

AGENDA
Village Board of East Aurora
September 18, 2023 Regular Meeting at 7 p.m.

- 1. CALL MEETING TO ORDER**
 - A. Pledge of Allegiance**
 - B. Roll Call**
 - C. Approval of Minutes of Village Board Meeting for September 5, 2023**
 - D. Approval of Payment of Abstract 2023/2024 fiscal year for Voucher Nos. 63910 to 63967 for a total of \$238,364.26**
- 2. PUBLIC HEARINGS**
 - A. Amendment Special Use Permit for Alix & Nick Robinson 636 East Fillmore - tavern use with outdoor seating**
 - B. Local Law for 285-30.5 Visibility**
- 3. SPEAKERS & COMMUNICATIONS (I)**
- 4. OFFICIAL CONSIDERATIONS**
 - A. Approve a Special Use Permit for Anthony Amabile 27 Riley Street – Outdoor music.**
 - B. Approve an Amended Special Use Permit for Alix & Nick Robinson at 636 East Fillmore - tavern use with outdoor seating.**
 - C. Approve Local Law for 285-30.5 Visibility**
 - D. Approve a Temporary Use Permit for Brian Moeller - Buffalo Autism Project – October 21st, 2-8pm**
 - E. Approve a Temporary Use Permit for Holly Layer – Turk EA Trot- November 23rd, 9-11am**
 - F. Approve a Temporary Use Permit for Victoria Storman – Carolcade- December 23rd, 6pm-8pm**
 - G. Schedule a public hearing for Community Development Block Grant on October 2nd**
 - H. Schedule a public hearing on October 16th for Jane Brewer & Joseph Zambon at 245 Prospect Ave – Special Use Permit for ADU**
 - I. Schedule a public hearing on October 16th for Lori & Richard McDermott at 105 Park Place – Special Use Permit for Air B&B**
 - J. Schedule a public hearing on **October 16th** for Joshua Best at 49 Knox Road – Rezone SFR to **GR****
 - K. Schedule a public hearing on **October 16th** for Benderson Development at 123 Grey Street – Site Plan Application for Five Below**
 - L. Schedule a public hearing on **October 16th** for Buffalo Modular Homes at 757 Ellis Drive – Site Plan Application to construct a single-family home**
 - M. Schedule a public hearing on **October 16th for Manny's Hardware at 42 Riley Street** – Amended Special Use Permit for Outdoor Merchandise & shipping container for storage**
 - N. Schedule a public hearing on **October 16th** for Ed & Kristin Borzillieri at 586 Main Street – Special Use Permit for a Patio**
 - O. Approve a request for **30-day waiver for a liquor license for Jemal's Roycroft** – 40 S. Grove Street**
 - P. Approve Budget adjustments for the 2023/2024 fiscal year**
 - Q. Appoint Logan Girdlestone to the Position of Part time Dispatcher effective on or after September 19, 2023**
- 5. NEW BUSINESS**
 - A. South Willow- No Parking request. Refer to the Safety committee if applicable.**
 - B. Erie Niagara Sunrise Exchange Club, possible display**
 - C. 206 Main Street- **Mister's Site plan review Schedule Public hearing if appropriate****
- 6. OLD BUSINESS**
 - A. Sign Law Discussion**
- 7. SPEAKERS & COMMUNICATIONS (II)**
- 8. DEPARTMENT HEAD REPORT**
- 9. ADJOURNMENT**

**VILLAGE OF EAST
AURORA VILLAGE BOARD
MEETING September 5, 2023
- 7:01 PM**

Present:

Mayor Mercurio
Trustee Scheer
Trustee Cameron
Trustee Viger
Trustee Flynn
Trustee Lazickas

Absent:

Also Present:

Maureen Jerackas, Village Clerk Treasurer
Elizabeth Cassidy, Code Enforcement
Officer Chris Trapp, Village Attorney
Matthew Hoeh, DPW Superintendent
Crystal Barrett, Village Deputy Clerk
10 Members of the public
East Aurora Bee

A Motion by Trustee Flynn to approve the Village Board minutes for August 21, 2023 seconded by Trustee Lazickas, and carried with unanimous approval.

Trustee Cameron, moved to approve the payment of Abstract 2023/2024 fiscal year for Voucher Nos. 63873 to 63909 for a total of \$216,640.08, seconded by Trustee Viger, and carried by unanimous approval.

SPEAKERS & COMMUNICATIONS (I)

- Nancy Smith, 195 Sycamore St – spoke about the visibility law and her concerns for variances. Nancy measured various types of plants along sidewalks throughout the Village and addressed her concern about the plants needing to be removed if restrictions were going to be enforced. Nancy gave a few examples of plants that would be affected by the visibility law. Nancy spoke with Code Enforcement and discussed plants that would be grandfathered in and her concerns for tree lawns in the Village.

PUBLIC HEARINGS

- A Motion by Trustee Lazickas to open a Public Hearing at 7:05pm for a Special Use Permit for John Langfelder at 650 Main Street, seconded by Trustee Viger and carried with unanimous approval.
 - The Applicant's goal is to use local ingredients and it won't be a typical pizzeria. The Applicant will apply for his liquor license and offer a few Italian cocktails with beer and wine options. The Applicant will be open on Sundays in the future from

10am-5pm with limited brunch. Monday nights will be pizza classes for amateurs and professionals. There will be a long bench and a high-top counter installed.

A motion by Trustee Cameron to close the public hearing at 7:12 pm, seconded by Trustee Lazickas and carried with unanimous approval.

- A Motion by Trustee Lazickas to open a Public Hearing at 7:12pm for a Special Use Permit for Anthony Amabile at 27 Riley Street, seconded by Trustee Scheer and carried with unanimous approval.
 - The Applicant's excited to reopen Riley Street Station and used to work there in the past. The Board of Trustees reviewed the request for outdoor music and questioned the hours. The Applicant requested 6pm-9pm or 7pm-10pm and would be only on Friday or Saturday nights. The Board of Trustees asked Code Enforcement and the Police Chief for their input if any complaints were filed, and they replied there wasn't any that were received. The Board of Trustees requested to review other establishments with outdoor music and postpone the decision regarding outdoor music. The Board of Trustees reviewed the lot and how it's shared with the Rink. The Owners will work together regarding the lot and parking spaces.

A motion by Trustee Lazickas to close the public hearing at 7:26pm, seconded by Trustee Cameron and carried with unanimous approval.

- A Motion by Trustee Lazickas to open a Public Hearing at 7:26pm for an Amended Special Use Permit for Alix and Nick Robinson at 636 East Fillmore, seconded by Trustee Viger and carried with unanimous approval.
 - The public hearing was left open due to the absence of the Applicants.

OFFICIAL CONSIDERATIONS

- **An Application of a Request for a Special Use Permit, received by the Office of the Village Clerk on July 10, 2023, is hereby:**

A motion by Trustee Lazickas,

WAS APPROVED as submitted, for applicant John Langfelder 650 Main Street, to operate a restaurant.

The Village Board shall be Lead Agency under the State Environmental Quality Review Act (SEQRA). A Negative Declaration is made under SEQRA and said application is determined to be an Unlisted Action.

The following findings and conditions from the Village Planning Commission are incorporated herein:

1. The proposed business is consistent with other retail establishments on Main Street.
2. Good use of a vacant site.
3. The applicant plans to obtain a full liquor license but will not have a full bar – Only counter service.

Approval is Granted for the above-referenced Special Use Permit Application, as written and submitted, and with the following additional modifications and/or conditions*:

1. The operating hours are: Sunday 10am-5pm, Monday 5pm-9:30pm, Tuesday – Friday 9:30am-9:30pm, and Saturday 12:00pm-9:30pm

Should any part of the application and Special Use Permit approval be in conflict with any segment of the underlying Village Code (i.e., Zoning, etc.), adherence shall be with the Village Code provisions.

The Village shall have the right to periodically inspect the property for compliance with the Village Code, the Special Use Permit and its conditions.

The nature, duration and intensity of the operations which are involved in, or conducted in connection with, this Special Use Permit shall not be increased or expanded without the approval of the Village Board. Any increase or expansion shall be considered at a public hearing held in accordance with the application requirements and administrative procedures which have been adopted by the Village Board.

This Special Use Permit shall expire if significant construction has not been commenced within one year, and has not been completed within two years, of final Special Use Permit approval or, if no construction is involved, if the use has not been commenced within one year of final Special Use Permit approval.

This Special Use Permit shall expire if the use, once begun, ceases operation, for any reason, for more than six consecutive months. For seasonal uses, the use will be considered ceased if there is no operation for at least 12 consecutive months.

This Special Use Permit may be revoked by the Village Board if it is found and determined that there has been a material failure of compliance with any one of the terms, conditions, limitations or requirements imposed by the Special Use Permit. Revocation may also occur in the event of Village Code violations occurring at the property. The Village Board shall hold a public hearing to consider whether or not the Special Use Permit grantee has violated the terms and conditions of the Special Use Permit or if any Village Code violations have occurred. The public hearing shall be held only after the permit grantee has been notified. Notice of the violations and of the date, place and time of the public hearing shall be mailed to the Special Use Permit grantee by certified mail, return receipt requested, directed to the last known address of the permit grantee.

Seconded by Cameron, and unanimously approved.

- **An Application of a Request for a Special Use Permit, received by the Office of the Village Clerk on July 11, 2023, is hereby:**

A motion by Trustee Flynn to leave the public hearing open regarding the outdoor music until the September 18, 2023 meeting and

APPROVE, as submitted, for applicant Anthony Amabile 27 Riley Street, to operate a restaurant with outdoor seating at 27 Riley Street the Riley Street Station.

The Village Board shall be Lead Agency under the State Environmental Quality Review Act (SEQRA). A Negative Declaration is made under SEQRA and said application is determined to be an Unlisted Action.

The following findings and conditions from the Village Planning Commission are incorporated herein:

1. Business will be consistent with the neighborhood character.
2. It is a good use for a historic building.
3. The applicant will cooperate with rink owner on parking.
4. The applicant will comply with noise codes and outdoor music will end by 11pm

Should any part of the application and Special Use Permit approval be in conflict with any segment of the underlying Village Code (i.e., Zoning, etc.), adherence shall be with the Village Code provisions.

The Village shall have the right to periodically inspect the property for compliance with the Village Code, the Special Use Permit and its conditions.

The nature, duration and intensity of the operations which are involved in, or conducted in connection with, this Special Use Permit shall not be increased or expanded without the approval of the Village Board. Any increase or expansion shall be considered at a public hearing held in accordance with the application requirements and administrative procedures which have been adopted by the Village Board.

This Special Use Permit shall expire if significant construction has not been commenced within one year, and has not been completed within two years, of final Special Use Permit

approval or, if no construction is involved, if the use has not been commenced within one year of final Special Use Permit approval.

This Special Use Permit shall expire if the use, once begun, ceases operation, for any reason, for more than six consecutive months. For seasonal uses, the use will be considered ceased if there is no operation for at least 12 consecutive months.

This Special Use Permit may be revoked by the Village Board if it is found and determined that there has been a material failure of compliance with any one of the terms, conditions, limitations or requirements imposed by the Special Use Permit. Revocation may also occur in the event of Village Code violations occurring at the property. The Village Board shall hold a public hearing to consider whether or not the Special Use Permit grantee has violated the terms and conditions of the Special Use Permit or if any Village Code violations have occurred. The public hearing shall be held only after the permit grantee has been notified. Notice of the violations and of the date, place and time of the public hearing shall be mailed to the Special Use Permit grantee by certified mail, return receipt requested, directed to the last known address of the permit grantee.

Seconded by Lazickas, and unanimously approved.

- A motion by Trustee Lazickas, to Schedule a Public Hearing on October 2nd to consider an Application from Jordan Chip at 800 Martin Drive to maintain 3 or more dogs, seconded by Trustee Cameron, and unanimously approved.
- A motion by Trustee Viger, to Schedule a Public Hearing on October 2nd to consider an Application from Gabrielle Regnet at 342 South Grove Street to maintain 3 or more dogs, seconded by Trustee Lazickas, and unanimously approved.
- A motion by Trustee Scheer, to Schedule a Public Hearing on October 2nd to consider an Application from Jason Rodemeyer at 338 Center Street to maintain bees and chickens, seconded by Trustee Lazickas, and unanimously approved.
- A motion by Trustee Cameron to Refer to the Planning Commission on September 12th an Application for a Special Use Permit from Joseph Zambon for 245 Prospect Street proposing to add an ADU to the second floor of the detached garage, seconded by Trustee Viger, and unanimously approved.
- A motion by Trustee Flynn to Refer to the Planning Commission on October 3rd an Application for a Special Use Permit from George and Linda Lund for 33 Elm Street proposing to operate a retail business for Babcia's Pierogi, seconded by Trustee Cameron, and unanimously approved.
- The request for 30-day waiver for a liquor license for Blue Eyed Baker at 636 East Fillmore Avenue was tabled due to the absence of the Applicants.
- Mayor Mercurio appointed Jeffrey Rabey Ph.D as a Village Trustee with a term to end April 1st, 2024.

Trustee Cameron-aye

Trustee Lazickas-aye

Trustee Flynn-aye

Trustee Viger-aye

Trustee Scheer-aye

Mayor Mercurio-aye

The motion was approved

NEW BUSINESS

- **SPEAKERS & COMMUNICATIONS (II)**

- Timothy Wade, 239 Sycamore – spoke about his concern regarding pickle ball and if the sound barrier will be installed. He suggested the possibility of closing two pickle ball courts.

Trustee Lazickas mentioned that the Parks Committee reviewed the options of sound barriers and the DPW Superintendent is working on options to control the sound.

- Owen Sullivan spoke about his experience working with sound and noise control. He suggested working with an Independent Consultant and get acoustic advice.

The DPW Superintendent will contact and Independent Consultant.

A motion by Trustee Flynn, to close down two of the pickle ball courts closest to the residents on Sycamore until further notice, seconded by Trustee Lazickas, and unanimously approved.

Department Head and Trustee Reports

Police Chief – Reviewed the Safety Committee report that was submitted to the Board of Trustees.

DPW Superintendent – Road painting is getting completed and getting equipment ready for leaf pick up.

Clerk-Treasurer – Getting caught up

Trustee Scheer – None

Trustee Cameron – None

Trustee Flynn – Questioned if the Visibility Law can be postponed as per Ms. Smith's request. It was confirmed that the legal notice was published, and the public hearing will take place on September 18, 2023.

Trustee Lazickas – None

Trustee Viger – None

Mayor Mercurio – Mentioned that a dinner will be held at 42 North on September 21, 2023, and the Clerk Treasurer will send out an email to all the Board of Trustees with the details for the event.

ADJOURNMENT

A Motion was made by Trustee Lazickas to adjourn the meeting at 8:07pm. Seconded by Trustee Cameron and unanimously carried.

Respectfully submitted,
Crystal Barrett
Village Deputy Clerk

**Village of East Aurora**

9/18/2023

Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
BANK OF HOLLAND GEN CHECK - 00100	63949	Amazon	09/07/2023	1TTD-9Y4W-H9NL	\$125.98	For DPW-replacement filters	2024	4	09/18/2023		
Line Number Detail Description Account Number Account Description Detail Amount PO Number PO Date											
Total vouchers for Amazon: 1 \$125.98											
BANK OF HOLLAND GEN CHECK - 00100	63964	Assured Partners Northeast	09/13/2023	Multiple Inv.	\$173,940.00	Insurance Renewals 7/31/23-7/31/24	2024	4	09/18/2023		
Line Number Detail Description Account Number Account Description Detail Amount PO Number PO Date											
1 Inv. # 4275; Auto Renewal plus Motor Vehicle Record Fee A.5.1910.0410 UNALLOCATED INSURANCE - GEN LIABILITY SERVICES \$44,445.00											
2 Inv. 4276; General Liab/Management Liab Renewal A.5.1910.0410 UNALLOCATED INSURANCE - GEN LIABILITY SERVICES \$79,118.00											
3 Inv. # 4277; Umbrella Renewal A.5.1910.0410 UNALLOCATED INSURANCE - GEN LIABILITY SERVICES \$22,472.00											
4 Inv. #4278; Property/Inland Marine Renewal plus SN Fire Fee A.5.1910.0410 UNALLOCATED INSURANCE - GEN LIABILITY SERVICES \$27,155.00											
5 Inv. # 4279; OCP DOT Permit A.5.1910.0410 UNALLOCATED INSURANCE - GEN LIABILITY SERVICES \$750.00											
Total vouchers for Assured Partners Northeast: 1 \$173,940.00											
BANK OF HOLLAND GEN CHECK - 00100	63930	Bobcat of Buffalo	08/16/2023	04-206385/04-205841	\$24.42	bobcat bolts and spacers	2024	4	09/18/2023		
Line Number Detail Description Account Number Account Description Detail Amount PO Number PO Date											
1 bobcat bolts and spacers A.5.1640.0460 CENTRAL GARAGE - VEHICLE MAINTENANCE & PARTS \$24.42											
Total vouchers for Bobcat of Buffalo: 1 \$24.42											
BANK OF HOLLAND GEN CHECK - 00100	63937	CARQUEST AUTO PARTS	08/30/2023	739895/740862/740735/741437/741556/741639/741896	\$620.41	August 2023	2024	4	09/18/2023		
Line Number Detail Description Account Number Account Description Detail Amount PO Number PO Date											
1 A.5.1640.0460 CENTRAL GARAGE - VEHICLE MAINTENANCE & PARTS \$219.90 2024000068 07/31/2023											



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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
			2	August 2023		A.5.7140.0420	PLAYGROUNDS & RECREATION CTRS. - MAINTENANCE & REPAIRS		\$383.97	2024000068	07/31/2023
			3	August 2023		F.5.8340.0420	TRANSMISSION AND DISTRIBUTION - MAINT & REPAIRS		\$16.54	2024000068	07/31/2023
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Total vouchers for CARQUEST AUTO PARTS: 1											
BANK OF HOLLAND GEN CHECK - 00100	63953	Charter Communications	09/01/2023	142218801090 123	\$159.98	ACCT 142218801 - 400 PINE ST; 9/1-9/30/23	2024	4	09/18/2023		
			Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date
			1	TWC 400 PINE ST - ACCT202-129529001-001		A.5.1480.0410	PUBLIC INFO SERVICES - PUBLIC INFO: SUPPLIES, MAINT AGR, INTERNET, SERVER, GIS		\$159.98		
BANK OF HOLLAND GEN CHECK - 00100	63954	Charter Communications	09/01/2023	142017501090 123	\$139.98	ACCT 142017501; 571 MAIN ST; 9/1-9/30/23	2024	4	09/18/2023		
			Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date
			1	TWC VEA ACCT 142017501 - 571 MAIN ST		A.5.1480.0410	PUBLIC INFO SERVICES - PUBLIC INFO: SUPPLIES, MAINT AGR, INTERNET, SERVER, GIS		\$139.98		
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Total vouchers for Charter Communications: 2											
BANK OF HOLLAND GEN CHECK - 00100	63941	Churchville Fire Equipment Corp	09/07/2023	207472	\$508.48	co monitors		2024	4	09/18/2023	
			Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date
			1			A.5.3410.0460	FIRE DEPARTMENT - VEHICLE MAINTENANCE & PARTS		\$508.48	2024000115	09/07/2023
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Total vouchers for Churchville Fire Equipment Corp: 1											
BANK OF HOLLAND GEN CHECK - 00100	63936	CINTAS CORPORATION	08/29/2023	4163256866-4166086845	\$1,195.70	August 2023		2024	4	09/18/2023	
			Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date
			1			A.5.1640.0480	CENTRAL GARAGE - UNIFORMS		\$242.05	2024000065	07/31/2023
			2			A.5.1640.0420	CENTRAL GARAGE - MAINTENANCE & REPAIRS		\$675.17	2024000065	07/31/2023
			3			A.5.1620.0420	BUILDINGS - MAINTENANCE &		\$278.48	2024000065	07/31/2023

**Village of East Aurora**

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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
REPAIRS											
		Total vouchers for CINTAS CORPORATION: 1			\$1,195.70						
BANK OF HOLLAND GEN CHECK - 00100	63965	CLEAN MD COMMERCIAL CLEANING INC.	09/10/2023	14955	\$615.84	Monthly Cleaning, 8/10-9/9/23	2024	4	09/18/2023		
Line Number Detail Description Account Number Account Description Detail Amount PO Number PO Date											
		1	Monthly Cleaning, 8/10-9/9/23		A.5.3410.0470	FIRE DEPARTMENT - JANITORIAL SUPPLIES			\$615.84		
		Total vouchers for CLEAN MD COMMERCIAL CLEANING INC.: 1			\$615.84						
BANK OF HOLLAND GEN CHECK - 00100	63928	COUNTY LINE STONE	08/11/2023	154061/154515	\$2,412.48	August 2023	2024	4	09/18/2023		
Line Number Detail Description Account Number Account Description Detail Amount PO Number PO Date											
		1			A.5.5110.0420	STREET MAINTENANCE - ROAD MATERIALS			\$2,412.48	2024000077	07/31/2023
		Total vouchers for COUNTY LINE STONE: 1			\$2,412.48						
BANK OF HOLLAND GEN CHECK - 00100	63927	E J PRESCOTT, INC.	08/28/2023	6202592/6202438/6212653/6217764/6222535	\$7,526.24	August 2023	2024	4	09/18/2023		
Line Number Detail Description Account Number Account Description Detail Amount PO Number PO Date											
		1			F.5.8340.0470	TRANSMISSION AND DISTRIBUTION - SUPPLIES & MATERIALS			\$7,526.24	2024000072	07/31/2023
		Total vouchers for E J PRESCOTT, INC.: 1			\$7,526.24						
BANK OF HOLLAND GEN CHECK - 00100	63967	EAST AURORA ADVERTISER	09/06/2023	August Legal Notices	\$115.50	August Legal Notices	2024	4	09/18/2023		
Line Number Detail Description Account Number Account Description Detail Amount PO Number PO Date											
		1	August Legal Notices		A.5.1325.0410	VILLAGE ADMINISTRATOR - LEGAL NOTICES AND ADVERTIS			\$115.50		
		Total vouchers for EAST AURORA ADVERTISER: 1			\$115.50						
BANK OF HOLLAND GEN	63942	EAST AURORA AUTO PARTS	08/24/2023	657621/658790/659063	\$46.64	August 2023	2024	4	09/18/2023		



Village of East Aurora

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CHECK - 00100											
			Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date
			1			A.5.3410.0460	FIRE DEPARTMENT - VEHICLE MAINTENANCE & PARTS		\$39.42	2024000069	07/31/2023
			2			A.5.3120.0460	POLICE DEPARTMENT - VEHICLE MAINTENANCE & PARTS		\$7.22	2024000069	
Total vouchers for EAST AURORA AUTO PARTS: 1						\$46.64					
BANK OF HOLLAND GEN CHECK - 00100	63926	EIGHTY FOUR LUMBER	08/31/2023	707826-708197	\$451.41	August 2023		2024	4	09/18/2023	
			Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date
			1			A.5.5110.0420	STREET MAINTENANCE - ROAD MATERIALS		\$29.28	2024000012	06/01/2023
			2			A.5.7140.0420	PLAYGROUNDS & RECREATION CTRS. - MAINTENANCE & REPAIRS		\$422.13	2024000012	
Total vouchers for EIGHTY FOUR LUMBER: 1						\$451.41					
BANK OF HOLLAND GEN CHECK - 00100	63925	ERIE COUNTY COMPTROLLER	08/31/2023	1800072768/180072773/180072776	\$190.06	sign orders- August 2023		2024	4	09/18/2023	
			Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date
			1	sign orders- August 2023		A.5.5110.0420	STREET MAINTENANCE - ROAD MATERIALS		\$124.90		
			2	sign orders- August 2023		A.5.7140.0420	PLAYGROUNDS & RECREATION CTRS. - MAINTENANCE & REPAIRS		\$65.16		
Total vouchers for ERIE COUNTY COMPTROLLER: 1						\$190.06					
BANK OF HOLLAND GEN CHECK - 00100	63961	ERIE COUNTY VILLAGE OFFICIALS ASSOC.	09/12/2023	General Meeting	\$315.00	General Mtng. on 9/21 hosted by Mayor Mercurio		2024	4	09/18/2023	
			Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date
			1	For M. Jerackas		A.5.1325.0440	VILLAGE ADMINISTRATOR - TRAINING, TRAVEL & DUES		\$35.00		
			2	For Fire Chief		A.5.3410.0440	FIRE DEPARTMENT - TRAINING, TRAVEL & DUES		\$35.00		
			3	For VEA Board Members		A.5.1010.0440	BOARD OF TRUSTEES - TRAINING, TRAVEL & DUES		\$245.00		

**Village of East Aurora**

9/18/2023

Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
Total vouchers for ERIE COUNTY VILLAGE OFFICIALS ASSOC. : 1											
BANK OF HOLLAND GEN CHECK - 00100	63924	Ferguson US Holdings Inc.	08/31/2023	984079	\$62.28		2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description				PO Number	PO Date
			1		F.5.8340.0420	TRANSMISSION AND DISTRIBUTION - MAINT & REPAIRS			\$62.28	2024000086	08/09/2023
Total vouchers for Ferguson US Holdings Inc. : 1											
BANK OF HOLLAND GEN CHECK - 00100	63947	FM COMMUNICATIONS INC.	08/29/2023	128001221-1	\$207.00	POLICE COMPUTER MOUNT	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description				PO Number	PO Date
			1		A.5.3120.0460	POLICE DEPARTMENT - VEHICLE MAINTENANCE & PARTS			\$207.00	2024000093	08/23/2023
Total vouchers for FM COMMUNICATIONS INC.: 1											
BANK OF HOLLAND GEN CHECK - 00100	63933	GE Software Inc.	08/31/2023	212595	\$80.00	monthly ekos/gasboy maintenance fee	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description				PO Number	PO Date
			1	monthly ekos/gasboy maintenance fee	A.5.1640.0490	CENTRAL GARAGE CONTRACTUAL SERVICE			\$80.00		
Total vouchers for GE Software Inc.: 1											
BANK OF HOLLAND GEN CHECK - 00100	63914	GRECO TRAPP PLLC	09/01/2023	August Legal Svcs.	\$5,331.44	Statement #: 27534, 27535, 27536, 27537, 27538	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description				PO Number	PO Date
			1	Statement #: 27534, 27535, 27536, 27537, 27538	A.5.1420.0411	VILLAGE ATTORNEY - OTHER LEGAL COUNSEL			\$5,331.44		
Total vouchers for GRECO TRAPP PLLC: 1											
BANK OF HOLLAND GEN CHECK - 00100	63939	IRR SUPPLY CTRS INC	08/30/2023	08/30/2023	\$397.10	July & August 2023	2024	4	09/18/2023		



Village of East Aurora

9/18/2023

Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1		A.5.1620.0420	BUILDINGS - MAINTENANCE & REPAIRS		\$397.10	2024000019	06/01/2023	
			Total vouchers for IRR SUPPLY CTRS INC: 1								
BANK OF HOLLAND GEN CHECK - 00100	63922	JOHN SIXT & SON INC.	08/31/2023	2307-619099	\$187.50	wood stakes for HP	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1	wood stakes for HP	A.5.7140.0420	PLAYGROUNDS & RECREATION CTRS. - MAINTENANCE & REPAIRS		\$187.50			
			Total vouchers for JOHN SIXT & SON INC.: 1								
BANK OF HOLLAND GEN CHECK - 00100	63931	KEN'S SERVICE & SALES, INC.	08/31/2023	79609	\$169.98	ignition parts and air filter kit	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1	ignition parts and air filter kit	A.5.1640.0460	CENTRAL GARAGE - VEHICLE MAINTENANCE & PARTS		\$169.98			
			Total vouchers for KEN'S SERVICE & SALES, INC.: 1								
BANK OF HOLLAND GEN CHECK - 00100	63946	KREIGER, SHANE M.	09/18/2023	Travel Reim 9/6/23	\$385.86	Mileage and tolls for NYSACOP meeting in Albany 9/6/23-29/37/	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1	Mileage and tolls for NYSACOP meeting in Albany 9/6/23-29/37/	A.5.3120.0440	POLICE DEPARTMENT - TRAINING, TRAVEL & DUES		\$385.86			
			Total vouchers for KREIGER, SHANE M.: 1								
BANK OF HOLLAND GEN CHECK - 00100	63935	KURK FUEL COMPANY	08/24/2023	643350	\$2,981.71	Diesel fuel 7/7/23-8/23/23	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1	DPW- 619.735 gallons x \$3.4671/gallon	A.5.1640.0450	CENTRAL GARAGE - GASOLINE, OIL & GREASE		\$2,148.68			
			2	EAFD- 240.265 gallons x \$3.4671/gallon	A.5.3410.0450	FIRE DEPARTMENT - GASOLINE, OIL & GREASE		\$833.03			



Village of East Aurora

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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date	
			Total vouchers for KURK FUEL COMPANY: 1									
BANK OF HOLLAND GEN CHECK - 00100	63932	LAKESHORE EMPLOYEE	08/22/2023	48313	\$67.00	pre-employment screening- Zach Schnieder	2024	4	09/18/2023			
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date		
			1	pre-employment screening- Zach Schnieder	A.5.1490.0440	PUBLIC WORKS ADMINISTRATION - TRAINING, TRAVEL & DUES		\$67.00				
			Total vouchers for LAKESHORE EMPLOYEE: 1									
BANK OF HOLLAND GEN CHECK - 00100	63960	LaSalle Ambulance Inc.	09/13/2023	953793	\$6,465.47	Quarterly Subsidy July-September, 2023	2024	4	09/18/2023			
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date		
			1	Quarterly Subsidy July-September, 2023	A.5.4540.0410	AMBULANCE SERVICE - American Medical Response		\$6,465.47				
			Total vouchers for LaSalle Ambulance Inc. : 1									
BANK OF HOLLAND GEN CHECK - 00100	63943	LOWE'S	09/01/2023	8312023	\$1,399.24	July 2023	2024	4	09/18/2023			
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date		
			1		A.5.1640.0420	CENTRAL GARAGE - MAINTENANCE & REPAIRS		\$0.00	2024000044	07/11/2023		
			2		A.5.1620.0420	BUILDINGS - MAINTENANCE & REPAIRS		\$1,134.28	2024000044			
			3		A.5.3410.0420	FIRE DEPARTMENT - DEPARTMENT SUPPLIES		\$264.96	2024000044			
			Total vouchers for LOWE'S: 1									
BANK OF HOLLAND GEN CHECK - 00100	63948	M and T BANK	09/12/2023	CC Payment	\$75.00	Holabird Sports from previous August Bill, (refund on August Bill)	2024	4	09/12/2023	57114	09/14/2023	
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date		
			1	Holabird Sports from previous August Bill, (refund on August Bill)	A.5.7140.0420	PLAYGROUNDS & RECREATION CTRS. - MAINTENANCE & REPAIRS		\$75.00				
			Total vouchers for M and T BANK: 1									



Village of East Aurora

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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
BANK OF HOLLAND GEN CHECK - 00100	63919	Manny's Ace Hardware	08/31/2023	2132-2285	\$493.28	August 2023	2024	4	09/18/2023		
<hr/>											
	Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date		
	1			A.5.1640.0420	CENTRAL GARAGE - MAINTENANCE & REPAIRS		\$118.29	2024000073	07/31/2023		
	2			A.5.1620.0420	BUILDINGS - MAINTENANCE & REPAIRS		\$291.71	2024000073			
	3			A.5.7140.0420	PLAYGROUNDS & RECREATION CTRS. - MAINTENANCE & REPAIRS		\$38.30	2024000073			
	4	August 2023		A.5.8560.0470	SHADE TREES - DEPARTMENTAL SUPPLIES		\$44.98	2024000073	07/31/2023		
<hr/>											
Total vouchers for Manny's Ace Hardware: 1						\$493.28					
BANK OF HOLLAND GEN CHECK - 00100	63918	MUNICIPAL EMERGENCY SERVICES INC.	08/21/2023	IN1922565	\$9,853.80	battery powered ram for EAFD	2024	4	09/18/2023		
<hr/>											
	Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date		
	1			A.5.3410.0200	FIRE DEPARTMENT - EQUIPMENT		\$9,853.80	2024000026	06/21/2023		
<hr/>											
Total vouchers for MUNICIPAL EMERGENCY SERVICES INC.: 1						\$9,853.80					
BANK OF HOLLAND GEN CHECK - 00100	63934	NOCO ENERGY CORP.	08/24/2023	SP12648499	\$8,962.66	Unleaded fuel 7/11/23-8/23/23	2024	4	09/18/2023		
<hr/>											
	Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date		
	1	B&G- 145.223 gallons x \$3.4485/gallon		A.5.1640.0450	CENTRAL GARAGE - GASOLINE, OIL & GREASE		\$500.80				
	2	DPW- 693.126 gallons x \$3.4485/gallon		A.5.1640.0450	CENTRAL GARAGE - GASOLINE, OIL & GREASE		\$2,390.25				
	3	EAPD- 255.729 gallons x \$3.4485/gallon		A.5.3120.0450	POLICE DEPARTMENT - GASOLINE, OIL & GREASE		\$881.88				
	4	EAFD- 1504.922 gallons x \$3.4485/gallon		A.5.3410.0450	FIRE DEPARTMENT - GASOLINE, OIL & GREASE		\$5,189.73				
<hr/>											
Total vouchers for NOCO ENERGY CORP.: 1						\$8,962.66					
BANK OF HOLLAND GEN CHECK - 00100	63940	NOVA HEALTHCARE ADMINISTRATORS, INC.	09/18/2023	042067	\$148.50	Monthly Administrative Fee of \$4.50 per Enrollee - 33 Enrollees; August 2023	2024	4	09/18/2023		
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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number		
			1	Water fund active-1 enrollee; August 2023	F.5.9060.0805	HOSPITAL & MEDICAL INSURANCE - HEALTH INSURANCE		\$4.50			
			2	General Fund Retiree-9 enrollees; August 2023	A.5.9060.0806	HOSPITAL & MEDICAL INSURANCE - HEALTH INSURANCE-RETIREES		\$40.50			
			3	Water fund Retiree-1 enrollee; August 2023	F.5.9060.0806	HOSPITAL & MEDICAL INSURANCE - HEALTH INSURANCE-RETIREES		\$4.50			
			4	General Fund Active-22 Enrollees; August 2023	A.5.9060.0805	HOSPITAL & MEDICAL INSURANCE - HEALTH INSURANCE		\$99.00			
Total vouchers for NOVA HEALTHCARE ADMINISTRATORS, INC.: 1					\$148.50						
BANK OF HOLLAND GEN CHECK - 00100	63912	NYSEG	09/05/2023	ACCT 483	\$4,461.61	ACCTS 483 & 491 ELECTRICITY USAGE; 8/1-8/31/23	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number		PO Date
			1	STREET LIGHT R3 NYSEG ACCT 1001-3627-483	A.5.5182.0431	STREET LIGHTING - ELECTRIC		\$4,461.61			
BANK OF HOLLAND GEN CHECK - 00100	63913	NYSEG	08/30/2023	1001-7910-034	\$23.37	ELECTRICITY USAGE- GLENRIDGE RD; 7/26-8/25/23	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number		PO Date
			1	GLENRIDGE RD NYSEG ACCT 1001-7910-034	F.5.1620.0431	BUILDINGS - ELECTRIC		\$23.37			
Total vouchers for NYSEG: 2					\$4,484.98						
BANK OF HOLLAND GEN CHECK - 00100	63962	Pierce, Robert J	09/12/2023	September Svcs.	\$958.33	Legal Svcs. for September, 2023	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number		PO Date
			1	Legal Svcs. for September, 2023	A.5.1420.0410	VILLAGE ATTORNEY - CONTRACT SERVICES		\$958.33			
Total vouchers for Pierce, Robert J: 1					\$958.33						
BANK OF HOLLAND GEN CHECK - 00100	63956	Quadient	09/03/2023	Postage Fee	\$2,000.00	VEA postage on 8/22	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number		PO Date

**Village of East Aurora**

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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
	1		VEA postage on 8/22		A.5.1670.0470	CENTRAL PRINTING & MAILING - POSTAGE			\$2,000.00		
<hr/>											
Total vouchers for Quadrant: 1											
BANK OF HOLLAND GEN CHECK - 00100	63938	REBOY SUPPLY INC.	08/31/2023	97157-97344	\$1,527.39	August 2023	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1		A.5.1620.0420	BUILDINGS - MAINTENANCE & REPAIRS		\$0.00	2024000066	07/31/2023	
			2		A.5.5110.0420	STREET MAINTENANCE - ROAD MATERIALS		\$1,227.39	2024000066		
			3		A.5.7140.0420	PLAYGROUNDS & RECREATION CTRS. - MAINTENANCE & REPAIRS		\$300.00	2024000066		
<hr/>											
Total vouchers for REBOY SUPPLY INC.: 1											
BANK OF HOLLAND GEN CHECK - 00100	63911	Ricoh USA, Inc.	08/30/2023	1098282323	\$11.50	Freight charge for print cartridge for copier	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1	Freight charge for print cartridge for copier	A.5.1325.0200	VILLAGE ADMINISTRATOR - EQUIPMENT		\$11.50			
BANK OF HOLLAND GEN CHECK - 00100	63959	Ricoh USA, Inc.	09/01/2023	5068061449	\$72.64	Copier Reading for VEA	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1	Copier Reading for VEA	A.5.1325.0200	VILLAGE ADMINISTRATOR - EQUIPMENT		\$72.64			
<hr/>											
Total vouchers for Ricoh USA, Inc. : 2											
BANK OF HOLLAND GEN CHECK - 00100	63923	SAF-GARD SAFETY SHOE CO.	08/27/2023	IN-3119286	\$209.99	Goerke- workboots	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1	Goerke- workboots	A.5.5110.0480	STREET MAINTENANCE - UNIFORMS		\$209.99			
<hr/>											
Total vouchers for SAF-GARD SAFETY SHOE CO.: 1											

**Village of East Aurora**

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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
BANK OF HOLLAND GEN CHECK - 00100	63920	THRUWAY BUILDERS OF	08/04/2023	200591	\$86.64	concrete tools/brooms	2024	4	09/18/2023		
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		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1			A.5.5110.0420	STREET MAINTENANCE - ROAD MATERIALS		\$86.64	2024000084	08/04/2023	
<hr/>											
Total vouchers for THRUWAY BUILDERS OF: 1											
\$86.64											
BANK OF HOLLAND GEN CHECK - 00100	63921	TRI-COUNTY SUPPLY, INC.	08/31/2023	221653/221689 /221890/22203 0	\$473.00	husqvarna parts; hard helmets	2024	4	09/18/2023		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	husqvarna parts; hard helmets		A.5.5110.0420	STREET MAINTENANCE - ROAD MATERIALS		\$473.00			
<hr/>											
Total vouchers for TRI-COUNTY SUPPLY, INC.: 1											
\$473.00											
BANK OF HOLLAND GEN CHECK - 00100	63955	TRI-COUNTY TOOL RENTAL & SALES	08/29/2023	88616/27905/2 7924/27941/27 949/27997/281 02/28109/	\$620.41	August 2023	2024	4	09/18/2023		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1			A.5.5110.0420	STREET MAINTENANCE - ROAD MATERIALS		\$219.90	2024000067	07/31/2023	
		2			A.5.7140.0420	PLAYGROUNDS & RECREATION CTRS. - MAINTENANCE & REPAIRS		\$383.97	2024000067		
		3			F.5.8340.0470	TRANSMISSION AND DISTRIBUTION - SUPPLIES & MATERIALS		\$11.55	2024000067		
		4	August 2023		A.5.1640.0460	CENTRAL GARAGE - VEHICLE MAINTENANCE & PARTS		\$4.99	2024000067	07/31/2023	
<hr/>											
Total vouchers for TRI-COUNTY TOOL RENTAL & SALES: 1											
\$620.41											
BANK OF HOLLAND GEN CHECK - 00100	63945	UNITED UNIFORM COMPANY	09/18/2023	IO21-449816	\$32.95	initial order PO Schiffman Handcuff pouch	2024	4	09/18/2023		
		Line Number	Detail Description		Account Number	Account Description		Detail Amount	PO Number	PO Date	
		1	handcuff pouch		A.5.3120.0480	POLICE DEPARTMENT - UNIFORMS, BODY ARMOR		\$32.95			
<hr/>											
Total vouchers for UNITED UNIFORM COMPANY: 1											
\$32.95											



Village of East Aurora

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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
BANK OF HOLLAND GEN CHECK - 00100	63910	Vaspian	09/01/2023	INV-005675	\$540.20	Phone Services for September, 2023	2024	4	09/18/2023		
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	Line Number	Detail Description		Account Number	Account Description			Detail Amount	PO Number	PO Date	
	1	Phone Services for VEA		A.5.1325.0434	VILLAGE ADMINISTRATOR - TELEPHONE			\$89.90			
	2	Phone Services for EAPD		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE			\$192.70			
	3	Phone Services for DPW		A.5.1490.0434	PUBLIC WORKS ADMINISTRATION - TELEPHONE			\$102.80			
	4	Phone Services for EAFD		A.5.3410.0434	FIRE DEPARTMENT - TELEPHONE			\$154.80			
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Total vouchers for Vaspian: 1											
BANK OF HOLLAND GEN CHECK - 00100	63950	VERIZON WIRELESS	09/03/2023	9943538793	\$158.80	CELLULAR PHONES PROVIDED AS PER NYS OGS (STATE CONTRACT); 8/4-9/23	2024	4	09/18/2023		
	Line Number	Detail Description		Account Number	Account Description			Detail Amount	PO Number	PO Date	
	1	716-359-0911 DETECTIVE		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE			\$40.27			
	2	716-913-1761 POLICE SUPERVISOR (LIETENANTS)		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE			\$40.27			
	3	716-998-3734 MAYOR		A.5.1210.0434	MAYOR - TELEPHONE			\$0.00			
	4	716-383-1957 POLICE CHIEF SHANE KRIEGER		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE			\$40.27			
	5	716-256-0983 FIRE CHIEF MOBILE WIFI		A.5.3410.0434	FIRE DEPARTMENT - TELEPHONE			\$37.99			
	6	CREDIT		A.5.3410.0434	FIRE DEPARTMENT - TELEPHONE			\$0.00			
<hr/>											
Total vouchers for VERIZON WIRELESS: 1											
BANK OF HOLLAND GEN CHECK - 00100	63966	Verizon-Local Svc.	09/06/2023	Local Phone Service	\$358.09	Verizon Local Service; 9/7-10/16/23	2024	4	09/18/2023		
	Line Number	Detail Description		Account Number	Account Description			Detail Amount	PO Number	PO Date	
	1	716-652-6000 Front office-Clerk's		A.5.1325.0434	VILLAGE ADMINISTRATOR - TELEPHONE			\$0.00			
	2	716-652-6057 DPW		A.5.1490.0434	PUBLIC WORKS ADMINISTRATION - TELEPHONE			\$0.00			
	3	716-N73-1487 Data Private Line Between Village Hall & DPW		A.5.1490.0434	PUBLIC WORKS ADMINISTRATION - TELEPHONE			\$91.24			
	4	716-652-111 Police		A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE			\$0.00			



Village of East Aurora

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Bank Name	Voucher No	Vendor Name	Invoice Date	Invoice No	Invoice Amt	Invoice Description	Fiscal Year	Period	Due Date	Check No	Check Date
			5	716-N73-1438 Radio Transmitter Police Station to Boces/Ormsby Center (1010 Center St.)	A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE		\$165.49			
			6	716-652-0319 Fire Hall Elevator (33 Center St)	A.5.3410.0434	FIRE DEPARTMENT - TELEPHONE		\$32.54			
			7	652-0893 Elevator; 655-6086 Fire alarm	A.5.3120.0434	POLICE DEPARTMENT - TELEPHONE		\$68.82			
Total vouchers for Verizon-Local Svc.: 1											\$358.09
BANK OF HOLLAND GEN CHECK - 00100	63944	W.B. MASON CO., INC.	09/18/2023	240678459, CM2127576 240976538, CM2124628	\$60.90	Water for EAPD/DISP 8/23/23 and 9/6/23	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1	Water for EAPD/DISP 7 jugs ordered each and 7 returned each date 8/23/23 and 9/6/23	A.5.3120.0420	POLICE DEPARTMENT - MAINT. SERVICE CONTRACTS		\$30.45			
			2	Water for EAPD/DISP 7 jugs ordered each and 7 returned each date 8/23/23 and 9/6/23	A.5.3420.0420	POLICE & FIRE DISPATCH - MAINTENANCE/SERVICE CONTRACTS		\$30.45			
Total vouchers for W.B. MASON CO., INC.: 1											\$60.90
BANK OF HOLLAND GEN CHECK - 00100	63958	WNYNETWORKS	09/12/2023	4886	\$1,187.50	August IT Services	2024	4	09/18/2023		
			Line Number	Detail Description	Account Number	Account Description		Detail Amount	PO Number	PO Date	
			1	August IT Services for EAPD	A.5.3120.0420	POLICE DEPARTMENT - MAINT. SERVICE CONTRACTS		\$687.50			
			2	August IT Services for VEA	A.5.1480.0410	PUBLIC INFO SERVICES - PUBLIC INFO: SUPPLIES, MAINT AGR, INTERNET, SERVER, GIS		\$500.00			
Total vouchers for WNYNETWORKS: 1											\$1,187.50



Village of East Aurora

9/18/2023

Posted Batch Totals

Fund	Fund Description	Invoice Batch		Manual Checks		Purchase Cards		Total	
		Paid	Unpaid	Paid	Unpaid	Paid	Unpaid	Paid	Unpaid
A	GENERAL FUND	\$75.00	\$230,715.28	\$0.00	\$0.00	\$0.00	\$0.00	\$75.00	\$230,715.28
F	WATER FUND	\$0.00	\$7,648.98	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$7,648.98
Posted Batch Grand Totals		\$75.00	\$238,364.26	\$0.00	\$0.00	\$0.00	\$0.00	\$75.00	\$238,364.26



Village of East Aurora

9/18/2023

***** Certificate of Financial Officer *****

I hereby certify that the attached Voucher Listing is complete and accurate to the best
of my knowledge, and payment is hereby approved.

