

AGENDA
Village Board of East Aurora
July 21, 2025, Regular Meeting at 7 pm

1. CALL MEETING TO ORDER

- A. Pledge of Allegiance
- B. Roll Call
- C. Approval of Minutes of Village Board Meeting for July 7, 2025
- D. Approve the payment of the abstract for July 21, 2025, for the 2025/2026 fiscal year with a total of \$ 65,423.65

2. SPEAKERS & COMMUNICATIONS (I)

3. PUBLIC HEARINGS

- A. Consider a Local Law regulating the use of Electric/motorized scooters and bikes.
- B. Consider a Local Law to amend §285-44 Sign Regulations.

4. OFFICIAL CONSIDERATIONS

- A. Approve a Local Law regulating the use of electric/motorized scooters and bikes.
- B. Set a work session to review Local Law to amend §285-44 Sign Regulations. Date & time
- C. Set a Public Hearing for August 4, 2025, to consider a Site Plan Application to relocate an existing exterior door on the west side of Starbucks to the north to accommodate the tenant layout and landscaping at the ingress/egresses on Grey Street.
- D. Approve Budget Modifications for the 2025/2026 fiscal year
- E. Approve Trident as the Village's general liability insurance package for the period August 1, 2025, to July 31, 2026, at a premium of \$210,361.58 and permission for Shane Krieger, Village Administrator, to sign all binding documents.
- F. Award the Bid for Police Vehicles to Delacy Ford Inc. 3061 Transit Rd., for a 2024 Police SUV and a 2025 Police Pick up - \$98,127.00
- G. Approve a Temporary Use permit for the Toytown Car Show - Bill Lewis, East Aurora American Legion, August 24, 2025, from 8 am – 5 pm
- H. Approve a Hamlin Park Temporary Use Permit for East Aurora Little Loop – Brandon Emmick for various dates from July 28, 2025, to November 15, 2025, 8 am-5 pm.
- I. Appoint Christopher Miller to the Village Tree Board for a term set to expire the first Monday in April 2028
- J. Declare surplus property for two DPW 2015 International Trucks to be auctioned
- K. Permission for the Code enforcement department to pursue judicial intervention regarding Village code 246-2 Abandoned Vehicles -Sean Heimburg -168 Center Street

5. NEW BUSINESS

6. OLD BUSINESS

- A. The \$7,000 Lorigo grant can go toward repairing the current playset. Jeff was able to source the replacement parts for just over \$7,000. DPW to do the labor.

7. SPEAKERS & COMMUNICATIONS (II)

8. DEPARTMENT HEAD REPORT

9. ADJOURNMENT

VILLAGE OF EAST AURORA VILLAGE BOARD MEETING

July 07, 2025 - 7:00 PM

Present:

Deputy Mayor Scheer
Trustee Lazickas
Trustee Cameron
Trustee Viger
Trustee Rabey

Absent:

Trustee Flynn
Mayor Mercurio

Also Present:

Maureen Jerackas, Village Clerk-Treasurer
Shane Krieger, Village Administrator
Patrick Welch, Police Chief
Jeff Stoll, General Foreman
Chris Trapp, Village Attorney
Rich Miga, Assistant Code Enforcement Officer
17 Members of the public

A Motion by Trustee Rabey to approve the Village Board minutes for June 16, 2025, seconded by Trustee Cameron and carried with unanimous approval.

Trustee Lazickas moved to approve the payment of May 31, 2025, abstract 2024/2025 fiscal year for a total of \$12,717.67, seconded by Trustee Viger, and carried with unanimous approval.

Trustee Viger moved to approve the payment of July 7, 2025, abstract 2025/2026 fiscal year for a total of \$411,156.70, seconded by Trustee Rabey, and carried with unanimous approval.

SPEAKERS AND COMMUNICATIONS (I)

- Sue DePrice- She said that she is excited that a professor at Cornell is doing a study on how a Village Board and a community can work together to protect trees and including East Aurora in that.
- Holly Maciejewski- 218 Center St- She is also excited about the Cornell study.

