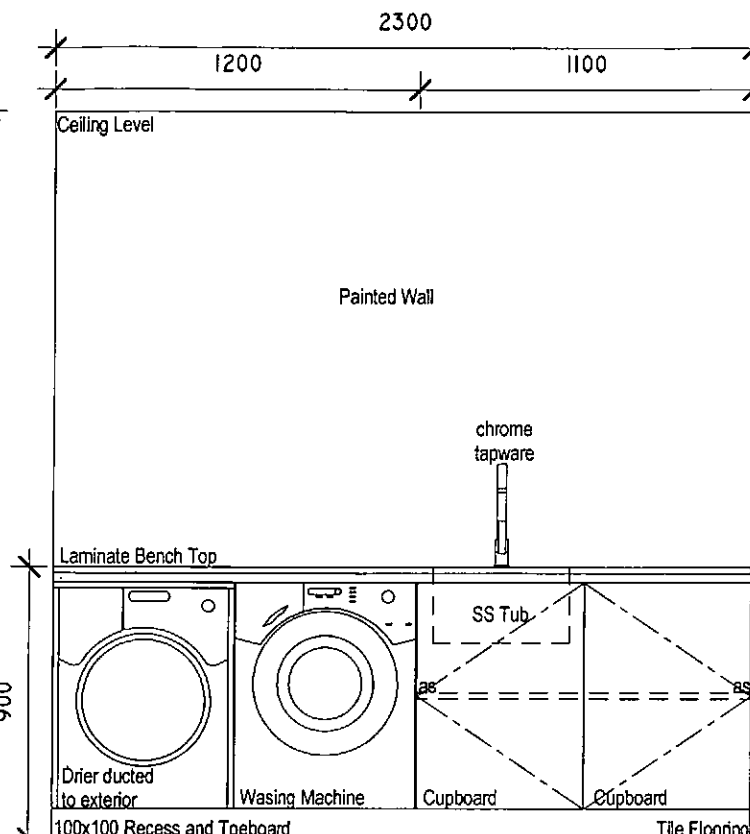
TOILET EAST

SCALE : 1:25



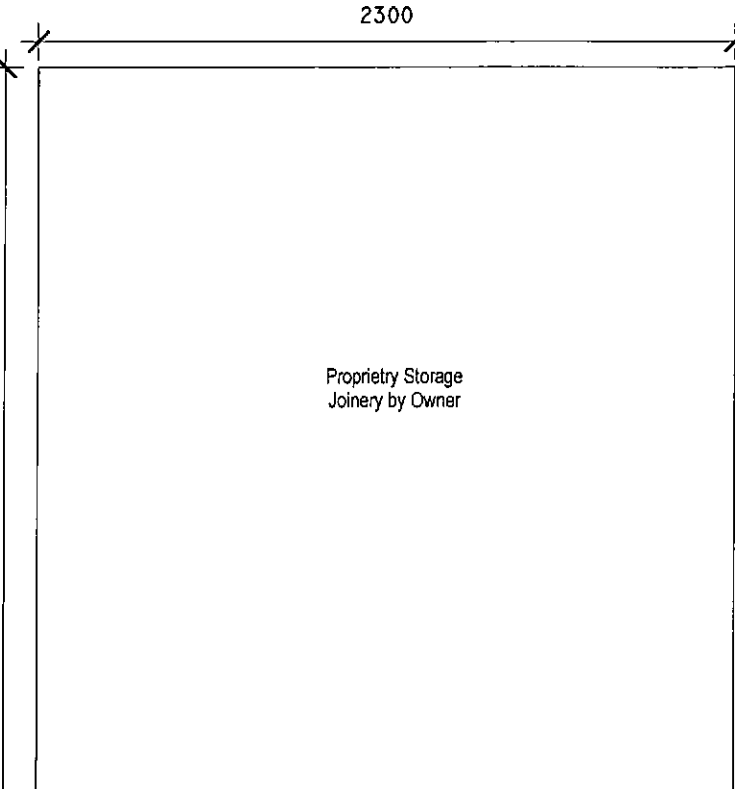
TOILET SOUTH

SCALE : 1:25



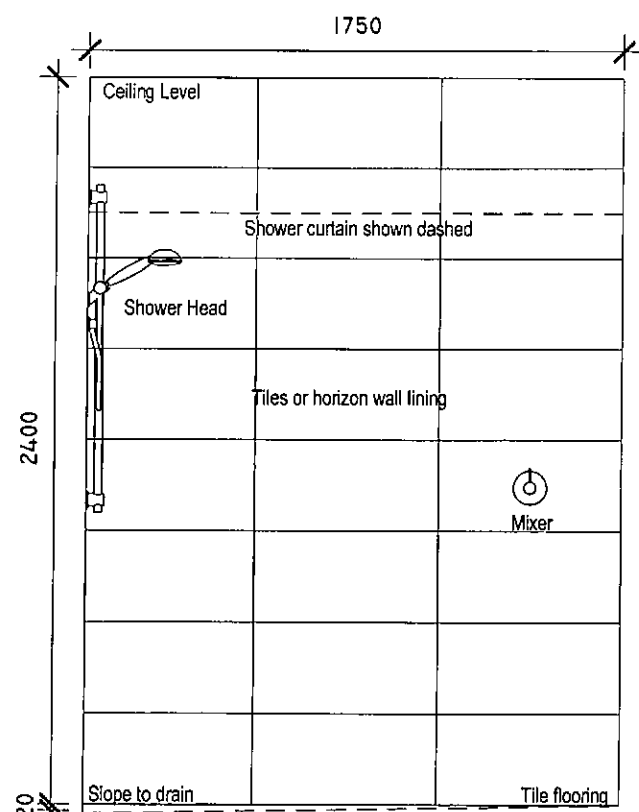
LAUNDRY WEST

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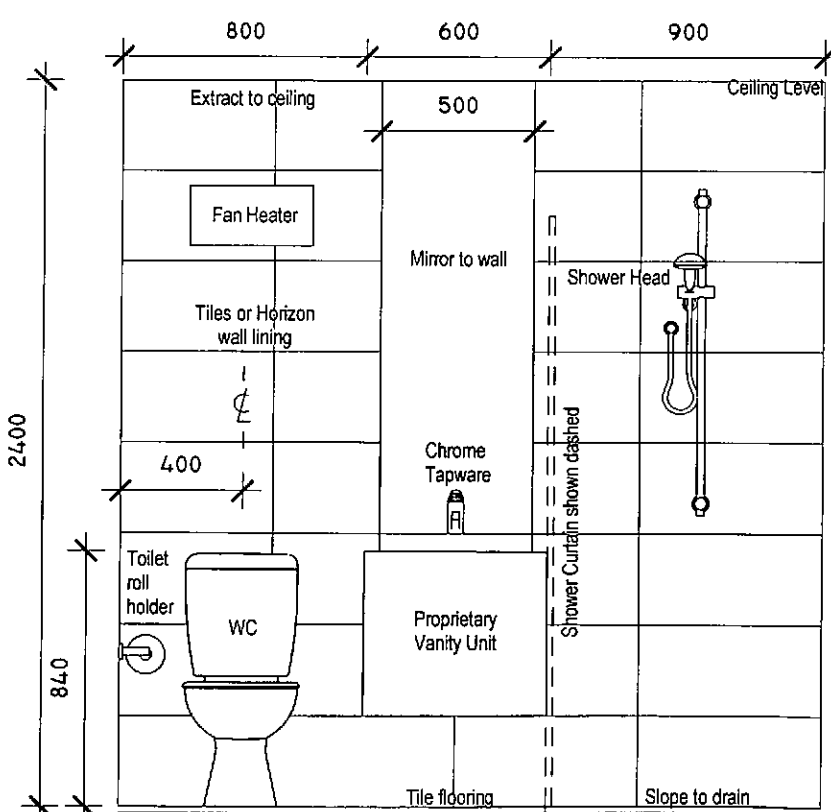
LAUNDRY EAST

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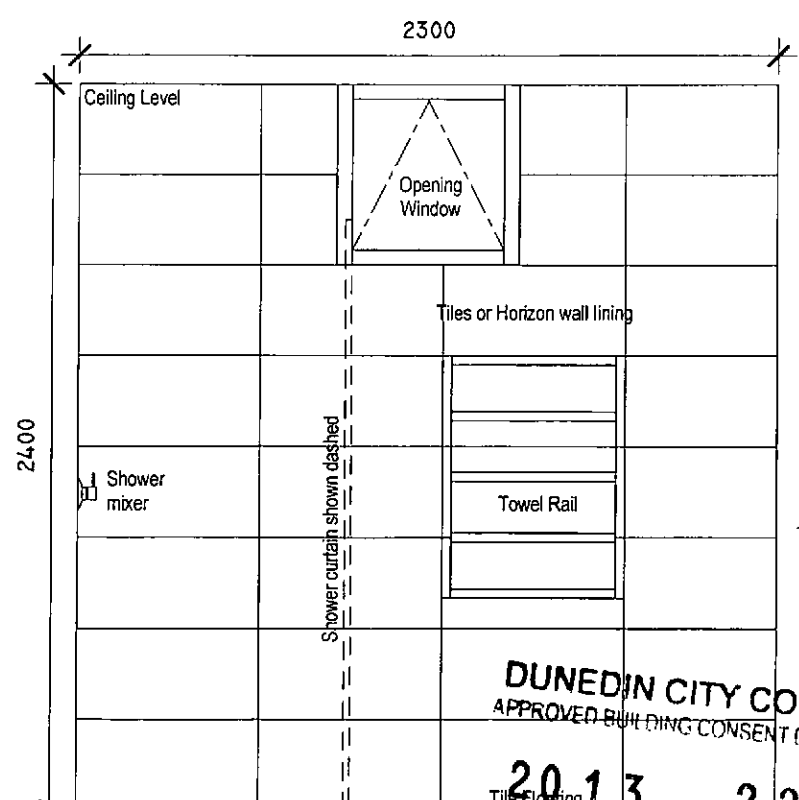
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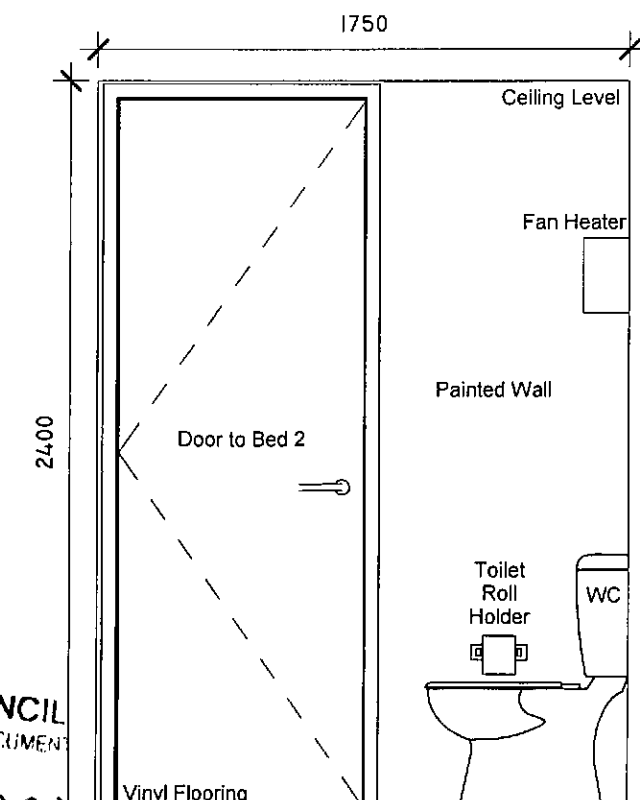
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ENSUITE 2 WEST (ENSUITE 3 SIMILAR)























