

Village of East Aurora Planning Commission

Agenda

Tuesday, October 4, 2022, at 7 p.m.

Call to Order	Chair
Introduction of Planning Commission Members	Chair
Approval of Meeting Minutes	Chair

September 13, 2022

New Business

- **20, 26 & 30 Grey Stret-**Site Plan and Special Use Permit
- **70/71 Pine Stret-** Special Use Permit

Member Consideration

Adjournment

Randy West – Chair
Daniel Castle – Member
Allen A. Ott. Jr. – Member
Geoff Hintz – Member
Arron Fisher – Member
Dale Morris – Member
Stacy Oar - Member
Cornell “Bud” Babcock – Alternate Member

Elizabeth Cassidy – Code Enforcement Officer
Chris Trapp – Village Attorney
Jessica Taneff – Planning Commission Secretary
Marcia Kimmel-Hurt Liaison

August 26, 2022

VIA HAND DELIVERY

Peter M. Mercurio, Mayor and Members of the Village Board
Village of East Aurora
575 Oakwood Avenue
East Aurora, New York 14052

Re: 20, 26 & 30 Grey Street, East Aurora (BDP# 2516)
Site Plan and Special Use Permit Application for AutoZone

Dear Mayor Mercurio and Members of Board:

Enclosed please find our updated site plan and building elevations in connection with the above-referenced property. As you are aware, Benderson submitted applications for site plan approval and a Special Use Permit to develop the above-referenced property with a 7,381 s.f. AutoZone. The plans have been updated to remove the previously shown 2,500 s.f. building pad along Hamburg Street and instead labels this area as future development and as such are not requesting any approval for portion of the property.

The Subject Property

The subject property contains 20, 26 and 30 Grey Street; is “L”- shaped and maintains frontage on both Grey Street and Hamburg Street. An aerial depicting the property is attached as **Exhibit A**. It is improved with a vacant bank building with three drive-through lanes. The property currently maintains three curb cuts onto Grey Street and a single full access curb cut on Hamburg Street. The property is located in the Limited Commercial Residential (LCR) zoning district. Permitted uses exceeding a 2,500 square foot building footprint require a special use permit from the Village Board.

The subject property is uniquely located in the Village of East Aurora as demonstrated by **Exhibit B**. Across Grey Street, to the west, is the largest shopping center in the Village, anchored by Tops (A photograph looking across the street from the subject property is attached as **Exhibit C**). Abutting the property to the north is McDonald’s (A photograph the McDonalds is attached as **Exhibit D**). To the east, across Hamburg Street, are Tim Horton’s and Exxon (Photographs of the Tim Hortons and Exxon are attached as **Exhibit E**). To the south, between the subject property and Douglas Street is the Montessori School which is improved with buildings and a parking lot. (A photograph the Montessori School is attached as **Exhibit F**). The Montessori School is a two-story building in excess of 24’ in height.

The Proposed Project

The proposed project includes the demolition of the existing bank building and the construction of a new 7,381 s.f. AutoZone located along Grey Street. As part of the project, the driveways along Grey Street will be consolidated to a single driveway located to the south of the proposed AutoZone. Parking will be located to the side and the rear of the proposed AutoZone. Along Hamburg Street, the full access driveway will be converted to a right in/right out driveway and a future development pad will be left as a grassed area until we have a proposed project.

Project Changes

Since the submission of this project almost one year ago, the project has undergone substantial changes to address issues raised by the Planning Commission. Those modifications include:

- The existing driveway on Hamburg Street has been shifted away from the intersection and converted from full access to a right-in/right-out driveway;
- The proposed connection between Grey Street and Hamburg Street has been curved and two speed tables have been added to slow down traffic that may travel through the subject property;
- A 6' high solid fence has been added between the subject property and the Montessori School property and additional landscaping has been proposed along the fence and along Grey Street;
- The building architecture has been completely revised with respect to materials, height and horizontal and vertical break-up of the building. The building has been redesigned to give the impression of three storefronts along Grey Street. The base height of the building is 21', consistent with both the 2-story residential buildings in the area and the other commercial buildings on Grey Street. Further, the three elements along the street height to 23' to 26' also consistent with the surrounding area. The pitched roof utilizes gray architectural asphalt shingles. Other materials include: brick, plank siding and vertical siding; effectively tying the building into the other architecture in the area. Further, the architecture and materials carry through onto all four sides of the building. The result is that there are no large, blank walls

Special Use Permit

Village Code § 285-52.4 provides that before issuing a decision for a special use permit, the Village Board shall make specific written findings that the proposed use:

- A. Will be generally consistent with the goals of the Village Comprehensive Plan.

Response: Yes, the project is generally consistent with the goals of the Village Comprehensive Plan. The proposed use of the property is consistent with those permitted in the LCR Zoning. The AutoZone building is a good transition between the large Tops Shopping Center and the residential uses along Hamburg Street. The proposed building transitions from the large shopping center with significantly larger buildings, to the 7,381 s.f. AutoZone and then to an eventual 2,500 s.f. building on Hamburg Street.

- B. Will meet all relevant criteria set forth in this chapter.

Response: Yes, the project is generally consistent with the goals of the LCR zoning. The proposed use and design of the property is consistent with those permitted in the LCR Zoning. The AutoZone building is a good transition between the large Tops Shopping Center and the residential uses along Hamburg Street.

- C. Will be compatible with existing uses adjacent to and near the property.



Response: Yes, the proposed use and design will be compatible to the existing uses adjacent to and near to the property. As noted above, the project site is located in a commercial area within the Village of East Aurora, improved with other commercial uses as demonstrated by the aerial photograph attached as **Exhibit B**. Across the street from the Project site, on Grey Street, is the Tops Shopping Center, the largest shopping center in East Aurora. To the north are McDonalds and Kwikfill. To the south of is the Montessori school. And on Hamburg Street, across from the project site, is an Exxon gas station and Tim Hortons. The design of the site and the proposed use are compatible with those uses.

Further, similar sized buildings continue from the subject property along Grey Street, heading south to Quaker Road. This includes the Key Bank, Good Year, M&T Bank, the shopping center that includes Supercuts and Leo's Pizza and Monroe Tire. All of those buildings exceed the 2,500 s.f. limitation and many are similar in size, if not larger, than the proposed AutoZone.

- D. Will not create a hazard to health, safety or the general welfare of the public.

Response: The project will not create a hazard to the health, safety or the general welfare of the public. The project results in the closing of two driveways onto Grey Street which will improve traffic safety. Further, the project converts the full access driveway on Hamburg Street to right-in/right-out. Moreover, the project has been designed to comply with the LCR zoning with the building fronting Grey Street,

- E. Will not alter the essential character of the neighborhood nor be detrimental to the neighborhood residents.

Response: As noted above, the project site is located in a commercial area within the Village of East Aurora, improved with other commercial uses as demonstrated by the aerial photograph attached as **Exhibit B**. Across the street from the Project site, on Grey Street, is the Tops Shopping Center, the largest shopping center in East Aurora. To the north are McDonalds and Kwikfill. To the south of is the Montessori school. And on Hamburg Street, across from the project site, is a Speedway gas station.

Further, similar sized buildings continue from the subject property along Grey Street, heading south to Quaker Road. This includes the Key Bank, Good Year, M&T Bank, the shopping center that includes Supercuts and Leo's Pizza and Monroe Tire. All of those buildings exceed the 2,500 s.f. limitation and many are similar in size, if not larger, than the proposed AutoZone.

As such, the project will not alter the essential character of the neighborhood nor be detrimental to the neighborhood residents.

- F. Will not be a nuisance to neighboring land uses in terms of the production of obnoxious or objectionable noise, dust, glare, odor, refuse, fumes, vibrations, unsightliness, contamination or other similar conditions.

Response: The project is a retail project as such it will not result in the production of obnoxious or objectionable noise, dust, glare, odor, refuse, fumes, vibrations, unsightliness, contamination or other similar conditions.



- G. Will not cause undue harm to or destroy existing sensitive natural features on the site or in the surrounding area or cause adverse environmental impacts such as significant erosion and/or sedimentation, slope destruction, flooding or ponding of water, or degradation of water quality.

Response: No natural sensitive features exist on the project site or in the surrounding area. A majority of the subject property is improved with the former Bank of America and paved, the remainder is situated in a commercial area between the former Bank of America and McDonalds. The project will meet the requirements of the New York State Stormwater management regulations.

- H. Will not destroy or adversely impact significant historic and/or cultural resource sites.

Response: The project site is a former bank with drive-thru lanes. No significant historic and/or cultural resources exist on-site or in the immediate vicinity.

- I. Will provide adequate landscaping, screening or buffering between adjacent uses which are incompatible with the proposed project.

Response: The project meets the requirements of the LCR zoning, Moreover, the project exceeds the greenspace requirement and provides significant landscaping.

- J. Will not otherwise be detrimental to the public convenience and welfare.

Response: The project will not be detrimental to public convenience.

We look forward to meeting with the Village to review this application and are excited to fill a long-vacant tenant space with an exciting new tenant: AutoZone. Should you require any additional information, please do not hesitate to contact me at by phone at (716) 878-9626 or by e-mail at JMB@Benderson.com.

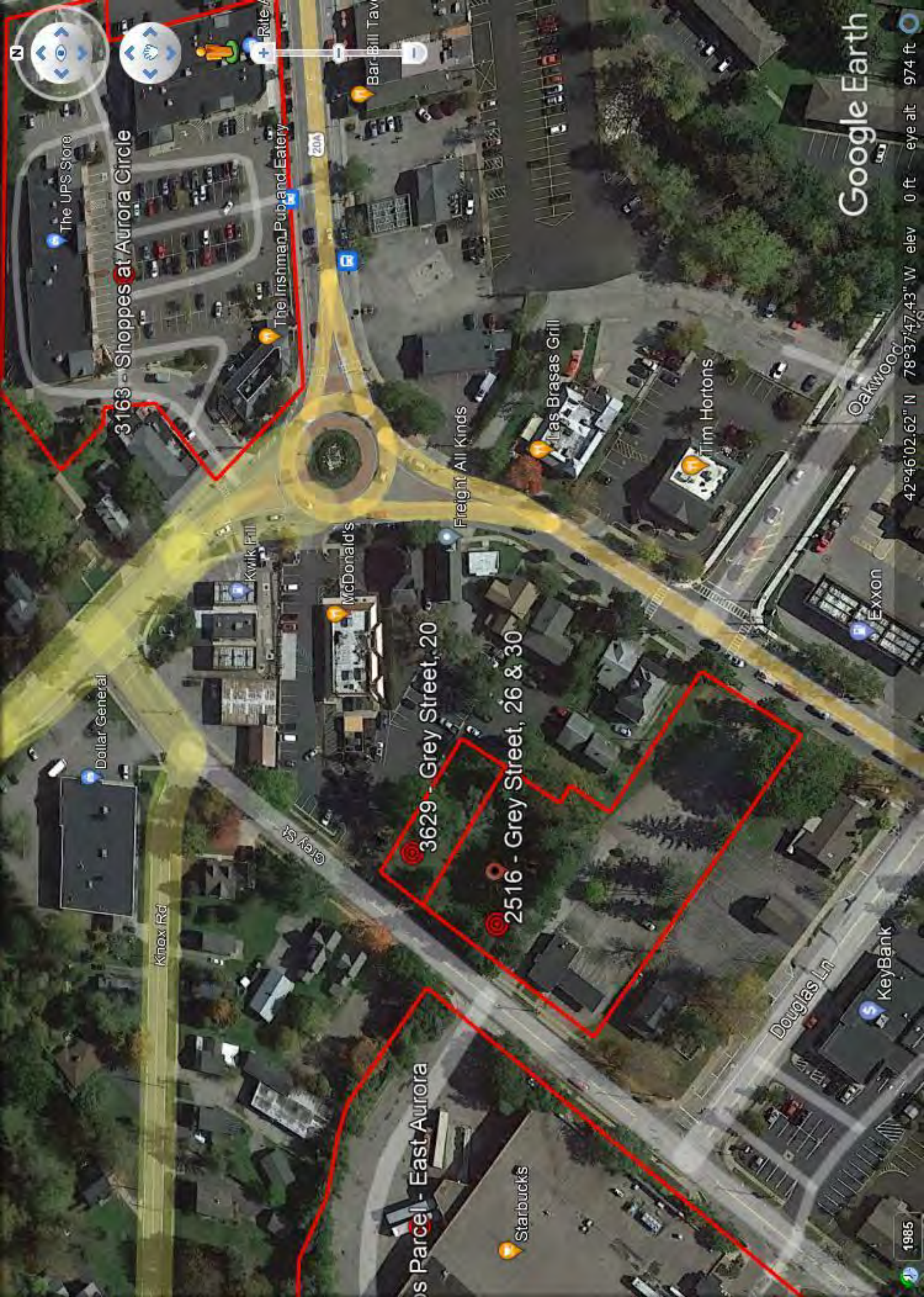
Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC

James A. Boglioli

James A. Boglioli, Esq.

Enc.

Exhibit A



Dollar General

Knox Rd

3163 - Shoppes at Aurora Circle

Kwik Fill

McDonald's

Parcel - East Aurora

3629 - Grey Street, 20

Starbucks

2516 - Grey Street, 26 & 30

Freight All Kinds

Las Brabras Grill

Tim Hortons

KeyBank

Exxon

Oakwood

Google Earth

1985

0 ft

elev

0 ft

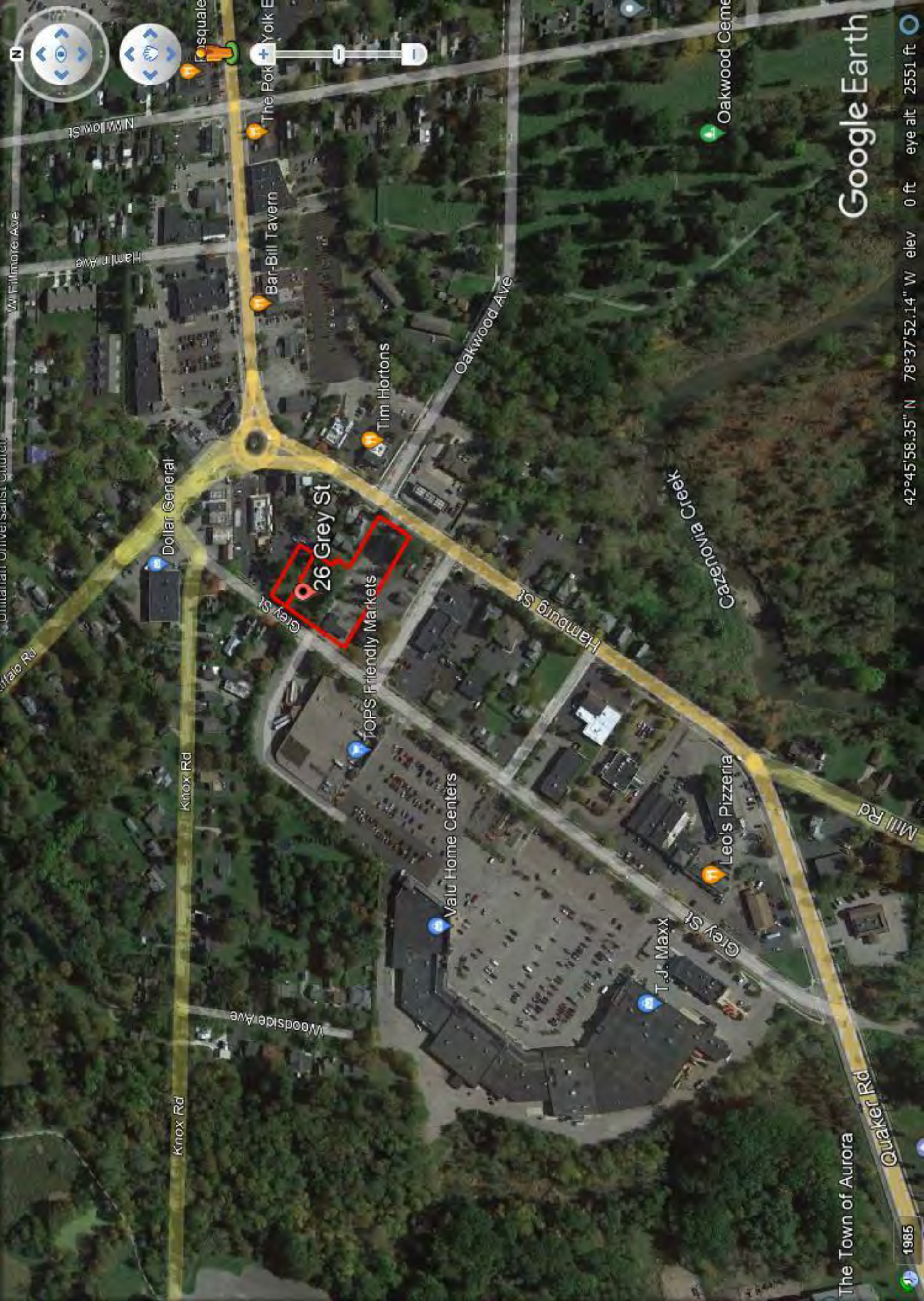
eye alt

974 ft

42°46'02.62" N

78°37'47.43" W

Exhibit B



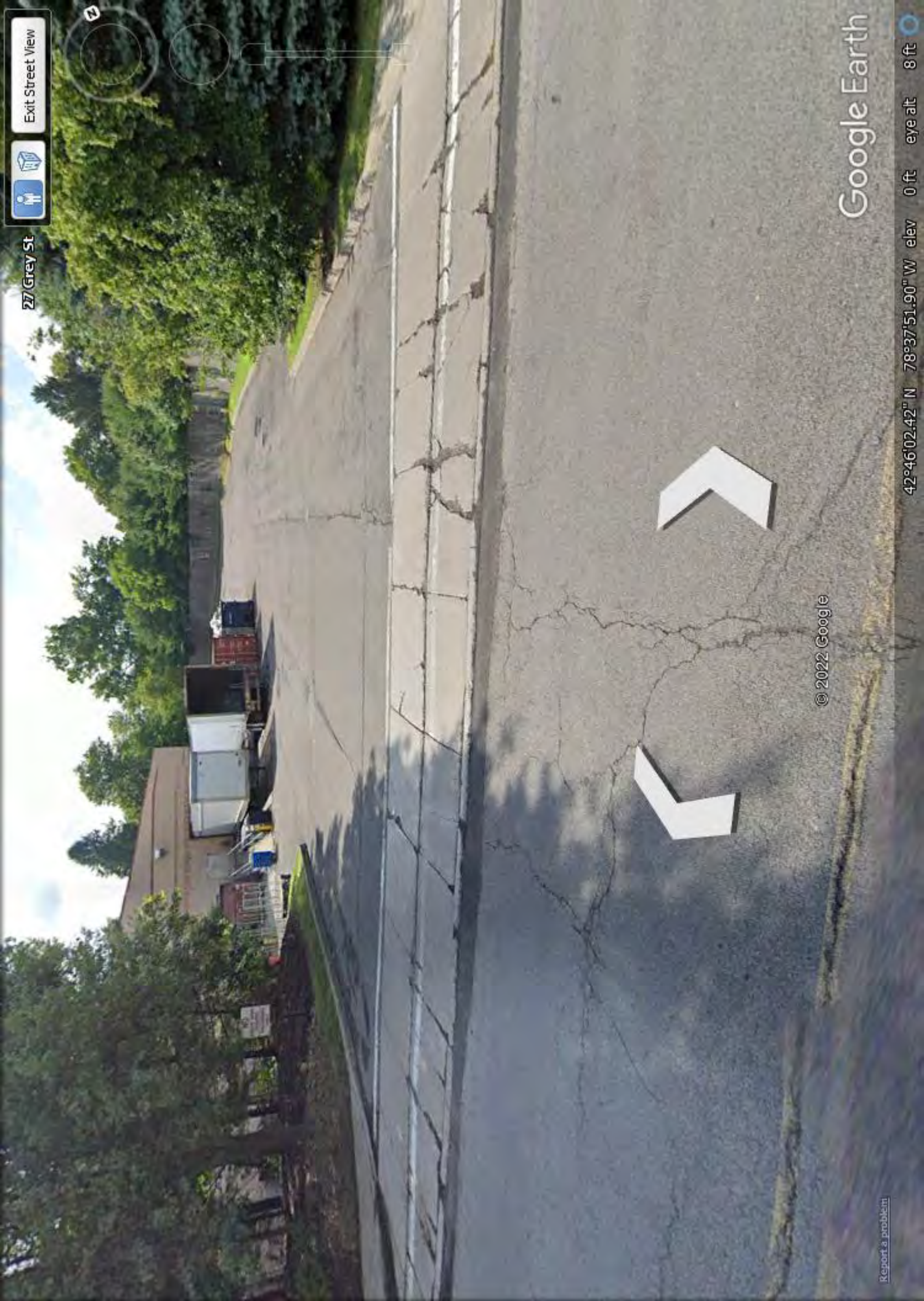
The Town of Aurora

Google Earth

1985

42°45'58.35" N 78°37'52.14" W elev 0 ft eye alt 2551 ft

Exhibit C



27 Grey St



Exit Street View

© 2022 Google

Google Earth

[Report a problem](#)

42°46'02.42" N 78°37'51.90" W elev 0 ft eye alt 8 ft

Exhibit D



15 Grey St

Exit Street View



2

3

© 2022 Google

Google Earth

[Report a problem](#)

42°46'03.58" N 78°37'50.14" W elev 1 ft eye alt 8 ft

Exhibit E



50 US-20A



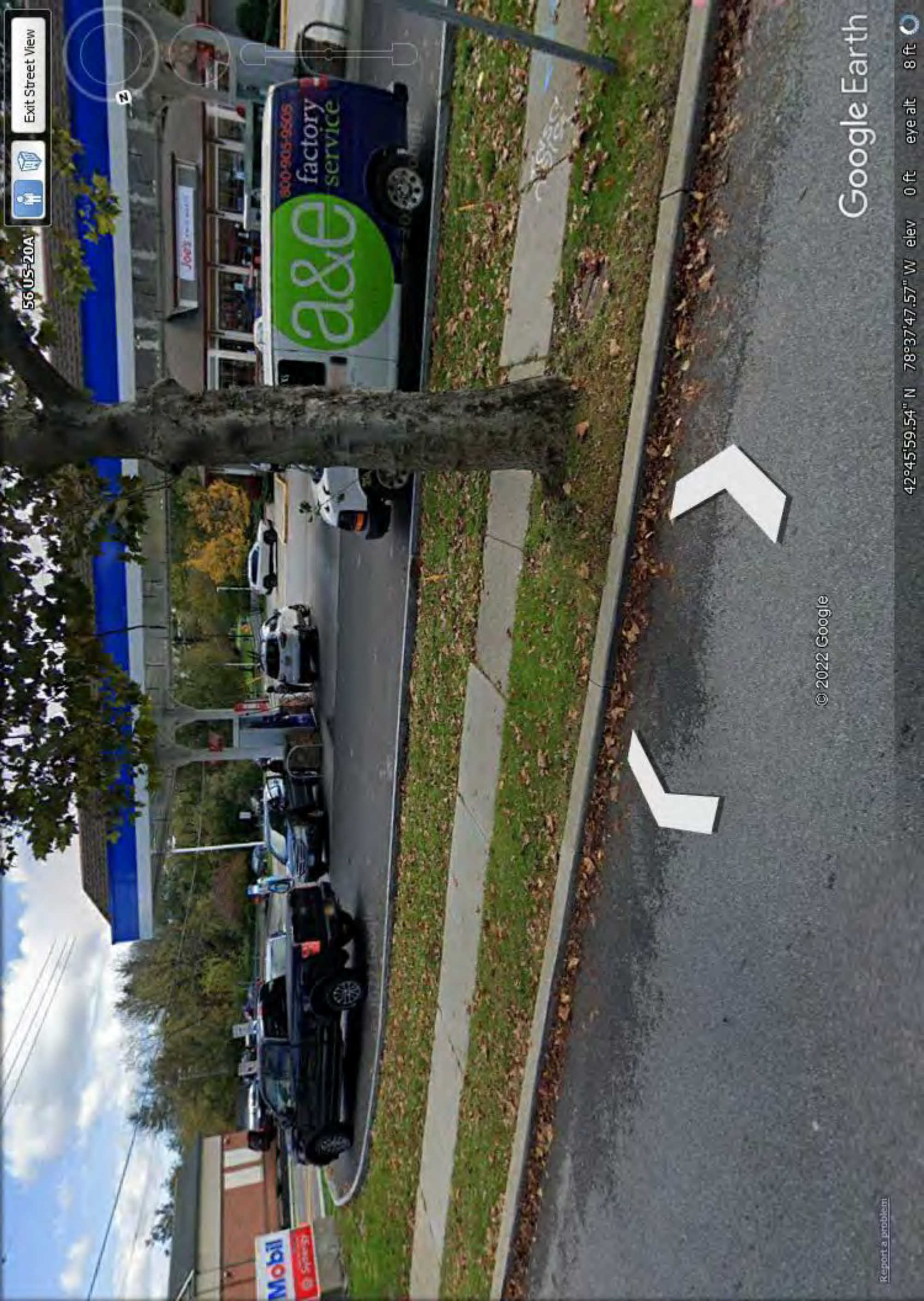
Exit Street View

© 2022 Google

[Report a problem](#)

Google Earth

42°46'00.15" N 78°37'46.99" W elev 0 ft eye alt 8 ft



56 US-20A



Exit Street View

2

© 2022 Google

Google Earth

[Report a problem](#)

42°45'59.54" N 78°37'47.57" W elev 0 ft eye alt 8 ft

Exhibit F



50 Grey St



Exit Street View

© 2022 Google

Google Earth

[Report a problem](#)