Signed: _____

Date: _____

TOWN OF AURORA
575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio, and Village Trustees
FROM: Elizabeth Cassidy, Code Enforcement Officer
DATE: July 11, 2023

The Building Department has accepted a Special Use Permit (SUP) application from Anthony Amabile II for operation of a restaurant with outdoor seating and outdoor music at 27 Riley St, the Riley Street Station.

Village Code section 285-52.3B states that the Village Board may refer the Special Use Permit application to the Planning Commission for their review and recommendations. The Village Board shall then schedule a public hearing for the applications.

A County referral is required for this application due to the proximity to a State Highway (Main St/20A).

This is an Unlisted action under SEQRA.

If you have any questions, please contact me at 652-7591.

Liz Cassidy

VILLAGE OF EAST AURORA

585 Oakwood Ave, East Aurora, New York 14052

716-652-6000

In conjunction with

Town of Aurora Building Department

575 Oakwood Ave, East Aurora, NY 14052

716-652-7591

Building Dept:	<u>7/11/23</u>
Date Received:	<u>7/11/23</u>
Complete App:	<u>7/11/23</u>
Village Clerk:	

Date Filed _____

Amount \$ _____

Receipt # _____

SPECIAL USE PERMIT APPLICATION

PROPOSED PROJECT Riley Street Station SBL#: 165.17-1-1.2
 LOCATION 27 Riley St. East Aurora, NY 14052 ZONING DISTRICT JC

The applicant agrees to reimburse the Village for any additional fees required for review by consultants hired by the Village.

APPLICANT NAME Anthony Amabile II (Riley Street Station, LLC)
 ADDRESS 3848 Seneca St, Lower, West Seneca, NY 14224
 TELEPHONE 716-361-8219 FAX _____ E-MAIL amabile30(a)dyd.edu
 SIGNATURE Anthony Amabile II

OWNER OF PROPERTY Riley Station, LLC
 ADDRESS 2730 Transit Road, West Seneca, NY 14224
 TELEPHONE 716-652-1100 FAX _____ E-MAIL 315gwinke@rogerholdings.com
 SIGNATURE 315gwinke

DEVELOPER NAME NA
 ADDRESS _____
 TELEPHONE _____ FAX _____ E-MAIL _____
 SIGNATURE _____

Request is for: Restaurant, Indoor Dining and/or Restaurant, Outdoor Dining
 Gas Station Car Wash Other

Outdoor music or other noise impact; if yes please include a quick summation of request:

See Narrative

Days and hours of operation (indoor) Monday - Sunday 11am - 12am
 Days and hours of operation (outdoor) Monday - Sunday 11am - 12am

Will alcoholic beverages be served? Yes No

Will there be outdoor music? Yes No If yes, what type of music: _____
 Days and times of music Friday and Saturday

Are premises handicap accessible? Yes No

If not, premises must be made ADA compliant

If yes, contact building department at 716-652-7591

Will there be any renovations Yes No

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One Cover Letter to Village Board, Supporting Documents and SEQR as required in §285-52.2
- One complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD-ROM
- Application fee \$25.00, Permit fee \$25.00 and Public Hearing fee \$100.00 – Total \$150 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:

Type 1 Type 2 Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date
Public Hearing	_____
Notices Mailed	_____
Posted Notice-VEA Hall	_____
Posted Notice-Prop	_____
Approval/Denial Date	_____

Attach Village Board resolution with noted conditions.

CHECK LIST FOR SPECIAL USE PERMIT APPLICATION

- A cover letter to the Village Board with a narrative of all proposed uses and structures, including but not limited to: hours of operation, number of employees, maximum seat capacity and required number of parking spaces.
- A narrative report describing how the proposed use will satisfy the criteria set forth in the Special Use Permit review criteria of Chapter §285-52.4 (also listed below), as well as any other applicable requirements relating to the specific use proposed.
 - Will be generally consistent with the goals of the Village Comprehensive Plan.
 - Will meet all relevant criteria set forth in Chapter §285-52.3 and §285-52.4.
 - Will be compatible with existing uses adjacent to and near the property.
 - Will not create a hazard to health, safety or the general welfare of the public.
 - Will not alter the essential character of the neighborhood nor be detrimental to the neighborhood residents.
 - Will not be a nuisance to neighboring land uses in terms of the production of obnoxious or objectionable noise, dust, glare, odor, refuse, fumes, vibrations, unsightliness, contamination or other similar conditions.
 - Will not cause undue harm to, or destroy, existing sensitive natural features on the site or in the surrounding area or cause adverse environmental impacts such as significant erosion and/or sedimentation, slope destruction, flooding or ponding of water or degradation of water quality.
 - Will not destroy or adversely impact significant historic and/or cultural resource sites.
 - Will provide adequate landscaping, screening or buffering between adjacent uses which are incompatible with the proposed project.
 - Will not otherwise be detrimental to the public convenience and welfare.
- All SEQR documentation, as required by New York State Law.

Special Use Permit

Village of East Aurora

**Anthony Amabile II
Riley Street Station, LLC
(Applicant)**

To:

Village Board of East Aurora

Dated:

July 10th, 2023

To whom it may concern,

I am writing to you in hopes to have your approval to reopen Riley Street Station located at 27 Riley Street. As the new tenant of the property and owner of the business, I plan to reopen the restaurant and have it running very similar to how it was ran by the previous owner, Conseulo "Babe" Neff.

I previously worked at Riley Street Station from January of 2012 to April 2017. Throughout my time working there, I was a server, bartender, and manager. Although I've worked at many restaurants in my life and managed several, I learned the most about running a restaurant from Babe Neff. She always did everything "by the book." From menus to hours of operation to having bands to staffing to just about everything she had going, I plan on reopening with the same plan.

My background is that I grew up in Elma and went to Iroquois Central Schools K-12. Then I went on to D'Youville College where I entered the 7-Year Bachelors in Biology/ Doctor of Chiropractic Program. I took a leave of absence from school in 2014 when my dad, who was a chiropractor and bar owner, was diagnosed with ALS. He survived for 7 years with this terrible disease and it was devastating to my entire family. I ended up returning to school in 2019 to finish my bachelors and I'm currently in clinical for my Doctor of Chiropractic Degree. I also bartend 3-4 nights a week at Angelina's in East Aurora and work at Universal Chiropractic where I'll be part-owner next June. I currently reside in West Seneca and I'm 32 years old. I am very ambitious and I never shy away from bigger and better opportunities. Being a restaurant owner has always been a goal of mine and there is no other place I would rather open and watch thrive. Riley Street Station and the Village of East Aurora have always been close to my heart because I've spent so much of my life being in East Aurora and made so many friends and connections there.

My plans for Riley Street Station are as follows:

- I'm planning on opening up daily at 11 am for lunch and staying open through dinner till midnight Monday – Sunday.
- My menu will be very similar to what it was before it closed. This will consist of an array of appetizers, salads, sandwiches, dinners, and desserts.
- I will also have a cocktail list, a wine list, and an extensive beer list such a craft, local, and domestic line.
- The side patio and atrium will be used primarily for lunch and dinner, as well as banquets such as bridal showers, funeral brunches, birthday parties, and other types of small gatherings.

- Entertainment will include jukebox and tvs. I plan to have live music a few times a month limited to Fridays and Saturdays. Any live music that will be outside will end before the Village's noise ordinance.
- I do not plan to make any alterations to the layout.
- Also, I do not plan to making any structural alteration to the foundation, internally or externally.
- My plan does not involve any hazardous problems for the environment.
- My plan does not involve any harm to the people of East Aurora.
- My plan is to comply with the rules set forth by the Village of East Aurora.

Thank you for reviewing my Special Use Permit. I am very excited to bring a new business to the Village of East Aurora and to make Riley Street Station a place for people to enjoy as it was for so many years before.

Best,

A handwritten signature in black ink, appearing to read "Anthony Amabile II".

Anthony Amabile II
Riley Street Station, LLC
Owner

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information		
<p>Name of Action or Project: Riley Street Station</p>		
<p>Project Location (describe, and attach a location map): 27 Riley Street, East Aurora, NY 14052.</p>		
<p>Brief Description of Proposed Action:</p> <p>Open and operate a restaurant and bar at existing restaurant building.</p>		
<p>Name of Applicant or Sponsor: Anthony Amabile II</p>		<p>Telephone: 716-361-8219</p>
		<p>E-Mail: amabile30@dyo.edu</p>
<p>Address: 3848 Seneca Street, Lower West Seneca</p>		
<p>City/PO: West Seneca</p>	<p>State: NY</p>	<p>Zip Code: 14224</p>
<p>1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?</p>		
<p>If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.</p>		
<p>2. Does the proposed action require a permit, approval or funding from any other governmental Agency?</p>		
<p>If Yes, list agency(s) name and permit or approval:</p>		
<p>3.a. Total acreage of the site of the proposed action? .3 acres</p>		
<p>b. Total acreage to be physically disturbed? 0 acres</p>		
<p>c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? .3 acres</p>		
<p>4. Check all land uses that occur on, adjoining and near the proposed action.</p>		
<p><input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)</p>		
<p><input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____</p>		
<p><input checked="" type="checkbox"/> Parkland</p>		

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Anthony Amabile II</u>	Date: <u>7/7/23</u>	
Signature: 		

TOWN OF AURORA
575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees
FROM: Elizabeth Cassidy, Code Enforcement Officer
DATE: July 12, 2023

The Building Department has accepted a revised Special Use Permit application for 636 East Fillmore Ave (SBL: 165.17-1-8) submitted by John A. Schenne, P.E. of Schenne and Associates, on behalf of applicant and owner of Blue Eyed Baker, Alix and Nick Robinson. The request includes addition of a tavern use, outdoor seating on the second floor at the rear of the building, and extended hours of operation. There is no request for outdoor music on the patio, either live or speakers.

Village Code section 285-50.4C require the Village to submit the applications to Erie County Department of Environment and Planning for their review and comment due to proximity to a County sewer district (easement).

Village Code sections 285-51.5 and 285-52.3 require the Village Board to refer the amended Special Use Permit application to the Planning Commission for their review and recommendations. The Village Board shall then schedule a public hearing for the applications prior to SEQRA determination.

This is an Unlisted action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.

Liz Cassidy

VILLAGE OF EAST AURORA
 571 Main Street, East Aurora, New York 14052
 716-652-6000
 In conjunction with
Town of Aurora Building Department
 300 Gleed Ave, East Aurora, NY 14052
 716-652-7591

Building Dept:	7/11/23
Date Received:	7/11/23
Complete App:	
Village Clerk:	
Date Filed:	
Amount \$:	
Receipt #:	

SPECIAL USE PERMIT APPLICATION

PROPOSED PROJECT Proposed Bakery SBL# 165.17-1-8
 LOCATION 636 East Fillmore, East Aurora, NY 14052 ZONING DISTRICT VC

The applicant agrees to reimburse the Village for any additional fees required for consultant's review.

APPLICANT NAME Nick and Alex Robinson
 ADDRESS 33 Elm Street, East Aurora, NY 14052
 TELEPHONE (716) 235-9633 FAX N/A E-MAIL alex@blueeyedbaker.net
 SIGNATURE Nick and Alex

OWNER NAME Blue Eyed Baker
 ADDRESS 33 ELM STREET EAST AURORA NY 14052
 TELEPHONE 716.491.1637 FAX N/A E-MAIL alex@blueeyedbaker.net
 SIGNATURE Nick and Alex

DEVELOPER NAME _____
 ADDRESS _____
 TELEPHONE _____ FAX _____ E-MAIL _____
 SIGNATURE _____

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One (1) – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-52.2
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@eastaurora.ny.us. Larger files may be submitted on a USB drive or CD or by Dropbox.
- Application fee \$25.00, Permit fee \$25.00, and Public Hearing fee \$100.00 – Total \$150 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____

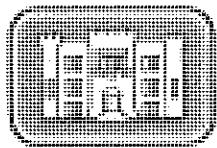
REQUIRED MEETINGS/REFERRALS: _____
 Mtg/Mail Date _____ Conditions/Comments, if applicable: _____
 Planning Commission _____
 Safety Committee _____
 VEA DPW _____
 OTHER (specify) _____

SEQR ACTION:
 _____ Type 1 _____ Type 2 _____ Unlisted

VILLAGE BOARD ACTION:
 Mtg/Mail Date _____

Public Hearing _____
 Notices Mailed _____
 Posted Notice-VEA Hull _____
 Posted Notice-Prop _____
 Approval/Denial Date _____

Attach Village Board resolution with noted conditions.



SCHENNE & ASSOCIATES

ENGINEERING - PLANNING - GEOLOGY

967 LUTHER ROAD
EAST AURORA, NEW YORK 14052
(716) 655-4991

July 11, 2023

Village of East Aurora
571 Main Street
East Aurora, NY 14052

RE: Proposed Blue Eyed Baker
636 Fillmore, East Aurora, NY

Dear Village of East Aurora,

Our firm (Schenne & Associates) represents Blue Eyed Baker, the applicant and buyer for the property located at 636 East Fillmore Avenue in the Village of East Aurora. The proposed use of this property is to be a new, larger location for the locally owned bakery: Blue Eyed Baker.

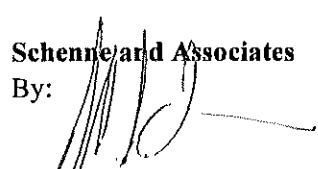
To adapt to today's evolving economic and community changes, Blue Eyed Baker wishes to work with neighbors and community members to address their needs and alleviate any concerns they may have. The new location for Blue Eyed Baker will be across the street from the East Aurora Classic Rink, which will allow the bakery to explore the opportunity for business collaborations, like providing parents a nearby place to sit down, grab a drink and have an amazing macaron while the kids are playing games. In that, the owner wishes the village would grant the extension of their operating hours from 7am to 11pm, Monday to Sunday.

In addition to the previous approved use as bakery/café, the new tavern use will lead to open the second-floor patio space for seasonal outdoor seating of 22 seats, it will bring the maximum seating capacity to 84. The new rooftop patio will include beautiful greenery to prevent sound from traveling to the nearby residents, while also bring forth a beautiful view. There will only be 4 outdoor gooseneck barn light on the patio side as it was previous approved as the lighting source, and no speaker nor living music on the patio.

The site will maintain a parking lot consisting of 12 parking spaces, including 1 HC space, and 4 bicycle spaces. plus additional 9 off-site street parking based on additional square footage requirement for parking spaces and it is within 400' of public parking lot. Also on site, a new rain garden will be integrated on site to control stormwater runoff while enhancing the view of the property and providing habitat for the local wildlife.

Sincerely,

Schenne and Associates
By:

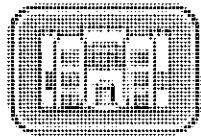

John A. Schenne, P.E.
Schenne and Associates



New York State Certified
Service-Disabled Veteran-Owned Business

Phone: (716) 655-4991 Email: john@schenne.com





SCHENNE & ASSOCIATES

ENGINEERING - ARCHITECTURE - GEOLOGY

967 LUTHER RD

EAST AURORA, NEW YORK 14052

Proposed Project: Bakery/Tavern

Project location: 636 East Fillmore, East Aurora, NY, 14052.

Zoning District: VC-Village Center

SPECIAL USE PERMIT SUBMISSION

June 23, 2023

DESCRIPTION/ NARRATIVE- propose uses, etc.

Only Tenant – Blue Eyed Baker :

Total Square Footage of Primary Tenant:

First Floor –	3,605 SF
Kitchen Space -	1,890 SF
Master Class	500 SF
Café –	704 SF
Second Floor –	1,480 SF
Open area –	1,135 SF
Prep Kitchen	141 SF
Storage –	82 SF
Restroom –	68 SF
Patio –	738SF

Existing Building (raise floor 2'-0")

Bakery\Cafe\Tavern\Bar Use

20 Employees (Maximum)

Hours of operation:

Monday – Sunday: 7am – 11pm

Maximum seat capacity:

First Floor – dining 12, outdoor 10 (seasonal; Patio Use)	414 SF
Master Class 12	500 SF
Second Floor –seating 28	1,135 SF
Patio- Outdoor-seating 22	738 SF
Total	5,085 SF

Off Street Parking:

Parking – Total 12 spaces (Including 1 HC space) plus additional 9 off-site parking based on additional square footage requirement for parking spaces and withing 400' of public parking lot. Plus, Bicycles – 4 spaces

Short Environmental Assessment Form

Part 1 - Project Information

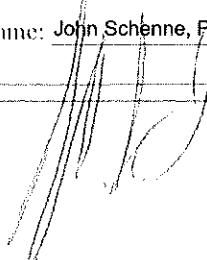
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information		
Blue Eyed Baker		
Name of Action or Project:		
Proposed Bakery		
Project Location (describe, and attach a location map):		
636 East Fillmore, East Aurora, NY 14052.		
Brief Description of Proposed Action:		
Renovate existing building into 1 commercial use space.		
Name of Applicant or Sponsor:		Telephone: (716) 235-9633
Nick and Alex Robinson		E-Mail: alex@blueeyedbaker.net
Address:		
33 Elm Street		
City/PO:		State: New York
East Aurora		Zip Code: 14052
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		
2. Does the proposed action require a permit, approval or funding from any other governmental Agency?		
If Yes, list agency(s) name and permit or approval: Village of East Aurora - Planning, Building, and floodplain permit		
3.a. Total acreage of the site of the proposed action? 0.47 acres		
b. Total acreage to be physically disturbed? 0.47 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.47 acres		
4. Check all land uses that occur on, adjoining and near the proposed action.		
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland		

5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
COMPLY WITH NYS STORMWATER REGULATIONS. _____			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: John Schenne, PE, PG	Date: 06/09/2023	
Signature: 		



VILLAGE OF EAST AURORA

SPECIAL USE PERMIT

Permit Dated April 17, 2023

636 East Fillmore Avenue

Special Use Permit issued pursuant to §285-52 of the East Aurora Village Code

Issued To: Nick & Alex Robinson

For the purpose of: Space for commercial kitchen for baking and selling of pastries.

As per Village Board Approval: Amended April 17, 2023

Effective: April 17, 2023

Hours of Operation: Monday through Saturday, 7 a.m. to 5 p.m.
Sunday, 8 a.m. to 3 p.m.

For the purpose of:

First Floor Seating: Dining 12, Outdoor 10 (seasonal/patio use)

Second Floor Seating: 16 (mezzanine) used for Master Class and Teaching Space

Special Conditions:

Approval is Granted for the above-referenced Special Use Permit Application, as written and submitted and referred by the Village Planning Commission with the following Findings and Recommendations:

Findings:

1. Proposed use is allowed in the current zoning designation. 2. There will be no outdoor music. 3. There will be no additional lighting used for outdoor seating. 4. The height of the proposed building appears consistent with the surrounding area. 5. Hours of operation at the new location will remain the same as the hours at the current location. 6. Hours of operation end at 5 p.m. Monday through Saturday and 3 p.m. Sunday, preventing any disturbance to neighbors during evening hours. 7. Applicant has stated that the roof top air handling units will operate at noise level of approximately 50dB. 8. Place the bike rack closer to the sidewalk.

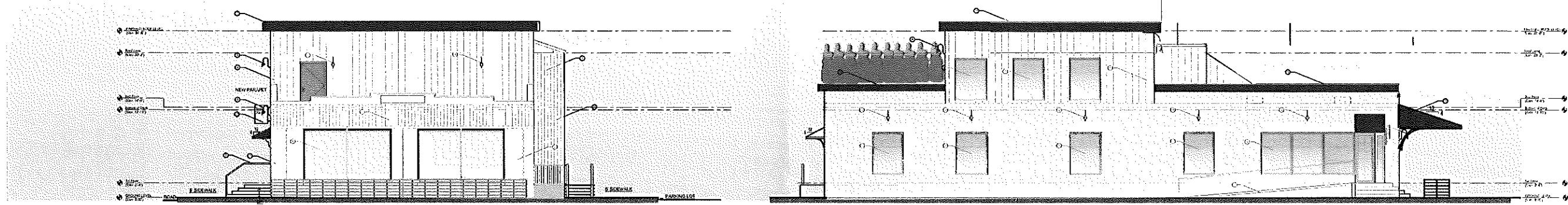
Recommendation:

Village Board should refer the application to the Safety Committee to evaluate pedestrian crossing from the Ice Rink to the proposed Special Use Permit. The Erie County Division of Planning reviewed this application and responded: "No recommendation; proposed action has been reviewed and determined to be of local concern".

The permit herein is issued to the applicants on behalf of Blue Eyed Baker and cannot be transferred without the written consent of the Village Board of Trustees. No activities other than the activities specifically set forth in this Special Use Permit shall be conducted. No activities shall be deemed incidental to the activities permitted by this Special Use Permit unless and until such activities shall be approved as incidental activities by resolution of the Village Board of Trustees. The Village Board of Trustees hereby reserves the right to revoke approval of this Special Use Permit in the event the owner of the premises in which the use is permitted is found to be in violation of any of the above stated conditions.

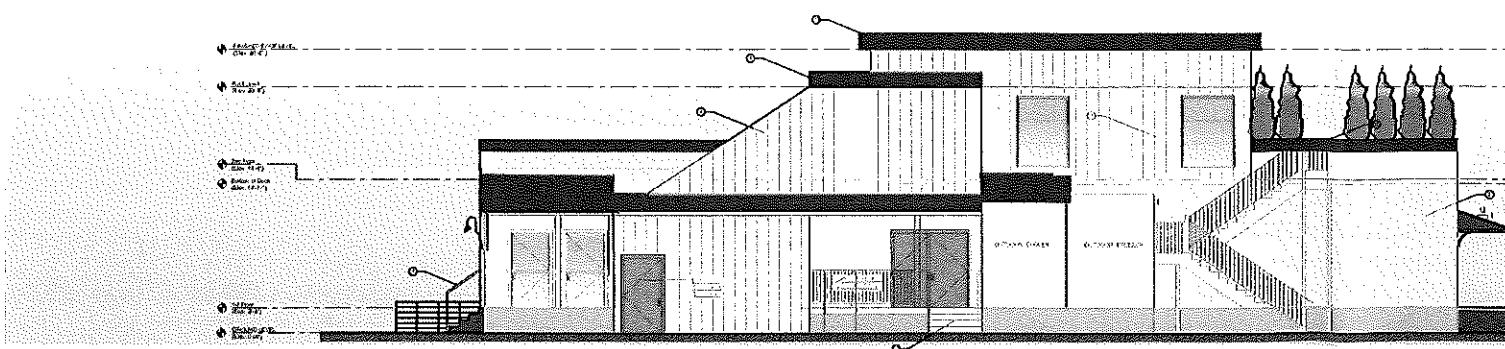
NOTES

1. BRICK VENEER
2. PAINTED CMU
3. METAL PANELING
4. METAL STANDING SEAM ROOF
5. EPDM ROOF
6. ALUM. STOREFRONT WINDOWS W/BLACK TRIM
7. METAL RAILING
8. GOOSENECK LIGHTING FIXTURE
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10. METAL STAIRS
11. METAL AWNINGS
12. BLUE EYED BAKER SIGN
13. METAL PLASHING

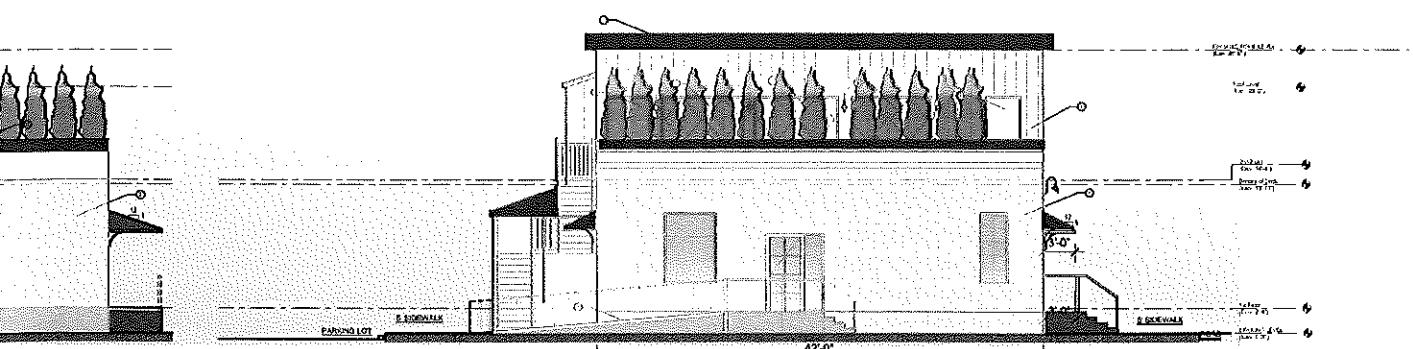


PROPOSED SOUTH ELEVATION 1
SCALE: 1/8" = 1'-0" A-4

PROPOSED WEST ELEVATION 2
SCALE: 1/8" = 1'-0" A-4



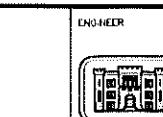
PROPOSED EAST ELEVATION 3
SCALE: 1/8" = 1'-0" A-4



PROPOSED NORTH ELEVATION 4
SCALE: 1/8" = 1'-0" A-4

21 6/23/2023 PLANNING BOARD
20 6/9/2023 PERMIT
19 4/18/2023 ERIE COUNTY SEWER COMMENTS
18 4/20/2023 ERIE COUNTY SEWER COMMENTS
17 4/18/2023 ERIE COUNTY SEWER COMMENTS
16 4/6/2023 ERIE COUNTY SEWER COMMENTS
15 3/28/2023 ERIE COUNTY SEWER COMMENTS
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6	10/27/2022	STRUCTURAL	REVISION	12	2/21/2023	BULLETIN #2 CONSTRUCTION	
5	10/07/2022	RESTROOM		11	2/14/2023	BULLETIN #1 CONSTRUCTION	
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1	1/17/2022	PLANNING	BOARD	7	1/21/2023	PERMIT SET	
NO	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION		



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CONSULTING ENGINEERS
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East Aurora, NY 14052
(716) 656-4991; John@schenne.com

OWNER

BLUE EYED BAKER
33 ELM STREET
EAST AURORA, NY 14052

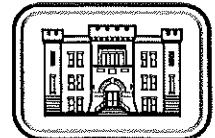
PROJECT

PROPOSED BAKERY 636
EAST FILLMORE EAST
AURORA, NY 14052

JOB NUMBER # 21-3550

PROPOSED ELEVATIONS

SCALE: AS NOTED DATE: 03-06-2021 Dwg. A-4



Schenne & Associates

967 Luther Road
East Aurora, NY 14052

636 East Fillmore, East Aurora, NY 14052

Applicable Codes:

- EXISTING BUILDING CODE OF NEW YORK STATE (EBCHNS - 2020)
- BUILDING CODE OF NEW YORK STATE 2020
- NATIONAL ELECTRIC CODE (2018)
- NFPA 70
- AJISI 117.1-2017
- ADA-2010

Use and Occupancy Classification:

Village of East Aurora -

Commercial Use - Bakery

Construction Classification:

New Construction Type II B with the following ratings:

- Exterior Wall Construction (Masonry, Strefon, Metal stud)
- Structural Frame stud
- Floor Construction frame
- Metal frame stud Demising Wall (Stainless)
- Roof Construction (metal decking)

0-hour
0-hour
0-hour
1-hour
0-hour

Means of Egress:

- Egress Width, Stairs = 0.2' per Occupant but not less than 44"
- Egress Width, Corridors = 0.15' per Occupant but not less than 44"

Number of Exits:

- Office, Dental and Medical Min. 2 Required, 4 Provided.
- Exit Access:
 - Common Path of Egress Travel: 125' max. (no stairs)
 - Dead End Corridors: 20' max (new)
 - Corridor Width: 44" min. required, 60" provided
- Exit Access Doors: Provide 2 exits for spaces with occupant loads greater than 50.
- Separation of Exits: Provide separation that is not less than $\frac{1}{2}$ diagonal of building

Occupant Load:

Numbers in these tables are reflective of calculations made from Table 1004.1.2, actual occupancy loads will most likely be much less. However, the number below are used in code review requirements.

■ Ground Floor: A-2	3,805 sf gross
704 SF dining	(1 occ./ 15 s.f.) 47 OL
500 SF Master class	(1 occ./ 15 s.f.) 34 OL

BOH/Kitchen 800 sf net (1 occ./ 200 s.f.) 6 OL

■ Second Floor: A-2	1,480 sf Gross
net open area 1,135 sf (1 occ./ 15 s.f.)	76 OL
net patio area 738 sf (1 occ./ 15 s.f.)	49 OL

TOTAL FOR ENTIRE BUILDING: # occupants

First Floor - Square Footage 3,805 sf
Second Floor - Square Footage 1,480 sf

Total Building - Square Footage 5,085 sf

Fire Rated Construction:

The Building is Sprinklered.

- Fire Barriers - Required for Vertical Exit Enclosures and exit passageways.
- Fire Partitions for Corridors
 - 1/2 hr. fire partition required (Building is fully sprinklered)
- Fire Barriers - Required for incidental use areas (furnace & boiler rooms, storage rooms), 1 hr. fire barrier or Sprinkler Required. Sprinkler Provided, no rated walls required.
- Opening Protectives - B-label at 2 hr. walls, B-label at 1 hr. walls, 20 min. doors $\frac{1}{2}$ hr. walls.
- Exterior Walls, Not required due to setback distances at all locations.

Work By Others:

- Design Build Alarm System
- Design Build Audio/ sound/ Video system
- Design Build Security

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NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

INDEX OF DRAWINGS

DWG. NO.	DESCRIPTION	08/08/2022	02/21/2023	02/21/2023	02/21/2023
T-1	Title Sheet	●	●	●	●
C-1	Site Plan	●	●	●	●
C-2	Site Grading and Utility Plan	●	●	●	●
C-3	Site Landscaping Plan	●	●	●	●
CC-1	Code Compliance Plan	●	●	●	●
A-1	First Floor Plans	●	●	●	●
A-2	Second Floor Plans	●	●	●	●
A-3	Roof Plan	●	●	●	●
A-4	Elevations	●	●	●	●
P-1	1st Floor Sanitary & Waste Plumbing	●	●	●	●
P-2	1st Floor Water & Gas Plumbing	●	●	●	●
P-3	2nd Floor Sanitary & Waste Plumbing	●	●	●	●
P-4	Restroom Elevations	●	●	●	●
E-1	First Floor Electrical Plans	●	●	●	●
E-2	First Floor Electrical Plans	●	●	●	●
E-3	Second Floor Electrical Power Plan	●	●	●	●
E-4	Second Floor Electrical Lighting Plan	●	●	●	●
M-1	First Floor HVAC Plans	●	●	●	●
M-2	Second Floor HVAC Plans	●	●	●	●
S-1	Foundation Plan	●	●	●	●
S-2	First Floor Framing Plan	●	●	●	●
S-3	Roof Framing Plan	●	●	●	●
S-4	Structural Framing (Col. Line 2,3,4)	●	●	●	●
S-5	Structural Details (Col. Line 5)	●	●	●	●
S-6	Structural Framing (Col. Line 6)	●	●	●	●
S-7	Structural Details (Col. Line 5)	●	●	●	●
S-8	Typ. Structural details	●	●	●	●
FP-1	1st Floor Fire Protection Plan	●	●	●	●
FP-2	2nd Floor Fire Protection Plan	●	●	●	●

GENERAL NOTES

CONDITIONS BEFORE STARTING WORK: NOTIFY THE ENGINEER/ ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

GENERAL: DURING THE RECONSTRUCTION, THE ASBESTOS ABATEMENT AND SELECTIVE DEMOLITION WILL BE PERFORMED FIRST, AND THE RECONSTRUCTION AND RENOVATION WORK WILL BE PERFORMED AFTER.

THE RECONSTRUCTION AND RENOVATION CONTRACTOR SHALL BE CAREFUL SO AS TO NOT DESTROY ANY OF THE REMAINING/EXISTING ACM WHICH SHALL BE ENCLOSED BY THEIR NEW WORK.

DURING THE RECONSTRUCTION AND RENOVATION WORK, THE OWNER WILL DEPLOY THE SERVICES OF A FULLTIME DRONE/DRONE ACI WHICH SHALL BE USED TO OBSERVE AND ENSURE THERE IS NO DISTURBANCE OF ANY OF THE REMAINING/EXISTING ACM. IN THE EVENT OF ANY DISTURBANCE, THE ASBESTOS CONTRACTOR SHALL PERFORM THE NECESSARY CLEANUP OPERATIONS AND/OR REPAIRS AS MAY BE NEEDED.

REFER TO THE NYSDOL SITE SPECIFIC VARANCE AND THE SPECIFICATIONS FOR FURTHER DEFINITION AND CLARIFICATION FOR THE COORDINATION AND SCHEDULING CONTRACT.

1. VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE

2. CONTRACTS: NOTES AND DETAILS OF THE DRAWINGS TAKE PREDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS IN CASE OF CONFLICT.

3. CODES: ALL MATERIALS AND WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE NYSDOL UNIFORM FIRE PREVENTION AND BUILDING CODE.

4. SUBSTITUTIONS: PROVIDE MANUFACTURER'S APPROVED PRODUCT THAT HAS BEEN REVIEWED (TESTED) AND A LIST OF ALL PROPOSED SUBSTITUTIONS TO THE ENGINEER FOR REVIEW AND WRITTEN APPROVAL BEFORE FABRICATION OR INSTALLATION.

5. SIMILAR WORK: WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK SHOWN ON THE DRAWINGS.

6. PIPES, DRAINS, SCAFFOLDING ETC. SHALL NOT BE PLACED IN SLABS, BEAMS OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DRAINS, ETC. UNLESS SPECIFICALLY SHOWN OR NOTED. PROVIDE A REASONABLE CLEARANCE FOR INSTALLATION OF ANY ADDITIONAL PIPES, DRAINS, ETC.

7. EXCAVATIONS: LOCATE AND PROTECT UNDERGROUND OR CONCEALED CONDUIT, PIPING OR OTHER UTILITIES WHERE NEW WORK IS BEING PERFORMED.

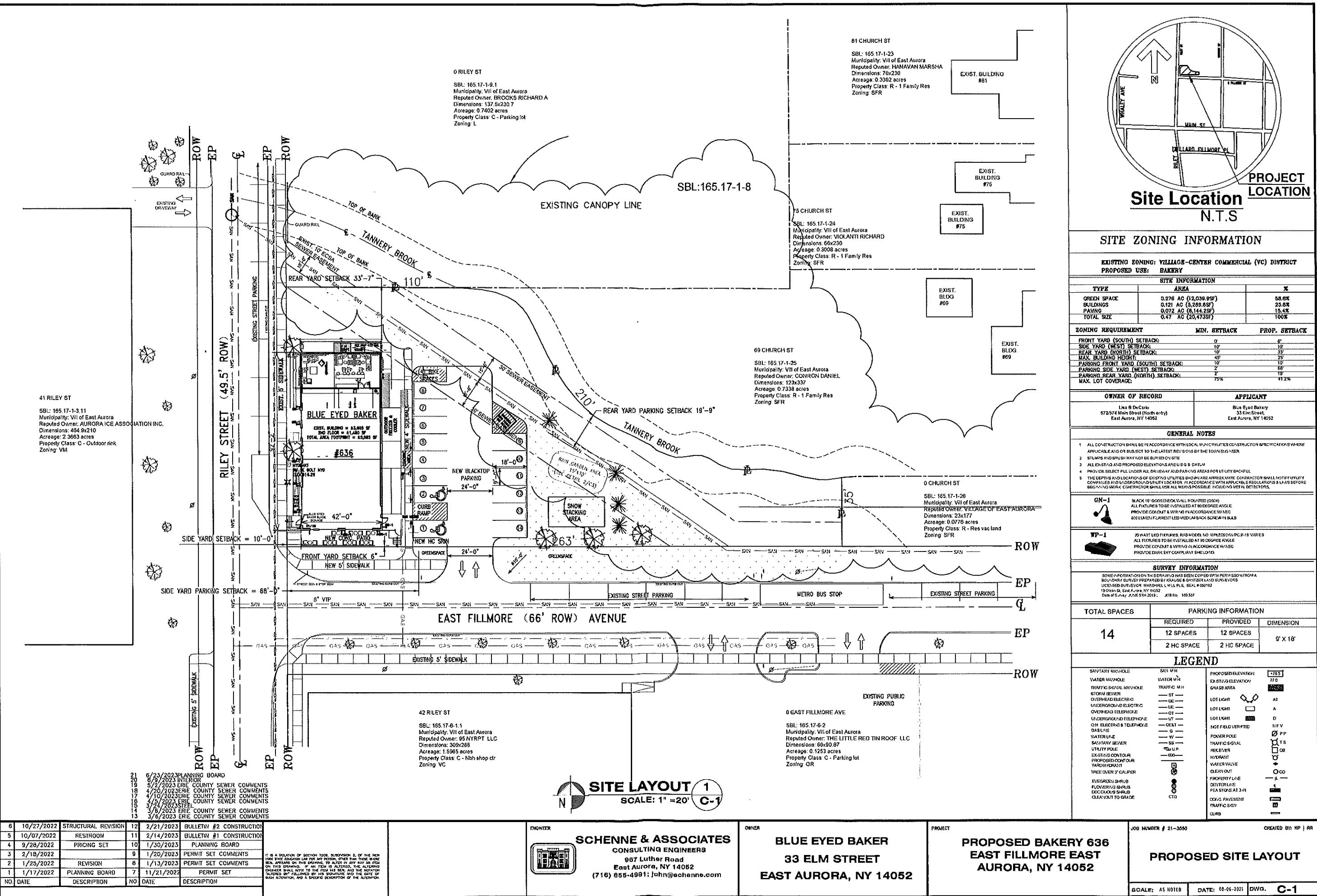
8. CONSTRUCTION LOADS: MATERIALS SHALL BE EVENLY DISTRIBUTED IF PLACED ON FRAMED FLOORS OR ROOFS. LOADS SHALL NOT EXCEED THE ALLOWABLE LOAD (L=40 PSF) FOR THE SUPPORTING MEMBERS AND THEIR CONNECTIONS.

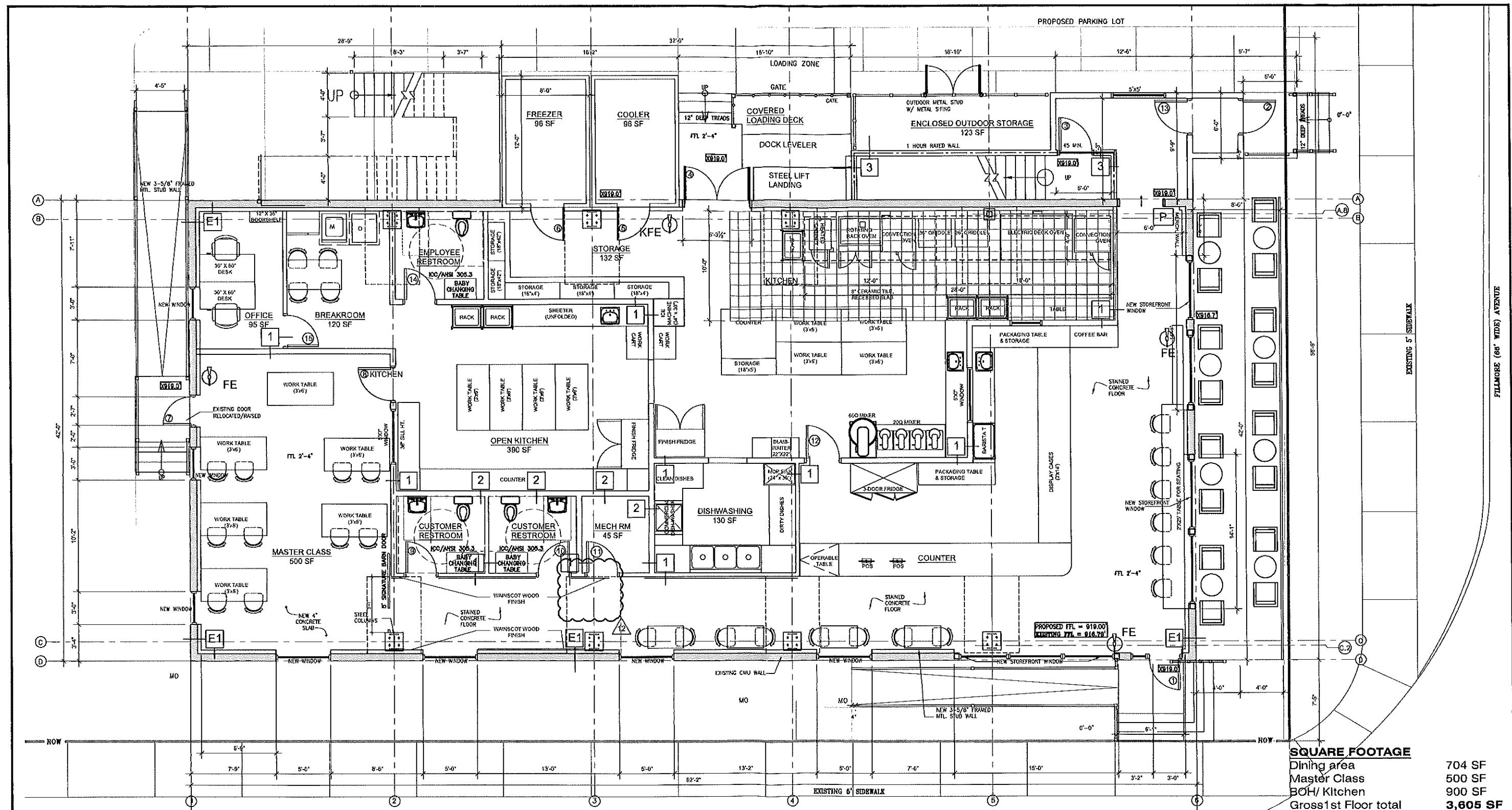
9. CONCRETE: DO NOT USE CONCRETE IN EXISTING CONCRETE FLOORS OR ROOFS. DO NOT USE CONCRETE IN EXISTING CONCRETE FLOORS OR ROOFS.