SCALE : 1:25



ENSUITE 2 NORTH (ENSUITE 3 SIMILAR)

SCALE : 1:25

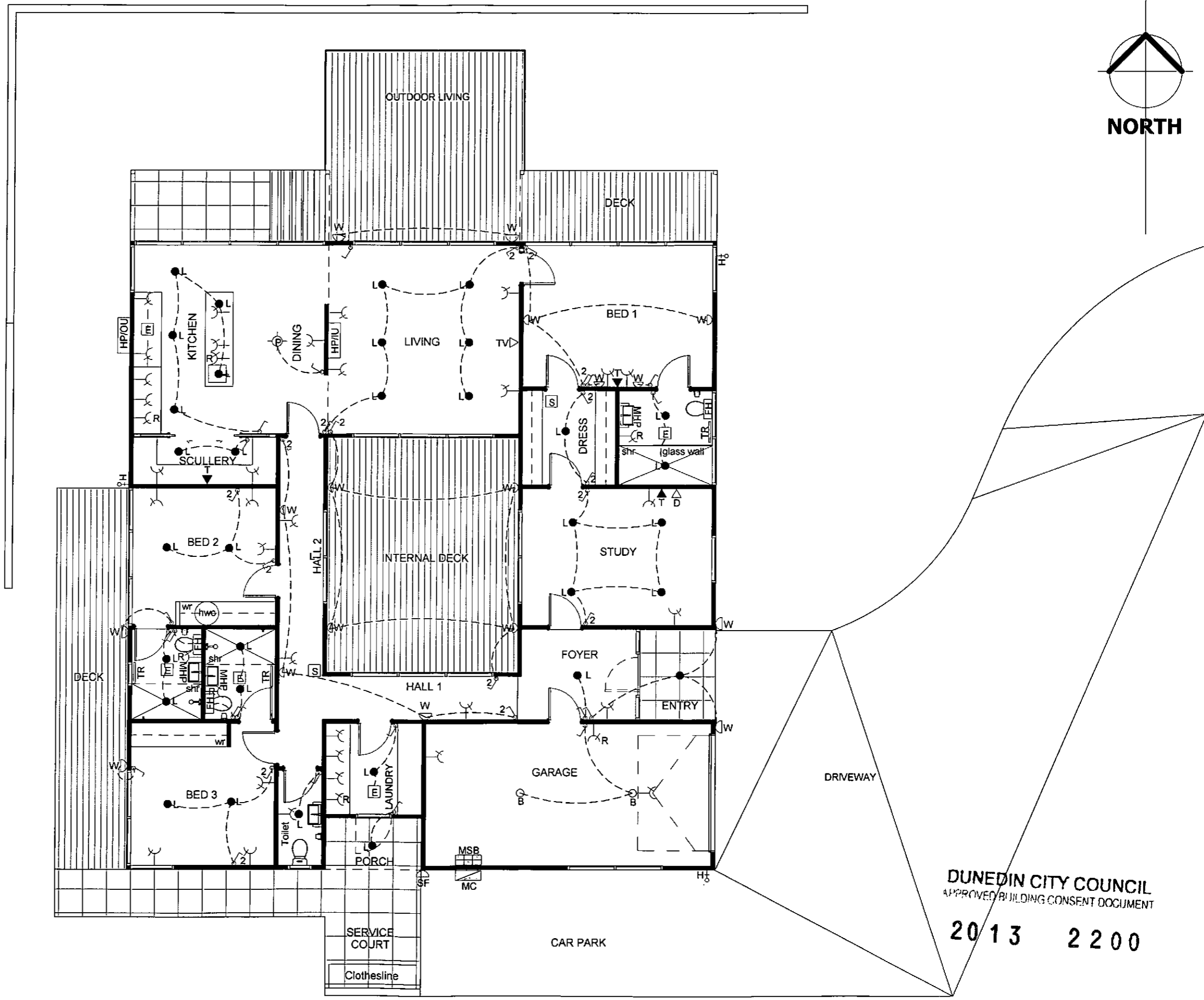
LEGEND:

-  Light switch
-  Two way switch
-  Double socket outlet
-  RCD outlet
-  Recessed light LED
-  Extract unit (5)
-  Batten Lights
-  Pendant light fitting (1)
-  Wall Light
-  Data outlet (1)
-  Television outlet (1)
-  Telephone outlet (3)
-  Heat pump outdoor unit
-  Heat pump Indoor unit
-  MSB Main switch board
-  MC Meter cabinet
-  Smoke Detector hard wired (2)
-  TR Heated towel rail (3)
-  FHH Fan Heater (3)
-  MHP Mirror heat pad wired to extract and light (3)
-  H^o Hose tap (3)
-  hwc 300L mains pressure electric hot water cylinder in roof space

Owner to confirm location of all light switches & power outlets etc on site prior to commencing work.

liaise with owner for Security & Sound system.




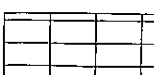
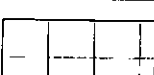

Note: Refer to Lighthouse for type of all light fittings

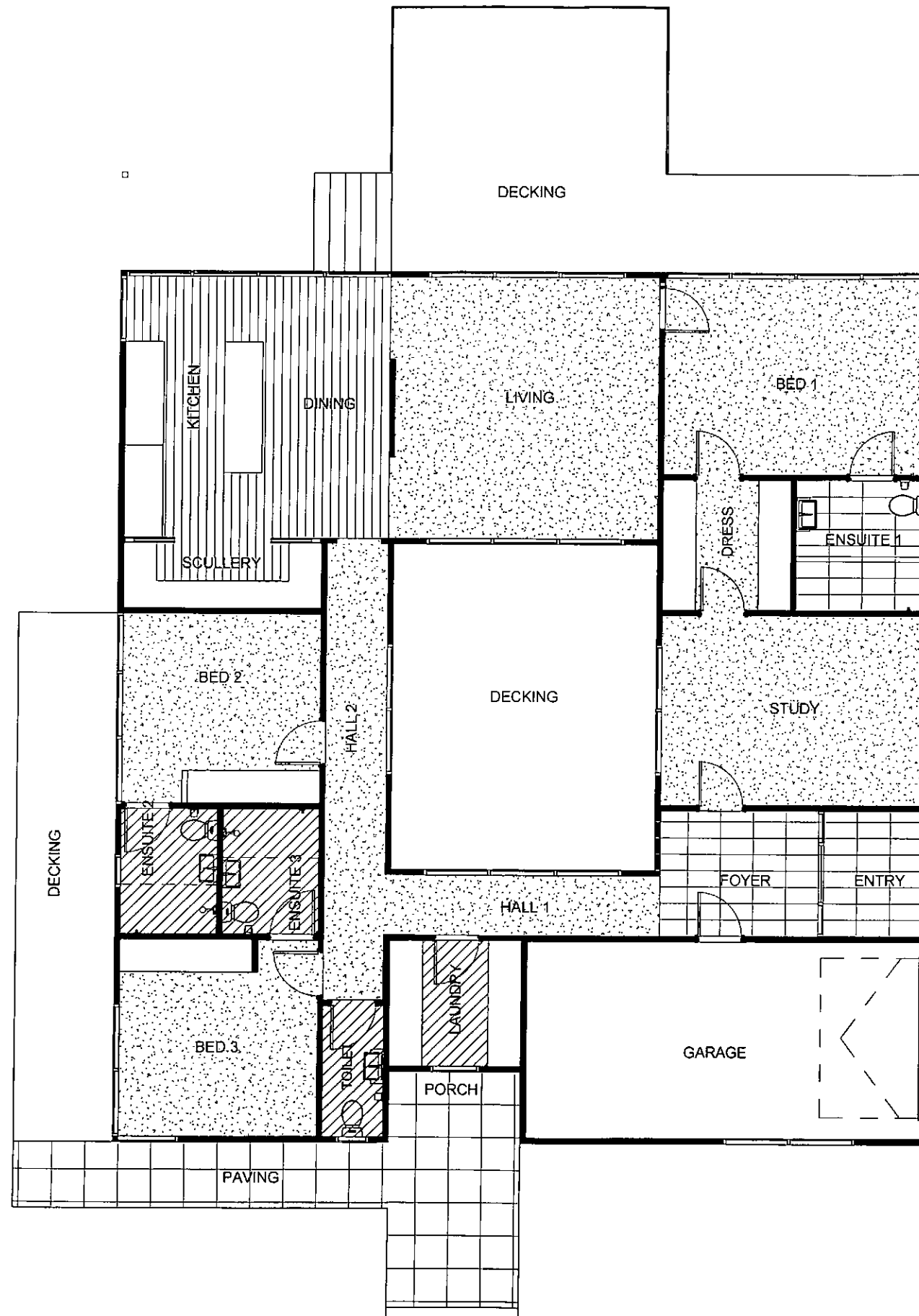


SERVICES PLAN
SCALE : 1:100

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT
2013 2200

FLOOR COVERINGS LEGEND

-  Sealed plain concrete
-  Timber flooring
-  Carpet
-  Tiles
-  Paving
-  Vinyl

