

ONE AGENCY

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Dunedin City Council – Land Information Memorandum

Property Address: 32 Grandview Crescent Dunedin

Prepared for: Phillippa Helen Foster

Prepared on: 30-Jun-2026

Property Details:

Property ID	5012750
Address	32 Grandview Crescent Dunedin
Parcels	LOT 53 DP 3580

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 30-Jun-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.
Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **3rd September 1997**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council’s urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council’s water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property.

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2012750
Address	32 Grandview Crescent Dunedin
Valuation Number	26770-13700
Latest Valuation Details	
Capital Value	\$720,000
Land Value	\$450,000
Value of Improvements	\$270,000
Area (Hectares)	0.1414HA
Units of Use	1

Current Rates

Current Rating Year Starting 01-Jul-2025
Dunedin City Council Rates \$4,389.89

Rates Outstanding for Year \$0.00

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key: BC - Building Consent Issued
CCC - Code Compliance Certificate Issued
Archived - In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
/CCC
Refused
Lapsed - Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-1998-343131](#) Building Consent - Install Heater-Jayline Classic Inbuilt

Lodgement Date 17-Apr-1998
Decision Granted
Decision Date 17-Apr-1998
Current Status **CCC Issued**
Previous Number ABA981011

(Applications before 2007)

[ABA-2024-672](#) Building Consent - Alter Dwelling - Alter Internal Layout to Relocate Kitchen and Bathroom, Form Pantry, Install Gas Hot Water System

Lodgement Date 13-May-2024
Decision Granted
Decision Date 27-May-2024
Current Status **CCC Issued**
Previous Number

(Applications before 2007)

Building and Drainage Permits

[H-1926-10661](#) AAB19260045

Gazette 75 - 33ft Building Line Restriction (No Plan). The permit was lodged on 04-Nov-1926.

[H-1935-17678](#) AAB19350021

5490 - Erect Dwelling, (McFadden). The permit was lodged on 07-Nov-1935.

[H-1975-79631](#) AAB19750162

1999 - Crossing, No Plan (Mulvany). The permit was lodged on 30-Oct-1975.

[H-1976-81374](#) AAB19760120

2727 - Erect Carport, (Mulvarney). The permit was lodged on 19-Mar-1976.

[H-1936-152560](#) AAD19360469

D719 - Plumbing and Drainage New Dwelling, (McFadden). The permit was lodged on 27-Jan-1936.

[H-1935-151449](#) AAD19350247

D250 - Private Drain in Common (McFadden). The permit was lodged on 21-Aug-1935.

Building Notices

No Building Notices

Resource Consents

The following Resource Consent(s) are recorded for this property:

[POL-2007-350497](#) - Planning Other Legislation

Description	Create a right of way easement
Lodgement Date	19-Mar-2007
Decision	Granted
Decision Date	24-Apr-2007
Current Status	Completed

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

This property is subject to the Operative Dunedin City Second Generation District Plan 2026 (2GP), which became fully operative on 17 June 2026. The 2GP, including planning maps, is available on the Dunedin City Council website <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> and at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 1 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Stadium Noise Leaflet Drop Mapped Area (part)

[Please note that some of the items above may only extend over part of the property. If there are multiple designations over the property, these may overlap.]

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any building consent, or to enquire about information referred to in this section, please contact Building Services Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 32 Grandview Crescent Dunedin

[5011907 22 Northfield Avenue Dunedin](#)

[LUC-2013-233](#) Land Use Consent install lap pool that breaches bulk and location requirements. The outcome was Granted on 05/07/2013.

[RMA-1988-352330](#) Resource Management Act (Historical Data) DWG ADDN Ownr:WATTS (Non-Notified - Non Complying). The outcome was Granted on 02/08/1988.

[5011908 24 Northfield Avenue Dunedin](#)

[LUC-2011-219](#) Land Use Consent deck addition in side yard. The outcome was Granted on 31/05/2011.

[RMA-2006-370424](#) Resource Management Act (Historical Data) ALTERATION TO RESIDENTIAL UNIT AND CONSTRUCTION OF GARAGE (Non-Notified - Restricted Discretionary). The outcome was Granted on 10/08/2006.

[5011911 25 Northfield Avenue Dunedin](#)

[LUC-2013-467](#) Land Use Consent construct a deck. The outcome was Granted on 17/12/2013.

[RMA-1991-353363](#) Resource Management Act (Historical Data) ADD 2ND STOREY TO BLDG Ownr:BOWIE / App: BOWIE (Non-Notified - Non Complying). The outcome was Granted on 04/12/1991.

[5011912 23 Northfield Avenue Dunedin](#)

[RMA-1999-363446](#) Resource Management Act (Historical Data) TO EXTEND AND EXISTING DWELLING THAT DOES NOT COMPLY WITH BULK AND LOCATION REQUIREMENTS (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 15/10/1999.

[5011913 21 Northfield Avenue Dunedin](#)

[RMA-1992-355593](#) Resource Management Act (Historical Data) ER CARPORT Ownr:B J STEEL / App: BJ STEEL 21 NORTHFIELD AVENUE (Non-Notified - Non Complying). The outcome was Granted on 12/01/1993.

[**5012579 210 Signal Hill Road Dunedin**](#)

[SUB-2021-11/A](#) Subdivision Consent s125 extension of time - A subdivision to create three residential lots, one amalgamated rural lot with esplanade strips and a crown hydro parcel.. There has been no outcome yet.

[SUB-2021-11](#) Subdivision Consent Stage 2. The outcome was Staged Subdivision on 15/06/2021.

[SUB-2021-11](#) Subdivision Consent Stage 1. The outcome was Staged Subdivision on 15/06/2021.

[SUB-2021-11](#) Subdivision Consent A subdivision to create three residential lots, one amalgamated rural lot with esplanade strips and a crown hydro parcel.. The outcome was Granted on 15/06/2021.

[**5012721 28 Grandview Crescent Dunedin**](#)

[LUC-1982-384413](#) Land Use Consent Planning consent to plant approximately two hectares of land with Pinus Radiata seedlings. The outcome was Granted on 15/06/1982.

[**5012751 34 Grandview Crescent Dunedin**](#)

[BACT-2019-82](#) Boundary Activity Notice boundary consent for the authorisation for an existing garden shed. The outcome was Issued on 06/11/2019.

[LUC-2019-228](#) Land Use Consent land use consent for the establishment of a family flat that breaches the yard setback and outdoor living space requirements. The outcome was Granted on 20/06/2019.

[**5012753 36 Grandview Crescent Dunedin**](#)

[LUC-2013-515](#) Land Use Consent construct a deck. The outcome was Granted on 21/01/2014.

[**5012757 44 Grandview Crescent Dunedin**](#)

[RMA-1994-356976](#) Resource Management Act (Historical Data) ER DOUBLE GARAGE Ownr:PROFILE BLDGS / App: PO BOX 1506 DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 13/09/1994.

[**5012771 31 Grandview Crescent Dunedin**](#)

[LUC-2015-123](#) Land Use Consent alter and add to dwelling. The outcome was Granted on 15/04/2015.

[**5012772 35 Grandview Crescent Dunedin**](#)

[BACT-2020-27](#) Boundary Activity Notice deemed permitted boundary activity to add to a dwelling. The outcome was Issued on 10/06/2020.

[**5012775 41 Grandview Crescent Dunedin**](#)

[RMA-1994-356790](#) Resource Management Act (Historical Data) ADD PROJECTING BOX WINDOW TO SIDE OF DWELLING Ownr:J CROOKS / App: J CROOKS 41 GRANDVIEW CRES (Non-Notified - Non Complying). The outcome was Granted on 01/06/1994.

[RMA-1993-356126](#) Resource Management Act (Historical Data) ERECT GARDEN SHED Ownr:JOSIE COOK / App: DAVID MCFARLANE NORTH RD RD 2 WAITATI (Non-Notified - Non Complying). The outcome was Granted on 27/07/1993.

[**5116450 44 Grandview Crescent Dunedin**](#)

[LUC-2020-350](#) Land Use Consent land use consent to maintain significant tree T523. The outcome was Granted on 25/08/2020.

[RMA-1994-356976](#) Resource Management Act (Historical Data) ER DOUBLE GARAGE Ownr:PROFILE BLDGS / App: PO BOX 1506 DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 13/09/1994.

[**5126033 30 Grandview Crescent Dunedin**](#)

[SUB-2017-91](#) Subdivision Consent subdivision consent for the subdivision of the land. The outcome was Granted on 18/10/2017.

[SUB-2009-22](#) Subdivision Consent two lot subdivision. This consent has since Lapsed.

[POL-2007-350497](#) Planning Other Legislation Create a right of way easement. The outcome was Granted on 24/04/2007.

[5126034 30A Grandview Crescent Dunedin](#)

[BACT-2020-6](#) Boundary Activity Notice boundary activity for a deck. The outcome was Issued on 05/02/2020.

[SUB-2017-91](#) Subdivision Consent subdivision consent for the subdivision of the land. The outcome was Granted on 18/10/2017.

[LUC-2017-481](#) Land Use Consent land use consent being the retention of an existing accessory building without an associated permitted activity on Lot 2 SUB-2017-91. The outcome was Granted on 18/10/2017.

[SUB-2009-22](#) Subdivision Consent two lot subdivision. This consent has since Lapsed.

[POL-2007-350497](#) Planning Other Legislation Create a right of way easement. The outcome was Granted on 24/04/2007.

[5157699 210 Signal Hill Road Dunedin](#)

[SUB-2021-11/A](#) Subdivision Consent s125 extension of time - A subdivision to create three residential lots, one amalgamated rural lot with esplanade strips and a crown hydro parcel.. There has been no outcome yet.

[SUB-2021-11](#) Subdivision Consent Stage 2. The outcome was Staged Subdivision on 15/06/2021.

[SUB-2021-11](#) Subdivision Consent Stage 1. The outcome was Staged Subdivision on 15/06/2021.

[SUB-2021-11](#) Subdivision Consent A subdivision to create three residential lots, one amalgamated rural lot with esplanade strips and a crown hydro parcel.. The outcome was Granted on 15/06/2021.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand.

Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Other Water Information

Restrictions near Council infrastructure

There is Dunedin City Council water infrastructure located within the boundaries of this property, as shown on the attached reticulation plans.

Relevant deposited plans, certificates of title and memoranda of transfer at Land Information New Zealand (www.linz.govt.nz) should be reviewed for information relating to any existing registered easements. However, as the Local Government Act 2002 (LGA) provides statutory rights for public infrastructure, easements are not always registered.

No building or structure shall be constructed within 2.5 metres of any Council-owned underground infrastructure, or as specified on any registered easement, without the written approval of the Council.

Infrastructure shall not be damaged or otherwise interfered with. Prior to commencing any works within the subject property, all Council-owned structures, mains and service pipes, and associated fittings are to be located on-site and, if necessary, protected.

The Council can enter the land to inspect, alter, renew, repair or clean its infrastructure under the LGA. For planned works, reasonable notice will be given.

Within new land subdivisions the Council requires an easement in gross over public water supply infrastructure. The easement in gross must be a minimum of 3 metres wide, centred on the as-built position, and made in accordance with the Dunedin Code of Subdivision and Development 2010: Section 6.3.10.3 (Water).

Planting near infrastructure should be avoided, particularly large trees or other species whose roots could cause damage.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Non-compliant vehicle crossing – no stormwater run-off.

It appears there are no stormwater provisions in place for this vehicle crossing. To meet current Council standards the stormwater run-off would be required to be captured at the boundary and managed in a way where it does not cause a nuisance to neighbouring properties, including the road corridor. For example: a strip drain with sump or a sump and piped to the kerb and channel. Council accepts this situation but accepts no liability and the maintenance is the responsibility of the property owner. This may be required to be upgraded in the future.

Vehicle crossing - shared vehicle access.

It appears that the vehicle access to this property is via a shared driveway. Please consult with your Lawyer to find out if this is registered under your property title and/or there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

MH Manhole
PL Plumbing
PLB Plumbing
PTE Private
SIS Sewer in section
WC Water course
WT Water table
SW Stormwater

General terms

RDMS Records and Document Management System

Appendices



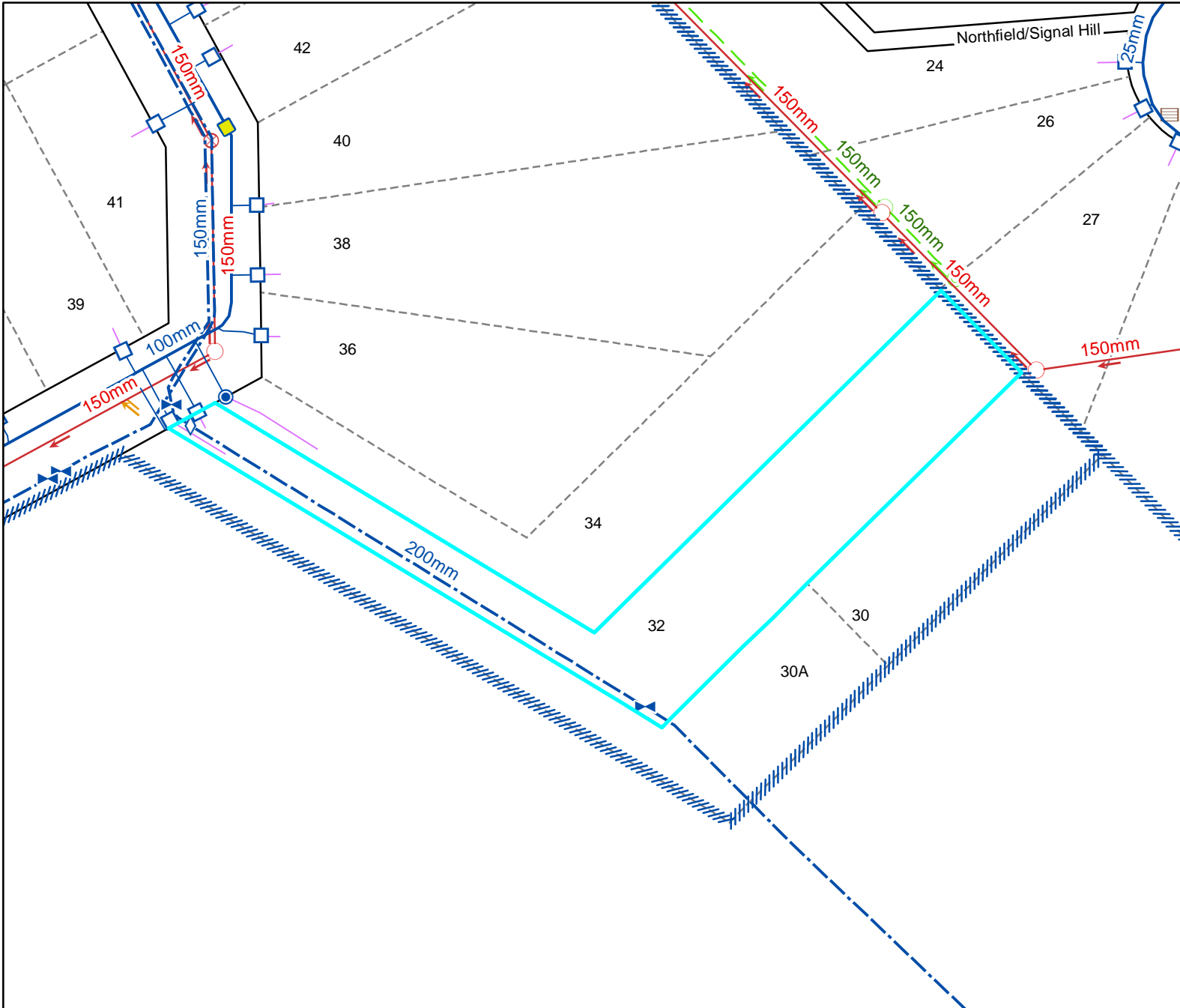
Photographic Map

Scale at A4:
1:750
24/06/2026
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PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

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2006, copyright Terralink International Ltd.



Legend

Water Supply	
	Manifold Box
	Water Meter
	Toby
	Meter without manifold box
	Retic Flow Meter
	Combination Meter
	Manifold Box With Restrictor
	Water Valve - Zone
	Non Return Valve
	Water Valve - Gate
	Water Valve - Sluice
	Water Hydrant
	Water Backflow Preventor - RPZ
	Water Non-Return Valve
	Water Pump Station
	Water Bore
	Water Treatment Plant
	Water Storage Tank
	Supply Main
	Trunk Main
	Disused
	Reticulation
	Scour
	Water Service Lateral
	Water Fire Service Lateral
	Water Critical Service Lateral
	Water Zone Boundary
	Water Reservoir
	Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage	
	Standard Manhole
	Valve Chamber (pressurised)
	Boundary Kit
	Non-Return Valve
	Pump Station Domestic
	Drop Manhole
	Inspection Manhole
	Inspection Opening
	Lamphole
	Outlet
	Pump Station
	Treatment Plant
	Vent
	Foul Sewer Node
	Foul Drains in Common (public)
	Sewer
	Trunk Sewer
	Vent Line
	Rising Main
	Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater	
	SW Bubble-up Tank
	SW Drop Manhole
	SW Insp Chamber and Grating Inlet
	SW Inspection Manhole
	SW Inspection Opening
	SW Lamphole
	SW Mudtank Inlet
	SW Outlet
	SW Pipe Inlet
	SW Pressure Manhole
	SW Standard Manhole
	SW Stormwater Node
	Roading Bubble-Up Tank
	Roading Mudtank
	Stormwater Main
	Stormwater Trunk Main
	DCC Open Channel
	Piped WC
	Open WC
	Culvert
	Stormwater Mudtank Pipe
	Redundant Stormwater Main
	SW Sump
	SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General		Cadastral	
	DCC Water & Waste Structure		Parcel
	Hydro		Road/Rail
	Railway Centreline		Motorway Parcels
			Strata
			Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
1:750
24/06/2026
8:02:50 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
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0/250

DUNEDIN DRAINAGE AND SEWERAGE BOARD

HOUSE CONNECTION PLAN.

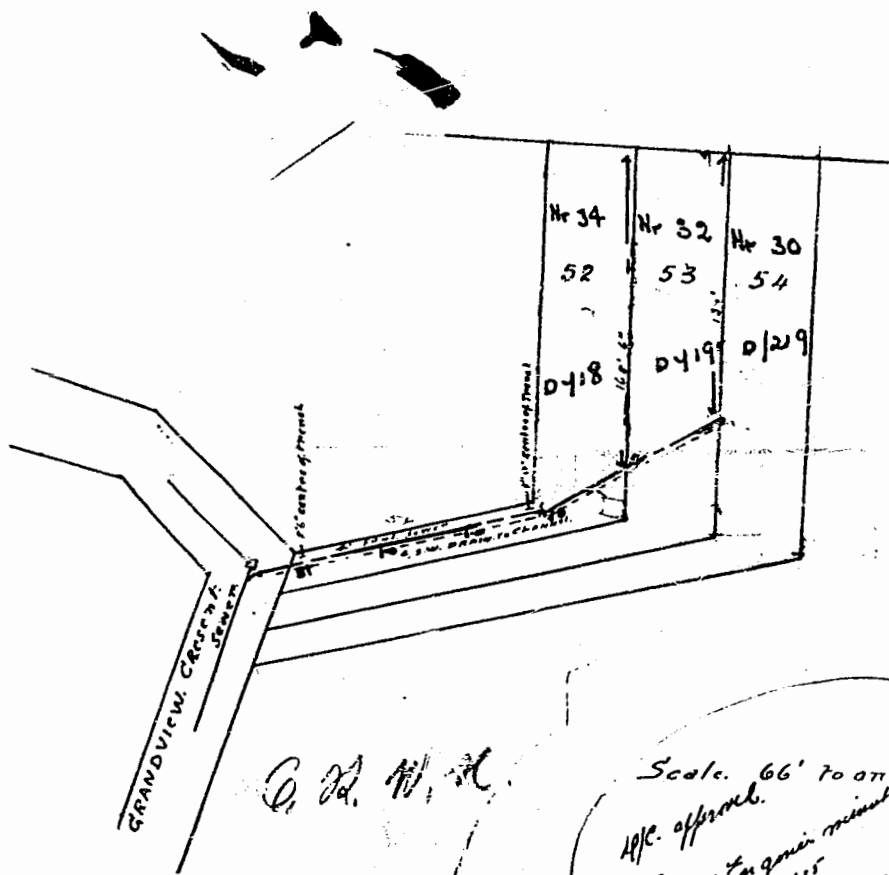
APPLICATION NO. 11

DATE

SCALE *66' to an inch*
~~1 in to a foot~~

NEW SEWERAGE DRAINS: RED
STORMWATER: DOTTED BLACK
OLD DRAINS: FULL BLACK

Dr. Engon minute 3/1/35
See sheets of P.O. No. 1000 9/2/35



C. G. Mason

Scale. 66' to an inch
App. approved.
Des. by Engon minute
dated 3/1/35
Granted by C.C. to Mr. P. H. Foster
dated 9/1/35
Agreement made 2/1/35 re BK.
on setting in line
on 7th section.

LEGEND

- Existing Drain
- New Foul Drain
- New Stormwater Drain

Owner Mr Mc Laddan

Street Grandview

Locality W. P. O.

Block In Grandview

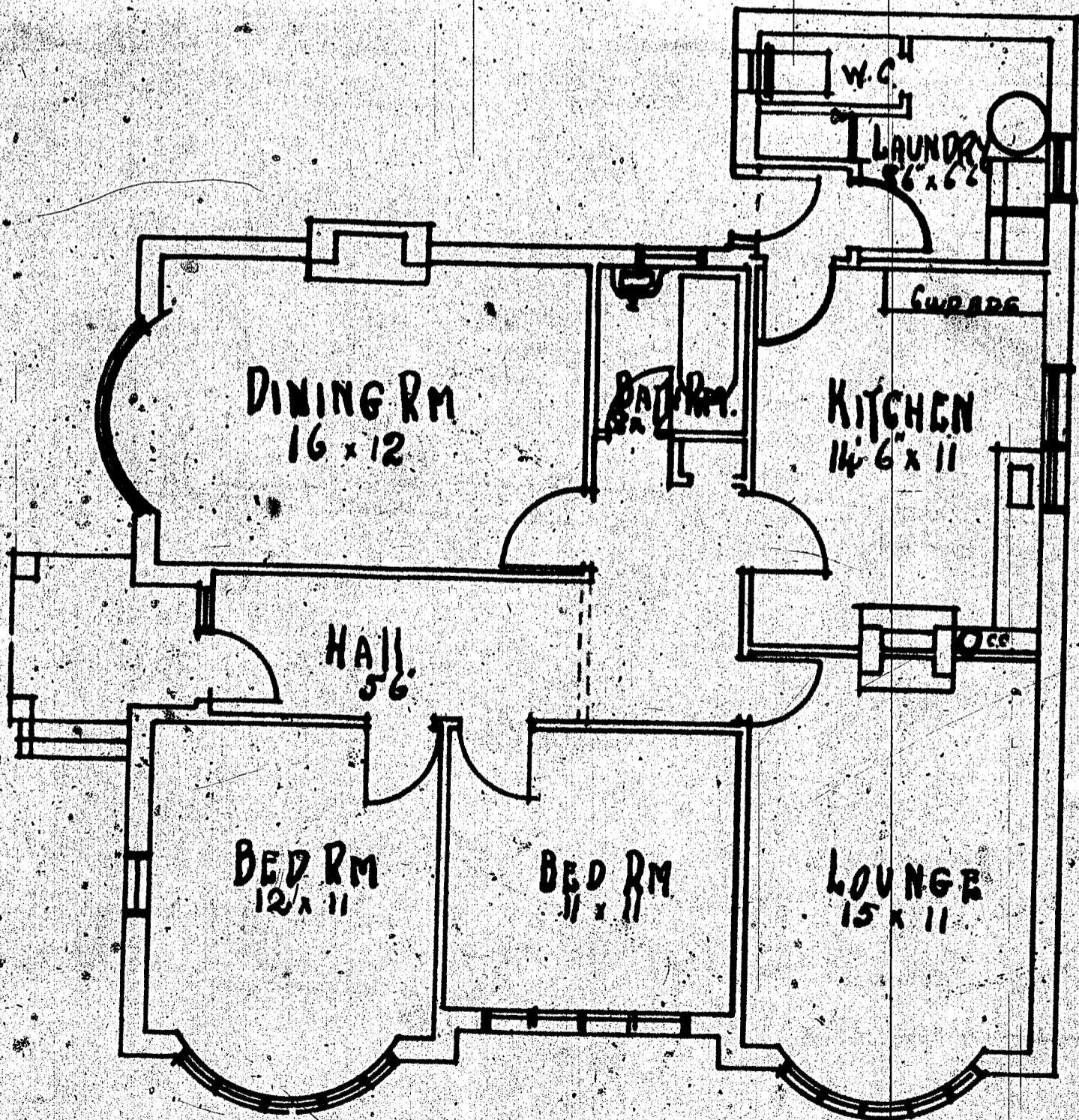
Section 52 53 54

Allotment

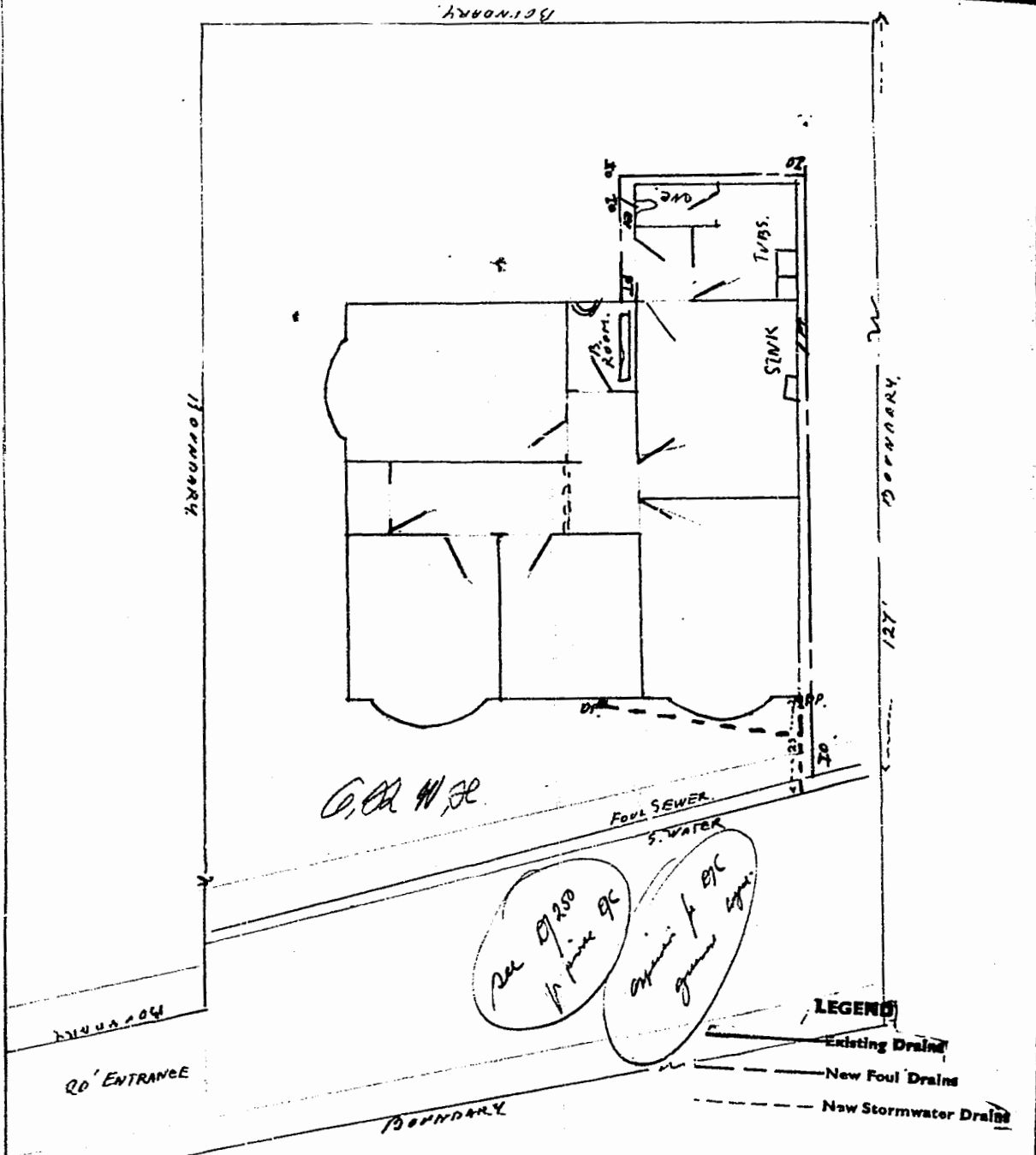
Signature of Drainer C. G. Mason

Not shown and 50.00
to finish 1/20 1/250
approx 1/20 1/250

2/11/31
Kraus



GRAND VIEW CREES. NO. 2.