10. ELEVATIONS: REFER TO THE ELEVATION DRAWINGS FOR THE ELEVATION OF EXISTING CONSTRUCTION.

ARCHITECTURAL ABBREVIATIONS

AB	ANCHOR BOLT	L H R B	LEFT HAND REVERSE BEVEL
ACM	ASBESTOS-CONTAINING MATERIALS	LLV	LONG LEG VERTICAL
ACT	ACOUSTIC CEILING TILE (NON-ASBESTOS)	LLH	LIGHT WEIGHT
ADDITIONAL	ADDITIONAL	LT WT	LIGHTWEIGHT
ADD'L	ADDITIONAL	MA	MASONRY
A.F.F.	ABOVE FINISH FLOOR	MAF	MANUFACTURE
AGL	ALTERNATE	MAHF	MANUFACTURER
ALT	ALUMINUM	MAX	MAXIMUM
ALUM	APPROXIMATE	MIN	MINIMUM
APPROX	AVERAGE	MC	MISC CHANNEL
AVG	BLOCK COURSES	MECH	MECHANICAL
B.C.	BOARD	MTL	METAL
BET	BETWEEN	MIN D	MASONRY OPENING
BEW	BOTTOM EACH WAY	N	NORTH
BLOD	BUILDING	NIC	NOT CONTRACT
BM	BEAM	NO	NUMBER
BNT	BOTTOM OF FOOTING	NON	NON-NOMINAL
BOT	BOTTOM	NR	NON-RATED
BSH	BASEMENT	N & S	NORTH AND SOUTH
CEIL	CEILING	OC	ON CENTER
C.J.	CONTROL JOINT	OD	OUTSIDE DIAMETER
C.L.	CENTER LINE	OH	OVERHEAD
CLR.	CLEAR	OPENING	OPENING
C.M.U.	CONCRETE MASONRY UNIT	OPP HAND	OPPOSITE HAND
COL.	COLUMN	PSF	POUNDS PER SQUARE FOOT
CONN.	CONNECTION	PSI	POUNDS PER SQUARE INCH
CONF.	CONCRETE	PT	PAINT
CONST.	CONTINUED - CONTINUOUS	PVC	POLY VINYL CHLORIDE</td





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NO DATE		DESCRIPTION	NO DATE		DESCRIPTION

IT IS A VIOLATION OF SECTION 1209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON OTHER THAN THOSE WHOSE NAME APPEARS ON THIS FORM TO ALTER ANY PART OF THIS FORM OR TO ADD ANYTHING THEREON. ANY ALTERATION, DELETION, OR ADDITION TO THIS FORM MUST BE MADE BY A REGISTERED PROFESSIONAL ENGINEER. THE REGISTERED PROFESSIONAL ENGINEER SHALL AFFIX TO THE FORM HIS SEAL AND THE NOTATION "REGISTERED PROFESSIONAL ENGINEER" OR THE EQUIVALENT TERM OR TERMS OF THE PROFESSIONAL ENGINEER'S LICENSE OR CERTIFICATE OF REGISTRATION. THE NOTATION "REGISTERED PROFESSIONAL ENGINEER" OR THE EQUIVALENT TERM OR TERMS OF THE PROFESSIONAL ENGINEER'S LICENSE OR CERTIFICATE OF REGISTRATION SHALL BE PLACED IMMEDIATELY ABOVE THE SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



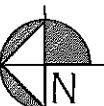
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(716) 655-4991; john@schenne.com

OWNER
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33 ELM STREET
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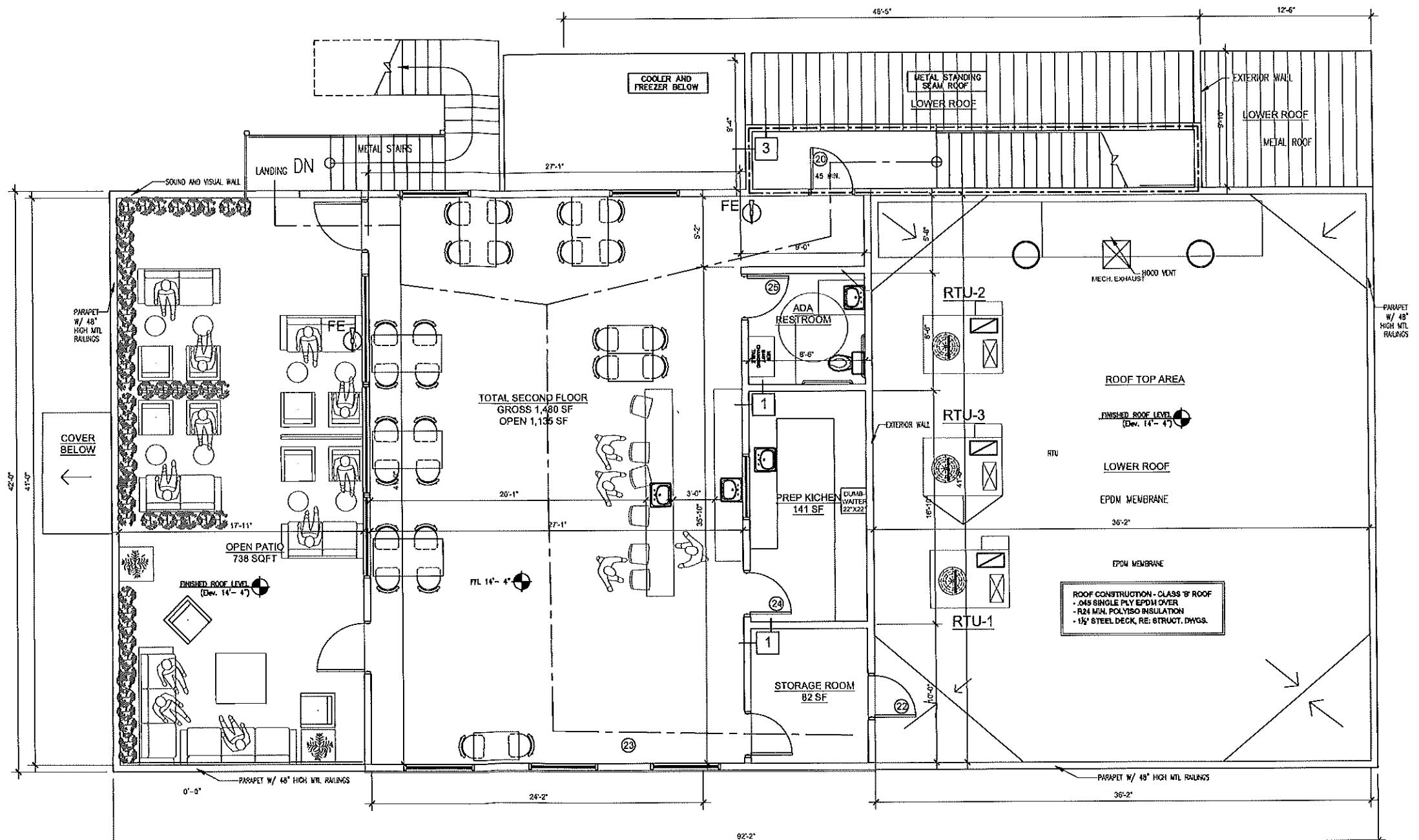
PROJECT
PROPOSED BAKERY 636
EAST FILLMORE EAST
AURORA, NY 14052

CREATED BY: KP | RA
1ST FLOOR PLAN
JOB NUMBER: # 21-350
SCALE: AS NOTED DATE: 03-06-2021 DWG. A-1

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTE: ALL LOCKS FOR EXTERIOR DOORS SHALL BE MASTER KEYED



21	8/23/2023	PLANNING BOARD
20	6/9/2023	INTERIOR
19	5/2/2023	ERIE COUNTY SEWER COMMENTS
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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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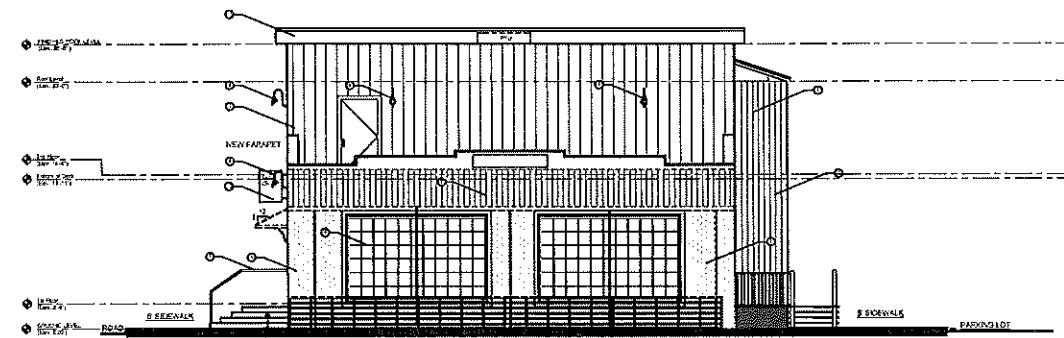
PROJECT
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SECOND FLOOR PLAN

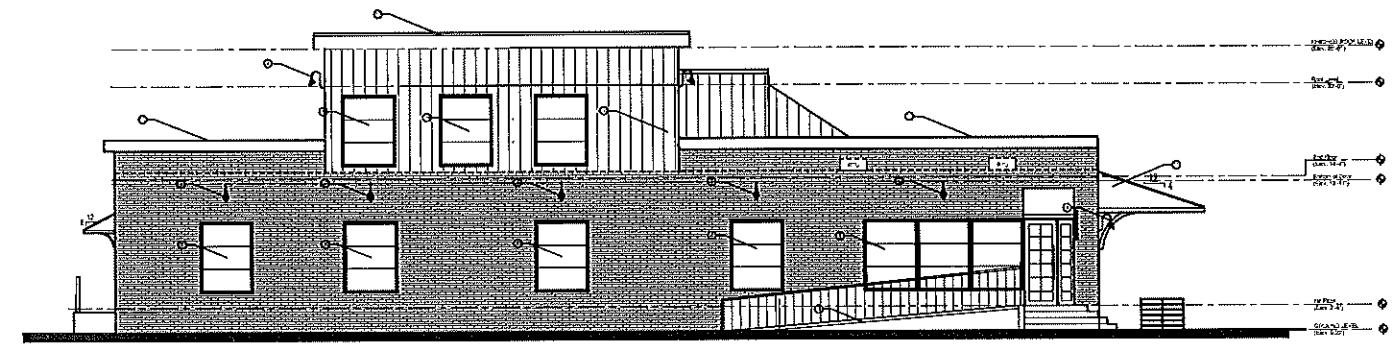
SCALE: AS NOTED DATE: 08-05-2021 DWG. A-2

NOTES

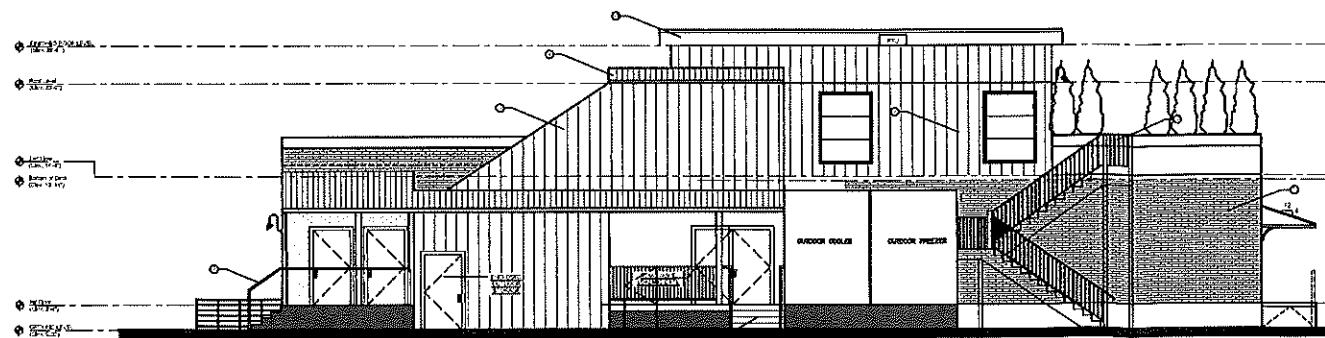
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- ⑬ METAL FLASHING



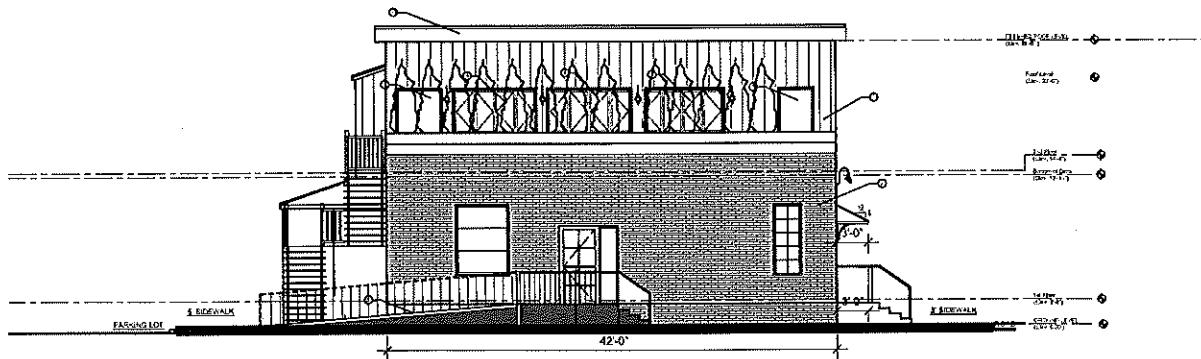
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A-4



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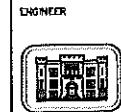
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A-4



PROPOSED NORTH ELEVATION 4

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BLUE EYED BAKER
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EAST AURORA, NY 14052

PROJECT
**PROPOSED BAKERY 636
EAST FILLMORE EAST
AURORA, NY 14052**

NUMBER: 21-3550 CREATED BY: NP | RR

PROPOSED ELEVATIONS

285-30.5 Visibility

- A. Corner visibility. Within the triangle formed by intersecting.....
- B. Street visibility. Within the right of way, no fence, wall, hedge or dense foliage shall be erected, planted or maintained between the heights of 2' and 6' in any residential district.

***Important instructions to Village Board members:**

Include all pertinent items desired by the Village pertaining to the operation of the business. Note that any items and matters that are part of the discussion, prior to the official approval, which are not included in the conditions section when the approval is granted, those may not be enforceable unless they are made express conditions of the approval.

An Application of a Request for an Amended Special Use Permit, received by the Office of the Village Clerk on July 11, 2023, is hereby:

A. [APPROVED] or [DENIED], as submitted, for applicant Alix and Nick Robinson 636 East Fillmore Avenue, for an addition of a tavern use, outdoor seating on the second floor at the rear of the building, and extended hours of operation. There's no request for outdoor music on the patio, either live or speakers.

The Village Board shall be Lead Agency under the State Environmental Quality Review Act (SEQRA). A Negative Declaration is made under SEQRA and said application is determined to be an Unlisted Action.

The following findings and conditions from the Village Planning Commission are incorporated herein:

1. The business is a good use of a formerly dilapidated building.
2. The business is compatible with the neighborhood.
3. There will be no outdoor music.
4. The conditions from the existing SUP will carry forward and become part of the amended SUP.

If approved, the following additional language should be part of the approval:

Approval is Granted for the above-referenced Special Use Permit Application, as written and submitted, and with the following additional modifications and/or conditions*:

Should any part of the application and Special Use Permit approval be in conflict with any segment of the underlying Village Code (i.e., Zoning, etc.), adherence shall be with the Village Code provisions.

The Village shall have the right to periodically inspect the property for compliance with the Village Code, the Special Use Permit and its conditions.

The nature, duration and intensity of the operations which are involved in, or conducted in connection with, this Special Use Permit shall not be increased or expanded without the approval of the Village Board. Any increase or expansion shall be considered at a public hearing held in accordance with the application requirements and administrative procedures which have been adopted by the Village Board.

This Special Use Permit shall expire if significant construction has not been commenced within one year, and has not been completed within two years, of final Special Use Permit approval or, if no construction is involved, if the use has not been commenced within one year of final Special Use Permit approval.

This Special Use Permit shall expire if the use, once begun, ceases operation, for any reason, for more than six consecutive months. For seasonal uses, the use will be considered ceased if there is no operation for at least 12 consecutive months.

This Special Use Permit may be revoked by the Village Board if it is found and determined that there has been a material failure of compliance with any one of the terms, conditions, limitations or requirements imposed by the Special Use Permit. Revocation may also occur in the event of Village Code violations occurring at the property. The Village Board shall hold a public hearing to consider whether or not the Special Use Permit grantee has violated the terms and conditions of the Special Use Permit or if any Village Code violations have occurred. The public hearing shall be held only after the permit grantee has been notified. Notice of the violations and of the date, place and time of the public hearing shall be mailed to the Special Use Permit grantee by certified mail, return receipt requested, directed to the last known address of the permit grantee.

***Important instructions to Village Board members:**

Include all pertinent items desired by the Village pertaining to the operation of the business. Note that any items and matters that are part of the discussion, prior to the official approval, which are not included in the conditions section when the approval is granted, those may not be enforceable unless they are made express conditions of the approval.

An Application of a Request for a Special Use Permit, received by the Office of the Village Clerk on July 11, 2023, is hereby:

A. [APPROVED] or [DENIED], as submitted, for applicant Anthony Amabile 27 Riley Street, to operate a restaurant with outdoor seating and outdoor music at 27 Riley Street the Riley Street Station.

The Village Board shall be Lead Agency under the State Environmental Quality Review Act (SEQRA). A Negative Declaration is made under SEQRA and said application is determined to be an Unlisted Action.

The following findings and conditions from the Village Planning Commission are incorporated herein:

1. Business will be consistent with the neighborhood character.
2. It is a good use for a historic building.
3. The applicant will cooperate with rink owner on parking.
4. The applicant will comply with noise codes and outdoor music will end by 11pm

If approved, the following additional language should be part of the approval:

Approval is Granted for the above-referenced Special Use Permit Application, as written and submitted, and with the following additional modifications and/or conditions*:

Should any part of the application and Special Use Permit approval be in conflict with any segment of the underlying Village Code (i.e., Zoning, etc.), adherence shall be with the Village Code provisions.

The Village shall have the right to periodically inspect the property for compliance with the Village Code, the Special Use Permit and its conditions.

The nature, duration and intensity of the operations which are involved in, or conducted in connection with, this Special Use Permit shall not be increased or expanded without the approval of the Village Board. Any increase or expansion shall be considered at a public hearing held in accordance with the application requirements and administrative procedures which have been adopted by the Village Board.

This Special Use Permit shall expire if significant construction has not been commenced within one year, and has not been completed within two years, of final Special Use Permit approval or, if no construction is involved, if the use has not been commenced within one year of final Special Use Permit approval.

This Special Use Permit shall expire if the use, once begun, ceases operation, for any reason, for more than six consecutive months. For seasonal uses, the use will be considered ceased if there is no operation for at least 12 consecutive months.

This Special Use Permit may be revoked by the Village Board if it is found and determined that there has been a material failure of compliance with any one of the terms, conditions, limitations or requirements imposed by the Special Use Permit. Revocation may also occur in the event of Village Code violations occurring at the property. The Village Board shall hold a public hearing to consider whether or not the Special Use Permit grantee has violated the terms and conditions of the Special Use Permit or if any Village Code violations have occurred. The public hearing shall be held only after the permit grantee has been notified. Notice of the violations and of the date, place and time of the public hearing shall be mailed to the Special Use Permit grantee by certified mail, return receipt requested, directed to the last known address of the permit grantee.

285-30.5 Visibility

- A. Corner visibility. Within the triangle formed by intersecting.....
- B. Street visibility. Within the right of way, no fence, wall, hedge or dense foliage shall be erected, planted or maintained between the heights of 2' and 6' in any residential district.

VILLAGE OF EAST AURORA
APPLICATION FOR TEMPORARY USE PERMIT
Not less than 60 days or more than 75 days before date of activity

\$25.00 Application Fee \$50.00 Permit Fee
\$100.00 Mailer Fee (300 feet for road/public parking lot closure and/or outdoor music) _____

Date Application Filed: 8/18/23

Date of V.B. Action: _____

Approved: _____ Disapproved: _____
Conditions of approval will be listed in permit

Sect. 285-52 Participants of an area activity, such as, but not necessarily limited to, a sidewalk sale, art, antique, craft show and/or sales, farmers market, or community/civic promotion activities and similar

Please type or print legibly

Name of Organization Buffalo Autism Project

Is Organization a: not-for-profit Charitable/Service Business School Government

Name & Address of Individual Responsible Brian Moeller, 11 Park Walk Lancaster, NY 14086

Phone Number 716-984-8820 E-mail brian.buffaloautismproject@gmail.com

Event Name Crawloween

Date(s) of Event 10/21/2023 Time(s) of Event 2-8pm Estimated # of People 500-700

Please describe activity/purpose of this event Bar Crawl to raise money for events for the autism community

Location (include all areas of the event) Bars in the village of East Aurora

(attach map)

Will this event be donating a portion of proceeds to one or more charities and publicizing that in promotional material? Yes No

If yes, list charities and the percentage of proceeds to be donated: 100% Buffalo Autism Project

Will this event be held entirely in the Village of East Aurora? Yes No

If no, specify: _____

Will the event include more than one vendor/organization? Yes No

(if yes, attach list of vendors/participants)

Will the event involve a street or parking lot closure/usage? Yes No If yes, please note:

Road/Lot Name(s) _____

Date(s) of Closure _____ Time(s) _____

Will the event include:

Parade or motorcade Yes No (Attach Map of route)

Walk or Run Yes No (Attach Map of route)

Will there be outdoor music? Yes No

Time & Location _____ Live DJ Multiple/Mixed

Amplification Yes No

Will you be providing or selling alcohol? Yes No

Will people be allowed to bring alcohol? Yes No

Will there be Security Guards? Yes No Volunteers or Private Paid Entity

Please List Entity Name _____

Will there be temporary food stands? Yes No

How many? _____

Food Truck? If yes, name of vendor: _____

(additional permit required)

Will tent or other structure be erected for event? Yes No Size _____

Date & Time to be installed _____ Date & Time to be removed _____

Will any prep work be done on/or before the event? Yes No

Please describe _____

Set up Date: _____ Time: _____

Clean up Date: _____ Time: _____

Will additional **garbage cans** be needed? Yes No How many _____ Drop Off Location _____

Will each vendor/organization be responsible for their own garbage? Yes No

Will a **dumpster** be used? Yes No If yes, location _____

Will there be **portable lavatories**? Yes No How Many? _____

Location(s) _____

Will there Bell Jar or Games of Chance? Yes No (if yes, separate permit required)

What is the source of **electric**, if applicable? _____ N/A

Please list any extras eg. Light show, loud speakers, decorations, paints or dyes:

Police Services Requested: _____

(Crossing Guards may be required dependent upon event and is a decision of the Police Department)

DPW Services Requested _____

Fire/Other _____

- Attach map or sketch showing the location of the event. Such map shall include:

Location of parking facilities, indicating number of parking spaces being provided; location of toilet facilities including the location of port-a-potties; location of public entrance(s) and exit(s) to the event site; location of vendor facilities (if applicable) including booths, tents and food service facilities; explanation of steps being taken to control traffic and provide security (if applicable) and the number of security personnel that will be present.

Requesting organization shall attach a completed Certificate of Insurance with minimum limits include public liability coverage of limits of \$1,000,000 each occurrence; property damage insurance with limits of \$1,000,000 each occurrence. Policy shall be endorsed to include Village of East Aurora as an additional named insured.

Requesting organization shall attach Indemnification Agreement on organization letterhead, signed by authorized applicant or officer of company and duly notarized (sample included)

"Applicant named herein is fully responsible for obtaining any & all licensing with regard to the presentation or playing of music, pursuant to music copyright laws. The Village of East Aurora assumes no liability in this regard".

Police Department: Conditions/Comments _____

Dept of Public Works: Conditions/Comments _____

Fire Dept/Disaster Coordinator: Conditions/Comments _____

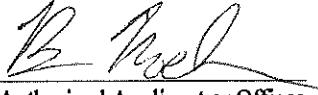
Sign Permits are to be obtained from the Town of Aurora Building Department 575 Oakwood Ave, 716.652.7591



BuffaloAutismProject@gmail.com
PO Box 476 Lancaster, NY 14086

Indemnification Agreement

To the fullest extent permitted by law, I/We shall indemnify and hold harmless the Village of East Aurora and its employees from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of our work under this contract, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, including loss of use resulting there from but only to the extent caused in whole or in part by negligent acts or omissions of our organization, anyone directly or indirectly employed by us or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to otherwise exist as to a party or person described in this paragraph.



Authorized Applicant or Officer

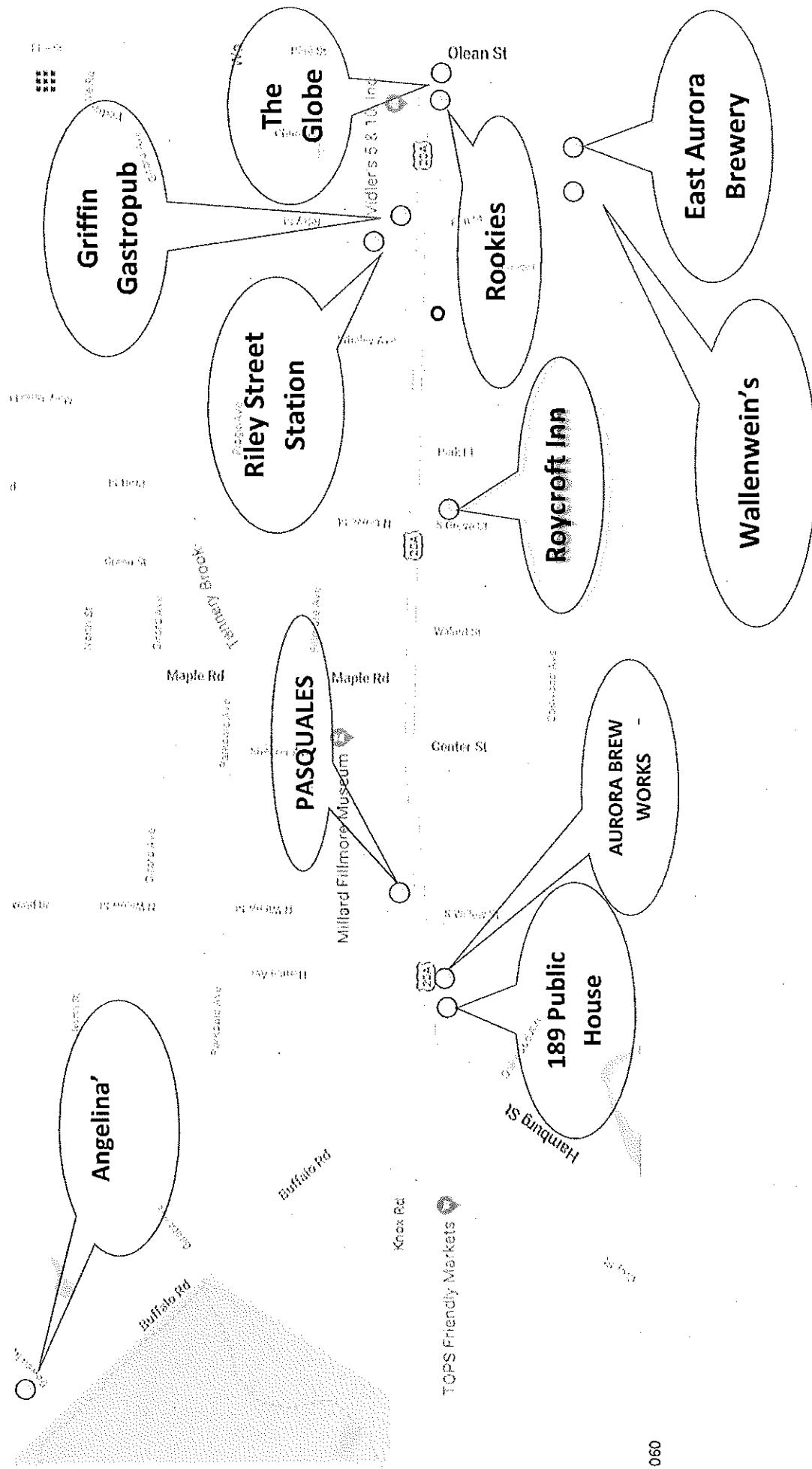
Subscribed and sworn to before me this 18 day of, 2023
Aug. 18



Notary Public

CRYSTAL ANN BARRETT
NOTARY PUBLIC-STATE OF NEW YORK
No. 01BA6238536
Qualified in Erie County
My Commission Expires 11-11-2027

Crawl-O-Ween Participating Bar Locations





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

8/16/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERs NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER		CONTACT NAME: Robert V. Nuccio
R.V. Nuccio & Associates Insurance Brokers, Inc. 10148 Riverside Drive Toluca Lake, CA 91602		PHONE (A/C. No. Ext): (800) 364-2433
		E-MAIL ADDRESS: support@rvnuccio.com
		FAX (A/C. No.): (818) 980-1595
INSURED		INSURER(S) AFFORDING COVERAGE
Buffalo autism project 11 Park Walk Lancaster, NY 14086		NAIC #
		INSURER A: Fireman's Fund Insurance Company 21873
		INSURER B:
		INSURER C:
		INSURER D:
		INSURER E:
		INSURER F:

COVERAGEs

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSPR WWD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	✓ COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR	✓	UST022072230 NAEP111544	10/21/2023	10/22/2023	EACH OCCURRENCE	\$ 1,000,000
	✓ Host Liquor Liability					DAMAGE TO RENTED PREMISES	\$ 100,000
	GEN'L AGGREGATE LIMIT APPLIES PER: ✓ POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC					MEDICAL EXPENSE	\$ 5,000
	OTHER:					PERSONAL & ADV INJURY	\$ 1,000,000
A	AUTOMOBILE LIABILITY ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY					GENERAL AGGREGATE	\$ 2,000,000
	PRODUCTS - COMP/OP AGG					\$ 1,000,000	
						\$	
						\$	
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE					COMBINED SINGLE LIMIT	\$
	DED <input type="checkbox"/> RETENTION \$					BODILY INJURY (Per person)	\$
						BODILY INJURY (Per accident)	\$
						PROPERTY DAMAGE (Per accident)	\$
							\$
	DED <input type="checkbox"/> RETENTION \$	EACH OCCURRENCE	\$				
		AGGREGATE	\$				
			\$				
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N/A				PER STATUTE	OTH-ER
	E.L. EACH ACCIDENT					\$	
	E.L. DISEASE - EA EMPLOYEE					\$	
	E.L. DISEASE - POLICY LIMIT					\$	
A A	Liquor Liability Care Custody Control Liability		UST022072230 UST022072230	10/21/2023 10/21/2023	10/22/2023 10/22/2023		1,000,000 \$25,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Additional Insured: Village of east aurora

CERTIFICATE HOLDER

CANCELLATION

Village of east aurora

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

Village of east aurora
East aurora, NY 14052

AUTHORIZED REPRESENTATIVE

Robert V. Nuccio

VILLAGE OF EAST AURORA
APPLICATION FOR TEMPORARY USE PERMIT
Not less than 60 days or more than 75 days before date of activity

\$25.00 Application Fee \$50.00 Permit Fee
 \$100.00 Mailer Fee (300 feet for road/public parking lot closure and/or outdoor music)

Date Application Filed: 8/31/23

Date of V.B. Action: _____

Approved: _____ Disapproved: _____

Conditions of approval will be listed in permit

Please type or print legibly

Name of Organization EAST AURORA RUNNERSIs Organization a: Not-For-Profit Charitable/Service Business School Government Name & Address of Individual Responsible Holly R. LayerPhone Number 937-974-2621 E-mail hlayer@gmail.comEvent Name TURK-EA TROTDate(s) of Event 11.23.23 Time(s) of Event 9 am Estimated # of People 500Please describe activity/purpose of this event Thanksgiving Day 5K (run/walk)Location (include all areas of the event) start/end @ Boys & Girls Club, route in village
 (attach map)Will this event be donating a portion of proceeds to one or more charities and publicizing that in promotional material? Yes NoIf yes, list charities and the percentage of proceeds to be donated: Boys & Girls Club, etc...Will this event be held entirely in the Village of East Aurora? Yes No

If no, specify: _____

Will the event include more than one vendor/organization? Yes No

(if yes, attach list of vendors/participants)

Will the event involve a street or parking lot closure/usage? Yes No If yes, please note:Road/Lot Name(s) See MapDate(s) of Closure 11.23.23 Time(s) 9 am

Will the event include:

Parade or motorcade Yes No (Attach Map of route)Walk or Run Yes No (Attach Map of route)Applicants should review proposed routes with the Police Department prior to making this application. Will there be outdoor music? Yes NoTime & Location 9 am PAUL ST Live DJ Multiple/Mixed Amplification Yes NoWill you be providing or selling alcohol? Yes NoWill people be allowed to bring alcohol? Yes NoWill there be Security Guards? Yes No Volunteers or Private Paid Entity

Please List Entity Name _____

Will there be temporary food stands? Yes No

How many? _____

Food Truck? If yes, name of vendor: _____

(additional permit required)

Will tent or other structure be erected for event? Yes No Size start/finish lineDate & Time to be installed 9 am 11.23.23 Date & Time to be removed ~11 am 11.23.23

Will any prep work be done on or before the event? Yes No

Please describe start/finish line on Main St.

Set up Date: 11.23.23 Time: ~7a

Clean up Date: 11.23.23 Time: ~11a

Applicants/Event Organizers are responsible for ensuring complete clean-up after the event.

Will additional **garbage cans** be needed? Yes No How many _____ Drop Off Location _____
On request, these may be provided by the Village DPW for an added fee.

Will each vendor/organization be responsible for their own garbage? Yes No

Will a **dumpster** be used? Yes No If yes, location _____

Will there be **portable toilets**? Yes No How Many? _____

Location(s) _____

Will there Bell Jar or Games of Chance? Yes No (if yes, separate permit required)

What is the source of **electric**, if applicable? _____

Please list any extras e.g. light show, loud speakers, decorations, paints, dyes, etc.:

speakers @ finish line

For the following items, state if the applicant has made prior contact with each entity to discuss the event.

Police Services Requested: discussed w/ Lt. Welch 08.21.23, crossing guards

(Crossing Guards may be required, and an additional fee charged to the applicant, depending on the event, as determined by the Police Department.)

DPW Services Requested: _____

Fire/Other Services Requested: _____

- Attach map or sketch showing the location of the event. Such map shall include:

Location of parking facilities, indicating number of parking spaces being provided; location of toilet facilities including the location of portable toilets; location of public entrance(s) and exit(s) to the event site; location of vendor facilities (if applicable) including booths, tents and food service facilities; explanation of steps being taken to control traffic and provide security (if applicable) and the number of security personnel that will be present.

Requesting organization shall attach a completed Certificate of Insurance with minimum limits include public liability coverage of limits of \$1,000,000 each occurrence; property damage insurance with limits of \$1,000,000 each occurrence. Policy shall be endorsed to include Village of East Aurora as an additional named insured.

Requesting organization shall attach Indemnification Agreement on organization letterhead, signed by authorized applicant or officer of company and duly notarized (sample included).

Applicant named herein is fully responsible for obtaining any & all licensing with regard to the presentation or playing of music, pursuant to music copyright laws. The Village of East Aurora assumes no liability in this regard.

Police Department: Conditions/Comments _____

Department of Public Works: Conditions/Comments _____

Fire Department/Disaster Coordinator: Conditions/Comments _____

Sign Permits are to be obtained from the Town of Aurora Building Department 575 Oakwood Ave, 716-652-7591

Name, Address and Telephone Number of Property Owner(s): _____

Signature of Applicant: Hallie M. Taylor

Applicant's signature certifies that all information contained in this application is complete and accurate and that the applicant has any permission required by the property owner(s) for the event to occur on the property.

Indemnification Agreement

To the fullest extent permitted by law, I/We shall indemnify and hold harmless the Village of East Aurora and its employees from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of our work under this contract, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, including loss of use resulting there from but only to the extent caused in whole or in part by negligent acts or omissions of our organization, anyone directly or indirectly employed by us or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to otherwise exist as to a party or person described in this paragraph.

Wallyn Sawyer
Authorized Applicant or Officer

Subscribed and sworn to before me this 31 day of August, 2023

Crystal A. Bennett
Notary Public

CRYSTAL ANN BARRETT
NOTARY PUBLIC-STATE OF NEW YORK
No. 01BA6238535
Qualified In Erie County
My Commission Expires 4-11-2027

CERTIFICATE OF INSURANCE

PRINT DATE: 11/2/2022

CERTIFICATE NUMBER: 20221102941980

AGENCY:

Edgewood Partners Insurance Center
5909 Peachtree Dunwoody Road, Suite 800
Atlanta, GA 30328
678-324-3300 (Phone), 678-324-3303 (Fax)

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERNS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

NAMED INSURED:

USA Track & Field, Inc.
130 East Washington Street, Suite 800
Indianapolis IN 46204

East Aurora Runners

INSURERS AFFORDING COVERAGE:

INSURER A: Accredited Surety and Casualty Company, Inc. NAIC# 26379
INSURER B: Allied World National Assurance Company NAIC# 19489

EVENT INFORMATION:

Turk-EA Trot (11/24/2022 - 11/24/2022)

POLICY/COVERAGE INFORMATION:

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INS	TYPE OF INSURANCE:	POLICY NUMBER(S):	EFFECTIVE:	EXPIRES:	LIMITS:
A GENERAL LIABILITY					
	X Occurrence	1-TRE-IN-17-01338542-00	11/1/2022 12:01 AM	11/1/2023 12:01 AM	GENERAL AGGREGATE (Applies Per Event) \$4,000,000
	X Participant Legal Liability				EACH OCCURRENCE \$2,000,000
					DAMAGE TO RENTED PREMISES (Each Occ.) \$2,000,000
					MEDICAL EXPENSE (Any one person) EXCLUDED
					PERSONAL & ADV INJURY \$2,000,000
					PRODUCTS-COMP/OP AGG \$2,000,000
A UMBRELLA/EXCESS LIABILITY					
	X Occurrence	1-TRE-IN-17-01338543-00	11/1/2022 12:01 AM	11/1/2023 12:01 AM	EACH OCCURRENCE \$3,000,000
					AGGREGATE \$3,000,000
B OTHER					
	X EXCESS LIABILITY	0313-1301	11/1/2022 12:01 AM	11/1/2023 12:01 AM	EACH OCCURRENCE \$7,000,000
					AGGREGATE \$7,000,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS:

Coverage applies to USA Track & Field sanctioned events and registered practices, including any directly related activities, such as event set-up and tear-down, participant check-in and award ceremonies.

The certificate holder is an additional insured per the following endorsement: Blanket Additional Insured (RSCG 03 03)

The General Liability policy is primary and non-contributory with respect to the negligence of the Named Insureds (Form CG 20 01)

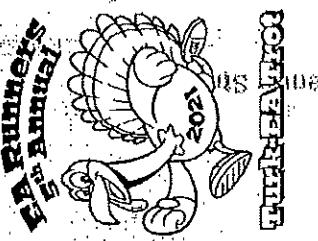
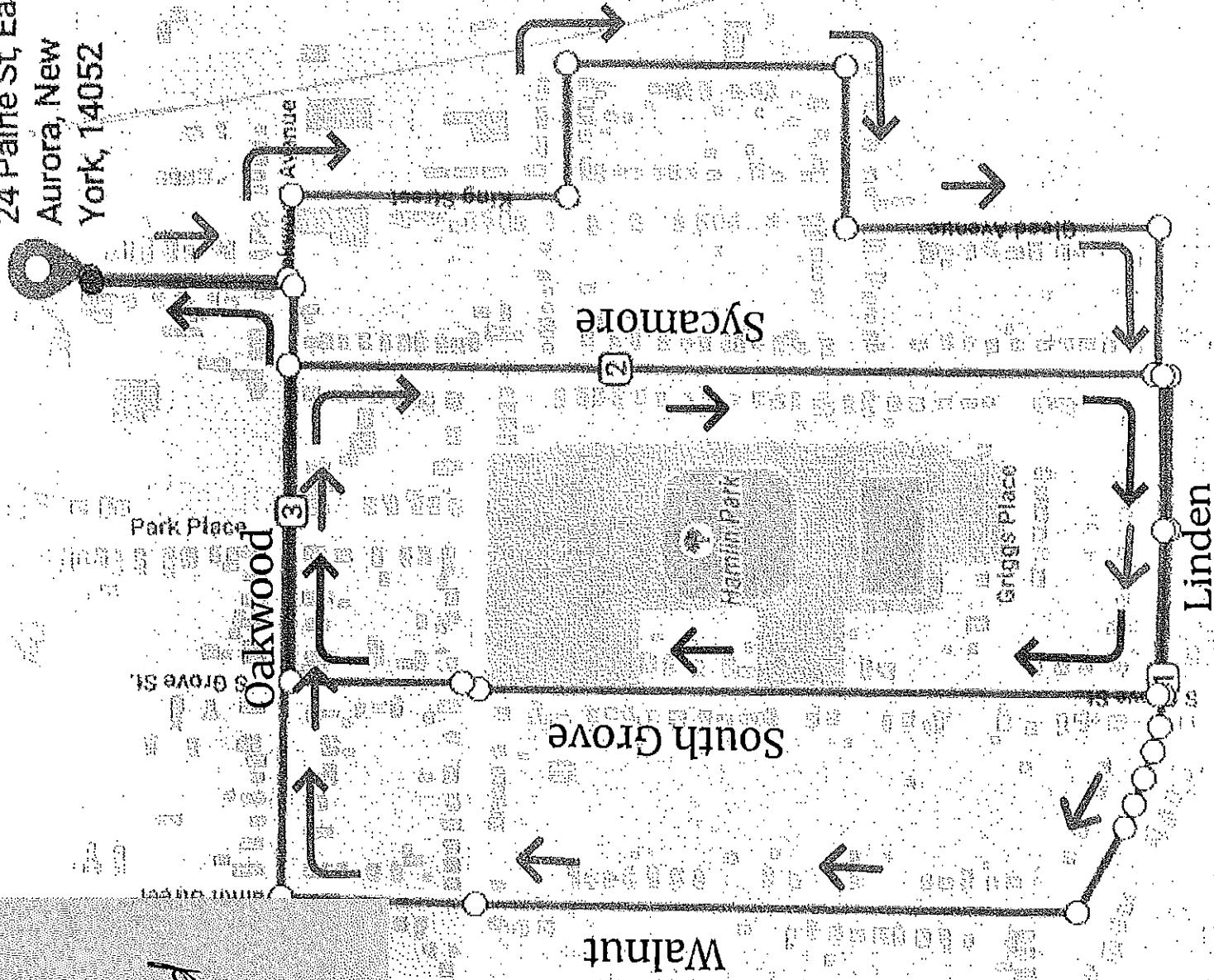
The General Liability policy contains a blanket Waiver of Subrogation as required by contract per Waiver of Transfer of Rights of Recovery Against Others (Form CG 24 04).

Excess policy follows form of underlying General Liability.

CERTIFICATE HOLDER:	NOTICE OF CANCELLATION:
Village of East Aurora 585 Oakwood Ave East Aurora NY 14052	Should any of the above described policies be cancelled before the expiration date thereof, notice will be delivered in accordance with the policy provisions.
	AUTHORIZED REPRESENTATIVE:



same as last
year - approved
per Lt Welch



9/18/23 meeting
Receipt #28095

VILLAGE OF EAST AURORA
APPLICATION FOR TEMPORARY USE PERMIT
Not less than 60 days or more than 75 days before date of activity

\$25.00 Application Fee \$50.00 Permit Fee
\$100.00 Mailer Fee (300 feet for road/public parking lot closure and/or outdoor music)

Date Application Filed: 9/18/23
Date of V.B. Action: 9/18/23

Approved: _____ Disapproved: _____
Conditions of approval will be listed in permit

Please type or print legibly

Name of Organization Greater East Aurora Chamber of Commerce
Is Organization a: Not-For-Profit Charitable/Service Business School Government
Name & Address of Individual Responsible Victoria Sherman 652 Main St. East Aurora
Phone Number 716 653-8244 E-mail VSherman@comcast.net
Event Name Cardiade
Date(s) of Event 12/23/23 Time(s) of Event 7pm Estimated # of People 1,000+

Please describe activity/purpose of this event An annual Cardiade event
Location (include all areas of the event) Main Street between Elm/Perry St and
(attach map) Elton Rd

Will this event be donating a portion of proceeds to one or more charities and publicizing that in promotional material? Yes No

If yes, list charities and the percentage of proceeds to be donated: _____

Will this event be held entirely in the Village of East Aurora? Yes No
If no, specify: _____

Will the event include more than one vendor/organization? Yes No
(if yes, attach list of vendors/participants)

Will the event involve a street or parking lot closure/usage? Yes No If yes, please note:

Road/Lot Name(s) Main Street between Elm/Perry & Elton
Date(s) of Closure 12/23/23 Time(s) 5:30 pm

Will the event include:

Parade or motorcade Yes No (Attach Map of route)
Walk or Run Yes No (Attach Map of route)

Applicants should review proposed routes with the Police Department prior to making this application.

Will there be outdoor music? Yes No

Time & Location 7pm Main St. Live DJ Multiple/Mixed
Amplification Yes No

Will you be providing or selling alcohol? Yes No

Will people be allowed to bring alcohol? Yes No

Will there be Security Guards? Yes No Volunteers or Private Paid Entity

Please List Entity Name _____

Will there be temporary food stands? Yes No

How many? 2 Food Truck? If yes, name of vendor: Rotary will give hot chocolate
(additional permit required)

Will tent or other structure be erected for event? Yes No Size _____
Date & Time to be installed _____ Date & Time to be removed _____

Will any prep work be done on or before the event? Yes No

Please describe Tables in front of Votors for Hot Chocolate

Set up Date: 12/23/23 Time: 6pm

Clean up Date: 12/23/23 Time: 8pm

Applicants/Event Organizers are responsible for ensuring complete clean-up after the event.