PUBLIC HEARINGS

- A Motion by Trustee Lazickas, to open the Public Hearing at 7:06pm to Consider a Local Law regulating the use of Electric/motorized scooters and bikes, seconded by Trustee Cameron and carried with unanimous approval.
 - Village Attorney Trapp reviewed the history of this law and that the reason for the legislation is to address issues all over the County.
 - Adam Hansen- 204 Hamlin- He spoke about bike safety and cited NYS Law Title 7 Article 34-C. He spoke about how people need to be better educated and how the reckless driving of e-bikes, especially by minors, needs to be addressed by police. He spoke about the open the door lane not being a bike lane and it confuses many people.
 - Ted Sincotty- Co-Owner of Kicks and Culture Bike Shop on Main Street- He spoke about bike safety on Main Street and not having a bike lane. He also talked about people not following the

law already and that more enforcement is needed. He doesn't want safe e-bike users to be hampered by more legislation from the Village.

- John Hams- Sycamore Street- He asked how to see the items on the agenda, Clerk-Treasurer Jerackas explained how to see the documents for each agenda item. He would like to be able to ride his Class 3 e-bike but is also concerned about bike safety and minors as well.
- Renee Terrant- Co-Owner Kicks and Culture Bike Shop on Main Street- She has seen an increase in e-bike sales and has also seen the problem with minors breaking the law when using them. She believes education and enforcement is key.
- Michelle Biella- 370 South Park- She agreed about making the Village a safer place for pedestrians and bikes. She also stated that including that in becoming a climate smart community could lead to funding.
- John Hams- Sycamore St- He stated that class 3 e-bikes are not in the law.
- Ted Sincott- He explained what class 3 e-bikes are.

The Public Hearing is left open- Police Chief Welch stated what the rules are and asked if the police can take the bikes if children don't follow them, Village Attorney Trapp said that he would look into that. Trustee Viger asked about what would happen if the children get a summons, Village Attorney Trapp said that its not in the law but that could happen.

- A Motion by Trustee Lazickas, to open the Public Hearing at 7:32 pm to Consider a Local Law to amend §285-44 Sign Regulations, seconded by Trustee Rabey and carried with unanimous approval.
 - Village Attorney Trapp said that he met with code two weeks ago and additional language was sent today, he stated that it is not ready for passing at the meeting tonight.
 - Rod Simone- Bayberry Court- He read the process for getting a sign and asked if that's correct, Village Attorney Trapp said yes. He said that he believes the code is working well and wants to know why we are changing it and believes that its too much oversight. Village Attorney Trapp responded that the code is not as clear as it should be.

The Public Hearing is left open.

OFFICIAL CONSIDERATIONS

- A motion by Trustee Lazickas, to Set a public hearing for August 4, 2025 to consider an application for a permit to keep other than household pets for Holly Kahler, 357 Mill Road, 6 hens, seconded by Trustee Viger, and unanimously approved.
 - Clerk-Treasurer Jerackas said that the applicant chose to do the public hearing and was aware of the non hearing option.
- A motion by Trustee Rabey, to Approve a peddler solicitor permit for Michael Yohe to operate a horse-drawn carriage, seconded by Trustee Lazickas, and unanimously approved.
- A motion by Trustee Viger, to Refer to the Planning Commission August 6th, a Site Plan application for proposed construction of an addition to the existing commercial building at 400 Quaker Road with expansion of the parking lot and stormwater measures, seconded by Trustee Cameron, and unanimously approved.
- A motion by Trustee Lazickas, to Approve a Temporary Use Permit for Aurora Ice Association, Scott More, September 20, 2025, 11 am-1 pm, for their end-of-summer classic 5K, seconded by Trustee Rabey, and unanimously approved.
- A motion by Trustee Viger, to Approve a Temporary Use Permit for Tin Can Tourist Camper Rally, Dawn Hoeh, Saturday, August 9, 2025 11 am-2 pm, seconded by Trustee Lazickas, and unanimously approved.

- A motion by Trustee Lazickas, to Approve Mark Goergen and family of 482 Fillmore Avenue to reside in their trailer starting August 2, 2025 for a period up to 12 weeks while their home is being renovated, seconded by Trustee Cameron, and unanimously approved.
- A motion by Trustee Rabey, to Approve budget adjustments for the 2024/25 fiscal year, seconded by Trustee Cameron and unanimously approved.