LEGEND

- Existing Drains
- New Foul Drains
- New Stormwater Drains

Owner Mr. W. R. McHardy **Block** Grand View
Street _____ **Section** 53
Locality Ador **Allotment** _____
Signature of Drainer E. Angus Ferguson

DUNEDIN DRAINAGE & SEWERAGE BOARD

A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainer, respectively and shall comply fully with the Board's By-laws and the D. & P. Regs., 1959.

Stormwater to be discharged to Street Channel
 Foul sewage to be discharged to in adjoining
 Trade Waste

12/3/76
 H. Rowe

CITY ENGINEER'S OFFICE

Required level at Street Boundary Any entrance or fence shall be at a level of back of footway

and constructed to the same grade as the adjoining street.

Vehicle Crossing Fee/Deposit Exists

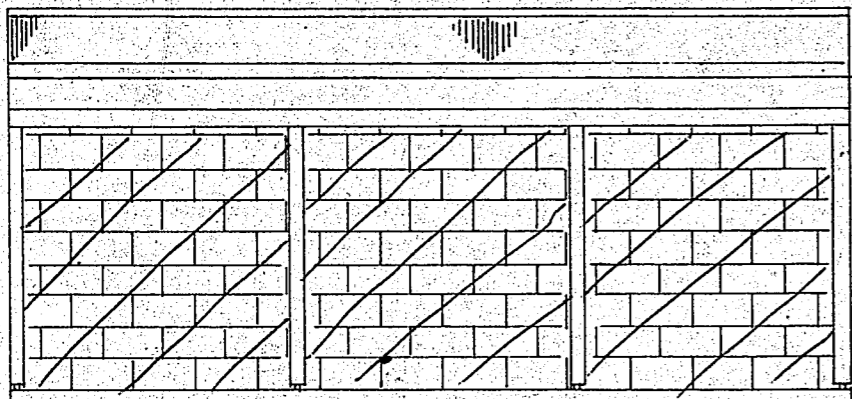
Special Conditions

For City Engineer Date 16.3.76

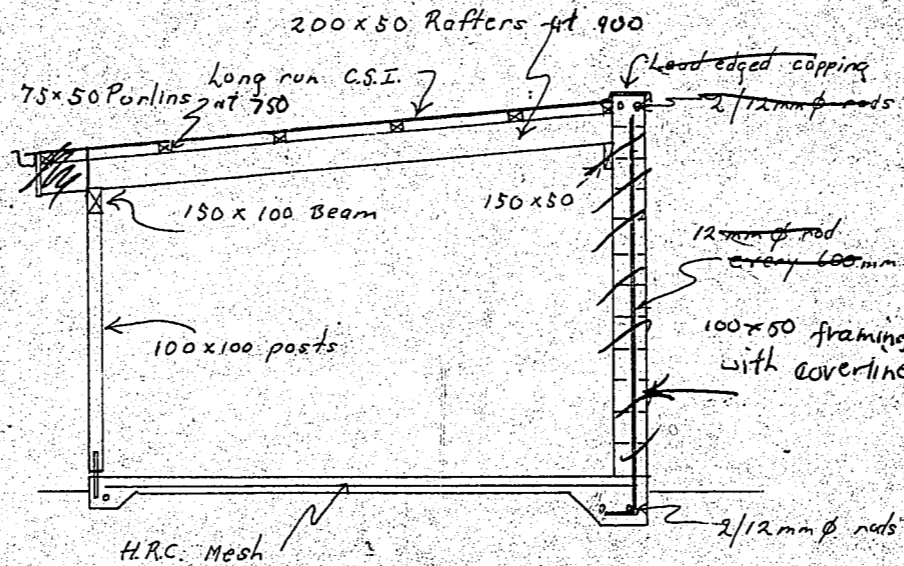
NOTE: This endorsement overrides any levels or instructions shown on the plan

CITY PLANNING DEPARTMENT
 Pursuant to the provisions of the Scheme, these plans and specifications are approved provided that no change shall be made to the work shown hereon, and subject to the specifications attached hereto.

Signed R. A. Scarlet 4/3/76
 for City Planning Officer

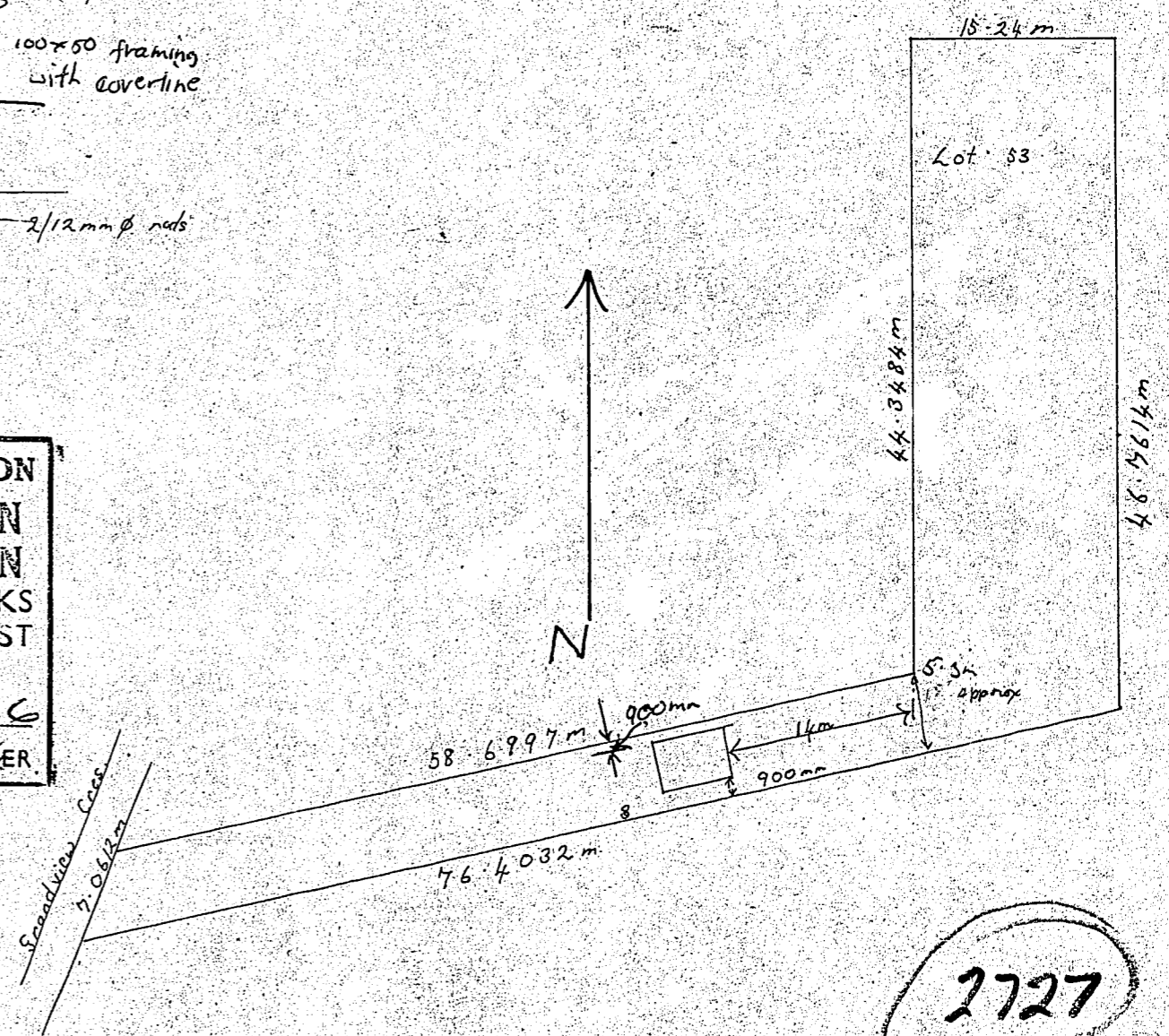
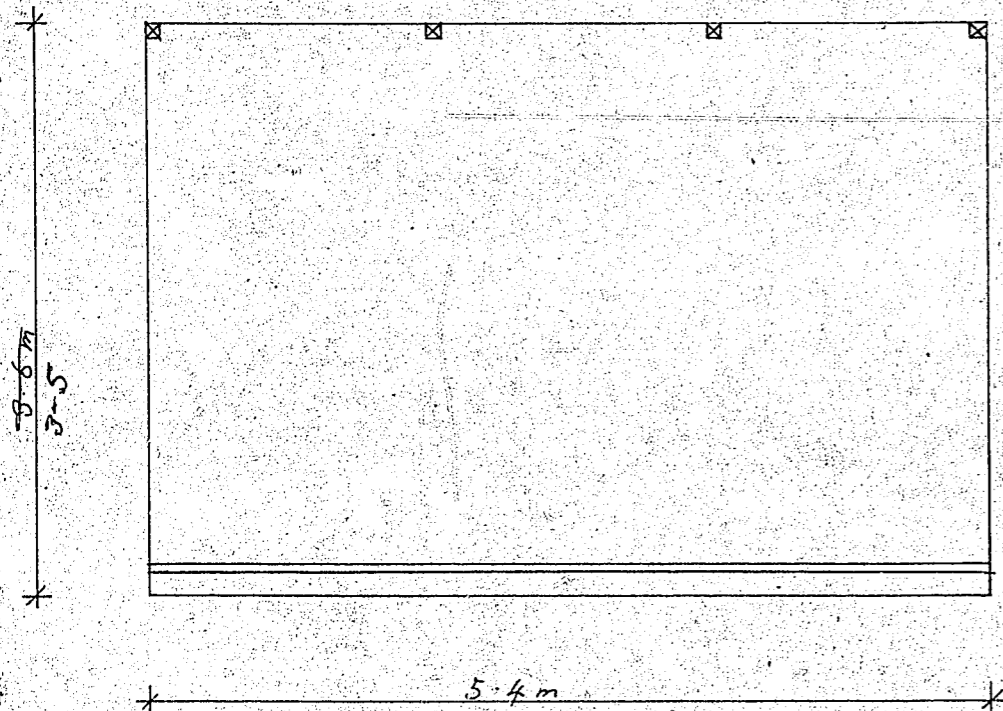


~~DELETE~~ BLOCK WORK
 NORTH ELEVATION



CROSS SECTION

DUNEDIN CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETAINED ON WORKS
 AND PRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 DATE 19.3.76
 CITY ENGINEER



2727

Scales 1:50 1:500

Drawn by R.A. Scarlet 23-2-76

PROPOSED CARPORT FOR MR & MRS N MUIVARNEY 32 GRANDVIEW TERRACE

CODE COMPLIANCE CERTIFICATE



Section 43(3), Building Act 1991

ISSUED BY: DUNEDIN CITY COUNCIL

50 THE OCTAGON, P.O. BOX 5045, DUNEDIN 9031, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	477-4000	CCC No:	ABA 981011	Reference No:	5012750
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
<p>Name and Mailing Address:</p> <p>NYHOFF, ANDREW 32 GRANDVIEW CRESCENT DUNEDIN 9001</p>	<p>All <input checked="" type="checkbox"/></p> <p>Stage Noof an intendedstages</p> <p>New Building <input type="checkbox"/></p> <p>Alteration <input checked="" type="checkbox"/></p>
LEGAL DESCRIPTION	<p>Intended Use(s) in detail:</p> <p>INSTALL HEATER - JAYLINE CLASSIC INBUILT</p> <p>Intended Life:</p> <p>Indefinite, not less than 50 years <input type="checkbox"/></p> <p>Specified as^S..... years</p> <p>Demolition <input type="checkbox"/></p>
<p>Property Number: 5012750 Valuation Roll No: 26770 13700</p> <p>Street Address: 32 GRANDVIEW CRESCENT, DUNEDIN 9001</p> <p>Legal Description: LOT 53 DP 3580</p>	

- This is:
- A final code compliance issued in respect of all of the building work under the above building consent.
 - An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
 - This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council: 

Name:.....

Position: AUTHORISED OFFICER

Date: 12/05/1998

BUILDING CONSENT



Section 35, Building Act 1991

ISSUED BY:

DUNEDIN CITY COUNCIL

50 THE OCTAGON, BOX 5045, DUNEDIN, NEW ZEALAND TELEPHONE (03) 477-4000 FACSIMILE (03) 474-3594

Telephone No:	477-4000	Consent No:	ABA 981011	Reference No:	5012750
---------------	----------	-------------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: NYHOFF, ANDREW	All <input checked="" type="checkbox"/>
Mailing Address: 32 GRANDVIEW CRESCENT, DUNEDIN 9001	Stage No of an intendedstages
PROJECT LOCATION	New Building <input type="checkbox"/>
Street Address: 32 GRANDVIEW CRESCENT, DUNEDIN 9001	Alteration <input checked="" type="checkbox"/>
LEGAL DESCRIPTION	Intended Use(s) in detail: INSTALL HEATER - JAYLINE CLASSIC INBUILT
Property Number: 5012750	Intended Life:
Valuation Roll No: 26770 13700	Indefinite, not less than 50 years <input type="checkbox"/>
Legal Description: LOT 53 DP 3580	Specified as <u>5</u> years <input type="checkbox"/>
COUNCIL CHARGES	Demolition <input type="checkbox"/>
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoices are:	Signed for and on behalf of the Council:
Total: \$	Name: <u>[Signature]</u>
ALL FEES ARE GST INCLUSIVE	Position: AUTHORISED OFFICER
	Date: 17/04/1998

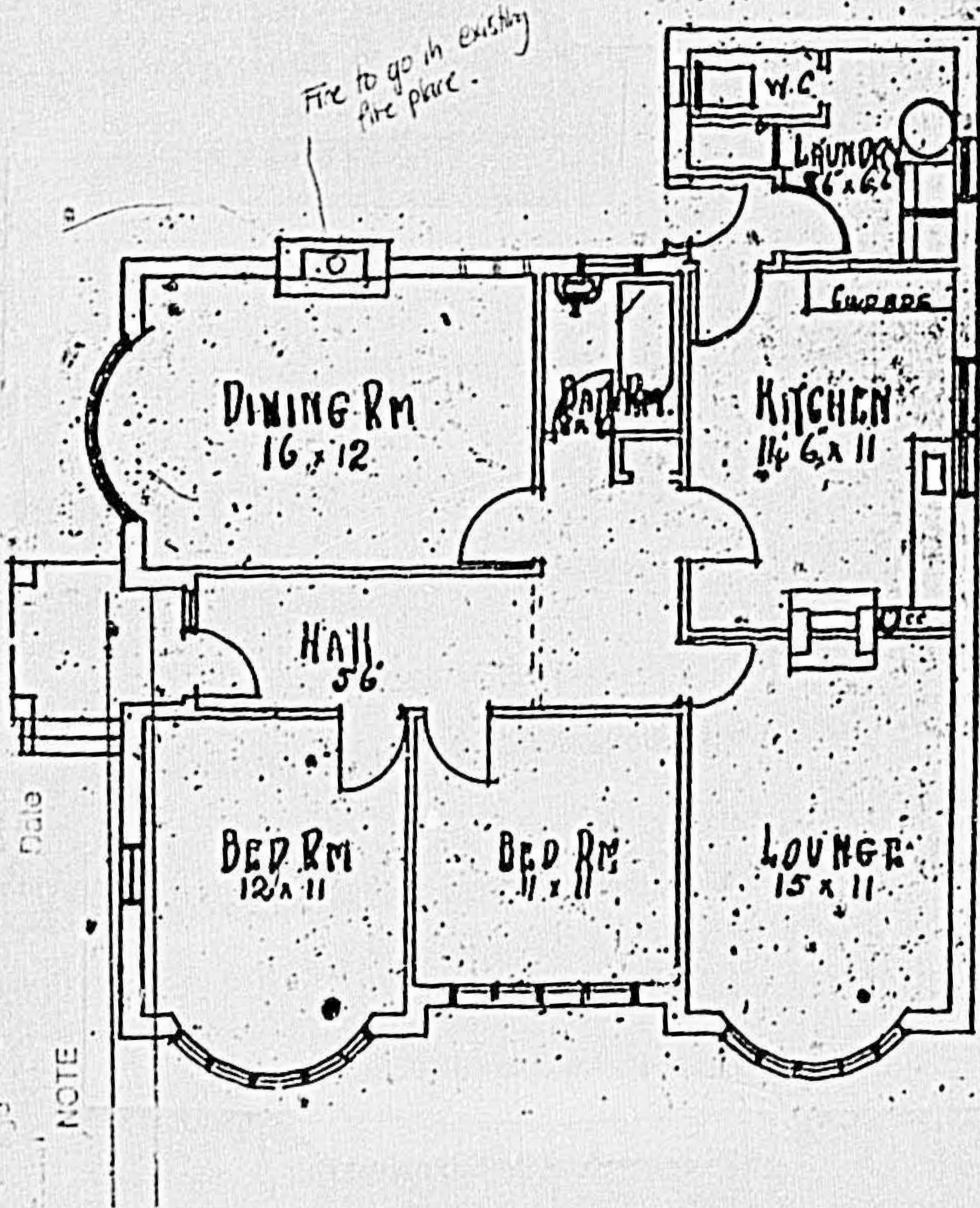
This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."

1. Draw a plan accurately locating the heater within the building and the adjacent walls, windows and doors.
2. Show the location of the existing water cylinder if a wetback/hot water booster is to be fitted.

Installation shall be in accordance with NZS 7421:1990, with particular reference to the need for Siesmic restraint.

ENVIRONMENTAL HEALTH CONDITIONS -
SOLID FUEL BURNER TO BE OPERATED
IN NUISANCE FREE MANNER
PLEASE CONTACT ENVIRONMENTAL HEALTH
SECTION Ph. 477-4000 FOR ADVICE ON
OWNER RESPONSIBILITIES



Plans and Specifications Approved in accordance
 with the New Zealand Building Code and Approved
 Documents. To be retained on works
 and produced on request
 17/6/98
 Paddy Hill

Date: _____
NOTE

Plan of proposed solid fuel heater at:	Project No: Approving Officer: <i>Paddy Hill</i> Date:
--	--

Code Compliance Certificate Form 7
Section 95, Building Act 2004

P H Foster
32 Grandview Crescent
Dunedin 9010

The building

Street address of building: 32 Grandview Crescent Dunedin

Legal description of land where building is located: LOT 53 DP 3580

Building name: N/A

Location of building within site/block number: N/A

Level/unit number: N/A

Current, lawfully established, use: Housing

Number of occupants: 2

Year first constructed: 1965

The owner

Name of owner: P H Foster

Contact person: P H Foster

Mailing address: 32 Grandview Crescent, Dunedin 9010

Street address/registered office:

Mobile: 021 431 531

Landline:

Email address: philli1710@gmail.com

First point of contact for communications with the building consent authority: As above

Building work

Building Consent Number: ABA-2024-672 Alter Dwelling - Alter Internal Layout to Relocate Kitchen and Bathroom, Form Pantry, Install Gas Hot Water System

This CCC also applies to the following amended consents: N/A

Issued by: Dunedin City Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that-

- (a) The building work complies with the building consent



Team Leader Inspections
On behalf of Dunedin City Council

Date: 30 April 2025

Building Consent - ABA-2024-672

(Section 51, Building Act 2004)

Form 5

The building

Street address of building: 32 Grandview Crescent Dunedin

Legal description of land where building is located: LOT 53 DP 3580

Building name: N/A

Location of building within site/block number: N/A

Level/unit number: N/A

Owner

Name of owner: P H Foster

Contact person: P H Foster

Mailing address: C/O Warnock Architecture Limited, 7 Hoylake Street, Outram 9019

Street address/registered office:

Mobile: 021 431 531

Landline:

Email address: philli1710@gmail.com

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Alter Dwelling - Alter Internal Layout to Relocate Kitchen and Bathroom, Form Pantry, Install Gas Hot Water System

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Agents authorised by the building consent authority for the purposes of the Building Act 2004 section 90(1) are entitled at all times during normal working hours or while building work is being done, to inspect land and buildings.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Record of required site inspections - Building Act 2004 section 90(2)

Project Information Memorandum PIM-2024-116

Certificate attached to Project Information Memorandum



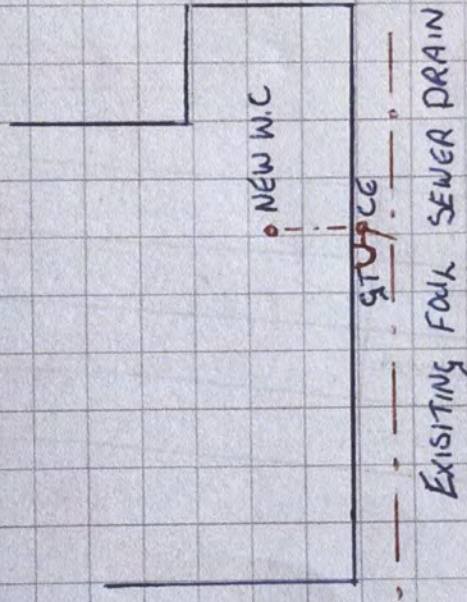
Team Leader Processing (Building Consents)

On behalf of Dunedin City Council

Date of issue: 7 June 2024

As Laid Drainage Plan

Please nominate:	Building Consent No: <u>2024-672</u>	Please show the following items:	7. G
<input type="checkbox"/> Underslab	Site Address: <u>32 Grandview Cr</u>	1. Site plan of section	8. T
<input checked="" type="checkbox"/> Foul	<u>Opeho, Dunedin</u>	2. Must include street or road names & North point	9. IF
<input type="checkbox"/> Stormwater	Plumber/Drainlayer: <u>P. Wright</u>	3. Drain measurements	10. F
<input type="checkbox"/> Effluent Disposal System	Registration No: <u>11917</u>	4. Foul water drains (red ink)	Scale c
		5. Septic tank and effluent lines (red ink)	(Plans
		6. Stormwater drain - including down pipe positions (blue ink)	

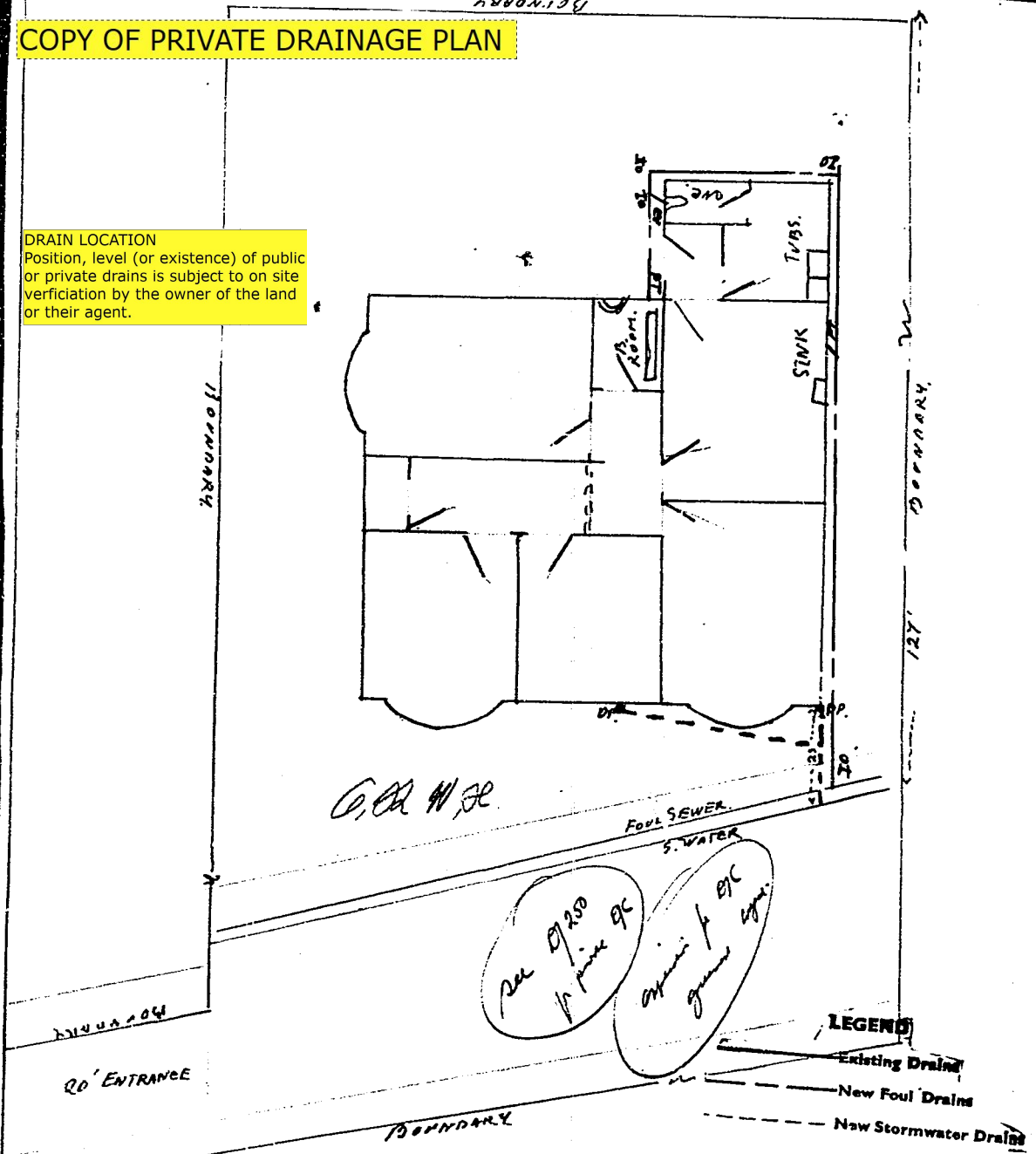


As Built Plan Approved | Dunedin City Council
Building Consent: ABA- 2024-672
Date: 26-11-2024

COPY OF PRIVATE DRAINAGE PLAN

DRAIN LOCATION

Position, level (or existence) of public or private drains is subject to on site verification by the owner of the land or their agent.