Will additional **garbage cans** be needed? Yes No How many 10 Drop Off Location Curb

On request, these may be provided by the Village DPW for an added fee.

VDPW historically has donated garbage pickup for Cawcaw Street

Will each vendor/organization be responsible for their own garbage? Yes No

Will a **dumpster** be used? Yes No If yes, location _____

Will there be **portable toilets**? Yes No How Many? _____

Location(s) _____

Will there Bell Jar or Games of Chance? Yes No (if yes, separate permit required)

What is the source of **electric**, if applicable? DPW Speakers with power at Richardson Main & Depot Drift.

Please list any extras e.g. light show, loud speakers, decorations, paints, dyes, etc.: Speakers

For the following items, state if the applicant has made prior contact with each entity to discuss the event.

Police Services Requested: Crowd Control

(Crossing Guards may be required, and an additional fee charged to the applicant, depending on the event, as determined by the Police Department.)

DPW Services Requested: Street closure / garbage cans

Fire/Other Services Requested: VDPW historically brings their ladder truck for Santa

- Attach map or sketch showing the location of the event. Such map shall include:

Location of parking facilities, indicating number of parking spaces being provided; location of toilet facilities including the location of portable toilets; location of public entrance(s) and exit(s) to the event site; location of vendor facilities (if applicable) including booths, tents and food service facilities; explanation of steps being taken to control traffic and provide security (if applicable) and the number of security personnel that will be present.

Requesting organization shall attach a completed Certificate of Insurance with minimum limits include public liability coverage of limits of \$1,000,000 each occurrence; property damage insurance with limits of \$1,000,000 each occurrence. Policy shall be endorsed to include Village of East Aurora as an additional named insured.

Requesting organization shall attach Indemnification Agreement on organization letterhead, signed by authorized applicant or officer of company and duly notarized (sample included).

Applicant named herein is fully responsible for obtaining any & all licensing with regard to the presentation or playing of music, pursuant to music copyright laws. The Village of East Aurora assumes no liability in this regard.

Police Department: Conditions/Comments _____

Department of Public Works: Conditions/Comments _____

Fire Department/Disaster Coordinator: Conditions/Comments _____

Sign Permits are to be obtained from the Town of Aurora Building Department 575 Oakwood Ave, 716-652-7591

Name, Address and Telephone Number of Property Owner(s): _____

Signature of Applicant: Debra Shuey

Applicant's signature certifies that all information contained in this application is complete and accurate and that the applicant has any permission required by the property owner(s) for the event to occur on the property.

Indemnification Agreement

To the fullest extent permitted by law, I/We shall indemnify and hold harmless the Village of East Aurora and its employees from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of our work under this contract, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, including loss of use resulting there from but only to the extent caused in whole or in part by negligent acts or omissions of our organization, anyone directly or indirectly employed by us or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to otherwise exist as to a party or person described in this paragraph.



Authorized Applicant or Officer

Subscribed and sworn to before me this 8th day of September, 2023



Notary Public

CRYSTAL ANN BARRETT
NOTARY PUBLIC-STATE OF NEW YORK
No. 01BA6238535
Qualified in Erie County
My Commission Expires 4-11-2027

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERs NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

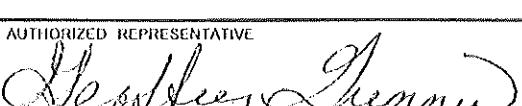
IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER BADGER & GUNNER INC 24 Pine St East Aurora, NY 14052	CONTACT NAME:			
	PHONE (AVC, No Ext)	(716) 652-6350	FAX (AVC, No)	(716) 652-2512
	E-MAIL ADDRESS:			
	INSURER(S) AFFORDING COVERAGE		NAIC #	
INSURER A: SELECTIVE INSURANCE CO OF S CAROLINA				
INSURED GREATER EAST AURORA CHAMBER OF COMMERCE 652 MAIN STREET EAST AURORA, NY 14052	INSURER B:			
	INSURER C:			
	INSURER D:			
	INSURER E:			
	INSURER F:			

COVERAGES	CERTIFICATE NUMBER:	REVISION NUMBER:						
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.								
INSPR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR	Y	S 1850486	10/1/2022 10/1/2023	10/1/2023 10/1/2024	EACH OCCURRENCE	\$ 1,000,000	
	DAMAGE TO RENTED PREMISES (Ex occurrence)					\$ 500,000		
	MED EXP (Any one person)					\$ 15,000		
	PERSONAL & ADV INJURY					\$ 1,000,000		
	GENERAL AGGREGATE					\$ 2,000,000		
	PRODUCTS - COMP/OP AGG					\$ 2,000,000		
GENL AGGREGATE LIMIT APPLIES PER	\$							
<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO- JECT <input type="checkbox"/> LOC OTHER								
AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ex accident)	\$	
ANY AUTO OWNED AUTOS ONLY HIRED AUTOS ONLY	SCHEDULED AUTOS NON-OWNED AUTOS ONLY					BODILY INJURY (Per person)	\$	
UMBRELLA LIAB	OCCUR					BODILY INJURY (Per accident)	\$	
EXCESS LIAB	CLAIMS MADE					PROPERTY DAMAGE (Per accident)	\$	
DED	RETENTION S						\$	
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/>	Y/N	N/A				PER STATUTE	OTHR	
If yes, describe under DESCRIPTION OF OPERATIONS below						E 1 EACH ACCIDENT	\$	
						E L DISEASE - EA EMPLOYEE	\$	
						E L DISEASE - POLICY LIMIT	\$	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

IT IS AGREED THAT THE VILLAGE OF EAST AURORA IS LISTED AS AN ADDITIONAL INSURED FOR CAROLCADE EVENT, DECEMBER 23, 2023.

CERTIFICATE HOLDER	CANCELLATION
VILLAGE OF EAST AURORA 585 OAKWOOD AVENUE EAST AURORA NY 14052	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
AUTHORIZED REPRESENTATIVE	
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SUGGESTED RESOLUTION
AUTHORIZING RESOLUTION

At a meeting of the _____
(Name of Municipality)

Board/Council held on _____, the **Board/Council**

(Date)

authorized _____, _____
(Name) (Title)

to sign, submit and execute a contract with Erie County Community Development Block Grant (ECCDBG) program for the following project(s) upon approval of ECCDBG:

1. _____
2. _____
3. _____

Town/City/ Village/ Clerk

Notary

Please attach a copy of Public Hearing Notice

SAMPLE
NOTICE OF PUBLIC HEARING

Notice to the Citizens of the
(City) (Town) (Village) of _____

A Public Hearing will be held on _____ (date) _____ at _____ (time) _____ in
_____ (location, room) _____ regarding the use of Federal Community
Development funds on the (City) (Town) (Village) of _____

The (City) (Town) (Village) of _____
is eligible for a Federal Community Development Grant under Title I of the Housing and
Community Development Act of 1974, as amended.

The purpose of the Hearing is to provide an opportunity for citizens to express
community development and housing needs and to discuss possible projects which
would benefit low- and moderate-income persons in the (City) (Town) (Village) of _____

Citizens are urged to attend this meeting to make known their views and/or written
proposals on the (City) (Town) (Village) of _____'s
selection of potential projects to be submitted for possible funding by the Federal
Community Development Grant Program.

The Hearing will also present a review of prior Community Development projects and
expenditures and a discussion of eligible activities. The meeting room is wheelchair
accessible. Those needing special arrangements should call the (City) (Town) (Village)
at _____ (phone #) _____ by (five (5) days before Public Hearing date) _____.

TOWN OF AURORA
575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees
FROM: Elizabeth Cassidy, Code Enforcement Officer
DATE: July 17, 2023

The Building Department has accepted a Special Use Permit application from Jane Brewer and Joseph Zambon, property owners, for an Accessory Dwelling Unit (ADU) at their property at 245 Prospect Ave. The proposed ADU is the second floor of the detached garage. The proposed structure received a mean height variance when it was constructed in 2019.

Village Code section 285-52.1 requires the Village Board to refer the Special Use Permit application to the Planning Commission for their review and recommendation. The Village Board shall then schedule a public hearing prior to the SEQR determination and decision.

A referral to the Erie County Planning Department is not required for this application.

This is an Unlisted action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.
Liz Cassidy

VILLAGE OF EAST AURORA
 571 Main Street, East Aurora, New York 14052
 716-652-6000
 In conjunction with
Town of Aurora Building Department
 300 Gleed Ave, East Aurora, NY 14052
 716-652-7591

Building Dept:	7113123
Date Received:	7/19/23
Complete App:	7119123
Village Clerk:	
Date Filed:	7/19/23
Amount \$:	150.00
Receipt #:	2741-3

SPECIAL USE PERMIT APPLICATION

PROPOSED PROJECT ADU in Detached Garage SBL#: 175.08-9-2
 LOCATION 245 PROSPECT AVE ZONING DISTRICT SFR

The applicant agrees to reimburse the Village for any additional fees required for consultant's review.

APPLICANT NAME JANE BREWER / JOSEPH ZAMBON
 ADDRESS 245 PROSPECT AVE, EAST AURORA NY 14052
 TELEPHONE 716 462 3953 FAX 716 462 3953 E-MAIL JANE.BREWER@gmaile.com
 SIGNATURE Jane

OWNER NAME JANE BREWER / JOSEPH ZAMBON
 ADDRESS 245 PROSPECT AVE EAST AURORA NY 14052
 TELEPHONE 716 462 3953 FAX 716 462 3953 E-MAIL JANE.BREWER@gmaile.com
 SIGNATURE Jane

DEVELOPER NAME N/A
 ADDRESS _____
 TELEPHONE _____ FAX _____ E-MAIL _____
 SIGNATURE _____

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One (1) – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-52.2
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD or by Dropbox.
- Application fee \$25.00, Permit fee \$25.00, and Public Hearing fee \$100.00 – Total \$150 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____

REQUIRED MEETINGS/REFERRALS: Mtg/Mail Date Conditions/Comments, if applicable:

Planning Commission	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:
 Type 1 Type 2 Unlisted

VILLAGE BOARD ACTION:

Public Hearing	_____
Notices Mailed	_____
Posted Notice-VEA Hall	_____
Posted Notice-Prop	_____
Approval/Denial Date	_____

Attach Village Board resolution with noted conditions.

CHECK LIST FOR SPECIAL USE PERMIT APPLICATION

- A cover letter to the Village board with a narrative of all proposed uses and structures, including but not limited to: hours of operation, number of employees, maximum seat capacity, and required number of parking spaces.
- A narrative report describing how the proposed use will satisfy the criteria set forth in the special use permit review criteria of Chapter §285-52.4 (also listed below), as well as any other applicable requirements relating to the specific use proposed.
 - Will be generally consistent with the goals of the Village Comprehensive Plan.
 - Will meet all relevant criteria set forth in Chapter §285-52.3 and §285-52.4.
 - Will be compatible with existing uses adjacent to and near the property.
 - Will not create a hazard to health, safety or the general welfare of the public.
 - Will not alter the essential character of the neighborhood nor be detrimental to the neighborhood residents.
 - Will not be a nuisance to neighboring land uses in terms of the production of obnoxious or objectionable noise, dust, glare, odor, refuse, fumes, vibrations, unsightliness, contamination or other similar conditions.
 - Will not cause undue harm to or destroy existing sensitive natural features on the site or in the surrounding area or cause adverse environmental impacts such as significant erosion and/or sedimentation, slope destruction, flooding or ponding of water, or degradation of water quality.
 - Will not destroy or adversely impact significant historic and/or cultural resource sites.
 - Will provide adequate landscaping, screening or buffering between adjacent uses which are incompatible with the proposed project.
 - Will not otherwise be detrimental to the public convenience and welfare.
- All SEQR Documentation as required by New York State Law.

Jane Brewer DDS, MS
Joseph J. Zambon DDS, PhD
245 Prospect Avenue
East Aurora, NY, 14052

July 13, 2020

East Aurora Village Board
575 Oakwood Ave.
East Aurora, Ny. 14052

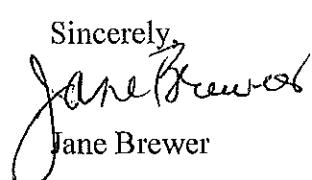
This is a request for use of an existing garage second floor at 245 Prospect Ave, East Aurora, NY, 14052 as an auxiliary dwelling unit for habitation by the property owners, Dr. Jane Brewer and Dr. Joseph Zambon.

The garage was constructed several years ago to replace a 50 year old garage. The new garage included a second floor living space that has not been used as a dwelling prior to this time. We use it primarily as a workout space. It's got a pilates reformer and some other workout equipment.

In April of this year, our children Dr. Gilian Alexander and Dr. Tawfiq Hazboun began a year-long complete renovation of a historic village house on Girard Avenue. This is a major renovation. As such, that house is uninhabitable during the renovation (which has involved lifting the house and pouring a new foundation) for them and their two children – our grandchildren. To minimize disruption to our children and grandchildren's lives including enabling our grandchildren to continue to attend Parkdale Elementary School, we are allowing their family to live in our house at 245 Prospect Ave. Since, there is not enough living space in that house for six people, Jane and I would like to live in the small living space above the garage. Hence, our request that that space be approved as an auxiliary dwelling unit.

It is not our intent to live above the garage on a permanent basis. We'd like to be able to live there only until the renovation of our children's house on Girard Avenue is completed – we've been told the renovation will take a year - and our children and grandchildren can move back in. At that time, we'd move back into our house. No one else besides the two of us will live in this garage space and we have no intention that anyone will live there in the future. We'd like to be able to live in our property only for the time it takes to complete our children's Girard house renovation. Even then, we won't be living in our garage space for the whole time. We have a condo in Raleigh, NC where we spend about 4 months a year.

In summary, we ask the town board to approve our request for an auxiliary dwelling unit at 245 Prospect Ave.

Sincerely,

Jane Brewer


Joseph J. Zambon

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: ACCESSORY DWELLING UNIT			
Project Location (describe, and attach a location map): ABOVE GARAGE 245 PROSPECT, AVE EAST AURORA, NY			
Brief Description of Proposed Action: CREATE A LIVING SPACE ABOVE THE GARAGE FOR TEMPORARY USE UNTIL BUILDING AT 302 Girard Ave is completed.			
Name of Applicant or Sponsor: JANE BREWER / JOSEPH ZAMBOR		Telephone: 716 463 3953 E-Mail: JANE.BREWER@gmail.com	
Address: 245 PROSPECT AVE EAST AURORA, NY 14052		City/PO: EAST AURORA	State: NY
Zip Code: 14052			
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/> NO	<input type="checkbox"/> YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/> NO	<input type="checkbox"/> YES
3.a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.3 acres 0 acres 0.3 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name:	<u>Jane Breyer</u>	
Signature:	<u>Jane Breyer</u>	
Date:		<u>7/13/23</u>

4. The front of the business at 586 Main Street is not visible from Main Street and is only visible from Whaley Ave.
5. The petitioner has agreed that the proposed sign will not exceed the allowable sign code size.
6. The sign cannot be illuminated and will be located in the front West corner of 572 Main Street.
7. This request for a variance will not change the character of the neighborhood.
8. This request is not substantial.
9. The alleged difficulty was not self-created.
10. The proposed variance is the minimum variance which will prevent the practical difficulty herein without violating the spirit and intent of the zoning code.
11. There were 26 notices sent out with 1 response who was concerned about the size and location.
12. This is a Type II action under SEQR.

Michael Campanella made a motion to accept the proposed findings and to **GRANT** a variance. The motion was seconded by John Pagliaccio with a unanimous vote to follow.

11/9/17 – Variance “**GRANTED**”

Chairman asked for a motion to close this hearing, motioned by John Pagliaccio, seconded by Michael Croft, unanimous “aye”, hearing closed.

**IN THE MATTER OF THE APPLICATION OF
Dr. Jane Brewer – 245 Prospect Street.**

§285-17B(3) prohibits the mean height not to exceed 15 Ft. in height on an accessory building.

Chairman, John Spooner opened the hearing at 6:32 PM.

IT APPEARING that all parties entitled to notice pursuant to statute were given due and timely notice of the hearing in this matter as it appears from an affidavit of mailing filed herein and made a part of the record in this matter and that the required notice of hearing was published in the official newspaper of the Village of East Aurora on November 2nd, 2017 as it appears from the affidavit of publication filed herein and made a part of the record in this proceeding; and findings.

Chairman John Spooner read asked Code Enforcement Officer, William Kramer to read the denial letter:

1. The denial letter from the Code Enforcement Officer dated October 18, 2017 stating that relief is needed from Village Code Section §285-17B(3) prohibits the mean height not to exceed 15 Ft. in height on an accessory building.
2. The letter of appeal from Mr. Gregory Schneider on behalf of Dr. Jane Brewer dated October 18, 2017, was read aloud by CEO Bill Kramer and made a part of the record.

IT APPEARING that this matter was not referred to the Erie County Division of Planning with Erie County giving no recommendation.

Chairman, Spooner asked if there were any other communications received on the matter. CEO Bill Kramer responded 'No'.

Chairman, John Spooner asked for Dr. Jane Brewer and her architect, Mr. Gregory Schneider, to present their case to the Zoning Board of Appeals.

Mr. Schneider stated his client is hoping to construct a 1 ½ story attached garage with a "bonus" room – the "bonus" room will be to serve as a home office and a children's playroom. This construction will be replacing the currently existing garage which they intend to demolish. If they were to attempt to follow the current guidelines set forth by the Village's zoning code, the applicant would not be able to meet the minimum ceiling height of 7'-6". The garage to be constructed will be done in a manner to complement the existing house with similar aesthetic.

Chairman Spooner reviewed the plans and clarified, the proposed garage does not include future plans of having it be converted in to a rental property of any sort - as by code, this is not allowable. Dr. Brewer replied that she has no interest in going into the property rental business.

Member Pagliaccio clarified with the CEO whether a home office in a garage is allowable? CEO Bill Kramer replied that the applicant is not planning on seeing patients or clients in the area, so it is allowable. The plans showing the addition of a ½ bath is also allowable – Dr. Brewer will be treating this space truly as a 'garage office' – not as a 'home office'.

There being no further testimony, or questions from the members of the Zoning Board of Appeals. Chairman Spooner closed the hearing for deliberations and findings at 6:45 PM.

Chairman, Spooner called the meeting back into order at 7:13PM and read the following findings for Dr. Jane Brewer at 245 Prospect Street.

1. 245 Prospect Street in the R District
2. The resident was constructed in 1950..
3. The proposed 28' x 46' x 8" garage will replace the existing 22' x 22' garage in the same location.
4. The requested variance is for a 10" height variance. The code requires a mean height of an accessory building not to exceed 15'.

5. The only way to achieve the project goals would be by reducing the garage and garage door heights, which would limit the ability to have taller vehicles and reduce the 2nd floor ceiling height to 7'-0" 6" below code required ceiling height for living space.
6. There were 27 notices sent out and no response.
7. The Village code does not allow a proposed accessory structure to be used as habitable space.
8. The requested variance will not change the character of the neighborhood nor is it substantial.
9. The proposed variance is the minimum variance which will prevent the practical difficulty herein without violating the spirit and intent of the zoning code.
10. This is a Type II action under SEQR.

Michael Croft made a motion to accept the proposed findings and to **GRANT** a variance. The motion was seconded by Molly Flynn with a unanimous vote to follow.

11/9/17 – Variance “**GRANTED**”

Chairman asked for a motion to close this meeting, motioned by Michael Campanella, seconded by John Pagliaccio, unanimous “aye”, Zoning Board of Appeals meeting for November 9th, closed.

Respectfully submitted,

Nancy A. Burkhardt
Deputy Village Clerk

LAND SURVEYORS
DATED JANUARY 6, 2006

TOWN OF AURORA
VILLAGE OF EAST AURORA
COUNTY OF ERIE
STATE OF NEW YORK
PART OF LOT 31, TOWNSHIP 9, RANGE 6

585'

EXISTING SETBACK

26.35'

EXISTING SETBACK
PROPOSED SETBACK

84.65'

Dishling
Paved Garage

EXISTING DRIVEWAY

EXISTING POOL AND FENCE

173.25'

173.25'

EXISTING RESIDENCE

EXISTING SETBACK

EXISTING SIDEWALK

84.65'

EXISTING SIDEWALK

PROSPECT AVENUE (49.50' WIDE)

4 SOUTH WILLOW STREET (49.50' WIDE)

PARTIAL SITE PLAN

SCALE: 1" = 20'-0"



DATE	July 11,		
SCALE	As N		
JOB NO.	17-2		
DRAWN BY:	ASK		
CHECKED:	GKS		
REVISED:	A		
JULY 11, 1985			
2ND FL PLAN / EXTER ELEVAT AND BUIL SECTI			
DRAWING NO. A			

IN SET OF:

DRAWING NO.

77

FLOOR PLAN

TOWN OF AURORA
575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Board of Trustees
FROM: Elizabeth Cassidy, Code Enforcement Officer
DATE: July 28, 2023

Our office has accepted a special use permit application to operate a B&B submitted by Lori and Richard McDermott at 105 Park P1 (SBL: 175.08-3-6). This owner-occupied existing non-conforming three family dwelling is located in the Single-Family Residence (SFR) zone. Operation of a B&B is an allowed use for an owner-occupied residence.

Village Code section 285-51.5 requires the Village Board to refer the Special Use Permit application to the Planning Commission for their review and recommendation. The Village Board shall then schedule a public hearing prior to the SEQR determination and decision.

This is an Unlisted action under SEQRA.

A County referral is not required for this application.

If you have any questions, please contact our office at 652-7591.

Liz Cassidy

VILLAGE OF EAST AURORA
 571 Main Street, East Aurora, New York 14052
 716-652-6000
 In conjunction with
Town of Aurora Building Department
 300 Gleed Ave, East Aurora, NY 14052
 716-652-7591

Building Dept:	11/27/23
Date Received:	11/27/23
Complete App:	11/28/23
Village Clerk:	
Date Filed:	11/28/23
Amount \$:	150.00
Receipt #:	2758-13

SPECIAL USE PERMIT APPLICATION

PROPOSED PROJECT BNB
 LOCATION 105 Park Place, East Aurora SBL#: 175.08-3-6
 ZONING DISTRICT SPR

The applicant agrees to reimburse the Village for any additional fees required for consultant's review.

APPLICANT NAME Richard & Lori McDermott
 ADDRESS 105 Park Pl.
 TELEPHONE 716-888-7026 FAX _____ E-MAIL lori@mcdermott@gmail.com
 SIGNATURE Lori A. McDermott

OWNER NAME Name as above
 ADDRESS _____
 TELEPHONE _____ FAX _____ E-MAIL _____
 SIGNATURE _____

DEVELOPER NAME N/A
 ADDRESS _____
 TELEPHONE _____ FAX _____ E-MAIL _____
 SIGNATURE _____

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One (1) – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-52.2
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD or by Dropbox.
- Application fee \$25.00, Permit fee \$25.00, and Public Hearing fee \$100.00 – Total \$150 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:

Type 1 Type 2 Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date
Public Hearing	_____
Notices Mailed	_____
Posted Notice-VEA Hall	_____
Posted Notice-Prop	_____
Approval/Denial Date	_____

Attach Village Board resolution with noted conditions.

CHECK LIST FOR SPECIAL USE PERMIT APPLICATION

- A cover letter to the Village board with a narrative of all proposed uses and structures, including but not limited to: hours of operation, number of employees, maximum seat capacity, and required number of parking spaces.
- A narrative report describing how the proposed use will satisfy the criteria set forth in the special use permit review criteria of Chapter §285-52.4 (also listed below), as well as any other applicable requirements relating to the specific use proposed.
 - Will be generally consistent with the goals of the Village Comprehensive Plan.
 - Will meet all relevant criteria set forth in Chapter §285-52.3 and §285-52.4.
 - Will be compatible with existing uses adjacent to and near the property.
 - Will not create a hazard to health, safety or the general welfare of the public.
 - Will not alter the essential character of the neighborhood nor be detrimental to the neighborhood residents.
 - Will not be a nuisance to neighboring land uses in terms of the production of obnoxious or objectionable noise, dust, glare, odor, refuse, fumes, vibrations, unsightliness, contamination or other similar conditions.
 - Will not cause undue harm to or destroy existing sensitive natural features on the site or in the surrounding area or cause adverse environmental impacts such as significant erosion and/or sedimentation, slope destruction, flooding or ponding of water, or degradation of water quality.
 - Will not destroy or adversely impact significant historic and/or cultural resource sites.
 - Will provide adequate landscaping, screening or buffering between adjacent uses which are incompatible with the proposed project.
 - Will not otherwise be detrimental to the public convenience and welfare.
- All SEQR Documentation as required by New York State Law.

July 27, 2023

Village of East Aurora
571 Main Street
East Aurora, NY 14052

To Our Village Board:

This letter is in response to the letter dated July 24, 2023, from Elizabeth Cassidy, Code Enforcement for the Town of Aurora/Village of East Aurora, regarding operating Short-Term Rental. We have completed the Special Use Permit Application and are dropping it off today to your office.

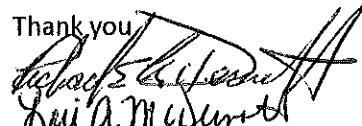
We purchased our multi-family home in August 2017. Our home has been updated to include an egress window and landscaping with a fenced in yard. We are entrenched in our beloved community and volunteer for the Music Festival, Garden Walk, and EA Discovery Day.

We have recently engaged in a BNB for our home and have very strict policies in place. Many of our guests have once lived in the Village or Town and seek to return to visit family, friends and attend reunions, weddings, and funerals. We have enjoyed hosting our guests as they have been very respectful and follow our house guidelines.

When we rented to long term guests, we opened our home to what we felt was a revolving door with pets that damaged our home, were loud and destroyed our landscaping. Recently, we decided after much consideration and neighbors asking if friends and family could stay, to convert to short term from long term guests. Our policy is peaceful enjoyment and quiet time from 10:00 pm – 7:00 am. We only allow guests that are over the age of 25 and not locals. We also have a no tolerance for parties or smoking on premises and have not experienced this. Our guests are here for a vacation and are rarely home as they have previous commitments prior to staying. We have ample parking on premises (6 cars). We provide snow removal and sidewalk cleaning and always are considerate of our surroundings. There are no parties allowed by our guests and never had one other than our own that includes our neighborhood get togethers, EA Discovery and the Garden Walk in the Village. We are considerate of our neighbors and ask our guests to park in front of our house across the street, if they choose to park in the street. We live adjacent to Immaculate Conception. Parking on the street is used by the church, school, and park goers. Our street, as you are aware, butts up to Hamlin Park. We use our driveway to accommodate guests and even others that seek parking for village events. We are considerate of our neighbors and enjoy the camaraderie.

Should you have any questions, please call me at 716-880-7026.

Thank you,



Richard and Lori McDermott

Owners & Operator

SUPERVISOR
James J. Bach
(716) 652-7590
jbach@townofaurora.com



TOWN CLERK
Martha L. Librock
(716) 652-3280
townclerk@townofaurora.com

TOWN OF AURORA

Aurora Municipal Center

575 Oakwood Avenue, East Aurora, NY 14052

www.townofaurora.com

TOWN COUNCIL MEMBERS

Charles D. Snyder
csnyder@townofaurora.com

Luke Wochensky
lwochensky@townofaurora.com

James F. Granville
jgranville@townofaurora.com

Joseph M. McCann
jmccann@townofaurora.com

SUPT. OF HIGHWAYS
David M. Gunner
(716) 652-4050
highway@townofaurora.com

CODE ENFORCEMENT
OFFICER
Elizabeth Cassidy
(716) 652-7591
building@townofaurora.com

ASSESSOR
Stephen R. Pigeon
assessor@townofaurora.com
(716) 652-0011

DIR. OF RECREATION
Christopher Musshafen
(716) 652-8866
chris@townofaurora.com

TOWN ATTORNEY
Brigid M. Maloney

TOWN JUSTICE
Jeffrey P. Markello
Anthony DiFilippo IV

HISTORIAN
Robert L. Goller
(716) 652-7944
historian@townofaurora.com

FAX: (716) 652-3507

July 24, 2023

Richard & Lori McDermott
105 Park Pl
East Aurora, NY 14052

RE: Operating Short Term Rental without approval

Richard and Lori:

It has come to our attention that you are renting the basement apartment through Air BnB. This is not allowed in the Single-Family Residential zoning district without a Special Use Permit from the Village Board. Please either submit the enclosed application, property survey showing the available off-street parking for all units in the dwelling, a cover letter explaining how you intend to mitigate any issues, and the fee to our office no later than 8/1/23. Or remove the rental from any listing sites and notify my office of the same by 8/1/23.

Call the office with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Elizabeth Cassidy'.

Elizabeth Cassidy
Code Enforcement Officer
Town of Aurora/
Village of East Aurora
C 716-695-5194
ecassidy@townofaurora.com

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information		
<i>N/A</i>		
Name of Action or Project: <i>BNB</i>		
Project Location (describe, and attach a location map): <i>105 Park Pl. E.A., NY 14052</i>		
Brief Description of Proposed Action: <i>Requesting a BNB</i>		
Name of Applicant or Sponsor: <i>Richard & Lori McDermott</i>		Telephone: <i>716-880-7626</i>
Address: <i>105 Park Pl.</i>		E-Mail: <i>lorianddermott@gmail.com</i>
City/PO: <i>East Aurora</i>		State: <i>NY</i>
		Zip Code: <i>14052</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		
<input type="checkbox"/> <input type="checkbox"/>		
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <i>✓</i>		
<input type="checkbox"/> <input type="checkbox"/>		
3. a. Total acreage of the site of the proposed action? <i>.30</i> acres b. Total acreage to be physically disturbed? <i>0</i> acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <i>.30</i> acres		
4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input checked="" type="checkbox"/> Parkland		

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
<input type="checkbox"/>	<input checked="" type="checkbox"/>		
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. Are public transportation services available at or near the site of the proposed action?	NO	YES	
<input type="checkbox"/>	<input checked="" type="checkbox"/>		
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
<input type="checkbox"/>	<input checked="" type="checkbox"/>		
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:	<p>Doesn't require any changes - meets current energy code.</p> <p><i>1</i> <i>for Rev</i></p>		
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<i>existing</i>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<i>existing</i>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
<input checked="" type="checkbox"/>	<input type="checkbox"/>		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<i>1</i>	<i>for Rev</i>	
_____	<i>1</i>	<i>for Rev</i>	
_____	<i>1</i>	<i>for Rev</i>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:													
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban													
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?													
<table border="1" style="float: right; margin-right: 10px;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>						NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
NO	YES												
<input checked="" type="checkbox"/>	<input type="checkbox"/>												
16. Is the project site located in the 100-year flood plan?													
<table border="1" style="float: right; margin-right: 10px;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>						NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
NO	YES												
<input checked="" type="checkbox"/>	<input type="checkbox"/>												
17. Will the proposed action create storm water discharge, either from point or non-point sources?													
If Yes, <table border="1" style="float: right; margin-right: 10px;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>						NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES												
<input checked="" type="checkbox"/>	<input type="checkbox"/>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>												
<input checked="" type="checkbox"/>	<input type="checkbox"/>												
a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?													
If Yes, briefly describe: <hr/> <hr/>													
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?													
If Yes, explain the purpose and size of the impoundment: <hr/> <hr/>													
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?													
If Yes, describe: <hr/> <hr/>													
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?													
If Yes, describe: <hr/> <hr/>													
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE													
Applicant/sponsor name: <u>Rich & Lori McDermott</u> Date: <u>7/18/08</u> Signature: <u>Rich McDermott</u> <u>Lori McDermott</u> Title: <u>Owners</u>													

PARK PLACE 1428 Street

1428 Park Place

Willard Market & Deli
1428 Park Place

TOWN OF AURORA
575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees
FROM: Elizabeth Cassidy, Code Enforcement Officer
DATE: August 15, 2023

The Building Department has accepted Site Plan applications for 123 Grey St by James Boglioli, for Benderson Development Company, LLC. The proposed project is to construct a 1432 sqft addition to an existing tenant space at the back of the building.

Village Code sections 285-51.5 requires the Village Board to refer Site Plan application to the Planning Commission for their review and recommendations. The Village Board shall then schedule a public hearing for the applications.

A County referral is required for this application due to the proximity to a State Highway (20A, Hamburg St).

If you have any questions, please contact me at 652-7591.

Liz Cassidy

August 10, 2023

VIA HAND DELIVERY

Peter M. Mercurio, Mayor and Members of the Village Board
Village of East Aurora
571 Main Street
East Aurora, NY 14052

**Re: Aurora Village Shopping Center
123 Grey Street (BDP # 2127)
Application for Site Plan Approval for Proposed Addition**

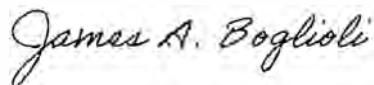
Dear Mayor Mercurio and Members of the Board:

In connection with the above-referenced property, Benderson has secured a new tenant within the existing multi-use multi-tenant building and is proposing site plan changes to accommodate an additional 1,433 S.F. of retail space for the proposed tenant.

As the Town is aware, the shopping center is a fully developed commercial plaza. In connection with the proposed tenant, we are proposing to add a rear addition that will increase the buildings' square footage by 1,433 S.F., existing utilities relocations and pavement resurfacing.

We look forward to working with the Town on this project. Should you have any questions or require any additional materials, please do not hesitate to contact me.

Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC



James A. Boglioli, Esq.
Director, Right to Build – Northeast US

VILLAGE OF EAST AURORA
571 Main Street, East Aurora, New York 14052
716-652-6000
In conjunction with
Town of Aurora Building Department
300 Gleed Ave, East Aurora, NY 14052
716-652-7591

Building Dept:
Date Received _____
Complete App _____
Village Clerk:
Date Received <u>8/16/23</u>
Amount \$ <u>125.00</u>
Receipt # <u>2784-10</u>

SITE PLAN APPLICATION

PROPOSED PROJECT Five Below Facade Renovation SBL#:
 LOCATION 123 Grey Street ZONING DISTRICT C

The applicant agrees to reimburse the Village for any additional fees required for consultant's review of submitted technical data, including but not limited to, traffic studies, drainage, lighting, water and sewer plans.

APPLICANT NAME Benderson Development Company, LLC
 ADDRESS 570 Delaware Avenue
 TELEPHONE 716-878-9626 CELL 716-998-9915 E-MAIL jmb@benderson.com
 SIGNATURE James A. Boglioli

OWNER NAME 93 NYRPT, LLC
 ADDRESS 570 Delaware Avenue
 TELEPHONE 716-878-9626 CELL 716-998-9915 E-MAIL jmb@benderosn.com
 SIGNATURE James A. Boglioli

ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT
 NAME James A. Rumsey FIRM _____
 ADDRESS 570 Delaware Avenue
 TELEPHONE 716-878-9626 FAX _____ E-MAIL jmb@benderosn.com
 SIGNATURE _____ AFFIX STAMP

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- Twenty (20) Sets – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-51.3
- One (!) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@eastaurora.ny.us. Larger files may be submitted on a USB drive or CD Rom.
- Application fee \$25.00 and Public Hearing fee \$100.00 – Total \$125 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____ Minor Project written request to waive PC mtg Y/N/NA: VB Decision Y/N

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Historic Preservation	_____	_____
ZBA	_____	_____
EC Div of Planning	_____	_____
NYS DOT	_____	_____
Town Notification	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:

Type 1 Type 2 Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date
Public Hearing	_____
Notices Mailed	_____
Posted Notice-VEA Hall	_____
Posted Notice-Prop	_____
Approval/Denial Date	_____

Attach Village Board resolution with noted conditions.

CHECK LIST FOR SITE PLAN APPLICATION

An application for site plan review shall include the following supporting documents, as applicable. A licensed professional engineer or registered land surveyor shall prepare all site plan materials unless otherwise approved by the Village Board.

- Description or narrative of all proposed uses and structures, including but not limited to hours of operation, number of employees, maximum seat capacity, and proposed number of off-street vehicle and bicycle parking spaces.
- A site plan drawn at a scale of one inch equals 20 feet or such other scale as the Village Board may deem appropriate, on standard 24 inch by 36 inch sheets, with continuation on 8 ½ inch by 11 inch sheets as necessary for written information.
- A certified land survey showing the boundaries of the applicant's property under consideration in its current state plotted to scale with the north point, scale, and date clearly indicated, or other document deemed acceptable by the reviewing board.
- Plans indicating the following with regard to the property in question, where applicable.
 - The location of all properties, their ownership, uses thereon, subdivisions, streets, easements, and adjacent buildings within 300 feet of the property in question.
 - The location and use of all existing and proposed structures on the property in question, including all dimensions of height and floor area, exterior entrances, and anticipated future additions and alterations.
 - The location of all existing and proposed topography features, including but not limited to, site grading, open spaces, woodlands, watercourses, steep slopes, wetlands, floodplains, and watersheds.
 - The location of existing and proposed landscaping, screening, walls, and fences, including information regarding the size and type of plants and building materials proposed.
 - The location of existing and proposed public and private streets, off-street parking areas, loading areas, driveways, sidewalks, ramps, curbs, and paths. Such plans shall include considerations for vehicular, pedestrian, and bicycle traffic circulation, parking, and access.
 - The location of existing and proposed utility systems including sewage or septic, water supply, telephone, cable, electric, and stormwater drainage. Stormwater drainage systems shall include existing and proposed drain lines, culverts, catch basins, headwalls, endwalls, hydrants, manholes, and drainage swales.
 - The location, height, intensity, and bulb type (sodium, incandescent, etc.) of all external lighting fixtures. The direction of illumination and methods to eliminate glare onto adjoining properties must also be shown.
 - The location, height, size, material, and design of all existing and proposed signs.
 - Elevations at a scale of one-quarter inch equals one foot for all exterior facades of the proposed structure(s) and/or alterations to or expansions of existing facades, showing design features and indicating the type and color or materials to be used.
 - Plans to prevent the pollution of surface or ground water, erosion of soil both during and after construction, excessive runoff, excessive raising or lowering of the water table, and flooding of other properties, as applicable.
 - A schedule for completion of each construction phase for buildings, parking, and landscaped areas.
 - Plans for disposal of construction and demolition waste, either on-site or at an approved disposal facility.
- All New York State SEQR documentation as required by law.
- The Village Board may request additional information as per Village Code §285-51.3(B)(6) or anything else it deems necessary for a complete assessment of the site plan.
- All required fees and reimbursements, and an escrow deposit to cover professional review costs, if required.

Short Environmental Assessment Form

Part 1 - Project Information

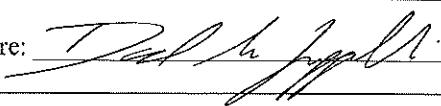
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Proposed Addition - Aurora Village Shopping Center			
Project Location (describe, and attach a location map): 123 Grey Street, East Aurora, Erie County			
Brief Description of Proposed Action: The proposed action consists of constructing a 1,433 S.F. building addition to the rear of an existing multi-tenant building.			
Name of Applicant or Sponsor: Benderson Development Company, LLC		Telephone: 716-878-9626 E-Mail: jamesboglioli@benderson.com	
Address: 570 Delaware Ave			
City/PO: Buffalo		State: New York	Zip Code: 14202
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			
3. a. Total acreage of the site of the proposed action? <u>14.43</u> acres b. Total acreage to be physically disturbed? <u>0.07</u> acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <u>19.78</u> acres			
4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ N/A Existing _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ N/A Existing _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
16. Is the project site located in the 100-year flood plan?			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,			<input type="checkbox"/> NO <input type="checkbox"/> YES
a. Will storm water discharges flow to adjacent properties?			<input type="checkbox"/> <input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:			<input type="checkbox"/> <input checked="" type="checkbox"/>
Sheet drain to nearby storm infrastructures			
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
			<input checked="" type="checkbox"/> <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
			<input checked="" type="checkbox"/> <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
			<input checked="" type="checkbox"/> <input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE			
Applicant/sponsor/name: David Zuppelli		Date: 05.31.2023	
Signature: 		Title: Civil Engineer	

TOWN OF AURORA
575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Board Members

FROM: Elizabeth Cassidy, Code Enforcement Officer

DATE: August 15, 2023

The Building Department has received a re-zoning request application from Joshua S. Best, RA, as agent for Fiboo Properties, LLC, owner of 49 Knox Rd. The request is to rezone the parcel at 49 Knox Rd, where a single-family residence and a former commercial building is located. The request is to rezone from Single Family Residential District to the General Residential District.

Village Code section 285-57.3 requires the application be referred to the Planning Commission for their recommendation. After which a public hearing is required prior to a decision by the Village Board.

Village Code section 285-57.4 requires all zoning changes be referred to the Erie County Planning Department for review.

This is an Unlisted action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.
Liz Cassidy

Chit 1302 page 11
8/16/23
Rec'd 2784-12
Fee: \$150

PETITION TO AMEND THE ZONING MAP OF THE
VILLAGE OF EAST AURORA, NEW YORK,
BY THE VILLAGE BOARD

TO: THE VILLAGE BOARD OF THE VILLAGE OF EAST AURORA, NEW YORK

Pursuant to Article IX of the Zoning Ordinance of the Village of East Aurora, the undersigned owner(s) and petitioner(s) hereby request that the Zoning Map of the Village of East Aurora, be amended as follows:

1. Joshua S. Best

Name (First)

(Middle Initial)

(Last)

2. Location of property to be

rezoned: 49 Knox Road, East Aurora, NY 14052

3. Area, in square feet, of the property to be rezoned: 16,117 sf

Dimension of the property to be rezoned: 72' x 206'

4. If the petitioner is not the owner of the property:

Fiboo Properties, LLC, 5 Joyeuse, Laguna Niguel, CA 92677

Owner's Name and Address

Owner's Name and Address

What is the interest of the petitioner in the proposed rezoning? Architect

5. Petitioner understands and agrees to furnish any of the following if requested by the Village Board or its agencies: An accurate survey map prepared by a licensed surveyor showing all dimensions, including interior angles or bearing of lines, and the location, proposed use and height of all buildings; location of all parking and truck loading areas, with access and egress drives thereto; location of outdoor storage, if any; location of all existing or proposed site improvements, including drains, culverts, retaining walls and fences; description of method of sewage disposal and location of such facilities; location and size of all signs; location and proposed development of buffer areas;

location and design of lighting facilities; and the amount of building area proposed for retail sales if any.

6. Attach the legal description of the property to be rezoned.

7. Present zoning classification of the property: Single - Family (SFR)

8. Proposed zoning classification of the property: Limited Commercial (LCR) - G R

9. Present use of the property: Vacant Building

10. Proposed use of the property:

4 Apartments

11. Description of uses on all adjacent properties and a general description of the type of neighborhood in which the subject property is located:

Single- Family, Two-Family, Insurance Agency, Dollar General, Tops Market, McDonald's, Transition zone between commercial and residential districts.

12. Names and Addresses of Owners of Abutting Properties:

1. 55 Knox (2-family) Donald Small Back

2. 43 Knox (1-family) Thad Heimburg

3. 15 Grey (2-family) Robert Bove

4. 25 Grey (1-family) Fiboo Properties, LLC

5. 65 Grey (Tops) Benderson Development

6. _____

7. _____

13. Additional information which the petitioner believes will assist the Village Board in its consideration of this request for rezoning:

The current zoning is not appropriate for the existing structure. Major repair and selective demolition need to be done, not only to clean up the site, but also for safety concerns. This project will enhance the neighborhood, by utilize an existing decrepit structure and add back green space.

14. Petitioner(s) acknowledge that payment of the application fee is for administrative and advertising expense to the Village as a result of this application and in no way relates to either approval or disapproval of the application and is not refundable.

15. Attach completed New York State SEQR documentation as required by the law

Date: 8/14/23

Joshua Best

(Signature of Petitioner)

Bru T

(Signature of Owner)

State of New York
County of Erie SS:
Village of East Aurora

On this 14 day of August, 2023, personally appeared before me

Joshua Best

(Name)

718 Jewett Holmwood East Aurora

NY 14052

(Address)

the petitioner, to me known to be the same person described in and who signed and executed the foregoing petition and who duly acknowledged to me and the execution of the same for the purpose therein mentioned.