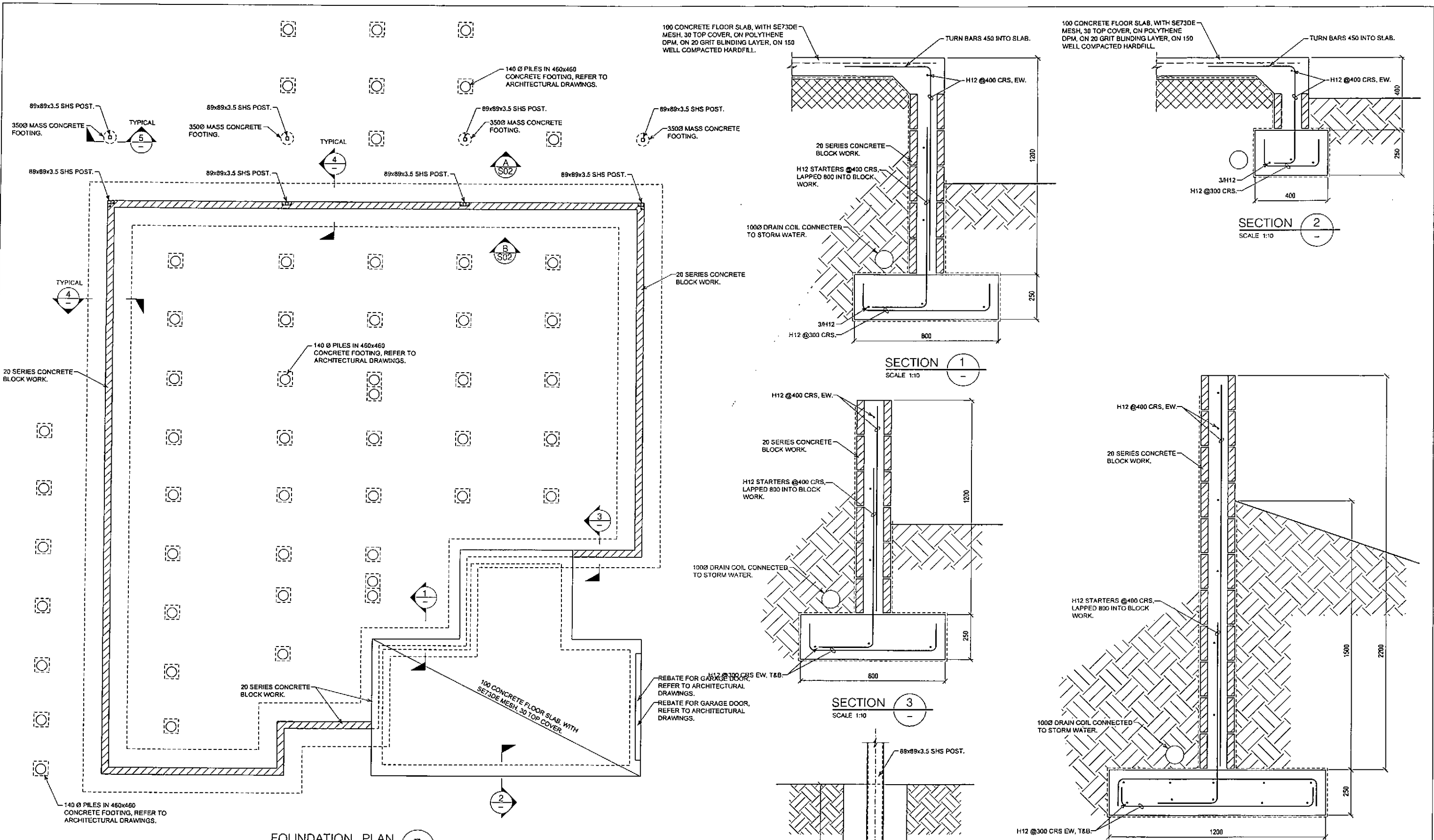


FLOOR COVERINGS PLAN

SCALE : 1:100

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2013 2200



FOUNDATION PLAN
SCALE 1:50

SECTION 1
SCALE 1:10

SECTION 2
SCALE 1:10

SECTION 3
SCALE 1:10

SECTION 5
SCALE 1:10

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2013 2200

FOR [unclear]

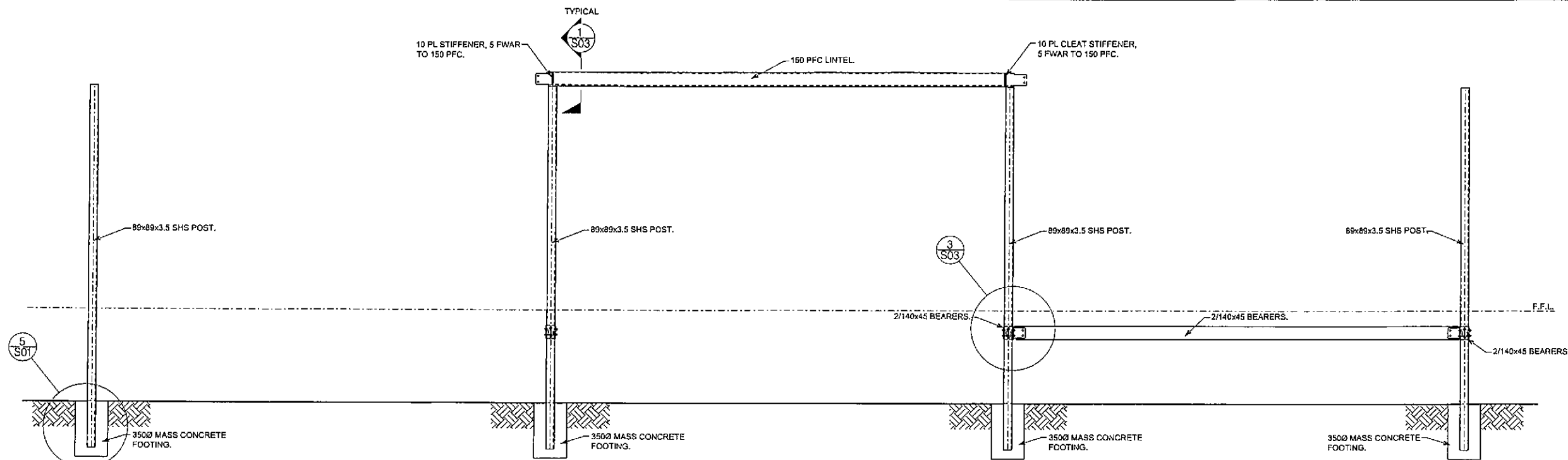
CONFIRM ALL DIMENSIONS AND PROFILES WITH DETAILS. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE. DO NOT SCALE.

Hadley & Robinson Ltd.
Consulting Civil & Structural Engineers
48 GEORGE STREET, TELEPHONE 03477 4222 FAX 03477 4634 PO BOX 8088, DUNEDIN 9008

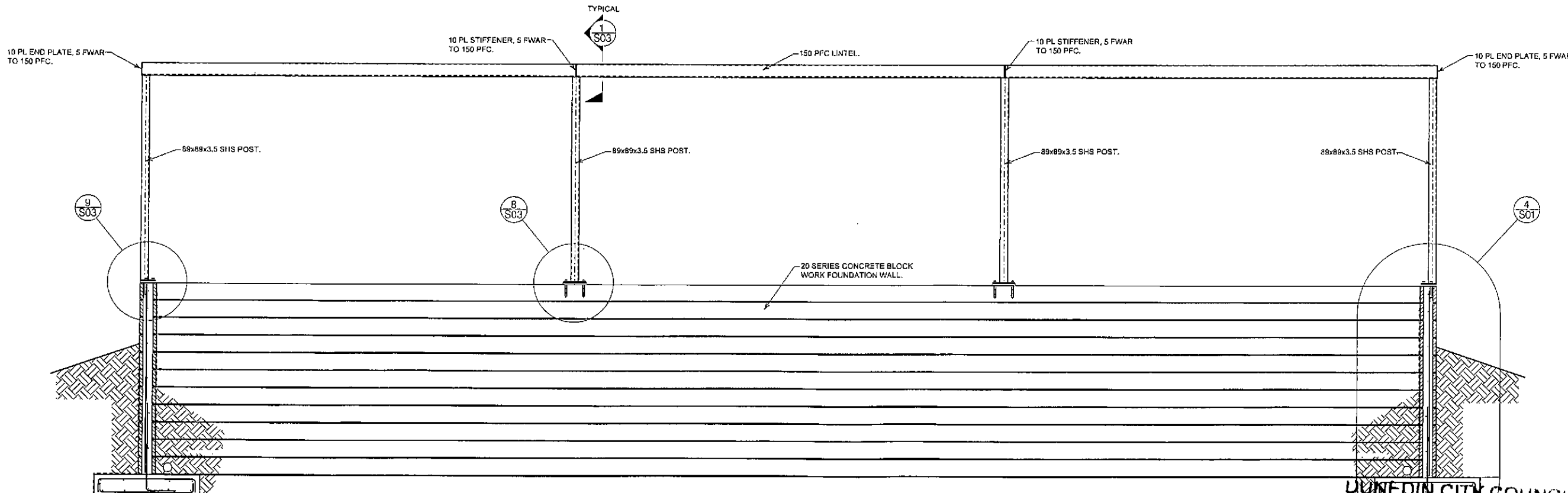
OLIVER RESIDENCE
355 HIGHCLIFF ROAD, DUNEDIN.

CONTRACT NO. 13169	DATE 2013-11-03	REVISION ISSUED FOR CONSENT	DESIGN DRAWN	H.A. M.C.V.B.	SHEET NO. S01
	DATE NOV 2013	SCALE As Noted	PLOTTED 7/11/2013	2.18:29 p.m.	

File: P:\13169-355-HighCliff-Rd_Oliver_Residence\13169-foundation.dwg



FRAME ELEVATION A
SCALE 1:25



FRAME ELEVATION B
SCALE 1:25

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT
2013 2200

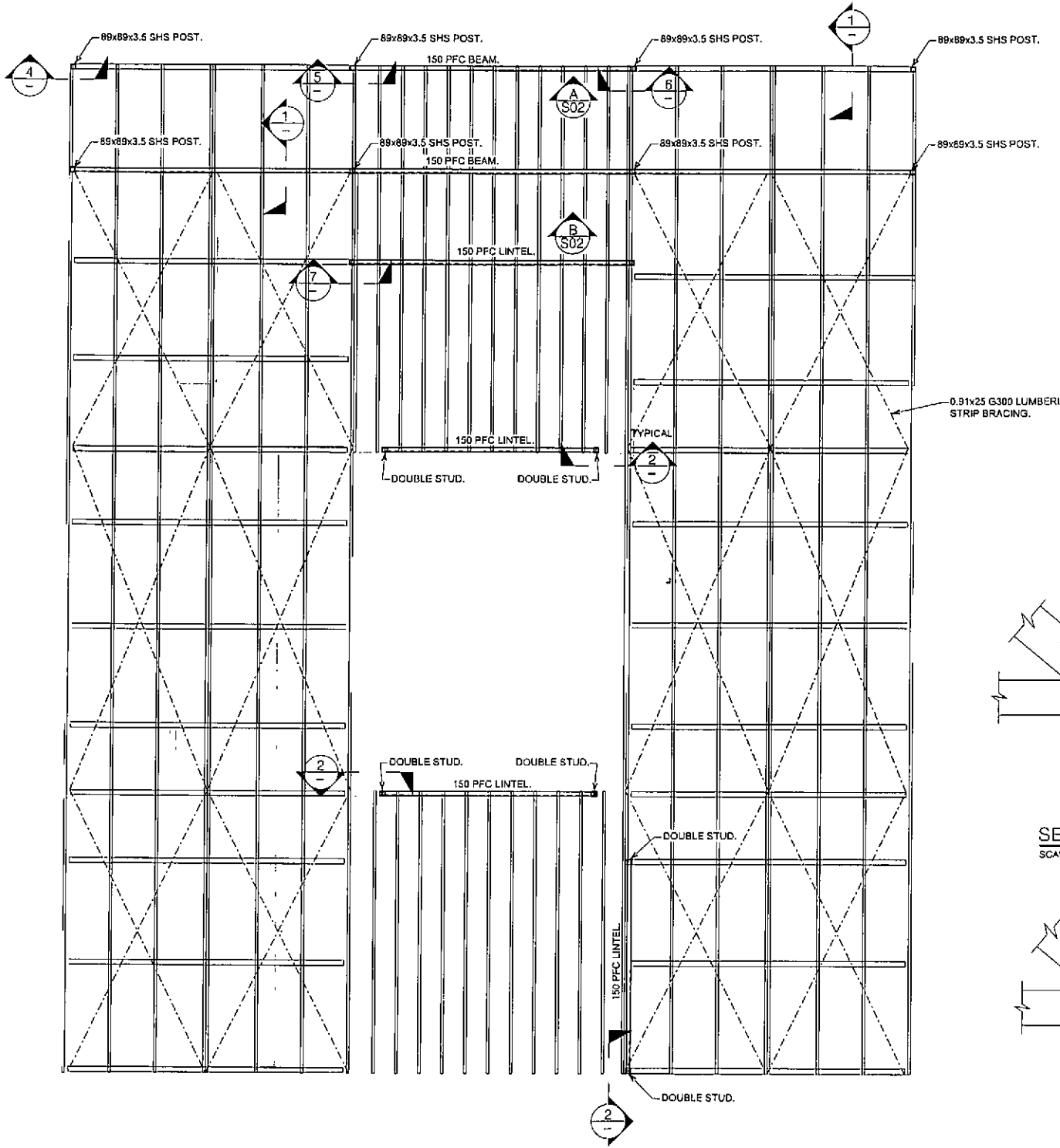
CONFIRM ALL DIMENSIONS AND PROFILES WITH DETAILS. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE. DO NOT SCALE.