Owner Mr. W. R. McFadden.
 Street _____
 Locality Clapham

Block Grand View
 Section 53
 Allotment _____

Signature of Drainer C. Angus Ferguson

LEGEND:

Existing walls

New walls

New 2/90x45 SG8 studs - Confirm studs are within 200mm of bearer or pile (C.O.S) - if not allow to install new 125x125 H5 pile to good ground with 275x275x300mm min deep 20mPa concrete footings under double studs

Existing timber decking

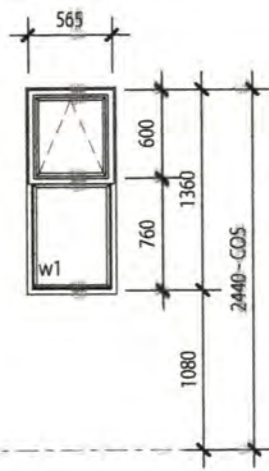
Existing timber flooring

New selected tiles

Notes:

- All timber windows to be double glazed and have a min R value of 0.36.
- All windows are as viewed from the exterior.
- All door & window overall dimensions are to the trimmed opening dimension unless stated otherwise.
- Ensure an undercut by 20mm for the pantry or bathroom when only mechanical extract is present.
- Supply and install all necessary hardware. Door hardware height shall be 1000mm above floor level unless stated otherwise.
- Timber joiner must site measure all trim openings prior to fabrication.
- Supply all fixings, flashing angles & sealants as detailed and as necessary to waterproof the installation.

Confirm all door sizes and styles with client prior to construction



w1
1:50

Proposed Door Schedule

Door	Width	Height	Comments
D1	810	1980	Hinged door with latchset and door stop with privacy lock
D2	820	1980	Framed opening

TIMBER LINTEL TABLE

No.	Span(mm)	Lintel Size	Sill Trimmer Size	Trimmer Stud Size	Fixing Type
w1	565	2/90x45 SG8	90x45 SG8	2/90x45 SG8	G
D1	810	2/90x45 SG8	-	2/90x45 SG8	G

For Lintel Fixing Type definition refer to Lintel Fixing Chart

Revision Schedule

Ref.	Date	Description
A	18.04.24	For Consent

NOTE:

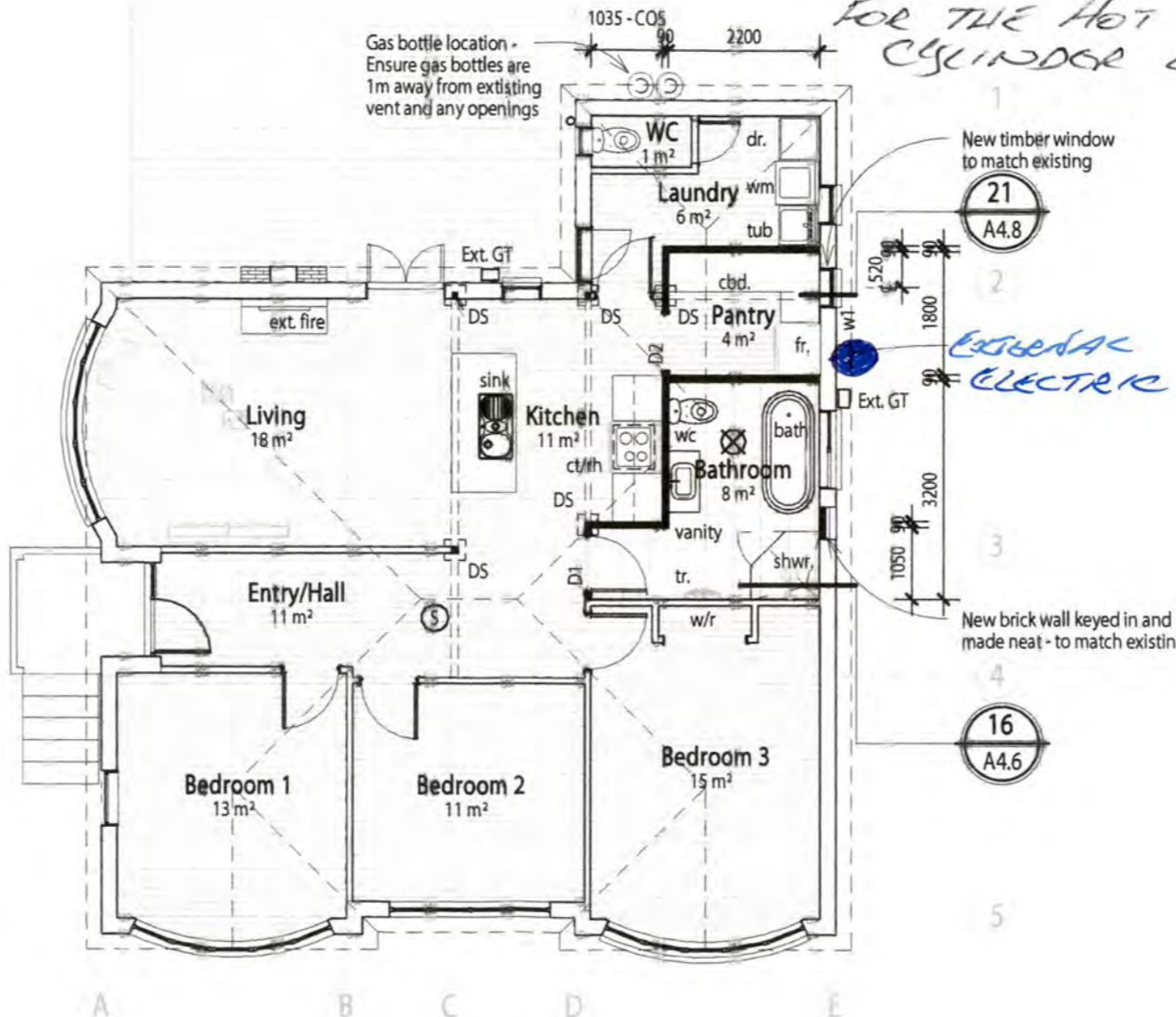
- Confirm all lintel sizes and load bearing wall positions before construction.
- All timber to be SG 8 unless specified otherwise.
- Proprietary shower screens, formed to shape with 8mm Tempafoam, complete with matching hardware.
- Food preparation surfaces shall be easily maintained in a hygienic condition. Stainless steel, decorative high pressure laminate, and tiles are examples of suitable materials for these surfaces.
- Provide a minimum illuminance of 20 lux at floor level to all access routes.
- Bathroom & Ensuite to be painted with enamel paint and fitted with plaster box sealed light fittings to minimise moisture entering roof space.
- Internal non-loadbearing wall - 90x45 SG8 studs at 600crs with dwangs at 800crs max. Max 2.7m High
- Internal loadbearing wall - 90x45 SG8 studs at 600crs with dwangs at 800crs max. Max 2.7m High
- Allow to install R2.8 wall insulation batts if none is present. Allow to pocket insulation with stapled wall building wrap if none is present.
- Ensure cook top extractor has a minimum of 50 l/s extract position representative only - position to be confirmed on site.
- Smoke detectors as per AS 3786, battery powered with hush facility of 60 sec min.
- Extractor fan activated off light switch 25 l/s min extract with run on timer - position representative only - position to be confirmed on site.

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

As Built Plan Approved | Dunedin City Council

ABA-2024-672
Date: 26-3-2025

AS BUILT FLOOR PLAN FOR THE HOT WATER CYLINDER LOCATION



Proposed Floor Plan

1:100

Cylinders shall not be supported by other cylinders. Cylinders shall be installed on supporting bases that are firm, level, of non-combustible material, and with a finished surface that prevents ponding of water and at least 50mm above the surrounding surface. Soil is not considered an acceptable supporting base. All cylinders to be securely held in place by galvanized chains and anchor brackets. The brackets shall be fastened to a wall or similar robust anchorage. Fixings shall be galvanized or stainless steel.

Warnock
Architecture Ltd

JOB TITLE
Proposed Alterations for P. Foster at

32 Grandview Crescent

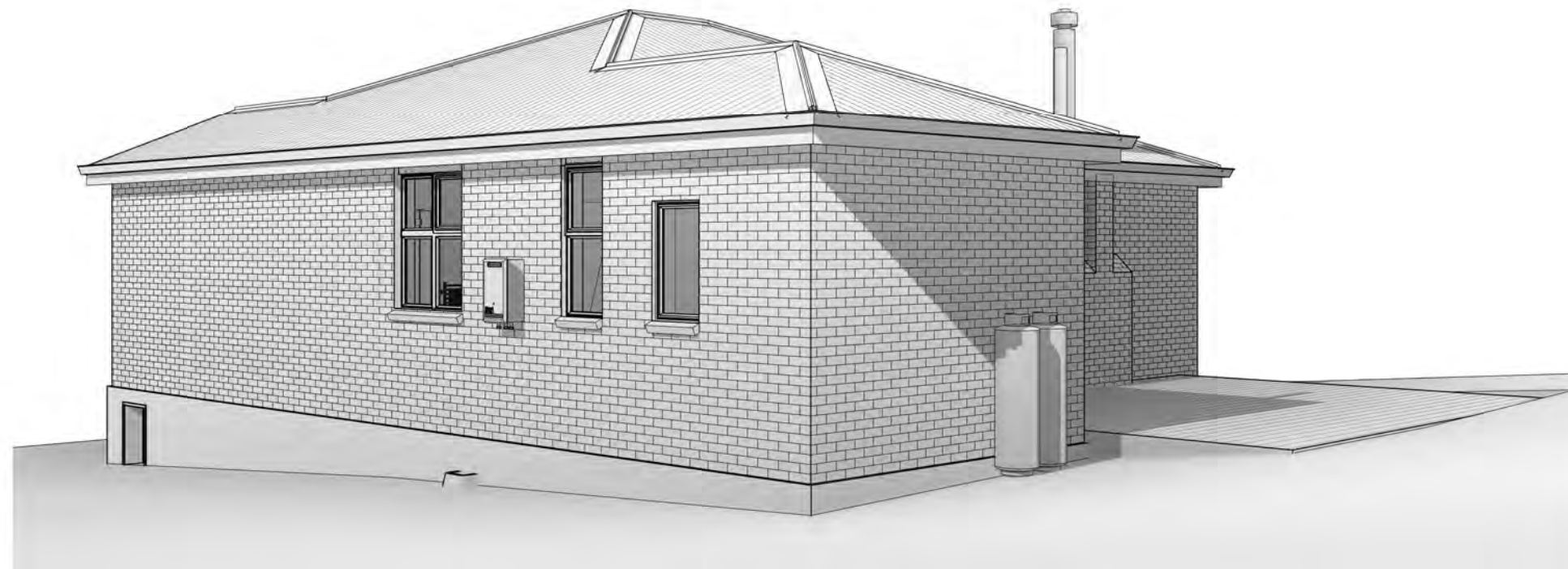
SHEET TITLE
Proposed Floor Plan

DATE	SCALE	JOB No.	SHEET No.
Apr'24	As indicated	2449	A2.1
DRAWN JH	CHECKED RJW	REVISION A	

For Consent



Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent
B	27.05.24	Revision B



Partial Service

As you have limited our commission to the preparation of sketch plans, and documentation for Building Consent purposes only, we will not be liable to you (in contract tort or otherwise) for any claim, damage, liability, loss or expense incurred by you arising from construction activities, contract administration, or work undertaken which is at variance with our directions or documentation.

In addition, you will indemnify us against claims from others which may arise from this limited architectural service requested by you. Our documentation is prepared on the understanding that the work will be carried out by competent and experienced tradespersons in accordance with the Building Codes and accepted industry practices, and thereafter is appropriately maintained.

If we are required to clarify documentation or attend the site for specific purposes, this shall not be construed as construction observation nor as our acceptance of a wider role in the project. If difficulties do arise which may possibly affect us, you have a duty to consult us as soon as practicable so that matters can be resolved with the least inconvenience and at minimum cost.

Drawing List			
Sheet	Sheet Name	Revision	Date
A0.0	Contents	B	27.05.24
A1.0	Existing Site Plan	A	18.04.24
A2.0	Existing Floor Plan	A	18.04.24
A2.1	Proposed Floor Plan	B	27.05.24
A2.2	Proposed Drainage Plan	A	18.04.24
A2.3	Proposed Roof Framing Plan	A	18.04.24
A2.4	Proposed Bracing Plan	A	18.04.24
A3.0	Existing Elevations	A	18.04.24
A3.1	Proposed Elevations	B	27.05.24
A4.0	Proposed Details	A	18.04.24
A4.1	Proposed Details	A	18.04.24
A4.2	Proposed Details	A	18.04.24

Drawing List			
Sheet	Sheet Name	Revision	Date
A4.3	Proposed Details	A	18.04.24
A4.4	Proposed Details	A	18.04.24
A4.5	Proposed Details	A	18.04.24
A4.6	Proposed Details	A	18.04.24
A4.7	Proposed Details	A	18.04.24
A4.8	Proposed Details	A	18.04.24
A5.0	Bracing Details	A	18.04.24
A5.1	Bracing Details	A	18.04.24
A5.2	Bracing Details	A	18.04.24
A5.3	Bracing Details	A	18.04.24
A6.0	Fixing Details	A	18.04.24
A6.1	Durability Charts	A	18.04.24

Critical Details List	
Detail View Name	Sheet
* Beam/Strut Connection Details	
* Proposed SB3 Fixing Detail	A4.2
* Proposed SB2 Fixing Detail	A4.1
* Proposed SB1 Fixing Detail	A4.0
* Proposed HB1 Fixing Detail	A4.0

For Consent

JOB TITLE		SHEET TITLE		DATE		SCALE		JOB No.		SHEET No.	
Proposed Alterations for P. Foster at 32 Grandview Crescent		Contents		Apr24				2449		A0.0	
DRAWN		CHECKED		REVISION							
JH		RJW		B							



The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

Legal Description

32 Grandview Crescent
Dunedin
LOT 53
DP 3580
Valuation number - 26770-13700
Property number - 5012750

Site Coverage

Site Area = 1 414m²
Existing building site coverage (Footprint Area over foundation)
Existing Residence = 105m² - 7.4%
Existing Carport = 80m² - 5.6%

Zoning

Wind = Extra High
Elevation = 162m
Snow = 0.9kPa
Earthquake = Zone 1
Corrosion = Zone C
Zone = General Residential 1
Climate = Zone 5
Rainfall Intensity = 30-40mm
Liquefaction = Domain A
Classification = Detached Dwelling

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



JOB TITLE
Proposed Alterations for
P. Foster at

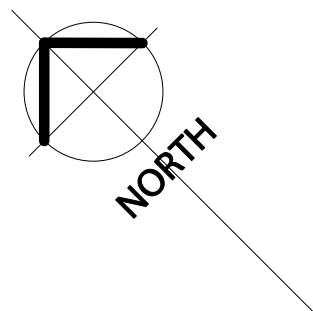
32 Grandview Crescent

SHEET TITLE
Existing Site Plan

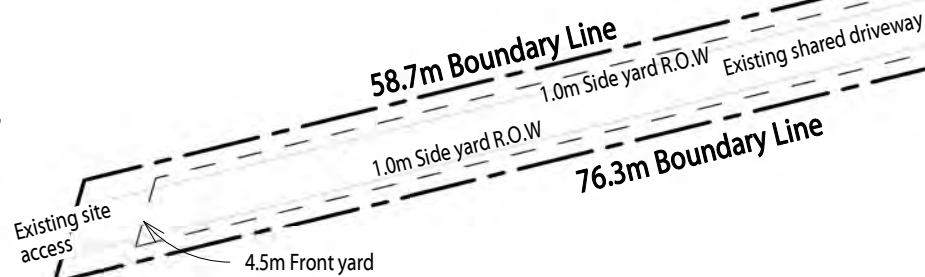
DATE	SCALE	JOB No.	SHEET No.
Apr'24	1 : 500	2449	A1.0
DRAWN JH	CHECKED RJW	REVISION A	

For Consent

NOTE:
1. The site has not been tested by Warnock Architecture Ltd and it is assumed the ground min ultimate bearing capacity of 300 kPa. If unsure allow to engage an engineer to inspect soil bearing before construction. If bearing is not to NZS 3604, 3.1.2 Foundations and 3.1.3 Determination of good ground, allow to contact structural engineer for further detailing.
2. The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings.



GRANDVIEW CRESCENT
7.1m Boundary Line



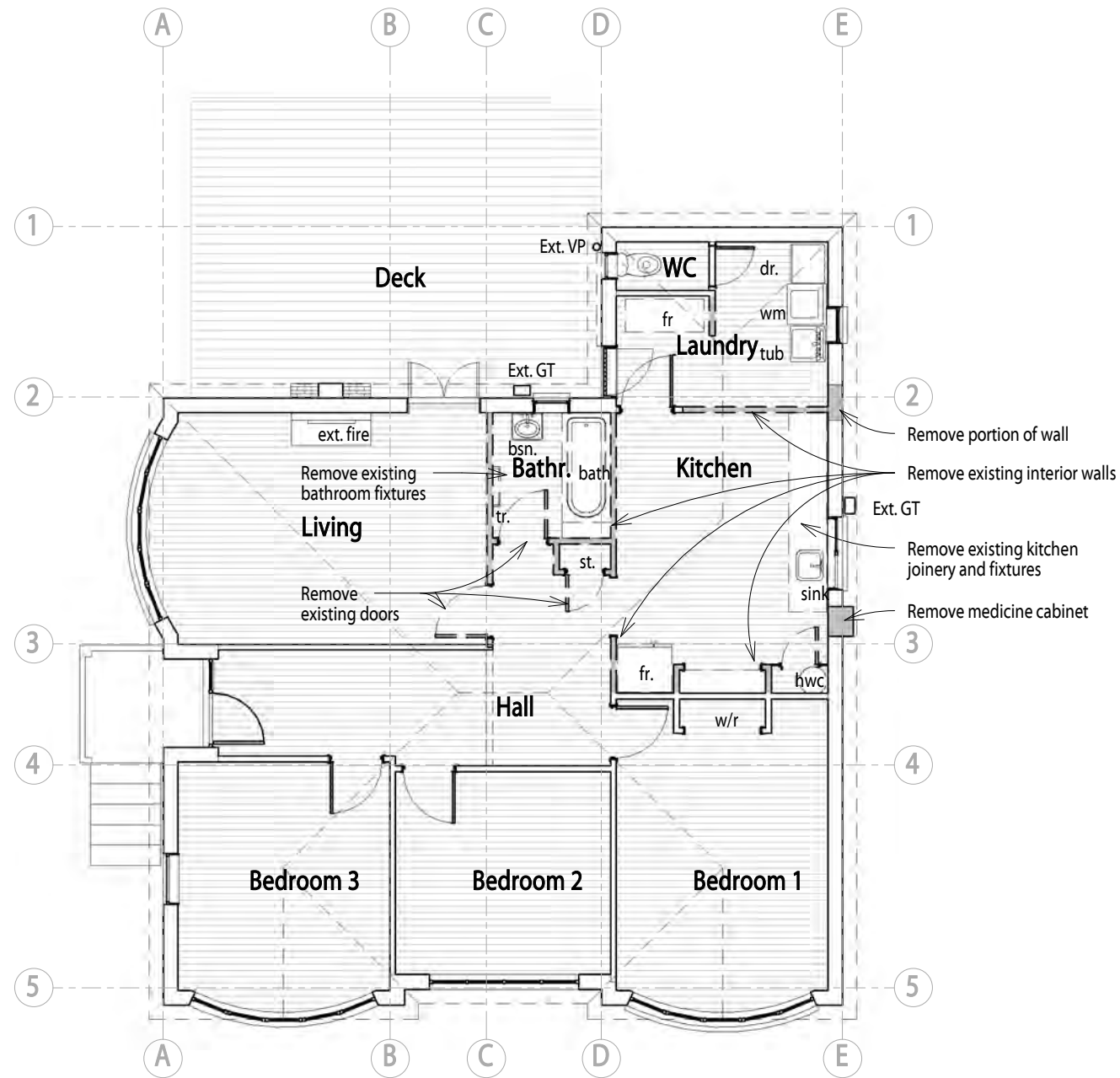
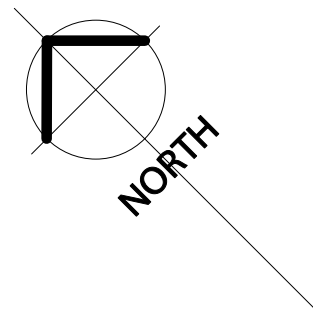
Existing Site Plan

1 : 500



Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

200 mm
100
50
10mm



Existing Floor Plan

1 : 100

LEGEND:

	To be removed
	Existing walls
	Existing timber decking
	Existing timber flooring

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



JOB TITLE
Proposed Alterations for P. Foster at

32 Grandview Crescent

SHEET TITLE
Existing Floor Plan

DATE Apr'24	SCALE 1 : 100	JOB No. 2449	SHEET No. A2.0
DRAWN JH	CHECKED RJW	REVISION A	

For Consent



TIMBER LINTEL TABLE					
No.	Span(mm)	Lintel Size	Sill Trimmer Size	Trimmer Stud Size	Fixing Type
w1	565	2/90x45 SG8	90x45 SG8	2/90x45 SG8	G
D1	810	2/90x45 SG8	-	2/90x45 SG8	G

For Lintel Fixing Type definition refer to Lintel Fixing Chart

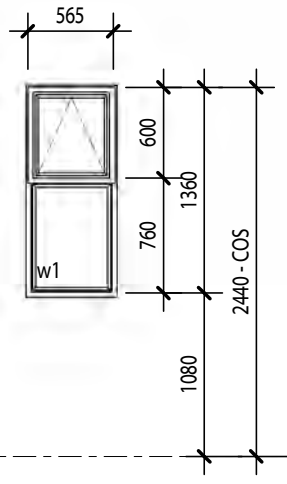
Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent
B	27.05.24	Safety glazing note add

LEGEND:

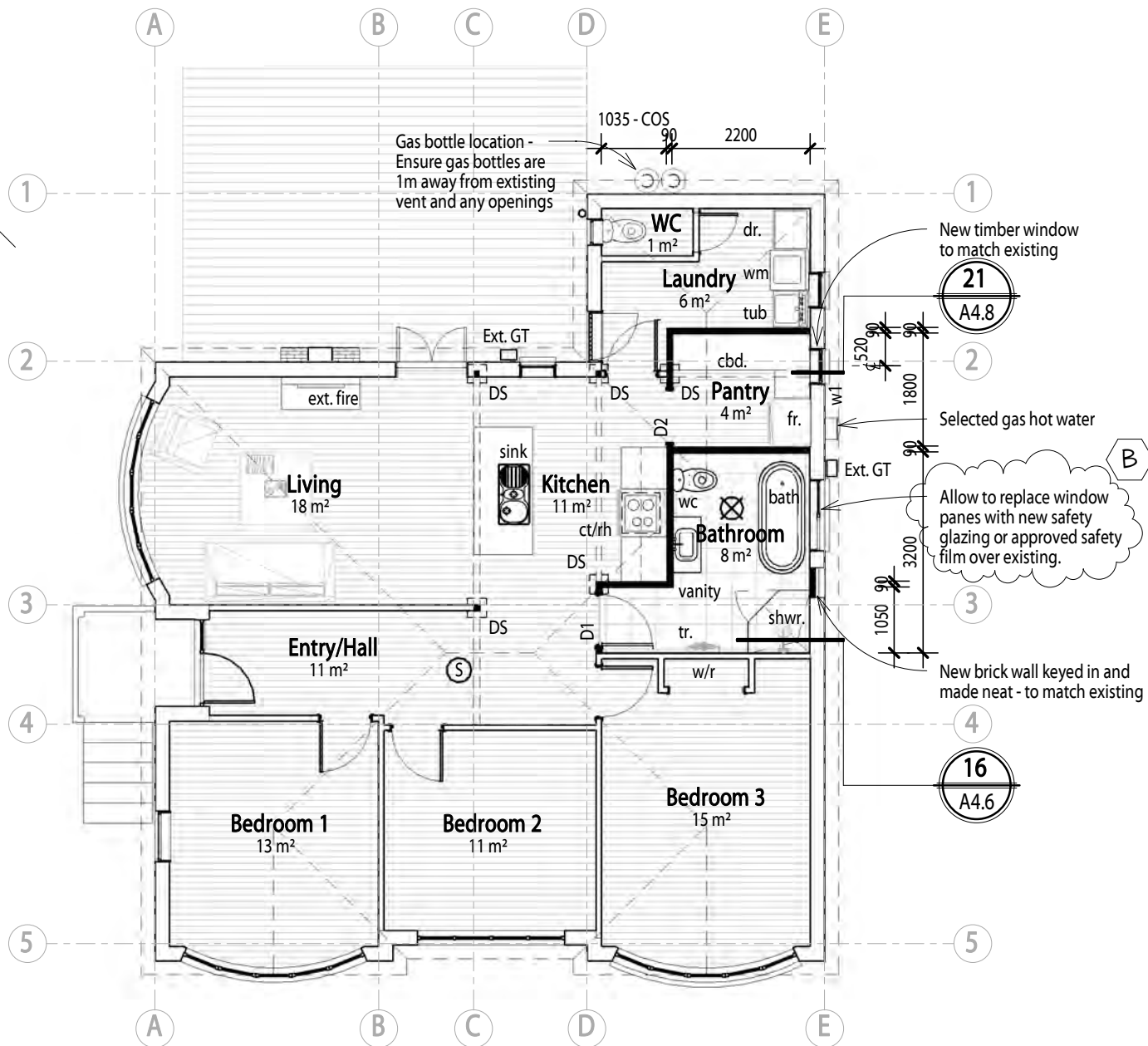
- Existing walls
- New walls
- New 2/90x45 SG8 studs - Confirm studs are within 200mm of bearer or pile (C.O.S) - if not allow to install new 125x125 H5 pile to good ground with 275x275x300mm min deep 20mPa concrete footings under double studs
- Existing timber decking
- Existing timber flooring
- New selected tiles

- Notes:**
- All timber windows to be double glazed and have a min R value of 0.36.
 - All windows are as viewed from the exterior.
 - All door & window overall dimensions are to the trimmed opening dimension unless stated otherwise
 - Ensure an undercut by 20mm for the pantry or bathroom when only mechanical extract is present
 - Supply and install all necessary hardware. Door hardware height shall be 1000mm above floor level unless stated otherwise.
 - Timber joiner must site measure all trim openings prior to fabrication.
 - Supply all fixings, flashing angles & sealants as detailed and as necessary to waterproof the installation.