Maureen Jerackas

(Notary Public)

Maureen Jerackas
Notary Public, State of New York
Qualified in Erie County
Reg. # 01JE6332789 23
Commission Expires 11/09/23

617.20
Appendix B
Short Environmental Assessment Form

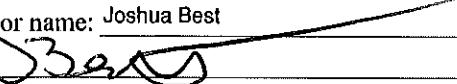
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information		
4 Apartments in Existing Building		
Name of Action or Project: 49 Knox Road, East Aurora, NY 14052		
Project Location (describe, and attach a location map): Corner of Knox and Grey Street		
Brief Description of Proposed Action: Renovate an existing building into 4 apartments		
Name of Applicant or Sponsor: Joshua Best		Telephone: 716.818.9168
		E-Mail: Josh@Line42Arch.com
Address: PO Box 665		
City/PO: East Aurora		State: NY
		Zip Code: 14052
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		
3.a. Total acreage of the site of the proposed action? 0.37 acres b. Total acreage to be physically disturbed? 0.2 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.37 acres		
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland		

5. Is the proposed action, a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: □ Shoreline □ Forest □ Agricultural/grasslands □ Early mid-successional □ Wetland <input checked="" type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Existing building will use existing storm water system	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: Joshua Best	Date: 8/14/2023	
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency		Date
Print or Type Name of Responsible Officer in Lead Agency		Title of Responsible Officer
Signature of Responsible Officer in Lead Agency		Signature of Preparer (if different from Responsible Officer)

PRINT

Village of East Aurora Site Plan Procedures

1. The Village of East Aurora adopted a new Zoning Code in October 2019. The new code is on the homepage of their website.
2. Prior to submission, applicants may schedule a sketch plan meeting with the reviewing board (Village Board or Planning Commission). Sketch plan meetings are advisory only and nonbinding. Materials presented as part of this meeting can be incomplete or conceptual in design. Contact the Village Clerk's office (716-652-6000) to determine the next available meeting date.
3. In addition to the specific Zoning District code requirements, also applicable are:
 - a. Regulations for Certain Uses (§285-31)
 - b. Development Standards (§285-40)
 - c. Signs (§285-44)
 - d. General Application and Review Procedures (§285-50)
 - e. Site Plan Review (§285-51) processes and requirements

For additional guidance refer to the East Aurora Commercial Design Guidelines as found on the Planning Commission webpage on the Village of East Aurora website at www.east-aurora.ny.us/government/planning-commission/.

4. If compliance with all applicable regulations is not feasible, an application to the Village Zoning Board of Appeals must be submitted prior to, or concurrently with the Site Plan application.
5. Submission Deadline: A complete Site Plan application, supporting documents, and the required fee must be submitted no later than the *first* of the month to the Code Enforcement Officer (CEO) at the Town of Aurora Building Department.
6. Submissions will be reviewed for completion by the CEO. Applicants will be notified by email/mail of any deficiencies. If the deficiencies are not corrected within 30 days, the application is considered withdrawn. Incomplete applications will not be placed on any Village Board agenda.
7. The Village Board may waive any of the Site Plan requirements with the determination that they are unnecessary for a complete assessment of the project.
8. The Village Board may also request additional information beyond what is listed on the checklist and may ask that it be presented in graphic form accompanied by a written text, and/or prepared by a licensed professional if such additional materials are deemed necessary for a complete assessment of the site plan.
9. A representative must attend every meeting at which this project will be discussed, or the project will be tabled. Typically, the Village Board receives the application and refers it to the Planning Commission for review and recommendation. The application may also be referred to the Historic Preservation Commission or Tree Board for their review and recommendations. Multiple meetings with the same reviewing board may be necessary.
10. Once all recommendations are received, the State Environmental Quality Review Act (SEQRA) is completed.
11. Next, a public hearing will be scheduled. The Village Board will render their decision at a meeting following the public hearing.
12. The Village Board will provide a written statement (or Village Board minutes) to the applicant stating whether or not the application is approved, conditionally approved, or denied.

VILLAGE OF EAST AURORA
571 Main Street, East Aurora, New York 14052
716-652-6000
In conjunction with
Town of Aurora Building Department
300 Gleed Ave, East Aurora, NY 14052
716-652-7591

Building Dept:
Date Received _____
Complete App _____
Village Clerk:
Date Received _____
Amount \$ _____
Receipt # _____

SITE PLAN APPLICATION

PROPOSED PROJECT Five Below Facade Renovations SBL#: _____
 LOCATION 123 Grey Street ZONING DISTRICT C

The applicant agrees to reimburse the Village for any additional fees required for consultant's review of submitted technical data, including but not limited to, traffic studies, drainage, lighting, water and sewer plans.

APPLICANT NAME Benderson Development Company, LLC
 ADDRESS 570 Delaware Avenue
 TELEPHONE 716-878-9626 CELL 716-998-9915 E-MAIL jmb@benderson.com
 SIGNATURE James A. Boglioli

OWNER NAME 93 NYRPT, LLC
 ADDRESS 570 Delaware Avenue
 TELEPHONE 716-878-9626 CELL 716-998-9915 E-MAIL jmb@benderosn.com
 SIGNATURE James A. Boglioli

ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT
 NAME James A. Rumsey FIRM _____
 ADDRESS 570 Delaware Avenue
 TELEPHONE 716-878-9626 FAX _____ E-MAIL jmb@benderosn.com
 SIGNATURE _____ AFFIX STAMP

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- Twenty (20) Sets – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-51.3
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD Rom.
- Application fee \$25.00 and Public Hearing fee \$100.00 – Total \$125 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____ Minor Project written request to waive PC mtg Y/N/NA: VB Decision Y/N

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Historic Preservation	_____	_____
ZBA	_____	_____
EC Div of Planning	_____	_____
NYS DOT	_____	_____
Town Notification	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:

Type 1 Type 2 Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date
Public Hearing	_____
Notices Mailed	_____
Posted Notice-VEA Hall	_____
Posted Notice-Prop	_____
Approval/Denial Date	_____

Attach Village Board resolution with noted conditions.

CHECK LIST FOR SITE PLAN APPLICATION

An application for site plan review shall include the following supporting documents, as applicable. A licensed professional engineer or registered land surveyor shall prepare all site plan materials unless otherwise approved by the Village Board.

- Description or narrative of all proposed uses and structures, including but not limited to hours of operation, number of employees, maximum seat capacity, and proposed number of off-street vehicle and bicycle parking spaces.
- A site plan drawn at a scale of one inch equals 20 feet or such other scale as the Village Board may deem appropriate, on standard 24 inch by 36 inch sheets, with continuation on 8 1/2 inch by 11 inch sheets as necessary for written information.
- A certified land survey showing the boundaries of the applicant's property under consideration in its current state plotted to scale with the north point, scale, and date clearly indicated, or other document deemed acceptable by the reviewing board.
- Plans indicating the following with regard to the property in question, where applicable.
 - The location of all properties, their ownership, uses thereon, subdivisions, streets, easements, and adjacent buildings within 300 feet of the property in question.
 - The location and use of all existing and proposed structures on the property in question, including all dimensions of height and floor area, exterior entrances, and anticipated future additions and alterations.
 - The location of all existing and proposed topography features, including but not limited to, site grading, open spaces, woodlands, watercourses, steep slopes, wetlands, floodplains, and watersheds.
 - The location of existing and proposed landscaping, screening, walls, and fences, including information regarding the size and type of plants and building materials proposed.
 - The location of existing and proposed public and private streets, off-street parking areas, loading areas, driveways, sidewalks, ramps, curbs, and paths. Such plans shall include considerations for vehicular, pedestrian, and bicycle traffic circulation, parking, and access.
 - The location of existing and proposed utility systems including sewage or septic, water supply, telephone, cable, electric, and stormwater drainage. Stormwater drainage systems shall include existing and proposed drain lines, culverts, catch basins, headwalls, endwalls, hydrants, manholes, and drainage swales.
 - The location, height, intensity, and bulb type (sodium, incandescent, etc.) of all external lighting fixtures. The direction of illumination and methods to eliminate glare onto adjoining properties must also be shown.
 - The location, height, size, material, and design of all existing and proposed signs.
 - Elevations at a scale of one-quarter inch equals one foot for all exterior facades of the proposed structure(s) and/or alterations to or expansions of existing facades, showing design features and indicating the type and color or materials to be used.
 - Plans to prevent the pollution of surface or ground water, erosion of soil both during and after construction, excessive runoff, excessive raising or lowering of the water table, and flooding of other properties, as applicable.
 - A schedule for completion of each construction phase for buildings, parking, and landscaped areas.
 - Plans for disposal of construction and demolition waste, either on-site or at an approved disposal facility.
- All New York State SEQR documentation as required by law.
- The Village Board may request additional information as per Village Code §285-51.3(B)(6) or anything else it deems necessary for a complete assessment of the site plan.
- All required fees and reimbursements, and an escrow deposit to cover professional review costs, if required.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			
2. Does the proposed action require a permit, approval or funding from any other government Agency?			
If Yes, list agency(s) name and permit or approval:			
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban		Rural (non-agriculture)	
<input type="checkbox"/> Forest		Agriculture	
		Industrial	
		Commercial	
		Residential (suburban)	
		Aquatic	
		Other(Specify):	
		Parkland	

5. Is the proposed action,	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify: _____			
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____			
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
If No, describe method for providing potable water: _____ _____			
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
If No, describe method for providing wastewater treatment: _____ _____			
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____			

<p>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:</p> <p><input type="checkbox"/>Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/>Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban</p>					
<p>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</p>				NO	YES
				<input type="checkbox"/>	<input type="checkbox"/>
<p>16. Is the project site located in the 100-year flood plan?</p>				NO	YES
				<input type="checkbox"/>	<input type="checkbox"/>
<p>17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,</p> <p>a. Will storm water discharges flow to adjacent properties?</p> <p>b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?</p>				NO	YES
				<input type="checkbox"/>	<input type="checkbox"/>
<p>If Yes, briefly describe:</p> <hr/> <hr/>				<input type="checkbox"/>	<input type="checkbox"/>
<p>18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:</p> <hr/> <hr/>				NO	YES
				<input type="checkbox"/>	<input type="checkbox"/>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:</p> <hr/> <hr/>				NO	YES
				<input type="checkbox"/>	<input type="checkbox"/>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:</p> <hr/> <hr/>				NO	YES
				<input type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: _____ Date: _____</p> <p>Signature:  Title: _____</p>					

PROPOSED ADDITION

AURORA VILLAGE SHOPPING CENTER
123 GREY STREET, EAST AURORA, NY 14052
BDC Property # 2127
SITE DEVELOPMENT DRAWINGS

DRAWING REVISIONS:		
No.	DATE	BY
		REMARKS

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Know what's below.
Call before you dig.

PROPERTY NUMBER: #2127 AREA: -

AURORA VILLAGE
SHOPPING CENTER
123 GREY STREET,
EAST AURORA, NY 14052

PROPOSED ADDITION

INDEX OF DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
C1.0	COVER SHEET		
C2.0	EXISTING SURVEY		
C3.0	DEMOLITION PLAN AND DETAILS		
C4.0	OVERALL SITE PLAN		
C4.1	DETAILED SITE PLAN AND DETAILS		
C5.0	GRADING AND UTILITY PLAN		

OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC
ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202
CONTACT: DAVID ZUPPELLI
PHONE: 716 - 878 - 9683

 BENDERSON DEVELOPMENT COMPANY, LLC
570 Delaware Ave.
Buffalo, New York 14202

SURVEYOR

NAME: KHEOPS ARCHITECTURE, ENGINEERING & SURVEY, DCP
ADDRESS: BUFFALO, NY 14202
CONTACT: -
PHONE: 716-849-8739

UTILITIES:

NATURAL GAS
NAME/TITLE: WILLIAM SCHNEIDER
COMPANY/DEPT: NATURAL FUEL GAS
ADDRESS: -
PHONE: 716 - 696 - 6460

TELEPHONE COMPANY
NAME/TITLE: JOHN HECKMAN
COMPANY/DEPT: VERIZON
ADDRESS: -
PHONE: 716 - 840 - 8603

ELECTRIC
NAME/TITLE: -
COMPANY/DEPT: NATIONAL GRID
ADDRESS: -
PHONE: -

DIG SAFELY NEW YORK
PHONE: 1 - 800 - 962 - 7962 OR (811)

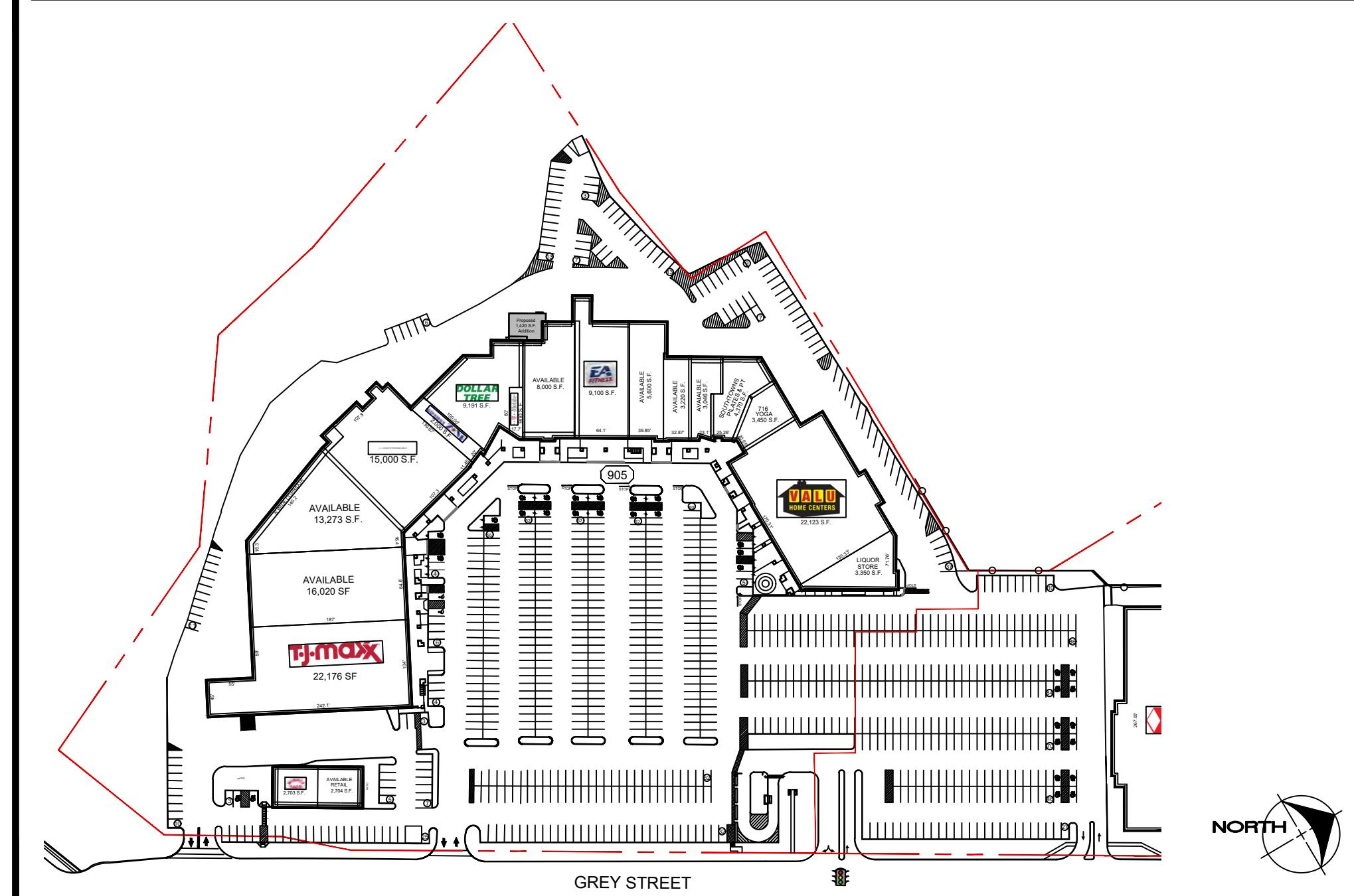
AGENCIES:

PLANNING COMMISSION
NAME/TITLE: DAN CASTLE
COMPANY/DEPT: VILLAGE OF EAST AURORA
ADDRESS: 585 OAKWOOD AVE. EAST AURORA, NY 14052
PHONE: 716 - 652 - 6000 Opt.4

BUILDING & CODE ENFORCEMENT
NAME/TITLE: ELIZABETH CASSIDY / CODE ENFORCEMENT OFFICER
COMPANY/DEPT: VILLAGE OF EAST AURORA / CODE ENFORCEMENT
ADDRESS: 575 OAKWOOD AVE. EAST AURORA, NY 14052
PHONE: 716 - 652 - 7591

DEPARTMENT OF PUBLIC WORKS
NAME/TITLE: MATTHEW HOEH / SUPERINTENDENT
COMPANY/DEPT: VILLAGE OF EAST AURORA
ADDRESS: 400 PINE STREET EAST AURORA, NY 14052
PHONE: 716 - 652 - 6057

SITE LOCATION MAP 1:150



REGIONAL LOCATION MAP NTS



JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
**BENDERSON
DEVELPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL

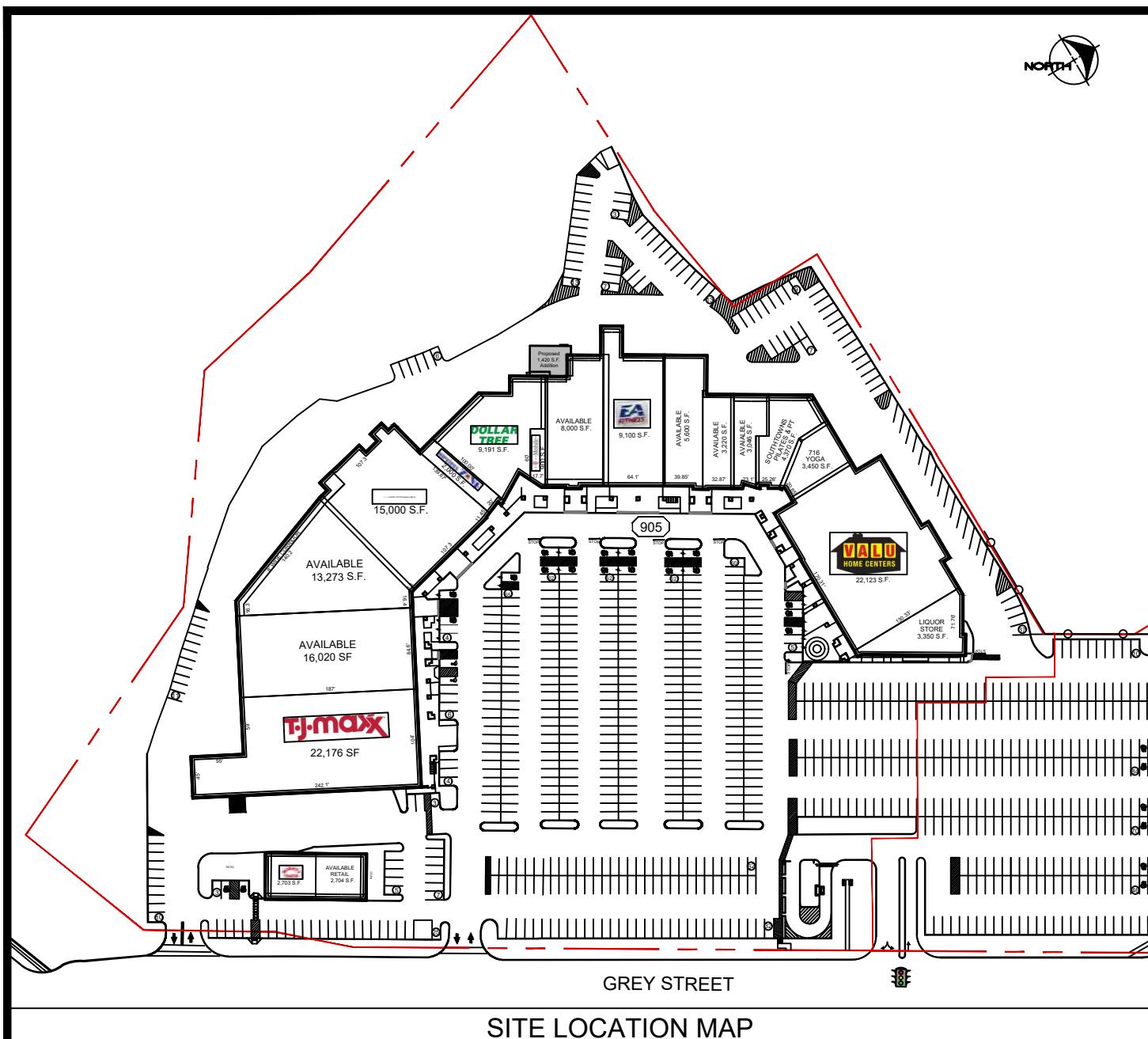


TITLE:
Cover Sheet

SCALE:
NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 05.23.2023

C1.0



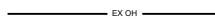
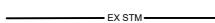
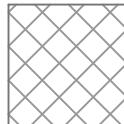


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DEMOLITION LEGEND:

DEMOLITION LEGEND:

-  Property Line
-  Existing Overhead Utility
-  Existing Storm
-  Saw Cut Line
-  Inlet Protection
-  Existing Asphalt Pavement to be removed and area cleared

DEMOLITION NOTES:

1. Existing Asphalt Pavement to be removed
2. Existing Concrete to be removed.
3. Existing Storm Drainage/CB to remain and be protected during Construction.
4. Existing Utility Structure to be relocated.
5. Existing Utility Structure to remain and be protected during Construction.
6. Existing Bollard to be removed.

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**AURORA VILLAGE
SHOPPING CENTER
123 GREY STREET,
EAST AURORA, NY 14052**

PROPOSED ADDITION

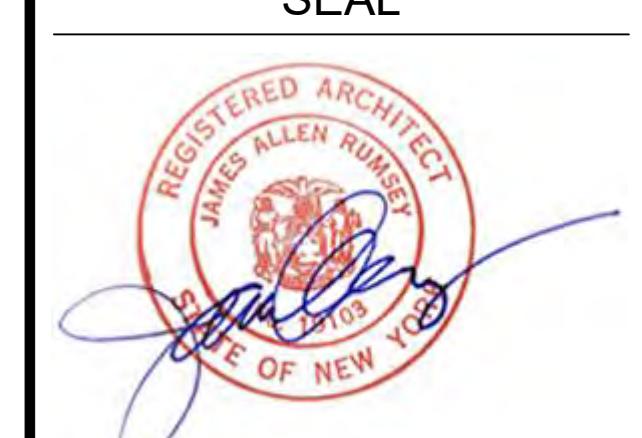
CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**

570 DELAWARE AVE., BUFFALO, NY 14202
(716) 896-0211

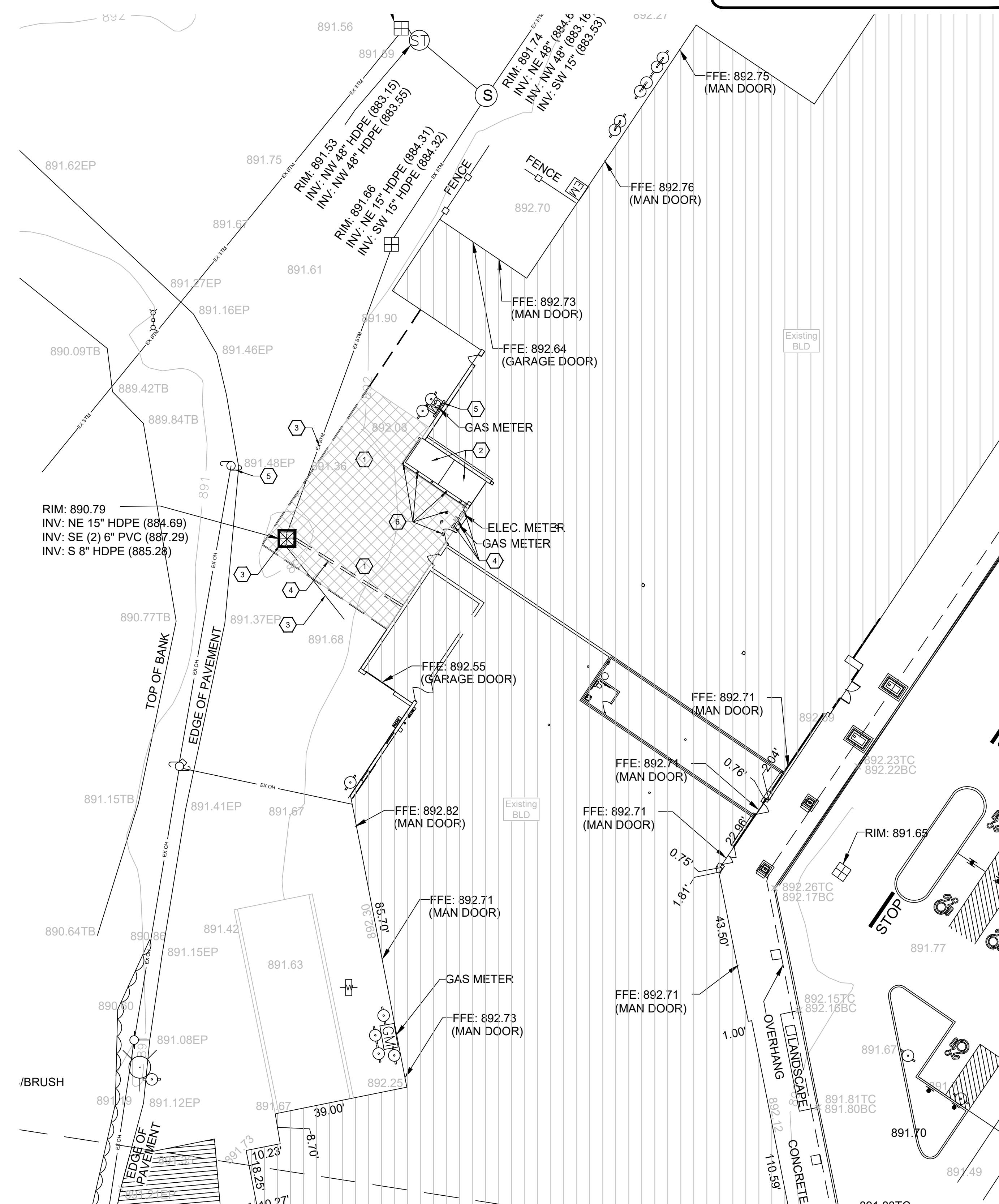
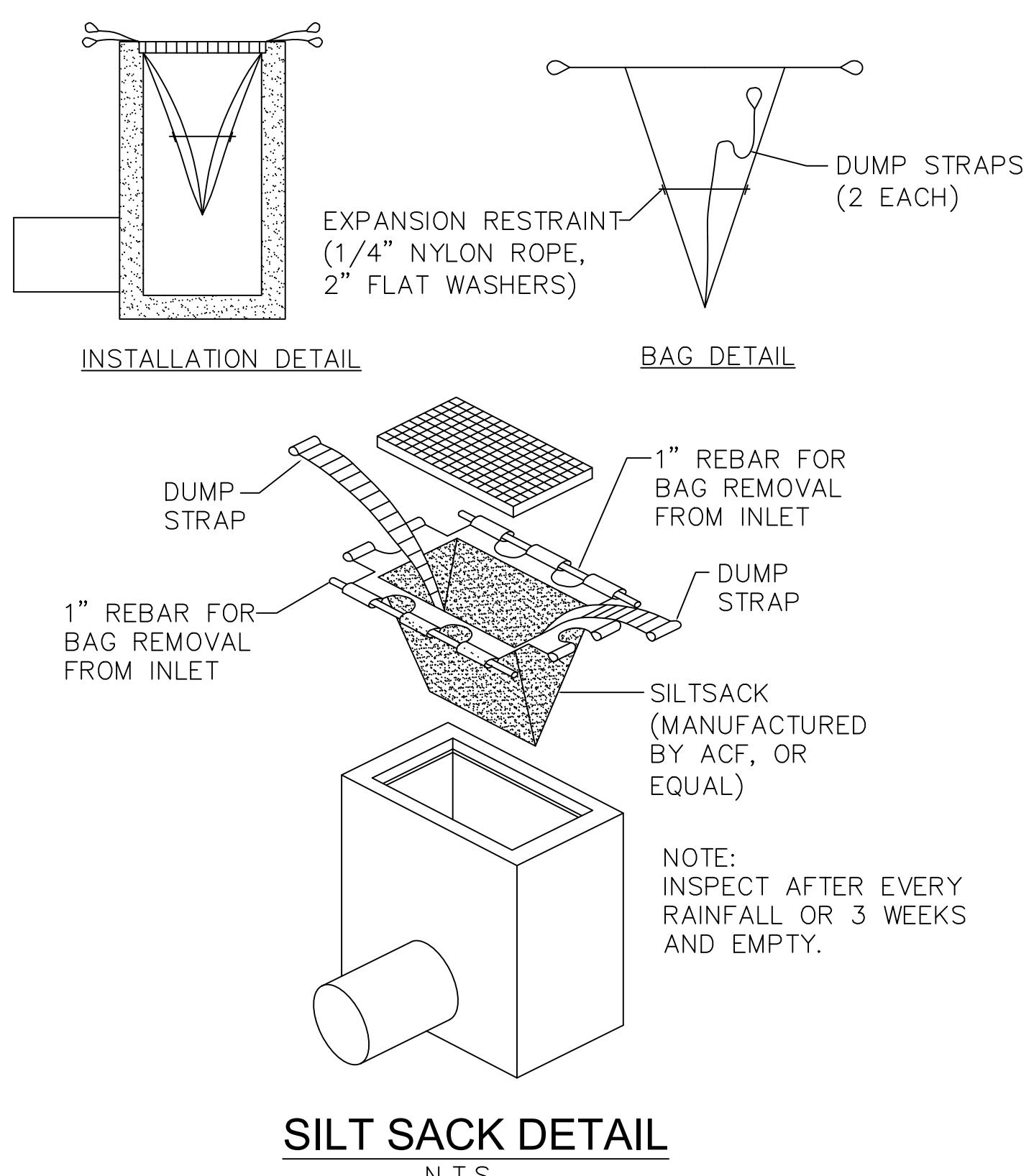
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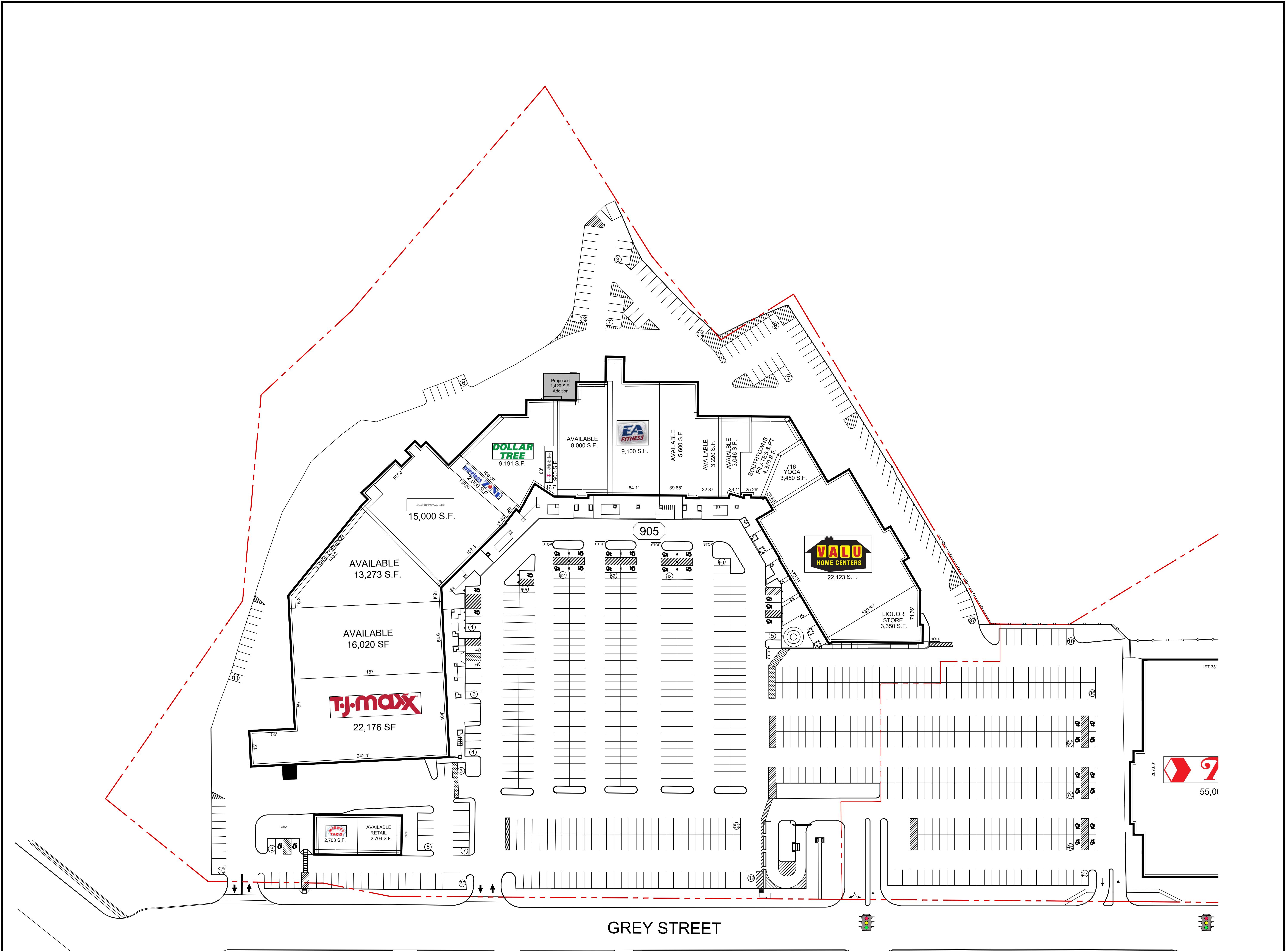


TITLE:

SCALE:
1" = 20'
DRAWN BY: D R A W I N G N O .
DMZ
CHECKED BY:
MAO
DATE:
05.23.2023

C3.0





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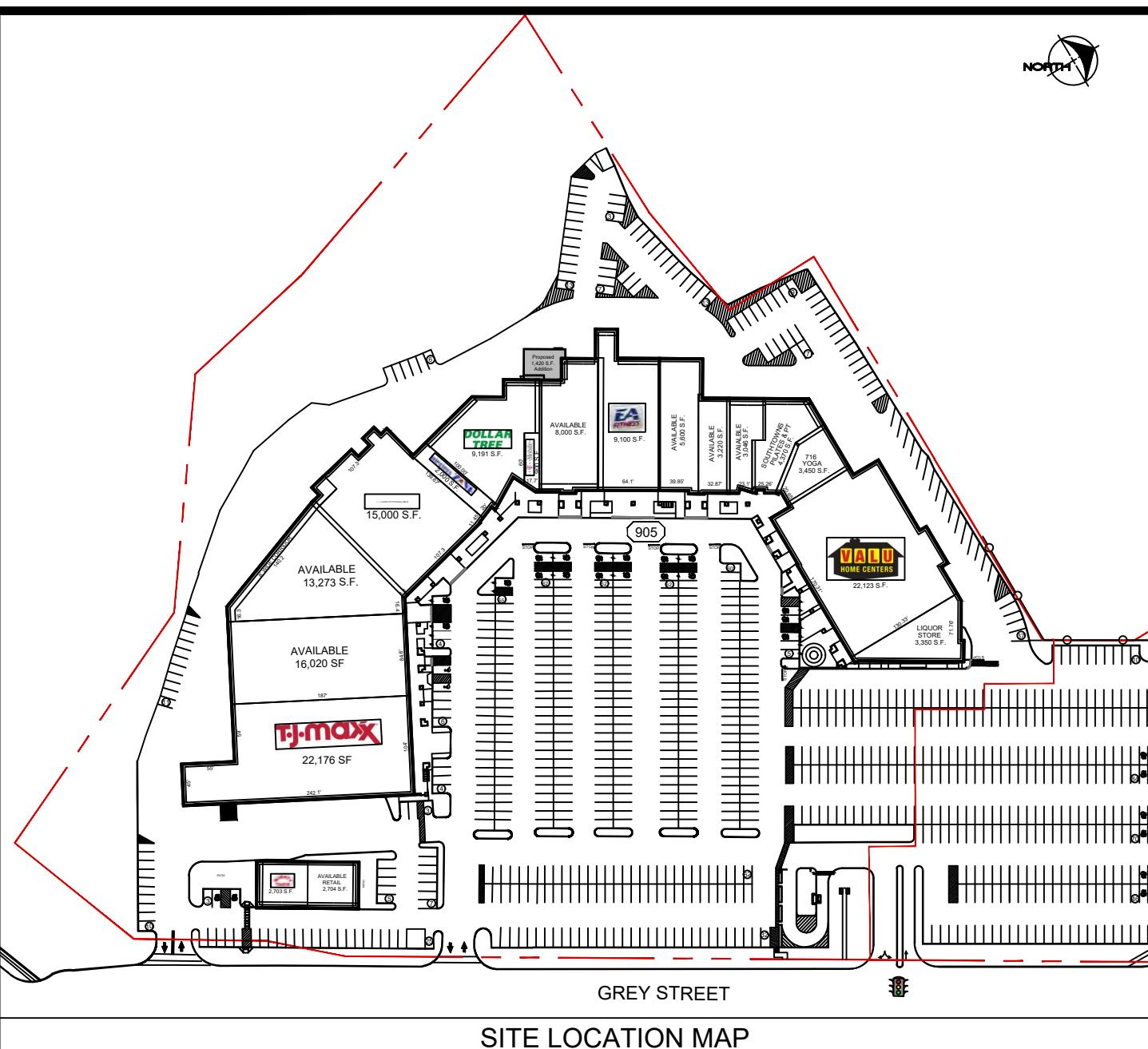
CONSULTANT



TITLE: Overall Site Plan

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DRAWN BY: DRAWING NO.
DMZ
CHECKED BY:
MAO
DATE:
-

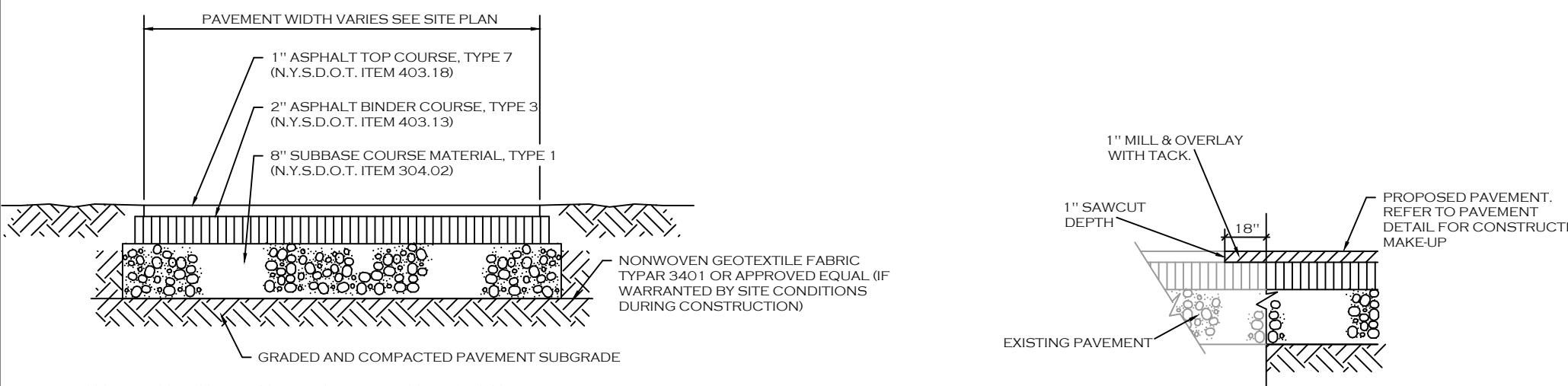
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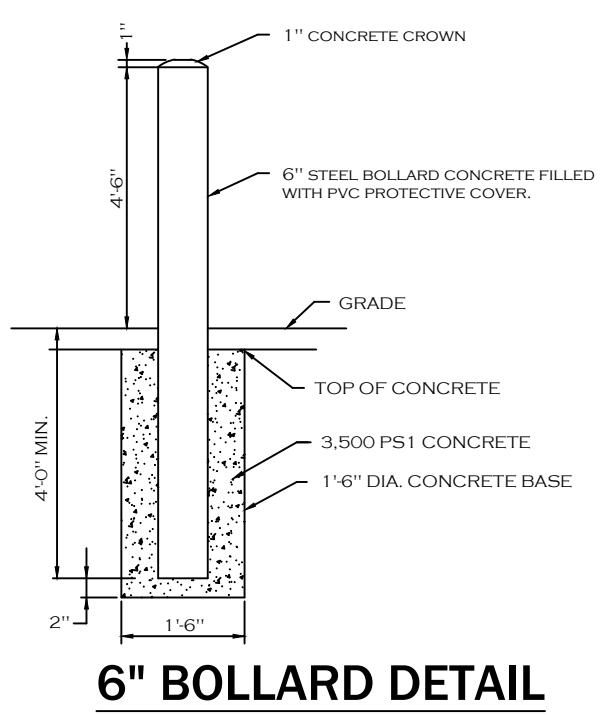
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SITE LOCATION MAP

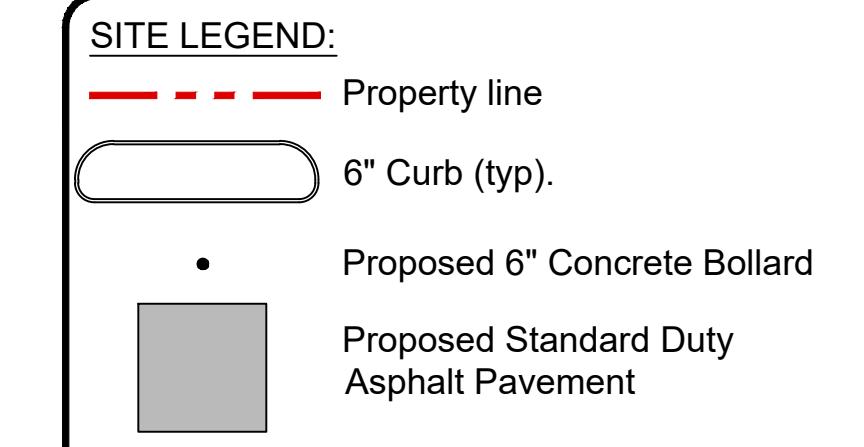
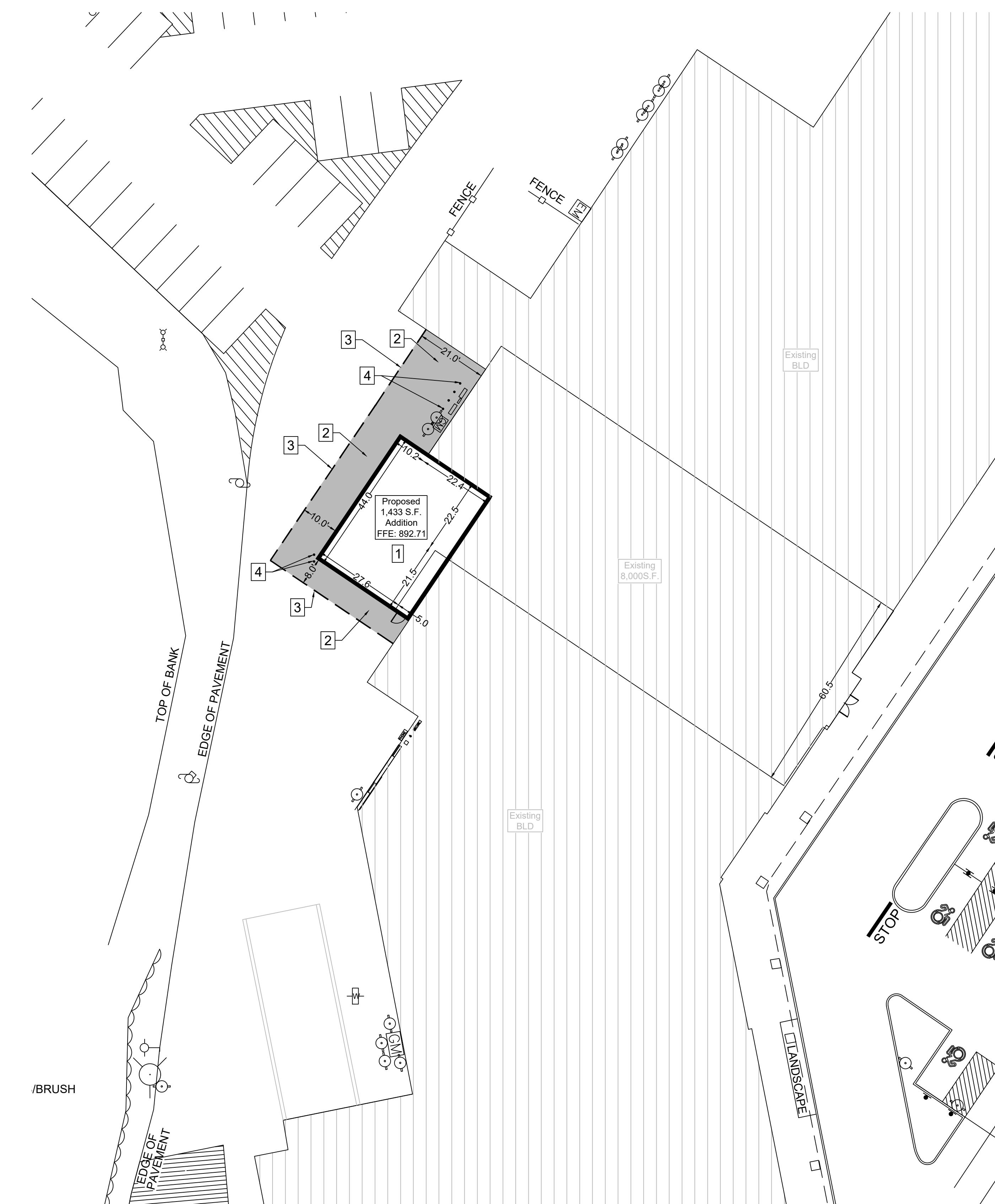