42°46'00.95" N 78°37'52.24" W elev 1 ft eye alt 8 ft

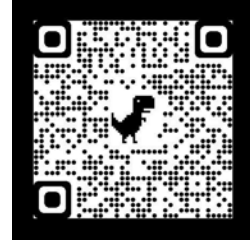


- 1 TWO PIECE COMPRSSION COPING-COLOR: BLACK
- 2 CANOPY PITCHED ROOF-TIMBERLINE ARMORSHIELD II ARCHITECTURAL SHINGLES COLOR: PEWTER GRAY
- 3 UTILITY BRICK WAINSCOT-GLEN GERY BRICK: GENESEE MATT (MATERIAL 1) W/ BEVELED EDGE ROWLOCK TOP COURSE-1" PROJECTION
- 4 TRIPLE SOLDIER COURSE BASE - UTILITY BRICK GLEN GERY BRICK: GENESEE MATT (MATERIAL 1)
- 5 UTILITY BRICK-GLEN GERY BRICK: GENESEE MATT RUNNING BOND COURSE (MATERIAL 1)
- 6 UTILITY BRICK CANOPY COLUMNS-GLEN GERY BRICK: GENESEE MATT (MATERIAL 1) W/ BEVELED EDGE ROWLOCK TOP COURSE-1" PROJECTION
- 7 HARDIE SHINGLE SIDING / STRAIGHT EDGE COLOR: LIGHT MIST (MATERIAL M2)
- 8 HARDIE PLANK LAP SIDING / SMOOTH COLOR: LIGHT MIST (MATERIAL 3)
- 9 HARDIE PLANK VERTICAL SIDING / SMOOTH COLOR: LIGHT MIST (MATERIAL 4)
- 10 HARDIE TRIM BOARD (MATERIAL 7)
- 11 FAUX WINDOWS-BLACK OPAQUE GLASS & ANODIZED FINISH MULLIONS W/ (MATERIAL 5) TRIM BOARDS
- 12 MFG. EXTERIOR INSULATION FINISH-PAINTED: WHITE
- 13 DECORATIVE LOUVRE-HARDIE BOARD TRIM
- 14 ALUMINUM STOREFRONT-RED KYNAR FINISH
- 15 GLASS & ALUMINUM DOORS-CLEAR ANODIZED FINISH
- 16 PAINT MAN DOOR TO MATCH NIGHT GRAY TRIM METAL FRAMES BLACK
- 17 OVERHEAD DELIVERY DOOR W/ ANODIZED FINISH-PAINT ANGLES BLACK
- 18 WALL MOUNTED LED FIXTURE-COLOR: BRONZE
- 19 STEEL PIPE GUARD W/ SLEEVE-COLOR: BRONZE
- 20 FRONT WALL SIGN - 36" CHANNEL LTRS - LSTRP
- 21 TOILET WALL VENTS PAINTED COLOR C1
- 22 ROOF LINE / STRUCTURE BEYOND
- 23 RTU'S FULLY SCREENED BEHIND PARAPET WALL

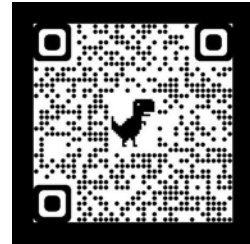
2 ELEVATION KEY NOTES



GLEN GERY BRICK VENEER & WAINSCOT: GENESEE MATT (MATERIAL 1)



HARDIE BOARD: SHINGLE SIDING - STRAIGHT EDGE COLOR: LIGHT MIST (MATERIAL 2)



HARDIE BOARD: LAP SIDING - SMOOTH COLOR: LIGHT MIST (MATERIAL 3)



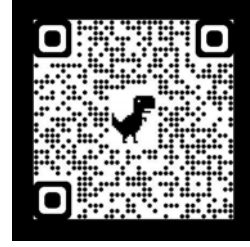
HARDIE BOARD: VERTICAL SIDING - SMOOTH COLOR: LIGHT MIST (MATERIAL 4)



HARDIE TRIM BOARD-SMOOTH COLOR: LIGHT MIST - 3.5"WD. @ ALL WINDOWS COLOR: ARCTIC WHITE (MATERIAL 5)



HARDIE TRIM BOARD-SMOOTH COLOR: LIGHT MIST - 5.5"WD @ ALL BLDG. CORNERS COLOR: ARTIC WHITE (MATERIAL 6)



HARDIE TRIM BOARD-SMOOTH COLOR: LIGHT MIST - 9.5"WD @ HORIZONTAL WALL DIVIDER COLOR: ARCTIC WHITE COLOR: LIGHT MIST @ SIGN AREA (MATERIAL 7)

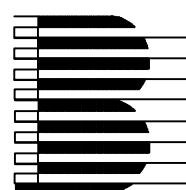
3 MATERIALS

CE1	7N2-L	05/14/21	<div>Architect: Lew Ellis - c/o: AutoZone Parts Inc 123 South Front Street Memphis, Tennessee 38103 TEL: 901-495-8600 FAX: (901) 495-8969 For Bidding & Contractor Information Contact: McGraw - Hill Construction Tel. 615-884-1017 www.construction.com</div>	AutoZone Store No. 5061					
				GREY ST					
				EAST AURORA NY 15042					
				COLOR EXTERIOR ELEVATIONS & NOTES					
				REVISIONS					
				1	REV1	4	REV4		
				2	REV2	5	REV5		
				3	REV3	6	REV6		

SITE DEVELOPMENT DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
C1.0	COVER SHEET	2	08.02.2022
C2.0	EXISTING SURVEY		
C3.0	DEMOLITION & EROSION CONTROL PLAN	2	08.02.2022
C3.1	DEMOLITION & EROSION CONTROL DETAILS		
C4.0	OVERALL SITE PLAN	2	08.02.2022
C4.1	CONSTRUCTION DETAILS	2	08.02.2022
C4.2	NYSDOT DETAILS		
C5.0	GRADING PLAN	2	08.02.2022
C5.1	DRAINAGE PLAN	2	08.02.2022
C5.2	DRAINAGE DETAILS		
C6.0	UTILITY PLAN	2	08.02.2022
C6.1	UTILITY DETAILS		
C7.0	LANDSCAPING PLAN	2	08.02.2022
C8.0	LIGHTING PLAN	2	08.02.2022

NAME: BENDERSON DEVELOPMENT COMPANY, LLC
ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202
CONTACT: DAVID ZUPPELLI
PHONE: 716 - 878 - 9683



570 Delaware Ave.
Buffalo, New York 14202

NAME: MILLARD, MACKAY & DELLES LAND SURVEYORS, LLP
ADDRESS: 150 AERO DRIVE, BUFFALO, NY 14225
CONTACT: FRANCIS C. DELLES
PHONE: 716-631-5140

NATURAL GAS
NAME/TITLE: WILLIAM SCHNEIDER
COMPANY/DEPT: NATURAL FUEL GAS
ADDRESS: -
PHONE: 716 - 696 - 6460

TELEPHONE COMPANY
NAME/TITLE: JOHN HECKMAN
COMPANY/DEPT: VERIZON
ADDRESS: -
PHONE: 716 - 840 - 8603

ELECTRIC
NAME/TITLE: -
COMPANY/DEPT: NATIONAL GRID
ADDRESS: -
PHONE: -

DIG SAFELY NEW YORK
PHONE: 1 - 800 - 962 - 7962 OR (811)

PLANNING COMMISSION
NAME/TITLE: DAN CASTLE
COMPANY/DEPT: VILLAGE OF EAST AURORA
ADDRESS: 585 OAKWOOD AVE. EAST AURORA, NY 14052
PHONE: 716 - 652 - 6000 Opt.4

BUILDING & CODE ENFORCEMENT
NAME/TITLE: ELIZABETH CASSIDY / CODE ENFORCEMENT OFFICER
COMPANY/DEPT: VILLAGE OF EAST AURORA / CODE ENFORCEMENT
ADDRESS: 575 OAKWOOD AVE. EAST AURORA, NY 14052
PHONE: 716 - 652 - 7591

DEPARTMENT OF PUBLIC WORKS
NAME/TITLE: MATTHEW HOEH / SUPERINTENDENT
COMPANY/DEPT: VILLAGE OF EAST AURORA
ADDRESS: 400 PINE STREET EAST AURORA, NY 14052
PHONE: 716 - 652 - 6057

NYSDOT - HIGHWAY & UTILITY PERMITS
 NAME/TITLE: LEON PIECZYNSKI / ASSISTANT RESIDENT ENGINEER
 COMPANY/DEPT: NEW YORK STATE DEPARTMENT OF TRANSPORTATION
 (SOUTH ERIE RESIDENCY)
 ADDRESS: 3754 LAKEVIEW ROAD, HAMBURG NY 14075
 PHONE: 716 - 649 - 2157

Site plan for the proposed retail building at the intersection of Gray Street and Douglas Street. The plan shows a 7,381 S.F. building with a "PaveRoad" logo, a 2,000 S.F. proposed retail building, and a parking lot with 37 spaces. The plan includes dimensions, street names, and a north arrow.

Streets: GRAY STREET (106.0' WIDE), DOUGLAS STREET (106.0' WIDE).

Building: 7,381 S.F. (PaveRoad logo).

Proposed Retail Building: 2,000 S.F.

Parking: 37 spaces.

Dimensions: 106.0' (width of Douglas Street), 106.0' (width of Gray Street).

North Arrow: NORTH.

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK
FOR A PERIOD OF ONE YEAR FROM THE DATE OF
OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY
AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE
IN VIOLATION OF SECTION #7209 OF THE STATE
EDUCATION LAW.



PROPERTY NUMBER: #2516 AREA: -

**26-30 Grey Street
East Aurora, New York 14052**

PROPOSED SITE REDEVELOPMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL

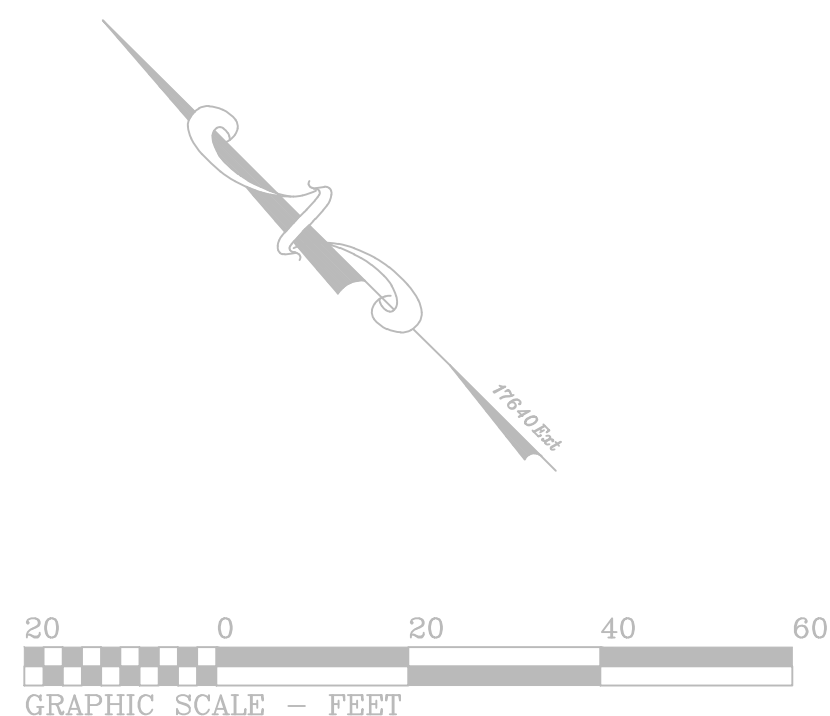
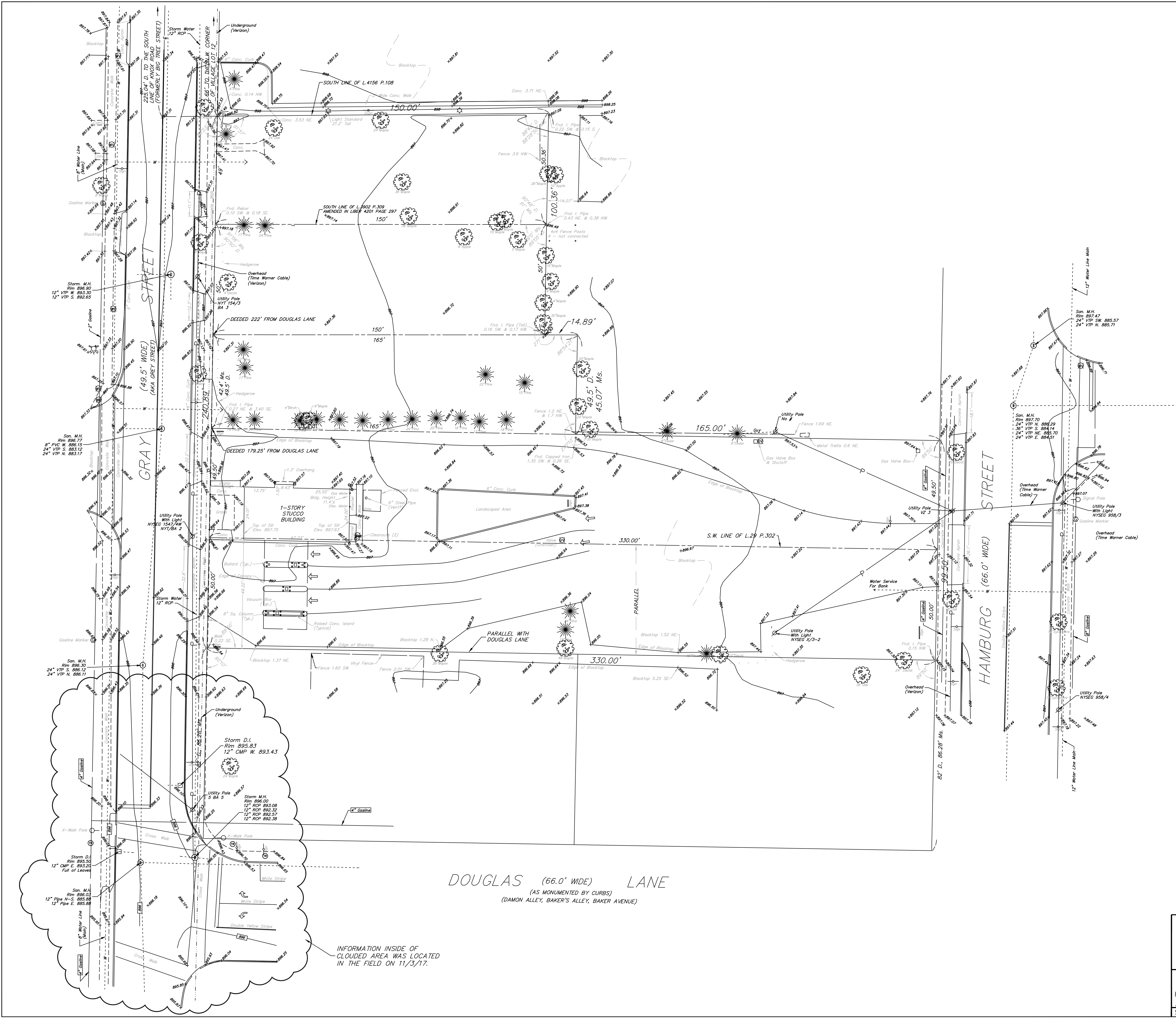


TITLE: **Cover Sheet**

SCALE:
NTS
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
08.02.2021

DRAWING NO.

C1.0



LEGEND	
Ø UTILITY / SERVICE POLE	R.O.W. RIGHT OF WAY
⊗ WATER LINE VALVE	CONC. CONCRETE
⊗ FIRE HYDRANT	INV. INVERT
⊗ D.I. (DROP INLET - STORM)	M.H. MANHOLE
⊗ MANHOLE (STORM)	— GAS LINE
⊗ MANHOLE (ELECTRIC)	— WATER LINE
⊗ MANHOLE (TRAFFIC)	— TELEPHONE LINE
⊗ MANHOLE (SANITARY)	— ELECTRIC LINE
⊗ MANHOLE (TELEPHONE)	— UTILITY LINES
⊗ GASLINE MARKER	— CABLE LINES
⊗ GAS LINE VALVE	D. DEED
⊗ LIGHT STANDARD	M. MEASURED
⊗ SIGN	L. LIBER
H.C. HANDICAP	P. PAGE

UTILITIES

The underground utilities shown have been located from field survey information & existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This surveyor has not physically located the underground utilities.

National Fuel Attn: Ed Kulpa (716) 857-7967	Time Warner Cable Attn: Chris Smith (800) 262-8600	Verizon Attn: Mike Federico (716) 840-6165	Village of East Aurora Department of Public Works 716-652-6057
Erie County Water Dept. Attn: Mari Jo MacCallum (716) 685-8289	N.Y.S. Electric & Gas Attn: Sam Ceppaglia (716) 651-5256	National Grid Attn: Roy Schultz (315) 428-6319	

ELEVATION DATUM

ELEVATIONS ON THIS MAP WERE DETERMINED UTILIZING GPS DATUM:
NAD83 (2011) EPOCH 2010.0 DATUM

12-7-17 AMEND: ADDITIONAL TOPO
12-23-16 AMEND: ADD UTILITY INFO.
1-23-16 AMEND: UNDERGROUND UTILITIES

INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES: L11271 P.4716, L11020 P. 4191, L8090 P.537, L8094 P.361
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.
NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

COPYRIGHT 2016 BY:
Millard, MacKay & Delles
LAND SURVEYORS, LLP
150 AERO DRIVE
BUFFALO, NEW YORK 14225
PHONE (716) 631-5140 ~ FAX 631-3811

AMEND:
SURVEY DATE: 12-1-16
DRAWING DATE: 12-6-16
SCALE: 1" = 20'
"ALL RIGHTS RESERVED"

THIS MAP VOID UNLESS
EMBOSSED
SURVEYOR'S SEAL, ALTERING ANY ITEM
ON THIS MAP IS A VIOLATION OF THE
LAW EXCEPT AS PROVIDED IN SECTION
7209, PART 2, OF THE NEW YORK
STATE EDUCATION LAW.

PART OF VILLAGE LOTS 12, 13 & 14 ~ MAP COVER 93 & MORE
PART OF LOT 31 SECTION 9 TOWNSHIP 9 RANGE 6 OF THE:
Holland Land Company's SURVEY - Erie COUNTY, N.Y.
SURVEY OF: 20,26,&30 Gray Street, Village of East Aurora, Town of Aurora

SBL No.164.19-7-36,37&38

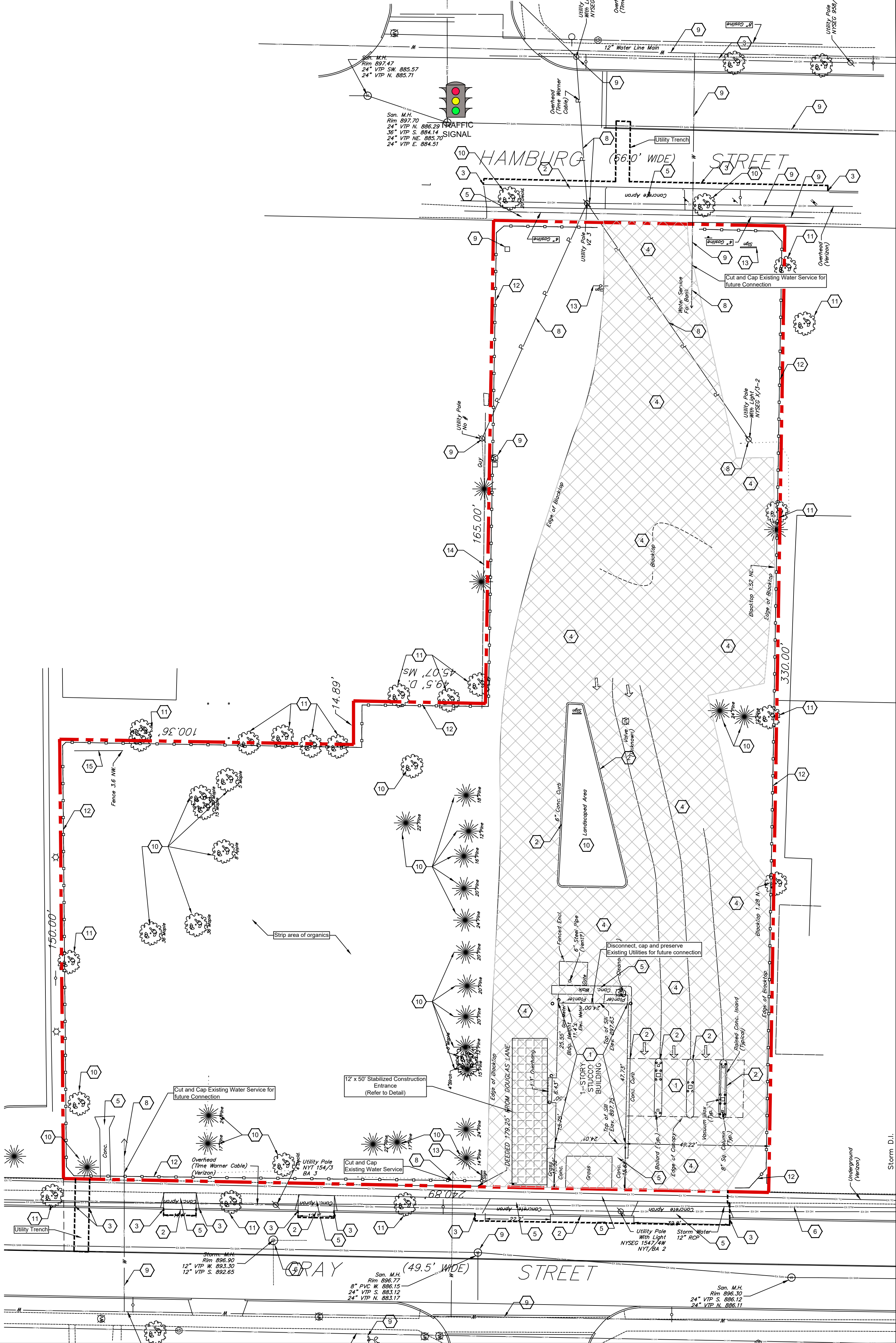
- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

- DEMOLITION & EROSION NOTES:
1. USE ENTRANCE FROM GREY ST FOR CONSTRUCTION ENTRANCE
 2. INSTALL TEMPORARY EROSION CONTROL DEVICES AS DIRECTED WITHIN THE WORKING AREA TO PREVENT SEDIMENT MIGRATION. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
 3. ALL EROSION CONTROL DEVICES SHALL BE REPLACED WHEREVER THEY BECOME INOPERABLE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS.
 5. THE CONTRACTOR MUST CONTROL DUST DURING CONSTRUCTION, DURING EARTHWORK OPERATIONS, WATER-SPREADING EQUIPMENT SHALL BE PROVIDED BY THE CONTRACTOR, AND WATER SPREAD AS NECESSARY AND AS DIRECTED IN ORDER TO CONTROL DUST.
 6. DIRT OR DEBRIS LEFT ON LOCAL PUBLIC ROADS AS A RESULT OF THIS CONSTRUCTION PROJECT SHALL BE REMOVED AND ROAD SURFACES CLEANED BY THE CONTRACTORS ON A DAILY BASIS, OR MORE FREQUENTLY IF DEEMED NECESSARY.
 7. ALL DISTURBED AREAS (EXCEPT AREAS TO BE PAVED OR BUILT UPON) SHALL BE TOPSOILED TO A MINIMUM OF 4" DEPTH AND SEEDED IMMEDIATELY AFTER FINE GRADING TAKES PLACE AND AS SOON AS PHYSICALLY POSSIBLE.
 8. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF DOWNSTREAM STORM SEWERS, DITCHES AND CULVERTS. SILT BUILDUP FOUND TO BE A RESULT OF THIS SITE CONSTRUCTION WORK SHALL BE REMOVED FROM DOWNSTREAM CULVERTS, DETENTION PONDS, BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER OR CITY.
 9. ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AND MATERIALS SHALL BE IN PLACE PRIOR TO BEGINNING EARTHWORK OPERATIONS AND SHALL BE MAINTAINED UNTIL THE ALL GRADING WORKS ARE COMPLETE.

- DEMOLITION LEGEND:
- Property Line
 - Existing Electric
 - Existing Gas
 - Existing Water
 - Existing Overhead Utility
 - Existing Sanitary
 - Existing Storm
 - Existing Telecoms

- Saw Cut Line
- Silt Fence/Sock
- Inlet Protection
- Existing area to be cleared of organics and debris

- DEMOLITION NOTES: #
1. Existing Building to be Removed.
 2. Existing Curb to be removed.
 3. Limits of Curb Removal
 4. Existing Asphalt Pavement to be removed and subgrade regraded
 5. Existing Concrete Sidewalk/ Pavement to be removed.
 6. Existing Storm Drainage/CB to remain and be protected during Construction.
 7. Existing Storm Drainage/CB to be removed.
 8. Existing Utility Structure to be removed.
 9. Existing Utility Structure to remain and be protected during Construction.
 10. Existing Landscaping to be Removed.
 11. Existing Landscaping to Remain and be protected during construction.
 12. Proposed Silt Fence.
 13. Existing Sign to be removed.
 14. Existing Feature to Remain.
 15. Existing Feature to be Removed.



DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
2	08.02.2022	DZ	Resubmittal

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PROPERTY NUMBER:
2516

AREA:
-

26-30 Grey Street
East Aurora, New York 14052

PROPOSED SITE
REDEVELOPMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:

Demolition and
Erosion Control
Plan

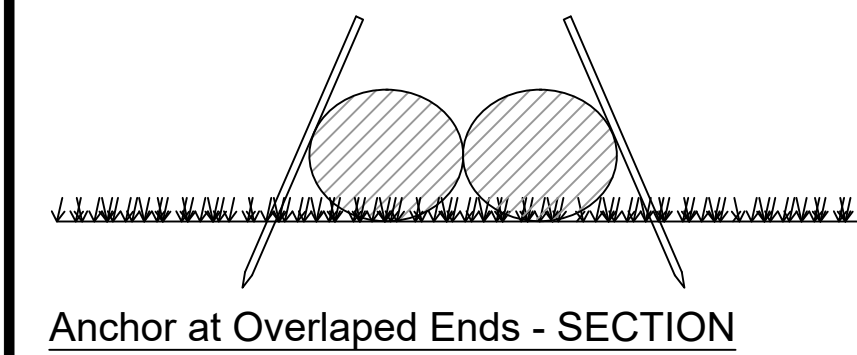
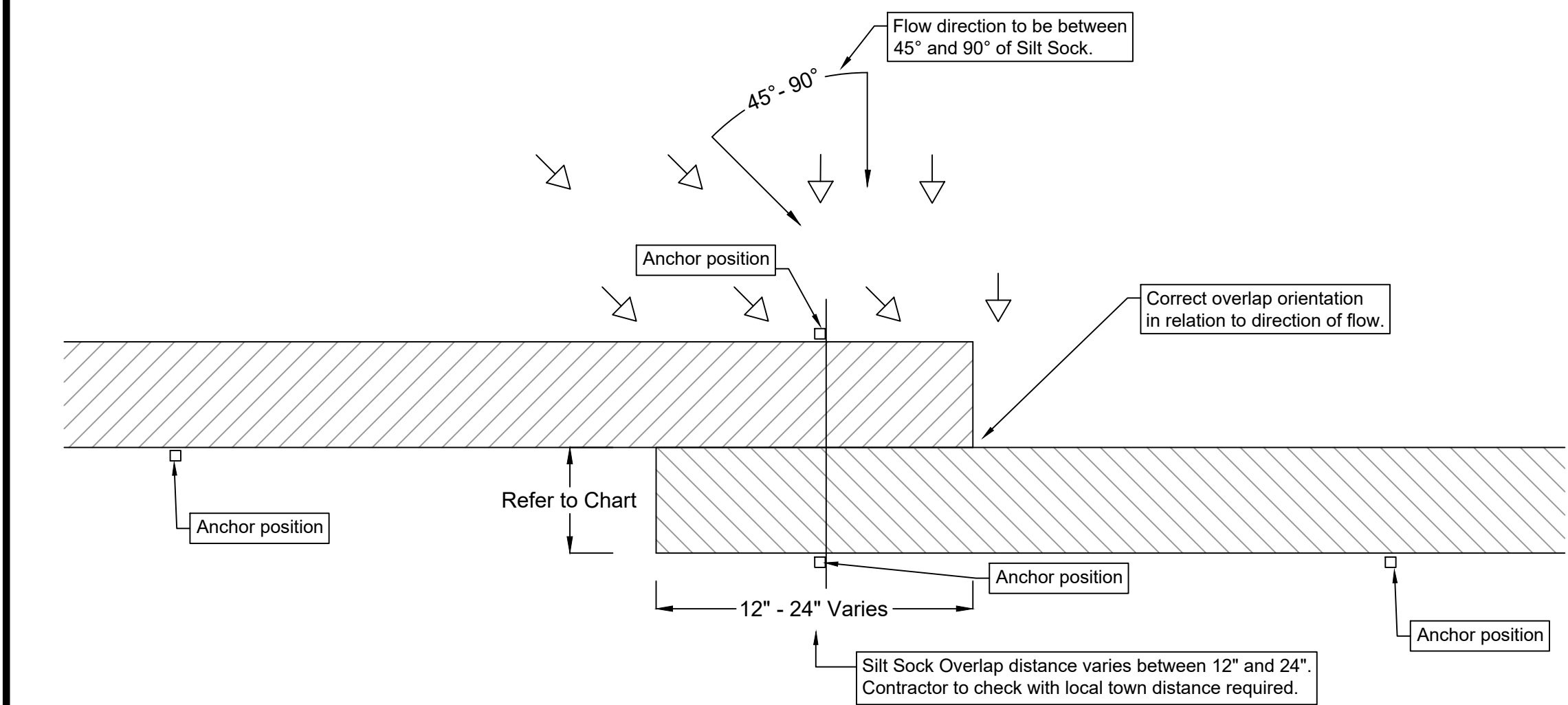
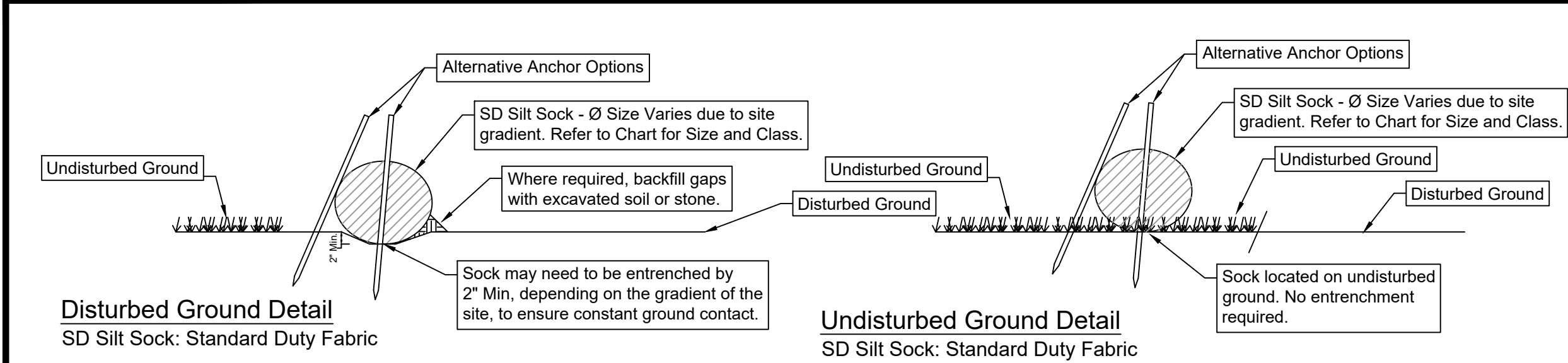
SCALE:
1" = 20'

DRAWN BY:
DMZ

CHECKED BY:
MAO

DATE:
08.02.2021

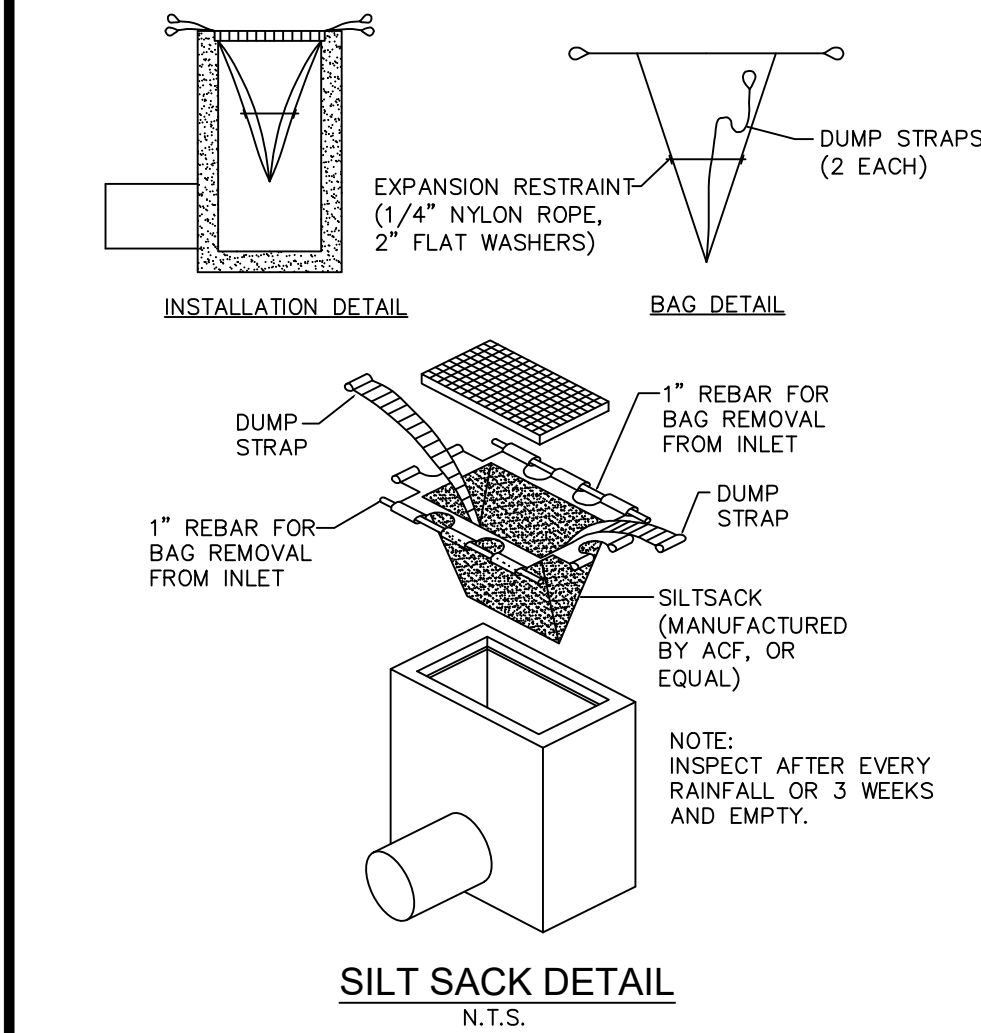
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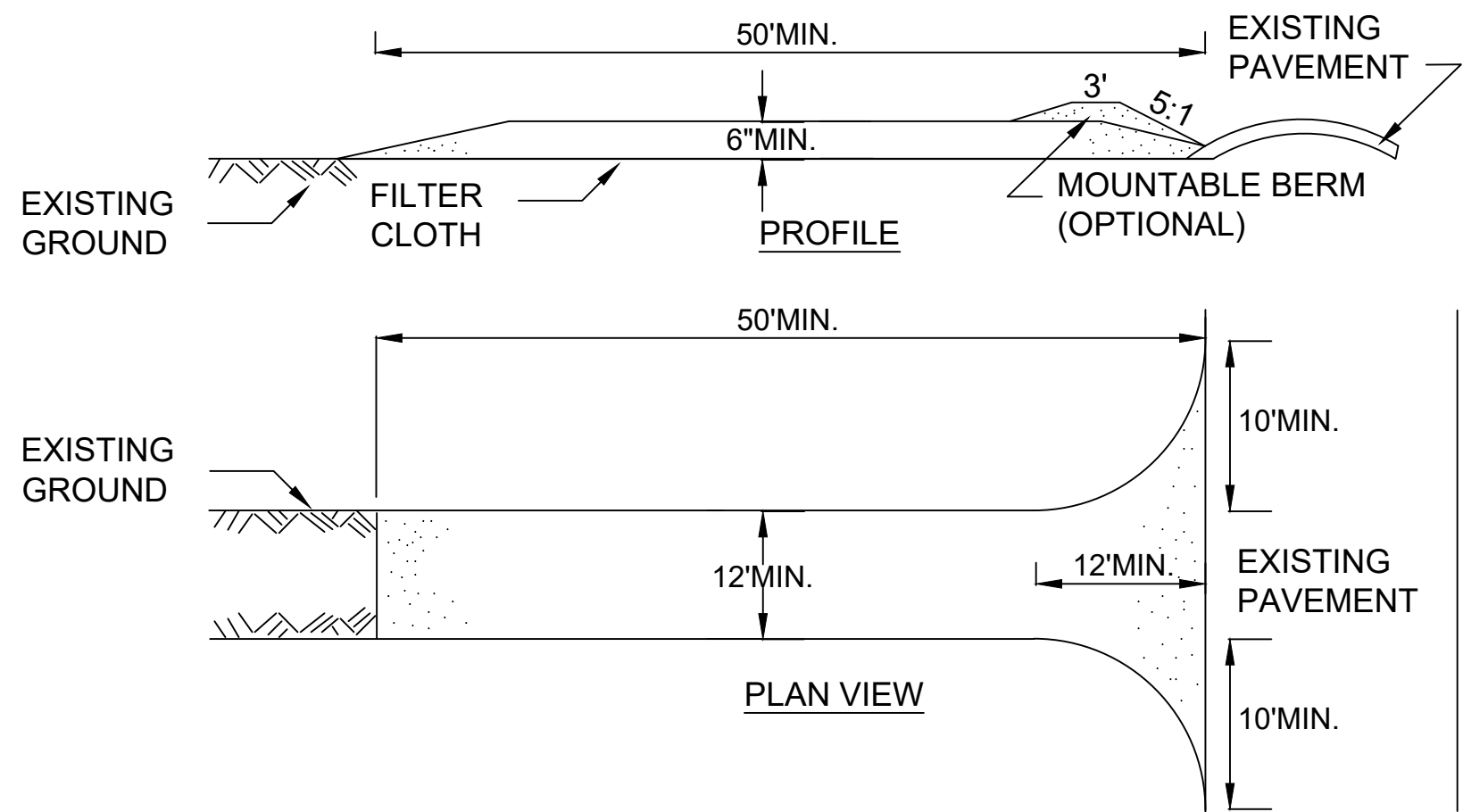
Size & Class Chart			
Gradient	Diameter		
	8"	12"	18"
0 - 2%	30	55	75
2.1 - 5%	25	40	55
5.1 - 10%	15	30	40
10.1 - 33%	10	15	20
> 33%	5	10	15

SD SILT SOCK DETAIL

SD Silt Sock: Standard Duty Fabric



- Notes:
- 1 - Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
 - 2 - Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
 - 3 - Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
 - 4 - Sock may be required to be entrenched a minimum of 2" on disturbed ground to ensure constant ground contact.
 - 5 - All gaps and ruts must be backfilled with soil or sock material.
 - 6 - Sock overlap should be in the direction of the flow. Overlap amount will be between 12" and 24". Contractor to check with local town for requirements.
 - 7 - If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
 - 8 - Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, j-hook higher elevated end, anchor, and begin new section just below. Back fill any gaps.
 - 9 - Sock should be inspected and repaired as needed.
 - 10 - If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
 - 11 - If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
 - 12 - Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
 - 13 - A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
 - 14 - Sock should be replaced when sediment has built up and has been removed three times.
 - 15 - All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
 - 16 - When removing, cut sock open and spread the filler material around. The netting should be removed from site.
 - 17 - Sock should be installed before works commence on site.



STABILIZED CONSTRUCTION ENTRANCE DETAIL

- NOT TO SCALE
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
**Demolition and
Erosion Control
Details**

SCALE:
NTS

DRAWN BY: DMZ


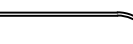



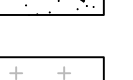
CHECKED BY: MAO

DATE: 08.02.2021

DRAWING NO.
C3.1

2. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
3. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
4. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
5. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY OWNER & ENGINEER OF ANY DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIALS INSTALLED WHILE WORKING ON OTHER COMPONENTS.
7. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
8. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB ANY EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
9. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
10. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
11. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
12. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
- 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
- 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
12. ALL FIXTURE LOCATION SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
13. CURB INSIDE DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

SITE LEGEND:

-  Property line
-  6" Curb (typ).
-  Proposed sign & pole
-  Proposed Concrete Pavement
-  Proposed Standard Duty Pavement (Full Depth)
-  Proposed Heavy Duty Pavement (Full Depth)

SITE NOTES: #

1. Proposed 6" concrete Curb.
2. Proposed Flush Concrete Curb.
3. Match into Existing Curb or run-out over 2'.
4. Proposed Standard Duty Pavement.
5. Proposed Heavy Duty Pavement.
6. Proposed Concrete Pavement.
7. Proposed Concrete Sidewalk.
8. Proposed Typical Curb Ramp.
9. Match into Existing Pavement.
10. Proposed "Handicapped Parking Only" sign.
11. Proposed "No Parking" sign.
12. Proposed Traffic Control Signs (Refer to DOT detail for required signs for right in/out access)
13. Proposed 6" Bollard.
14. 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
15. Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
16. Proposed Landscape Area.
17. Proposed Wooden Dumpster Enclosure.
18. Proposed Light Pole Base.
19. Proposed Wood Board-on-Board Fence

TRAFFIC SIGNAL

HAMBURG STREET (66.3' WIDE)

PROPOSED RETAIL
2,500 S.F.

AutoZone
7,381 S.F.

Gray Street (49.5' WIDE)

Bio-retention Bed 49.5' D. 45.0' Ms.

Snow Storage Area

Retention Pond

Utility Pole NYT 154/3 64.3

Overhead (Time Warner Cable) (Verizon)

Pylon Sign

Underground (Verizon)

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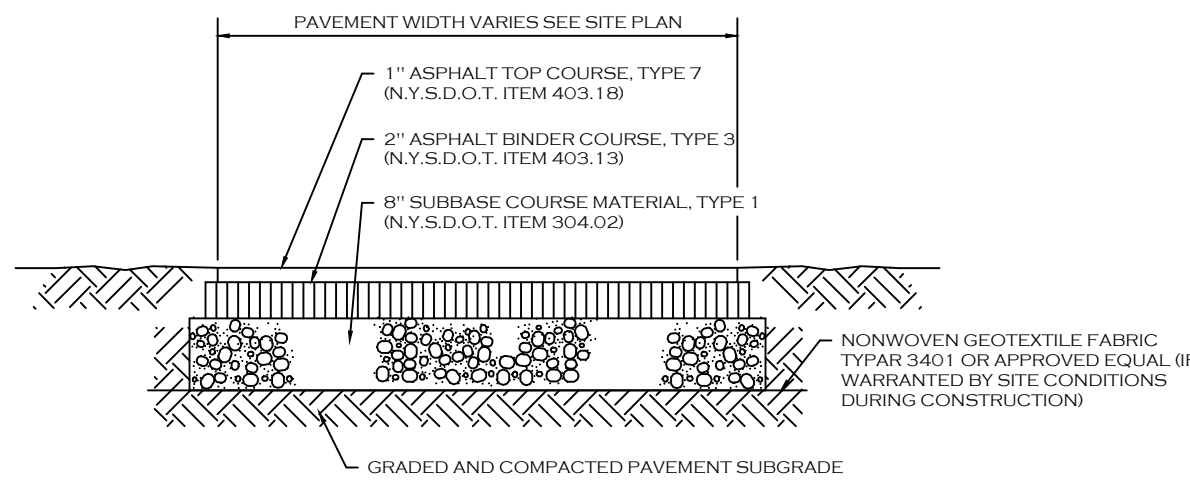
PROPOSED SITE REDEVELOPMENT

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ARCHITECT
PREPARED FOR

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DEVELOPMENT**

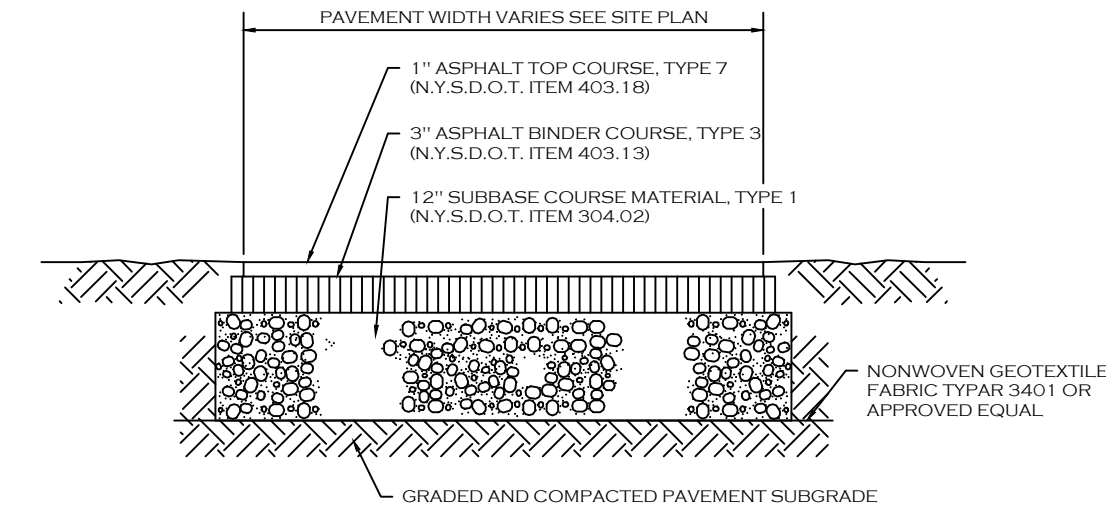
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

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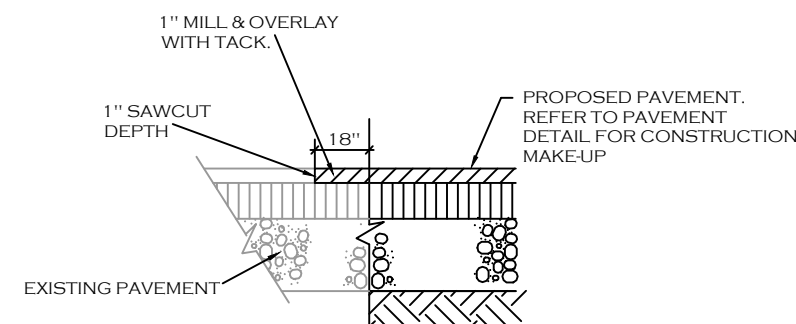
NOTE: CONSTRUCTION METHODS FOR ASPHALT PAVEMENT SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 401.3, WITH SUBBASE CONSTRUCTION METHODS CONFORMING TO NYSDOT STANDARD SPECIFICATION 304.3.

STANDARD DUTY ASPHALT SECTION

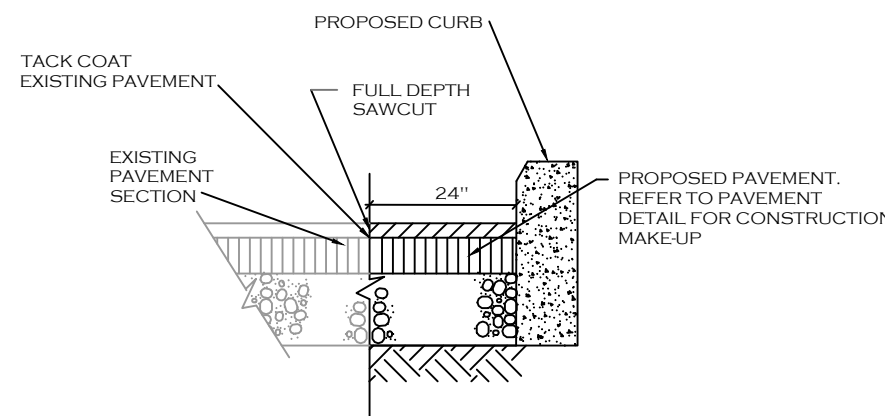


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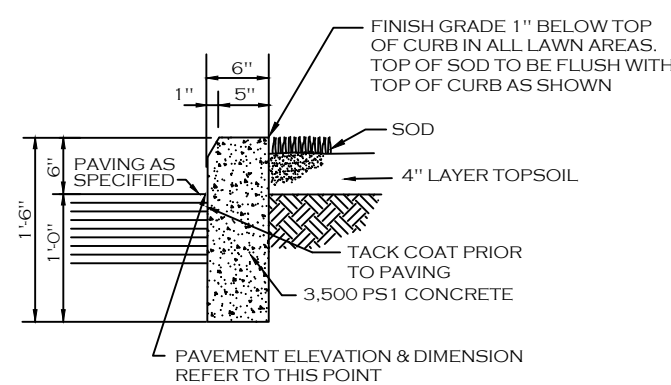
HEAVY DUTY ASPHALT SECTION



PAVEMENT TRANSITION DETAIL (ASPHALT PAVEMENT)

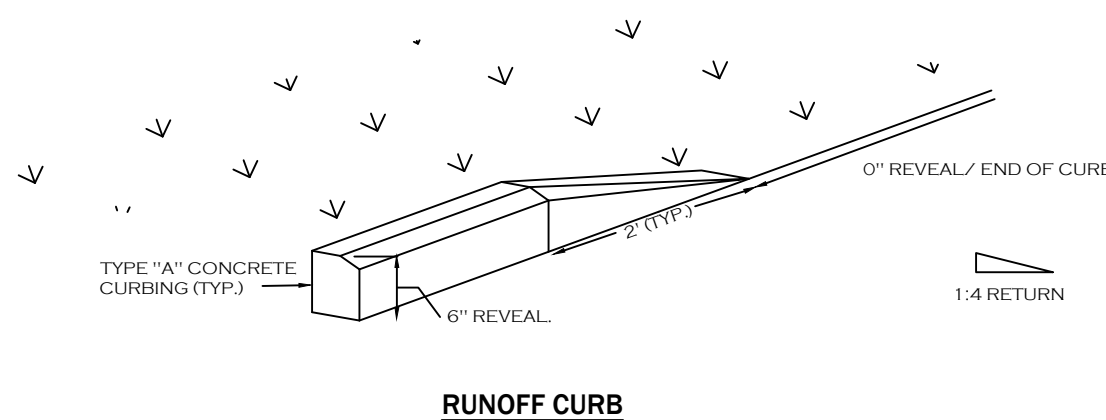


CURB AND PAVEMENT TRANSITION DETAIL

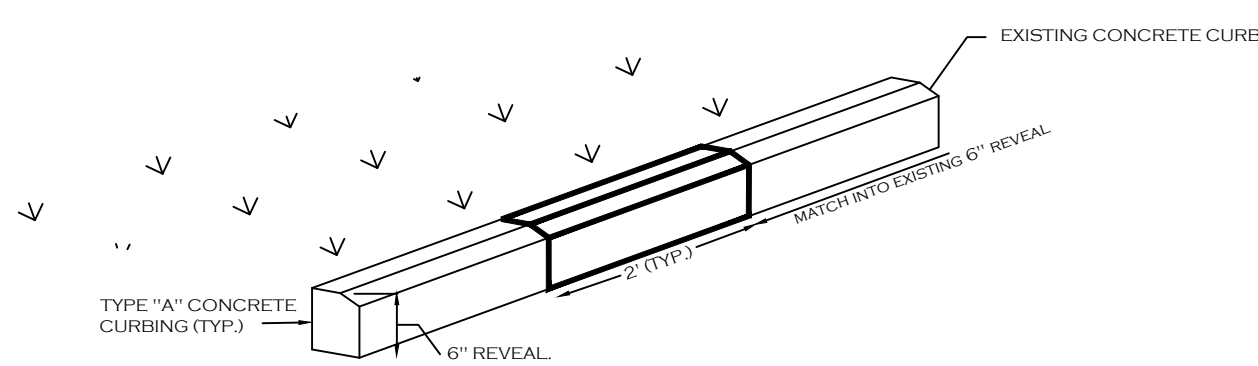


NOTE: CONTROL JOINTS TO BE 2" DEEP AT 15'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYSDOT 702-0700.