Confirm all door sizes and styles with client prior to construction



w1
1:50



Proposed Floor Plan
1:100

DOMESTIC SMOKE ALARM
Smoke alarms complying with the NZBC clause F7 are required in this building.

Note, Council has not reviewed and makes no statement as to whether any other building work (other than those for which this consent is granted) either existing or proposed, referred to or shown on the application, plan, diagram or specification, comply with the NZ Building Code or has been legally established.

- NOTE:**
- Confirm all lintel sizes and load bearing wall positions before construction.
 - All timber to be SG 8 unless specified otherwise.
 - Proprietary shower screens, formed to shape with 8mm Tempafoat, complete with matching hardware.
 - Food preparation surfaces shall be easily maintained in a hygienic condition. Stainless steel, decorative high pressure laminate, and tiles are examples of suitable materials for these surfaces.
 - Provide a minimum illuminance of 20 lux at floor level to all access routes.
 - Bathroom & Ensuite to be painted with enamel paint and fitted with plaster box sealed light fittings to minimise moisture entering roof space
 - Internal non-loadbearing wall - 90x45 SG8 studs at 600crs with dwangs at 800crs max. Max 2.7m High
 - Internal loadbearing wall - 90x45 SG8 studs at 600crs with dwangs at 800crs max. Max 2.7m High
 - Allow to install R2.8 wall insulation batts if none is present. Allow to pocket insulation with stapled wall building wrap if none is present
- ct/rh Ensure cook top extractor has a minimum of 50 l/s extract position representative only - position to be confirmed on site
- Ⓢ Smoke detectors as per AS 3786, battery powered with hush facility of 60 sec min.
- ⊗ Extractor fan activated off light switch 25 l/s min extract with run on timer - position representative only - position to be confirmed on site

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JOB TITLE
Proposed Alterations for P. Foster at

32 Grandview Crescent

SHEET TITLE
Proposed Floor Plan

DATE	SCALE	JOB No.	SHEET No.
Apr'24	As indicated	2449	A2.1
DRAWN	CHECKED	REVISION	
JH	RJW	B	

For Consent



Cylinders shall not be supported by other cylinders. Cylinders shall be installed on supporting bases that are firm, level, of non-combustible material, and with a finished surface that prevents ponding of water and at least 50mm above the surrounding surface. Soil is not considered an acceptable supporting base. All cylinders to be securely held in place by galvanized chains and anchor brackets. The brackets shall be fastened to a wall or similar robust anchorage. Fixings shall be galvanized or stainless steel.

Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

Ensure maximum hot water pipe length to kitchen sink complies with table below

Nominal Pipe Size (mm)	10	15	20
Length (m)	25	12	7

FIXTURE DISCHARGE UNITS		
LOCATION	FITTING	FDU's
Kitchen	Sink	3
	Dishwasher	3
Laundry	Ext. Tub	5
	WC	-
Bathroom	Shower	-
	Vanity	-
	Bath	-
	combined in one compartment	6
Seperate WC	Ext. WC	4
TOTAL		21

All new sewers, sanitary and stormwater drainage and other non-pressure installations shall be tested using the Hydrostatic test method as below:

The pipeline shall be filled with water to a height of not less than 1 m above the natural ground level at the highest point of the section being tested, or to the flood level of the lowest sanitary fixture, but not exceeding 5 m at the lowest point of the test section. The pressure shall be maintained without leakage for at least 15 minutes. The source of any leak shall then be ascertained and any defects repaired. The pipeline shall then be retested.

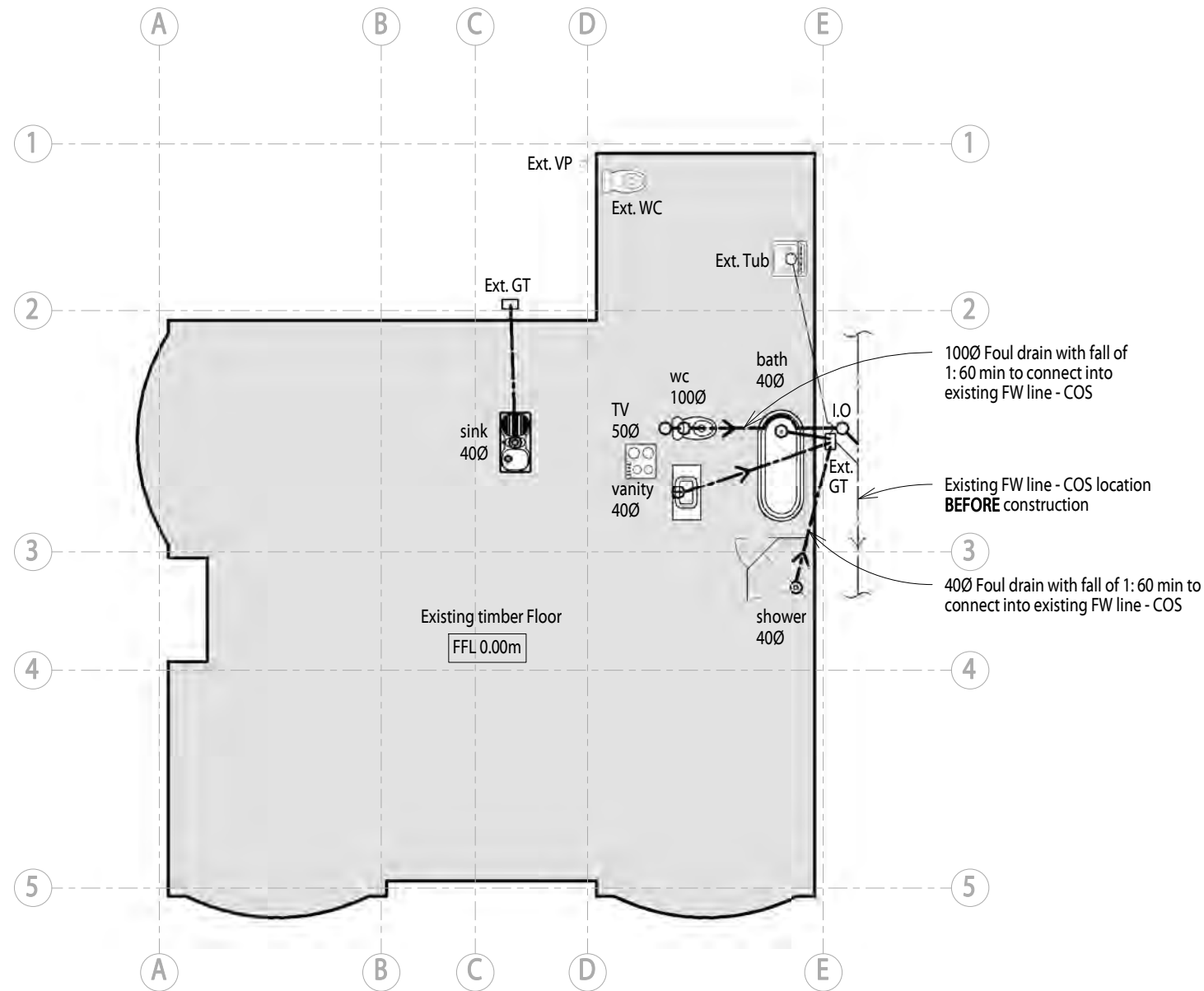
NOTE: Testing should not be carried out if groundwater is present above the pipeline. If groundwater is present, the test pressure should be increased to compensate for the depth of groundwater at a rate of 10 kPa for every 1 m of groundwater depth.

BUTELINE POLYBUTYLENE PIPE WORK

Branch off take: PB 18 (13mm nominal internal bore)
 Branch main: PB 22 (18mm nominal internal bore)
 Main: PB 28 (23mm nominal internal bore)
 Pipes to shower: PB 22 (18mm nominal internal bore)
 Insulation: for hot and cold water line

Water pipes installation to comply with NZBC G12/AS1
 The water supply system shall be tested to a pressure of 1500 kPa for 15 minutes.

Hot & cold water pipes; connected to existing with 15Ø branches Copper water pipes to comply with NZS 3501
 Polybutylene to comply with AS/NZS 2642 parts 1, 2 & 3.
 All water pipes outside the insulation envelope and around the water heater to be lagged.



Proposed Drainage Plan

1 : 100

Waste pipe & trap diameters
 Vanity Ø40mm
 Sink Ø40mm
 Tub Ø40mm
 Shower Ø40mm
 Bath Ø40mm
 Toilet Ø100mm
 All pipework to be uPVC to AS/NZS 1260
 Installation of PVC pipe systems to AS/NZS 2032

- NOTE:**
- Contractor to confirm positions of all loadbearing walls before construction
 - The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings.
 - Drainage to G13/AS2
 - Bench tops and fittings to be proprietary fittings purchased from reputable suppliers
 - 65Ø drains to have 1:40 gradient
 - 100Ø drains to have 1:60 gradient
 - 40Ø drains to have gradient of 1:40 if no more than 4 discharge units, gradient of 1:30 if no more than 5 discharge units, and a gradient of 1:20 if no more than 6 discharge units

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



JOB TITLE
Proposed Alterations for P. Foster at

32 Grandview Crescent

SHEET TITLE
Proposed Drainage Plan

DATE	SCALE	JOB No.	SHEET No.
Apr'24	1 : 100	2449	A2.2
DRAWN JH	CHECKED RJW	REVISION A	

For Consent

200 mm
100
50
10mm



Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

Legend

- Ext. CR - Existing ceiling runner
- Existing Load bearing walls
- DS - New double studs below - Confirm studs are within 200mm of bearer or pile (C.O.S) - if not allow to install new 125x125 H5 pile with 275x275x300mm min deep 20mPa concrete footings under double studs
- Existing ceiling joist direction. Fixed with joist hanger to suit size and 2/90x3.15 skew nails when rested on top of beam - confirm on site during construction
- ST - Existing struts. Fixed with pair of ceiling ties with 4/30x3.15 nails each end into strut (top and bottom) - confirm exact location of strut on site during construction

- NOTE:**
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 - Contractor to confirm positions of all loadbearing walls before construction
 - The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings.
 - All timber to be SG 8 unless specified otherwise.

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



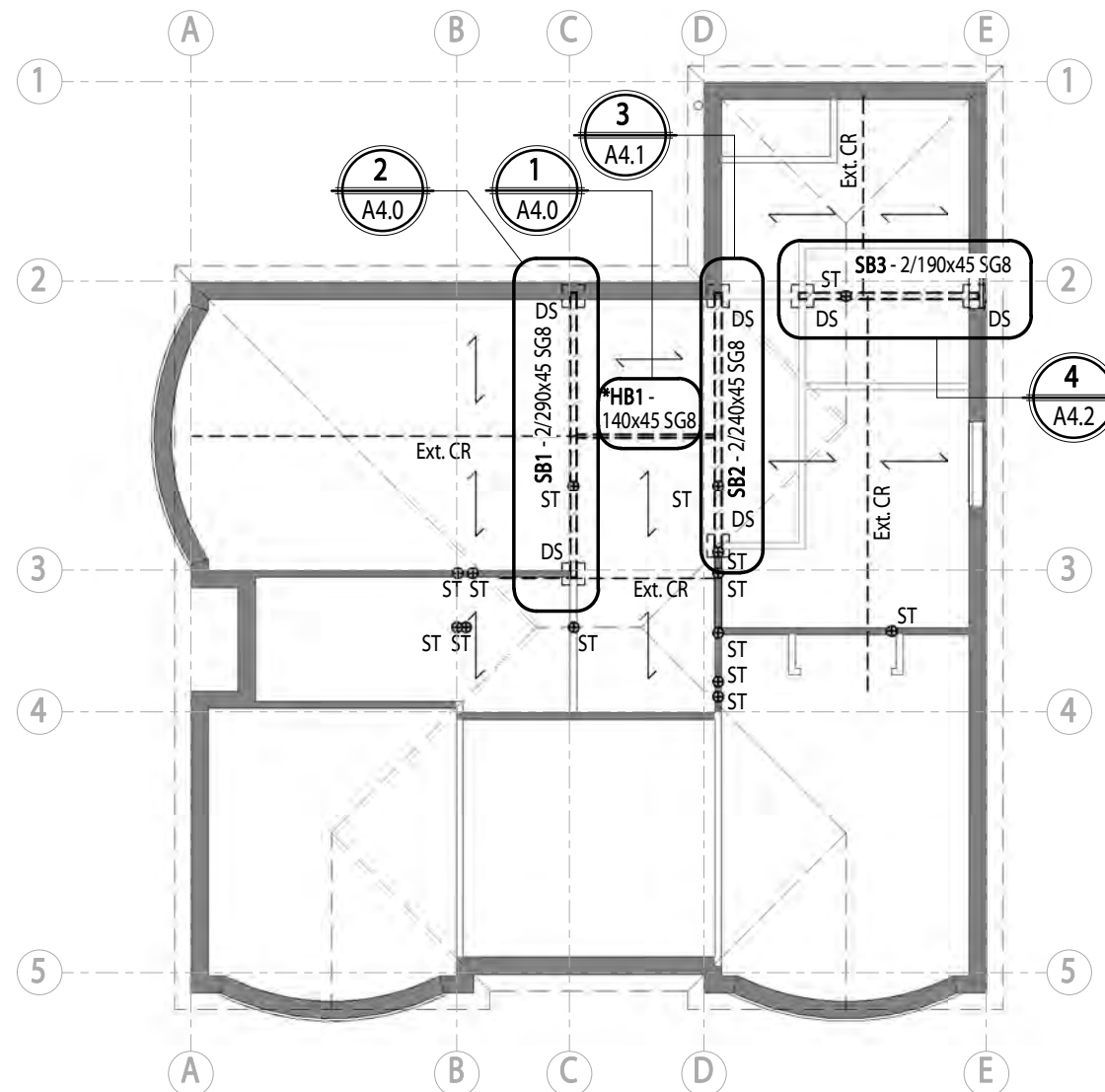
JOB TITLE
Proposed Alterations for P. Foster at

32 Grandview Crescent

SHEET TITLE
Proposed Roof Framing Plan

DATE Apr'24	SCALE 1 : 100	JOB No. 2449	SHEET No. A2.3
DRAWN JH	CHECKED RJW	REVISION A	

For Consent

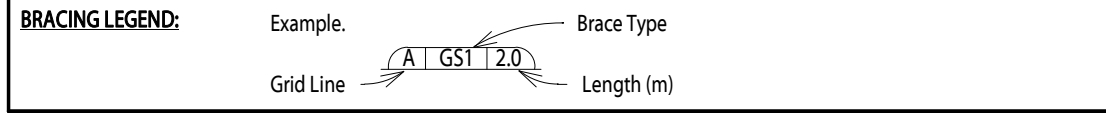


Proposed Roof Framing Plan

1:100

200 mm
100
50
10mm

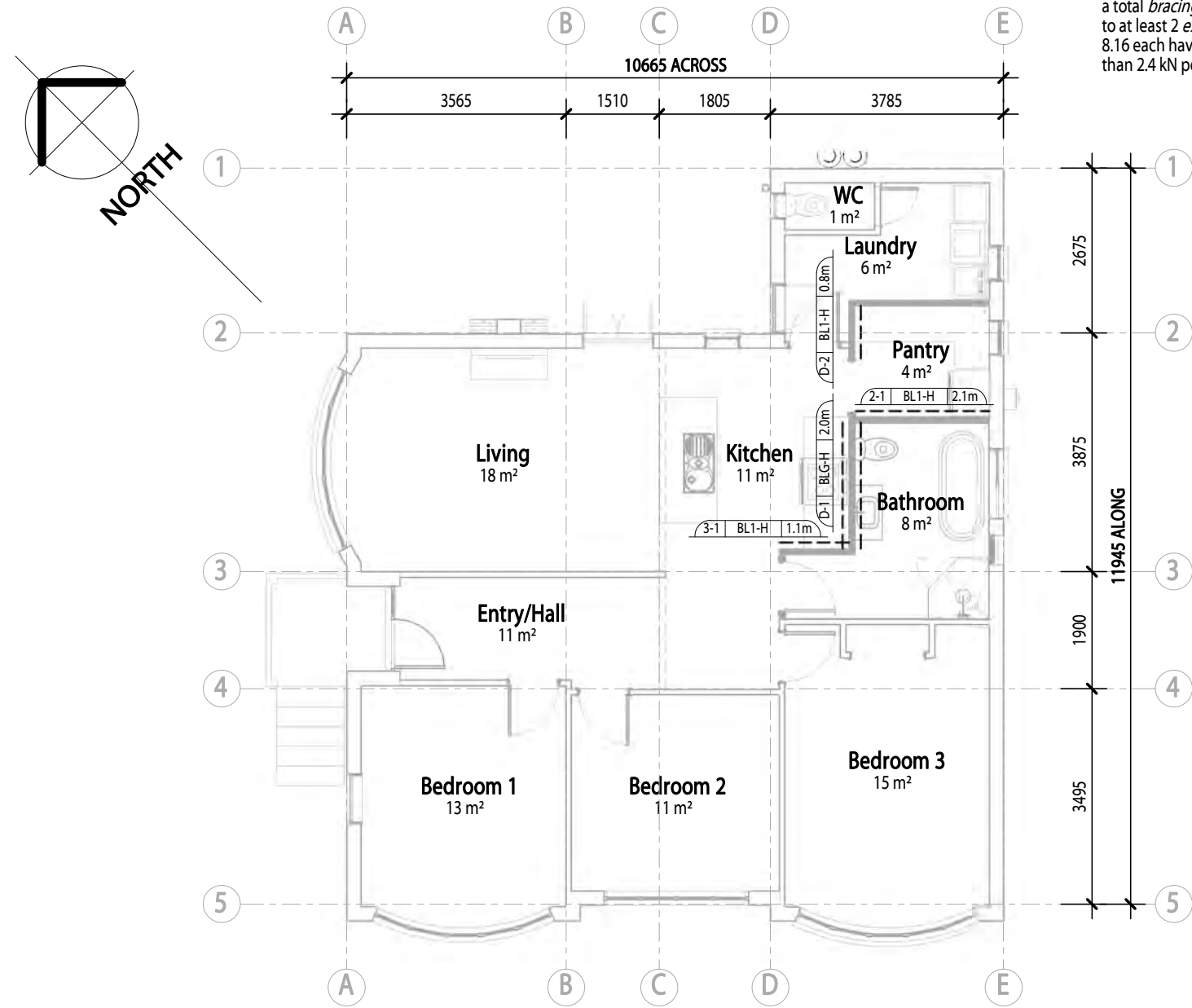




Ensure to read full bracing manufacturer product information before starting construction

Note for kN details:
Each wall that contains one or more wall bracing elements shall be connected at the top plate level, either directly, or through a framing member in the line of the wall, to external walls at right angles to it. Top plate fixing(s) of the capacity in tension or compression along the line of the wall bracing element are given as follows:
(a) For each wall containing wall bracing elements with a total bracing capacity of not more than 125 bracing units: to at least one such external wall by a fixing of 6 kN capacity;
(b) For each wall containing wall bracing elements with a total bracing capacity of not more than 250 bracing units: to at least 2 external walls by fixings of 6 kN capacity;
(c) For each wall containing wall bracing elements with a total bracing capacity of more than 250 bracing units: to at least 2 external walls by fixings as shown in figure 8.16 each having a rating of not less than 2.4 kN per 100 bracing units.

200 mm
100
50
10mm



Proposed Bracing Plan

1:100

Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

PROPOSED BRACING

Existing bracing being removed has been calculated to be the equate of: 40BUs per metre

Existing walls length being removed:

Across bracing direction = 7.18m Across bracing direction
Total existing bracing units across being removed = 40BUs/m x 7.8m = 287 BU's
 Along bracing direction = 3.23m Along bracing direction
Total existing bracing units along being removed = 40BUs/m x 3.23m = 130 BU's

Proposed bracing to be installed as follows:

Across bracing direction = BLG-H - 2.8m (333 BU's)
Total Across bracing achieved = 333 Bracing units
 Along bracing direction = BL1-H - 3.2m (170 BU's)
Total Along bracing achieved = 170 Bracing units

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



JOB TITLE
Proposed Alterations for P. Foster at 32 Grandview Crescent

SHEET TITLE
Proposed Bracing Plan

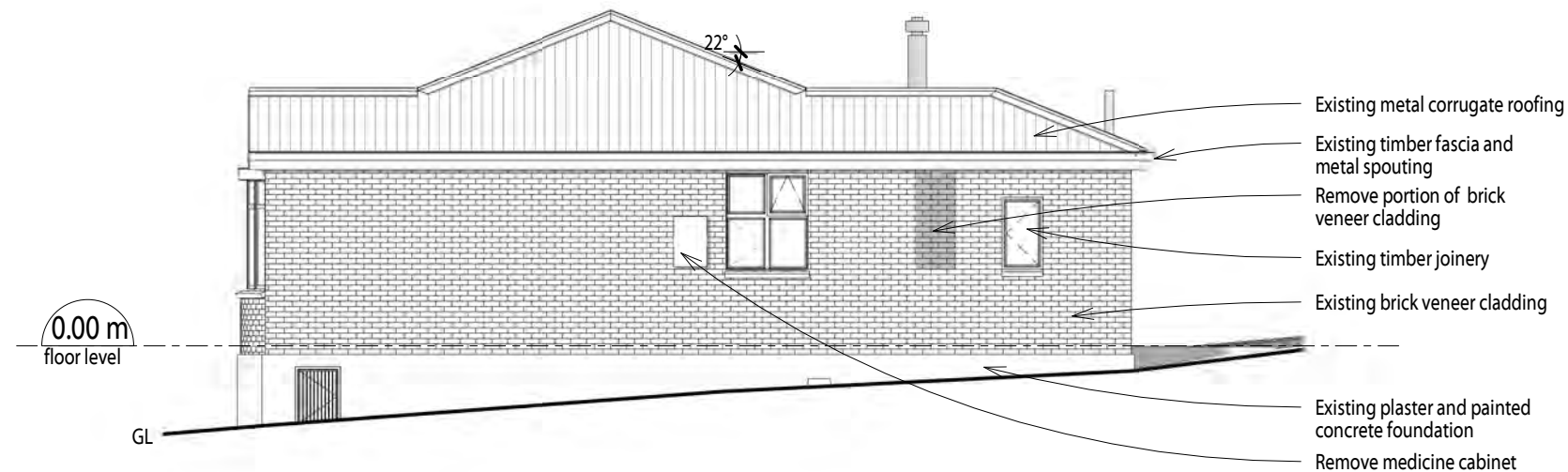
DATE Apr'24	SCALE 1 : 100	JOB No. 2449	SHEET No. A2.4
DRAWN JH	CHECKED RJW	REVISION A	

For Consent



Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

NOTE:
1. Existing ground levels and foundation lines shown are indicative only and should not be used for pricing. Confirm on site **before** construction



Existing East Elevation

1 : 100



Existing North Elevation

1 : 100

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

Warnock
Architecture Ltd

JOB TITLE
Proposed Alterations for P. Foster at

32 Grandview Crescent

SHEET TITLE
Existing Elevations

DATE	SCALE	JOB No.	SHEET No.
Apr'24	1 : 100	2449	A3.0
DRAWN	CHECKED	REVISION	
JH	RJW	A	

For Consent

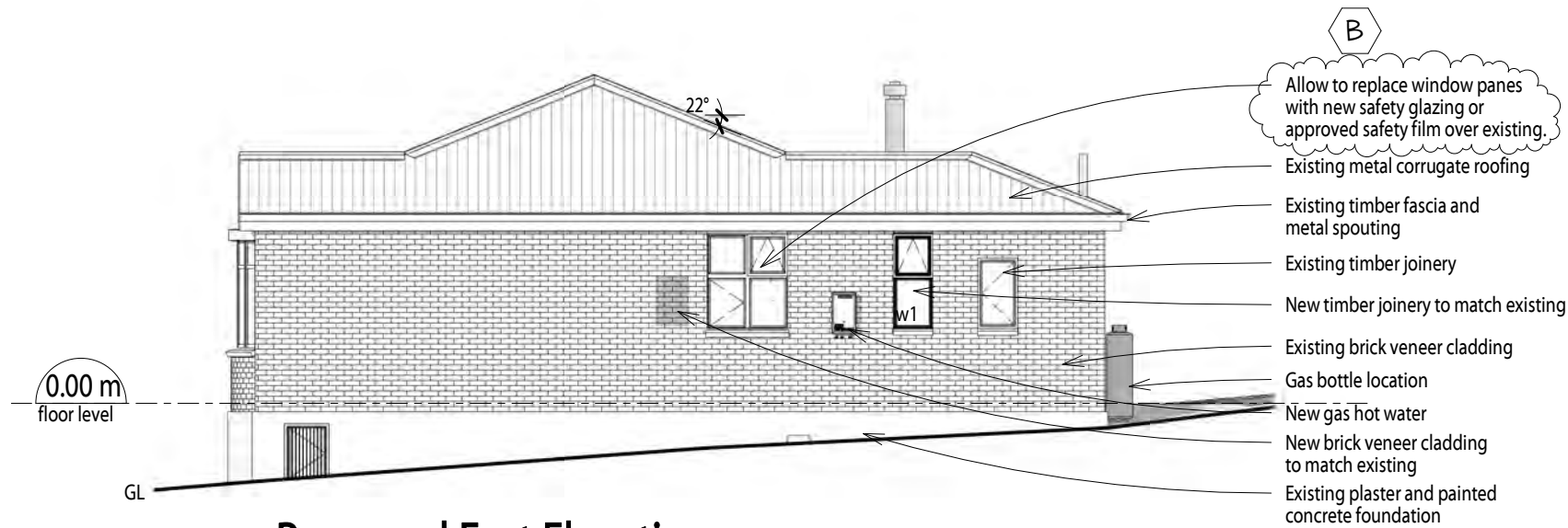
200 mm
100
50
10mm
0



Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent
B	27.05.24	Safety glazing note add

- NOTE:**
- Existing ground levels and foundation lines shown are indicative only and should not be used for pricing. Confirm on site **before** construction
 - Cylinders shall not be supported by other cylinders. Cylinders shall be installed on supporting bases that are firm, level, of non-combustible material, and with a finished surface that prevents ponding of water and at least 50mm above the surrounding surface. Soil is not considered an acceptable supporting base. All cylinders to be securely held in place by galvanized chains and anchor brackets. The brackets shall be fastened to a wall or similar robust anchorage. Fixings shall be galvanized or stainless steel.