Budget Transfers	2024-2025				
FROM			TO		
A.5.1325.0420	Village Admin-Maint Contract	\$ 200.00	A.5.1325.0410	Village Admin- Legal Notices and Adv	\$ 200.00
A.5.1420.0420	Village Atty- Code Exp	\$ 400.00	A.5.1420.0110	Village Atty- Salaries and Wages	\$ 400.00
A.5.9060.0805	Hospital & Med Insurance	\$14,000.00	A.5.1420.0411	Village Atty-Other Legal Counsel	\$ 14,000.00
A.5.1490.0403	Public Works Admin- Office Sup	\$ 350.00	A.5.1490.0434	Public Works Admin- Telephone	\$ 350.00
A.5.1640.0110	Central Garage- Salaries & Wage	\$ 5,200.00	A.5.1620.0110	Buildings- Salaries & Wages	\$ 5,200.00
A.5.1640.0110	Central Garage- Salaries & Wage	\$ 1,700.00	A.5.1620.0420	Buildings- Maint & Repairs	\$ 1,700.00
A.5.1640.0110	Central Garage- Salaries & Wage	\$ 1,400.00	A.5.1620.0126	Buildings- Def Comp	\$ 1,400.00
A.5.1640.0126	Central Garage- Def Comp	\$ 321.00	A.5.1640.0140	Central Garage- Overtime	\$ 321.00
A.5.1640.0432	Central Garage- Gas	\$ 310.00	A.5.1640.0431	Central Garage- Electric	\$ 310.00
A.5.3120.0126	Police Dept- Def Comp	\$ 5,000.00	A.5.3420.0110	Police & Fire Disptach- Salaries	\$ 5,000.00
A.5.3420.0126	Police & Fire Dispatch- Def Comp	\$ 8,550.00	A.5.3420.0110	Police & Fire Disptach- Salaries	\$ 8,550.00
A.5.3420.0130	Police & Fire Dispatch- PT & Temp	\$11,000.00	A.5.3420.0110	Police & Fire Disptach- Salaries	\$ 11,000.00
A.5.3420.0140	Police & Fire Dispatch- OT	\$ 6,000.00	A.5.3420.0110	Police & Fire Disptach- Salaries	\$ 6,000.00
A.5.1640.0460	Central Garage- Vehicles & Maint	\$ 5,000.00	A.5.5110.0110	Street Maint- Salaries & Wages	\$ 5,000.00
A.5.1490.0110	Public Works Admin- Salaries	\$ 6,200.00	A.5.5110.0126	Street Maint- Def Comp	\$ 6,200.00
A.5.5112.0200	Chips Street Improv- Street Improv	\$ 9,000.00	A.5.5182.0431	Street Lighting- Electric	\$ 9,000.00
A.5.5110.0420	Street Maint- Road Maint	\$ 4,000.00	A.5.5182.0431	Street Lighting- Electric	\$ 4,000.00
A.5.8160.0140	Refuse and Garbage- OT	\$ 1,400.00	A.5.8160.0410	Refuse and Garbage	\$ 1,400.00
a.5.8140.0430	Storm Sewers- MS4 Fees	\$ 200.00	A.5.8160.0410	Refuse and Garbage	\$ 200.00
A.5.9060.0806	Hospital & Med- Retirees	\$ 1,000.00	A.5.9061.0802	Dental Ins- Dental Ins	\$ 1,000.00
A.5.9060.0806	Hospital & Med- Retirees	\$ 400.00	A.5.9025.0800	Fire Incentive- Fire Incentive	\$ 400.00
A.5.9060.0806	Hospital & Med- Retirees	\$ 270.00	A.5.9045.0803	Life Ins-Life Ins	\$ 270.00
A.5.9060.0806	Hospital & Med- Retirees	\$ 180.00	A.5.9045.0804	Life Ins- Life Ins-Retirees	\$ 180.00
F.5.8340.0110	Transfs & Dist- Salaries & Wages	\$ 5,700.00	F.5.1910.0410	Unallocated Ins- General Liability	\$ 5,700.00
F.5.8340.0110	Transfs & Dist- Salaries & Wages	\$ 600.00	F.5.8310.0110	Water Admin- Salaries & Wages	\$ 600.00
F.5.8340.0110	Transfs & Dist- Salaries & Wages	\$ 1,400.00	F.5.8340.0126	Transfs & Dist- Def Comp	\$ 1,400.00
F.5.8340.0110	Transfs & Dist- Salaries & Wages	\$ 1,100.00	F.5.8340.0200	Transfs & Dist- Equipt	\$ 1,100.00
F.5.9060.0805	Hospital & Med Ins- Health Ins	\$21,000.00	F.5.9060.0806	Hospital & Med Ins- Retirees	\$ 21,000.00