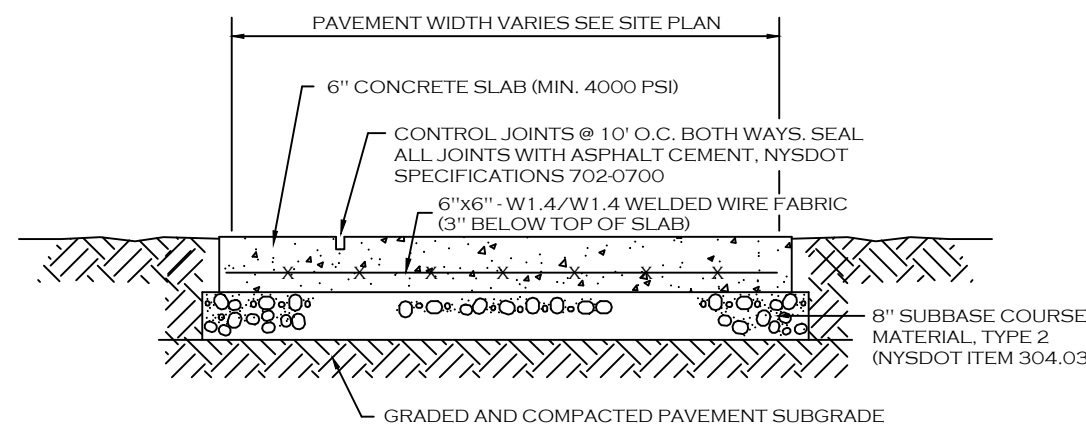
TYPE "A" CONCRETE CURB



RUNOFF CURB

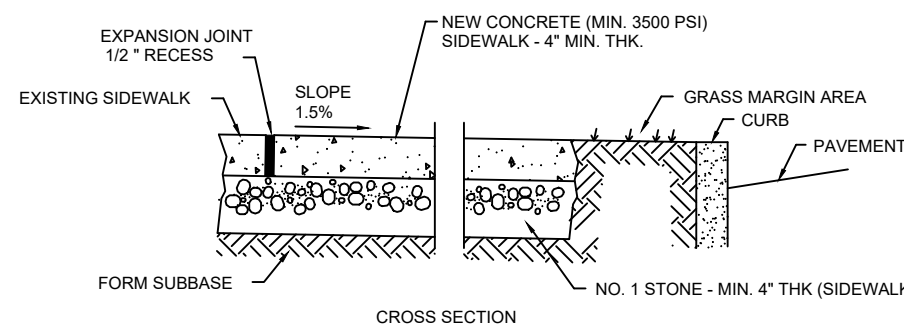


MATCH INTO EXISTING CURB TRANSITIONAL CURBING



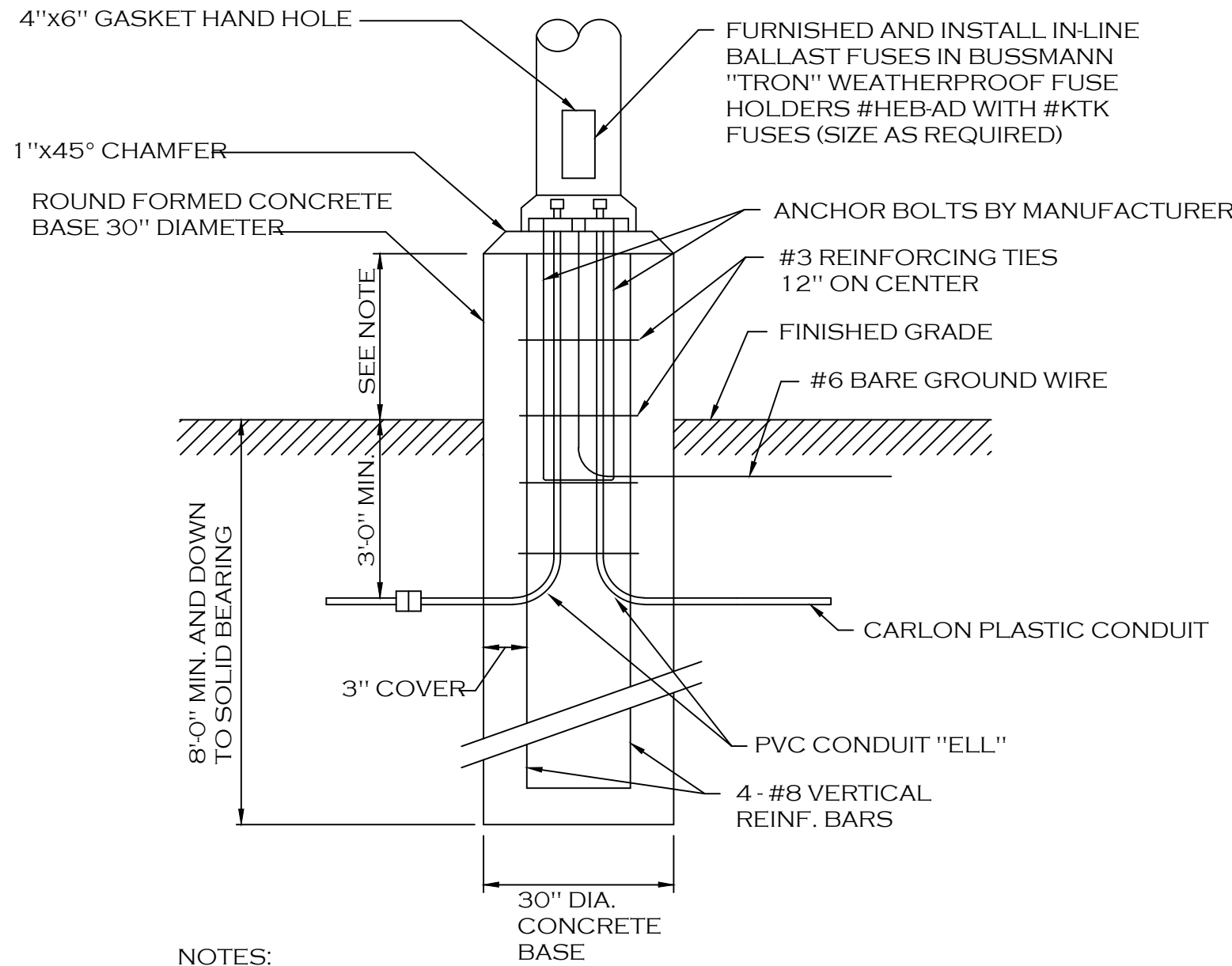
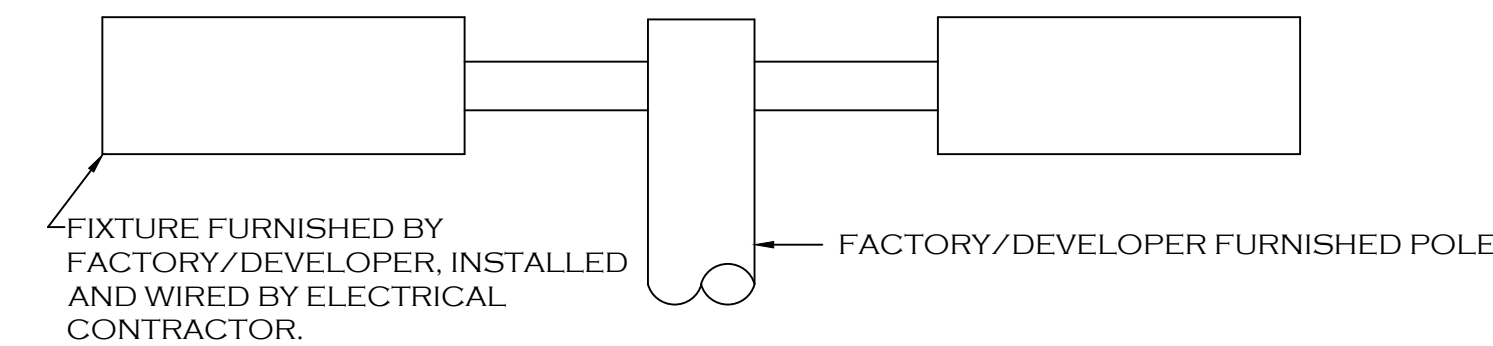
NOTE: CONCRETE PAVEMENT MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 502.3.

CONCRETE PAVEMENT (INC DUMPSTER)



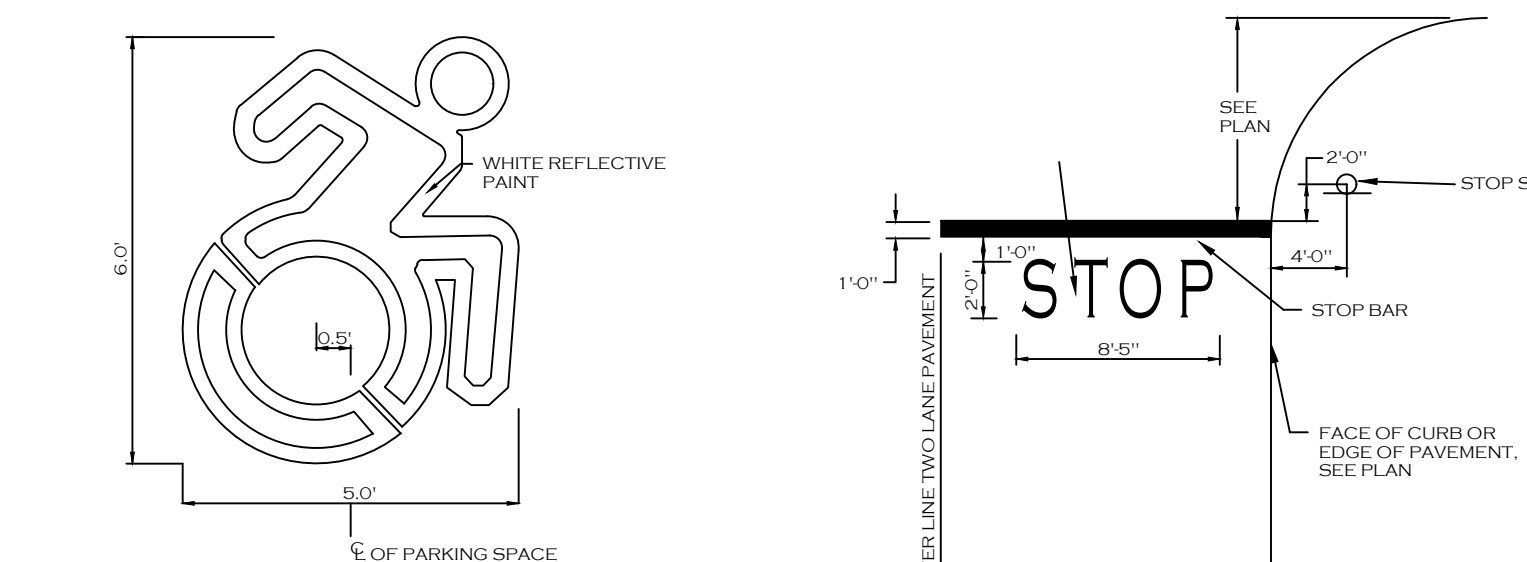
NOTES:
1. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
1.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
1.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (X1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (X1) COAT OF CHEMMASTERS - POLYSEAL EZ.
2. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES).
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STANDARD CONCRETE SIDEWALK

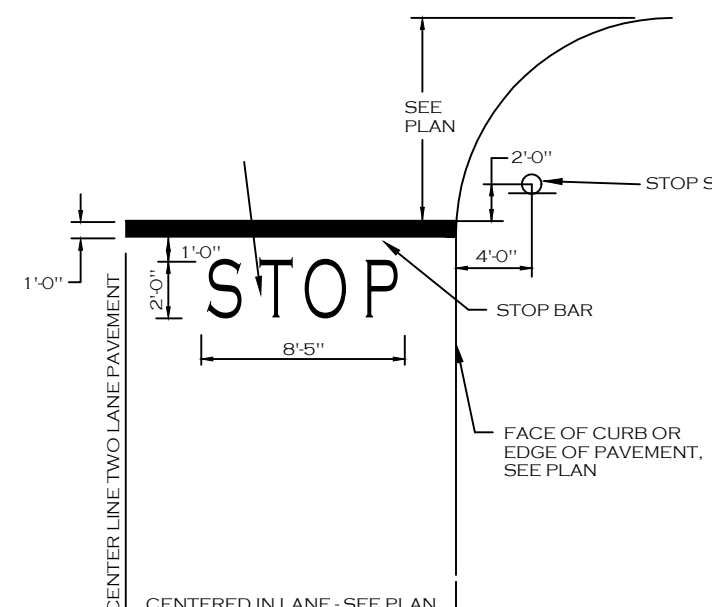


NOTES:
1. FOR LOCATIONS OF FOUNDATIONS SEE SITE PLAN
2. FOR LIGHT FIXTURE ORDERING INFORMATION SEE SITE LIGHTING PLAN
3. LIGHT POLE BASE EXPOSURE ABOVE GRADE SHALL BE:
IN CURBED ISLANDS: 6" ABOVE TOP OF CURB ELEVATION
IN PAVEMENT: 3" ABOVE GRADE
IN NON-CURBED GRASS AREAS: 6" ABOVE GRADE

LIGHT POLE FOUNDATION



INTERNATIONAL ACCESSIBILITY SYMBOL

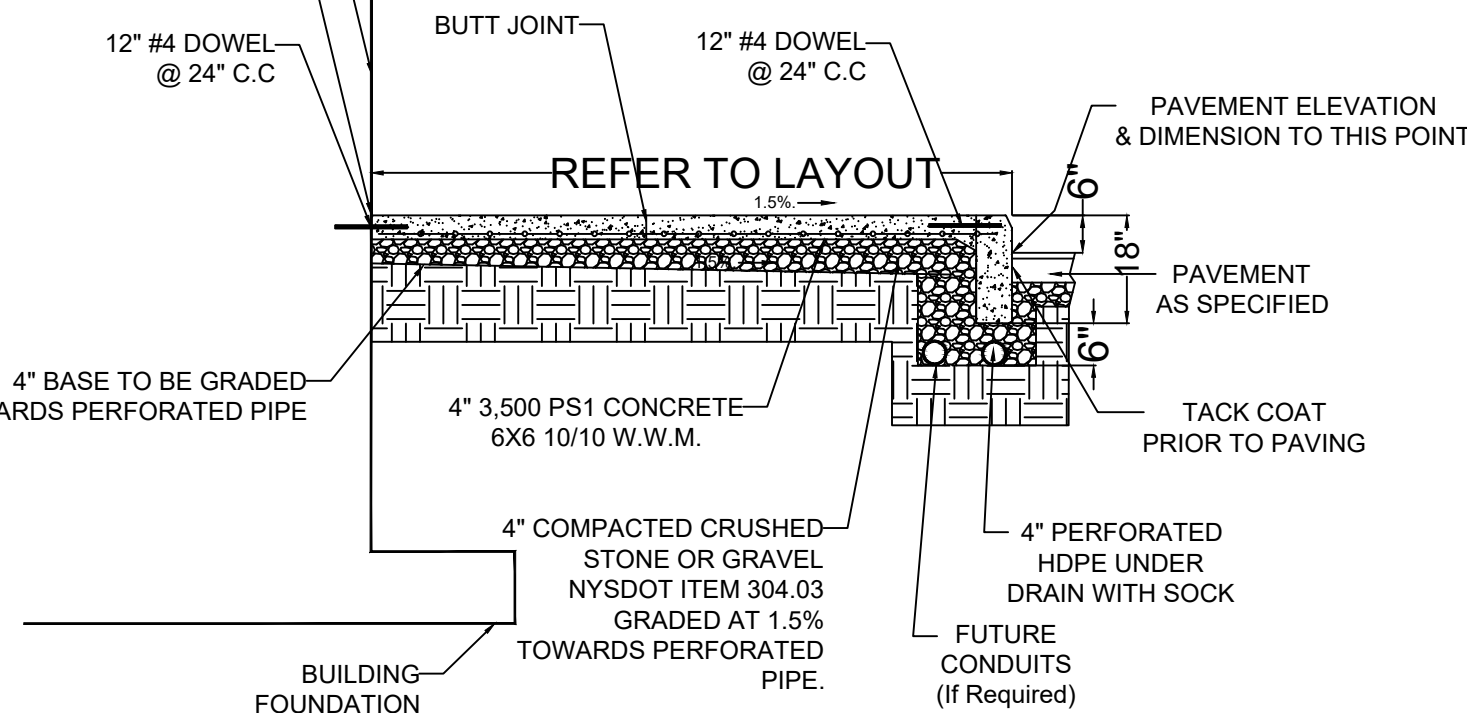


STOP BAR DETAIL

NOTES:
1. CONCRETE SIDEWALK AND DRIVEWAY MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 501 AND CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 608-3
2. BUTT JOINTS TO BE AT 5'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS NYSDOT 702-0700.

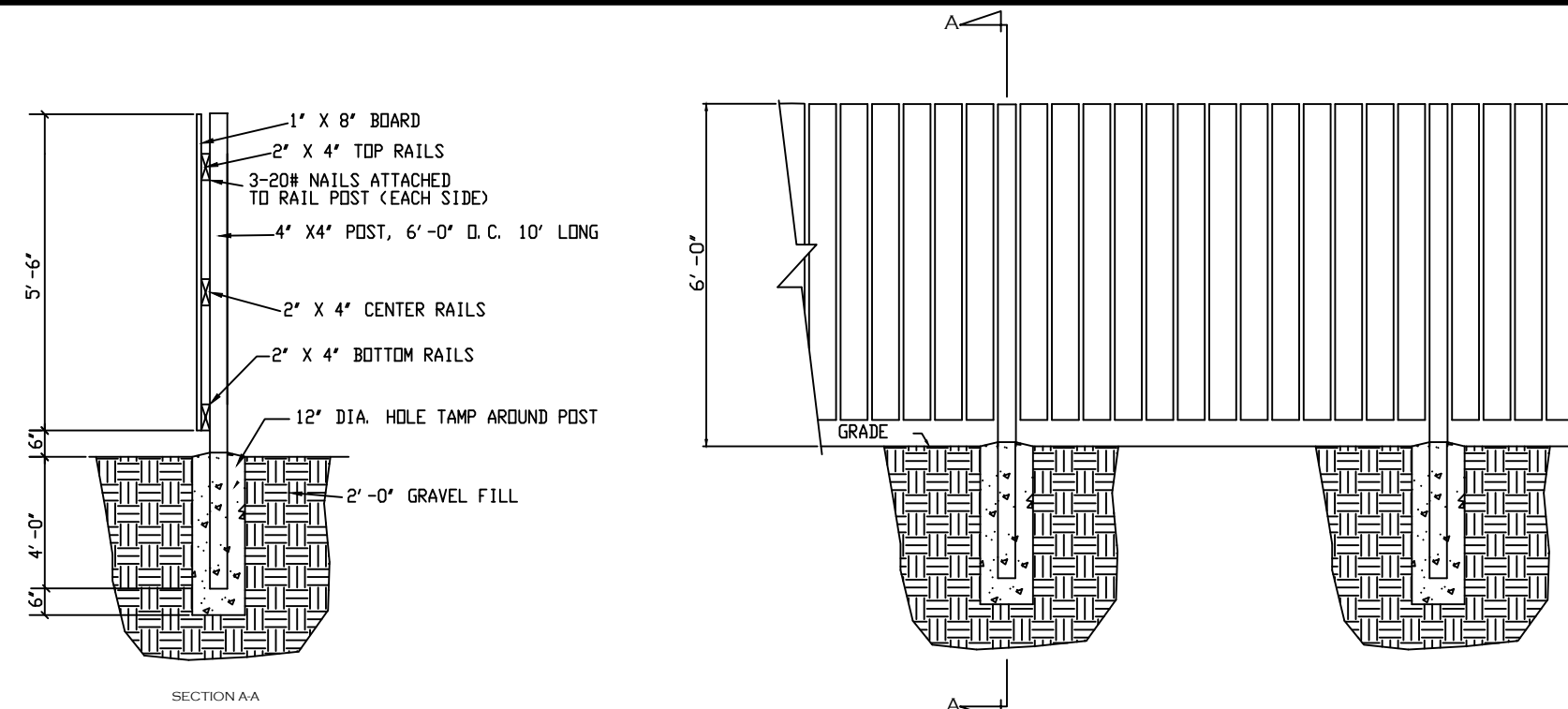
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REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES FOR SIDEWALKS.