200 mm
100
50
10mm



Proposed East Elevation

1:100



Proposed North Elevation

1:100

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

Warnock
Architecture Ltd

JOB TITLE
**Proposed Alterations for
P. Foster at**

32 Grandview Crescent

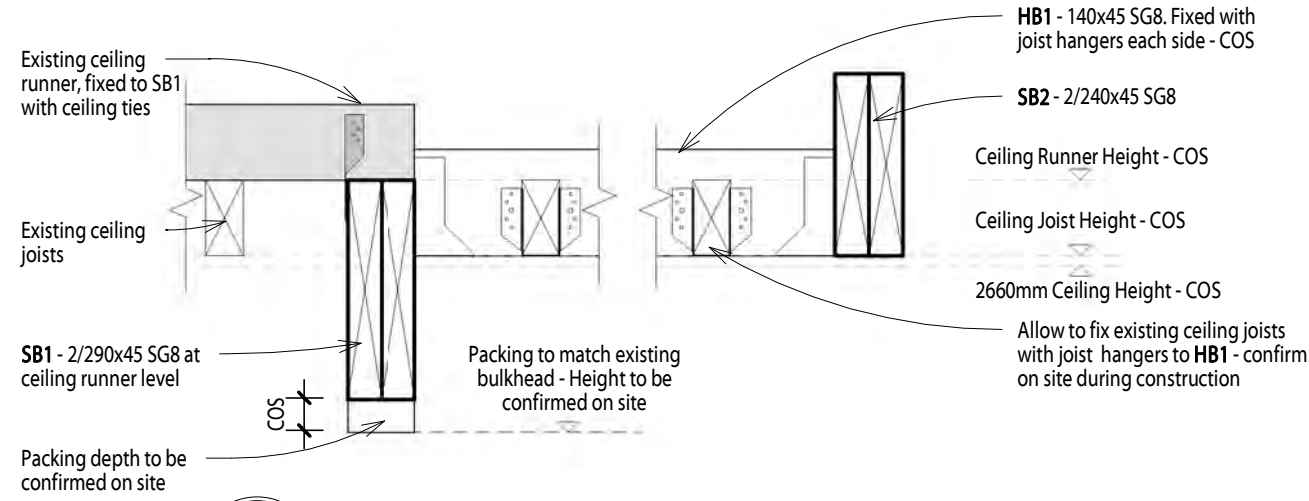
SHEET TITLE
Proposed Elevations

DATE Apr'24	SCALE 1 : 100	JOB No. 2449	SHEET No. A3.1
DRAWN JH	CHECKED RJW	REVISION B	

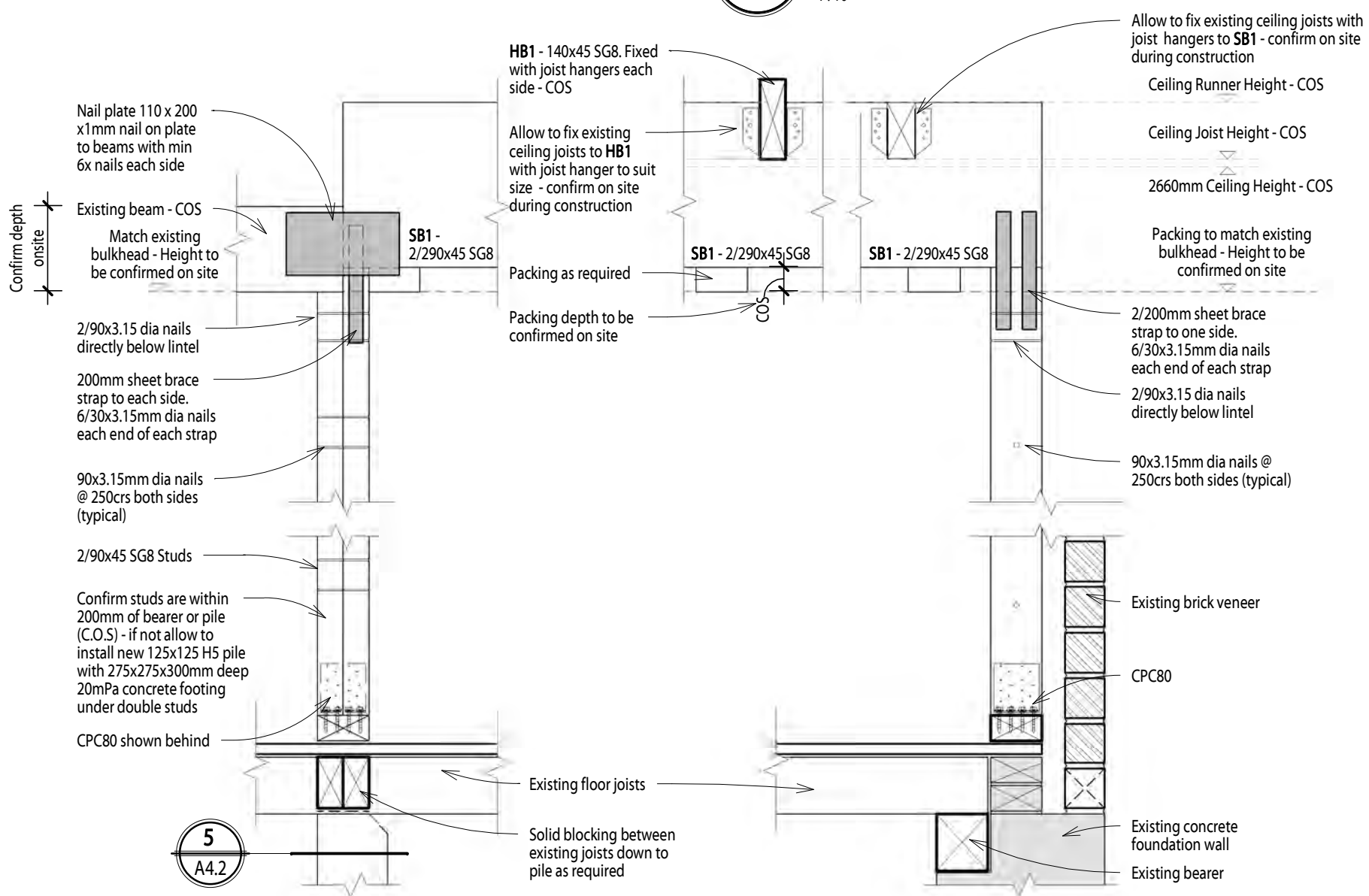
For Consent



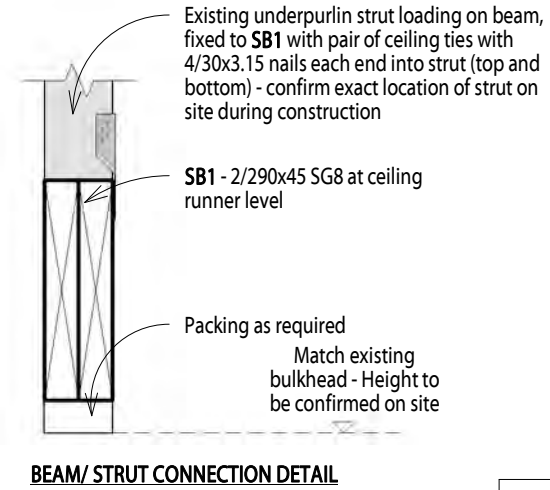
Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent



1
A2.3
*** Proposed HB1 Fixing Detail**
1:10



2
A2.3
*** Proposed SB1 Fixing Detail**
1:10



NOTE:
1. All timber to be SG 8 unless specified otherwise.

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Warnock
Architecture Ltd

JOB TITLE
Proposed Alterations for P. Foster at

32 Grandview Crescent

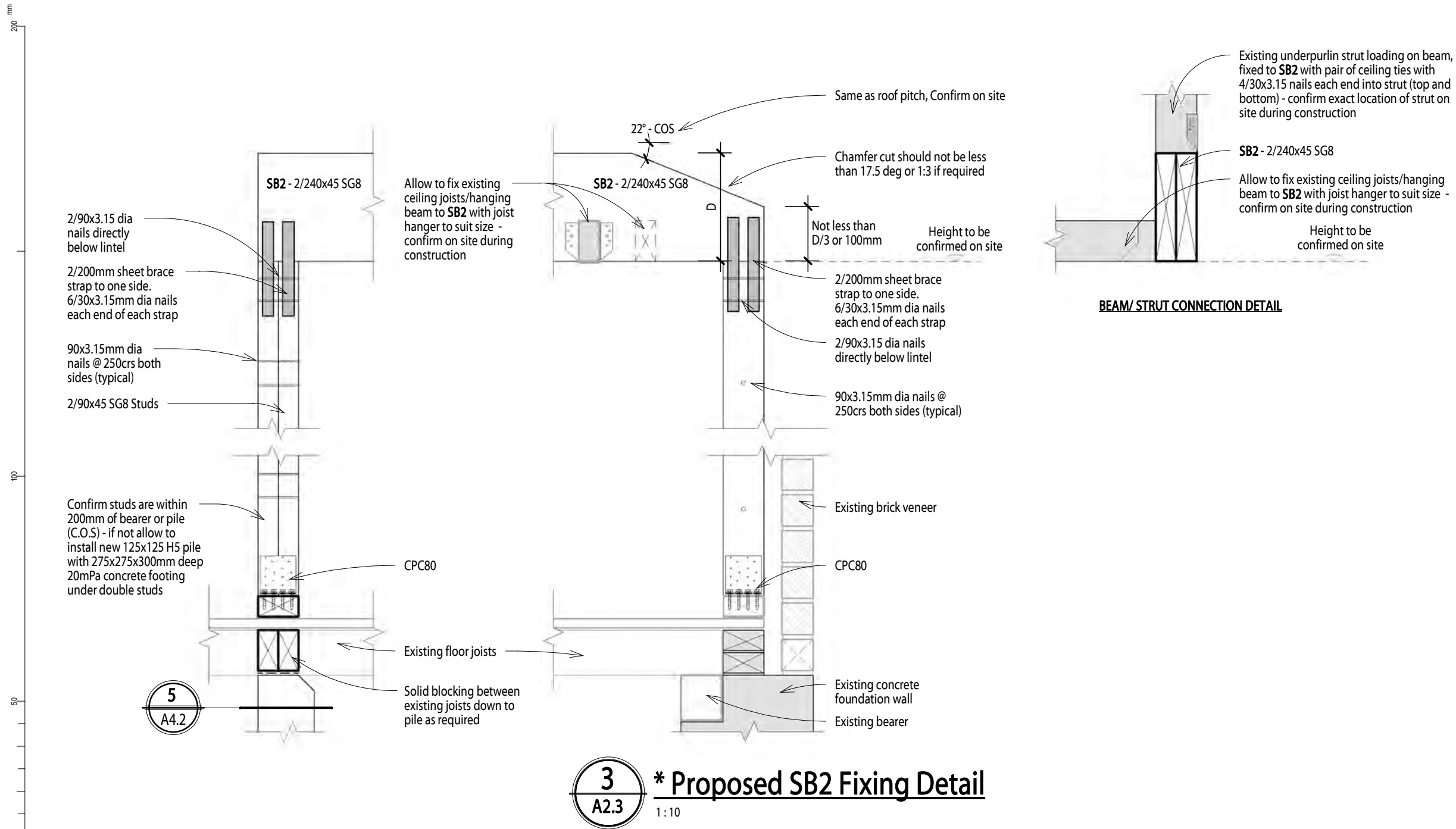
SHEET TITLE
Proposed Details

DATE Apr'24	SCALE 1 : 10	JOB No. 2449	SHEET No. A4.0
DRAWN JH	CHECKED RJW	REVISION A	

For Consent

200 mm
100
50
10mm

Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent



NOTE:
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Warnock
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JOB TITLE
Proposed Alterations for
P. Foster at

32 Grandview Crescent

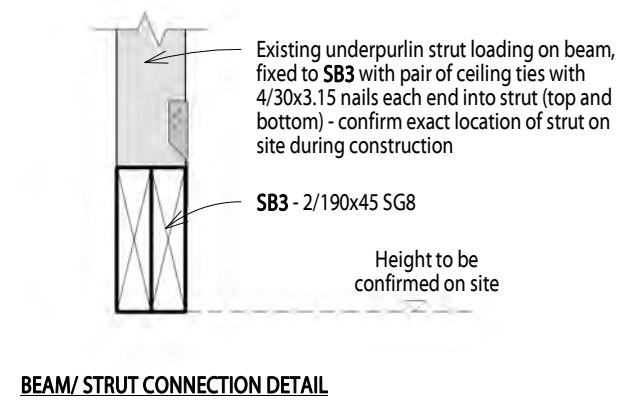
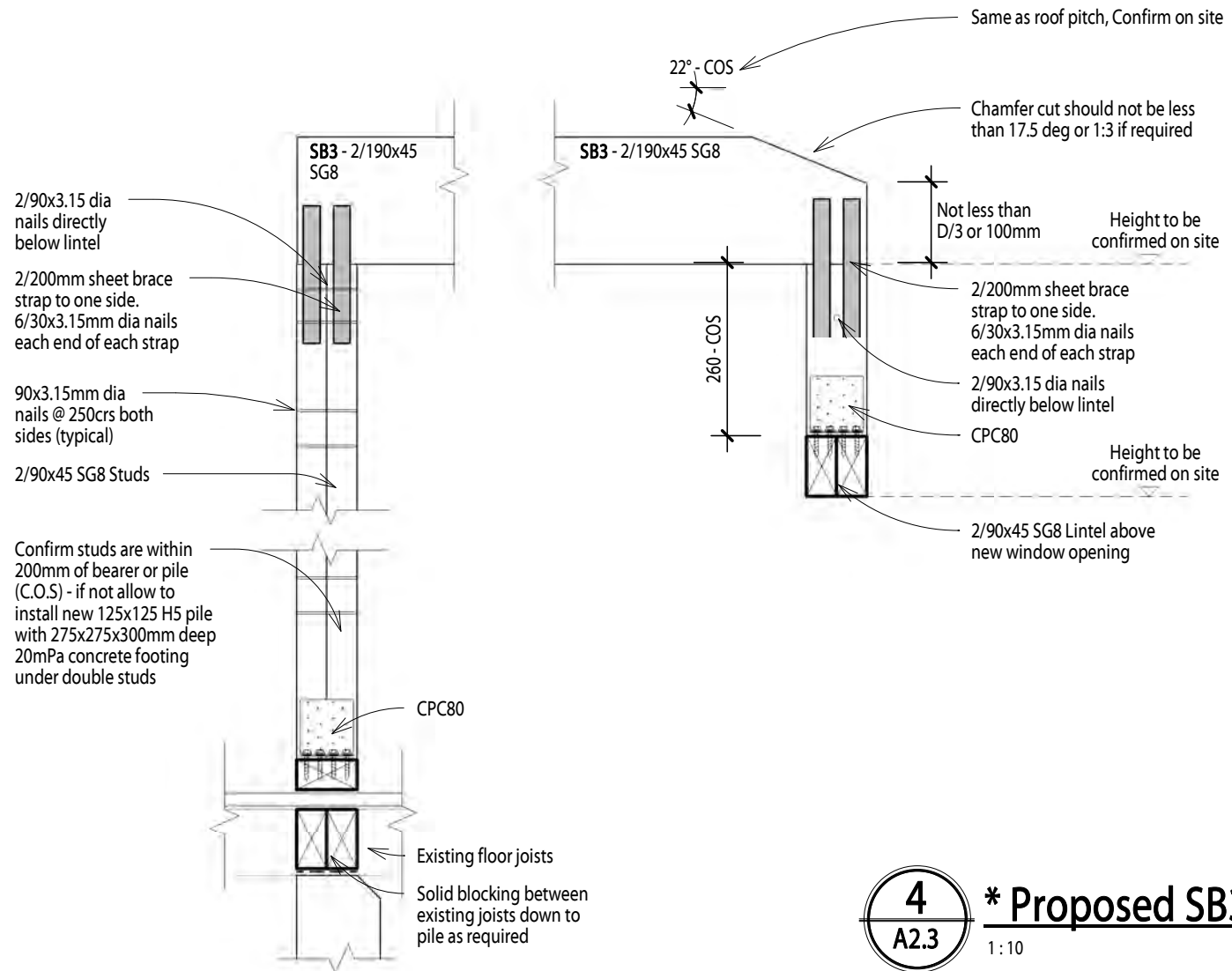
SHEET TITLE
Proposed Details

DATE	SCALE	JOB No.	SHEET No.
Apr'24	1 : 10	2449	A4.1
DRAWN JH	CHECKED RJW	REVISION A	

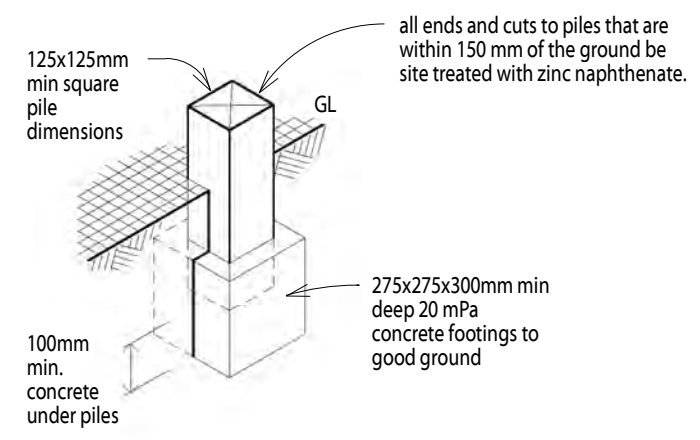
For Consent

Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

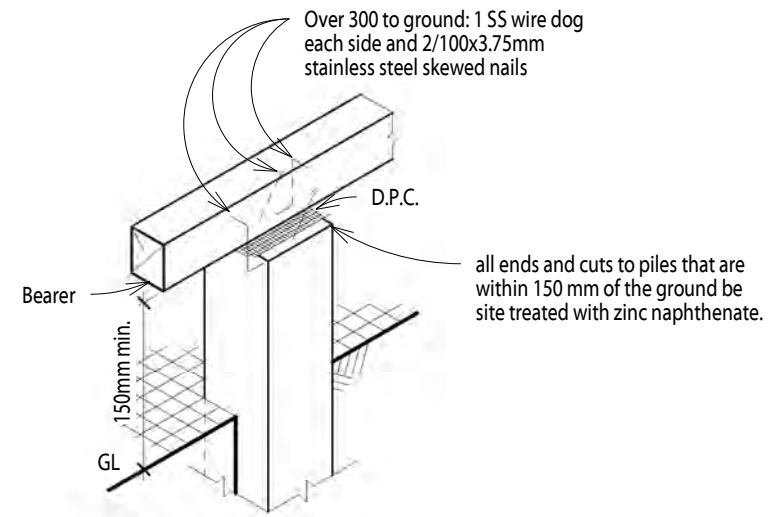
200 mm
100
50
10mm



4
A2.3 * Proposed SB3 Fixing Detail
1:10



5
A4.0 Typical Ordinary Pile Footing Detail
N.T.S



6
N.T.S Typical Pile / Bearer Fixing Detail

NOTE:
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JOB TITLE
Proposed Alterations for P. Foster at
32 Grandview Crescent

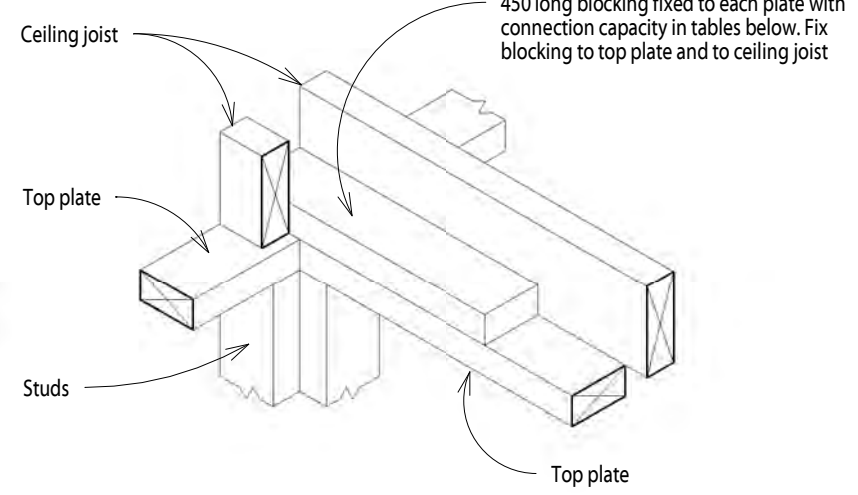
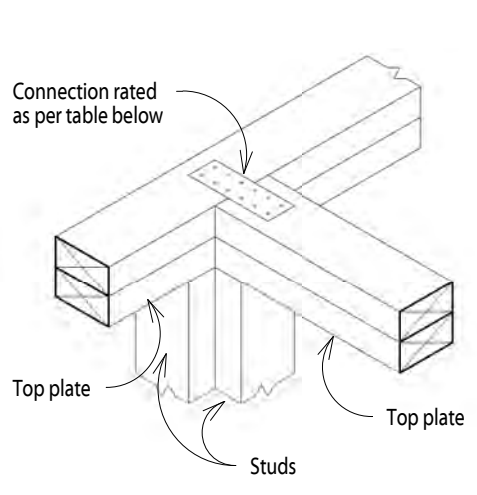
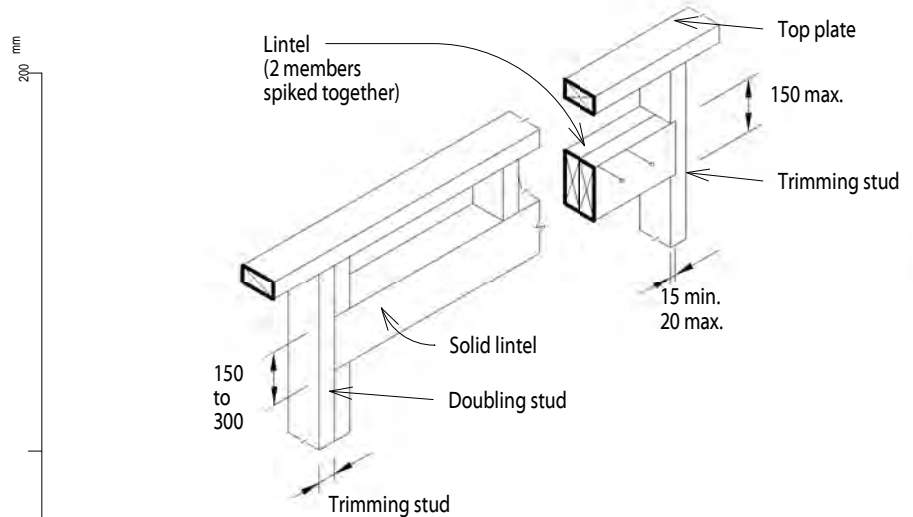
SHEET TITLE
Proposed Details

DATE Apr'24	SCALE As indicated	JOB No. 2449	SHEET No. A4.2
DRAWN JH	CHECKED RJW	REVISION A	

For Consent



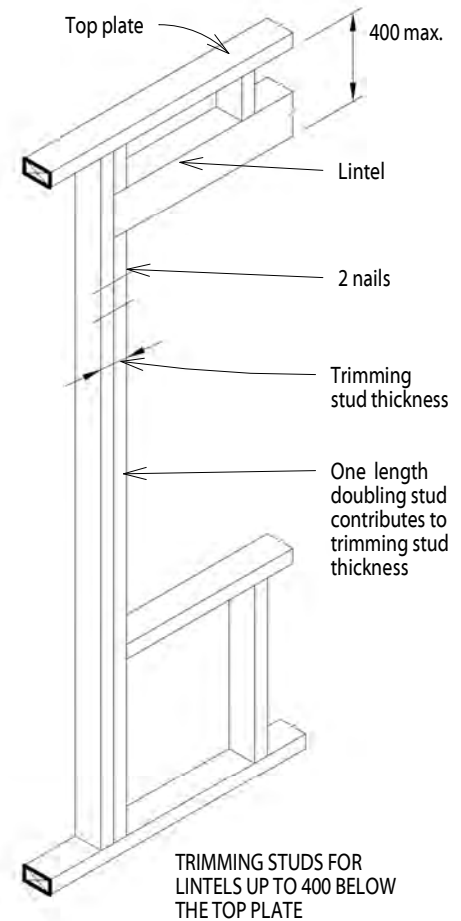
Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent



Capacities of metal nailon plate joints	
Up to 6 kN	6 / 30 x 3.15 mm nails per side
Up to 12 kN	12 / 30 x 3.15 mm nails per side 4 / Type 17 35mm x 14g screws per side

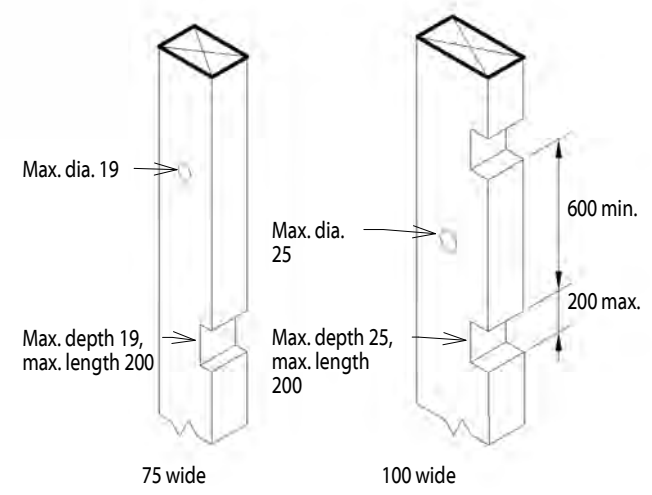
Note: If bracing element requires additional kN fixings to top plate connection, further fixings to nailon plate can be added. - 1.0 kN/nail or 3.0 kN/Screw

Capacities of nailed joints	
Up to 6 kN	6 / 100 x 3.75 mm nails per side
Up to 12 kN	12 / 100 x 3.75 mm nails per side



7 Trimming Studs and Lintels
N.T.S

8 Top Plate Connecting Detail
N.T.S



9 Boring and Checking Studs
N.T.S

- NOTE -
- (1) For diagonal timber bracing the depth of notches in 75 wide timber may be increased to 22
 - (2) For 100 wide studs the depth of notches and diameter of holes may be increased to 35 where no more than 3 consecutive studs are drilled or notched
 - (3) Notches in studs to be spaced vertically 600 apart (independent of edge containing the notch).
 - (4) 100 min. offset between hole and notch.