- A motion by Trustee Cameron, to Permission for the Fire Department to use the fire apparatus on hot days as a sprinkler when they see fit on both village property and non-village property, but not residential property, for the 2025 calendar year, seconded by Trustee Viger, and unanimously approved with Trustee Viger Abstaining.
- A motion by Trustee Cameron, to Permission for the Mayor to sign a certificate of incorporation for the social club of the village fire department, which will be known as the Village of East Aurora Volunteer Fire Department, seconded by Trustee Viger, and unanimously approved with Trustee Viger Abstaining.
 - Trustee Lazickas asked what this is about. Fire Chief Denz responded saying the companies found out that they were not incorporated and needed to get updated to be a 501C3. Trustee Lazickas asked if this changes the Village's role with the fire company. Village Attorney Trapp explained that nothing changes.
- A motion by Trustee Rabey, to Permission for the Village Administrator to request on behalf of the Village Board that Erie County do a study of the traffic at Pine and Filmore to see if it warrants a stop

sign and crosswalk, once the construction is complete, seconded by Trustee Lazickas, and unanimously approved.

- Trustee Viger asked about a traffic study for Porterville and Pine. Village Administrator Krieger said they already did one but he can ask for an update.

- RESOLUTION

July 7, 2025

DECLARE SURPLUS PROPERTY

Trustee Viger offered the following resolution and moved for its adoption:

BE IT RESOLVED, the Department of Public Works has a 2024 S64 T4 Bobcat Skid Steer Loader (Number B4SC29409) for surplus property and is due to be traded in for the purchase of a new vehicle in the next 90 days.

BE IT RESOLVED, the Department of Public Works has a 2024 T450 V2 Bobcat Compact Track Loader (Number B4RG14359) for surplus property and is due to be traded in for the purchase of a new vehicle in the next 90 days.

BE IT RESOLVED, the Department of Public Works has a 2024 E35 25HP R2-Series Bobcat Compact Excavator (Number B57918363) for surplus property and is due to be traded in for the purchase of a new vehicle in the next 90 days.

BE IT RESOLVED, the Department of Public Works has a 2024 UV34 Gas Utility Vehicle (Number B53650149) for surplus property and is due to be traded in for the purchase of a new vehicle in the next 90 days.

The foregoing resolution was seconded by Trustee Cameron and unanimously approved.

- Trustee Lazickas asked how many hours on this equipment, General Foreman Stoll stated that its normally 300-400 hours. Trustee Lazickas asked if it would be better if we hold on to it for two years, General Foreman Stoll was looking into other brands but ran out of time before the budget.
- A motion by Trustee Rabey, for Permission to approve the purchase of Bobcat S64 Skid Steer Loader, T450 Compact Track Loader, E35 Compact Excavator, UV34 Utility Vehicle with contract pricing, and trade allowances for a total of \$40,562.09, seconded by Trustee Lazickas, and unanimously approved.
- A motion by Trustee Lazickas, to Approve a Temporary Use Permit for Bobby Gott to do a commercial shoot on July 16, 2025, at noon, seconded by Trustee Cameron, and unanimously approved.
 - Clerk Treasurer Jerackas said that she is considering this an event because they are closing down a road for a commercial. Trustee Lazickas asked what is the cost, she said the DPW just needs to put up barriers.
- A motion by Trustee Rabey, to Approve a settlement agreement with Benderson Development with respect to the ZBA decision involving a property known as 123 Grey Street & 160-190 Main, seconded by Trustee Lazickas and unanimously approved.
 - Village Attorney Trapp explained about this agreement about internally lit signs.