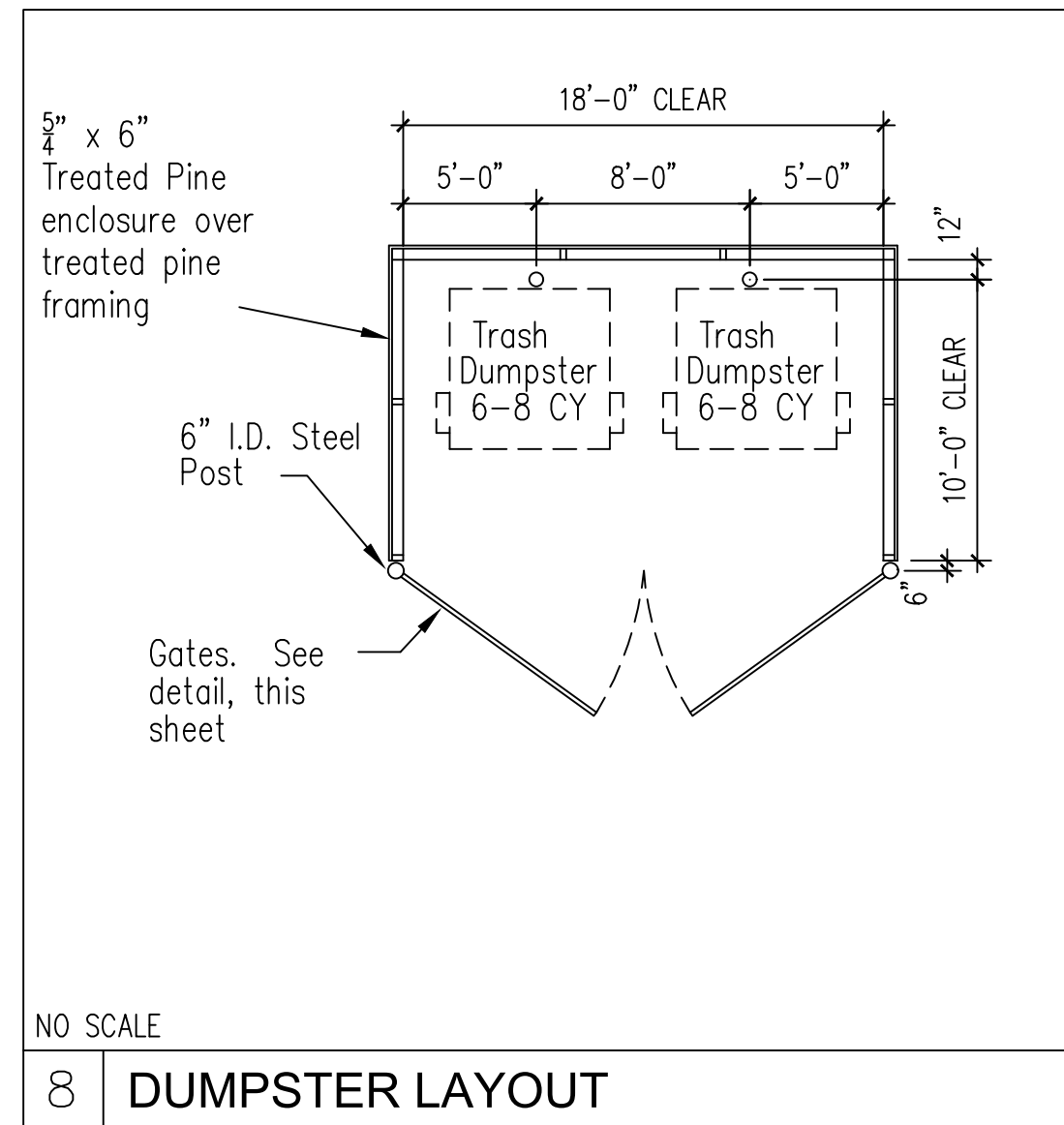


BUILDING SIDEWALK DETAIL

CONTRACTOR TO VERIFY WITH OWNER ON CURB DETAIL

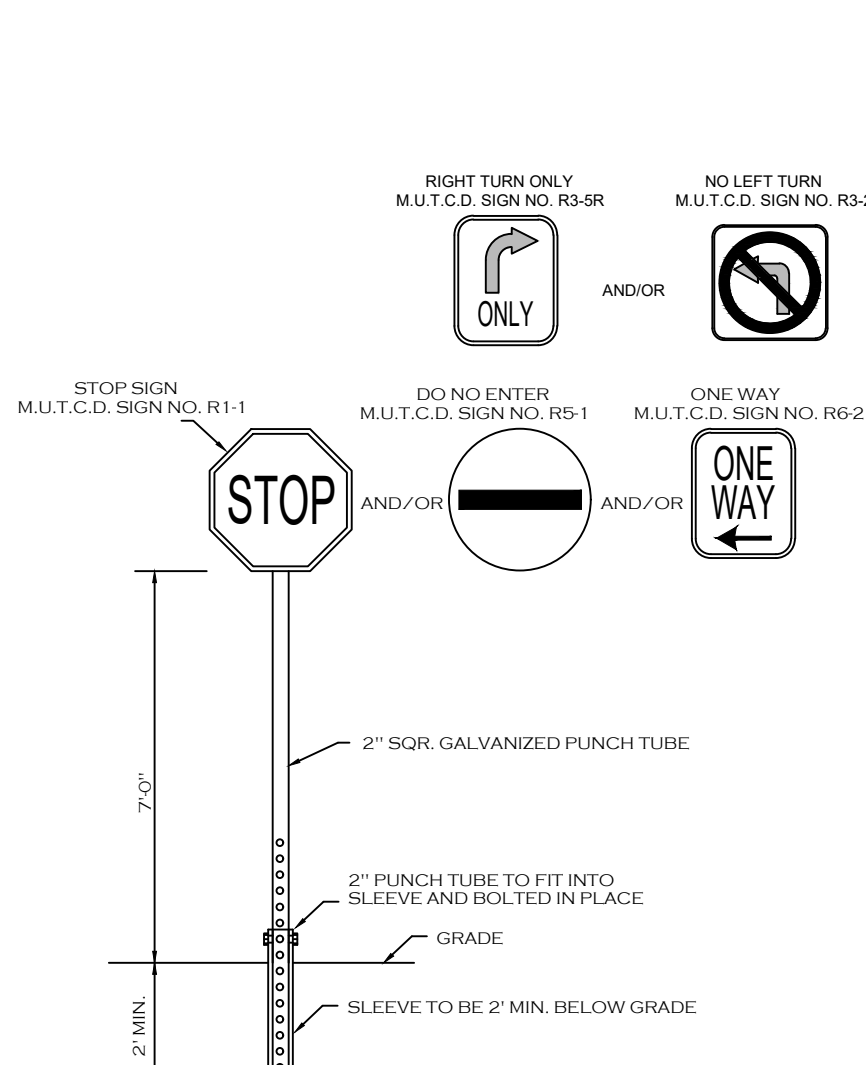


6FT SOLID BOARD FENCE DETAIL

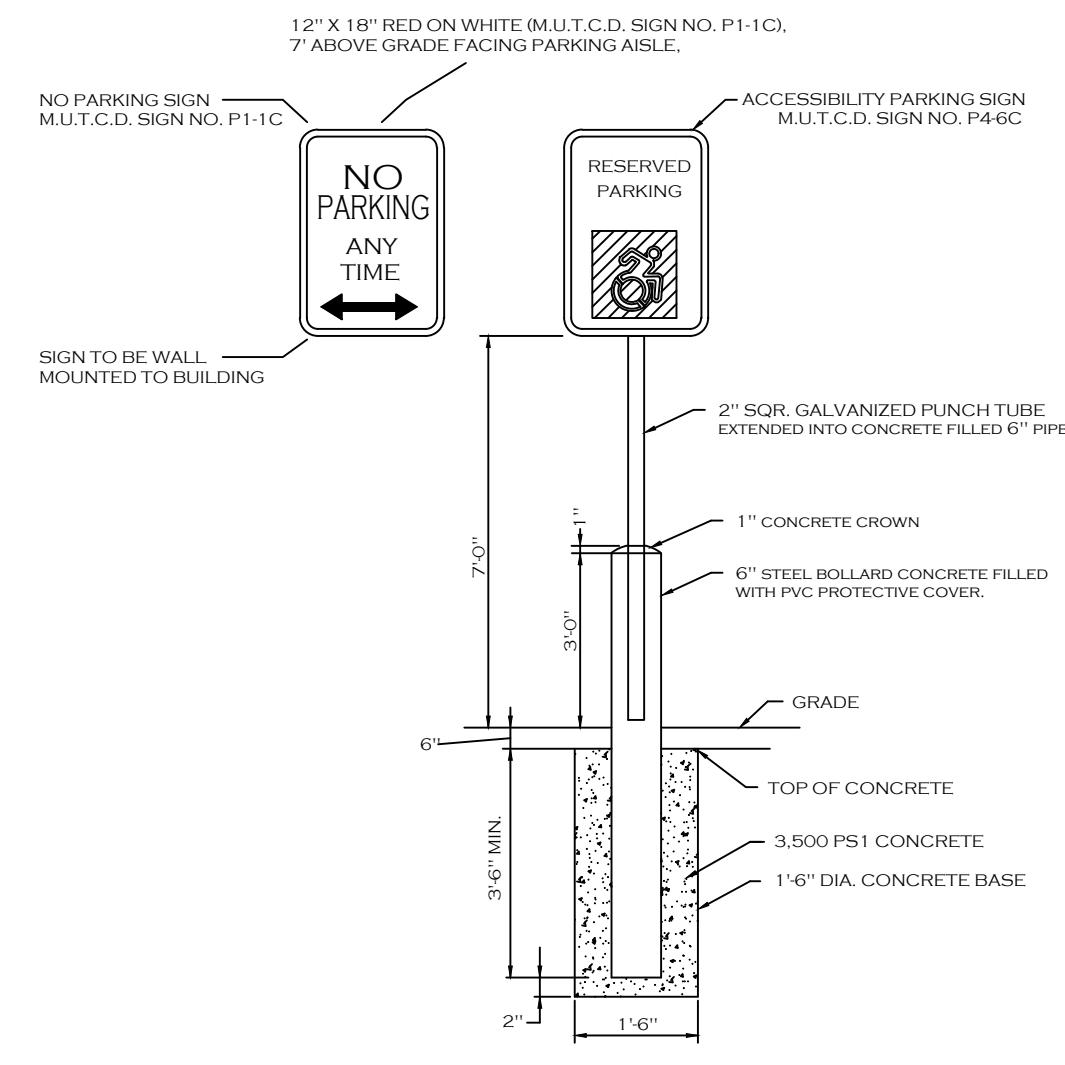


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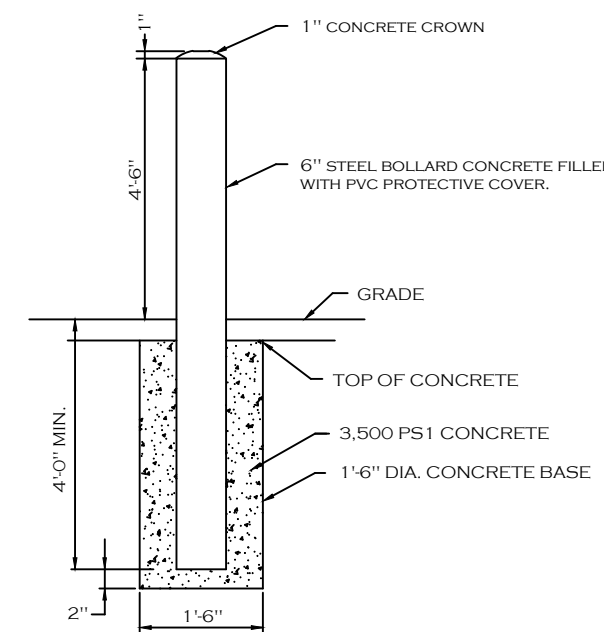
DUMPSTER LAYOUT



"STOP" / "NO ENTRY" / "ONE WAY" SIGNS



HANDICAP / NO PARKING SIGNS



6" BOLLARD DETAIL

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	11.11.2021	DZ	Town Comments
2	08.02.2022	DZ	Resubmittal

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REDEVELOPMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Construction
Details

SCALE:
NTS
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
08.02.2021

DRAWING NO.
C4.1

- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
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 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

GRADING LEGEND:

Property Line

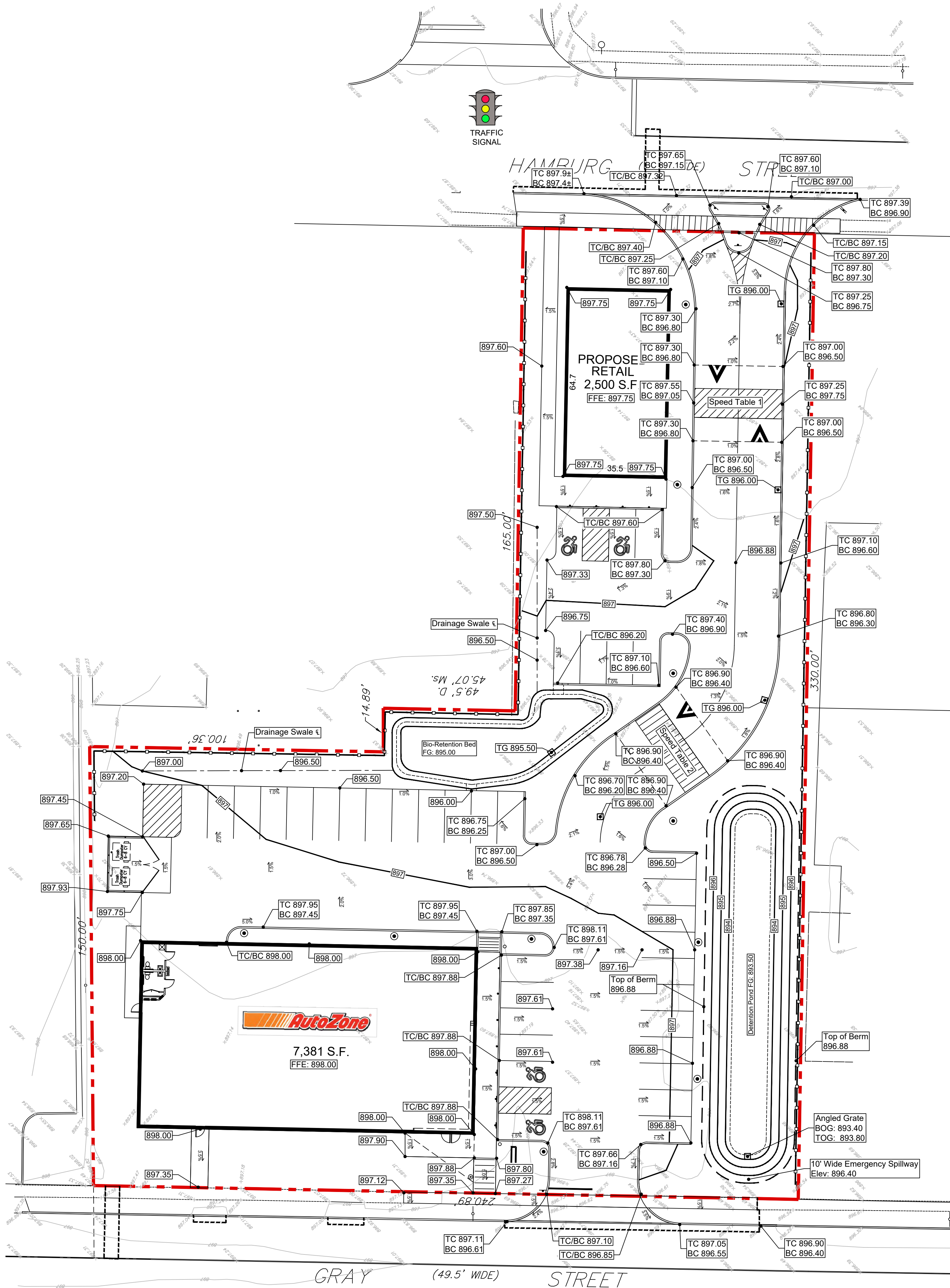
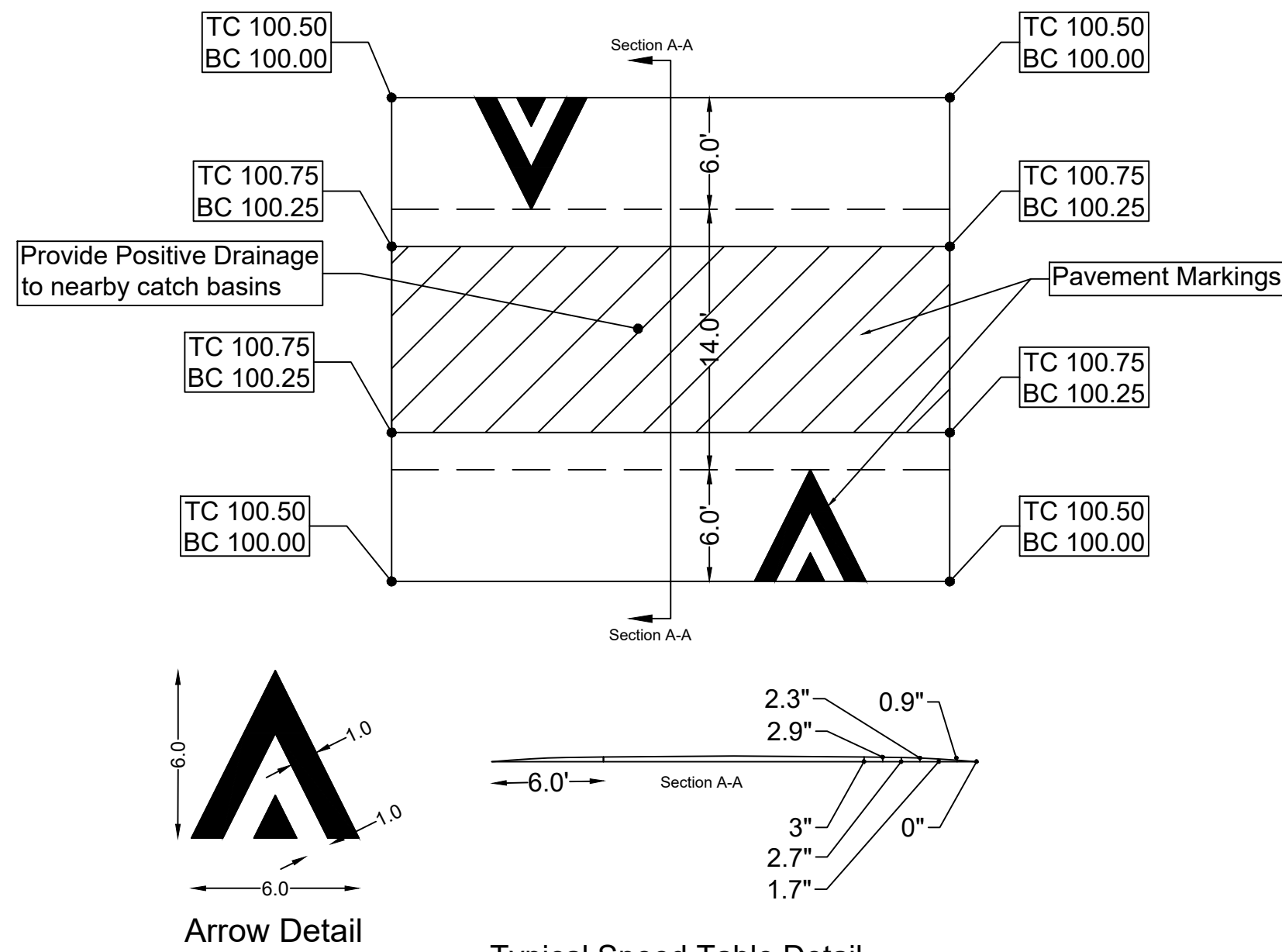
6" Curb (typ).



Catch Basin - Top of Grade

Proposed Contour Line

Slope Direction



DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	11.11.2021	DZ	Town Comments
2	08.02.2022	DZ	Resubmittal

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NOTICE
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PROPERTY NUMBER:
2516

AREA:
-

26-30 Grey Street
East Aurora, New York 14052

PROPOSED SITE
REDEVELOPMENT

CONSULTANT

JAMES ALLEN RUMSEY
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**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
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SEAL



TITLE:
Grading
Plan

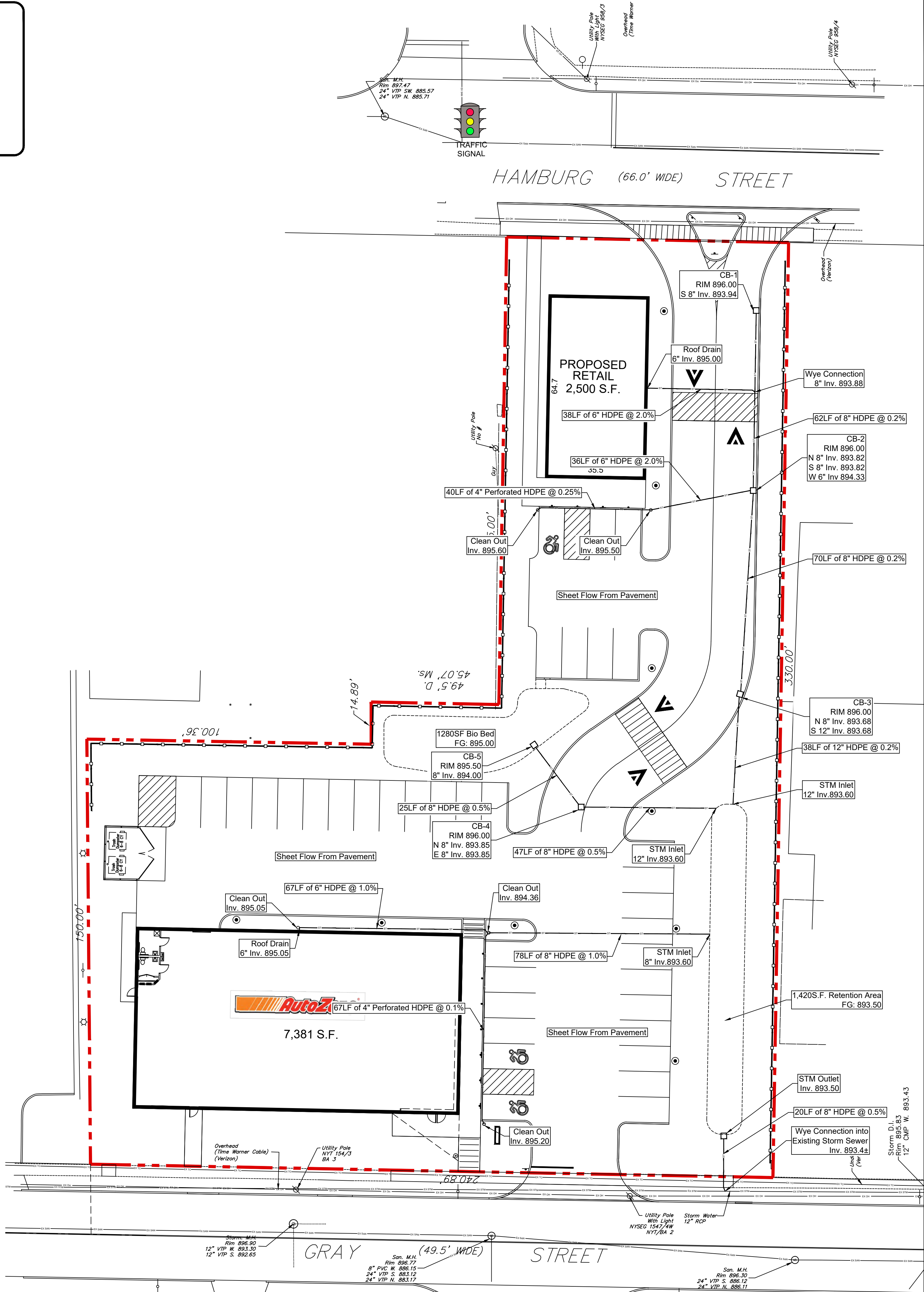
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DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
08.02.2021

DRAWING NO.
C5.0

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- DRAINAGE LEGEND:
- PROPERTY LINE
 - PROPOSED STORMWATER
 - 6" CURB TYP.
 - CO / WC PROPOSED STORM CLEAN OUT / WYE CONNECTION
 - CB - # PROPOSED CATCH BASIN

*Provide Inlet Protection for Newly installed Catch basins



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2	08.02.2022	DZ	Resubmittal

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570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
**Drainage
Plan**

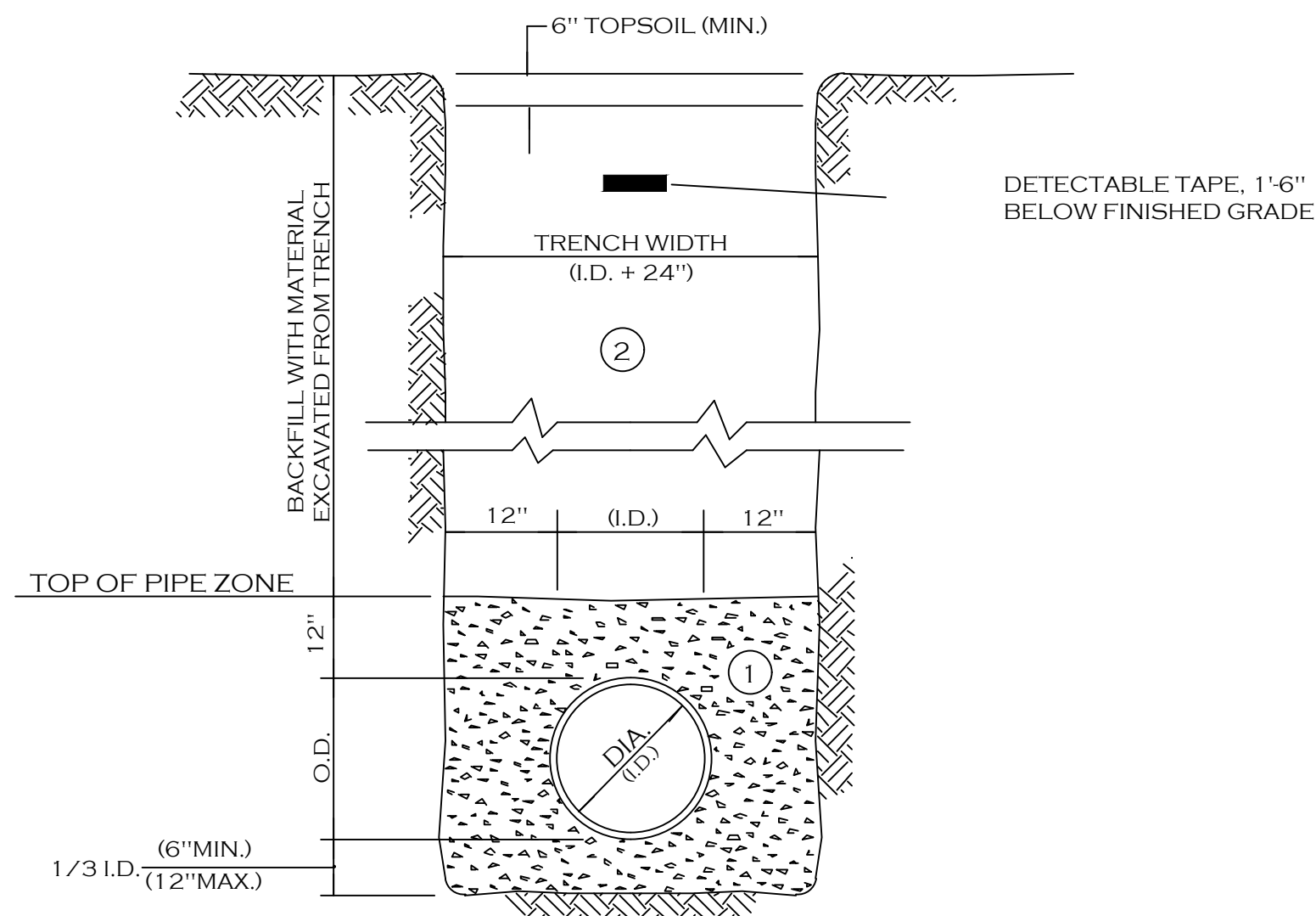
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1" = 20'