PAVEMENT TRANSITION DETAIL
(ASPHALT PAVEMENT)



6" BOLLARD DETAIL

STANDARD DUTY ASPHALT SECTION



SITE NOTES: #

1. Proposed Building Addition
2. Proposed Standard Duty Pavement.
3. Match into Existing Pavement.
4. Proposed 6" Bollard

DRAWING REVISIONS:		
No.	DATE	BY

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CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
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570 DELAWARE AVE., BUFFALO, NY 14202
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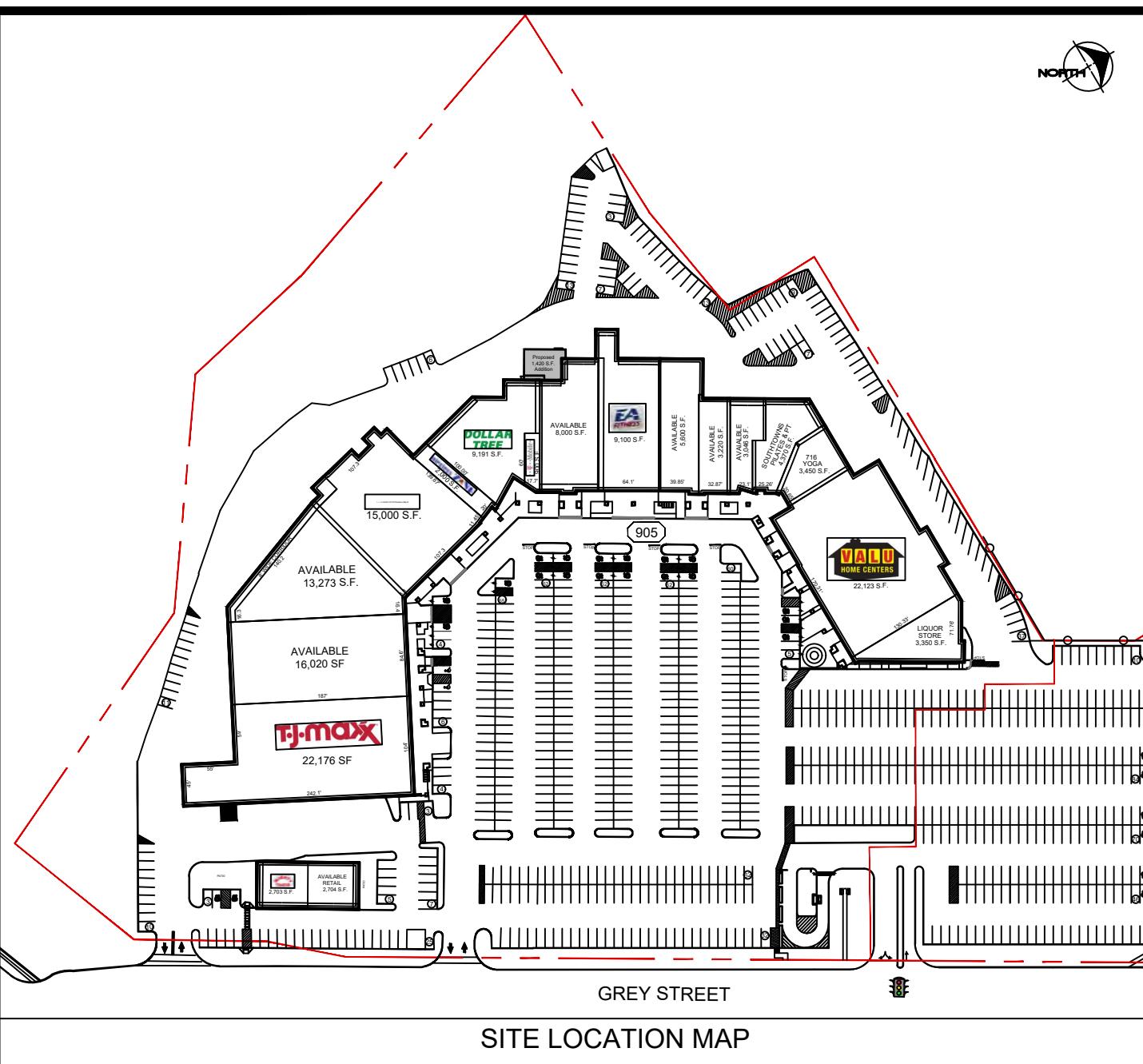
SEAL



TITLE:
Detailed Site Plan

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DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
05.23.2023

DRAWING NO.
C4.1

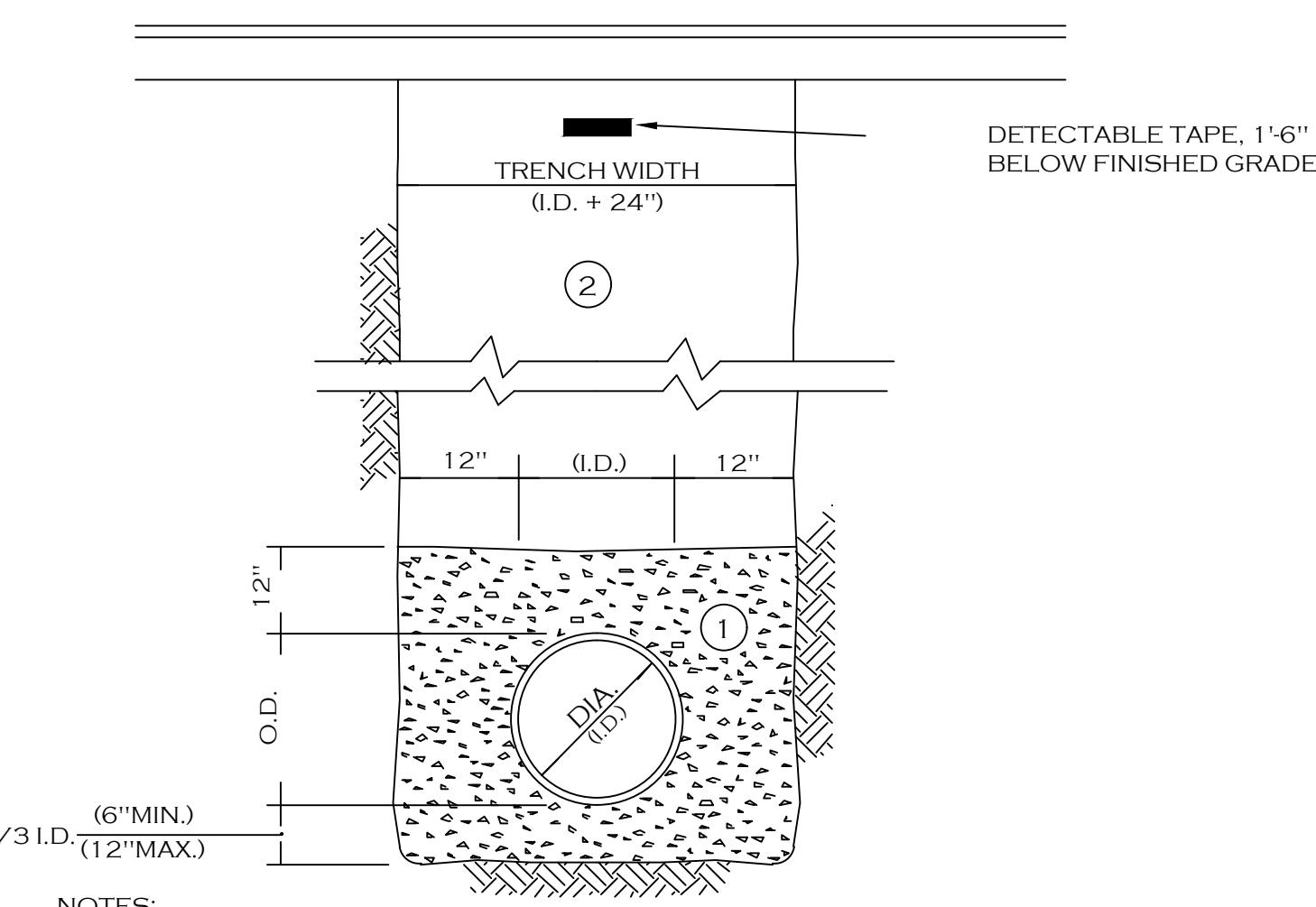


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GRADING LEGEND:

- Property Line
- 6" Curb (typ.)
- Catch Basin - Top of Grade
- Proposed Contour Line
- Slope Direction



NOTES:

- A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
- C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
- D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

MATERIALS

PIPE BEDDING MATERIAL (NYSDOT 1985 EDITION)

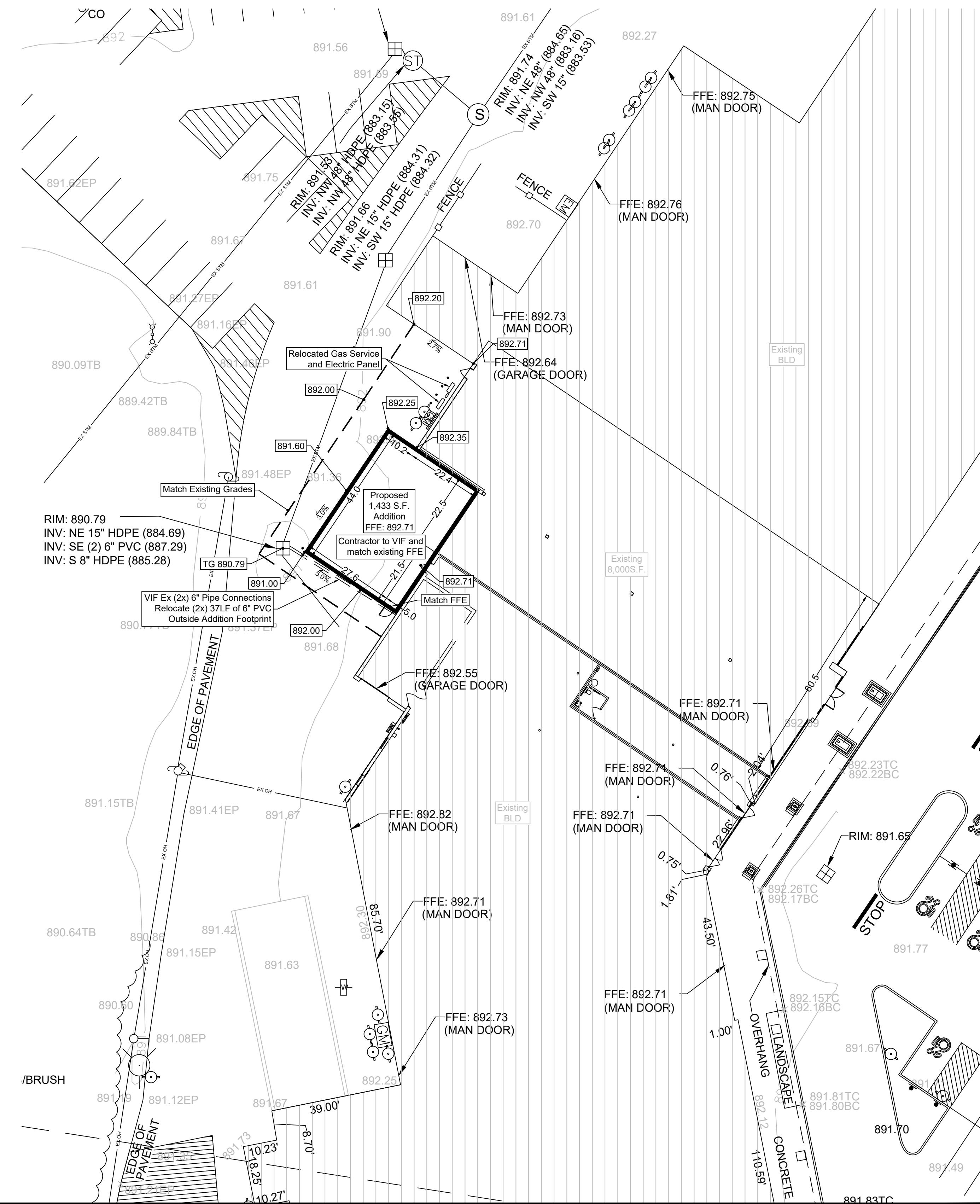
1 NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703-02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.

NO SLAG SHALL BE ALLOWED FOR MATERIAL 1

2 TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 304-2.02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.

NO SLAG SHALL BE ALLOWED FOR MATERIAL 2

TRENCH SECTION IN PAVED AREAS



August 10, 2023

VIA HAND DELIVERY

Peter M. Mercurio, Mayor and Members of the Village Board
Village of East Aurora
571 Main Street
East Aurora, NY 14052

**Re: Aurora Village Shopping Center
123 Grey Street (BDP # 2127)
Application for Site Plan Approval for Proposed Addition**

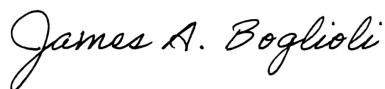
Dear Mayor Mercurio and Members of the Board:

In connection with the above-referenced property, Benderson has secured a new tenant within the existing multi-use multi-tenant building and is proposing site plan changes to accommodate an additional 1,433 S.F. of retail space for the proposed tenant.

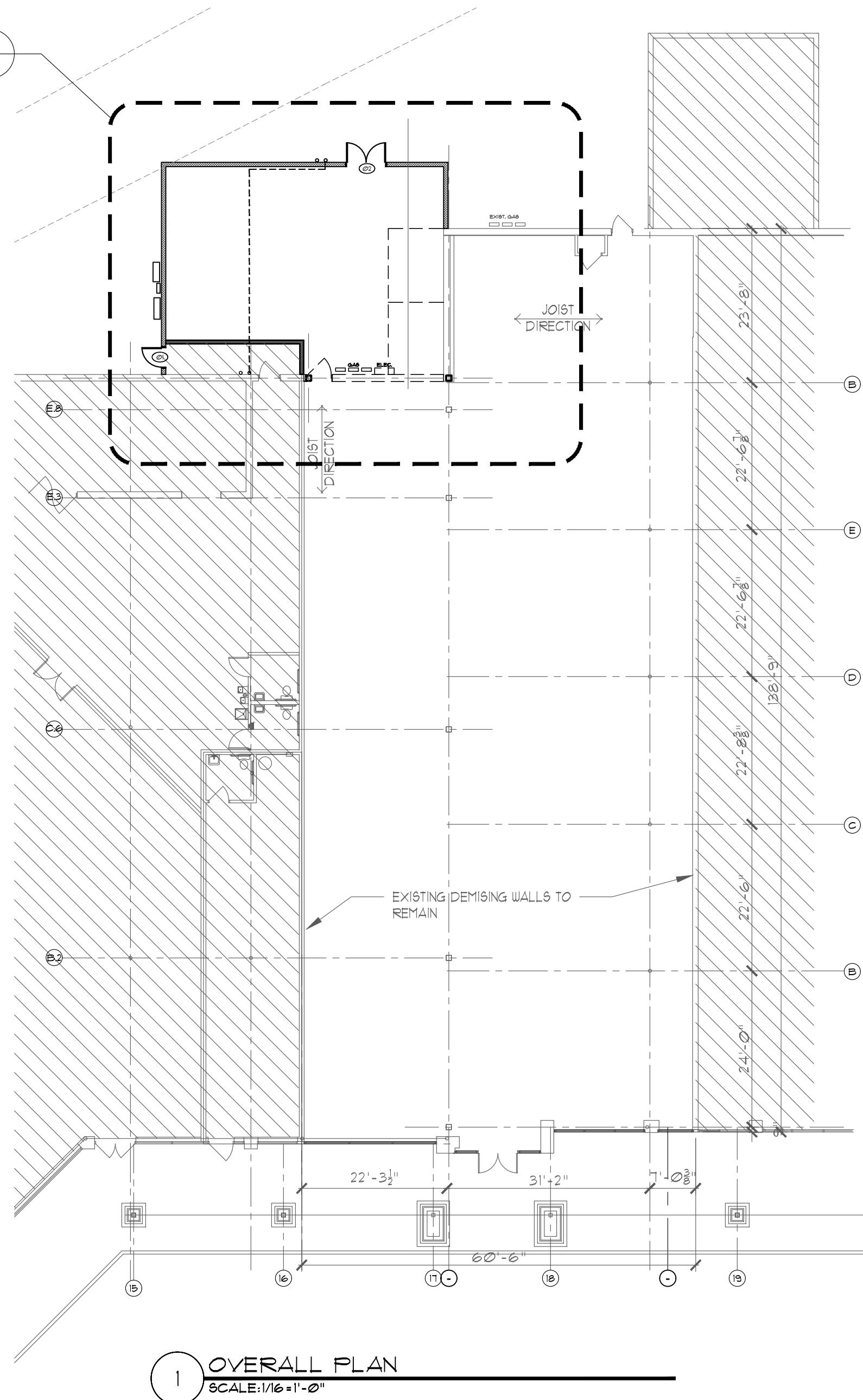
As the Town is aware, the shopping center is a fully developed commercial plaza. In connection with the proposed tenant, we are proposing to add a rear addition that will increase the buildings' square footage by 1,433 S.F., existing utilities relocations and pavement resurfacing.

We look forward to working with the Town on this project. Should you have any questions or require any additional materials, please do not hesitate to contact me.

Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC

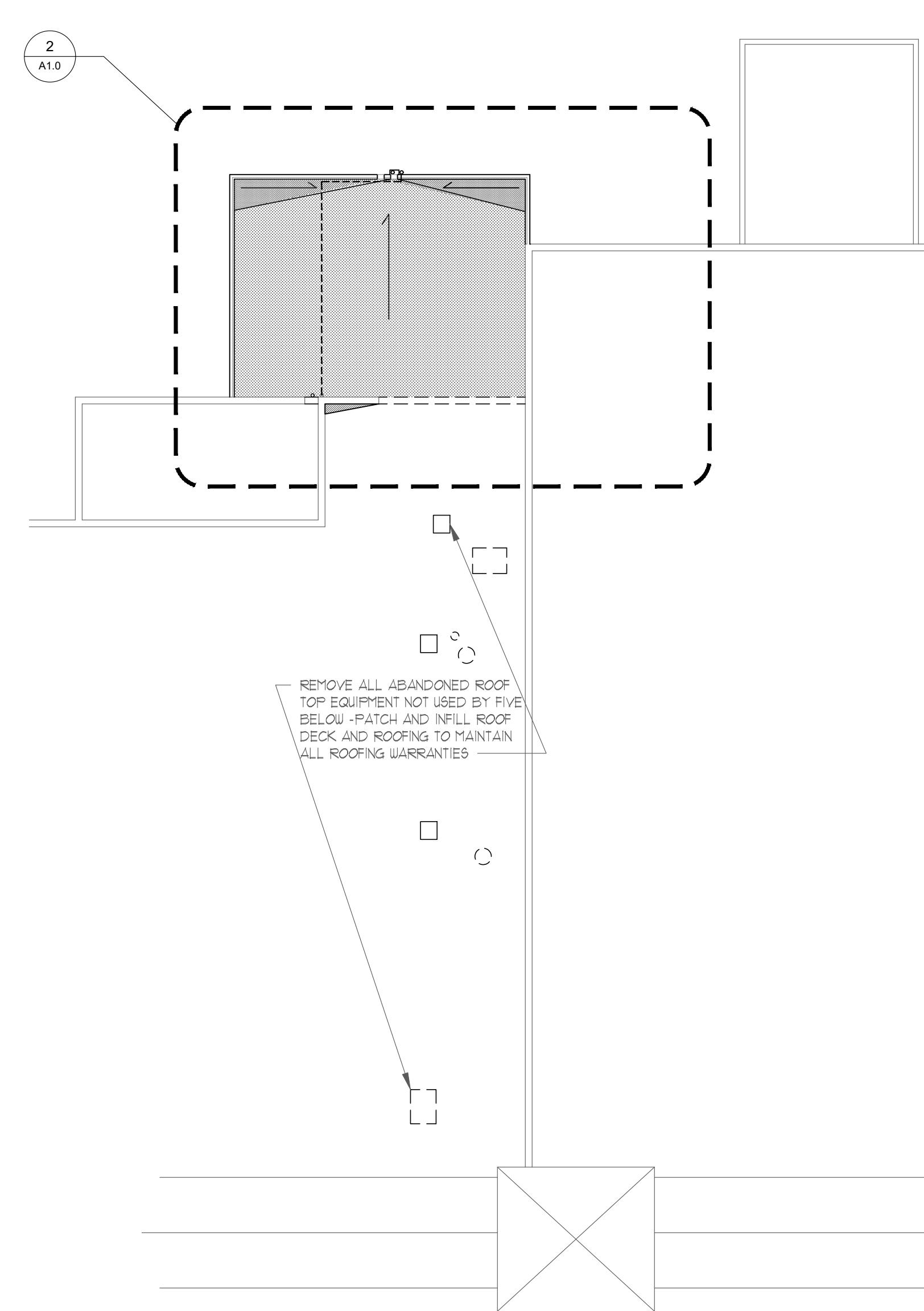


James A. Boglioli, Esq.
Director, Right to Build – Northeast US



ROOF NOTES

1. NO PVC ROOF DRAINS UNO.
2. CONTRACTOR TO PROVIDE LEADER HANGERS BOTH HORIZONTALLY AND VERTICALLY AS REQUIRED.
3. MINIMUM 4" DRAIN REFER TO PLAN FOR SIZE.
4. CONTRACTOR TO PROVIDE ALUMINUM DOME.
5. NO SUMP PANS UNLESS NOTED OTHERWISE.
6. CONTRACTOR TO PROVIDE UNDER DECK CLAMPS.
7. FOR PRIMARY DRAINS, DRAIN FLANGE TO BE COORDINATED WITH ROOF INSULATION THICKNESS.
8. FOR SECONDARY OR OVERFLOW DRAINS FLANGE FLUSH WITH TOP OF ROOF INSULATION LOCATED IN VICINITY OF PRIMARY DRAIN BUT WITHOUT OBSTRUCTING CRICKET. UPSLOPE OF PRIMARY DRAIN.
9. PROVIDE RIGID INSULATION ON UndERSIDE OF ROOF DRAIN AND LEADER BELOW DECK TO AVOID CONDENSATION.
10. ROOF DRAINS IN UNHEATED AREAS AND CANOPIES SHOULD BE WRAPPED WITH HEAT TRACE IN DRAIN AND LEADER TO AVOID FREEZE THAW ISSUES.
11. CONTRACTOR TO PROVIDE FACTORY TAPERED INSULATION DRAIN SUMPS FOR PRIMARY DRAINS.
12. NOTE TO PLUMBER AND ROOFER: DO NOT SUMP.
13. PROVIDE ROOF PAVERS AT THE SERVICE SIDE OF ALL HVAC UNITS
14. PROVIDE INSULATION AT ALL HORIZONTAL STORM LEADERS (MIN 1" THICK) - TAPE JOINTS
15. INSTALL SMOKE BAFFLES OF 3/8" GUB ON 3/8" METAL STUDS 16'OC. TO EXTENT FULL WIDTH AND HEIGHT OF ALL CONCEALED SPACES. ROOF CAVS AND CANOPIES TYP. 20'-0" OC WITH SMOKE TIGHT JOINTS
16. PROVIDE 2'X3' ROOF ACCESS HATCH EITHER IN THE SOFFIT OR ON THE ROOF. (COORD. WITH BDCI REPRESENTATIVE) IN ALL CANOPIES AT EACH SMOKE COMPARTMENT (BETWEEN SMOKE BAFFLES).



GAS LINE INFORMATION:

1. VERIFY GAS PRESSURE AND ADJUST PIPE SIZE AS REQ'D BASED ON TENANT REQUIREMENTS
2. PAINT PIPE SAFETY YELLOW
3. PROVIDE PIPE SUPPORT AS REQUIRED - (NO WOOD SUPPORTS) ROOF TOP BLOX - RTB-01 OR APPROVED EQUAL

ACCEPTABLE DRAIN MANUFACTURES:

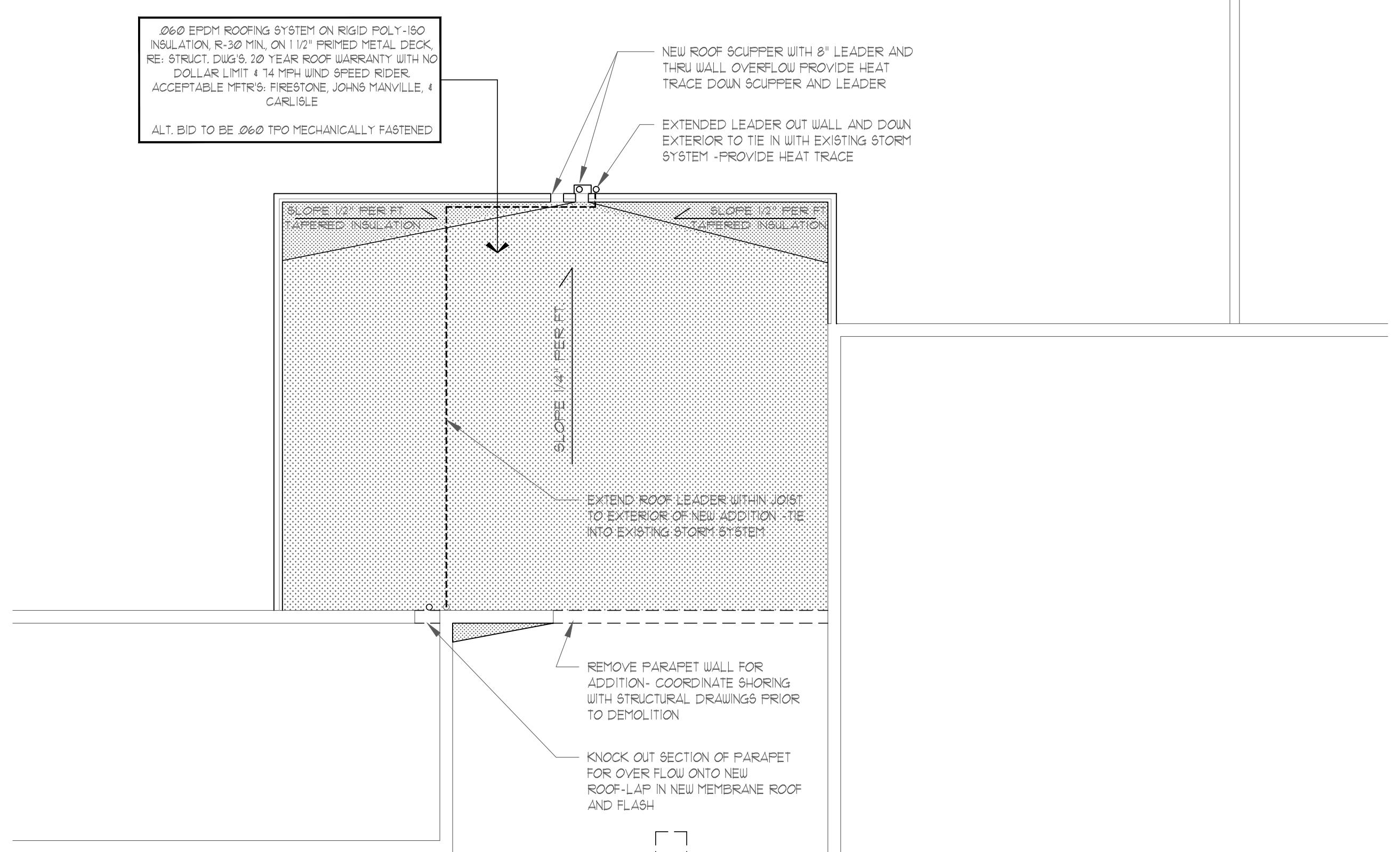
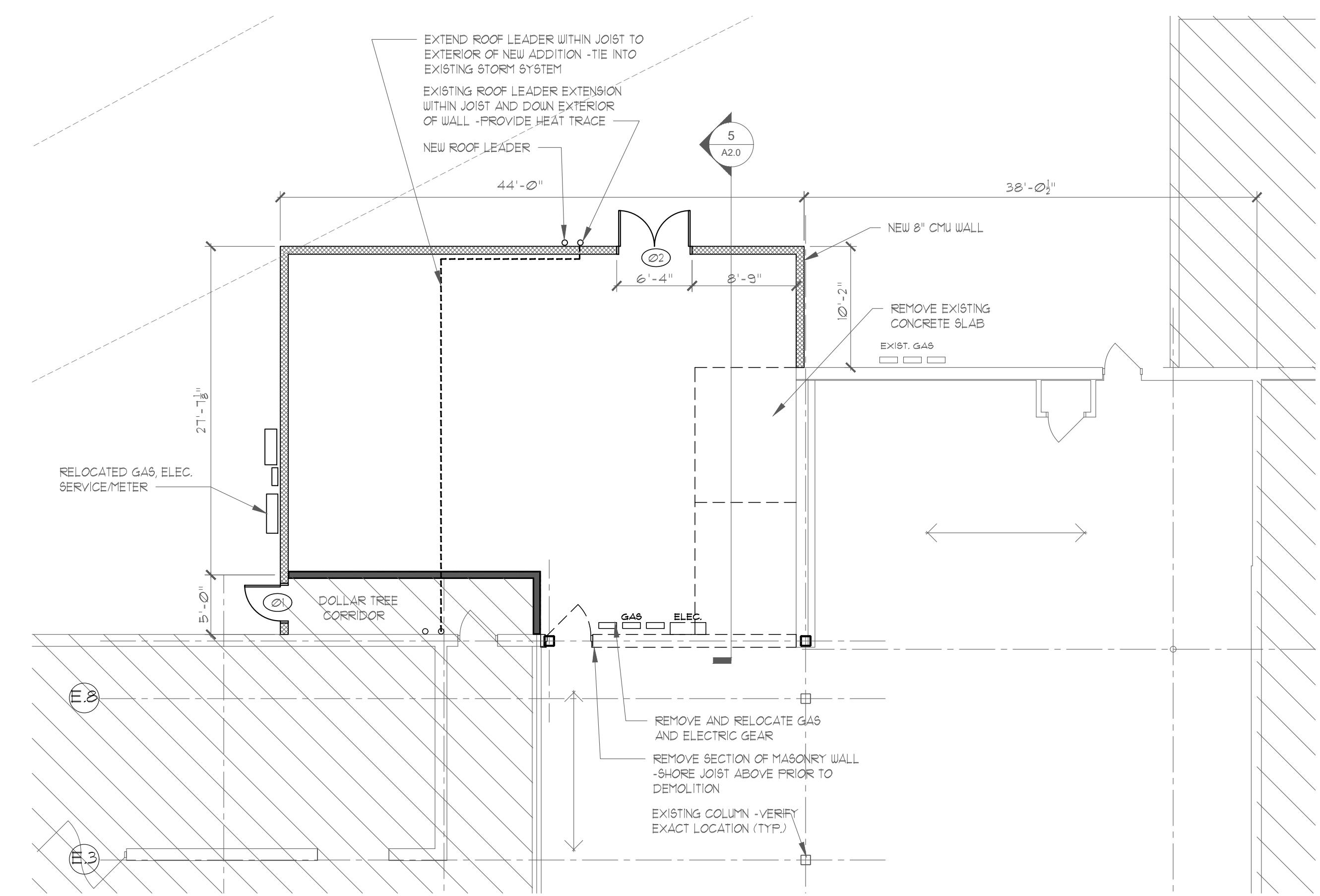
<input type="checkbox"/>	PRIMARY DRAINS:
ZURN	100 (SIZE PER PLAN) NO HUB OUTLET WITH UNDER DECK CLAMP, ALUMINUM STRAINER
JR SMITH	100Y (SIZE PER PLAN) NO HUB OUTLET, UNDER DECK CLAMP, ALUMINUM STRAINER
JOSAM	2100 (SIZE PER PLAN) NO HUB OUTLET, UNDER DECK CLAMP, ALUMINUM STRAINER
<input type="checkbox"/>	SECONDARY OR OVERFLOW DRAINS:
ZURN	SAME AS ABOVE BUT WITH INTERNAL WATER DAM EITHER 2" 3" OR 4" OPTION
JR SMITH	SAME AS ABOVE BUT WITH EXTERIOR WATER DAM EITHER 2.5", 3" OR 4" OPTION
JOSAM	SAME AS ABOVE BUT WITH FIXED EXTERIOR COLLAR 4" STANDARD OR SPECIFY LESSER HEIGHT

HEAT TRACE SYSTEM:

AUTOMATIC SNOWICE MELTING SYSTEM CONTROL PANEL
MODEL - APS-4C 211/480 -- SNOW SWITCH BY ENVIRONMENTAL TECHNOLOGY INC.

SNOW SENSOR
MODEL - CIT 1 SNOW SENSOR
MODEL - CIT 1 GUTTER SENSOR

SELF-REGULATING ROOF AND GUTTER DE-ICING CABLE
CATALOG # - GM-2XT--120/208 VOLTS



SPECIAL INFORMATION:
THIS DRAWING PREPARED FOR TEMPORARY IMPROVEMENTS TO AN EXISTING BUILDING CONSTRUCTED BY OTHERS IT IS UNDERSTOOD THAT ANY WARRANTY PROVIDED BY THE ORIGINAL EQUIPMENT INSTALLED MUST BE FORWARDED TO THE OWNER AND THAT ANY AND ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

NOTICE:
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.

JAMES ALLEN RUMSEY
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE. BUFFALO, NY 14202
BUFFALO, NY 14202
(716) 886-0211

PROPERTY NUMBER: 2127
AREA: - GSF

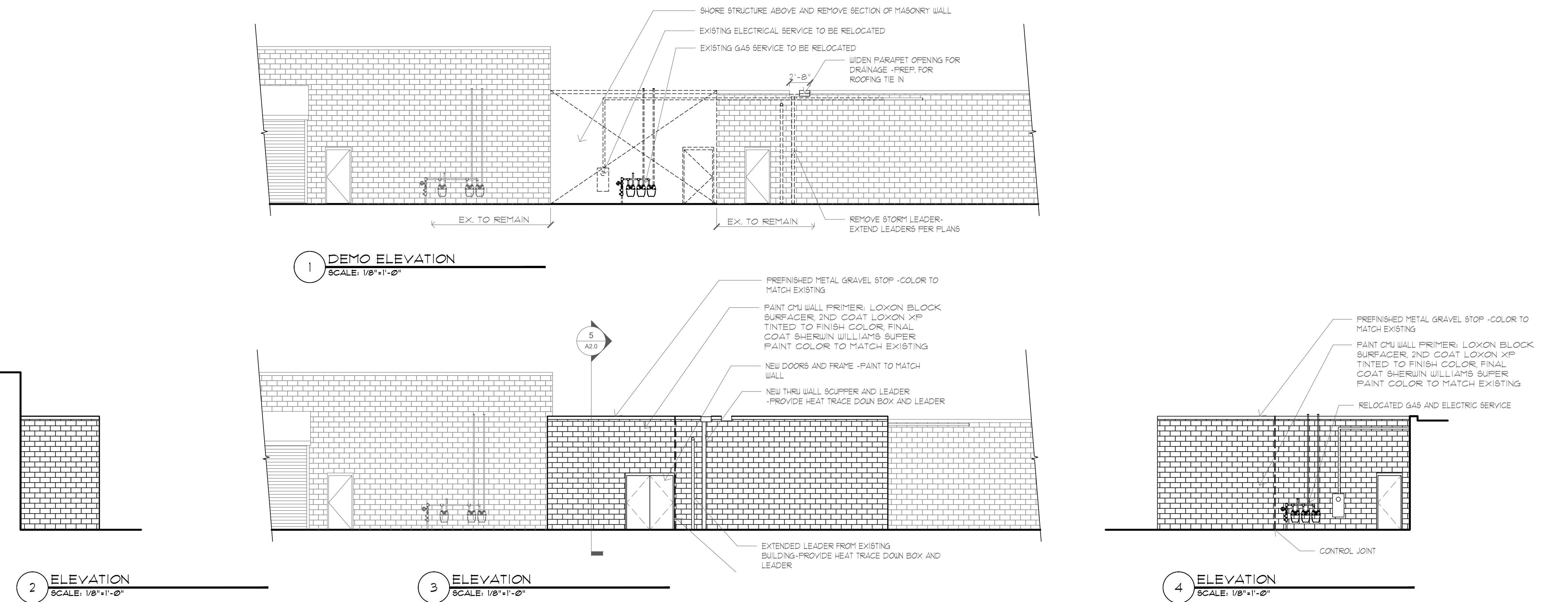
AURORA VILLAGE
123 GREY ST. SUITE 10
EAST AURORA, NY

FIVE BELOW



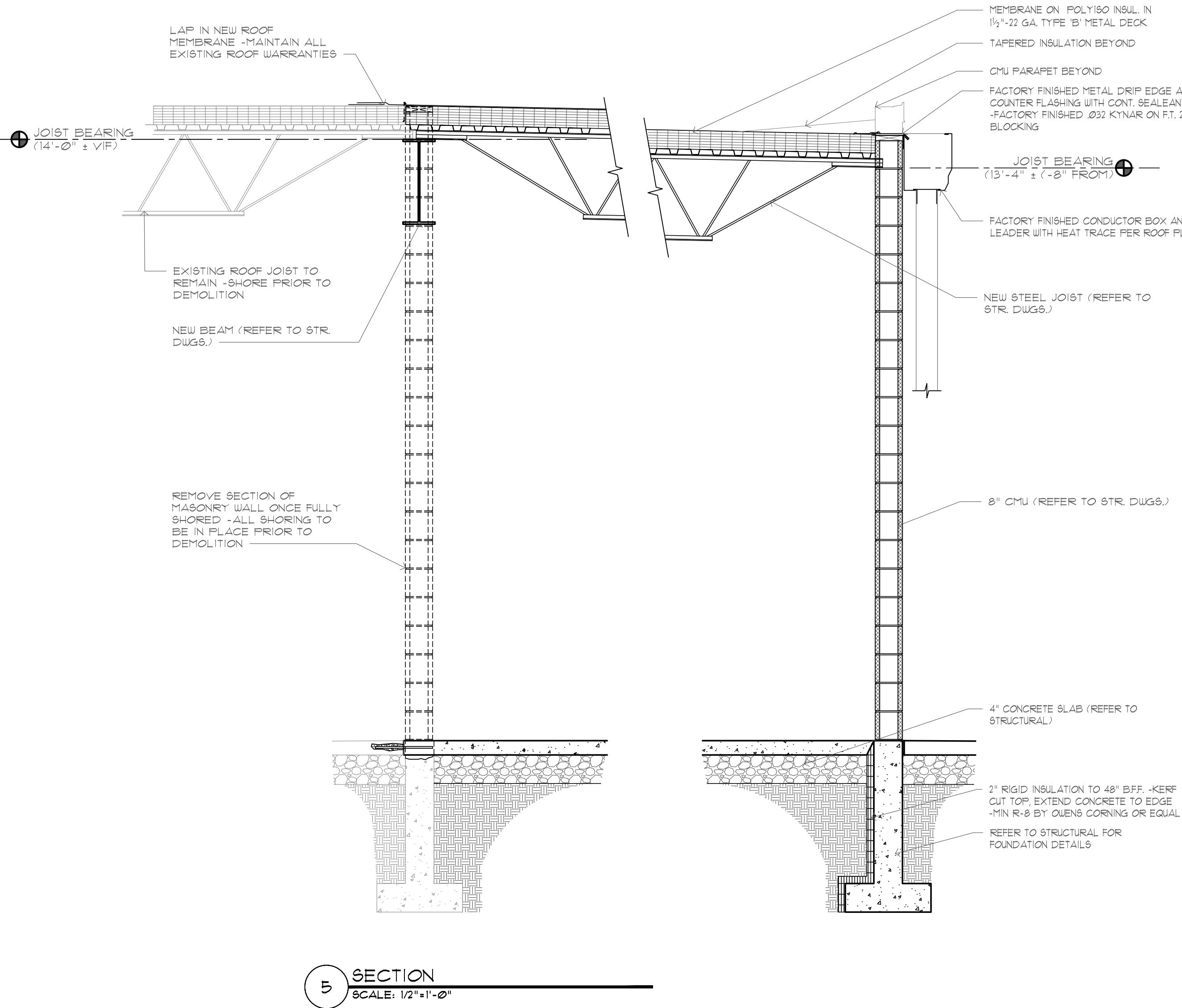
TITLE
FLOOR & ROOF PLANS

DRAWN BY:
CAR
CHECKED BY:
JAR
DATE:
8.7.23
A1.0



GENERAL NOTES

3. ALL WOOD BLOCKING AND EXTERIOR PLYWOOD TO BE EXTERIOR GRADE AND FIRE RETARDANT TREATED IN ACCORDANCE WITH BUILDING CODE. FIRE RETARDANT PROCESS MUST BE IN ACCORDANCE WITH AUPC 10.0 OS, AUPC C2, AND AUS. MAX FLAME SPREAD RATING OF 25 OR LESS, MOISTURE CONTENT TO BE 19 PERCENT OR LESS FOR LUMBER AND 15 PERCENT OR LESS FOR WOOD STRUCTURAL PANELS. FIRE RETARDANT-TREATED LUMBER AND PLYWOOD MUST BE LABELED IN ACCORDANCE WITH SECTION 1023.
6. ALL CMU AND BRICK CONTROL JOINTS @ 20 OC. MAX. CARRY CONTROL JOINTS THRU MASONRY VENEER WHERE IT EXISTS. COORDINATE WITH REQUIRED CMU CORE GROUTING.
8. PROVIDE CONTINUOUS VAPOR BARRIER FOR BUILDING ENVELOPE.
10. CAULK ALL DOORS & WINDOW ALL EDGE CONDITIONS TO BE WEATHERTIGHT.
11. PROVIDE TERMINATION BARS AT TOP OF ALL FLASHING (2" MIN. ABOVE HORIZONTAL LEG OF FLASHING).
12. AT ANY BELOW GRADE MASONRY PROVIDE MASTER STEEL 581 TO SEAL MASONRY UNITS.
13. PROVIDE END DAM FLASHING AT ANY FLASHING TERMINATIONS.
14. GROUT SOLID ALL BELOW GRADE MASONRY UNITS, CORES AND AIR SPACES.
15. PROVIDE END DAM FLASHING AT ANY FLASHING TERMINATIONS.
16. PROVIDE FLASHING AND Drip EDGE AT ALL HORIZONTAL PROJECTIONS WHERE MATERIAL TRANSITIONS OCCUR. INCLUDE TERMINATION BAR OR THRU WALL FLASHING PER ABOVE.



AURORA VILLAGE
123 GREY ST. SUITE 10
EAST AURORA, NY

FIVE BELOW



EXTERIOR
ELEVATIONS &
SECTIONS

DRAWN BY:
CAR
CHECKED BY:
JAR
DATE:
8.7.23

DRAWING NO.
A2.0

DRAWING REVISIONS:
BY REMARKS
No. Date -
- -

SPECIAL INFORMATION:
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JAMES ALLEN RUMSEY
ARCHITECT

PREPARED FOR
BENDERSON
DEVELOPMENT
570 DELAWARE AVE. BUFFALO, NY 14202
BUFFALO, NY 14202
(716) 886-0211

PROPERTY NUMBER:
2127
AREA:
- GSF

TOWN OF AURORA
575 OAKWOOD AVE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees
FROM: Elizabeth Cassidy, Code Enforcement Officer
DATE: August 15, 2023

The Building Department has received an application for the construction of a single-family residence at 757 Ellis Pl by Jeremy Bates of Buffalo Modular Homes as/agent/for Carrie & Russ Walko, owners. Village Code section 285-30.6 requires site plan approval for substandard lots. The property has received approval for demolition and a zoning variance for a rear yard setback on March 9, 2023.

Village Code sections 285-51.5 requires the Village Board to refer Site Plan application to the Planning Commission for their review and recommendation. The Village Board shall then schedule a public hearing for the application. This is a Type II action under SEQR.