Hadley & Robinson Ltd.
Consulting Civil & Structural Engineers
400 GEORGE STREET, TELEPHONE (03) 77 4921 FAX (03) 77 4922 PO BOX 8088 DUNEDIN 9008

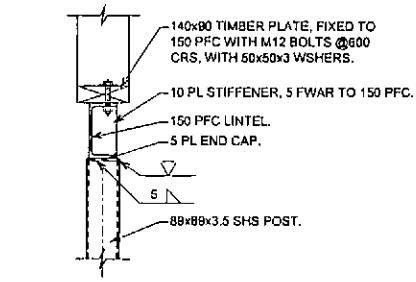
OLIVER RESIDENCE
355 HIGHCLIFF ROAD, DUNEDIN.

CONTRACT No 13169	DATE 2013-11-08	REVISION ISSUED FOR CONSENT	DESIGN DRAWN	H.A. M.C.V.B.	SHEET No S02
	DATE NOV 2013	SCALE As Noted	DATE 01/12/2013	PLOTTED 0.03:25 @ 1:1	

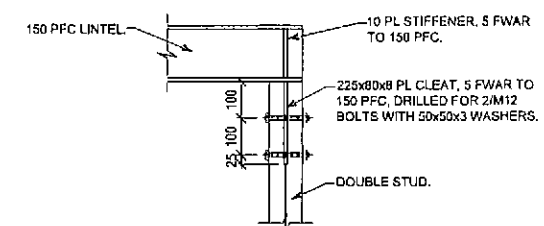
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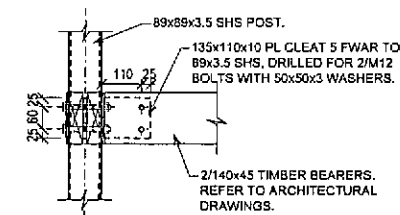
ROOF FRAMING PLAN
SCALE 1:50



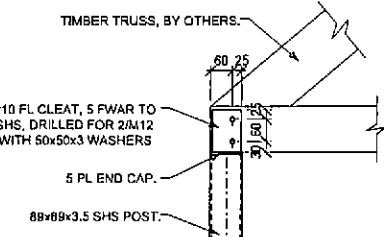
SECTION 1
SCALE 1:10



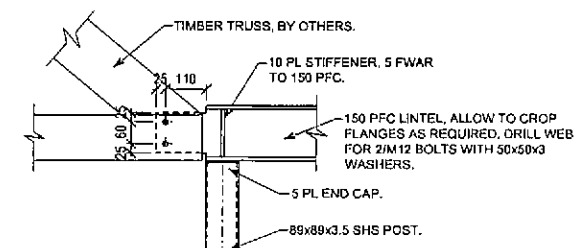
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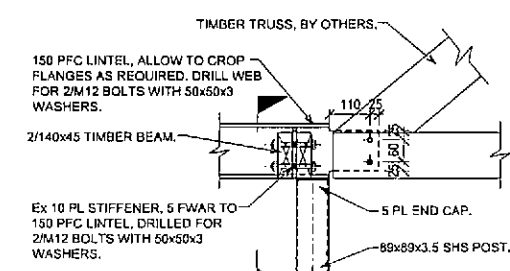
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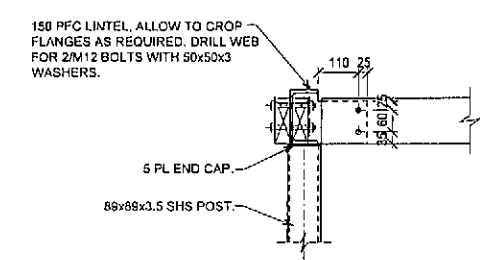
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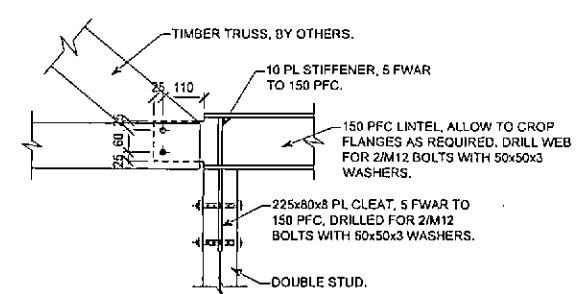
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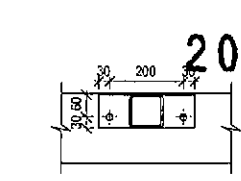
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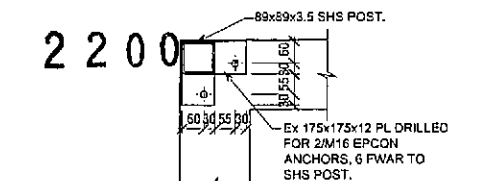
DETAIL A
SCALE 1:10



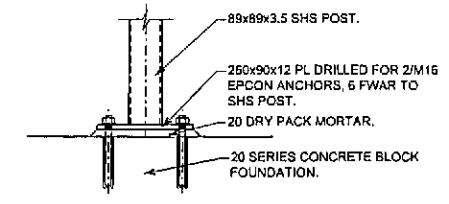
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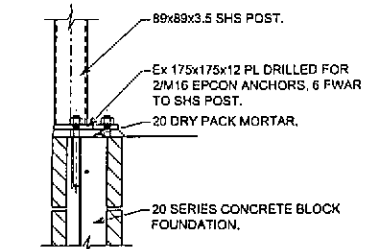
PLAN
SCALE 1:10



PLAN
SCALE 1:10



SECTION 8
SCALE 1:10



SECTION 9
SCALE 1:10

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2013 2200

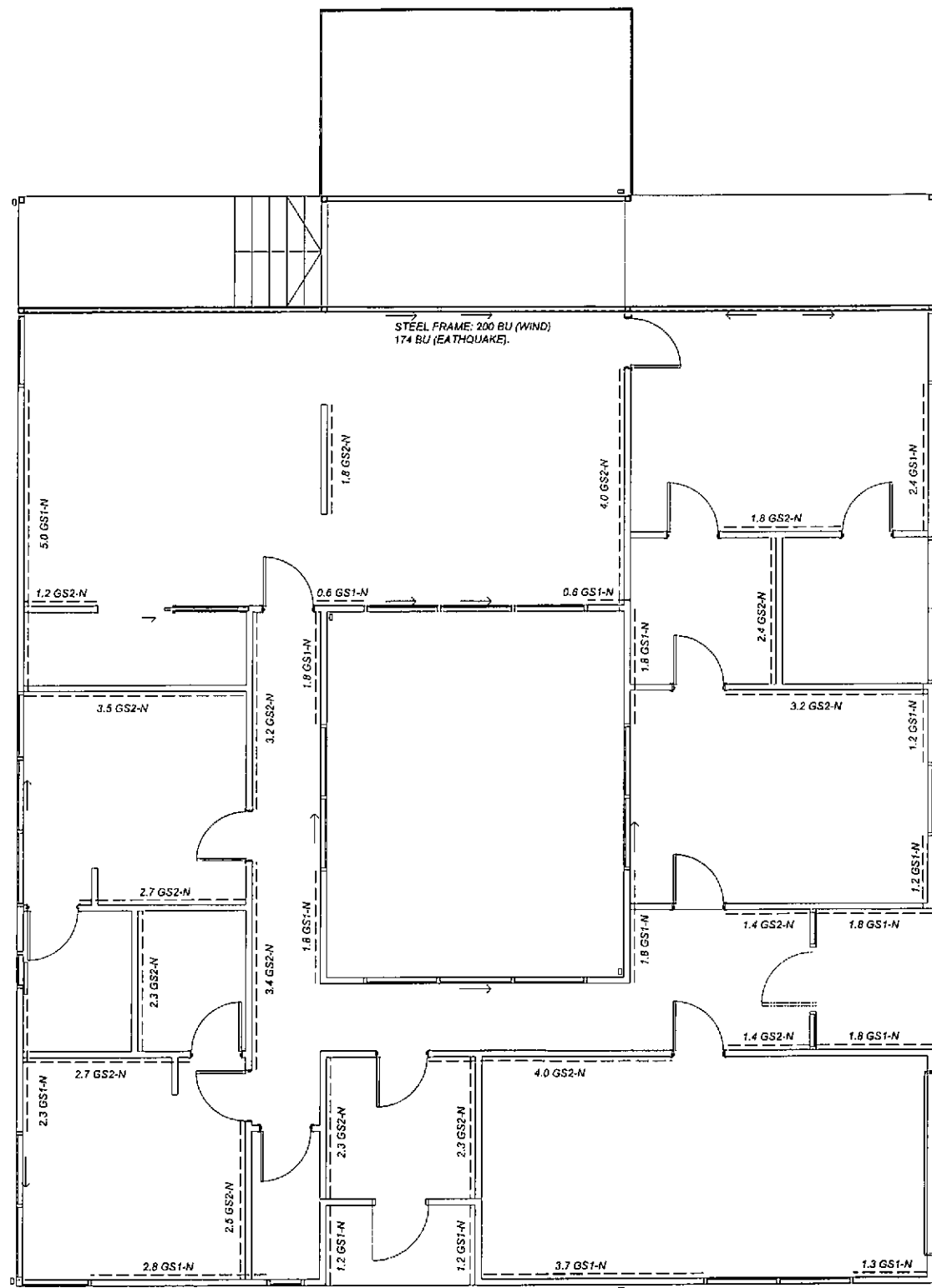
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CONFIRM ALL DIMENSIONS AND PROFILES WITH DETAILS. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE. DO NOT SCALE.