DRAWN BY:
DMZ

CHECKED BY:
MAO

DATE:
08.02.2021

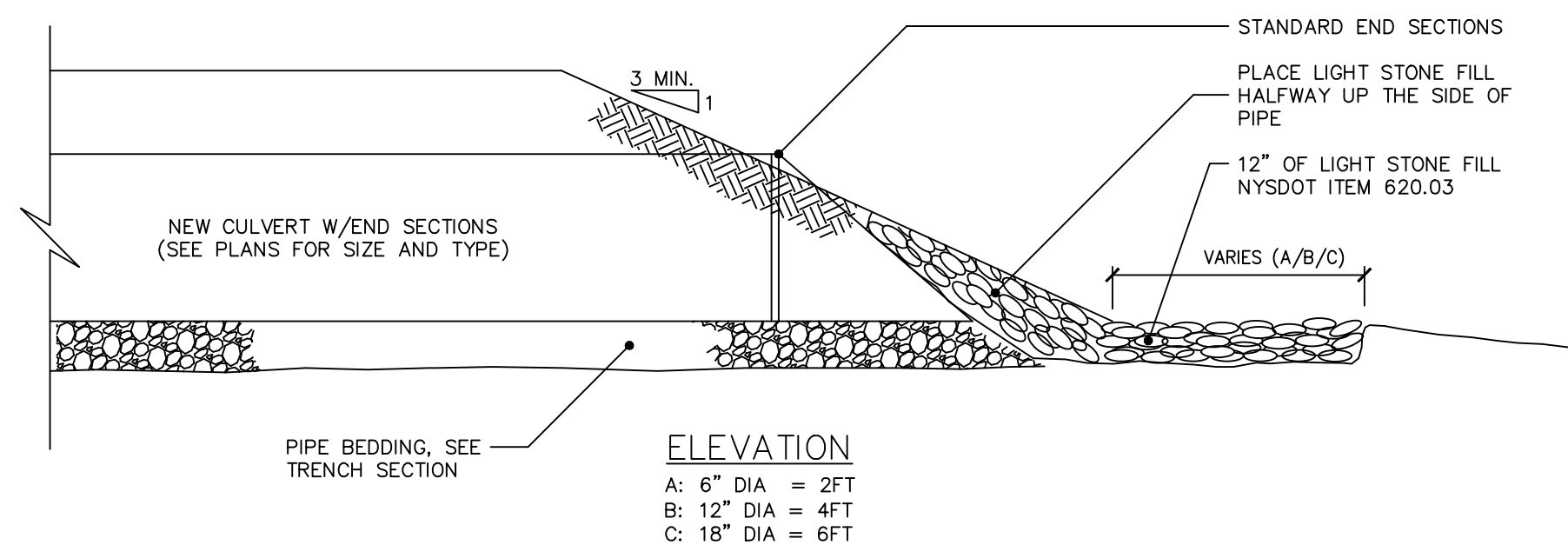
DRAWING NO.
C5.1



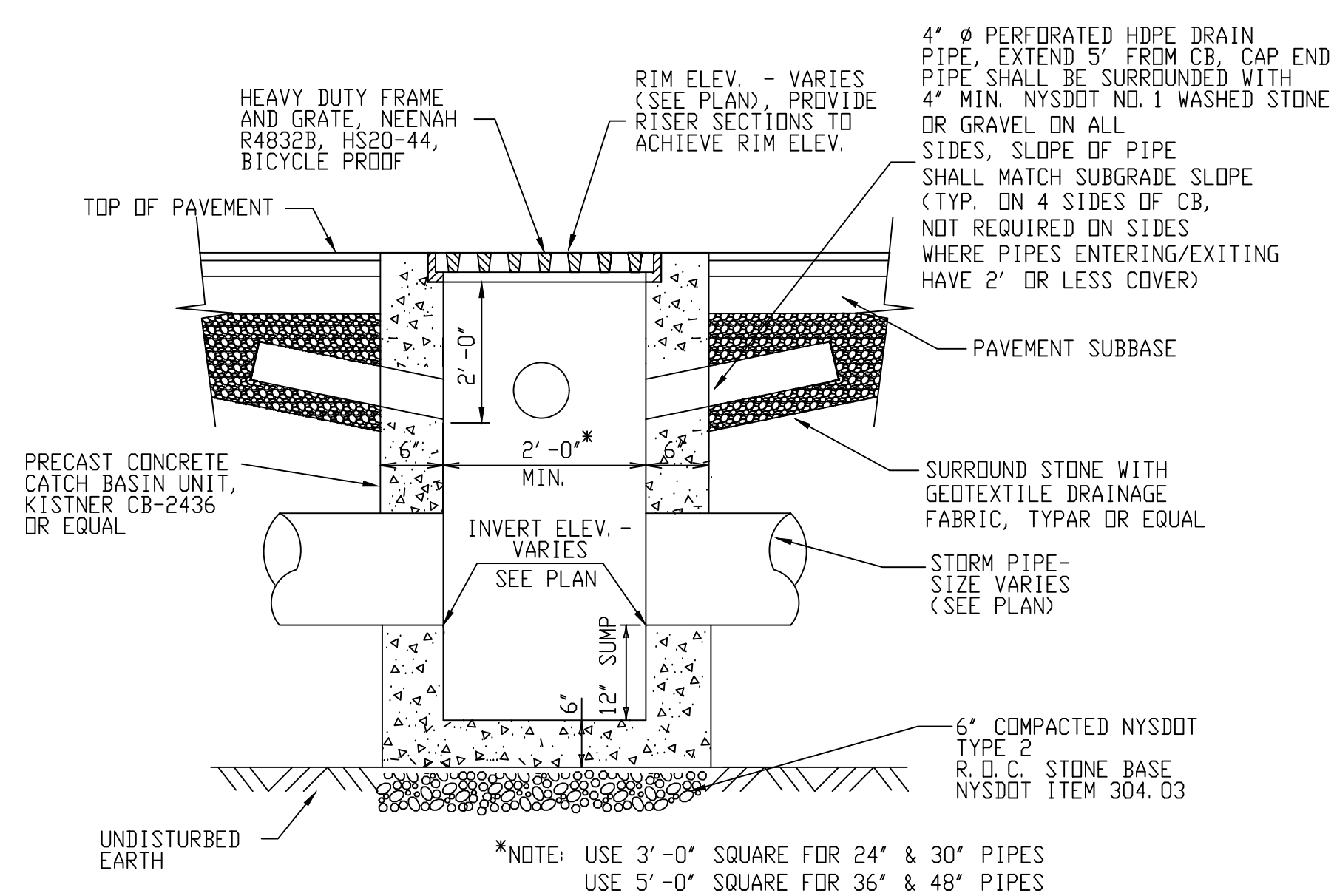
- A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
- C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
- D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

PIPE BEDDING MATERIAL (NYSDOT 1985 EDITION)

- NO SLAG SHALL BE ALLOWED FOR MATERIAL (2)

[illegible]

TYPICAL PIPE OUTLET W/END SECTION & RIP RAP
NOT TO SCALE



EXTERIOR CLEANOUT @ GRADE
J.R. SMITH #4251-U W/ VANDAL-
PROOF SCREW OR APPROVED EQUAL

NOTE: COVER TO BE
INSCRIBED "STORM"

2"x4" MARKER TO BE CUT
1"-0" BELOW GRADE AFTER
FINAL FIELD WALK
(END OF LINE
CLEANOUTS ONLY)

12"

24" MIN.

4000 PSI CONCRETE
ENCASMENT

FRAME 00-12"

6"x6"x6" WYE
(W/size of PIPE)

12"

WATERS TIGHT
PVC END CAP
(END OF LINE CLEANOUTS ONLY)

FLOW

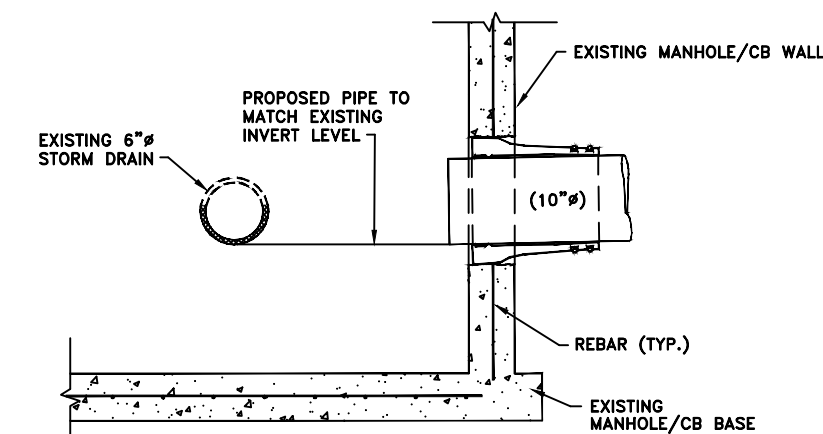
FISTONE BIDDING
PER TRUSS DETAIL

SPECIFIED ON PLANS

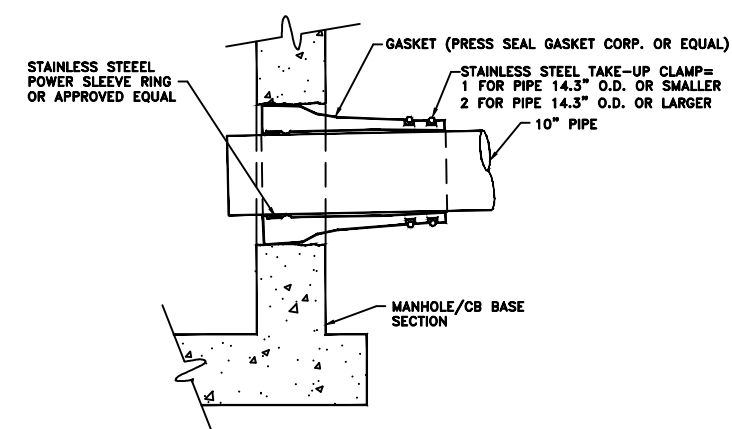
VARIES
SEE PLANS

VARIES
SEE PLANS

CLEANOUT IN LANDSCAPED AREAS
NOT TO SCALE



- NOTES:
1. CORE DRILL ENTRANCE HOLE IN PRECAST MANHOLE BARREL, BASE AND/OR BENCH FOR REQUIRED PIPE CLEARANCE. PER MANUFACTURERS RECOMMENDATIONS.
 2. DOES NOT APPLY TO HOUSE LATERALS.
 3. WATERTIGHT PIPE TO MANHOLE BOOT SEAL REQUIRED FOR ALL CORE DRILLED ENTRANCE HOLES IN MANHOLE BARREL AS SHOWN BELOW.



CONNECTION TO EXISTING MANHOLE/CB

[illegible]

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BENDERSON
DEVELOPMENT
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(716) 886-0211

SEAL



TITTLE

Drainage Details

SCALE:

NTS

DRAWN

DRAWING NO.

DMZ

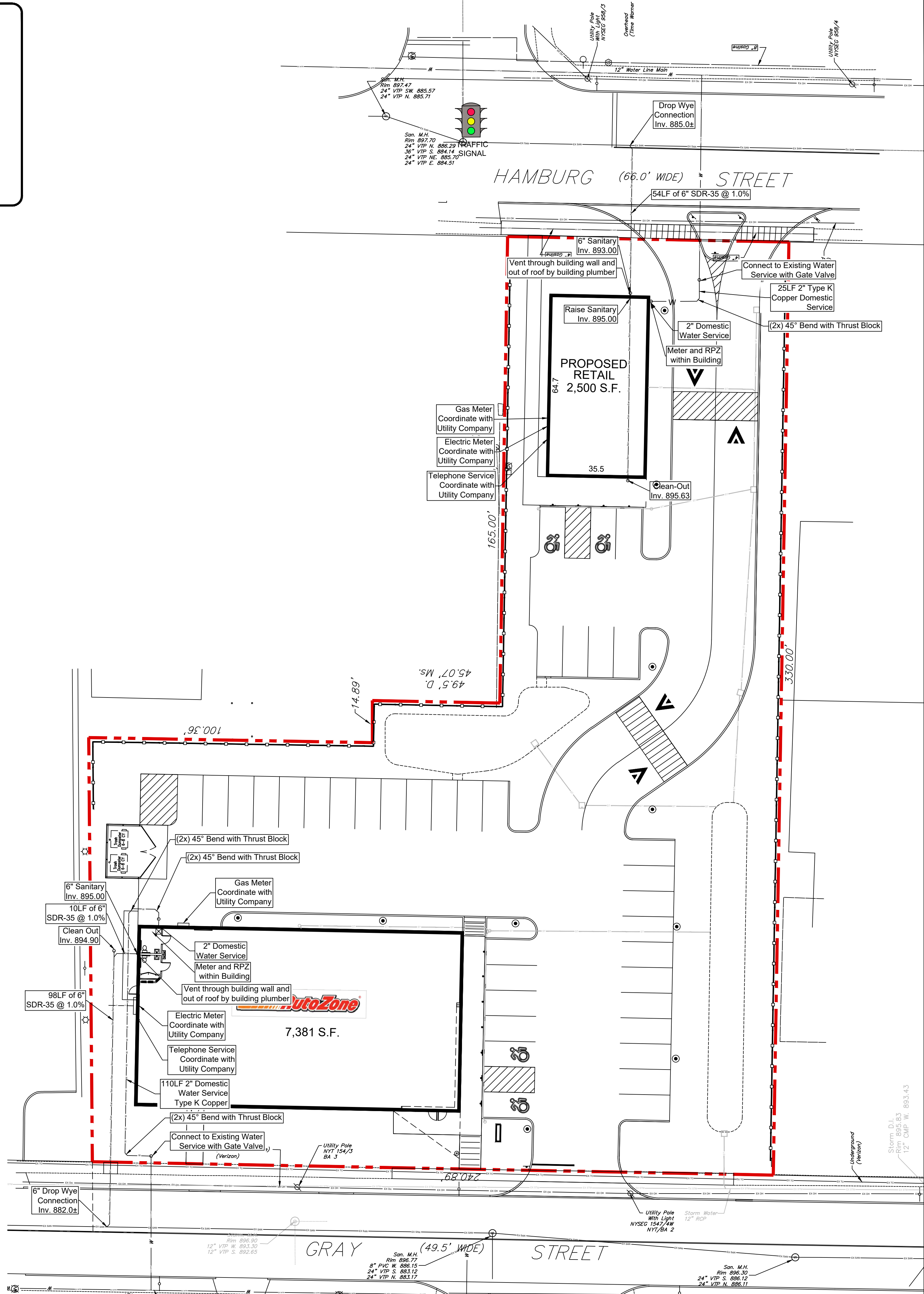
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MAGMAC
DATE

DATE: 08/05

C5.2

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- UTILITY LEGEND:
- PROPERTY LINE
 - PROPOSED GAS
 - PROPOSED WATER
 - PROPOSED ELECTRIC
 - PROPOSED SANITARY
 - EXISTING ELECTRIC
 - EXISTING GAS
 - EXISTING WATER
 - EXISTING OVERHEAD UTILITY
 - EXISTING SANITARY
 - EXISTING STORM
 - EXISTING TELECOMS



DRAWING REVISIONS:

No.	DATE	BY	REMARKS
2	08.02.2022	DZ	Resubmittal

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ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
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SEAL



TITLE:

Utility
Plan

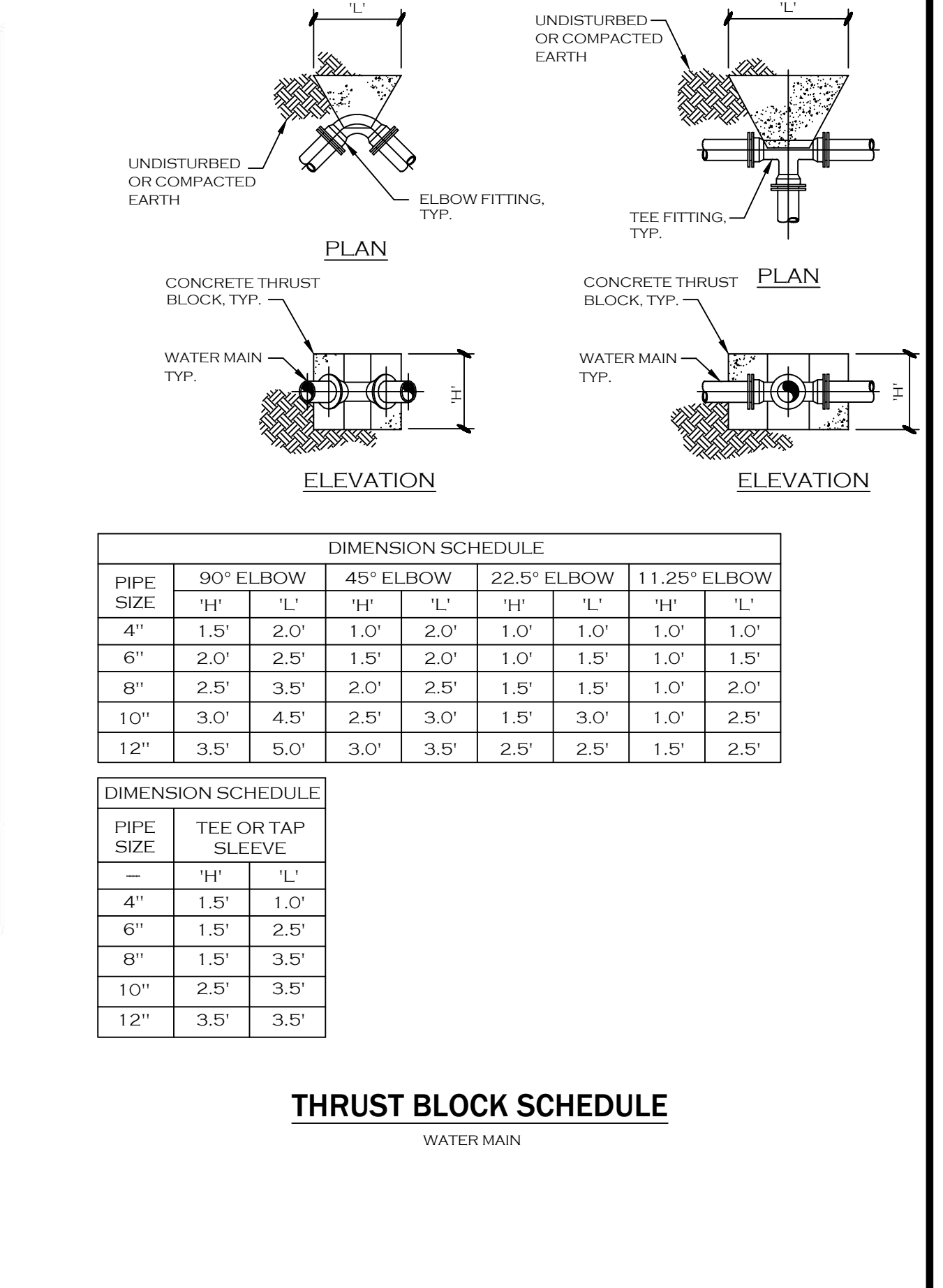
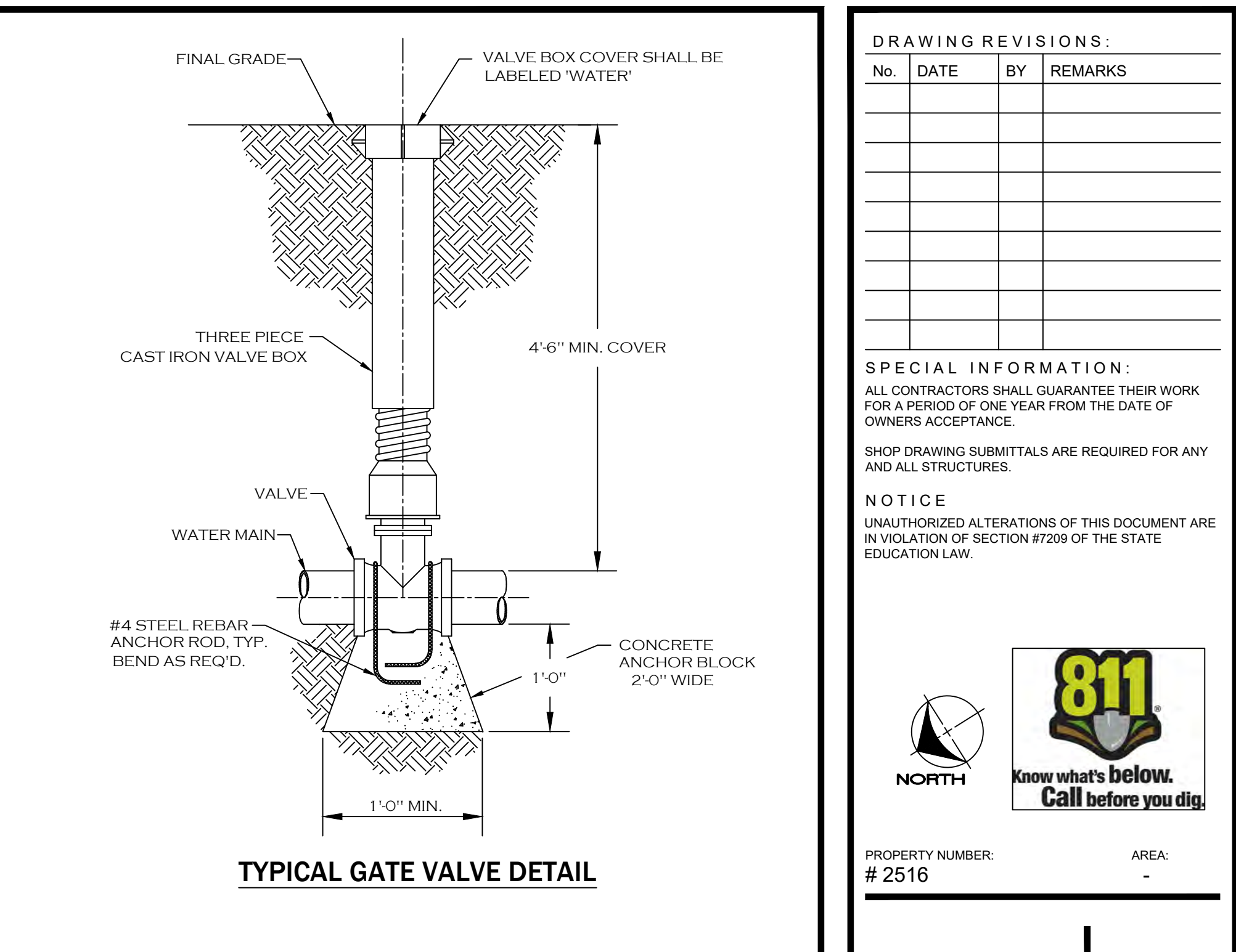
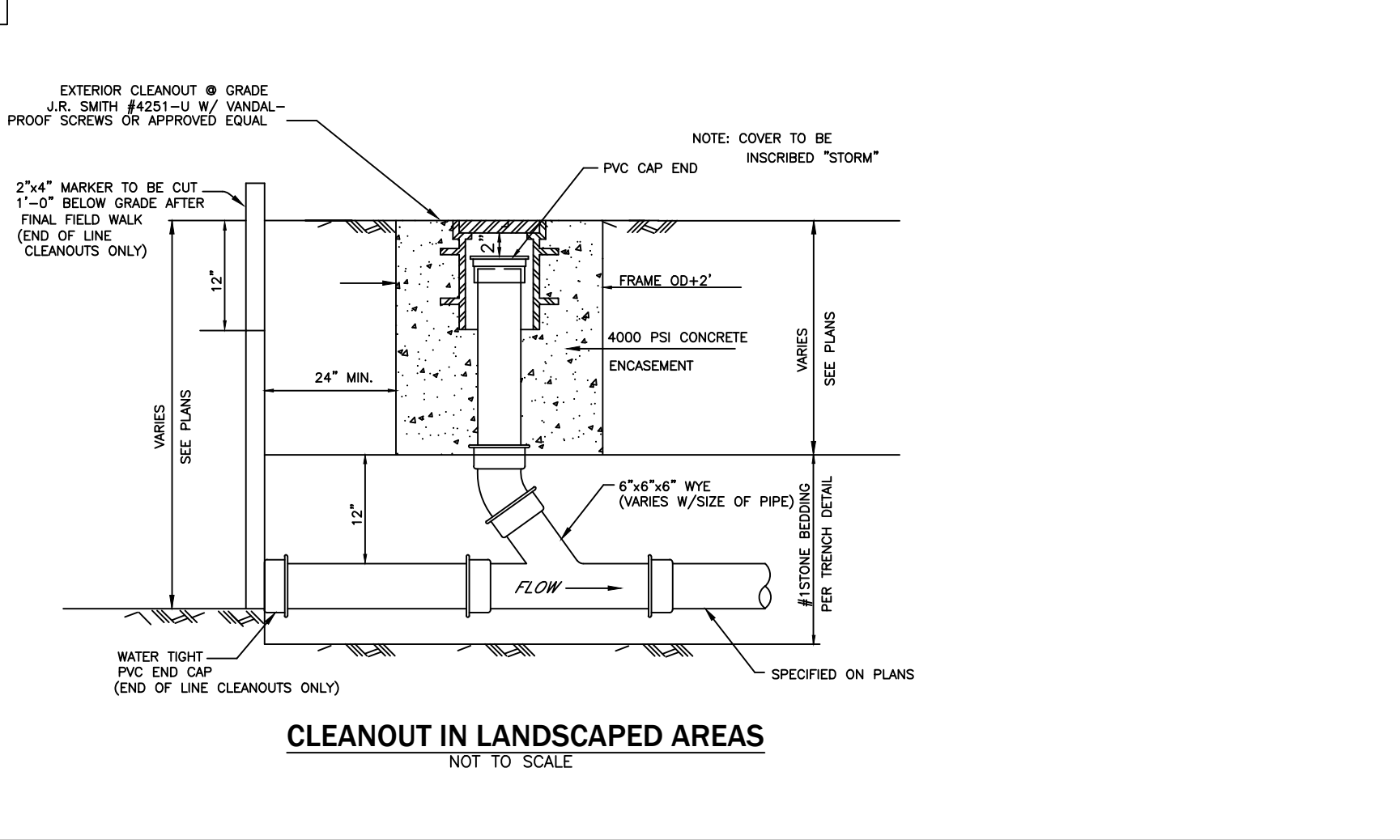
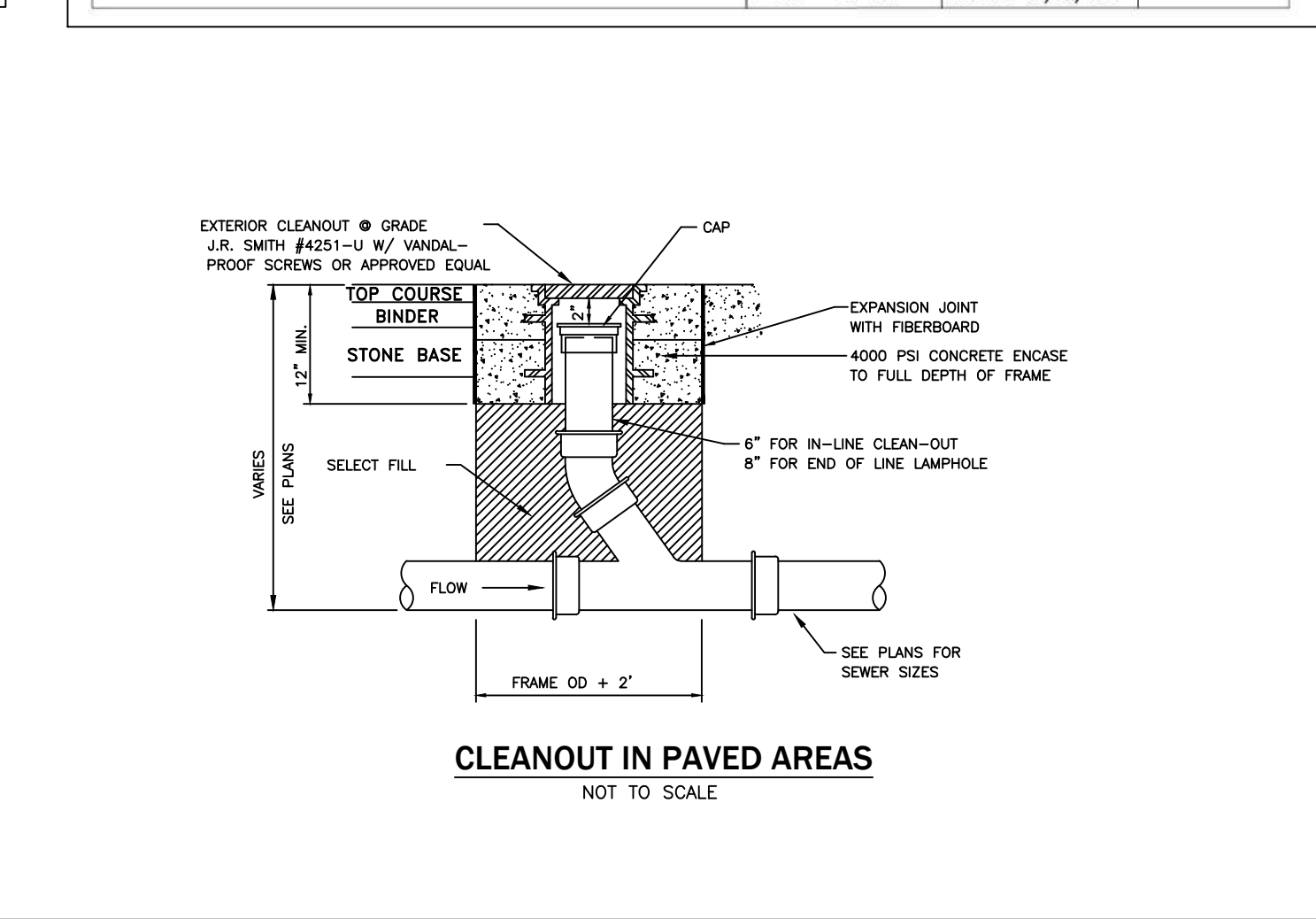
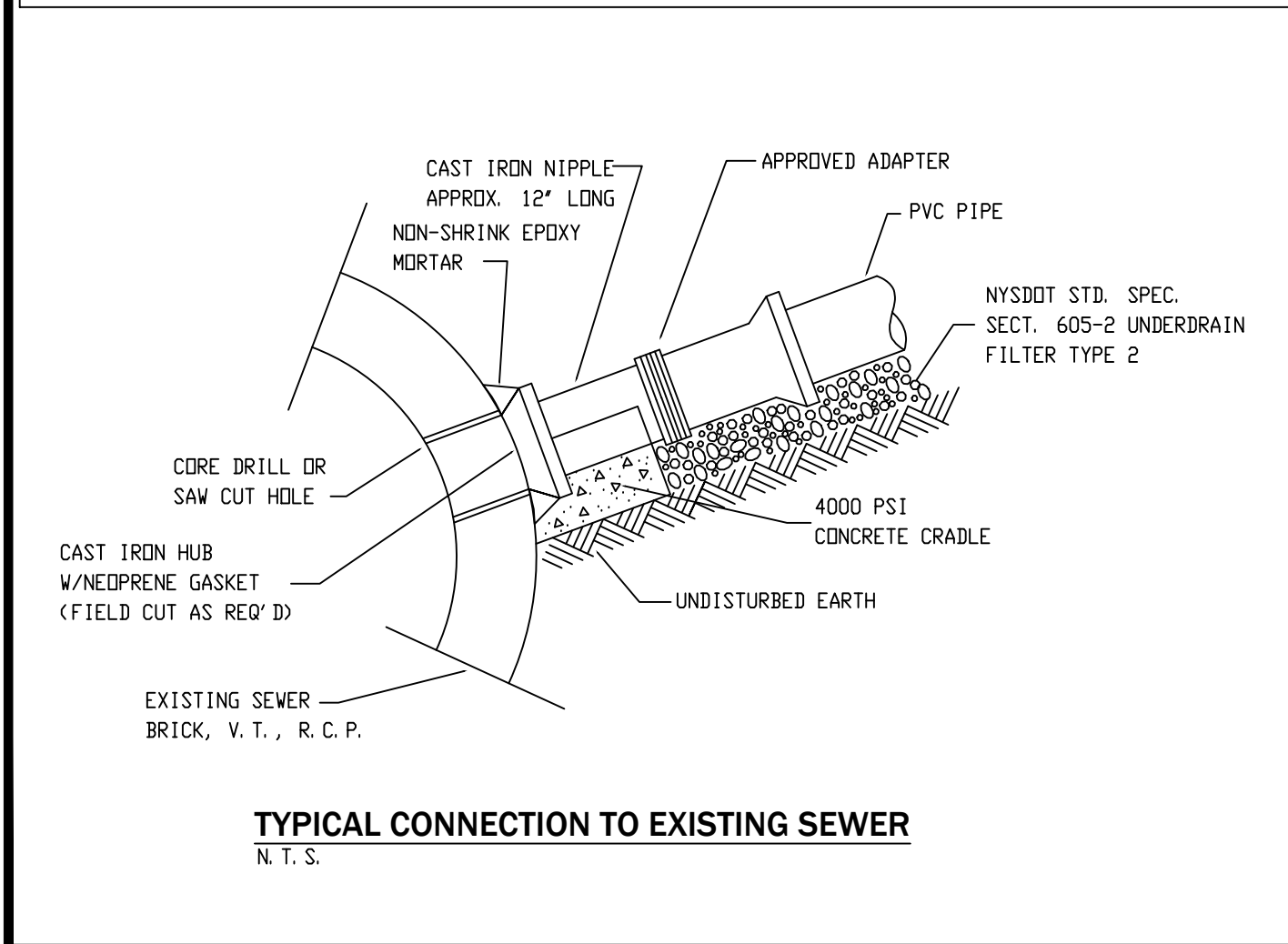
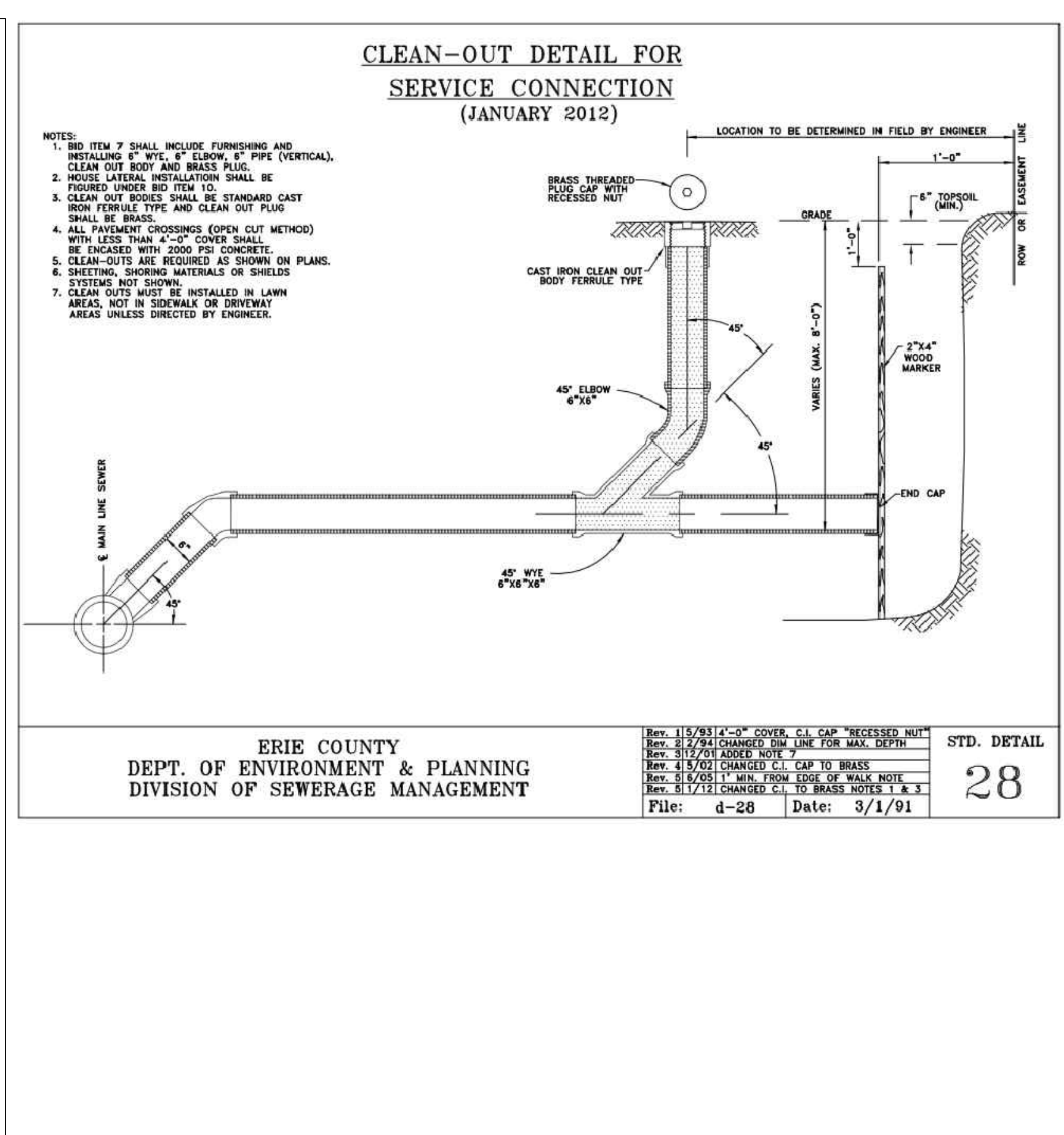
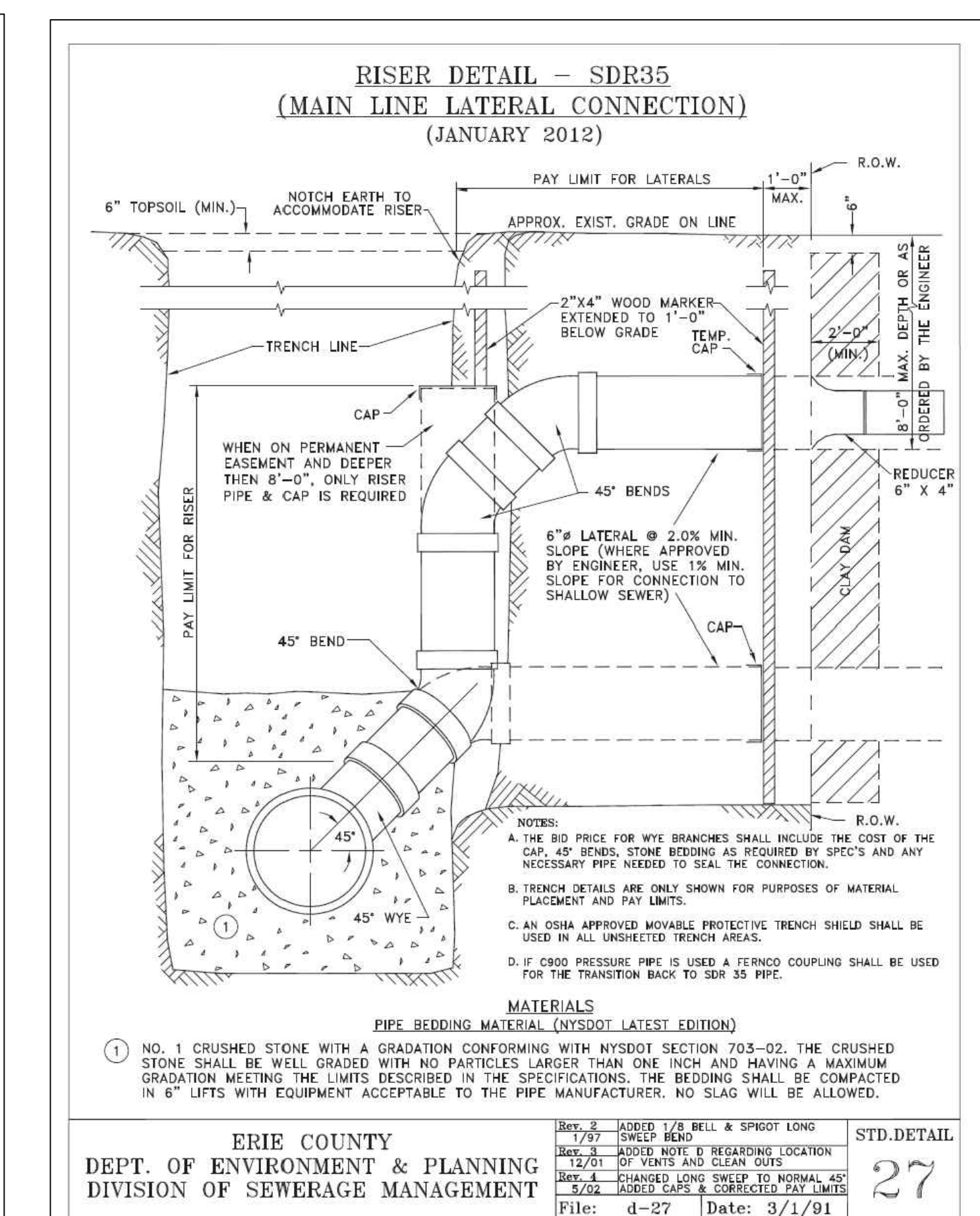
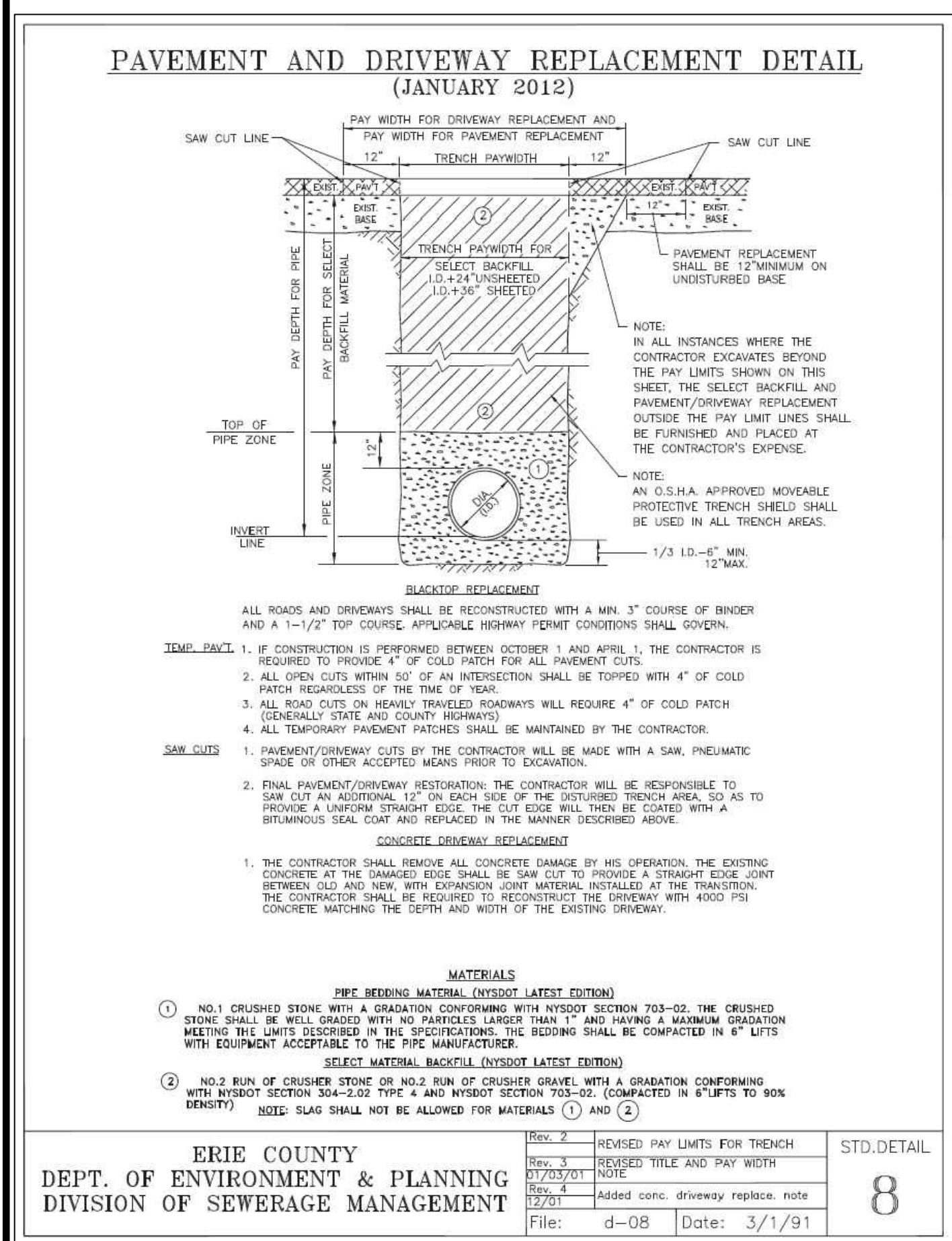
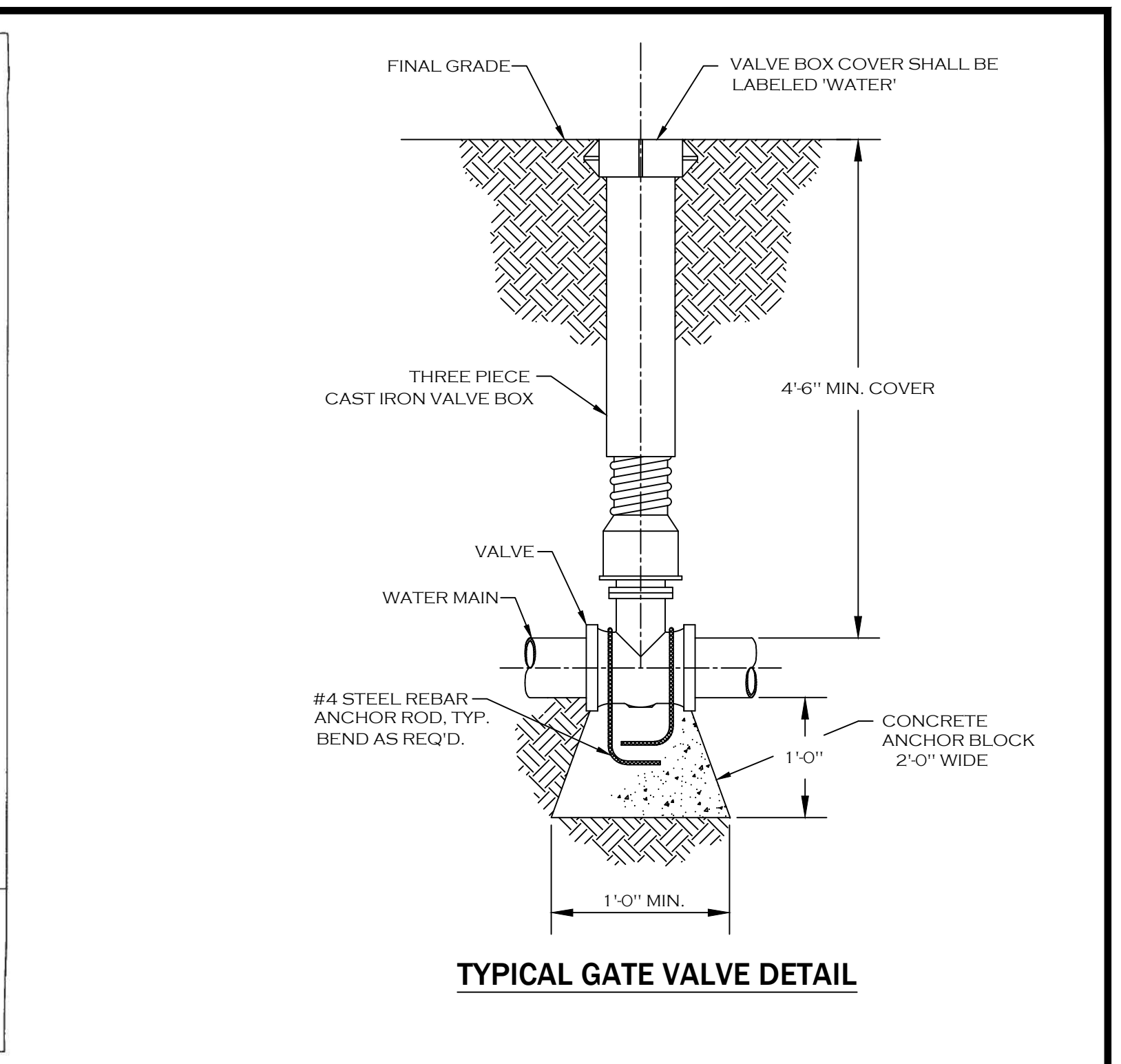
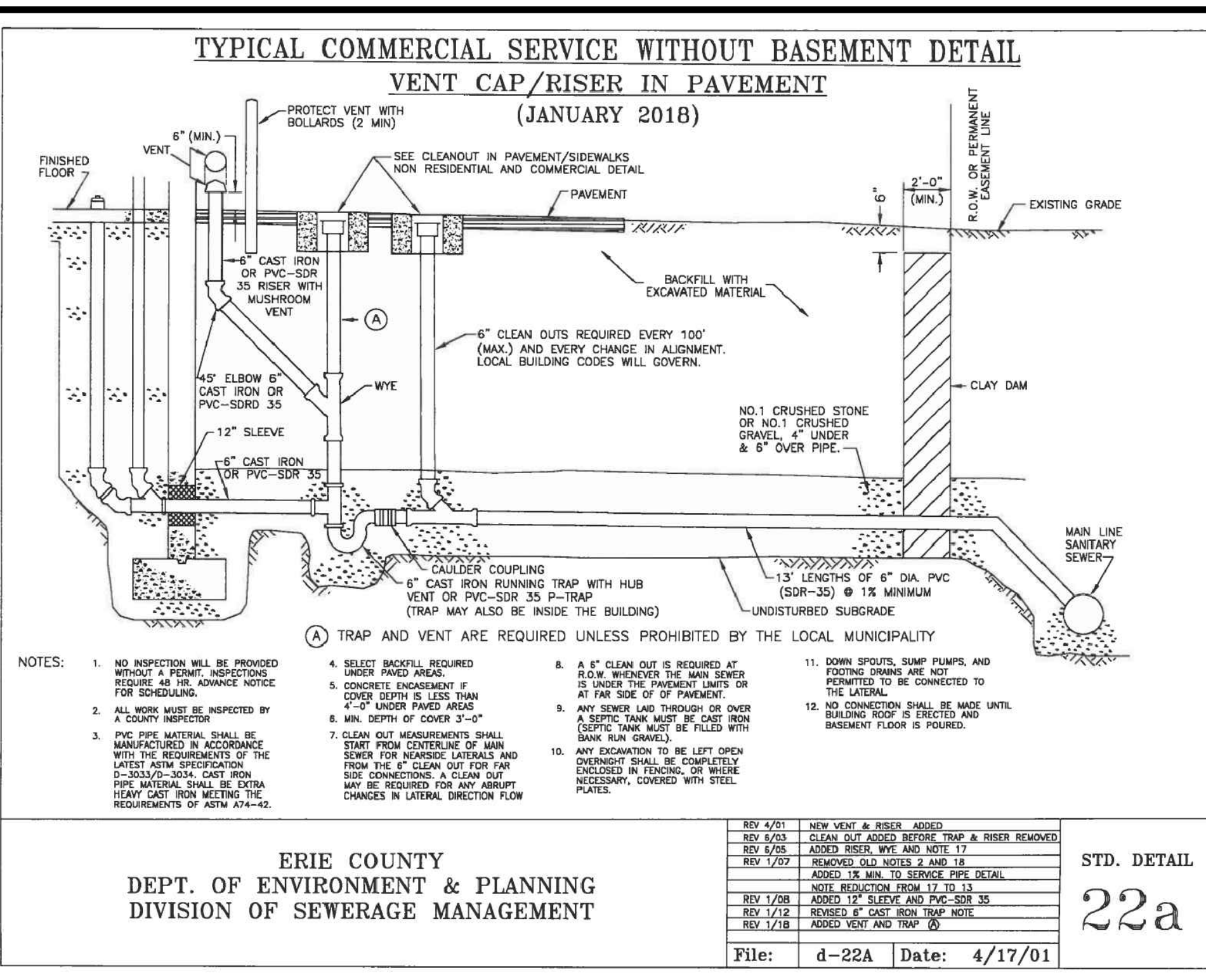
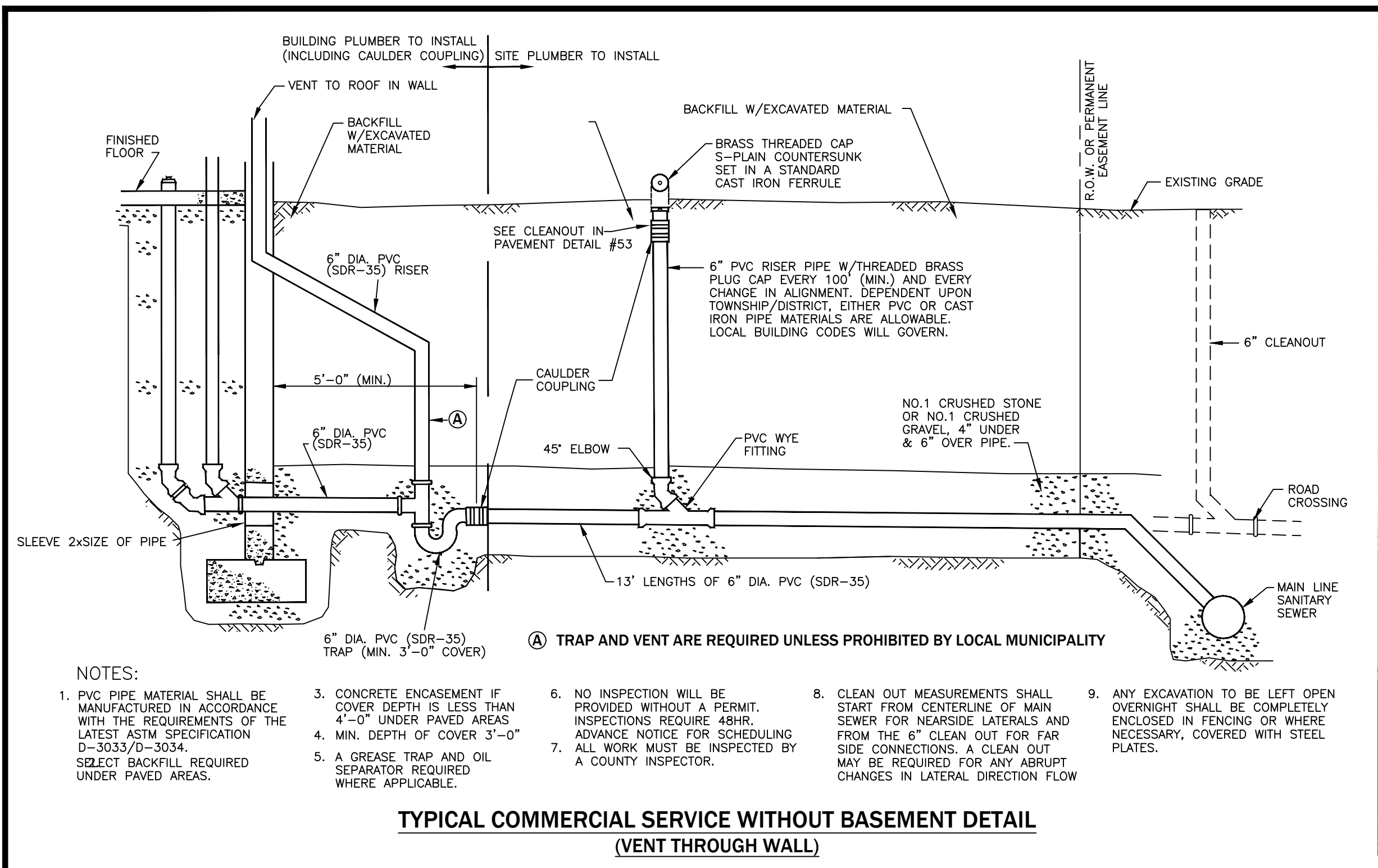
SCALE:
1" = 20'