NOTE:
1. All timber to be SG 8 unless specified otherwise.

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JOB TITLE
Proposed Alterations for P. Foster at 32 Grandview Crescent

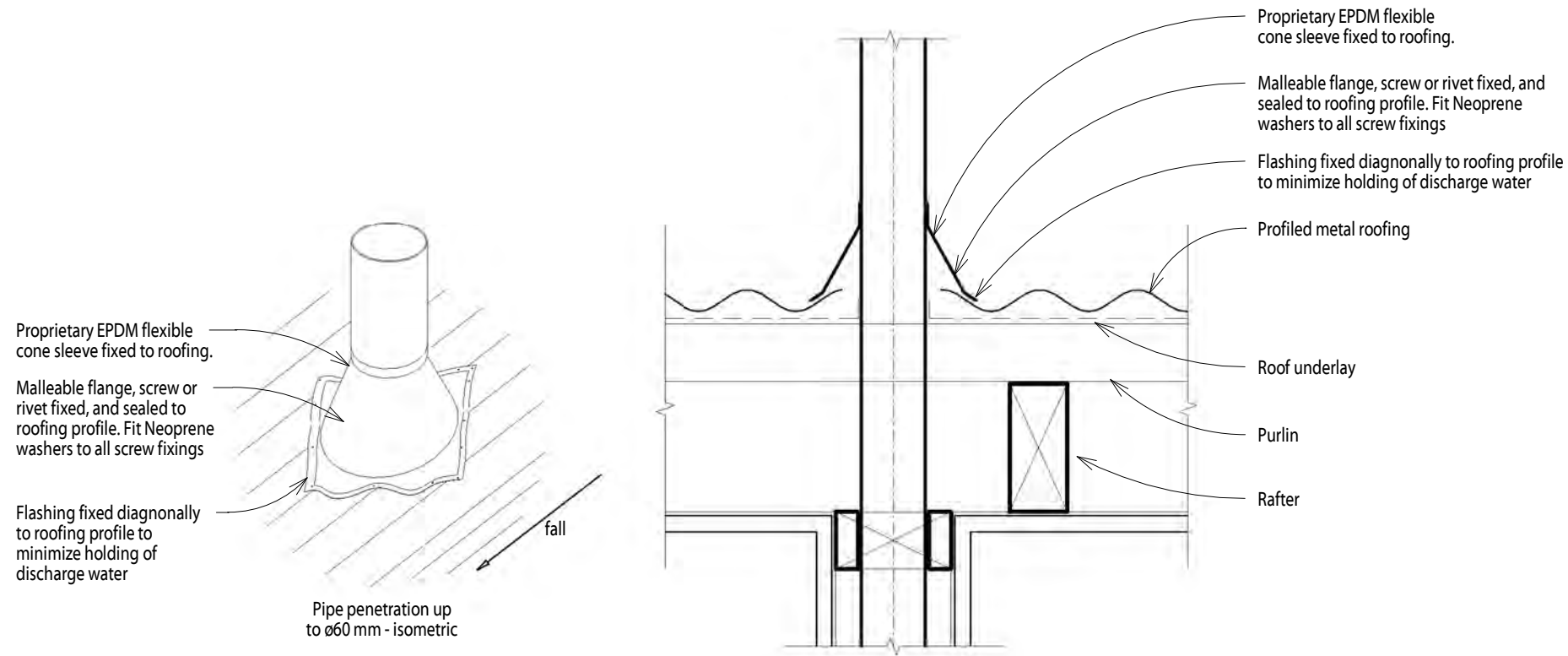
SHEET TITLE
Proposed Details

DATE Apr'24	SCALE 1 : 1	JOB No. 2449	SHEET No. A4.3
DRAWN JH	CHECKED RJW	REVISION A	

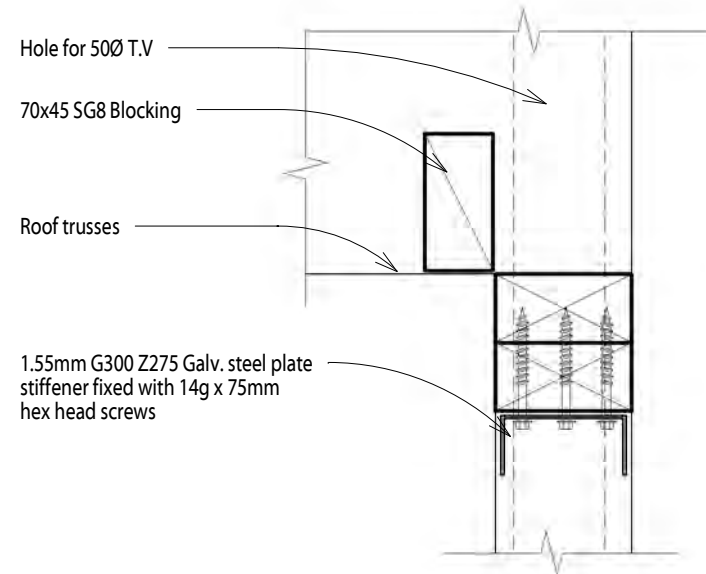
For Consent



Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent



10 Roof penetration up to 60 mm
N.T.S



11 Typical Plate Stiffener Detail
N.T.S

NOTE:
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Warnock
Architecture Ltd

JOB TITLE
Proposed Alterations for P. Foster at

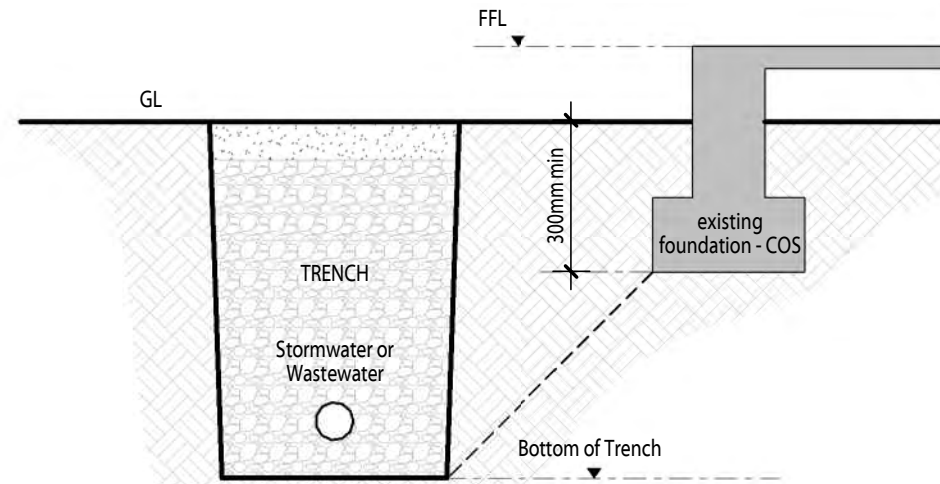
32 Grandview Crescent

SHEET TITLE
Proposed Details

DATE Apr'24	SCALE 1 : 5	JOB No. 2449	SHEET No. A4.4
DRAWN JH	CHECKED RJW	REVISION A	

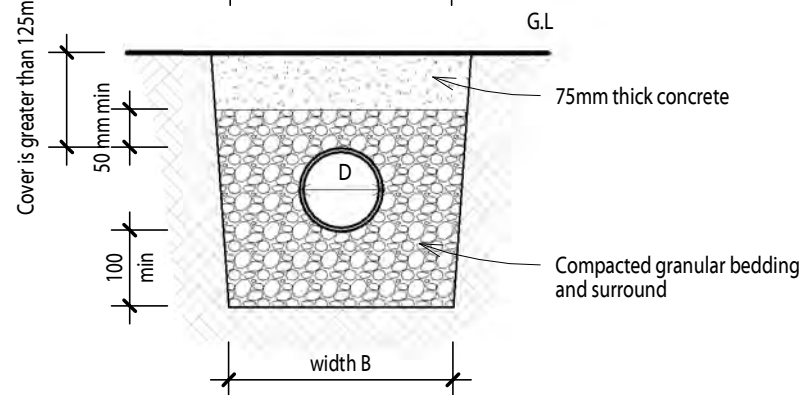
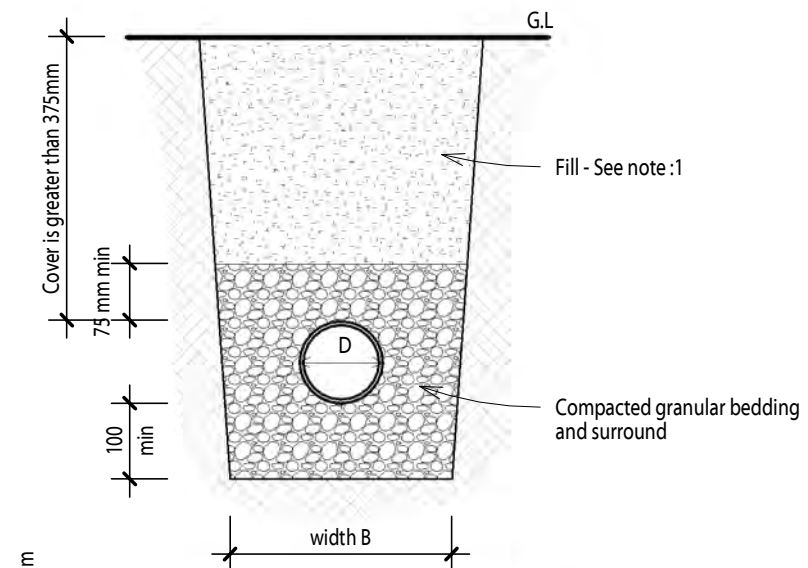
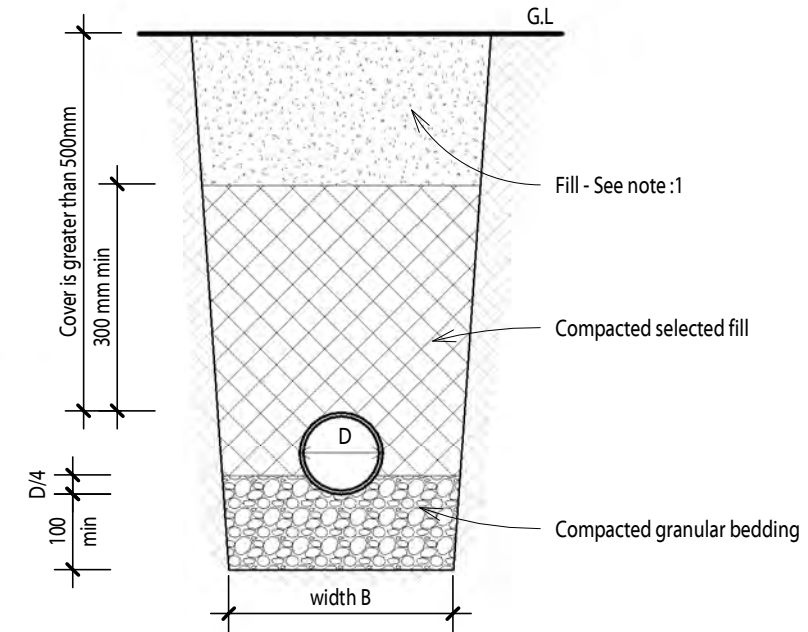
For Consent

Proximity of trench to building
For light timber frame and concrete masonry buildings founded on good ground and constructed in accordance with NZS 3604 or NZS 4229, pipe trenches which are open for no longer than 48 hours shall be located no closer than distance 'V' to the underside of any building foundation. Where the trench is to remain open for periods longer than 48 hours, the minimum horizontal separation shall increase to 3V in all ground except rock.



13 Typical Trench/Concrete Footing Detail

N.T.S



Note: 1 - Fill shall be
- Ordinary fill where drains are located below gardens and open country
- Compacted selected fill where the drains are located below residential driveways and similar areas subjected to light traffic
Note: 2
The width B of the trench shall be no less than the pipe diameter D plus 200 mm. Trench width at the top of the pipe shall be no more than 600 mm unless the pipe(s) in the trench are covered with concrete, as shown in Figure 13 (c) E1 NZBC.

15 Typical Trench Bedding & Backfilling Details

N.T.S

Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

NOTE:
1. All timber to be SG 8 unless specified otherwise.

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

Warnock
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JOB TITLE
Proposed Alterations for P. Foster at

32 Grandview Crescent

SHEET TITLE
Proposed Details

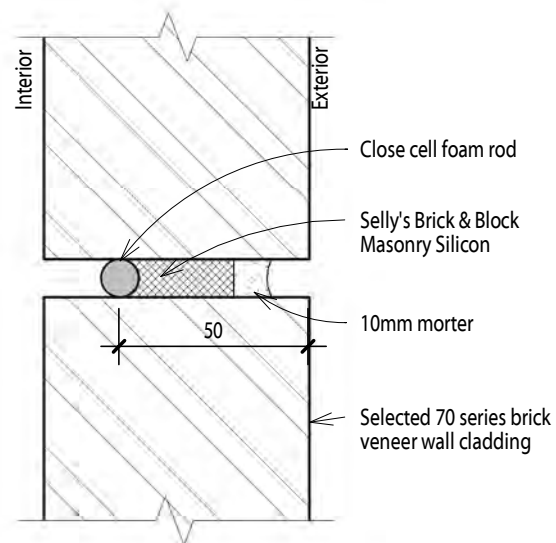
DATE Apr'24	SCALE As indicated	JOB No. 2449	SHEET No. A4.5
DRAWN JH	CHECKED RJW	REVISION A	

For Consent

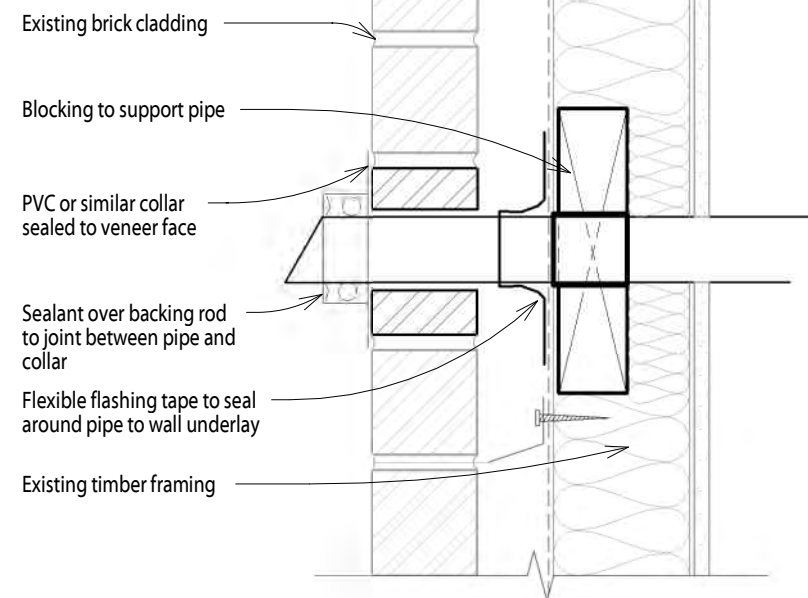
200 mm
100
50
10mm

12 Typical Brick Control Joint Detail

1:2



Allow to install R2.8 wall insulation batts if none is present. Allow to pocket insulation with stapled wall building wrap if none is present

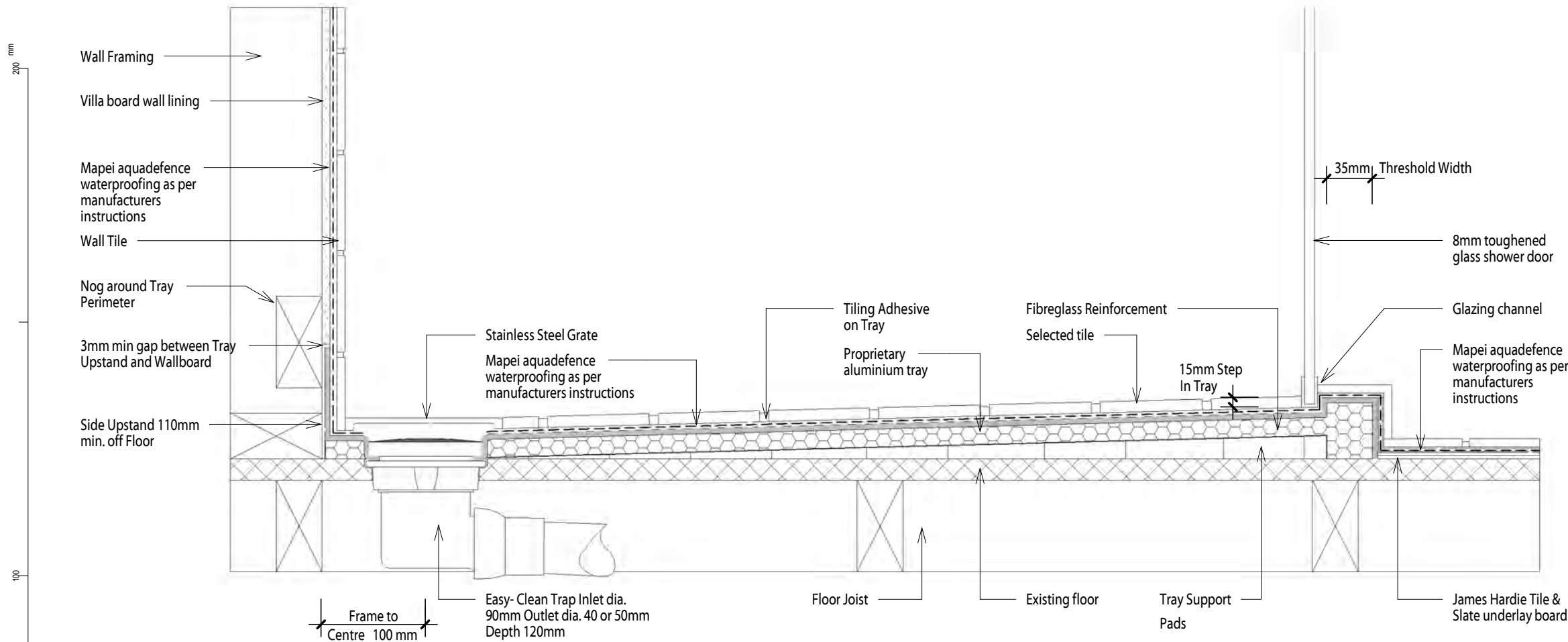


14 Typical Brick Pipe Penetration Detail

1:5



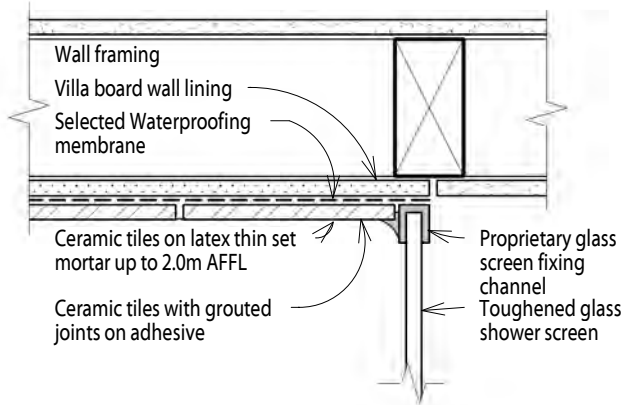
Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent



16
A2.1
Wet Area Shower Detail - Timber Floor
N.T.S

NOTE:
1. All timber to be SG 8 unless specified otherwise.

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



17
N.T.S
Typical Tiled Shower/Wall Detail

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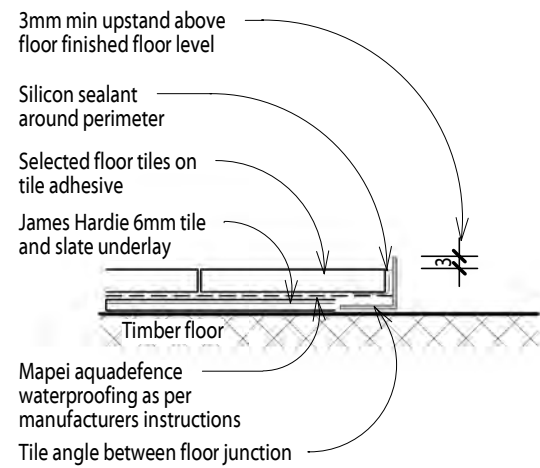
JOB TITLE
Proposed Alterations for P. Foster at
32 Grandview Crescent

SHEET TITLE
Proposed Details

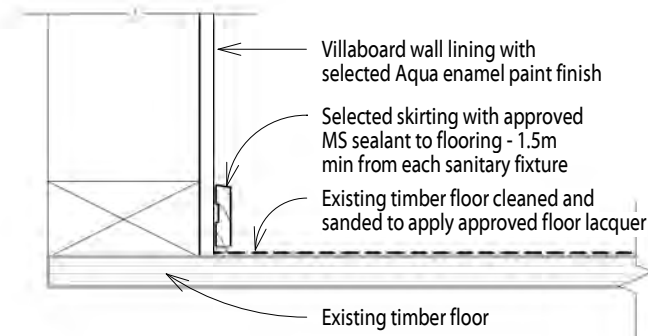
DATE	SCALE	JOB No.	SHEET No.
Apr'24	1 : 5	2449	A4.6
DRAWN JH	CHECKED RJW	REVISION A	

For Consent

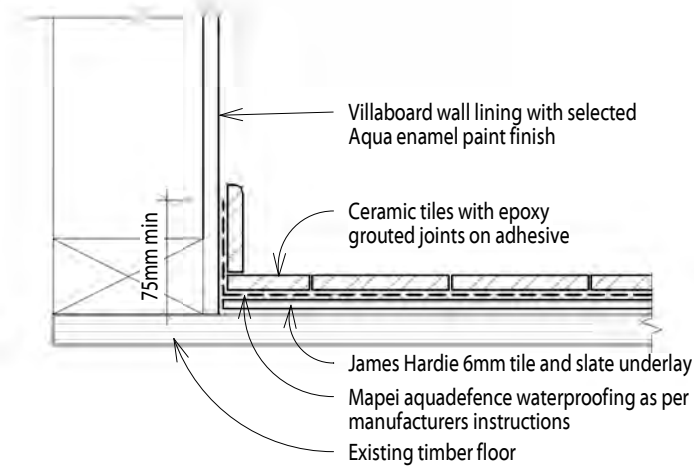
Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent



18 Wet Area Waterstop Detail
N.T.S

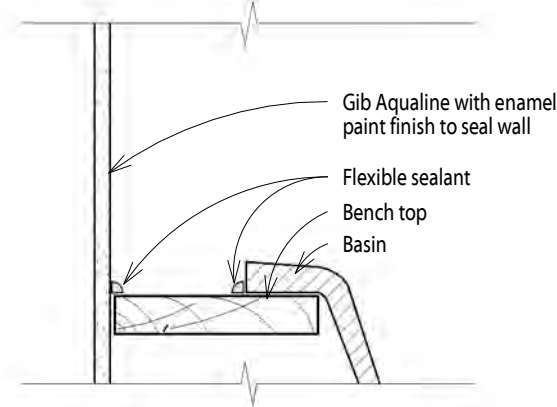
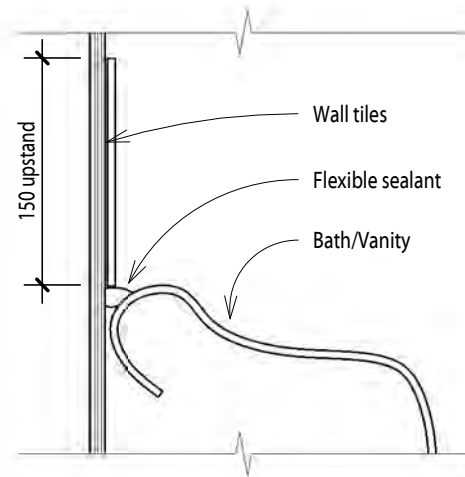
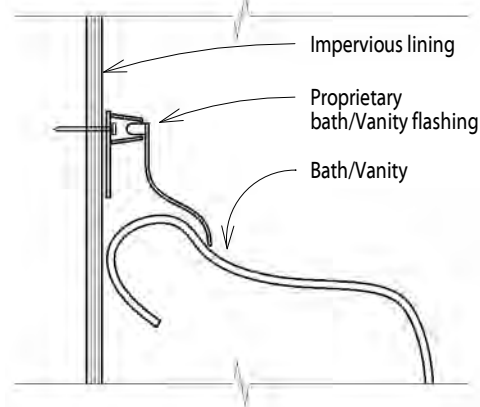


SPLASH AREA TIMBER - Existing



WET AREA - Existing

19 Typical Wet Area Floor Detail
N.T.S



20 Typical Bath/Vanity to Wall Detail
N.T.S

NOTE:
1. All timber to be SG 8 unless specified otherwise.