A County referral is required for this application due to the proximity to a State Highway (Olean Rd).

If you have any questions, please contact me at 652-7591.

Liz Cassidy

VILLAGE OF EAST AURORA
 571 Main Street, East Aurora, New York 14052
 716-652-6000
 In conjunction with
Town of Aurora Building Department
 300 Gleed Ave, East Aurora, NY 14052
 716-652-7591

Building Dept:	8/14/23
Date Received	8/14/23
Complete App	8/15/23
Village Clerk:	
Date Received	8/16/23
Amount \$	125.00
Receipt #	2789-13

SITE PLAN APPLICATION

PROPOSED PROJECT New Modular Home SBL#: 110.05-2-53
 LOCATION 757 Ellis Dr East Aurora 14052 ZONING DISTRICT _____

The applicant agrees to reimburse the Village for any additional fees required for consultant's review of submitted technical data, including but not limited to, traffic studies, drainage, lighting, water and sewer plans.

APPLICANT NAME Buffalo Modular Homes
 ADDRESS 4185 Transit Rd 916 574 9766
 TELEPHONE 716 713 2714 FAX 716 313 2019 E-MAIL jeremy@buffalomodularhomes.com
 SIGNATURE [Signature]

OWNER NAME Russ and Carrie Walko
 ADDRESS 245 N Frederick St Burbank CA 91505 family@yahoo.com
 TELEPHONE 818 350 1111
 SIGNATURE [Signature] Signature: CR Carrie Walko (Jul 19, 2023 06:47 PDT)

ENGINEER NAME Greg Koester FIRM Nussbaumer + Clarke
 ADDRESS 3556 Lake Shore Road Suite 500 Buffalo NY 14219 E-MAIL gkoester@nussclarke.com
 TELEPHONE 716 872 8700 FAX _____
 SIGNATURE Gregory J. Koester Gregory J. Koester (Jul 17, 2023 15:04 EDT)

AFFIX STAMP

THIS APPL Email: gkoester@nussclarke.com

- Twenty (20) Sets – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-51.3
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@eastaurora.ny.us. Larger files may be submitted on a USB drive or CD Rom.
- Application fee \$25.00 and Public Hearing fee \$100.00 – Total \$125 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____ Minor Project written request to waive PC mtg Y/N/NA; VB Decision Y/N

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Historic Preservation	_____	_____
ZBA	_____	_____
EC Div of Planning	_____	_____
NYS DOT	_____	_____
Town Notification	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

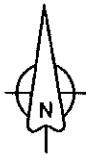
SEQR ACTION:

Type 1 Type 2 Unlisted

VILLAGE BOARD ACTION:

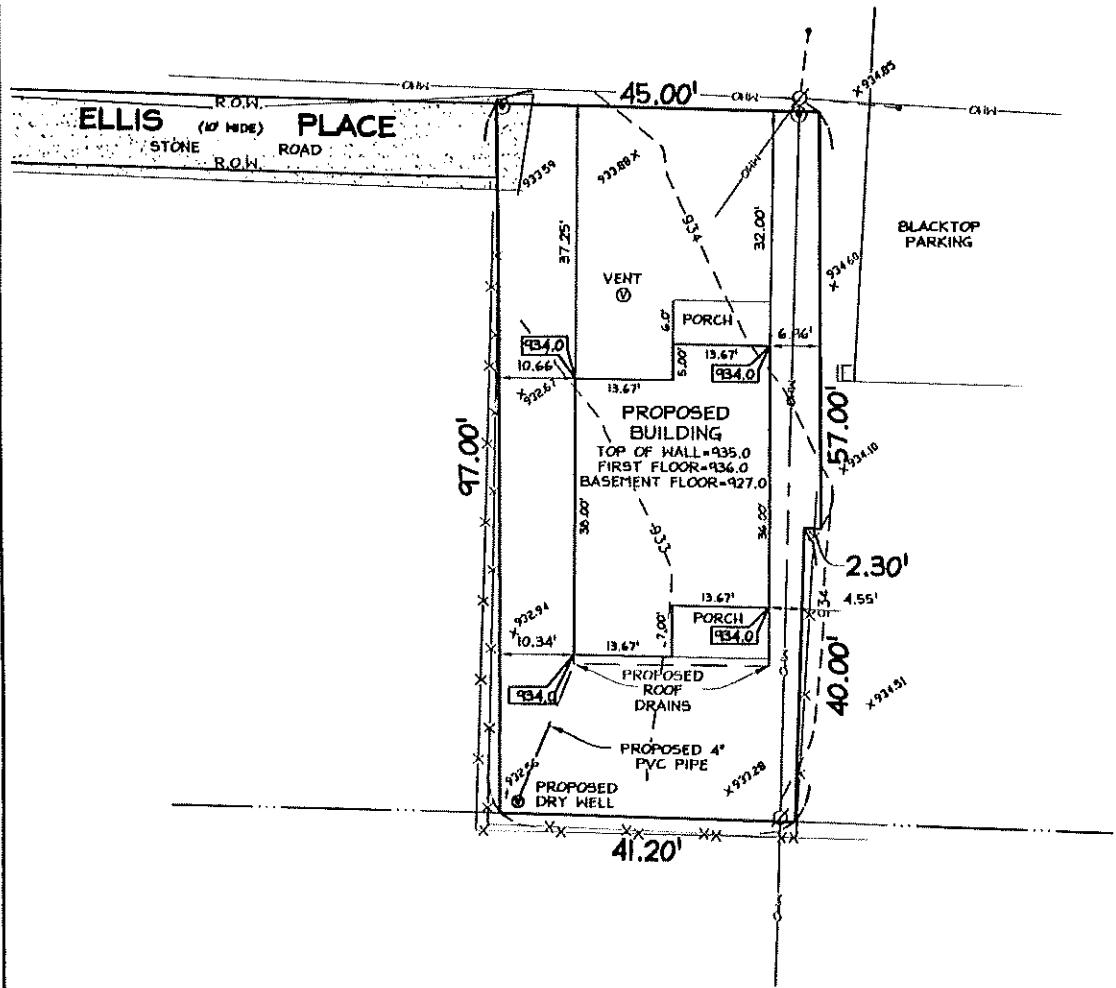
	Mtg/Mail Date
Public Hearing	_____
Notices Mailed	_____
Posted Notice-VEA Hall	_____
Posted Notice-Prop	_____
Approval/Denial Date	_____

Attach Village Board resolution with noted conditions.



LEGEND

- ELECTRIC METER
- FOUND IRON
- GUY WIRE
- UTILITY POLE
- VENT



NOTES.

1. PHYSICAL FEATURES AT GROUND LEVEL NOT CHECKED AND/OR LOCATED DUE TO THE PRESENCE OF EXCESSIVE SNOW AND/OR ICE.
2. RIGHT OF INGRESS/EGRESS OVER ELLIS PLACE TO CLEAN ROAD.
3. EXISTING HOUSE TO BE DEMOLISHED.
4. PROPOSE A DRY WELL BE LOCATED IN SOUTHWEST CORNER OF LOT CONNECTED TO ROOF DRAINS AND SUMP DISCHARGE.

NO IRONS SET OR FOUND AT PROPERTY CORNERS UNLESS NOTED HEREON

3556 Lake Shore Road, Suite 500, Buffalo, NY 14219
p (716) 827-8000 f (716) 270-6091 www.nussclarke.com

This survey was prepared without the benefit of an abstract of this and is subject to any state of facts that may be revealed by an examination of such.

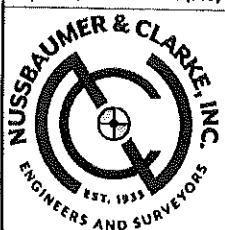
Unauthorized alterations or additions to any survey, drawing, design, specification, plan or map required by section 7208, provision 2 of the New York State Education Law.

PLOT PLAN SURVEY

757 Ellis Place

**Part of Lot 15, Township 9, Range 6
Holland Land Company's Survey
Village of East Aurora, Town of Aurora
County of Erie, State of New York**

Date of Survey: 01/03/23 Rev: 07/07/23 Scale: 1" = 20'



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project:

Whitko - 757 Ellis Dr.

Project Location (describe, and attach a location map):

757 Ellis Dr, East Aurora NY 14052

Brief Description of Proposed Action:

New modular home to be constructed on the site.

Name of Applicant or Sponsor:

Buffalo Modular Homes

Telephone: *716 313 2714 / 574 9761*

E-Mail: *jeremy@buffalomodularhomes.com*

Address:

4185 Transit Rd

State:

NY

Zip Code:

14221

City/PO:

Williamsville

1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?

If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.

2. Does the proposed action require a permit, approval or funding from any other governmental Agency?

If Yes, list agency(s) name and permit or approval:

3.a. Total acreage of the site of the proposed action?

97x45 = .1

acres

b. Total acreage to be physically disturbed?

.1

acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?

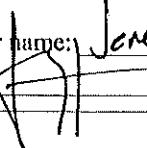
.1

acres

4. Check all land uses that occur on, adjoining and near the proposed action.

<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Residential (suburban)
<input type="checkbox"/> Parkland			<input type="checkbox"/> Other (specify): _____

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban	<input type="checkbox"/>	<input type="checkbox"/>	
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: Sump discharge and gutters will be directed to a dry well pit per the engineered site plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Jeremy Bates, Home Builder</u> Date: <u>7/11/23</u> Signature: 		

Village of East Aurora Site Plan Procedures

- ✓ 1. The Village of East Aurora adopted a new Zoning Code in October 2019. The new code is on the homepage of their website.
- ✓ 2. Prior to submission, applicants may schedule a sketch plan meeting with the reviewing board (Village Board or Planning Commission). Sketch plan meetings are advisory only and nonbinding. Materials presented as part of this meeting can be incomplete or conceptual in design. Contact the Village Clerk's office (716-652-6000) to determine the next available meeting date.
- ✓ 3. In addition to the specific Zoning District code requirements, also applicable are:
 - a. Regulations for Certain UsCs (§285-31)
 - b. Development Standards (§285-40)
 - c. Signs (§285-44)
 - d. General Application and Review Procedures (§285-50)
 - e. Site Plan Review (§285-51) processes and requirements

For additional guidance refer to the East Aurora Commercial Design Guidelines as found on the Planning Commission webpage on the Village of East Aurora website at www.east-aurora.ny.us/government/planning-commission/.

- ✓ 4. If compliance with all applicable regulations is not feasible, an application to the Village Zoning Board of Appeals must be submitted prior to, or concurrently with the Site Plan application.
- ✓ 5. Submission Deadline: A complete Site Plan application, supporting documents, and the required fee must be submitted no later than the first of the month to the Code Enforcement Officer (CEO) at the Town of Aurora Building Department.
- ✓ 6. Submissions will be reviewed for completion by the CEO. Applicants will be notified by email/mail of any deficiencies. If the deficiencies are not corrected within 30 days, the application is considered withdrawn. Incomplete applications will not be placed on any Village Board agenda.
- ✓ 7. The Village Board may waive any of the Site Plan requirements with the determination that they are unnecessary for a complete assessment of the project.
- ✓ 8. The Village Board may also request additional information beyond what is listed on the checklist and may ask that it be presented in graphic form accompanied by a written text, and/or prepared by a licensed professional if such additional materials are deemed necessary for a complete assessment of the site plan.
- ✓ 9. A representative must attend every meeting at which this project will be discussed, or the project will be tabled. Typically, the Village Board receives the application and refers it to the Planning Commission for review and recommendation. The application may also be referred to the Historic Preservation Commission or Tree Board for their review and recommendations. Multiple meetings with the same reviewing board may be necessary.
- ✓ 10. Once all recommendations are received, the State Environmental Quality Review Act (SEQRA) is completed.
- ✓ 11. Next, a public hearing will be scheduled. The Village Board will render their decision at a meeting following the public hearing.
- ✓ 12. The Village Board will provide a written statement (or Village Board minutes) to the applicant stating whether or not the application is approved, conditionally approved, or denied.

CHECK LIST FOR SITE PLAN APPLICATION

An application for site plan review shall include the following supporting documents, as applicable. A licensed professional engineer or registered land surveyor shall prepare all site plan materials unless otherwise approved by the Village Board.

- Description or narrative of all proposed uses and structures, including but not limited to hours of operation, number of employees, maximum seat capacity, and proposed number of off-street vehicle and bicycle parking spaces.
- A site plan drawn at a scale of one inch equals 20 feet or such other scale as the Village Board may deem appropriate, on standard 24 inch by 36 inch sheets, with continuation on 8 1/2 inch by 11 inch sheets as necessary for written information.
- A certified land survey showing the boundaries of the applicant's property under consideration in its current state plotted to scale with the north point, scale, and date clearly indicated, or other document deemed acceptable by the reviewing board.
- Plans indicating the following with regard to the property in question, where applicable.
 - The location of all properties, their ownership, uses thereon, subdivisions, streets, easements, and adjacent buildings within 300 feet of the property in question.
 - The location and use of all existing and proposed structures on the property in question, including all dimensions of height and floor area, exterior entrances, and anticipated future additions and alterations.
 - The location of all existing and proposed topography features, including but not limited to, site grading, open spaces, woodlands, watercourses, steep slopes, wetlands, floodplains, and watersheds.
 - The location of existing and proposed landscaping, screening, walls, and fences, including information regarding the size and type of plants and building materials proposed.
 - The location of existing and proposed public and private streets, off-street parking areas, loading areas, driveways, sidewalks, ramps, curbs, and paths. Such plans shall include considerations for vehicular, pedestrian, and bicycle traffic circulation, parking, and access.
 - The location of existing and proposed utility systems including sewage or septic, water supply, telephone, cable, electric, and stormwater drainage. Stormwater drainage systems shall include existing and proposed drain lines, culverts, catch basins, headwalls, endwalls, hydrants, manholes, and drainage swales.
 - The location, height, intensity, and bulb type (sodium, incandescent, etc.) of all external lighting fixtures. The direction of illumination and methods to eliminate glare onto adjoining properties must also be shown.
 - The location, height, size, material, and design of all existing and proposed signs.
 - Elevations at a scale of one-quarter inch equals one foot for all exterior facades of the proposed structure(s) and/or alterations to or expansions of existing facades, showing design features and indicating the type and color or materials to be used.
 - Plans to prevent the pollution of surface or ground water, erosion of soil both during and after construction, excessive runoff, excessive raising or lowering of the water table, and flooding of other properties, as applicable.
 - A schedule for completion of each construction phase for buildings, parking, and landscaped areas.
 - Plans for disposal of construction and demolition waste, either on-site or at an approved disposal facility.
 - All New York State SEQR documentation as required by law.
 - The Village Board may request additional information as per Village Code §285-51.3(B)(6) or anything else it deems necessary for a complete assessment of the site plan.
 - All required fees and reimbursements, and an escrow deposit to cover professional review costs, if required.

Modified Site plan location - ellis dr

Final Audit Report

2023-07-19

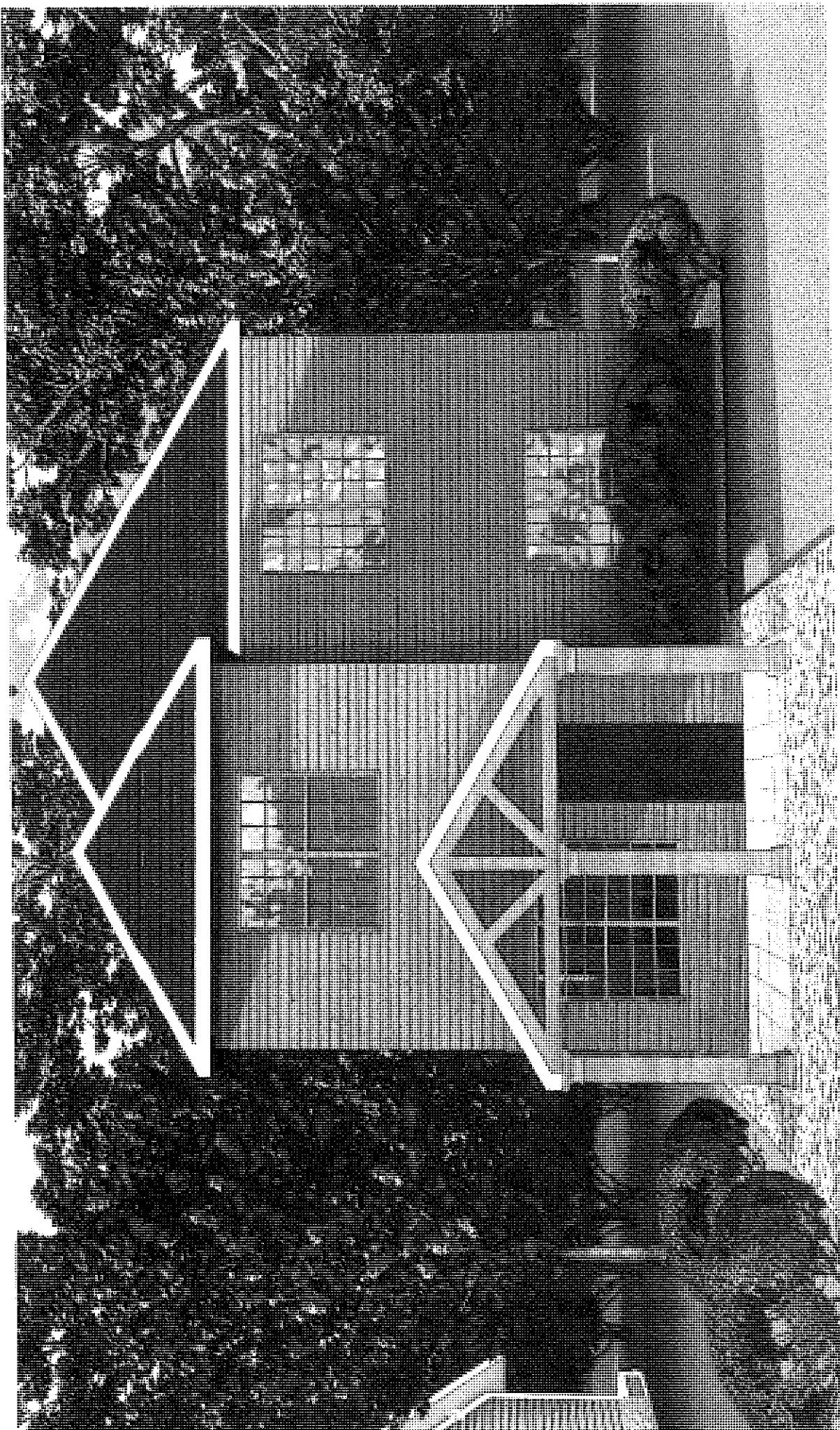
Created:	2023-07-17
By:	Lisa Cebulski (lisa@buffalomodularhomes.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAA9y_bG2WFLYbt37TmH5EIKHJcUV3xq-Me

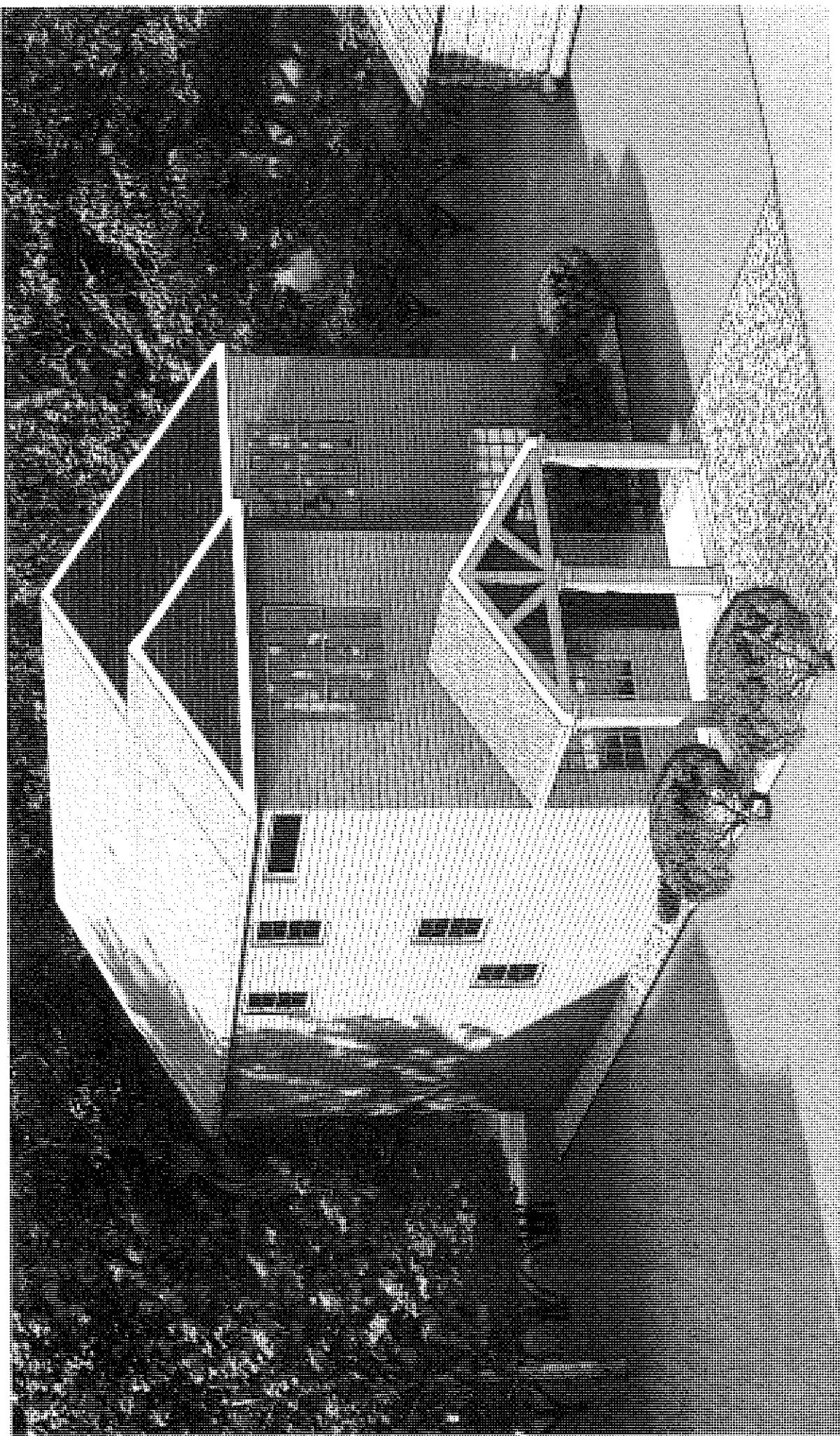
"Modified Site plan location - ellis dr" History

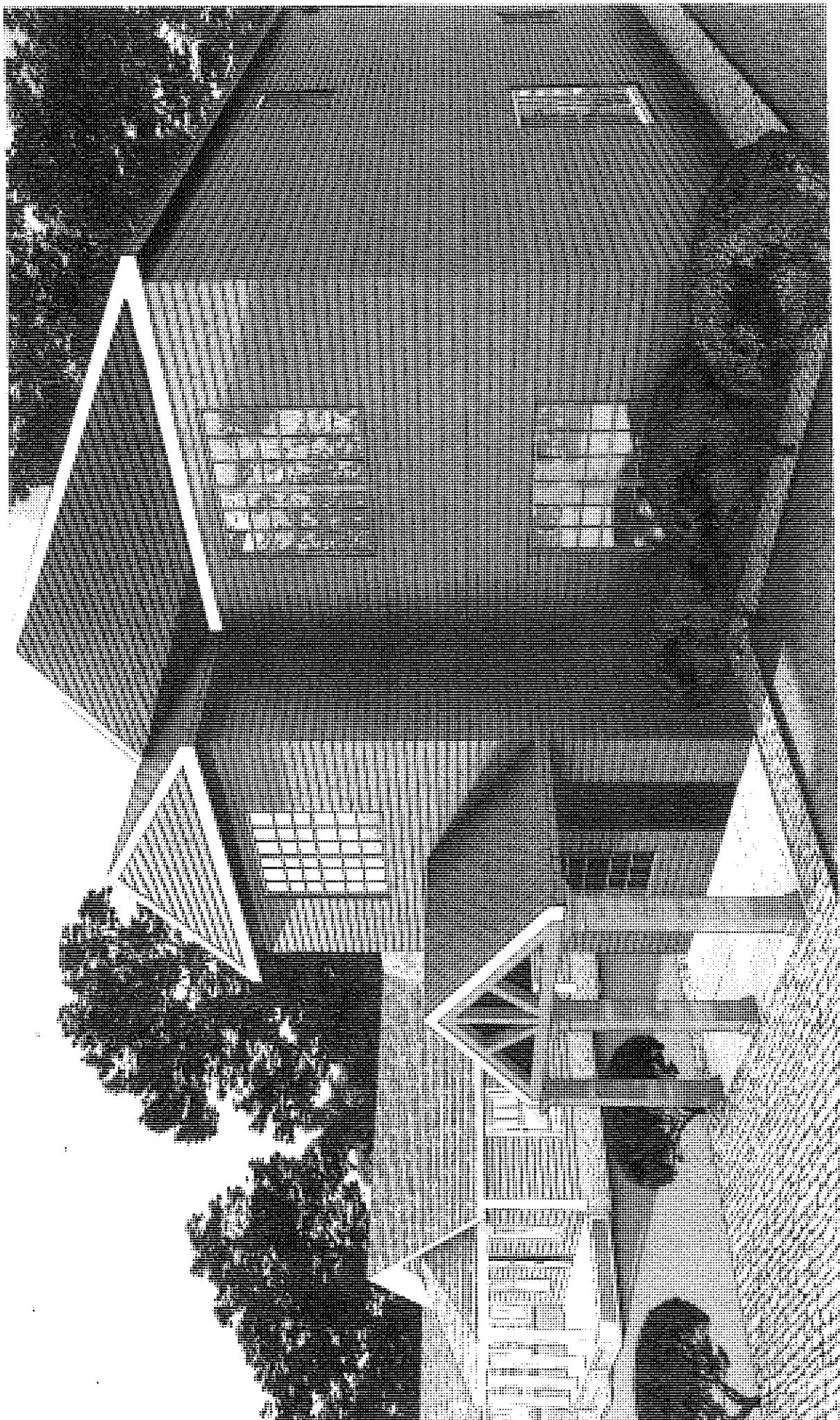
- 📄 Document created by Lisa Cebulski (lisa@buffalomodularhomes.com)
2023-07-17 - 6:31:09 PM GMT- IP address: 72.88.82.40
- ✉️ Document emailed to walkofamily@yahoo.com for signature
2023-07-17 - 6:32:07 PM GMT
- ✉️ Document emailed to gkoester@nussclarke.com for signature
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- ✉️ Email viewed by gkoester@nussclarke.com
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- ✍️ Signer gkoester@nussclarke.com entered name at signing as Gregory J. Koester
2023-07-17 - 7:04:28 PM GMT- IP address: 72.45.208.202
- ✍️ Document e-signed by Gregory J. Koester (gkoester@nussclarke.com)
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- ✉️ Email viewed by walkofamily@yahoo.com
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- ✍️ Signer walkofamily@yahoo.com entered name at signing as Carrie Walko
2023-07-19 - 1:47:57 PM GMT- IP address: 35.129.70.167
- ✍️ Document e-signed by Carrie Walko (walkofamily@yahoo.com)
Signature Date: 2023-07-19 - 1:47:59 PM GMT - Time Source: server- IP address: 35.129.70.167
- ✅ Agreement completed.
2023-07-19 - 1:47:59 PM GMT



Adobe Acrobat Sign







At a meeting of the Zoning Board of Appeals of the Village of East Aurora, New York, held at the Village Hall, East Aurora, New York on the 9th day of March 2023

PRESENT:

Jenny Schamberger- Chair
Bruce Mitchell
Alaina Smith
Gary Kimmel-Hurt
Susan Russell

ABSENT:

Tony Hoffman

ALSO PRESENT:

Elizabeth Cassidy, Code Enforcement Officer
Jessica Taneff, Deputy Clerk
Chris Trapp-Village Attorney
Jonathan Griffis, Buffalo Modular Homes
3 members of the public

Chair, Jenny Schamberger opened the meeting at 6:00PM. Chair Schamberger requested a motion to approve the minutes with corrections from the February 9th meeting, Member Kimmel-Hurt motioned to approve the minutes. Member Russell seconded the motion with unanimous approval.

**IN THE MATTER OF THE APPLICATION OF
Carrie and Russ Walko-757 Ellis Place c/o Darcy Selleck**

Village Code: §285-21.4, Table 21.4A Minimum Lot Size. Required: Minimum lot area of 9000 sqft. Requested: Existing lot of record with 4460 sqft area. Variance: 4540 sq. Section 285-21.4, Table 21.4D Minimum Rear Yard. Required: 15' rear yard setback for residential use. Requested: 4.43' rear yard setback. Variance: 10.57'.

Chair, Schamberger introduced the (5) members of the Zoning Board of Appeals which constitutes a quorum.

Chair, Jenny Schamberger continued the hearing from February 9th, 2023, at 6:02pm.

The Board asked about the resolutions regarding drainage, and heavy construction that they inquired about last meeting. Regarding the drainage, Mr. Griffis said they would use something that would be the appropriate solution and to it would not drain to the side properties. CEO Cassidy spoke to Jeremy Bates last week regarding drainage. Mr. Bates' initial idea is to benefit both parties by putting in a catch basin with a dry well that would sit as close to the property lines as possible and have the gutters collect into the dry wells. Mr. Griffis told the Board their plan is to not create damage with the construction equipment. If there is any damage made during construction, any issues would be resolved and taken care of by the company.

Jerry Thompson-31 Girdle Road- His concerns last time were that this is a significant footprint on a parcel that is small already. He is still concerned about the drainage.

Breanne Limberg-34 Olean-asked about what the variance is being asked for. Chair Schamberger reviewed the application. This property is looking to demolish the current house and create a new house and asking for a variance to create a larger setback.

There being no further testimony, or questions from the members of the Zoning Board of Appeals, Chair Schamberger called to close the hearing at 6:24 pm for deliberations and findings.

Acting Chair, Schamberger called the hearing back into order at 6:42 pm and read the following findings for 757 Ellis Place:

Lot Size:

1. 757 Ellis Pl is in the Village Center District.
2. The existing residence was built in approx. 1877.
3. The lot area required to construct a residence is 9,000 sq ft.
4. The existing lot has an area of 4,460 sq. ft. which would require a variance of 4,540 sq. ft.
5. An undesirable change will not be produced in the character of the neighborhood or a detriment to nearby properties will not be created by granting of the area variance.
6. The benefits sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance.
7. The proposed variance is substantial in relation to the requirement.
8. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions of the neighborhood or district.
9. The alleged difficulty was not self-created.
10. The proposed variance is the minimum variance deemed necessary and adequate and at the same time preserves and protects the character of the neighborhood and the health, safety and welfare of the community.
11. There were 72 notices sent out and 2 responses.
12. This is a type II action under SEQR

Member Mitchell made a motion to accept the proposed findings and to **GRANT** the variance for the Lot Size at 757 Ellis Place. The motion was seconded by Member Smith, and unanimously carried.

Rear Yard Setback

1. 757 Ellis Pl is in the Village Center District.
2. The existing residence was built in approx. 1877.
3. The required rear yard setback for residential use is 15'.
4. The proposed residence has a 4.43' rear yard setback and would require a 10.57' variance.
5. An undesirable change will not be produced in the character of the neighborhood or a detriment to nearby properties will not be created by granting of the area variance.
6. The benefits sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than an area variance.
7. The proposed variance is substantial in relation to the requirement.
8. The proposed variance will not have an adverse effect or impact on the physical or environmental conditions of the neighborhood or district, given the requirement by the Building Dept. that a stamped Engineering drainage plan will be in place for the proposed construction.
9. The alleged difficulty was self-created.
10. The proposed variance is the minimum variance deemed necessary and adequate and at the same time preserves and protects the character of the neighborhood and the health, safety and welfare of the community.
11. There were 72 notices sent out and 2 responses, 1 opposed.
12. This is a type II action under SEQR

Member Mitchell made a motion to accept the proposed findings and to **GRANT** the variance for the Rear Yard Setback for 757 Ellis Place. The motion was seconded by Member Smith and unanimously carried.

Chair, Jenny Schamberger called to close the hearing at 6:53 pm. Member Mitchell made a motion to close the hearing, Member Smith seconded the motion with unanimous approval.

Chair, Schamberger called to close this hearing of the Zoning Board of Appeals at 6:53 pm. A motion was made by Member Russell, seconded by Member Kimmel-Hurt and unanimously carried. The Zoning Board of Appeals hearing for March 9th meeting was closed.

Respectfully submitted,

Jessica Taneff
Deputy Clerk

From: Manny Varma <manny@mannysace.com>
Sent: Tuesday, July 25, 2023 5:21 PM
To: Elizabeth Cassidy <ecassidy@townofaurora.com>
Subject: Re: Container for forklift

I have marked on the attached file where the container would go. It has already been pre approved by the LL in the lease with Benderson. The edge of the loading dock is about 40'. Therefore this would not stick out into the parking lot.

The dimensions of the container would be 20'L x 8'W x 8.6'H.

This is to be delivered to me weather tight and with no rust. If it were to rust, I would absolutely paint it as I always maintain a clean premises and Benderson would definitely object to anything that is less than professional.

Can you tell me the date and time of the next meeting?

Thank you

Manny Varma
M:716.572.2952
O: 716.601.7507 ext 104

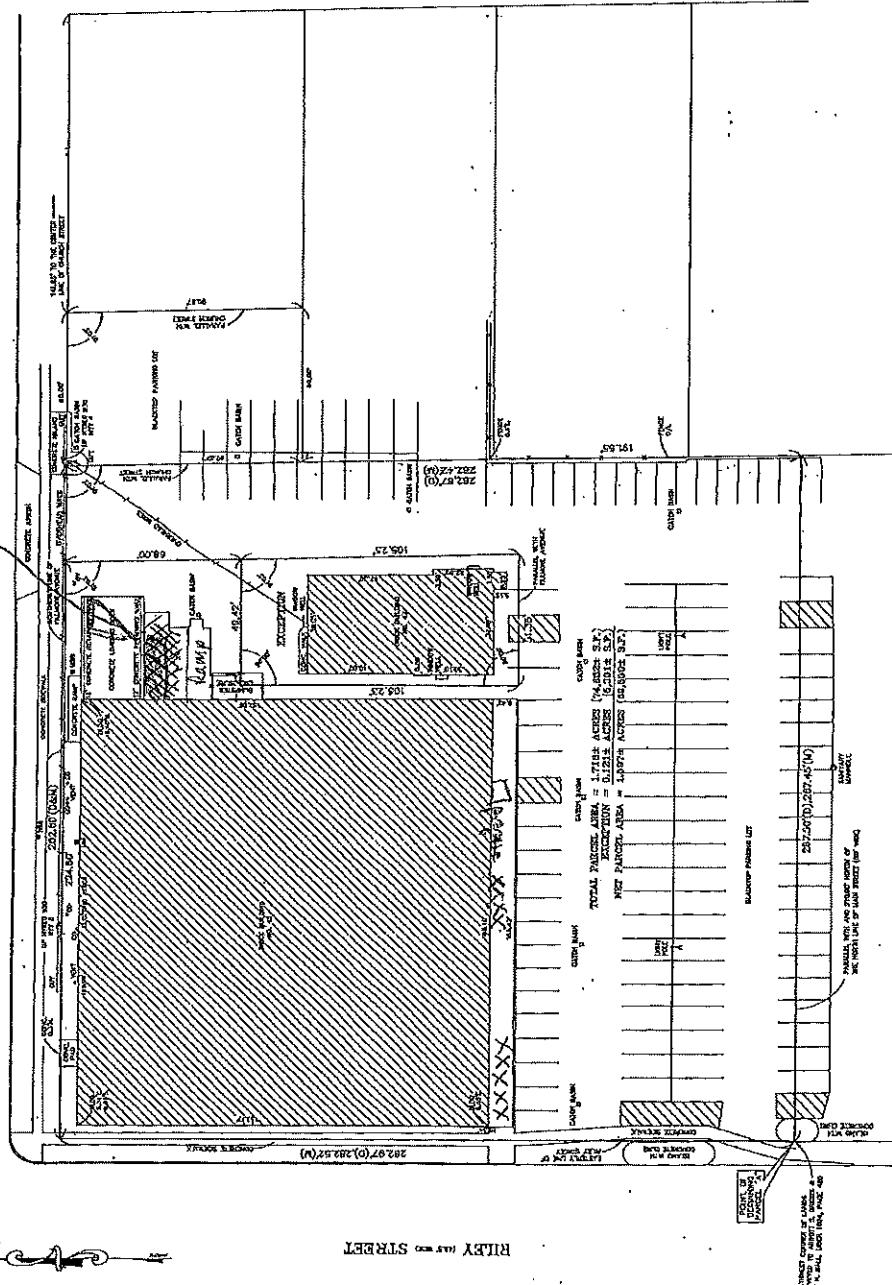
5175 Broadway
Suite 12
Depew, NY 14043

42 Riley St
Suite 200
East Aurora NY 14052

Manny's  **Hardware**

THE FILLMORE AVENUE

CHURCH ~~and~~ STREET



Original

TOWN OF AURORA

575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio, and Village Trustees
FROM: Elizabeth Cassidy, Code Enforcement Officer
DATE: April 17, 2023

The Building Department has accepted an amended Special Use Permit (SUP) application for outdoor sales ancillary to permitted use for merchandise and bagged ice at Manny's Ace Hardware, 42 Riley St. Manny's Ace Hardware proposes locating seasonal merchandise and an ice freezer in front of their building.

Village Code section 285-52.3B states that the Village Board may refer the Special Use Permit application to the Planning Commission for their review and recommendations. The Village Board shall then schedule a public hearing for the applications.

A county referral is not required for this application.

This is an Unlisted action under SEQRA.

If you have any questions, please contact me at 652-7591.

Liz Cassidy

VILLAGE OF EAST AURORA
 571 Main Street, East Aurora, New York 14052
 716-652-6000
 In conjunction with
Town of Aurora Building Department
 300 Gleed Ave, East Aurora, NY 14052
 716-652-7591

Building Dept:	4/10/23
Date Received:	4/10/23
Complete App:	4/10/23
Village Clerk:	
Date Filed:	4/17/23
Amount \$:	150
Receipt #:	CNK 1009

SPECIAL USE PERMIT APPLICATION

PROPOSED PROJECT Manny's Ace Hardware SBL#: 165.19-6-1.1
 LOCATION 42 Riley St. Suite 200 EA ZONING DISTRICT VC

The applicant agrees to reimburse the Village for any additional fees required for consultant's review.

APPLICANT NAME Manny Varma
 ADDRESS 42 Riley St. Suite 200 East Aurora NY 14052
 TELEPHONE 716-572-3452 FAX — E-MAIL Manny@MannysAce.com
 SIGNATURE M Varma

OWNER NAME George F 570 DAB 72 LLC (Benders on Dev)
 ADDRESS 570 Delaware Ave Buffalo NY 14202
 TELEPHONE 716 886 0112 FAX 716 886 2269 E-MAIL —
 SIGNATURE See Attached

DEVELOPER NAME —
 ADDRESS —
 TELEPHONE — FAX — E-MAIL —
 SIGNATURE —

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One (1) – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-52.2
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@eastaurora.ny.us. Larger files may be submitted on a USB drive or CD or by Dropbox.
- Application fee \$25.00, Permit fee \$25.00, and Public Hearing fee \$100.00 – Total \$150 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date —

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	<u>—</u>	<u>—</u>
Safety Committee	<u>—</u>	<u>—</u>
VEA DPW	<u>—</u>	<u>—</u>
OTHER (specify)	<u>—</u>	<u>—</u>

SEQR ACTION:
 Type 1 Type 2 Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date
Public Hearing	<u>—</u>
Notices Mailed	<u>—</u>
Posted Notice-VEA Hall	<u>—</u>
Posted Notice-Prop	<u>—</u>
Approval/Denial Date	<u>—</u>

Attach Village Board resolution with noted conditions.

April 12, 2023

Manny Varma
Ace Hardware
42 Riley Street Suite 200
East Aurora, NY 14052

RE: Special Use Permit for Outdoor Merchandise

Dear Manny,

On behalf of 570 DAB 72, LLC (Benderson Development Company, LLC), I hereby authorize your submission of a Special Use Permit for outdoor merchandise in relation to your business, located at 42 Riley Street in East Aurora, NY.

If there are any questions or concerns, please don't hesitate to contact me. I can be reached at 716-878-9459 or ericrecoo@benderson.com.

Sincerely,



Eric L. Recoon
Vice President, Development and Leasing



Manny's Ace Hardware Inc.

42 Riley St
Suite 200
East Aurora NY 14052
716-601-7507

To whom this may concern:

We would like to sell Mulch and different varieties of soil. We would like to display mulch for sale at the front of our building and keep them near our loading docks for storage purposes. This will be an item we will mainly keep for the spring and summer months.

Thank you,

*We would also like to be able to sell bagged
ice from a freezer such as the company ICE.*


Manny Varma
716-572-2952

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

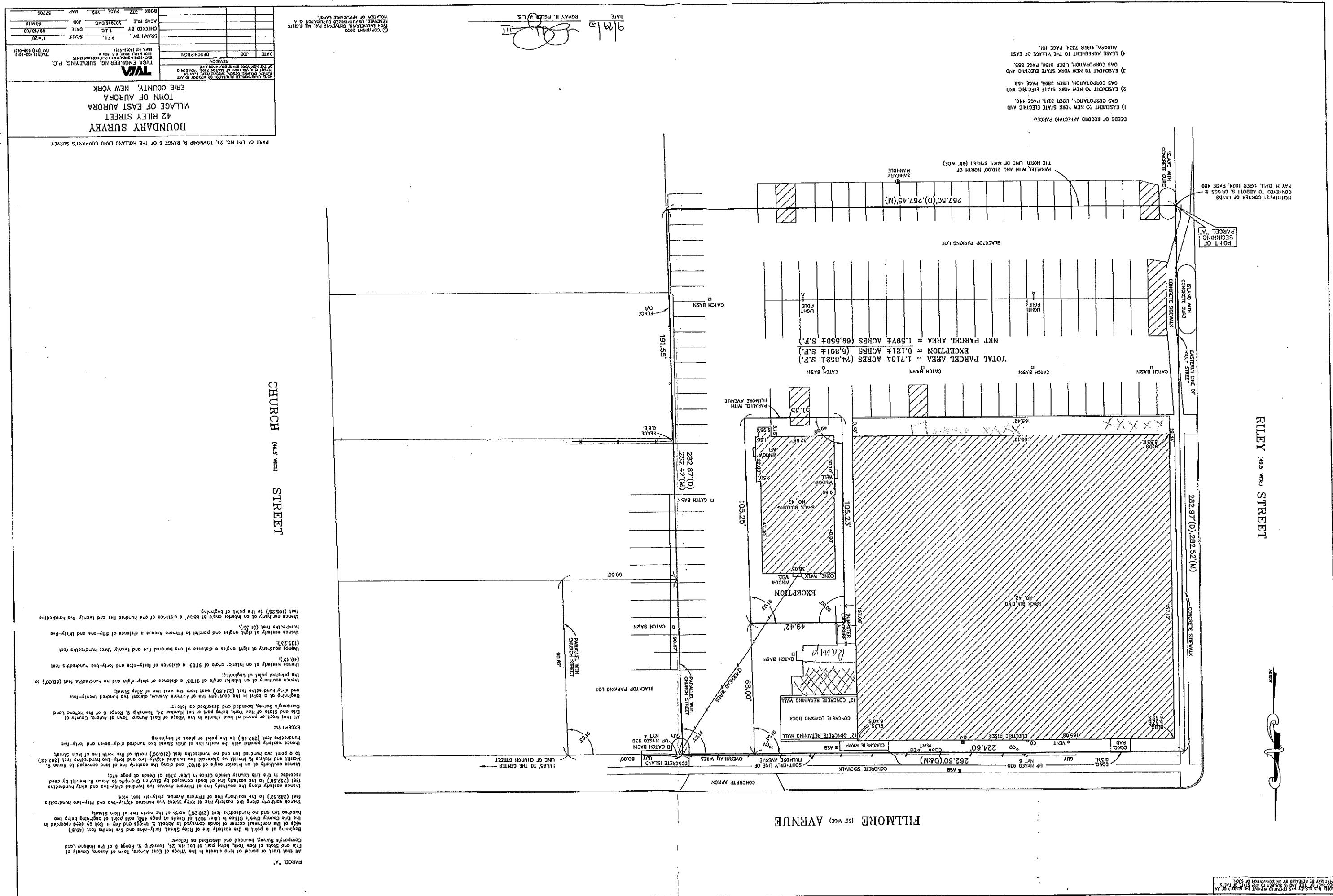
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information		
Manny's Ace Hardware		
Name of Action or Project: Outdoor display		
Project Location (describe, and attach a location map): 42 Riley St East Aurora		
Brief Description of Proposed Action: Seasonal outdoor display of mulch and garden needs such as chairs and wheelbarrows.		
Name of Applicant or Sponsor: Manny Varma		Telephone: 716-572-2952 E-Mail: MannysAce.com
Address: 42 Riley St suite 200		
City/PO: East Aurora		State: NY
Zip Code: 14052		
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		
<input checked="" type="checkbox"/> <input type="checkbox"/>		NO YES
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		
<input checked="" type="checkbox"/> <input type="checkbox"/>		NO YES
3.a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		
Storefront acres storefront acres storefront acres		
4. Check all land uses that occur on, adjoining and near the proposed action.		
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland		

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Manny Verma</u> Signature: <u>Manny Verma</u>		
Date: <u>4/13/2023</u>		



TOWN OF AURORA
575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees
FROM: Elizabeth Cassidy, Code Enforcement Officer
DATE: June 28, 2023

The Building Department has accepted an amended Special Use Permit from Ed & Kristin Borzillieri for The Deli at 586 Main St. The request is to add a seating area in front of their location.