NEW BUSINESS

- **30 Day Liquor License** – 277 Main Street, Poked Yolk EA
 - The Village Board has no opposition.
- **0 Pine Street mini subdivision**– The Planning Commission is asking the village board to refer this application to the safety committee due to a concern about traffic in the area.

OLD BUSINESS

- **Playground equipment**- Trustee Scheer said that they are looking to fix the existing equipment and General Foreman Stoll has a quote for 7,000 dollars for all the parts needed. Trustee Lazickas asked if we could use the Lorigo grant to cover the cost. Clerk-Treasurer Jerackas said that they can ask. Village Administrator Krieger will contact Lorigo's office to ask if they money can be used to fix the large piece of equipment.
- **Updating the Hamlin Park master plan discussion**- Trustee Scheer said that the Hamlin Park Committee would like to update the master plan and come up with something to vote on. Clerk-Treasurer Jerackas stated that if its not in the plan, she cannot get grant money for it and asked the Village Board to review what they have so far. Trustee Cameron asked about maybe having an online survey for big updates to the plan. Clerk-Treasurer Jerackas said it should only be minor updates.
- **Tree code update – set public hearing when wording for the local law is ready**- Village Attorney Trapp gave an update on the Tree Code update. Clerk-Treasurer Jerackas said that they needed wording correct before setting the public hearing. Village Attorney Trapp said that he received updates from the Tree Board. Trustee Viger asked if the updated code will be sent to the Village Tree Board, Village Attorney Trapp said yes. Village Administrator Krieger stated there was an issue with the emergency wording. Trustee Viger asked about a work session on July 14th.
- A motion by Trustee Viger, to set a work session on July 14, 2025 at 7pm for changes in the tree code, seconded by Trustee Lazickas and unanimously approved.
- A motion by Trustee Rabey, to set a Public Hearing for August 4, 2025 to Amend Chapter 240, seconded by Trustee Lazickas and unanimously approved.
- **Park Place Road reconstruction update**- General Foreman Stoll reviewed the project, he said it was going to be 290,000 for the full re-construction. Trustee Scheer asked how soon they can start, General Foreman Stoll said that they are ready but waiting on approval for the water lines to order them, he said hopefully by September. Clerk-Treasurer Jerackas said a budget adjustment would have to be made at the next Village Board meeting. Trustee Cameron asked about the water budget, Clerk-Treasurer Jerackas stated that there was enough in the fund balance.

SPEAKERS AND COMMUNICATIONS (I)

- **Jesse Griffis**-He requested that coverage for trees be included in the Hamlin Park Master Plan and thanked the Village Board for scheduling a work session.
- **Steve Dennis**- 184 Pine- He has concerns about Pine Street and traffic
- **Jennifer Brazil**- 115 Blake Hill Road- She asked why everything is taking so long, Village Attorney Trapp explained the Local Law process.
- **Holly Machiewski**- 218 Center- She also wondered why it is taking so long. Village Administrator Krieger said that they want to get it right, Trustee Cameron said that this is moving very fast compared to other laws, Clerk-Treasurer Jerackas said that we have only had this for two weeks and Village Attorney Trapp further explained the Local Law process.
- **George Degluck**- Pine Street- He has concerns over accidents on Pine and Portville with the new development coming in.
- **Ashley Curry- Tree Board Member**-She said that she wants more communication.

Department Head and Trustee Reports

General Foreman – He said that his guys have been out paving, working on sidewalks and taking out tree stumps left by Go Net Speed.

Police Chief – He said that the police department went to taser training and their semi annual firearms training. He said the July 3rd festivities went well.

Fire Chief- none

Code Enforcement – none

Village Administrator- He said that he is still working on setting up a Heart of Music Festival review meeting

Clerk Treasurer- She said the office is taking taxes and water bills. She spoke about the new online water billing system and being able to get texts. She said we are working on yearend close out and the garbage bids

Trustee Viger- She asked if we can put up a speed camera on Pine, Police Chief Welch said that he will put it on the list. She also attended the taser training She also asked for all big code changes to have a work session.

A motion by Trustee Viger, to set a Work Session on July 21, 2025 at 6pm for e-bike code update, seconded by Trustee Lazickas and unanimously approved.