Hadley & Robinson Ltd.
Consulting Civil & Structural Engineers
40 GEORGE STREET, TEL: 0344 461 4000 FAX: 0344 461 4009 PO BOX 994, DUNEDIN 9054

OLIVER RESIDENCE
355 HIGHCLIFF ROAD, DUNEDIN.

CONTRACT No 13169	DATE 2013-11-08	REVISION ISSUED FOR CONSENT	DESIGN DRAWN	H.A. M.C.V.B.	ROOF FRAMING PLAN & DETAILS	SHEET No S03
					DATE: NOV 2013	SCALE: As Noted
					PLOTTED: 01/11/2013	8:29:20 a.m.



WALL BRACING FLOOR PLAN
SCALE 1:50

ELEMENT	L.(m).MINIMUM	DESCRIPTION	BU's./m'	
			W	EQ
GS1-N	0.4	GIB STANDARD PLASTERBOARD ONE SIDE. NO HOLD-DOWNS.	60	55
	1.2		70	55
GS2-N	0.6	GIB STANDARD PLASTERBOARD BOTH SIDES. NO HOLD-DOWNS.	75	70
	1.8		90	80

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2013 2200

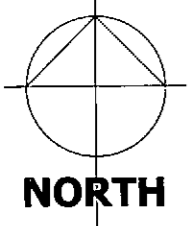
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CONFIRM ALL DIMENSIONS AND PROFILES WITH DETAILS. CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE. DO NOT SCALE

Hadley & Robinson Ltd.
Consulting Civil & Structural Engineers
485 GEORGE STREET, TEL: 03 477 4332 FAX: 03 477 0638 PG BOX 8088, DUNEDIN 9052

OLIVER RESIDENCE
355 HIGHCLIFF ROAD, DUNEDIN.

CONTRACT NO. 13169	DATE 2013-11-12	REVISION ISSUED FOR CONSENT	DESIGN N.A.	WALL BRACING PLAN	SHEET NO. S04
	DATE NOV 2013	SCALE As Marked	PLOTTED: 12/11/2013 2:15:23 p.m.		



DOOR SCHEDULE

D no	Size (H x W)	Description
D1	2400x1100	Vertical Cedar lined Solid core door with lock set and side lights
D2	2200x3000	Sectional panel overhead garage door, refer to Section 14.
D3	2400x810	Hinged door with lockset & doorstop.
D4	2400x810	Hinged door with latchset & doorstop.
D5	2400x810	Hinged door with privacy lock & doorstop
D6	2400x810	Hinged door with privacy lock & doorstop
D7	2400x810	Hinged door with privacy lock & doorstop
D8	2400x810	Hinged door with privacy lock & doorstop
D9	2400x810	Hinged door with privacy lock & doorstop
D10	2400x810	Hinged door & doorstop
D11	272400x900	Double cavity door with finger pulls on track gear.
D12	2400x810	Hinged door with privacy lock & doorstop
D13	2400x710	Hinged door with latchset & doorstop. (Louvred style)
D14	2400x710	Hinged door with privacy lock & doorstop. (Louvred style)
D15	2400x710	Hinged door with latchset & doorstop. (Louvred style)
D16	2400x710	Hinged door with lockset, with privacy lock & doorstop. (Louvred style)
D17	2400x1000	Subfloor space single glazed hinged door with lockset

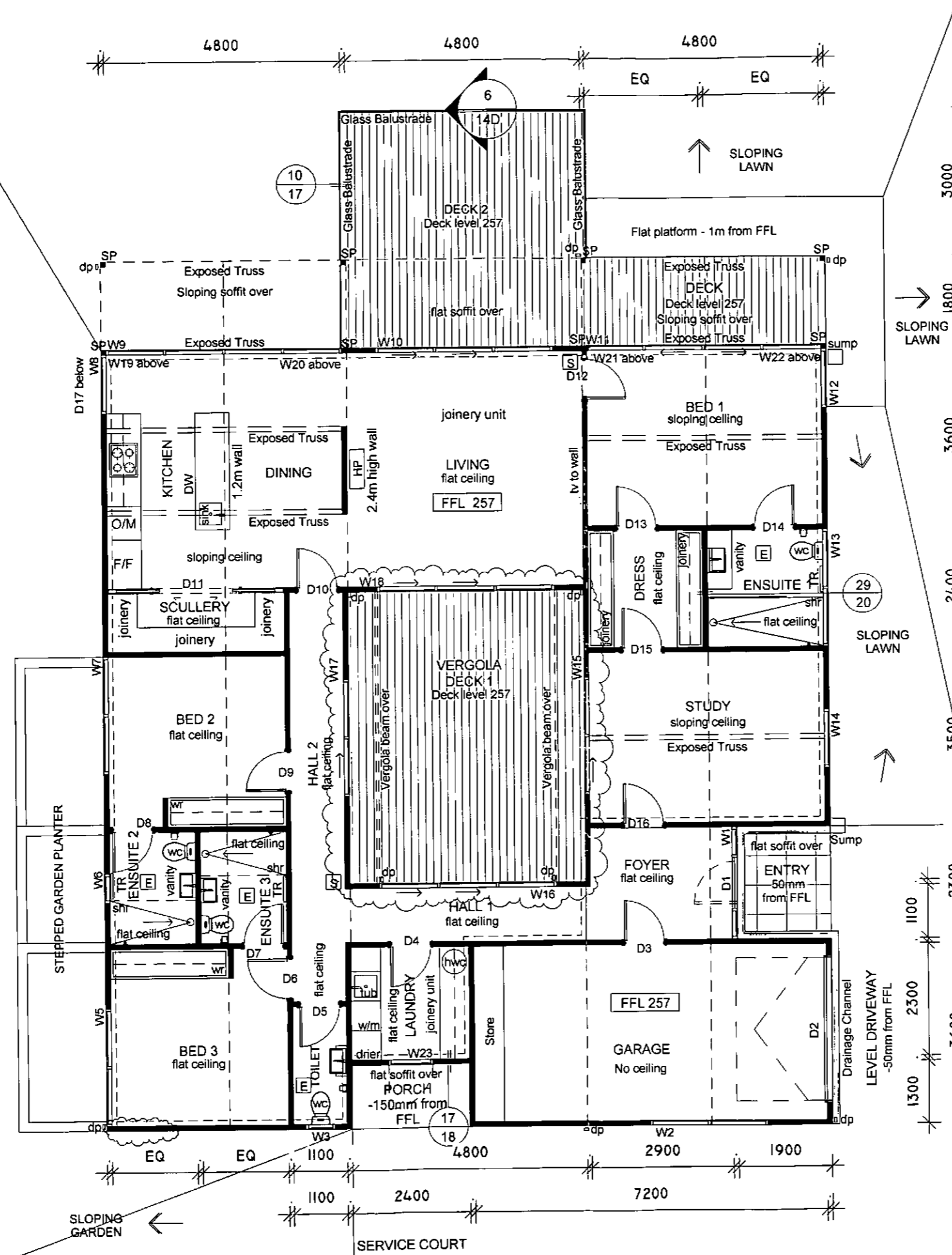
FLOOR AREA: 201 sqm
DECK AREA: 80 sqm

DUNEDIN CITY COUNCIL
Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request.

Building } A. Reid
Flumbing }
Health }
Date } 26/9/2014

NOTE

- SP Steel Post (refer to structural drawings by Hadley & Robinson Ltd for further informat
 - S Supply and install hard wired smoke alarm to comply with NZBC Clause F7 as required by the local authority within 3m outside of all bedroom doors
 - E Extract unit ducted to exterior
- Amendment D 18/06/2014
Vergola revised
W4 deleted
D13, D14, D15, D16 changed to 710mm wide
- Amendment C 08/05/2014
Site works revised
Vergola added
Deck 3 removed
Concrete pad added to subfloor spac
D17 added
Steps removed
Paved area to the north removed
Glass balustrade to the west of deck extended to building
W7 revised
Raised Planters added
- Amendment B 20/01/2014
Delete retaining walls and slope fill from foundation walls to EG North and West boundaries.
- Amendment A. 04/12/2013
W16 clarified

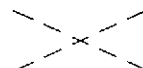
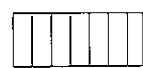



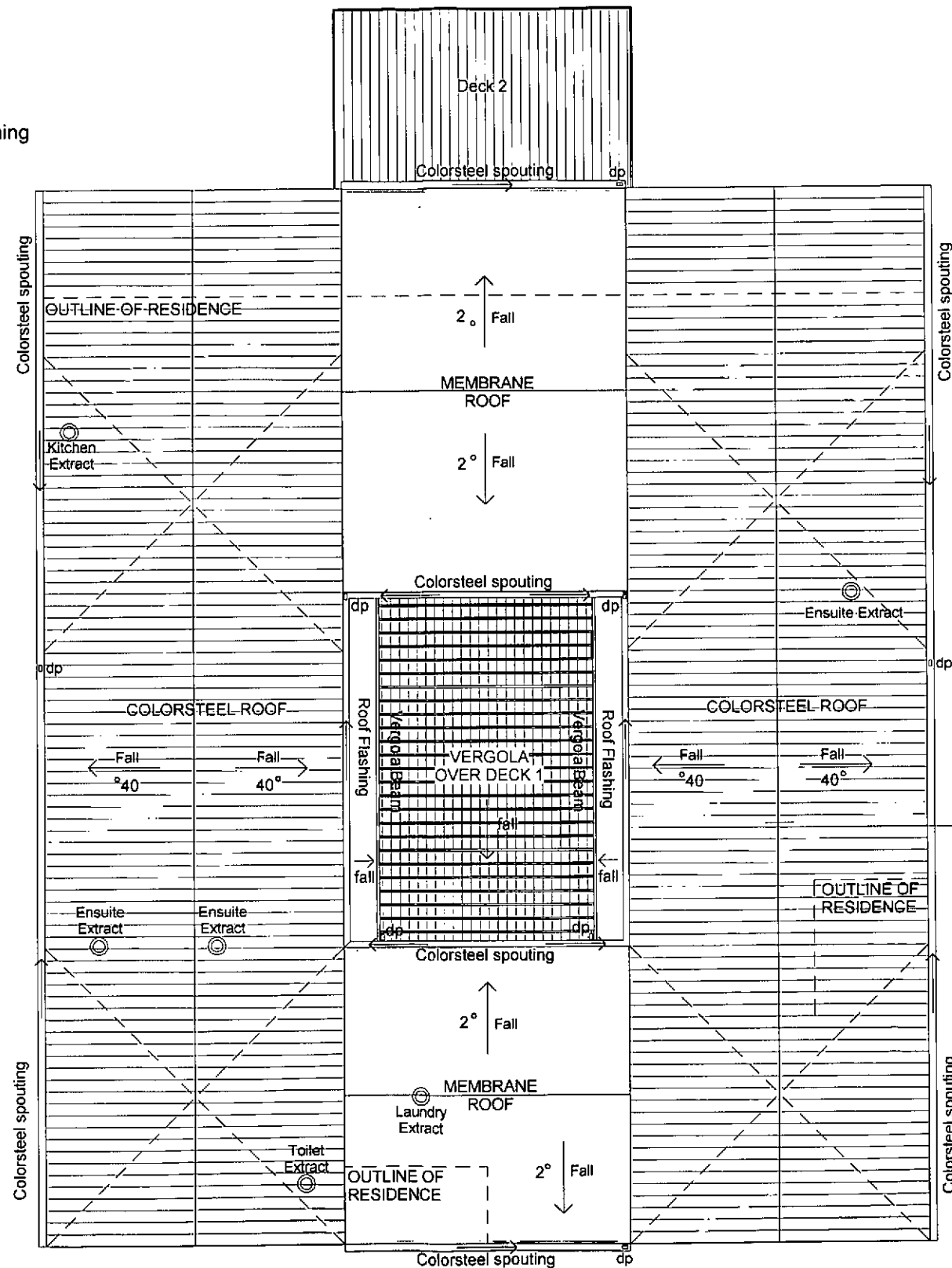
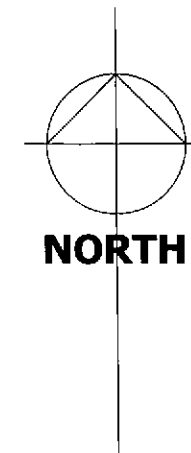
FLOOR PLAN
SCALE: 1:100