Village Code section 285-51.5 requires the Village Board to refer the Special Use Permit application to the Planning Commission for their review and recommendation. The Village Board shall then schedule a public hearing prior to the SEQR determination and decision.

Village Code section 285-50.4C requires the Village to submit the application to Erie County Department of Environment and Planning for their review and comment due to proximity to a State highway (Main St/20A).

This is an Unlisted action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.
Liz Cassidy

VILLAGE OF EAST AURORA

585 Oakwood Ave, East Aurora, New York 14052
 716-652-6000
 In conjunction with
 Town of Aurora Building Department
 575 Oakwood Ave, East Aurora, NY 14052
 716-652-7591

Building Dept:	6/28/23
Date Received:	6/28/23
Complete App:	6/28/23
Village Clerk:	
Date Filed:	
Amount S:	
Receipt #:	

SPECIAL USE PERMIT APPLICATION

PROPOSED PROJECT outdoor Patio SBL#: 164.20-7-24
 LOCATION The Deli 586 Main Sts E.A. NY ZONING DISTRICT VC

The applicant agrees to reimburse the Village for any additional fees required for review by consultants hired by the Village.

APPLICANT NAME Ed Kristian Borzillo THE DELI
 ADDRESS 586 Main Sts E.A. NY 14052
 TELEPHONE 716-360-5161 FAX 716-481-5703 E-MAIL edborz@icloud.com
 SIGNATURE Ed Borzillo

OWNER NAME David Kurn
 ADDRESS 574 Main St. Suite 302 East Aurora NY 14052
 TELEPHONE 716-481-5703 FAX 716-455-2752 E-MAIL dkurn5703@gmail.com
 SIGNATURE DK

DEVELOPER NAME DK
 ADDRESS _____
 TELEPHONE _____ FAX _____ E-MAIL _____
 SIGNATURE DK

Request is for: Restaurant, Indoor Dining and/or Restaurant, Outdoor Dining
 Gas Station Car Wash Other

Outdoor music or other noise impact; if yes please include a quick summation of request:

Small speakers from indoor sound system

Days and hours of operation (indoor) M-SAT 10-8
 Days and hours of operation (outdoor) M-SAT 10-8

Will alcoholic beverages be served? Yes No Looking into the possibility

Will there be outdoor music? Yes No If yes, what type of music: Small speakers
 Days and times of music M-SAT 10-8

Are premises handicap accessible? Yes No If not, premises must be made ADA compliant
 If yes, contact building department at 716-652-7591

Will there be any renovations Yes No fencing/separation

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One Cover Letter to Village Board, Supporting Documents and SEQR as required in §285-52.2
- One complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD-ROM
- Application fee \$25.00, Permit fee \$25.00 and Public Hearing fee \$100.00 – Total \$150 at time of application

Edward Borzillieri

586 Main St. at Whaley
East Aurora, New York 14052
716-655-1383
edborz@icloud.com

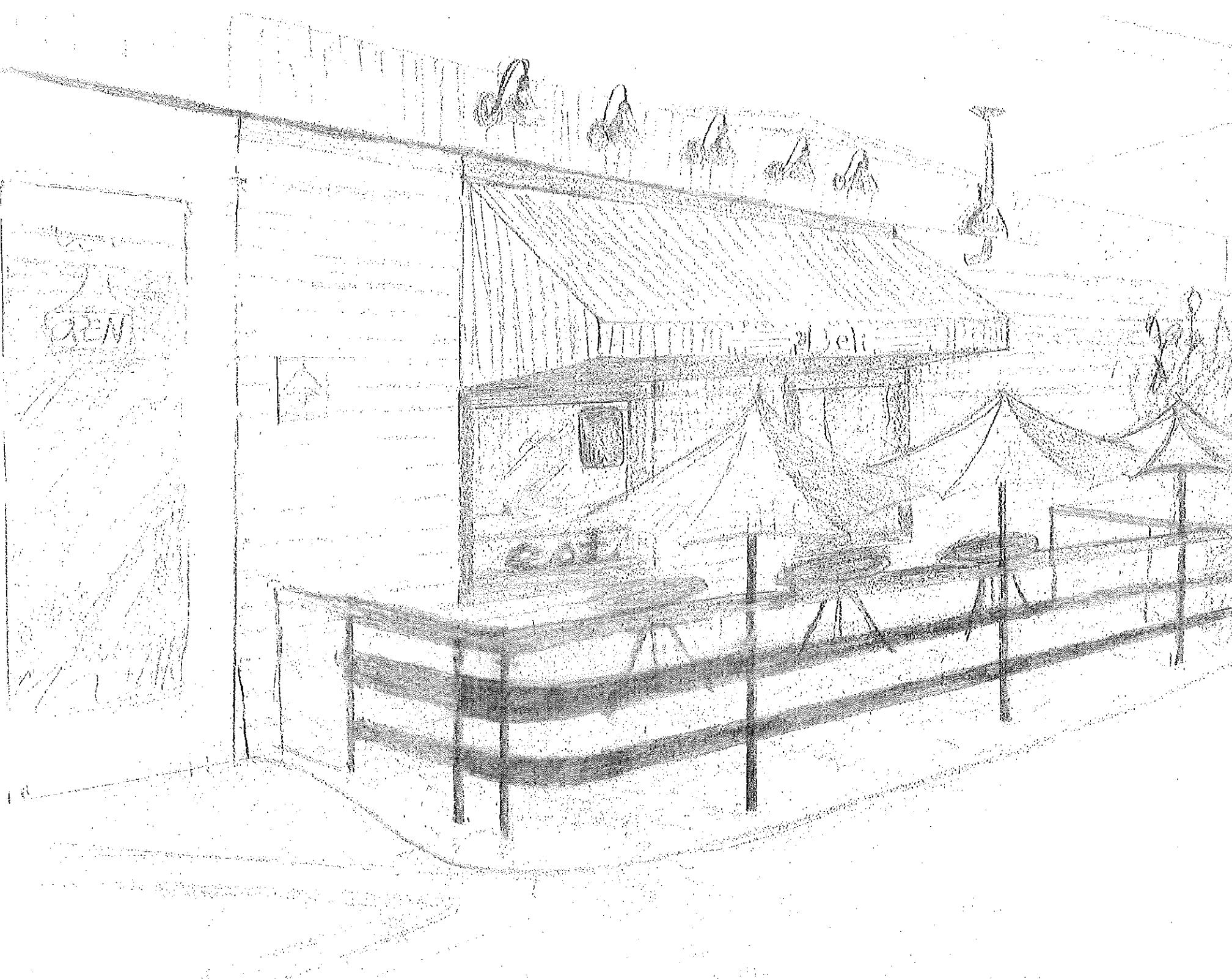
26 June 2023

The Deli is owned and operated by Edward Borzillieri and his wife Kristin. For the past five years, the couple has been serving the community by offering high quality homemade food and deli goods at competitive prices. Takeout prepared food and slice to order cold cuts have been a staple for the last few years and dine-in options have increasingly become popular. The Deli seeks to better serve dine-in patrons by offering outdoor dining in the warmer months.

A partially-covered patio area situated in the front of the building would provide a significantly larger space for dine-in patrons. The plan is to build a stone paver patio that measures approximately 12' x 30' with outdoor tables, chairs, umbrellas, and greenery. Currently the front of the building consists of bank run stone with a few bushes and large boulders. The landowner David Kern has agreed to relocate the stone and boulders and transplant the bushes to another area on the property. The proposed space would consist of seating for maximum 30 people and be potentially open from the hours of 10-7. The space would include a small speaker with easy listening music from the indoor sound system. The premises would be handicap accessible. The Deli plans to start construction as soon as possible.

Thank you for your consideration of this proposal,
Edward Borzillieri





Short Environmental Assessment Form
Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information															
<p>Name of Action or Project: Outdoor Patio - Seating</p>															
<p>Project Location (describe, and attach a location map): 586 MAIN #5, NY 14052 The Deli</p>															
<p>Brief Description of Proposed Action: Outdoor patio with umbrella tables</p>															
<p>Name of Applicant or Sponsor: Ed & Kristin Borzillo rei: The Deli</p>		<p>Telephone: 7168609161</p>													
<p>Address: 586 MAIN #5</p>		<p>E-Mail: edborz@icloud.com</p>													
<p>City/PO: EA NY 14052</p>		<p>State: NY</p>	<p>Zip Code: 14052</p>												
<p>1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.</p>															
<p>2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: TOA Building permit</p>															
<p>3.a. Total acreage of the site of the proposed action? .34 acres b. Total acreage to be physically disturbed? .0 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? .34 acres</p>															
<p>4. Check all land uses that occur on, adjoining and near the proposed action.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 25%;"><input type="checkbox"/> Urban</td> <td style="width: 25%;"><input type="checkbox"/> Rural (non-agriculture)</td> <td style="width: 25%;"><input type="checkbox"/> Industrial</td> <td style="width: 25%;"><input checked="" type="checkbox"/> Commercial</td> </tr> <tr> <td><input type="checkbox"/> Forest</td> <td><input type="checkbox"/> Agriculture</td> <td><input type="checkbox"/> Aquatic</td> <td><input checked="" type="checkbox"/> Residential (suburban)</td> </tr> <tr> <td><input type="checkbox"/> Parkland</td> <td></td> <td></td> <td><input type="checkbox"/> Other (specify): _____</td> </tr> </table>				<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input checked="" type="checkbox"/> Residential (suburban)	<input type="checkbox"/> Parkland			<input type="checkbox"/> Other (specify): _____
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Commercial												
<input type="checkbox"/> Forest	<input type="checkbox"/> Agriculture	<input type="checkbox"/> Aquatic	<input checked="" type="checkbox"/> Residential (suburban)												
<input type="checkbox"/> Parkland			<input type="checkbox"/> Other (specify): _____												

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Ed Borzilli Date: 6/19/23
 Signature: Ed Borzilli

SE. CORNER EAST LINE OF LANDS
CONVEYED TO
89. SAM LAMARTIA

၁၁၁

BUILDING
100 E. 35th Street.

111	CONCRETE BLOCK AND TILE BUILDING	40.00
112	PARALLEL TO MAIN STREET	47.50
113	40.10	47.50
114	BLACKTOP 0.20 EAST	20.00
115	BLACKTOP 0.15 EAST	216.65
116	BLACKTOP 0.10 EAST	120.00
117	BLACKTOP 0.05 EAST	112.20
118	CONC 0.05 EAST	36.50

216.70
SALK 6500
1700
1300

ERICK BULDING
384

THE JOURNAL OF CLIMATE

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CONCRETE
C.22 WEST
40.10 CONCR
87.00
IGLO TO THE
EAST LINE OF WHALEY AVENUE

WALK 0 23 EAST
BUILDING 0 22 NORTH

SOUTH WEST CORNER
OF EAST 1/3 OF LOT 24,
T. 9, R. 6, ALSO SOUTH
WEST CORNER OF LAND
CONVEYED TO AARON
RILEY AND
NATHAN
HALL L. 53

STREET

MAIN
(BIG TREE ROAD)
(MIDDLE ROAD) 66'0 WIDE

STREET NELL, AND
NATHAN
HALL L. 33
D 78

PART OF LOT 24 T 9 R 6
VILLAGE OF EAST AURORA
TOWN OF AURORA

WILLIAM J. NEWTON LICENSED LAND SURVEYOR 1878 DAVIS RD. WEST FALLS, N.Y.	
SCALE 1 IN. = 30 FT.	DATE JUNE 21, 1974
SHEET 74-112	NO 74-112

652-1741

W. G. Parker

114



5008 MOUNT VERNON BLVD.
HAMBURG, NY 14075
585-633-3165 info@slasolutions.com www.slasolutions.com

REQUEST FOR WAIVER OF THE 30 DAY MUNICIPALITY NOTIFICATION

Date: 9/6/2023

To the Municipality of: EAST AURORA

Please be advised that a waiver of the 30-day notification is requested on behalf of JEMAL'S ROYCROFT L.L.C. dba ROYCROFT INN, CRAFTSMAN LOUNGE AT THE ROYCROFT INN located at 40 S. GROVE STREET, EAST AURORA, NY 14052. They are applying for a ON PREMISE LIQUOR LICENSE serving LIQUOR, WINE, BEER & CIDER at retail in a HOTEL establishment. This request is made to expedite the licensing process.

Thank You,

A handwritten signature in black ink, appearing to read 'Robert Heil'.

Robert Heil

If such waiver is granted, please write a letter to that effect, signed by an Official, on OFFICIAL municipality stationary and either fax, e-mail or forward it to:

Robert Heil, Liquor License Consultant

5008 Mount Vernon Blvd.

Hamburg, NY 14075

FAX : 866-910-5025

E-MAIL : info@slasolutions.com

Standardized NOTICE FORM for Providing 30-Day Advance Notice to a Local Municipality or Community Board

1. Date Notice was Sent: **09/06/2023**1a. Delivered by: **Certified Mail Return Receipt Requested**

2. Select the type of Application that will be filed with the Authority for an On-Premises Alcoholic Beverage License:

New Application Renewal Alteration Corporate Change Removal Class Change Method of Operation Change

For New applicants, answer each question below using all information known to date

For Renewal applicants, answer all questions

For Alteration applicants, attach a complete written description and diagrams depicting the proposed alteration(s)

For Corporate Change applicants, attach a list of the current and proposed corporate principals

For Removal applicants, attach a statement of your current and proposed addresses with the reason(s) for the relocation

For Class Change applicants, attach a statement detailing your current license type and your proposed license type

For Method of Operation Change applicants, although not required, if you choose to submit, attach an explanation detailing those changes

This 30-Day Advance Notice is Being Provided to the Clerk of the Following Local Municipality or Community Board:

3. Name of Municipality or Community Board:

VILLAGE OF EAST AURORA**Applicant/Licensee Information:**4. Licensee Serial Number (if applicable): **N/A**Expiration Date (if applicable): **N/A**5. Applicant or Licensee Name: **JEMAL'S ROYCROFT L.L.C.**6. Trade Name (if any): **ROYCROFT INN, CRAFTSMAN LOUNGE AT THE ROYCROFT INN**7. Street Address of Establishment: **40 S. GROVE STREET**8. City, Town or Village: **EAST AURORA**, NY Zip Code: **14052**9. Business Telephone Number of Applicant/Licensee: **(202) 729-7419**10. Business E-mail of Applicant/Licensee: **jmurray@douglasdev.com**11. Type(s) of alcohol sold or to be sold: Beer & Cider Wine, Beer & Cider Liquor, Wine, Beer & Cider

12. Extent of Food Service:

Full food menu; full kitchen run by a chef or cook Menu meets legal minimum food availability requirements; food prep area at minimum

13. Type of Establishment: **Hotel (requires full restaurant open to the public on premises)**14. Method of Operation:
(check all that apply)

Seasonal Establishment Juke Box Disc Jockey Recorded Music Karaoke

Live Music (give details i.e., rock bands, acoustic, jazz, etc.): **MIXED GENRE**

Patron Dancing Employee Dancing Exotic Dancing Topless Entertainment

Video/Arcade Games Third Party Promoters Security Personnel

Other (specify):

15. Licensed Outdoor Area:
(check all that apply)

None Patio or Deck Rooftop Garden/Grounds Freestanding Covered Structure

Sidewalk Cafe Other (specify): **YARD, GUEST HOUSE**

16. List the floor(s) of the building that the establishment is located on: **1ST, 2ND, 3RD, BASEMENT**17. List the room number(s) the establishment is located in within the building, if appropriate: **1-kitchen,bar,dining,restroom,office,storage**18. Is the premises located within 500 feet of three or more on-premises liquor establishments? Yes No **3- Storage
2+ Guest rooms , office
Storage
Laundry**19. Will the license holder or a manager be physically present within the establishment during all hours of operation? Yes No

20. If this is a transfer application (an existing licensed business is being purchased) provide the name and serial number of the licensee:

N/A**N/A**

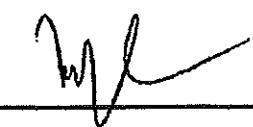
Name

Serial Number

21. Does the applicant or licensee own the building in which the establishment is located? Yes (If YES, SKIP 23-26) No**Owner of the Building in Which the Licensed Establishment is Located**22. Building Owner's Full Name: **JEMAL'S ROYCROFT, LLC**23. Building Owner's Street Address: **655 NEW YORK AVENUE NW, SUITE 830**24. City, Town or Village: **WASHINGTON** State: **DC** Zip Code: **20001**25. Business Telephone Number of Building Owner: **(202) 638-6300****Representative or Attorney Representing the Applicant in Connection with the Application for a License to Traffic in Alcohol at the Establishment Identified in this Notice**26. Representative/Attorney's Full Name: **ROBERT HEIL**27. Representative/Attorney's Street Address: **5008 MOUNT VERNON BLVD.**28. City, Town or Village: **HAMBURG** State: **NY** Zip Code: **14075**29. Business Telephone Number of Representative/Attorney: **(716) 512-5018**30. Business E-mail Address of Representative/Attorney: **Info@slasolutions.com**

I am the applicant or licensee holder or a principal of the legal entity that holds or is applying for the license. Representations in this form are in conformity with representations made in submitted documents relied upon by the Authority when granting the license. I understand that representations made in this form will also be relied upon, and that false representations may result in disapproval of the application or revocation of the license.

By my signature, I affirm - under Penalty of Perjury - that the representations made in this form are true.

31. Printed Principal Name: **NORMAN D. JEMAL**Title: **LLC MEMBER**Principal Signature: 

Budget Transfer	2023-24				
FROM			TO		
A.5.1990.0400	Contingency	\$ 7,500.00	A.5.3120.0230	Police Dpt. Department Equipme	\$ 7,500.00
F.5.9045.0803	Life Ins	\$ 700.00	F.5.9045.0804	Life Ins. Retiree	\$ 700.00
F.5.9060.0805	Health Ins	\$ 15,000.00	F.5.9060.0806	Health In - retiree	\$ 15,000.00

VILLAGE OF EAST AURORA
571 Main Street, East Aurora, NY 14052
Phone: 716.652.6000 Fax: 716.652.1290
www.east-aurora.ny.us

SPECIAL PERMIT APPLICATION

ALL Requests Must Be Received A Minimum of 60 Days in Advance

Required for application: one (1) complete file in electronic PDF format
Via e-mail to maureen.jerackas@east-aurora.ny.us

PUBLIC HEARING FEES: \$100.00

\$25.00 Application Fee

\$25.00 Permit Fee

Date Application Filed 5/13/19

Date of V.B. Action _____ (attach minutes)

Approved _____ Disapproved _____

Paid in
Cash \$150

Application is hereby made for a **SPECIAL PERMIT** pursuant to **Section 285.51** of the Code of the Village of East Aurora. Written approvals and other special permits as may be required by law, shall accompany this application.

Section 285.51 Special Permit required for Gasoline Service Stations, Rapid Car Washes, and Restaurants and/or outdoor service of food and beverages when permitted by the Village Board after a public hearing thereon.

Applicant's Name: Aurora International, LLC Address 4750 Clifton Parkway Hamburg, NY 14075
Location of Premises: 206 Main Street East Aurora, NY 14052 SBL # 142401-164-190-0005-015-100
E-mail: jbecker277@hotmail.com Phone # (716) 435-5007
Signature of Applicant John L. Becker - President Date: April 5th, 2019
Owner of Premises Name: Main - Haulin, LLC Address 206 Main Street East Aurora, NY 14052
E-mail: robdcase@qol.com Phone # (716) 903-4049
Signature of Owner: Patrick A. Case Date: 4/10/19

Is this application for an Amended Permit? Yes No If yes, attach copy of last permit

Request is for: Restaurant, Indoor Dining Restaurant, Outdoor Dining Gas Station
 Car Wash Other

Days and hours of operation (indoor) Sunday to Saturday Breakfast 7am to 11am Restaurant/Bar 11am - 2am

Days and hours of operation (outdoor) Weather Permitting Sunday to Saturday - Breakfast 7am - 11am Restaurant/Bar 11am - 2am

Will alcoholic beverages be served? Yes No

Will there be outdoor music? Yes No If yes, what type of music:

Days and times of music _____

Are premises handicap accessible? Yes No If not, premises must be made ADA compliant.

Will there be any renovations? Yes No If yes, contact building department @ 716-652-7591.

Attach a letter detailing your project, along with a schematic drawing of the premises indicating the location of:

area to be occupied entrance/exits restrooms Backflow device & grease trap oil interceptor

seating diagram (restaurant/indoor) # tables 26 #seats 4 Total Seating # 104

(restaurant/outdoor) # tables 4 #seats 4 Total Seating # 16

SIGN PERMIT: Town of Aurora Building Dept, 300 Gleed Avenue, East Aurora, NY - PH 716.652.7591

ARTICLE 44

Sign Regulations

§ 285-44.1. Purpose and intent.

- A. The primary purpose of these sign regulations for the Village of East Aurora is to permit the erection and display of signage within the Village, while protecting public health, safety and general welfare. All signs and sign systems are subject to the regulations that follow in this article.
- B. These regulations also serve to achieve the following objectives:
 - (1) Ensure right to free speech as protected under the Constitution;
 - (2) Protect property values, create a more attractive economic and business climate, and protect the physical appearance of the community;
 - (3) Provide structures and uses with effective means of identification while reducing visual clutter through the prevention of excessive and confusing sign displays;
 - (4) Reduce traffic conflicts or hazards by minimizing visual distractions or obstacles in or visible from the public rights-of-way;
 - (5) Minimize the adverse effect of signs on nearby public and private property;
 - (6) Avoid personal injury and property damage from unsafe or confusing signs; and
 - (7) Establish a clear and impartial process for those seeking to install signs.
- C. The regulations of this article shall govern and control the erection, enlargement, expansion, renovation, operation, maintenance, relocation, and removal of all signs within the Village visible from any street, sidewalk, public right-of-way, or public space.

§ 285-44.2. Sign permit required.

Except as hereinafter provided, no person shall erect, alter, construct, relocate or cause to be erected, altered, constructed or relocated any sign without first having obtained a sign permit from the **Code Enforcement Officer (CEO)**, unless otherwise stated in this article.
[Do you want signs to be approved only by the CEO or require Board approval?]

- A. Application requirements. The following information shall be provided to the CEO for a sign permit application:
 - (1) Name, address, **telephone number, including cellular number, email address, contact information**, and signature of the applicant.
 - (2) Name, address, **telephone number, including cellular number, email address**, and signature of the building and/or property owner, if not the applicant.

(3) Dimensions and drawings indicating the size, shape, construct, materials, and layout of the sign(s), **including any requests for illumination or moving parts.**

(4) Site plan and elevations indicating the proposed location and size of the sign(s) to scale, **including any provisions for illumination and structural supports.**

(5) Any additional site and/or sign information as requested by the CEO.

B. No permit required. The following situations shall not require the issuance of a sign permit provided such maintenance, changes, or alterations do not in any way alter the physical size, design, or nature of the sign.

(1) The repainting, repairing, changing of parts, and maintenance of signs.

(2) A change in the message of a sign.

C. Board review.

(1) New development subject to review and approval by the Village Board or Planning Commission, at the request of the applicant, may have proposed signage reviewed and approved as part of the special use permit or site plan review process. **[Amended 5-4-2020 by L.L. No. 2-2020]**

(2) In the event of such review, all required sign permit application materials shall be provided to the reviewing board as part of the complete application.

(3) Any sign permit application for a marquee sign shall require review and approval by the Village Board **after referral to the Planning Commission.**

D. Alteration. Any sign for which a permit has been issued shall not be modified, relocated, altered, or replaced, unless an amended or new sign permit is obtained from the CEO.

E. Expiration. A sign permit shall expire if the sign for which the permit has been issued is not fully constructed within **six (6) months one year** from the date of issuance of the sign permit.

F. Revocation. The CEO or designee may, at any time for a violation of this regulation, issue a notice of violation. A written notice of the violation including all reasons for the violation shall be mailed to the property and sign owner(s). Said violation must be corrected within **thirty (30)** days of the date of notice; otherwise, the sign permit shall be revoked and the sign in question shall be required to be removed.

§ 285-44.3. Measurement.

A. Sign area.

(1) Single sign face. The area of a sign shall be computed by means of the smallest square, circle, rectangle, triangle, or geometric combination thereof that will encompass the extreme limits of the writing, representation, emblem, graphic, and/or other display, together with any material, backdrop, or structure on which it is placed.

(2) Multifaced signs. In the case of a multifaced sign, only one side of the sign is considered in determining sign area if the sides of the sign are back-to-back or diverge at an angle of 45° or less.

(3) Structural support not included. The supporting structure or bracing of a sign shall not be computed as part of the sign area, unless such supporting structure or bracing is made a part of the message with the inclusion of any text or graphics. If such is the case, a combination of regular geometric shapes which can encompass the area of said text or graphics shall be included as part of the total sign area computation.

B. Sign height.

- (1) Freestanding sign. The height of a freestanding sign shall be calculated by measuring the vertical distance between the top part of such sign or its structure, whichever is highest, to the elevation of the ground directly beneath the center of the sign.
- (2) Other signs. The height of all other signs shall be determined by measuring the vertical distance between the top part of the sign face or structure, whichever is highest, to the bottommost edge of the sign face or structure.
- (3) Structural support included. Any material whose major function is to provide structural support for a sign shall be considered part of the sign for purposes of determining sign height.

§ 285-44.4. Regulations applicable to all signs.

A. Safety provisions. All signs shall be designed, constructed, and located in accordance with the following criteria to protect the general health, safety, and welfare of the public.

- (1) No sign shall be erected in such a manner as to obstruct free egress from a window, door or fire escape or to become a menace to life, health or property.
- (2) No sign shall be erected at or near any intersection of streets, alleys, or railways in a manner that obstructs free and clear vision for pedestrians, bicyclists, and motorists.
- (3) No sign shall be of a shape or color that may be confused with any authorized traffic control device.
- (4) No rotating beam, beacon, or flashing illumination ~~resembling an emergency light~~ shall be used with any sign display.
- (5) The erection of any sign and its supports, including any wiring and/or electrical components utilized therein, shall be consistent with the general accepted standards and practices of the New York State Building Code.
- (6) The erection of any sign, its supports, wiring, or other structural and/or electrical elements may be subject to inspection and approval by the CEO.

B. Design and construction. All signs shall be designed and constructed in accordance

with the following criteria:

- (1) All signs shall be constructed of permanent, weather-resistant, and durable materials, except for banners, flags, temporary signs, and window signs otherwise in conformance with this article.
- (2) Where applicable, signs shall be supported by sign structures that are designed to resist wind pressures, dead loads, and lateral loads in accordance with the appropriate provisions of the New York State Building Code.
- (3) All sign lettering shall be permanently affixed to the sign.
- (4) No permanent sign may be constructed of untreated or unpainted wood, sandblasted metal, or other unfinished material.
- (5) **No sign may use an audible device or sound amplifier.**

C. Location. All signs shall be so located in accordance with the following standards:

- (1) Signs shall not be erected within nor project into any public right-of-way or between any sidewalk and street or highway. ~~unless otherwise specified within this article~~. Signs must be located on private property and comply with the dimensional and setback requirements herein.
- (2) Off-premises signs are prohibited. All signs shall be located on the site being promoted, identified, or advertised with the exception of temporary signs.
- (3) All signs, unless otherwise noted, are to be setback at least ten (10) ~~five~~ feet from any property line.
- (4) For the purposes of this article, **flexible banners, inflatable banners/signs, balloons with messages, flags (other than government), or pennants** shall be permitted as temporary signs for a period not to exceed thirty (30) days in any twelve (12) month period. No banner shall be displayed over any sidewalk, Village street or highway except upon approval by the Village Board. A public liability bond or policy in the sum of at least **\$500,000** shall be furnished for each banner which extends across **and/or onto** a sidewalk, street or highway.
- (5) **No signs shall be placed on any electrical pole, light pole, hydrant, municipal trash receptacle, utility pole, tree, municipal fence, street sign, or any traffic control device.**
- (6) **Except as provided for elsewhere in this Article, no more than two (2) signs shall be permitted on any property.**
- (7) **Signs pertaining to elections shall not be erected more than thirty (30) days prior to any election and must be removed within ten (10) days of such election.**

D. Visibility at intersections. No sign or any part of a sign exceeding three (3) feet in height, other than a supporting pole or brace no greater than **eighteen (18)** inches in width or diameter, shall be located within the designated clear sight triangle of any intersecting streets. The clear sight triangle shall be defined by the triangle formed by two intersecting street lines and a line joining points on such street lines

thirty (30) feet from their intersection.

E. Illumination. All sign illumination shall be in accordance with the following standards:

- (1) Light sources for illuminated signs shall not be of such brightness as to constitute a hazard to pedestrians or motorists and shall be shielded so as not to cast an illumination of more than two (2) footcandles on adjacent nonresidential properties or more than 0.1 footcandle on adjacent residential properties.
- (2) Up-lighting, or the illumination of signs from a light source below that of the sign face, shall be permitted for ground signs or wall signs only. **No sign in a residential district may be illuminated between the hours of 8:00 p.m. and 6:00 a.m.**
- (3) Intermittent illumination or illumination which involves movement or causes the illusion of movement resulting from the arrangement of lighting, is prohibited.

F. Maintenance and repair. All signs shall be maintained in safe and good structural condition, in compliance with all applicable building and electrical codes, and in conformance with this article at all times. Such maintenance includes replacement of all defective bulbs, parts, materials, painting, repainting, cleaning, replacement of copy, and other acts required for maintenance of such sign. If any sign does not comply with these standards, the CEO may require its removal.

G. Obsolete signs. Any sign that no longer advertises or identifies the current or permitted use of the property **and/or event** must be removed within **ten (10) 30** days after **the conclusion of the event** or written notification from the CEO, **whichever is sooner.**

H. Removal of signs.

- (1) Where required by this article, the removal of signs shall be the sole responsibility of the sign owner. If said sign is not removed within **ten (10) 30** days of the date of written notice by the CEO, the CEO or their designee is authorized to affect its removal.
- (2) The CEO may **immediately and without notice** remove any sign that is found to be in violation of this article. This shall include any sign that is found to be unsafe, insecure, or in such condition as to be a menace to the safety of the public. **After removal**, the sign owner shall be given written notice of the removal of such sign by the CEO. If the sign is not claimed within ten (10) days of such notice, the sign may be disposed of by the Village.
- (3) Any costs incurred for the removal of a sign shall be fully reimbursed to the Village of East Aurora by the sign owner. Such costs may be placed on the tax roll for collection by the Village.

§ 285-44.5. Signs authorized without a permit.

The following types of signs may be erected in the Village without obtaining a sign permit. Although permits are not required for these signs, they shall conform to all other requirements of this article or may be subject to removal by the CEO.

- A. Directional signs. Signs that provide direction to pedestrians, bicyclists, or motorists shall not require a sign permit provided the following conditions are met:
 - (1) The cumulative area of signs on any one property shall not exceed an area of six (6) square feet in a residential district or twelve (12) square feet in a nonresidential district.
 - (2) No sign exceeds three (3) feet in height or six square feet in area.
 - (3) The signs are not illuminated, unless otherwise approved by the Village Board.
 - (4) The signs do not extend above the first floor or project beyond property lines.
- B. Signs on gasoline pumps. Signs attached to a gasoline pump shall not require a permit provided they do not exceed six square feet in area per sign.
- C. Governmental signs. Any official sign, public notice, or warning sign supported by federal, state or local law, including but not limited to signs erected and maintained pursuant to and in discharge of any government functions. (Example: New York State inspection station or authorized repair shop identification). There are no size requirements or time limits for governmental signs.
- D. Historical signs. Signs such as cornerstones, commemorative tablets, and historical markers, provided that said signs are less than six (6) square feet in area and not illuminated.
- E. Incidental signs. Signs containing no commercial message that are intended to identify incidental property information, such as addresses, entrances, exits, hours of operation, or open/closed, shall not require a permit provided the following conditions are met:
 - (1) The sign does not exceed four (4) square feet in area and two (2) feet in height.
 - (2) The sign is not illuminated.
 - (3) If placed in a window, the sign **must be is** in conformance with all applicable regulations of window signs (§ 285-44.9).
- F. Internal signs. Signs within a building not legible from the public right-of-way or adjacent lots, or any sign within an enclosed outdoor space, such as an athletic field, where such sign is not legible beyond the property lines **shall not be subject to these regulations. There are no requirements for internal signs.**
- G. Lawn signs. Lawn signs shall be allowed on any lot without a permit provided the following conditions are met **in addition to the provisions elsewhere in this Article:**
 - (1) The sign does not exceed three (3) feet in height and six (6) square feet in area.
 - (2) The sign is not displayed for more than **thirty** (30) days in a **one hundred twenty** (120) day period.

~~ninety~~-day period.

- (3) The sign is not illuminated.
- (4) No more than two (2) signs shall be permitted at any one time.
- (5) No signs shall be placed within ten (10) feet of the property line.
- (6) No signs shall have any moving parts.
- (7) Signs pertaining to elections shall not be erected more than thirty (30) days prior to any election and must be removed within ten (10) days of such election.

H. Noncommercial signs on a residential property. Any sign on a residential property that does not contain a commercial message shall not require the issuance of a sign permit, provided the following conditions are met ~~in addition to the provisions elsewhere in this Article~~:

- (1) There is no more than one sign per dwelling unit.
- (2) No single sign exceeds three (3) feet in height and six (6) square feet in area.
- (3) The cumulative area of all signs does not exceed twelve (12) square feet.
- (4) The sign is not illuminated.
- (5) The sign is not attached to any permanent building or structure.

§ 285-44.6. Prohibited signs.

The following signs are prohibited within the Village:

- A. Signs for which no sign permit was issued or for which a sign permit has been revoked.
- B. Signs that are not properly maintained, considered structurally unsound, hazardous, or otherwise unsafe.
- C. Signs that contain words or pictures of an obscene or pornographic nature.
- D. Signs that emit audible sounds, odor, or visible matter, ~~such as smoke or a mist, or similar matter~~.
- E. Signs placed on a curb, sidewalk, hydrant, utility pole, trees, ~~electrical pole, light pole, hydrant, municipal trash receptacle, municipal fence, street sign, or any traffic control device~~ or other objects located on or over any public street unless otherwise permitted by the Village Board.
- F. Signs that may be confused with a traffic control sign, signal or device or the light of an emergency or road equipment vehicle or hide from view any traffic or street sign, signal, or device.
- G. Signs that flash, blink, rotate, or revolve, and/or utilize unshielded lighting devices or reflectors to outline or provide the background of a sign. **[Amended 5-4-2020 by L.L. No. 2-2020]**

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- H. Internally illuminated signs and signs that utilize exposed neon tubing for letters or lighting.
- I. Signs that are mounted on wheels or mounted on any structure on wheels.
- J. Signs mounted on or applied to registered or unregistered vehicles unless such vehicle is parked legally or out of public view. **[Amended 5-4-2020 by L.L. No. 2-2020]**
- K. Signs with mirrors or any other reflective material.
- L. Signs painted directly on walls or other structural building features except by special use permit from the Village Board. **[Amended 5-4-2020 by L.L. No. 2-2020]**
- M. Manual changeable copy signs, electronic changeable copy signs, and signs that are animated or utilize full motion or video technology.
- N. Banners, pennants, windblown or inflated signs. **[Amended 5-4-2020 by L.L. No. 2-2020]**
- O. Roof signs, obsolete signs, off-premises signs, and billboards.

§ 285-44.7. Sign provisions by zoning districts.

- A. Residential districts.
 - (1) No lot or use shall have more than one sign type, as provided for in § 285-44.9.
 - (2) The illumination of signs in residential districts is prohibited.
 - (3) Where a single- or multifamily residential development exists, such as an apartment complex, one ground sign may be permitted for the development at each entrance/exit access point **for a period not to exceed twelve (12) months.**
- B. Nonresidential districts.
 - (1) No use or lot shall have more than two sign types, as provided for in § 285-44.9.
 - (2) Where multiple operations or uses are located on a single lot, such as, but not limited to, industrial centers, business parks, or shopping plazas, each use shall be allowed two signs of any type in addition to one freestanding sign for the development.
 - (3) Window signs shall be included in the count of total allotted signage for any lot or use. **[Amended 5-4-2020 by L.L. No. 2-2020]**
 - (4) Marquee signs may be permitted with Village Board review and approval.

§ 285-44.8. Nonconforming signs.

- A. All signs that are nonconforming as of the date of enactment of this chapter must be removed or brought into compliance at such time as the sign is replaced, the

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property and/or business changes use or ownership, or a new permit is required under the provisions of this article.

- B. Any nonconforming sign that is removed from its position or siting and not replaced in-kind within **thirty (30)** days shall be presumed to be abandoned and discontinued and may not be restored or re-erected except in compliance with this article.
- C. No nonconforming sign may be altered in any way that would increase its nonconformity with the regulations of this article, including, but not limited to area, height, setback, and illumination.
- D. Nothing herein shall be deemed to prevent maintaining a nonconforming sign in good repair and safe condition.

§ 285-44.9. Regulations by sign type. [Amended 5-4-2020 by L.L. No. 2-2020]

The following tables outline the requirements for sign types that may be proposed for installation within the Village. The tables regulate each type of sign by the zoning district in which it is located.

Table 44.9A: Ground Signs

Ground sign: A sign not attached to any building or structure, which may be supported by one or two columns or posts provided the distance between the ground and bottommost edge of the sign is no greater than three feet.

Requirement	Zoning Districts						
	R	GC	NC	VC	GM	VM	OS
Number permitted ¹	1 per lot	—	1 per lot	1 per lot	—	1 per lot	1 per lot
Maximum area (square feet)	6	—	16	16	—	16	16
Maximum height ² (feet)	6	—	7	7	—	7	7
Minimum setback ³ (feet)	5	—	5	5	—	5	5
Illumination permitted	No	—	Yes	Yes	—	Yes	Yes

NOTES:

¹ Signs shall be so located so that the sign face is parallel to the street.

² Measured from the elevation of the ground at the center of the sign to the topmost edge of the sign.

³ Measured from the nearest edge of the sign to the front or side lot line.

Table 44.9B: Pedestal Signs

Pedestal sign: A sign not attached to any building or structure supported by one or two columns or posts with a distance exceeding seven feet from the ground and the bottommost edge of the sign.

Requirement	Zoning Districts						
	R	GC	NC	VC	GM	VM	OS
Number permitted ¹	-	1 per lot	-	-	1 per lot	-	-
Maximum area (square feet)	-	32	-	-	32	-	-
Maximum height ² (feet)	-	15	-	-	15	-	-

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Minimum setback ³ (feet)	-	10	-	-	10	-	-
Illumination permitted	-	Yes	-	-	Yes	-	-

NOTES:

¹ Signs shall be so located so that the sign face is parallel to the street.

² Measured from the elevation of the ground at the center of the sign to the topmost edge of the sign.

³ Measured from the nearest edge of the sign to the front or side lot line.

Table 44.9C: Wall Signs

Wall sign: Any sign fastened to a building or structure that does not project more than 12 inches from the facade.

Requirement	Zoning Districts						
	R	GC	NC	VC	GM	VM	OS
Number permitted	1 per structure	1 per facade					
Maximum area ¹	6 square feet	12%	10%	10%	12%	10%	10%

Table 44.9C: Wall Signs**Wall sign:** Any sign fastened to a building or structure that does not project more than 12 inches from the facade.

Requirement	Zoning Districts						
	R	GC	NC	VC	GM	VM	OS
Maximum height (feet)	2	5	4	4	5	4	4
Illumination permitted ²	No	Yes	Yes	Yes	Yes	Yes	No

NOTES:

¹ Unless otherwise noted, the maximum area of a sign shall be measured as a percentage of the facade upon which it is to be located.

² Any sign located on a facade facing a residential district or use shall not be illuminated.

Table 44.9D: Projecting Signs**Projecting sign:** A sign wholly or partly dependent upon a building or structure for support which projects more than 12 inches, but less than 36 inches from the facade.

Requirement	Zoning Districts						
	R	GC	NC	VC	GM	VM	OS
Number permitted	-	1 per use	1 per use	1 per use	-	1 per use	-
Maximum area (square feet)	-	8	6	6	-	6	-
Maximum height (feet)	-	3	2	2	-	2	-
Minimum clearance ¹ (feet)	-	8	8	8	-	8	-
Illumination permitted	-	Yes	Yes	Yes	-	Yes	-

NOTE:

¹ Measured from the elevation of the ground directly beneath the center of the sign to the bottommost edge of the sign.

Table 44.9E: Suspended Signs**Suspended sign:** A sign attached to and supported by the underside of a horizontal plane.

Requirement	Zoning Districts						
	R	GC	NC	VC	GM	VM	OS
Number permitted	-	1 per use	1 per use	1 per use	-	-	-
Maximum area (square feet)	-	8	6	6	-	-	-
Maximum height (feet)	-	3	2	2	-	-	-
Minimum clearance ¹ (feet)	-	8	8	8	-	-	-
Illumination permitted	-	No	No	No	-	-	-

NOTE:

¹ Measured from the elevation of the ground directly beneath the center of the sign to the bottommost edge of the sign.

Table 44.9F: Awning Signs

Awning sign: A sign that is part of or attached to an awning, canopy, or other fabric, plastic, or structural protective cover over a door, entrance, window, or outdoor area.

Requirement	Zoning Districts						
	R	GC	NC	VC	GM	VM	OS
Number permitted ¹	-	1 per awning	-				
Maximum height (inches)	-	6	6	6	6	6	-
Minimum clearance ² (feet)	-	8	8	8	8-	8	-
Illumination permitted	-	No	No	No	No	No	-

NOTES:

¹ Said sign shall only be permitted on the bottommost edge of the canvas, fabric, or other material to which it is applied, often referred to as the valence.

² Measured from the elevation of the ground directly beneath the center of the awning to the bottommost edge of the awning.

Table 44.9G: Window Signs

Window sign: A sign which is applied or attached to the exterior or interior of a window or is installed inside of a window within 12 inches of the window through which it can be seen.

Requirement	Zoning Districts						
	R	GC	NC	VC	GM	VM	OS
Number permitted	-	Any	Any	Any	Any	Any	-
Maximum Area ¹	-	20%	15%	15%	20%	15%	-
Illumination permitted	-	No	No	No	No	No	-

NOTES:

¹ The maximum area of a sign shall be determined by the percentage of window area covered.

Table 44.9H: Sandwich Board Signs

Sandwich board sign: A freestanding sign that is comprised of two sign faces diverging at a 45-degree angle from their adjoined edge.

Requirement	Zoning Districts						
	R	GC	NC	VC	GM	VM	OS
Number permitted ¹	1 per use	1 per use	1 per use	1 per use	1 per use	1 per use	1 per use
Maximum area (square feet)	6	6	6	6	6	6	6
Maximum height (feet)	4	4	4	4	4	4	4
Illumination permitted	No	No	No	No	No	No	No

NOTE:

¹ Sign must be brought in each day at the close of business.

Table 44.9I: Temporary Signs

Temporary sign: A sign which is not intended to be used for a period of time exceeding 30 days and is not attached to a building, structure, or the ground in a permanent manner.

Requirement	Zoning Districts						
	R	GC	NC	VC	GM	VM	OS
Number permitted ¹	1 per use	1 per use	1 per use	1 per use	1 per use	1 per use	1 per use
Maximum area (square feet)	12	32	32	32	32	32	32
Maximum height (feet)	3	4	4	4	4	4	4
Illumination permitted	No	No	No	No	No	No	No
Maximum display time ²	30 days	30 days	30 days	30 days	30 days	30 days	30 days

NOTES:

¹ Temporary signs shall not be included in the count of total allotted signage for any lot or use.

² Maximum display time shall be limited to any given ninety-day period.