DRAWN BY:
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MAO

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08.02.2021

DRAWING NO.
C6.0



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ARCHITECT**

**BENDERSON
DEVELOPMENT**

570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL

**REGISTERED ARCHITECT
JAMES ALLEN RUMSEY
STATE OF NEW YORK**

TITLE: Utility Details

SCALE: NTS














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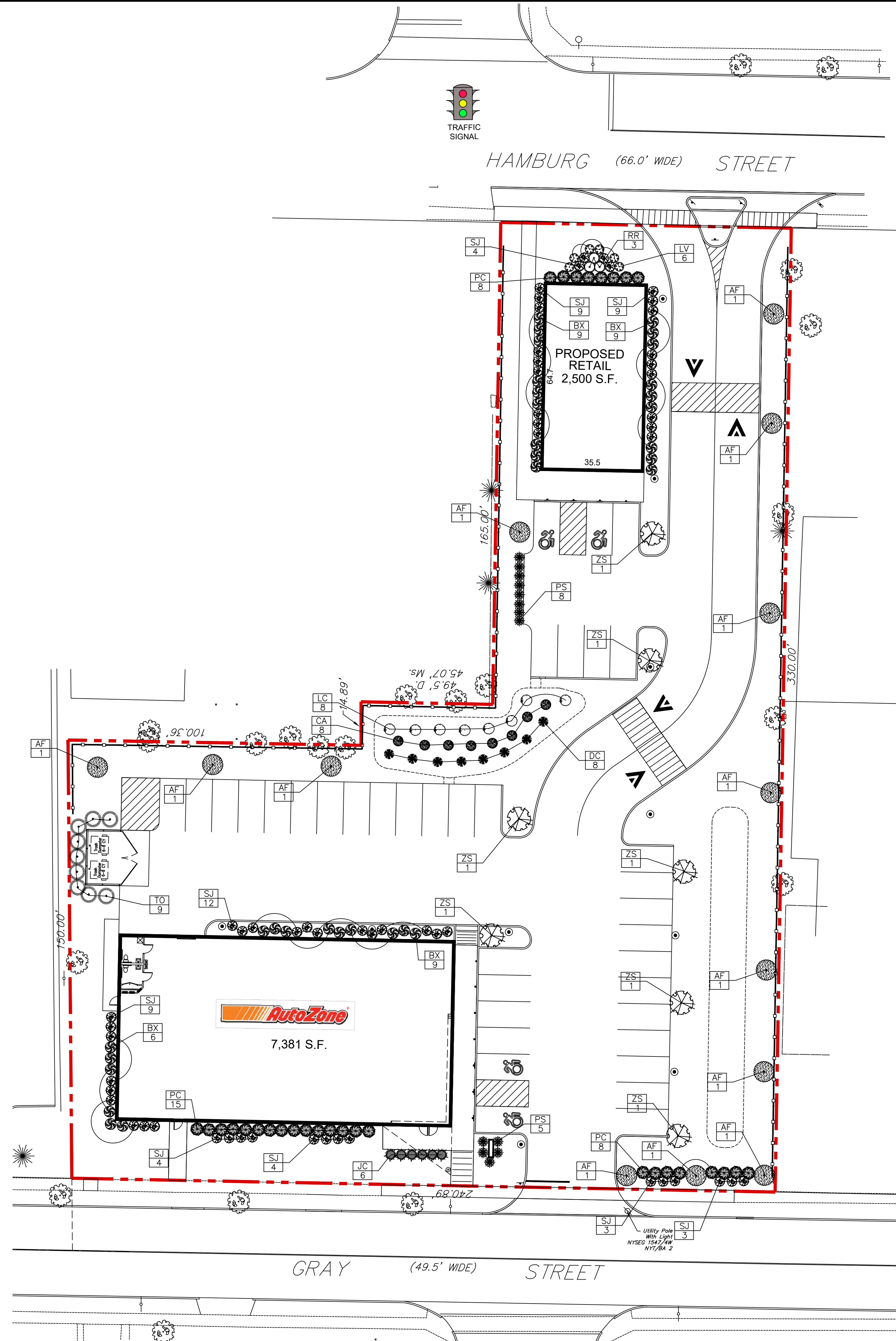
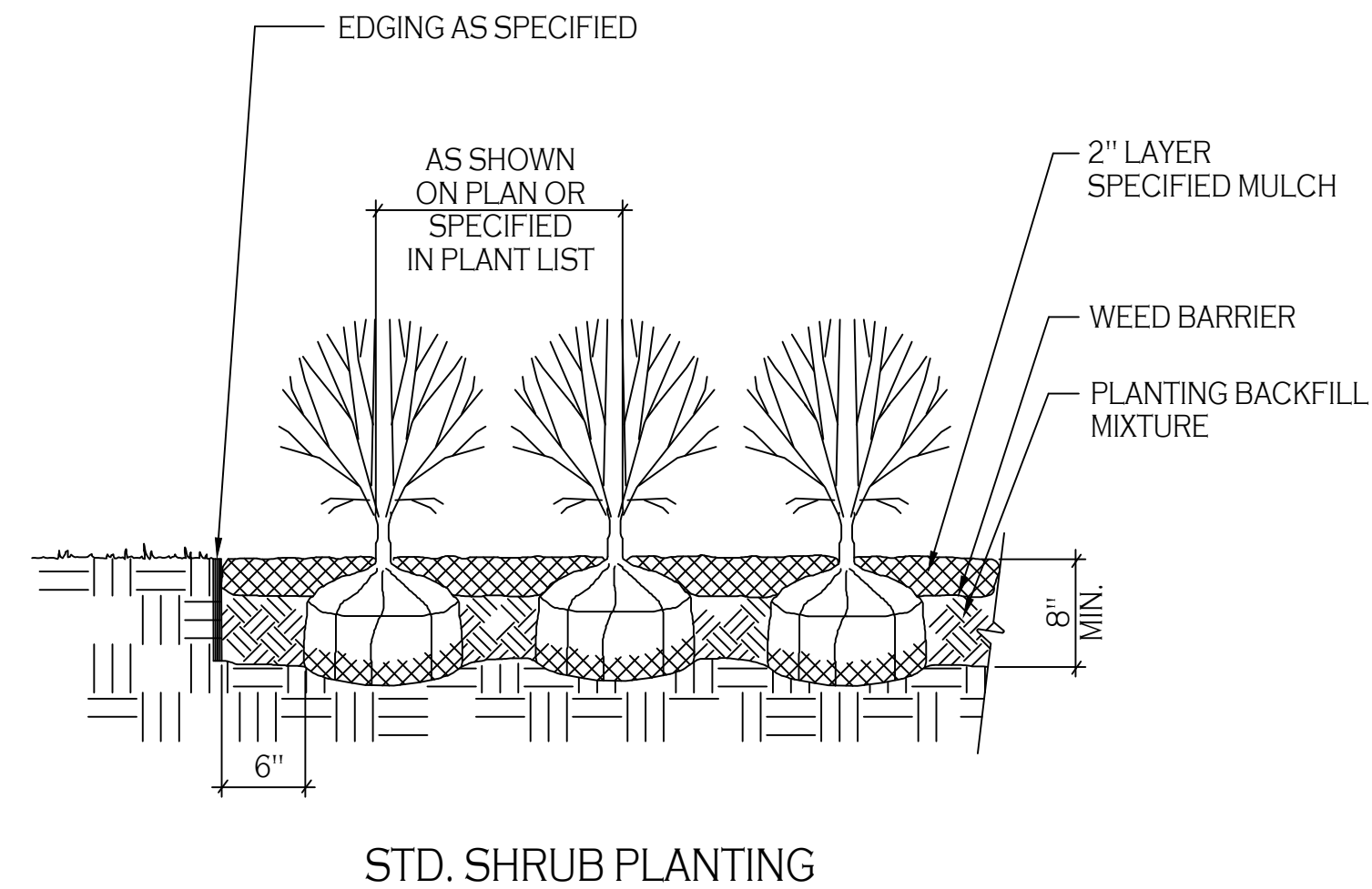
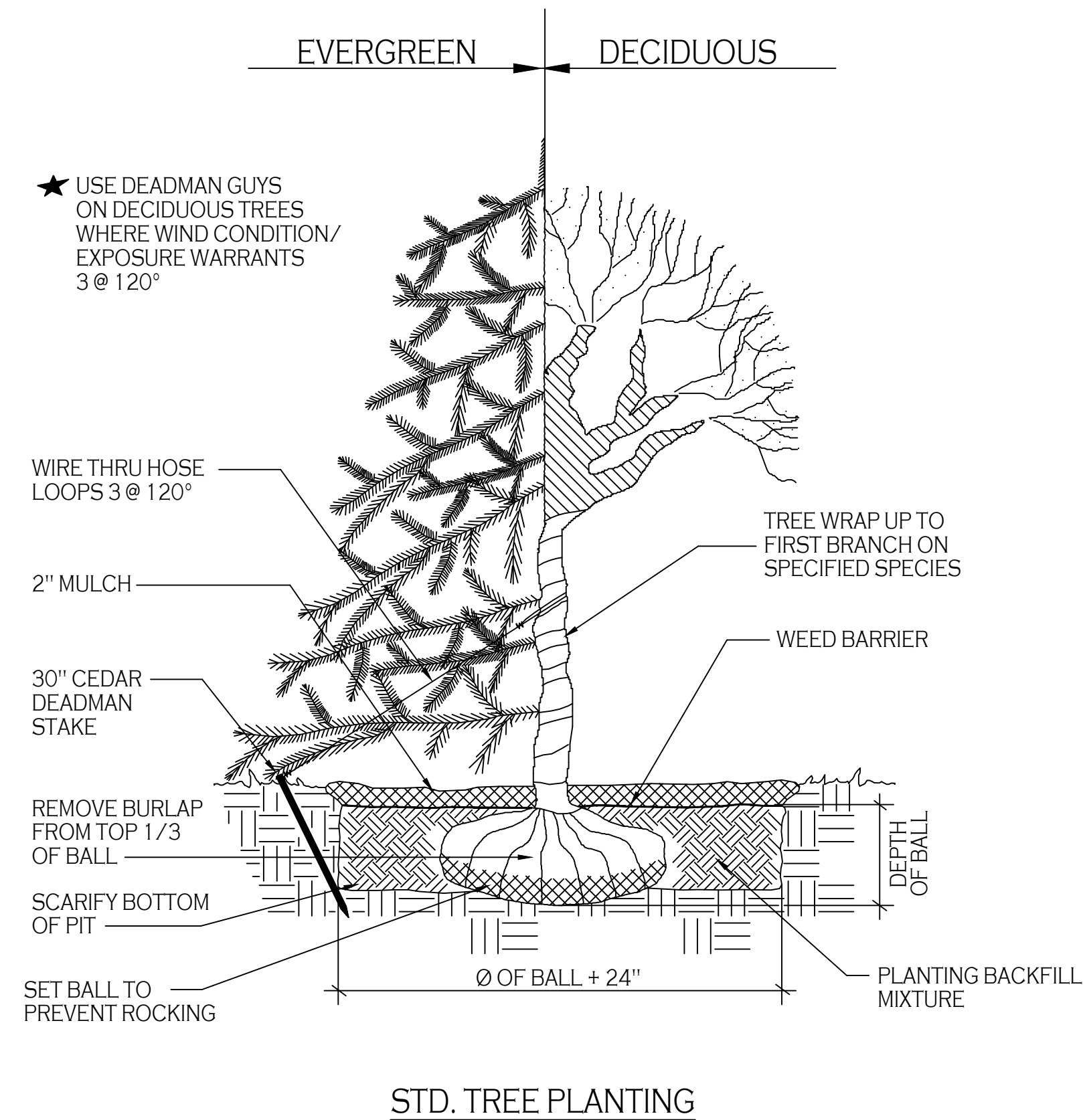
CHECKED BY: MAO

DATE: 08.02.2021

C6.1

1. ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI 260.1.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF, THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
3. THE CONTRACTOR SHALL FURNISH A MATCH FIELD STAKEOUT OF ALL PLANTING MATERIAL LOCATIONS AND CONTACT THE OWNER'S FIELD REPRESENTATIVE PRIOR TO ACTUALLY INSTALLING. THE PLANTING MATERIAL LOCATIONS SHOWN ON THE PLANS ARE TO CONVEY THE DESIGN INTENT ONLY, ACTUAL LOCATIONS WILL BE FINALIZED BY THE OWNERS FIELD REPRESENTATIVE AT THE TIME OF INSTALLATION.
4. THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY. CONTACT THE OWNERS FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
5. ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
6. PLANTING BACKFILL MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL, 1 PART PEAT MOSS, ½ PART WELL ROTTED MANURE, 10 LBS 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
7. STAKE AND WRAP TREES IMMEDIATELY FOLLOWING INSTALLATION.
8. ALL PLANTED AREAS SHALL RECEIVE A MAX. 2" LAYER OF COCOA BROWN MULCH. WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
9. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL BE PROVIDED WITH SOD. SEED PERMITTED AT DETENTION POND IF PLANTED EARLY ENOUGH TO ESTABLISH.
10. THE AREAS ON THE PLAN TO BE SEEDDED SHALL HAVE 4" MINIMUM OF TOPSOIL, DISK PLOWED, LEVELED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
11. ALL SEEDDED AREAS SHALL BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING.
HYDROSEED SPEC: 20% RYE, 20% BLUE GRASS, 60% TURF TYPE FESCUE
SOD MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE (REFER TO CONTRACTOR FOR SOD/SEED COVERAGE).
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER, THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.
13. CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING TREES ONSITE AND OFFSITE, WHICH ARE TO BE PRESERVED, FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE.

PLANT LIST							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	ROOT	QTY.
TREES							
	AF	Acer x Freemanii	ARMSTRONG MAPLE	2 1/2"		B&B	13
	TO	Thuja occidentalis 'Emerald'	EMERALD GREEN ARBORVITAE		5'	B&B	9
	ZS	Zelkova serrata 'Mussashino'	MUSASHINO COLUMNAR ZELKOVA	2 1/2"		B&B	7
SHRUBS							
	JC	Juniperus conferta 'Blue Pacific'	BLUE PACIFIC JUNIPER		24"	3 GAL.	6
	SJ	Spiraea japonica 'Gold Mound'	GOLD MOUND SPIRAEA		24"	3 GAL.	57
	LV	Ligustrum x vicaryi	GOLDEN VICARY PRIVET		24"	3 GAL.	6
	PC	Prunus x cistena	PURPLE LEAF SAND CHERRY		36"	5 GAL.	31
	RR	Rosa 'Radrazz'	KNOCK OUT ROSE		24"	3 GAL.	3
	BX	Buxus x 'Green Gem'	Green Gem Boxwood		24"	3 GAL.	33
GRASSES							
	PS	Pennisetum setaceum	FOUNTAIN GRASS		24"	3 GAL.	13
BIO-RETENTION POND							
	CA	Cornus amomum	SILKY DOGWOOD		24"	3 GAL.	8
	LC	Lobelia cardinalis	CARDINAL FLOWER		24"	3 GAL.	8
	DC	Deschampsia cespitosa	TUFTED HAIR GRASS		18"	3 GAL.	8

[illegible]

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK
FOR A PERIOD OF ONE YEAR FROM THE DATE OF
OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE
IN VIOLATION OF SECTION #7209 OF THE STATE
EDUCATION LAW.



PROPERTY NUMBER: # 2516

**26-30 Grey Street
East Aurora, New York 14052**

PROPOSED SITE REDEVELOPMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE: Landscaping Plan

SCALE:
1" = 20'

DRAWN BY:
DMZ

CHECKED BY:
MAO

DATE:
08.02.2021

DRAWING NO.

C7.0

TOWN OF AURORA

575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Board Members

FROM: Elizabeth Cassidy, Code Enforcement Officer

DATE: September 14, 2022

The Building Department has received a Special Use Permit application for MUSEjar at 71 Pine St (mailing address) by William Marusza, owner of 70 Church St. The SUP is required due to the size of the building. Village Code section 285-57.3 requires the application be referred to the Planning Commission for their recommendation. After which a public hearing is required prior to a decision by the Village Board.

Village Code section 285-57.4 requires the application be referred to the Erie County Planning Department for review due to the proximity to a County highway (Pine St).

This is an Unlisted action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.
Liz Cassidy

VILLAGE OF EAST AURORA

585 Oakwood Ave, East Aurora, New York 14052
716-652-6000

In conjunction with
Town of Aurora Building Department
575 Oakwood Ave, East Aurora, NY 14052
716-652-7591

Building Dept.
Date Received <u>9/13/22</u>
Complete App <u>9/13/22</u>
Village Clerk:
Date Filed _____
Amount \$ _____
Receipt # _____

SPECIAL USE PERMIT APPLICATION

PROPOSED PROJECT MUSE SHOP AT 71 PINE ST. SBL#: 165.17-2-14.11
LOCATION 70 CHURCH STREET, EAST AURORA ZONING DISTRICT LCR

The applicant agrees to reimburse the Village for any additional fees required for review by consultants hired by the Village.

APPLICANT NAME WILLIAM MAUREUSIA
ADDRESS 7832 QUEENSBORO RD, ORCHARD PARK, NY 14127
TELEPHONE 716 432-5025 FAX _____ E-MAIL MAUREUSIA@GMAIL.COM
SIGNATURE William F. Maureusia

OWNER NAME SAME AS ABOVE
ADDRESS _____
TELEPHONE _____ FAX _____ E-MAIL _____
SIGNATURE _____

DEVELOPER NAME SAME AS ABOVE
ADDRESS _____
TELEPHONE _____ FAX _____ E-MAIL _____
SIGNATURE _____

Request is for: Restaurant, Indoor Dining and/or Restaurant, Outdoor Dining
Gas Station Car Wash ☒ Other
Outdoor music or other noise impact; if yes please include a quick summation of request:
ART STUDIO

Days and hours of operation (indoor) WED - FRI 11am - 6pm, SAT & SUN 10am - 4pm
Days and hours of operation (outdoor) N/A

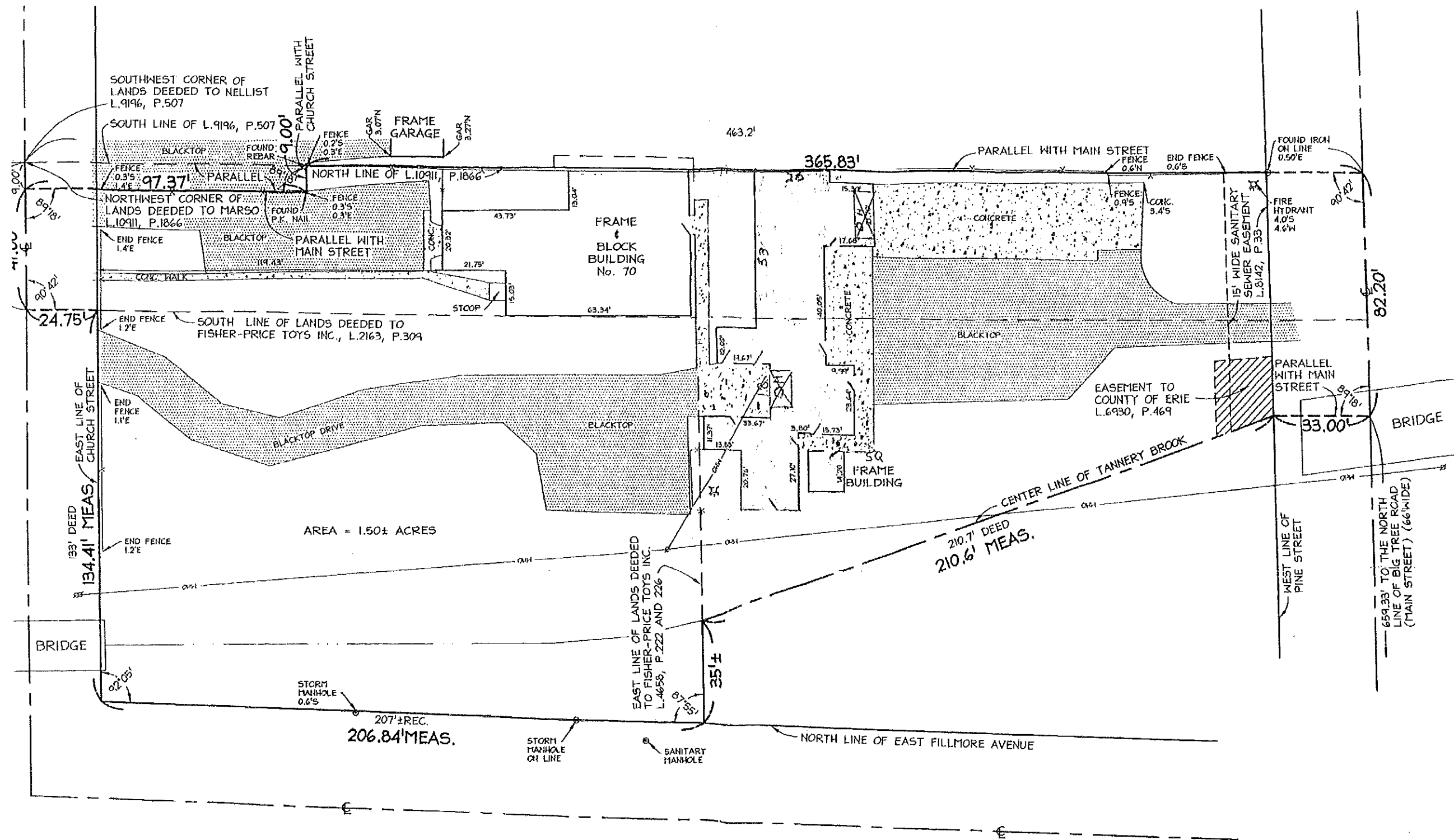
Will alcoholic beverages be served? Yes ☒ No

Will there be outdoor music? Yes ☒ No If yes, what type of music: _____
Days and times of music _____

Are premises handicap accessible? ☒ Yes No If not, premises must be made ADA compliant
If yes, contact building department at 716-652-7591
Will there be any renovations ☒ Yes No

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One Cover Letter to Village Board, Supporting Documents and SEQR as required in §285-52.2
- One complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD-ROM
- Application fee \$25.00, Permit fee \$25.00 and Public Hearing fee \$100.00 - Total \$150 at time of application



FILLMORE (66' WIDE) AVENUE



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Muse Jar at 71 Pine Street							
Name of Action or Project: 70 Church St, East Aurora, NY 14052							
Project Location (describe, and attach a location map): art studio							
Brief Description of Proposed Action: Relocate local art studio into existing vacant commercial space							
Name of Applicant or Sponsor: William F. Marusza		Telephone: 716-432-5025					
		E-Mail:					
Address: 7832 Quaker Rd							
City/PO: Orchard Park		State: NY	Zip Code: 14170				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">NO</td> <td style="width: 50%; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td> <td style="text-align: center; padding: 2px;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Village of East Aurora Town of Aurora building permit			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">NO</td> <td style="width: 50%; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 2px;"><input type="checkbox"/></td> <td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? .75 acres b. Total acreage to be physically disturbed? 0 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 1.5 acres							
4. Check all land uses that occur on, adjoining and near the proposed action. <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;"><input type="checkbox"/> Urban</div> <div style="width: 50%;"><input type="checkbox"/> Rural (non-agriculture)</div> <div style="width: 50%;"><input type="checkbox"/> Industrial</div> <div style="width: 50%;"><input checked="" type="checkbox"/> Commercial</div> <div style="width: 50%;"><input checked="" type="checkbox"/> Residential (suburban)</div> <div style="width: 50%;"><input type="checkbox"/> Forest</div> <div style="width: 50%;"><input type="checkbox"/> Agriculture</div> <div style="width: 50%;"><input type="checkbox"/> Aquatic</div> <div style="width: 50%;"><input type="checkbox"/> Other (specify): _____</div> <div style="width: 50%;"><input type="checkbox"/> Parkland</div> </div>							

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____	NO <input checked="checked" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____	NO <input checked="checked" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____	NO <input checked="checked" type="checkbox"/>	YES <input type="checkbox"/>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: William F. Marusza Date: 9/12/22</p> <p>Signature: <u>William F. Marusza</u></p>		

PRINT FORM