FGL-225

DCC COPY



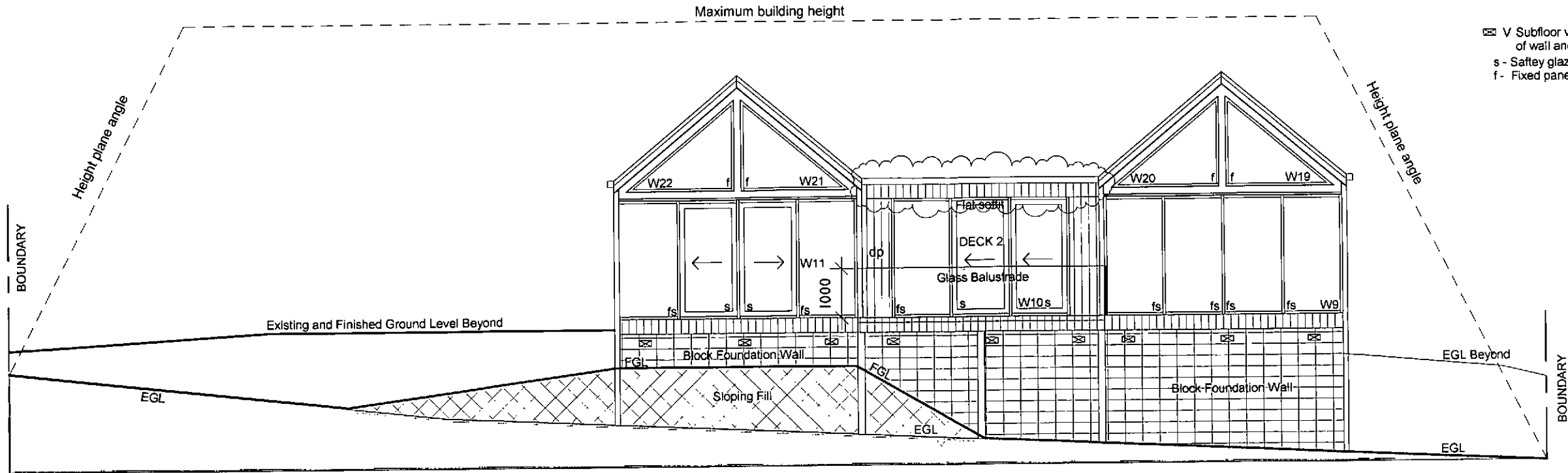
- 100 x 50 Colorsteel downpipes
-  Roof brace to be lumberlock multi roof braces as per manufacturers instructions
-  Colorsteel high five roofing on building underlay on roof framing as per manufacturers instructions
-  Membrane roof on H3.2 treated plywood on furring on roof framing



Refer to detail Figure 46:
Ridge & Hip Flashings for Profile Metal,
Sheet 81 for E2/AS1

ROOF PLAN
SCALE : 1:100

Amendment D 18/06/2014
Vergola and Membrane roofs
revised
Amendment C 08/05/2014
Vergola added



Amendment A 04/12/2013
W12 & W14 changed to 2 opening sashes and 2 fixed panels

Amendment B 20/01/2014
Delete retaining walls and slope fill from foundation walls to EGL
North and West boundaries.

Amendment C 08/05/2014
Site works revised
Vergola added
Deck 3 removed
Concrete pad added to subfloor space D17 added
Steps removed
Paved area to the north removed
Glass balustrade to the west of deck 1 extended to building
W7 revised
Raised Planters added

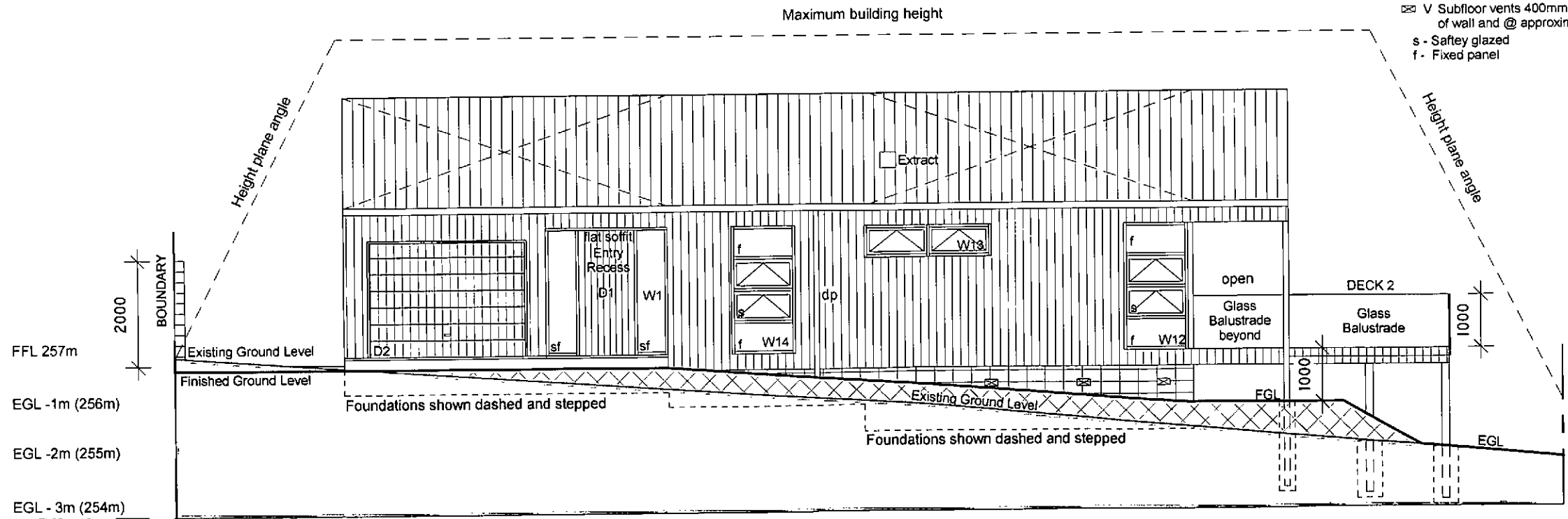
Amendment D 18/06/2014
Membrane roof revised
W4 deleted
W5 and W7 revised

NORTH ELEVATION

SCALE : 1:100

WINDOW SCHEDULE

W no	Size (H x W)	Lintel	Fixing
W1	2400 x 2300	2/190x45	G
W2	600 x 2400	2/190x45	G
W3	600 x 600	2/90x45	E
W4	2400 x 1200	2/90x45	F
W5	1800 x 2400	2/190x45	G
W6	600 x 600	2/90x45	G
W7	1800 x 2400	2/190x45	G
W8	2400 x 1200	2/90x45	F
W9	2400 x 4800	Steel	.
W10	2400 x 3600	Steel	.
W11	2400 x 4800	Steel	.
W12	2400 x 1200	2/90x45	F
W13	600 x 2400	2/190x45	F
W14	2400 x 1200	2/90x45	F
W15	2400 x 2400	2/190x45	G
W16	2400 x 3600	2/240x45	G
W17	2400 x 2400	2/190x45	G
W18	2400 x 3600	2/240x45	G
W19	0-1800 x 2400	Truss	.
W20	0-1800 x 2400	Truss	.
W21	0-1800 x 2400	Truss	.
W22	0-1800 x 2400	Truss	.
W23	2400 x 900	2/90x45	E

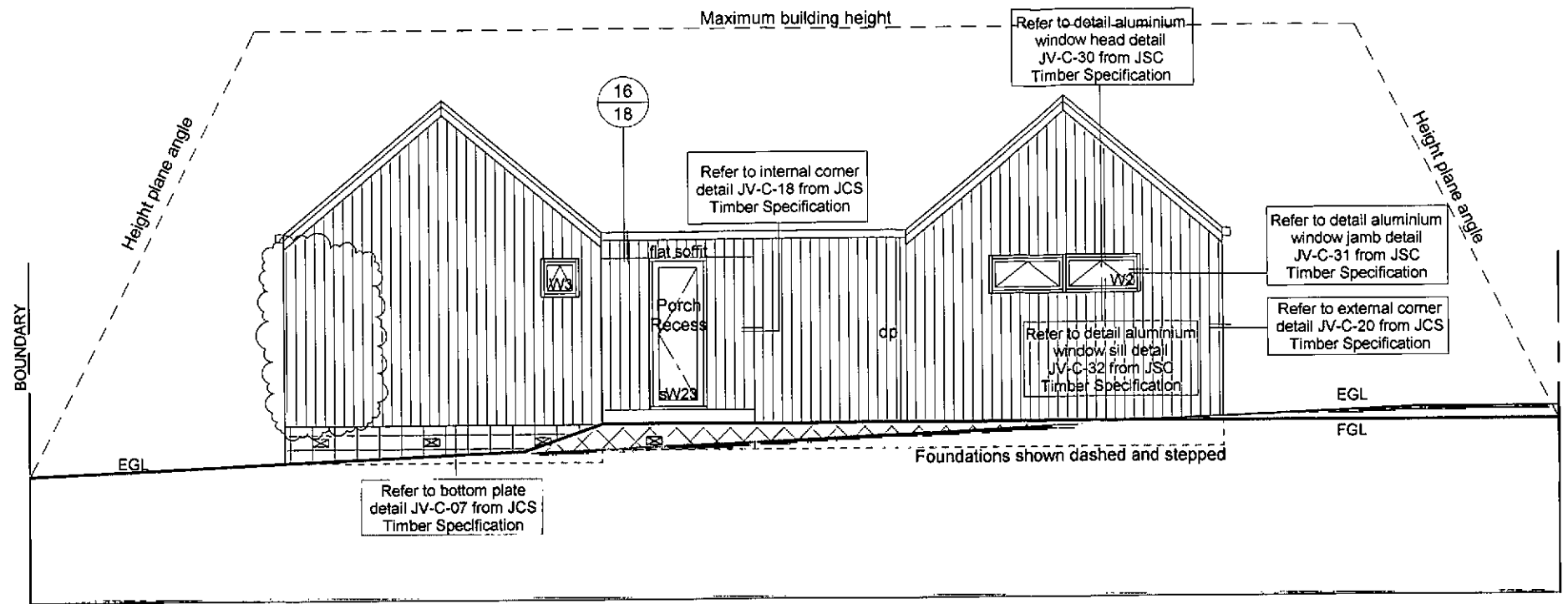


KEY:

- Area of backfill
- Vertical Cedar Cladding
- Concrete Masonry
- ColorSteel Roofing

EAST ELEVATION

SCALE : 1:100



⊗ V Subfloor vents 400mm from corner of wall and @ approximately 1800crs
 s - Safety glazed
 f - Fixed panel

Amendment A 04/12/2013
 W4, W5, W7 & W8 changed to 2 opening sashes and 2 fixed panels

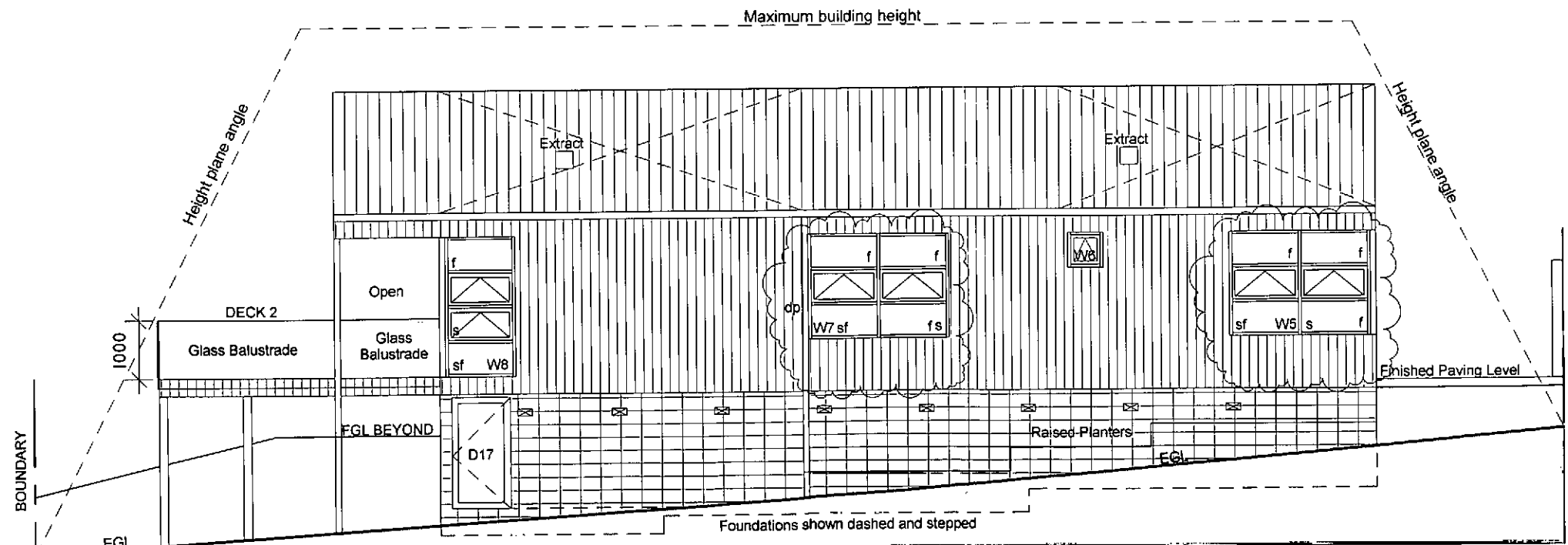
Amendment B 20/01/2014
 Delete retaining walls and slope fill from foundation walls to EGL North and West boundaries

Amendment C 08/05/2014
 Site works revised
 Vergola added
 Deck 3 removed
 Concrete pad added to subfloor space
 D17 added
 Steps removed
 Paved area to the north removed
 Glass balustrade to the west of deck 1 extended to building
 W7 revised
 Raised Planters added

Amendment D 18/06/2014
 W5 and W7 revised
 W4 deleted

SOUTH ELEVATION

SCALE : 1:100



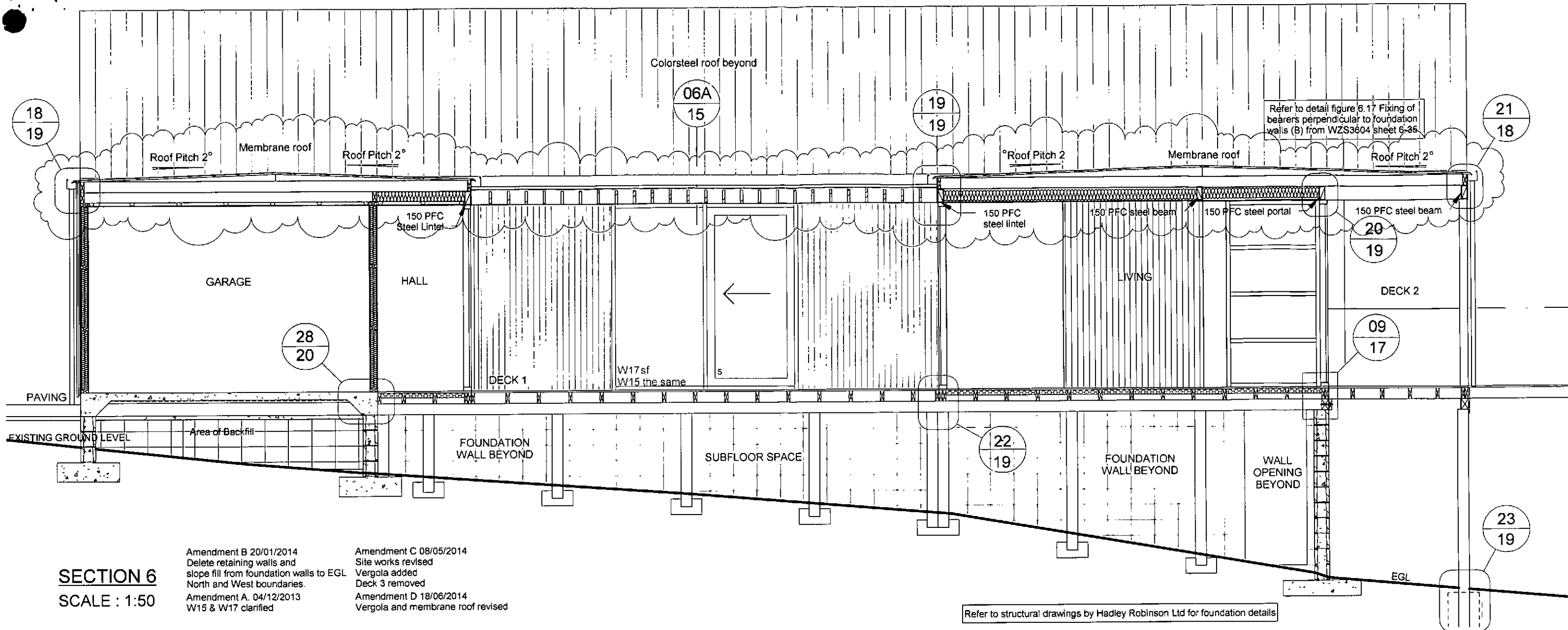
⊗ V Subfloor vents 400mm from corner of wall and @ approximately 1800crs
 s - Safety glazed
 f - Fixed panel

KEY:

	Area of backfill
	Vertical Cedar Cladding
	Concrete Masonry
	ColorSteel Roofing

WEST ELEVATION

SCALE : 1:100



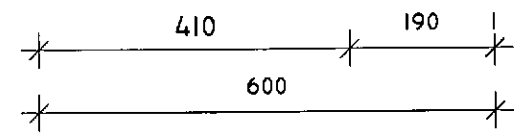
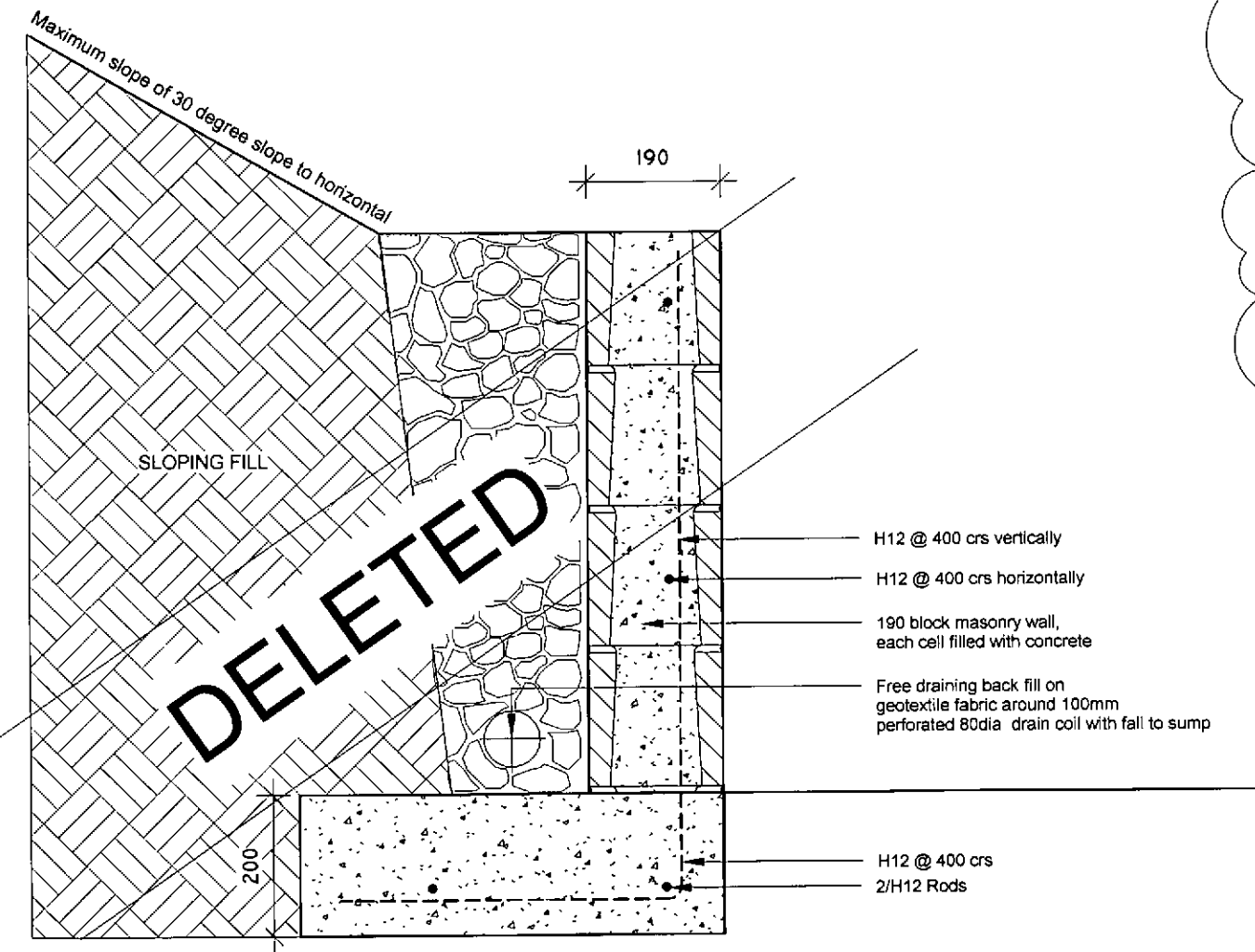
SECTION 6
SCALE : 1:50