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JOB TITLE
Proposed Alterations for
P. Foster at

32 Grandview Crescent

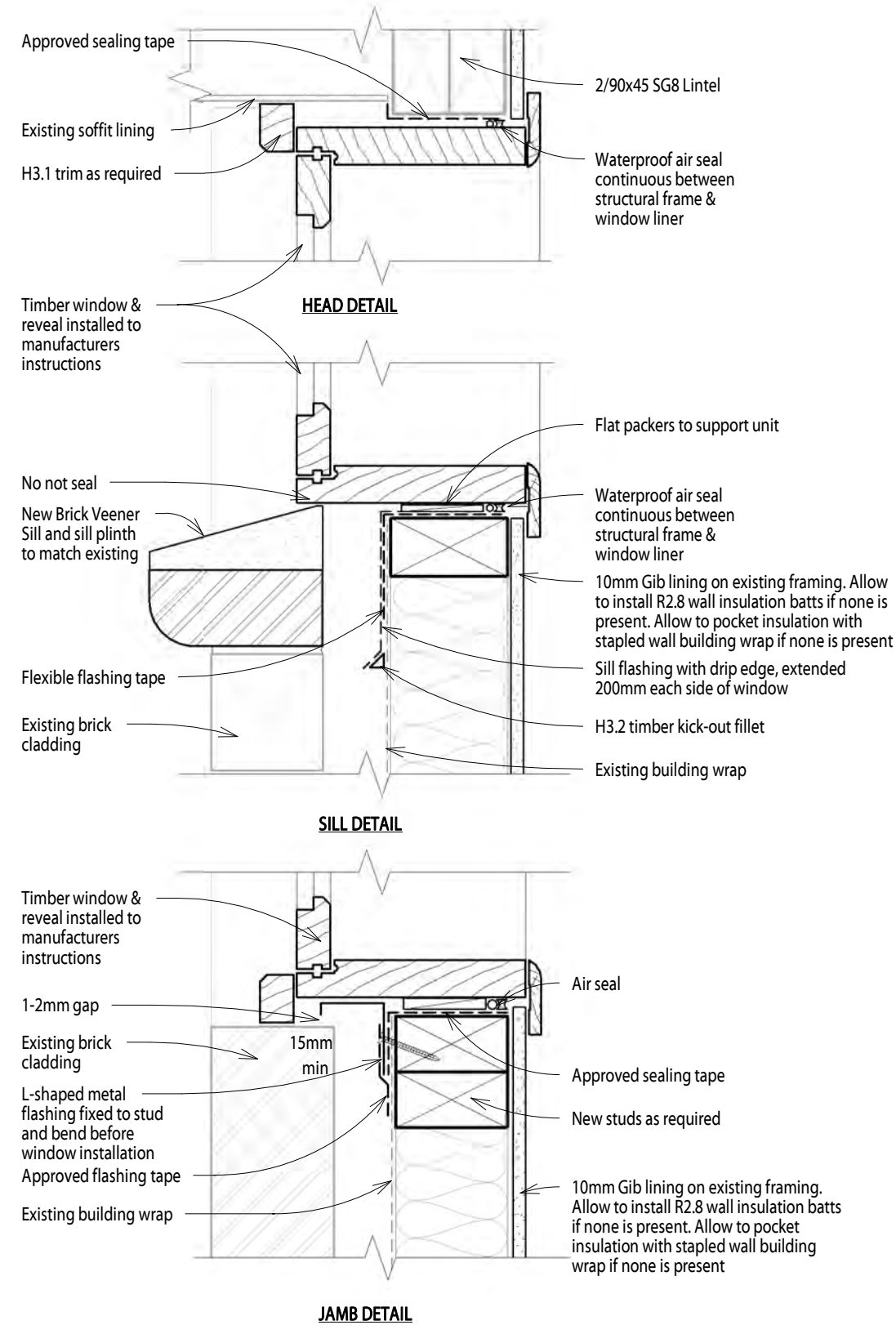
SHEET TITLE
Proposed Details

DATE	SCALE	JOB No.	SHEET No.
Apr'24	As indicated	2449	A4.7
DRAWN	CHECKED	REVISION	
JH	RJW	A	

For Consent

Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

200 mm
100
50
10mm



NOTE:
1. All timber to be SG 8 unless specified otherwise.

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

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JOB TITLE
Proposed Alterations for P. Foster at

32 Grandview Crescent

SHEET TITLE
Proposed Details

DATE	SCALE	JOB No.	SHEET No.
Apr'24	1 : 5	2449	A4.8
DRAWN JH	CHECKED RJW	REVISION A	

For Consent

21
A2.1
Typical Brick Window Details
1:5



Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

Timber framing

General framing requirements such as grade, spacings and installation shall comply with the provisions of NZS 3604:2011. To achieve the published bracing performance the minimum actual framing dimensions are 90 x 45mm for external walls and 70 x 45mm for internal walls.

As a minimum the use of Kiln Dried Stress Graded timber for all wall, roof and mid-floor framing members is recommended.

GIBFix® Framing System (alternative layout)

Practices recommended as part of the GIBFix® Framing System aim to increase timber framing efficiencies, reduce reliance on unnecessary framing at wall junctions and minimise surface imperfections that commonly arise from constructing plasterboard junctions over multiple timber members. GIBFix® Angles fixed to a single timber framing member are introduced to tie together plasterboard junctions, improving seismic resilience and decrease the risk of future defects due to timber movement. The GIBFix® Framing System can be used in conjunction with the GIB EzyBrace® System.

Note: GIBFix® Angles and 32mm x 7g GIB® Grabber® Dual Thread Screws may also be used in traditional wall framing layouts and in GIB EzyBrace® Systems.

When the GIBFix® Framing System is used a minimum of 2 equally spaced nogs for walls between 2.4m and 3m in height are required at corners and wall junctions.

When used in GIB EzyBrace® systems GIBFix® Angles must run from top to bottom on all applicable studs. If 2 GIBFix® Angles are required on a stud they must be overlapped by a minimum of 300mm with 2/32mm 7g GIB® Grabber® Dual Thread Screws penetrating through both GIBFix® Angles.

For full specification details refer to GIBFix® Framing System literature available at gib.co.nz/gibfix.

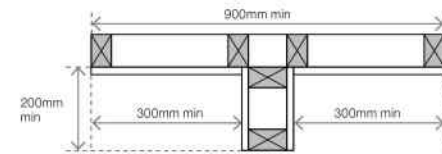
Guidelines for intersection walls

GIB® Bracing Elements may have intersecting walls with a minimum length of 200mm. Fasteners are required around the perimeter of the bracing element. Vertical joints at T-junctions shall be fixed and jointed as specified for intermediate sheet joints. The bracing element length must be no less than 900mm.

Where a Wall Bracing Element is interrupted by a T-junction the element is deemed to be continuous for the whole length (900mm minimum in the example illustrated).

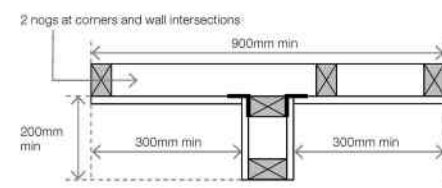
When fixing part sheets of GIB® plasterboard to the side of a T-junction, a minimum width of 300mm applies for bracing elements. See figures 12 and 13.

FIGURE 12: WALL INTERSECTION (TRADITIONAL WALL FRAMING)



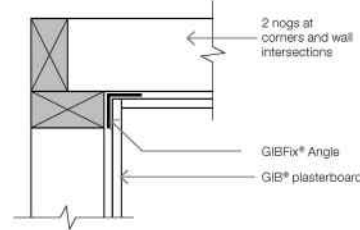
OE8002

FIGURE 13: WALL INTERSECTION (GIBFIX® FRAMING SYSTEM)



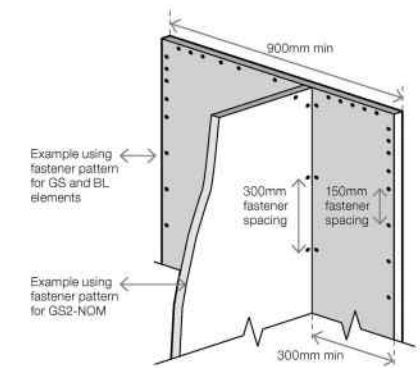
OE8003

FIGURE 14: CORNER INTERSECTION (GIBFIX® FRAMING SYSTEM)



GFS001

FIGURE 15: WALL INTERSECTION FASTENER PLACEMENT



Junction:
Min 32mm x 6g GIB® Grabber® High Thread or 32mm x 7g GIB® Grabber® Dual Thread Screws @ 300mm ctrs each side.

Top plate connections

For top plate connections refer to NZS3604:2011 section 8.7.3.

Parapets and gable end walls

Bracing elements must be fixed from top plate to bottom plate. Fixing to a row of nogs is not acceptable unless either:

A continuous member such as an ex 90 x 45mm ribbon plate is fixed across the studs just above a row of nogs at the ceiling line, as shown in figure 16.

or

GIBFix® Angle as shown in figure 17. The angle is fixed to a row of nogs with 30 x 2.5mm galv flat head nails or 32mm x 7g GIB® Grabber® Dual Thread Screws at 300mm centres.

Bottom plate fixing

TIMBER FLOOR

For elements with an 'N' specification use 2/100 x 3.75mm hand or 3/90 x 3.15mm power-driven nails at 600mm centres.

In addition, for elements with an 'H' specification, use GIB HandiBrac® panel hold-down fixings at each end of the bracing element, see p.16.

CONCRETE FLOOR – EXTERNAL WALL BRACING ELEMENTS

For bracing elements with an 'N' specification fix external wall plates in accordance with NZS 3604:2011.

Use GIB HandiBrac® panel hold-down fixings at each end of bracing elements with an 'H' specification and minimum intermediate fixings as required by NZS 3604:2011.

CONCRETE FLOOR – INTERNAL WALL BRACING ELEMENTS

For bracing elements with an 'N' specification fix plates in accordance with NZS 3604:2011 or use 75 x 3.8mm shot-fired fasteners with 16mm discs spaced at 150 and 300mm from end-studs and 600mm centres thereafter.

For bracing elements with an 'H' specification use GIB HandiBrac® panel hold-down fixings at each end of the element and minimum intermediate fixings as required by NZS 3604:2011.

FIGURE 16: PARAPETS AND GABLE ENDS WITH RIBBON PLATE

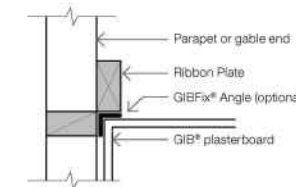
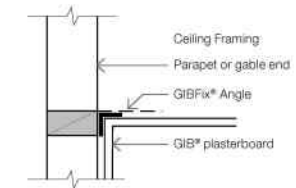


FIGURE 17: PARAPETS AND GABLE ENDS WITH GIBFIX® ANGLE



GFS003

BOTTOM PLATE FIXINGS FOR GIB® BRACING ELEMENTS

Brace type	Concrete slabs		Timber floors
	External wall	Internal wall	External and Internal walls
GS1-N	As per NZS 3604:2011. No specific additional fastening required.	As per NZS 3604:2011. Alternatively use 75 x 3.8mm shot-fired fasteners with 16mm discs, 150mm and 300mm from each end of the bracing element and at 600mm thereafter.	Pairs of 100 x 3.75mm flat head hand driven nails or 3/90 x 3.15mm power driven nails at 600mm centres in accordance with NZS 3604:2011.
GS2-N	Not applicable.		
GS2-NOM			
GSP-H BL1-H BLP-H	Intermediate fastenings to comply with NZS 3604:2011 In addition: GIB HandiBrac® fixings or metal wrap-around strap fixings and bolt as illustrated on p.15 and 16.		Pairs of 100 x 3.75mm flat head hand driven nails or 3/90 x 3.15mm power driven nails at 600mm centres in accordance with NZS 3604:2011. In addition: GIB HandiBrac® fixings or metal wrap-around strap fixings and bolt as illustrated on p.15 and 16.
BLG-H	Not applicable	As for GSP-H, BL1-H, BLP-H on concrete slab as illustrated on p.15 and 16.	

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Warnock
Architecture Ltd

JOB TITLE

Proposed Alterations for
P. Foster at

32 Grandview Crescent

SHEET TITLE

Bracing Details

DATE	SCALE	JOB No.	SHEET No.
Apr'24		2449	A5.0
DRAWN	CHECKED	REVISION	
JH	RJW	A	

For Consent

Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent



Bracing strap installation

Care needs to be taken with the installation of the bracing strap. It should be checked in to be flush with the face of the stud providing a flat substrate for the plasterboard and

positioned in such a way that the corner fastenings of the bracing element are not affected by it. Keeping the strap to the edge of the end stud as shown will allow the corner fastenings to be installed without having to penetrate the bracing strap.

Concrete floor	Timber floor
400 x 25 x 0.9mm galvanised strap to pass under the plate and up the other side of the stud. Six 30 x 2.5mm flat head galvanised nails to each side of the stud. Three 30 x 2.5mm flat head galvanised nails to each side of the plate. Hold down bolt with 50 x 50 x 3mm washer to be fitted within 80mm of the end of the element.	



External wall



Note: Where applicable drawings have been produced for CAD design. These are identified by a unique number in the bottom corner of each detail box that can be found at gib.co.nz/library.

2/300 x 25 x 0.9mm galvanised straps with six 30 x 2.5mm flat head galvanised nails to each stud and into the floor joist and three nails to the plate. Block to nog fixed with 3/100 x 3.75mm nails to stud.



Hold-down fastener requirements	
Concrete floor	Timber floor
A mechanical fastening with a minimum characteristic uplift capacity of 15kN fitted with a 50 x 50 x 3mm square washer within 80mm of the ends of the bracing element.	12 x 150mm galvanised coach screw fitted with a 50 x 50 x 3mm square washer within 80mm of the ends of the bracing element

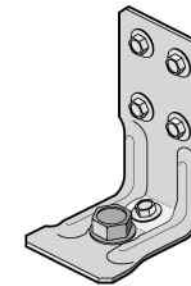


GIB HandiBrac® installation

Developed in conjunction with MiTek™, the GIB HandiBrac® has been designed and tested by Winstone Wallboards for use in GIB EzyBrace® elements that require hold-downs. The GIB HandiBrac® is a substitute for bottom plate hold-down straps.

- Quick and easy to fit.
- May be fitted at any stage before lining.
- Framing face is clear to allow flush lining.
- Easily inspected.

The GIB HandiBrac® with BOWMAC® blue head screw bolt is suitable for timber and concrete floors constructed in accordance with NZS 3604:2011.



Concrete floor		Timber floor	
External walls	Internal walls	External walls	Internal walls
Position GIB HandiBrac® as close as practicable to the internal edge of the bottom plate.	Position GIB HandiBrac® at the stud/plate junction and at mid-width of plate.	Position GIB HandiBrac® flush with the outside stud face, as close as practicable to the centre of the boundary joist.	Position GIB HandiBrac® in the centre of floor joist or full depth solid block.
Hold-down fastener requirements			
A mechanical fastening with a minimum characteristic uplift capacity of 15kN or use supplied BT10/140 screwbolt in GIB HandiBrac® pack.		12 x 150mm galvanised coach screw or use supplied BT10/140 screwbolt in GIB HandiBrac® pack.	

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



JOB TITLE
Proposed Alterations for P. Foster at
32 Grandview Crescent
SHEET TITLE
Bracing Details

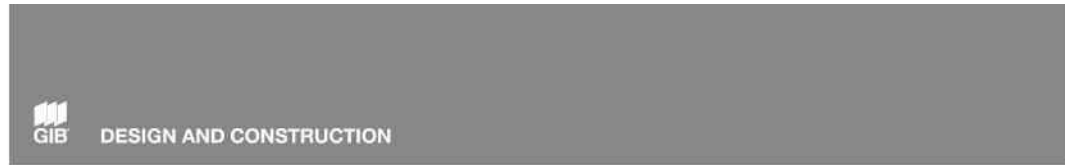
DATE Apr'24	SCALE	JOB No. 2449	SHEET No. A5.1
DRAWN JH	CHECKED RJW	REVISION A	

For Consent

200 mm
100
50
0



Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent



GIB® plasterboard linings

When fixing part sheets of GIB® plasterboard, a minimum sheet width of 300mm applies for bracing elements. Horizontal fixing is recommended. If fixing vertically, full height sheets shall be used where possible. Where sheet end butt joints are unavoidable they must be formed over nogs or over the studs and fastened at 200mm centres. Alternatively, and preferably, sheet end butt joints may be back-blocked.

When a GIB® Bracing element has been designated for a section of wall, BU ratings cannot be increased by incorporating additional proprietary bracing elements within that same section of wall.

LIMITATIONS

- GIB® plasterboard must be stacked flat and protected from the weather.
- GIB® plasterboard must be handled as a finishing material.
- GIB® plasterboard in use must not be exposed to liquid water or be installed in situations where extended exposure to humidities above 90% RH can reasonably be expected.
- GIB EzyBrace® Systems must not be used in showers or behind baths.
- It is highly recommended not to install GIB® plasterboard in any situation where external claddings are not in place or the property is not adequately protected from the elements.
- If GIB® plasterboard is installed under these conditions, the risk of surface defects such as joint peaking or cracking is greatly increased.

GIB EzyBrace® Systems in water-splash areas

When GIB® plasterboard is installed in locations likely to be frequently exposed to liquid water it must have an impervious finish. Examples are adhesive fixed acrylic shower linings or ceramic tiles over an approved waterproof membrane over GIB Aqualine®. The NZBC requires 15 years durability in these situations. Bracing elements are required to have a durability of 50 years. Bracing elements are not to be located in shower cubicles or behind baths because of durability requirements, the likelihood of renovation, and practical issues associated with fixing bracing elements to perimeter framing members. Otherwise GIB EzyBrace® Systems can be used in water-splash areas as defined by NZBC Clause E3, provided these are maintained impervious for the life of the building.

For further design details refer to the current GIB Aqualine® Wet Area Systems literature.

Renovation

When relining walls during the process of renovation, ensure that bracing elements are reinstated (check the building plans).

Openings in bracing elements

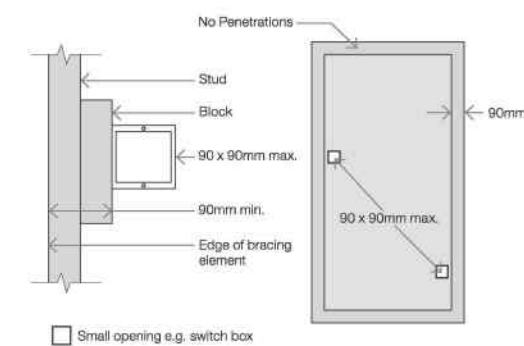
SMALL OPENINGS

Small openings (e.g. power outlets) of 90 x 90mm or less may be placed no closer than 90mm to the edge of the braced element. A block may need to be provided alongside the perimeter stud as shown below.

LARGE OPENINGS

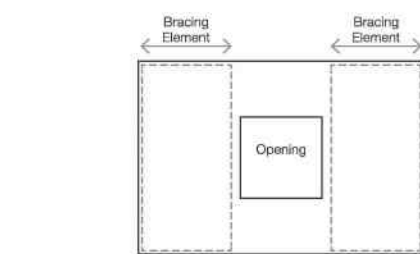
Openings above 90 x 90mm such as switch boards, recessed cabinets and TV's etc. should be placed outside of the bracing element or locate bracing on the other side of the wall framing.

FIGURE 10: SMALL OPENINGS IN BRACING ELEMENTS



GE3001

FIGURE 11: LARGE OPENINGS AND BRACING ELEMENTS



Length of GIB EzyBrace® elements ('H' Type)

GIB EzyBrace® elements with an 'H' extension (requiring special panel hold-down fixings) can be used when the dimension 'L' as illustrated in figures 33–36 is 400mm or more.

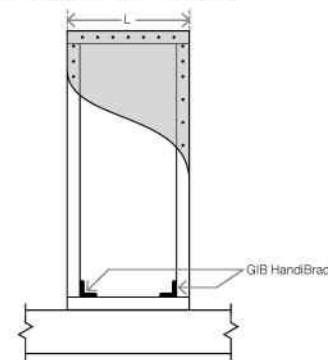
'H' type GIB EzyBrace® elements are identified by GIB® specification numbers GSP-H, BL1-H, BLG-H and BLP-H.

The length of an 'H' type element is not only determined by the sheet material, but also by the placement of the hold-down fixings.

Hold-down fixings cannot be placed closer together than what is shown for the standard panel in figure 33.

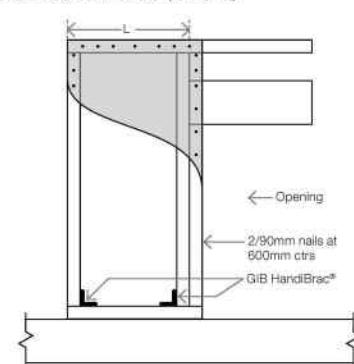
Hold-down fixings can be placed under windows provided sill trimming studs beneath the opening are connected to the bracing element using 8/90mm gun nails, as illustrated in figure 34.

FIGURE 33: BL BRACING ELEMENTS (OPTION A)



'H' type elements with specific hold downs
'L' indicates the length of the bracing element

FIGURE 35: BL BRACING ELEMENTS (OPTION C)



'H' type elements with specific hold downs
'L' indicates the length of the bracing element

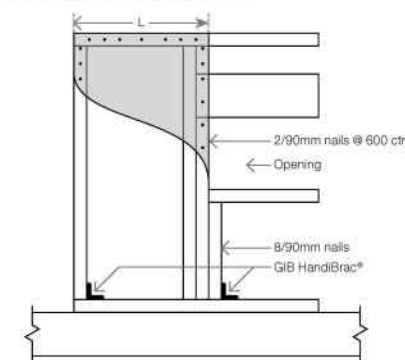
Spike doubling stud to trimming stud using a minimum of 2/90mm gun nails at 600mm centres. Lintel straps (where required for wind uplift) should be checked in and be located away from the bracing element fasteners.

Perimeter bracing fixing for linings of both 'H' and 'N' type elements is along the top and bottom plates, end stud, and doubling stud immediately adjacent to the opening as indicated in figures 34–36.

When using bracing straps, installed in accordance with p.17, fix the strap to the same framing member as shown for the GIB Handibrac® below, and install the adjacent anchor bolt in the same position as the GIB HandiBrac® bolt.

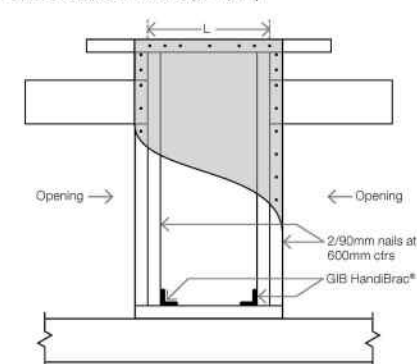
Fastener spacings and diagram scales shown in figures 33–36 are indicative only. Refer to p.23–30 for construction details.

FIGURE 34: BL BRACING ELEMENTS (OPTION B)



'H' type elements with specific hold downs
'L' indicates the length of the bracing element

FIGURE 36: BL BRACING ELEMENTS (OPTION D)



'H' type elements with specific hold downs
'L' indicates the length of the bracing element

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Warnock
Architecture Ltd

JOB TITLE

Proposed Alterations for
P. Foster at

32 Grandview Crescent

SHEET TITLE

Bracing Details

DATE	SCALE	JOB No.	SHEET No.
Apr'24		2449	A5.2
DRAWN	CHECKED	REVISION	
JH	RJW	A	

For Consent

200 mm
100
50
10mm



Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

GIB SYSTEM SPECIFICATIONS

GIB EzyBrace® Systems specification BL1-H

Specification code	Minimum length (m)	Lining requirement	Other requirements
BL1-H	0.4	10mm or 13mm GIB Braceline® to one side only	Hold downs

WALL FRAMING

Wall framing to comply with:

- NZBC B1 – Structure B1/AS1 Clause 3 Timber (NZS 3604:2011).
- NZBC B2 – Durability B2/AS1 Clause 3.2 Timber (NZS 3602).