Amendment B 20/01/2014
Delete retaining walls and slope fill from foundation walls to EGL North and West boundaries.
Amendment A. 04/12/2013
W15 & W17 clarified

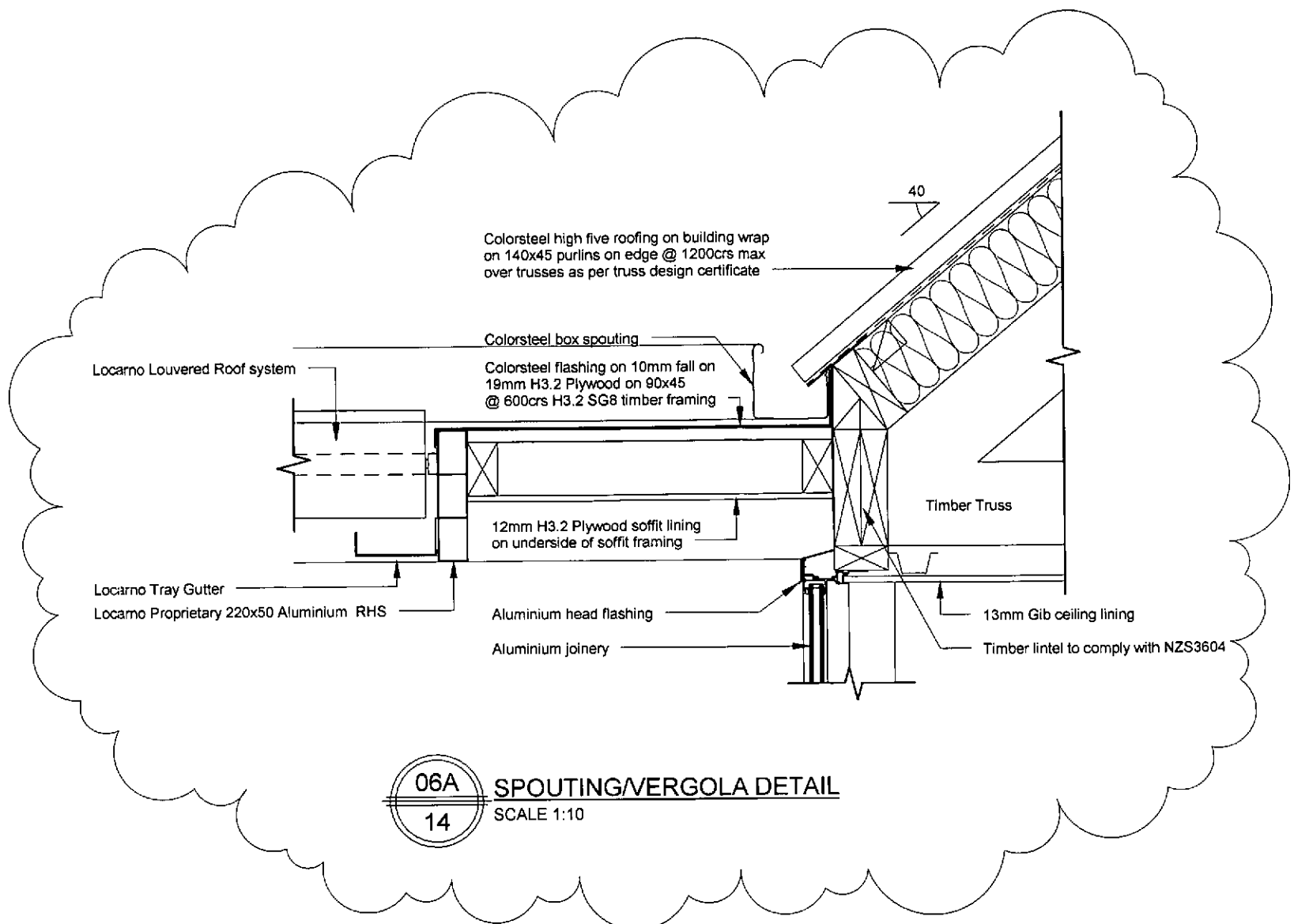
Amendment C 08/05/2014
Site works revised
Vergola added
Deck 3 removed
Amendment D 18/06/2014
Vergola and membrane roof revised

Refer to structural drawings by Hadley Robinson Ltd for foundation details

<p>CONSTRUCTION/MATERIAL SCHEDULE:</p> <p>These drawings are to be read in conjunction with all other documentation. -All foundation construction to comply with NZS 3604:2011 & max R system -All timber treatments to comply with NZS3602: 2003 and shall be SG8 minimum for all wall and roof timber framing. Roof Cladding:</p> <p>10. Colorsteel Hi five roofing on building underlay on roof structure to fall to colorsteel spoutings and down pipes.</p> <p>11. Membrane roofing on H3.2 18mm plywood over firing on roof framing to fall to colorsteel spoutings and down pipes</p> <p>12. Colorsteel flashings eg. barge, capping, ridge etc.</p> <p>13. Roofing underlay shall be Thermakraft 213 self supporting bituminous building paper as per manufacturers instructions.</p> <p>14. Roof bracing shall be achieved with Lumberlok roof bracing as per structural drawings and manufacturers instructions.</p> <p>Exterior Wall Cladding:</p> <p>20. JCS VerticClad Cedar boarding system on cavity on building wrap on timber framing as per manufacturers instructions.</p> <p>21. Building wrap shall be Thermakraft coverup building wrap as per manufacturers instructions.</p>	<p>Exterior Joinery:</p> <p>30. Metro series, powder coated aluminium joinery frame with double glazing, clear, (exterior) and (interior) with argon gas as infill and gib liner adapter to all exterior joinery to living area, Ensuite and Bedroom 1 only.</p> <p>31. Sectional Vertical Cedar Clad garage door on auto gear with two remotes.</p> <p>32. Glass balustrade to deck 2 as per manufacturers instructions and PS1</p> <p>Lining and Insulation:</p> <p>40. Sloping ceilings shall be 12mm Ecoply Grooved lining to be fixed to underside of purlins with joints concealed with paint finish white wash.</p> <p>40. All other ceilings shall be 13mm Gib plaster board to be fixed to underside steel battens or directly fixed to the underside of roof framing & stopped as per manufacturer instructions.</p> <p>41. Soffits 6mm villaboard fixed to underside of steel battens or directly to framing.</p> <p>42. All walls lined with 10mm Gib board fixed & stopped as per manufacturer instructions.</p> <p>43. Tiled wet area walls & ceilings 10mm Gib aqualine plaster board fixed & stopped for tiled and paint finish as per manufacturer instructions.</p> <p>44. R2.8 batt insulation to all external wall framing as per manufacturers instructions.</p>	<p>45. R3.2 115mm Pink Batt skillion roof insulation between purlins to sloping roofs.</p> <p>46. R3.6 batt insulation to all other ceiling areas as per manufacturer instructions.</p> <p>47. R2.8 60mm polystyrene insulation to under floor between joists.</p> <p>Roof Framing:</p> <p>50. Timber roof trusses @ approx 1600mm crs to all sloping roofs as per truss design and engineers drawings.</p> <p>51. 140x45 SG8 Rafters @ approx 400 crs to all membrane roofs.</p> <p>52. 140x45 SG8 timber purlins on edge @ max 1200 crs to span over trusses all as per roof framing plan.</p> <p>53. All steel work in locations as shown on drawings and as per engineer drawings.</p> <p>Wall Framing:</p> <p>60. All external wall framing shall be SG8 90x45 with H1.2 treatment.</p> <p>61. All internal wall framing shall be SG8 90x45. All internal studs shall be 400crs with dwangs 800crs unless otherwise stated.</p> <p>Floor Slab, Foundation & Floor Framing</p> <p>70. To Garage and Foyer supply 100mm thick 20mpa concrete slab reinforced with E665 mesh on DPM on 50mm sand on hard fill to solid bearing ground. 3xD12 rods to all concrete footings with 1.2m long supplementary reinforcing bars to internal corners.</p>	<p>71. 20 Series concrete masonry foundation walls as per structural drawings</p> <p>72. Floor framing to be SG8 140x45 timber floor joists @ 400 crs on 2/140x45 SG8 timber bearers @ approx 2400 crs on 140dia timber piles @ max 1650 crs with 400mm sq concrete footings.</p> <p>73. Braced piles to Deck 1 and 2 as shown on drawings</p> <p>75. Provide 25mm asphalt to driveway and car park areas on 150mm thick compacted hardfill.</p> <p>Deck Construction</p> <p>76. H3.2 SG8 140x45 timber joists spanning over H3.2 SG8 140x90 timber bearers with maximum span of 1650 crs on 140dia timber piles @ max 1650 crs with 250mm deep x 400mm square concrete footings.</p> <p>Services:</p> <p>80. Water, Electricity, Telephone, and Data supply services from street to residence underground in common service trench.</p> <p>81. 82. Foul drainage and Surface Water drainage from residence to laterals at North west boundary corner near Street.</p> <p>82. Electric hot water cylinder with relief valve, pipe to discharge to exterior with 3 seismic resistant straps as per manufacturers instructions and specification.</p>
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29 RETAINING WALL DETAIL
09 SCALE 1:10



06A SPOUTING/VERGOLA DETAIL
14 SCALE 1:10

Amendment D 18/06/2014
 New detail 06A
 Amendment B 20/01/2014
 Delete retaining walls and slope fill from foundation walls to EGL North and West boundaries.

IN THE MATTER of Section 224(c) of the Resource Management Act 1991

AND

IN THE MATTER of an Application for Subdivision Consent 2006-0179 and amending
RMA 2006-0038.

CONO 7125684.5 Consen

Cpy - 01/01, Pgs - 001.21/11/06.16:01



DocID: 110924260

CONSENT NOTICE

Whereas Council has granted Resource Consent to the proposed subdivision comprised in DP 368732 subject to the following condition, which is required to be complied with by the owners and subsequent owners of the land or parts thereof, being the condition specified in the operative part of this notice.

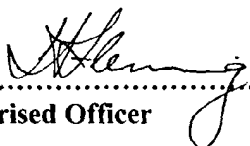
Operative Part.

Conditions relating to Lots 1 - 10 DP 368732 (Certificate of Title 279574 - 279583)

3 (n) Access into the new allotments from Highcliff Road must be made available to emergency services (Police, Ambulance and Fire Service) at all times.

DATED at Dunedin this *23rd* day of *August* 2006.

Signed for and on behalf of the Dunedin City Council


.....
Authorised Officer