Framing dimensions and height as determined by NZS 3604:2011 stud and top plate tables for load bearing and non-bearing walls. The use of kiln dried stress graded timber is recommended.

BOTTOM PLATE FIXING

Timber floor

Use panel hold downs at each end of the bracing element. The GIB HandiBrac® is recommended. See details in GIB EzyBrace® Systems or GIB® Site Guide.

Pairs of hand driven 100 x 3.75mm nails at 600mm centres; or Three power driven 90 x 3.15mm nails at 600mm centres.

Concrete floor

Use panel hold downs at each end of the bracing element. The GIB HandiBrac® is recommended. See details in GIB EzyBrace® Systems or GIB® Site Guide. Within the length of the bracing element bottom plates are to be fixed in accordance with the requirements of NZS 3604:2011.

WALL LINING

- A layer of 10mm or 13mm GIB Braceline®
- Sheets can be fixed vertically or horizontally.
- Sheet joints shall be touch fitted.
- Use full length sheets where possible.

PERMITTED ALTERNATIVES

For permitted GIB® plasterboard alternatives refer to p. 5 in GIB EzyBrace® Systems literature.

FASTENING THE LINING

Fasteners

32mm x 6g GIB® Grabber® High Thread Screws or 32mm x 7g GIB® Grabber® Dual Thread Screws. If using the GIBFix® Framing System or if fastening through GIBFix® Angles use only 32mm x 7g GIB® Grabber® Dual Thread Screws.

Fastener centres

50,100,150, 225, 300mm from maximum each corner and 150mm thereafter around the perimeter of the bracing element. For vertically fixed sheets place fasteners at 300mm maximum centres to the sheet joint. For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use daubs of GIBFix® adhesive at 300mm maximum centres to intermediate studs. Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any sheet end or cut edge.

JOINTING

Joint strength is important in delivering bracing system performance. All fastener heads stopped and all sheet joints GIB® Joint Tape reinforced and stopped in accordance with the GIB® Site Guide.

GIB SYSTEM SPECIFICATIONS

GIB EzyBrace® Systems specification BLG-H

Specification code	Minimum length (m)	Lining requirement	Other requirements
BLG-H	0.4	10mm or 13mm GIB Braceline® to one side of the frame plus any 10mm or 13mm GIB® plasterboard to the other side	Hold downs

WALL FRAMING

Wall framing to comply with:

- NZBC B1 – Structure B1/AS1 Clause 3 Timber (NZS 3604:2011).
- NZBC B2 – Durability B2/AS1 Clause 3.2 Timber (NZS 3602).

Framing dimensions and height as determined by NZS 3604:2011 stud and top plate tables for load bearing and non-bearing walls. The use of kiln dried stress graded timber is recommended.

BOTTOM PLATE FIXING

Timber floor

Use panel hold downs at each end of the bracing element. The GIB HandiBrac® is recommended. See details in GIB EzyBrace® Systems or GIB® Site Guide. Pairs of hand driven 100 x 3.75mm nails at 600mm centres; or Three power driven 90 x 3.15mm nails at 600mm centres.

Concrete floor

Use panel hold downs at each end of the bracing element. The GIB HandiBrac® is recommended. See details in GIB EzyBrace® Systems 2011 or GIB® Site Guide. Within the length of the bracing element bottom plates are to be fixed in accordance with the requirements of NZS 3604:2011.

WALL LINING

- A layer of 10mm or 13mm GIB Braceline® to one side of the wall plus any 10mm or 13mm GIB® plasterboard lining to the other side.
- Sheets can be fixed vertically or horizontally.
- Sheet joints shall be touch fitted.
- Use full length sheets where possible.

PERMITTED ALTERNATIVES

For permitted GIB® plasterboard alternatives refer to p. 5 in GIB EzyBrace® Systems literature.

FASTENING THE LINING

Fasteners

GIB Braceline® side: 32mm x 6g GIB® Grabber® High Thread Screws or 32mm x 7g GIB® Grabber® Dual Thread Screws. Other side: 32mm x 6g GIB® Grabber® High Thread Screws, 30mm GIB Nails or 32mm x 7g GIB® Grabber® Dual Thread Screws.

If using the GIBFix® Framing System or if fastening through GIBFix® Angles use only 32mm x 7g GIB® Grabber® Dual Thread Screws.

Fastener centres

50,100,150, 225, 300mm maximum from each corner and then 150mm thereafter around the perimeter of the bracing element. For vertically fixed sheets place fasteners at 300mm maximum centres to the intermediate sheet joints. For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use daubs of GIBFix® adhesive at 300mm maximum centres to intermediate studs. Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any sheet end or cut edge.

JOINTING

Joint strength is important in delivering bracing system performance. All fastener heads stopped and all sheet joints GIB® Joint Tape reinforced and stopped in accordance with the GIB® Site Guide.

The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes



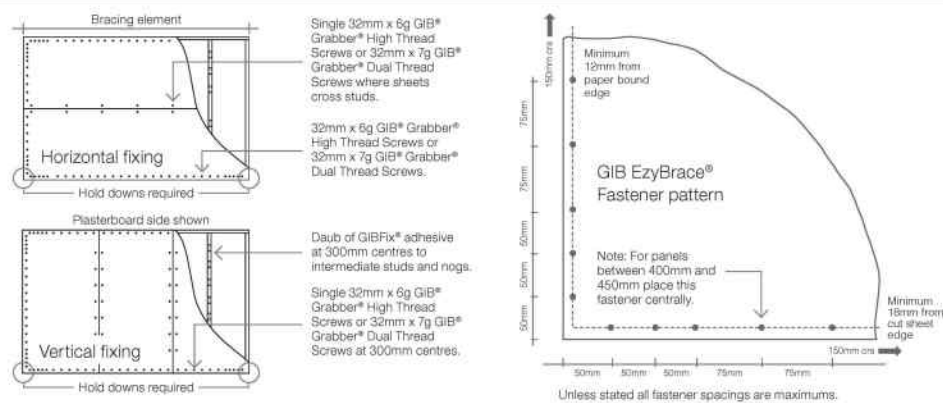
JOB TITLE
Proposed Alterations for P. Foster at

32 Grandview Crescent

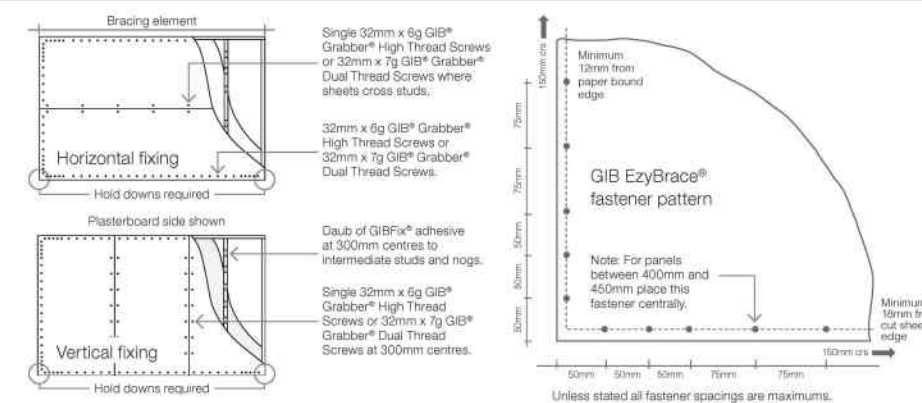
SHEET TITLE
Bracing Details

DATE	SCALE	JOB No.	SHEET No.
Apr'24		2449	A5.3
DRAWN	CHECKED	REVISION	
JH	RJW	A	

For Consent



In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow the specifications. This specification sheet is issued in conjunction with the publication GIB EzyBrace® Systems



In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow the specifications. This specification sheet is issued in conjunction with the publication GIB EzyBrace® Systems



Revision Schedule		
Ref.	Date	Description
A	18.04.24	For Consent

MiTek
LUMBERLOK

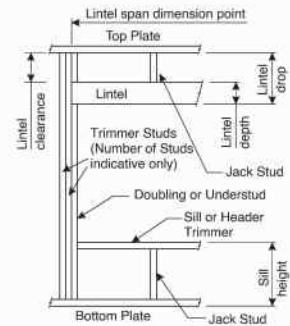
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LINTEL FIXING SCHEDULE
ALTERNATIVE TO TABLE 8.14 & FIGURE 8.12
NZS 3604:2011

NOTE:

- All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20kPa
- Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist horizontal loads
- These fixings assume the correct choice of rafter/truss to top plate connections have been made
- All fixings assume bottom plate thickness of 45mm maximum
- Note: TYLOK options on timber species
- Wall framing arrangements under girder trusses are not covered in this schedule
- All timber selections are as per NZS 3604:2011

DEFINITIONS



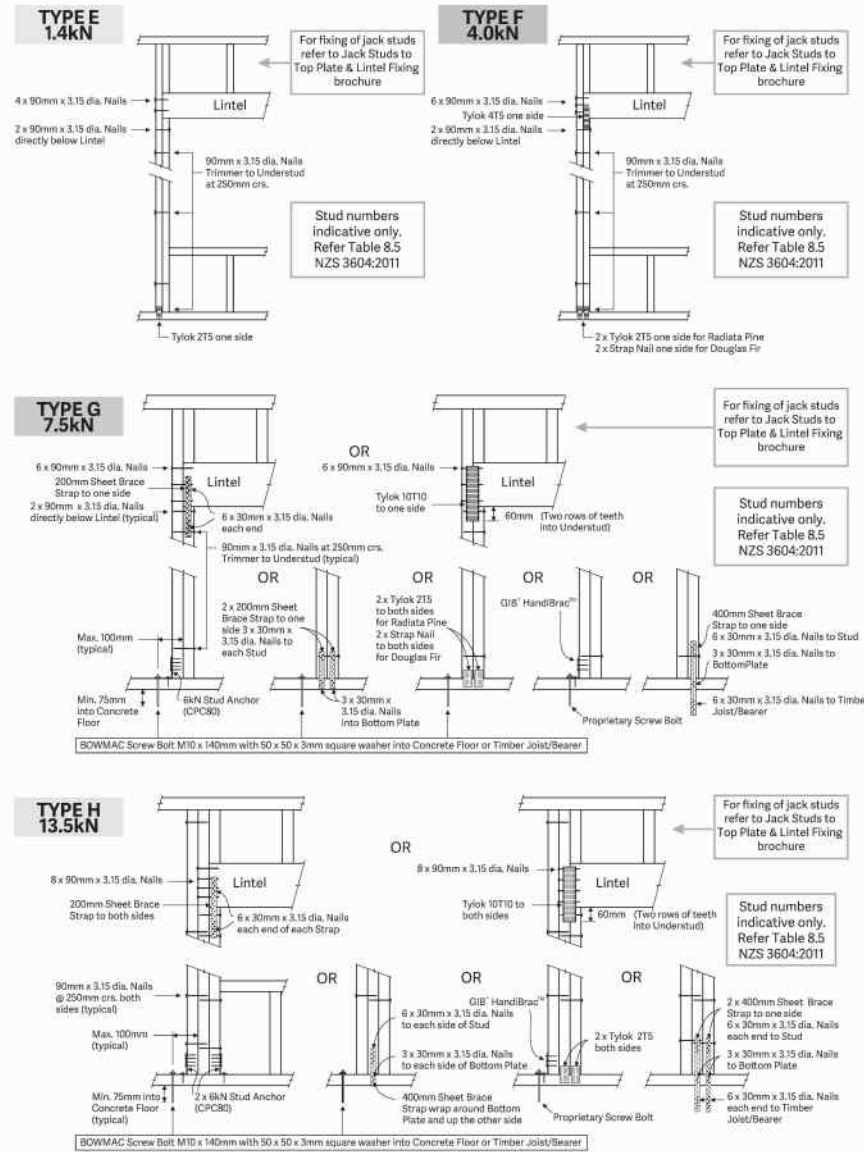
Roof Tributary Area	Lintel Supporting Girder Trusses						
	Light Roof			Heavy Roof			
	Wind Zone		EH	Wind Zone		EH	
	L	M	VH	L	M	VH	EH
8.6m²	G	G	H	G	G	H	
11.6m²	G	H	H	G	G	H	
12.1m²	G	H	H	G	H	H	
15.3m²	H	H	-	G	H	H	
19.1m²	H	-	-	G	H	-	
20.9m²	H	-	-	H	H	-	
21.8m²	H	-	-	H	-	-	
34.3m²	-	-	-	H	-	-	

NOTES:

- Roof Tributary Area = approx. 1/2 x (Total roof area on girder and rafter trusses supported by lintel)
- Assumed girder truss is at mid-span or middle third span of lintel
- Use similar fixings for both ends of lintel
- All other cases require specific engineering design

Lintel Span (m)	Loaded Dimension (m) (See Fig. 1.3 NZS 3604:2011)	Selection Chart for Lintel Fixing								
		Light Roof Wind Zone				Heavy Roof Wind Zone				
		L	M	H	VH	L	M	H	VH	EH
1.0	2.0	E	E	E	F	F	E	E	E	F
	3.0	E	E	F	F	F	E	E	E	F
	4.0	E	F	F	F	G	E	E	F	F
	5.0	E	F	F	G	G	E	E	F	F
	6.0	E	F	F	G	G	E	E	F	F
1.2	2.0	E	E	F	F	F	E	E	E	F
	3.0	E	E	F	F	F	E	E	F	F
	4.0	E	F	F	G	G	E	E	F	F
	5.0	E	F	F	G	G	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F
1.5	2.0	E	E	F	F	F	E	E	E	F
	3.0	E	E	F	F	F	E	E	F	F
	4.0	E	F	F	G	G	E	E	F	F
	5.0	F	F	G	H	H	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F
2.0	2.0	F	F	G	H	H	E	E	F	F
	3.0	F	F	G	H	H	E	E	F	F
	4.0	F	F	G	H	H	E	E	F	F
	5.0	F	F	G	H	H	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F
2.4	2.0	F	F	G	H	H	E	E	F	F
	3.0	F	F	G	H	H	E	E	F	F
	4.0	F	F	G	H	H	E	E	F	F
	5.0	F	F	G	H	H	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F
3.0	2.0	F	F	G	H	H	E	E	F	F
	3.0	F	F	G	H	H	E	E	F	F
	4.0	F	F	G	H	H	E	E	F	F
	5.0	F	F	G	H	H	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F
3.6	2.0	F	F	G	H	H	E	E	F	F
	3.0	F	F	G	H	H	E	E	F	F
	4.0	F	F	G	H	H	E	E	F	F
	5.0	F	F	G	H	H	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F
4.2	2.0	F	F	G	H	H	E	E	F	F
	3.0	F	F	G	H	H	E	E	F	F
	4.0	F	F	G	H	H	E	E	F	F
	5.0	F	F	G	H	H	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F
4.5	2.0	F	F	G	H	H	E	E	F	F
	3.0	F	F	G	H	H	E	E	F	F
	4.0	F	F	G	H	H	E	E	F	F
	5.0	F	F	G	H	H	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F
4.8	2.0	F	F	G	H	H	E	E	F	F
	3.0	F	F	G	H	H	E	E	F	F
	4.0	F	F	G	H	H	E	E	F	F
	5.0	F	F	G	H	H	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F
5.1	2.0	F	F	G	H	H	E	E	F	F
	3.0	F	F	G	H	H	E	E	F	F
	4.0	F	F	G	H	H	E	E	F	F
	5.0	F	F	G	H	H	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F
5.4	2.0	F	F	G	H	H	E	E	F	F
	3.0	F	F	G	H	H	E	E	F	F
	4.0	F	F	G	H	H	E	E	F	F
	5.0	F	F	G	H	H	E	E	F	F
	6.0	F	F	G	H	H	E	E	F	F

LINTEL FIXING OPTIONS
(Characteristic Uplift)



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The Contractor shall verify all dimensions on site before commencing construction. Do not scale off drawings. Documents are for obtaining building consent and construction not suitable for fixed price contracts or quotes

Warnock
Architecture Ltd

JOB TITLE

Proposed Alterations for
P. Foster at

32 Grandview Crescent

SHEET TITLE

Fixing Details

DATE	SCALE	JOB No.	SHEET No.
Apr'24		2449	A6.0
DRAWN	CHECKED	REVISION	
JH	RJW	A	

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ORIGINAL SHEET SIZE A3 [420x297]

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Revision Schedule		
Ref.	Date	Description
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DURABILITY PRODUCT SELECTION ALTERNATIVE SOLUTION TO TABLE 4.1 NZS 3604:2011

Zones	Fixings	Environment	Product Option
All Zones	Nail plates and timber connectors All other structural fixings	Closed	GANG-NAIL and LUMBERLOK Standard Zinc Coated Product ⁽¹⁾ BOWMAC Hot Dip Galvanised ⁽²⁾
Zone D	Structural fixings	Sheltered and Exposed	LUMBERLOK Stainless Steel 304 ⁽³⁾ BOWMAC Stainless Steel 304 ⁽³⁾
Zones B and C	Timber pile fixings MORE than 600mm from ground	Sheltered Subfloors vented 7000mm ² /m ² or less	LUMBERLOK Hot Dip Galvanised ⁽⁴⁾ BOWMAC Hot Dip Galvanised ⁽²⁾
		Exposed Subfloors vented 7000mm ² /m ² or more	LUMBERLOK Stainless Steel 304 ⁽³⁾ BOWMAC Hot Dip Galvanised ⁽²⁾
	Timber pile fixings LESS than 600mm from ground	Sheltered and Exposed	LUMBERLOK Stainless Steel 304 ⁽³⁾
		Sheltered	LUMBERLOK Hot Dip Galvanised ⁽⁴⁾ BOWMAC Hot Dip Galvanised ⁽²⁾
All other structural fixings	Exposed	LUMBERLOK Stainless Steel 304 ⁽³⁾ BOWMAC Hot Dip Galvanised ⁽²⁾	

- All GANG-NAIL®, LUMBERLOK® and BOWMAC® product complies with Table 4.2 NZS 3604:2011.
- LUMBERLOK and BOWMAC Stainless Steel product is 304 grade. Regular washing and maintenance will positively affect long term appearance of these items.
- BOWMAC Hot Dip Galvanised product is to AS/NZS 4680 to 600g/m². Treated timber should have 2 - 3 weeks curing time to allow chemical preservatives to be "fixed" and for moisture content to be 20% or less. Apply grease to bolts for additional protection.
- LUMBERLOK Hot Dip Galvanised product is to AS/NZS 4680 to 390g/m²

NOTES

Items above refer to GANG-NAIL®, LUMBERLOK® and BOWMAC® product marketed for specific applications with a requirement to last 50 years as an alternative solution to Table 4.1 NZS 3604:2011.

The MiTek New Zealand Limited Durability Flow Chart for product selection is derived from this alternative solution to Table 4.1 NZS 3604:2011. Definitions of zones and environments are derived from NZS 3604:2011.

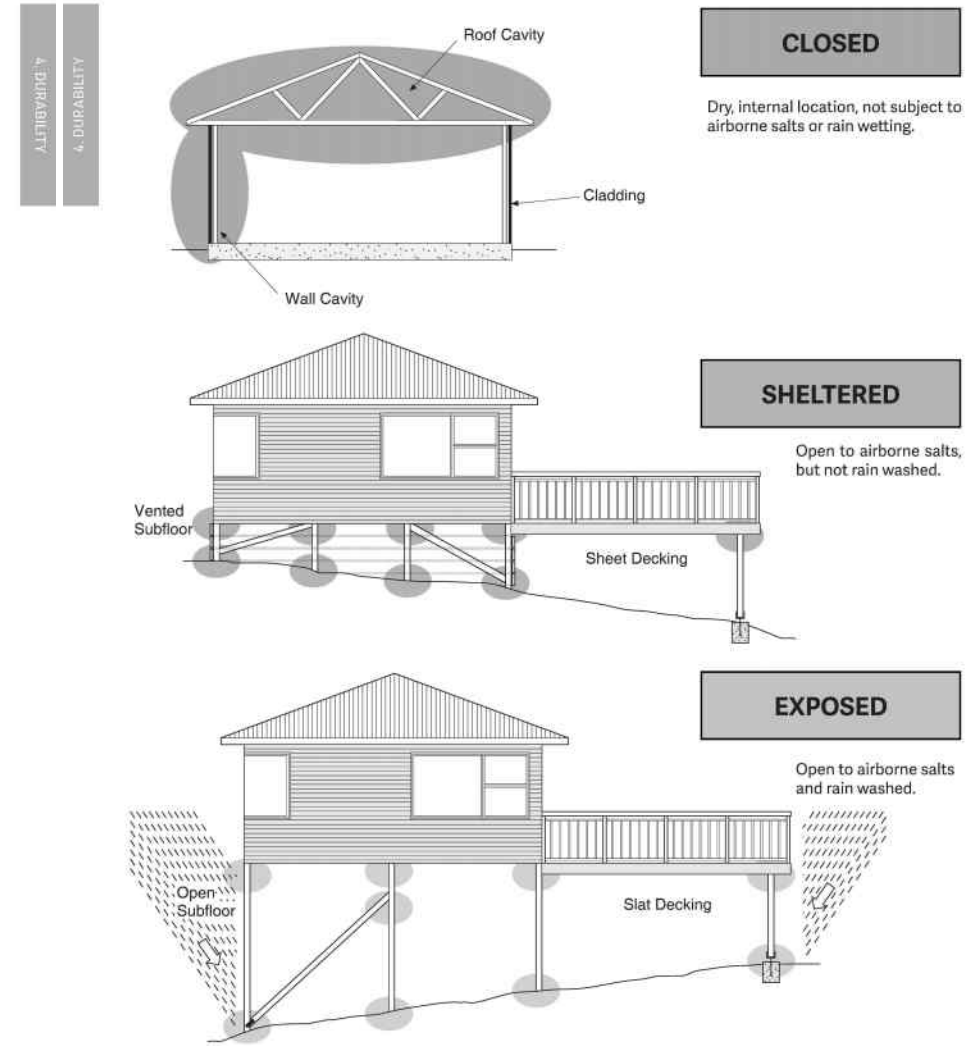
Supporting documents available for this alternative solution:-
Les Boulton and Associates. Materials and Corrosion Consultants Report 00330: Evaluation of Bracket Durability; NZS 3604, Report 01372: Corrosion of BOWMAC Fixings in Treated Timber and Report 181217: Durability Appraisal of BOWMAC Structural Brackets
Optimech Services Metallurgical Consultancy Test Certificate Reports No: 00-134 BOWMAC and No: 01-023 LUMBERLOK Determination of Galvanising Coating thickness.
Product Statements for LUMBERLOK and BOWMAC products.

Content from NZS 3604:2011 Table 4.1 adapted by MiTek New Zealand Limited with permission from Standards New Zealand under Copyright Licence 000907. Please see Standard for full details, available from www.standards.co.nz.

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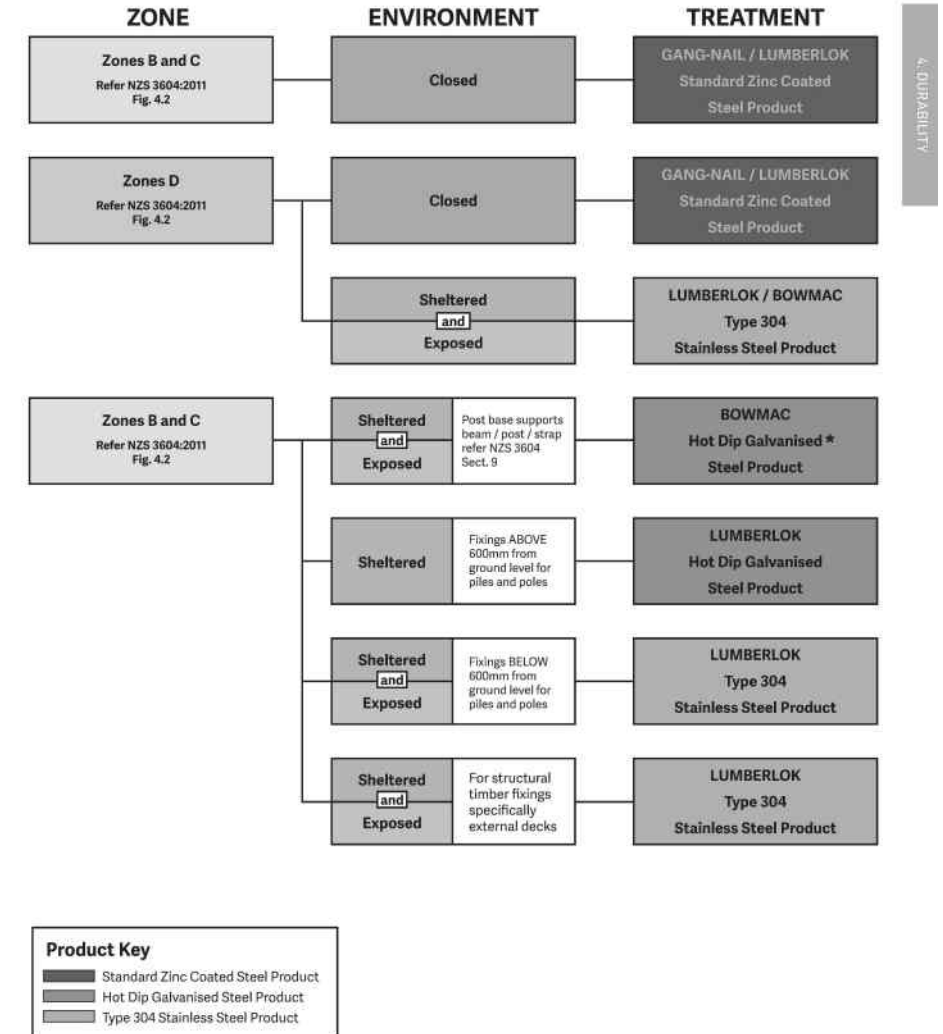
DURABILITY FLOW CHART



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DURABILITY FLOW CHART



* See note 3 on Durability Product Selection Table.

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JOB TITLE

Proposed Alterations for P. Foster at
32 Grandview Crescent

SHEET TITLE

Durability Charts

DATE Apr24	SCALE	JOB No. 2449	SHEET No.
DRAWN JH	CHECKED RJW	REVISION A	A6.1