Trustee Rabey- none

Trustee Cameron- none

Deputy Mayor Scheer- none

A motion by Trustee Viger to adjourn at 8:45 p.m. was seconded by Trustee Lazickas and unanimously approved.

Respectfully submitted,

Maureen Jerackas

Village Clerk-Treasurer



Village of East Aurora, NY

Expense Approval Report 7.21.25

By Vendor Name

Payable Dates 7/21/2025 - 7/21/2025 Post Dates 7/21/2025 - 7/21/2025

Payable Number	Vendor Name	Payable Date	Description (Item)	Account Number	Account Name	Purchase Order Number	Amount
Vendor: 10032 - ADMAR SUPPLY CO.,INC.							
BU2100041/BU2100170	ADMAR SUPPLY CO.,INC.	07/21/2025	road cut supplies- water dept	F.5.8340.0470	TRANSFS & DIST - SUPPLIES &..		2,780.00
Vendor 10032 - ADMAR SUPPLY CO.,INC. Total:							2,780.00
Vendor: 10033 - ADVANCED ALARM							
0104277	ADVANCED ALARM	07/21/2025	DMP Door Access Fee	A.5.3120.0420	POLICE DEPT - MAINT. SERVI...		360.00
0104277	ADVANCED ALARM	07/21/2025	DMP Door Access Fee	A.5.3420.0420	POLICE & FIRE DISPATCH - M...		360.00
Vendor 10033 - ADVANCED ALARM Total:							720.00
Vendor: 10053 - ALTEC INDUSTRIES, INC.							
51716179	ALTEC INDUSTRIES, INC.	07/21/2025	yearly aerial inspection for DPW #519	A.5.1640.0460	CENTRAL GARAGE - VEHICLE...		1,699.20
Vendor 10053 - ALTEC INDUSTRIES, INC. Total:							1,699.20
Vendor: 10054 - Amazon							
1G7R-GW1G-3XLH	Amazon	07/21/2025	VEA OFFICE SUPPLIES	A.5.1325.0403	VILLAGE ADMIN - OFFICE SU...		97.73
Vendor 10054 - Amazon Total:							97.73
Vendor: 10130 - BARTON & LOGUIDICE							
152906	BARTON & LOGUIDICE	07/21/2025	DPW Garage Roof Replacement Project	H.5.1620.0042	DPW Roof Upper	2026000044	3,270.00
Vendor 10130 - BARTON & LOGUIDICE Total:							3,270.00
Vendor: 10176 - Brian Parisi Copier Systems, Inc.							
IN153608	Brian Parisi Copier Systems, Inc.	07/21/2025	Toner shipping	A.5.3120.0420	POLICE DEPT - MAINT. SERVI...		8.00
IN153608	Brian Parisi Copier Systems, Inc.	07/21/2025	Toner shipping	A.5.3420.0420	POLICE & FIRE DISPATCH - M...		8.00
Vendor 10176 - Brian Parisi Copier Systems, Inc. Total:							16.00
Vendor: 10215 - CARDIAC LIFE PRODUCTS, INC.							
2026000040	CARDIAC LIFE PRODUCTS, INC.	07/21/2025	G3 Adult Electrodes	A.5.3120.0470	POLICE DEPT - DEPTAL SUPPL...	2026000040	108.04
Vendor 10215 - CARDIAC LIFE PRODUCTS, INC. Total:							108.04
Vendor: 10229 - Charter Communications							
142218801070125	Charter Communications	07/21/2025	SPECTRUM 400 PINE ST ACCT 142 JULY 2025	A.5.1480.0410	PUBINFO SVCS-PUB INFO SUP..		160.00
Vendor 10229 - Charter Communications Total:							160.00
Vendor: 10240 - CINTAS CORPORATION							
5278980806	CINTAS CORPORATION	07/21/2025	First aid supplies for PD/Disp 7/3/25	A.5.3120.0420	POLICE DEPT - MAINT. SERVI...		142.68

Expense Approval Report 7.21.25

Payable Number	Vendor Name	Payable Date	Description (Item)	Account Number	Payable Dates: 7/21/2025 - 7/21/2025	Post Dates: 7/21/2025 - 7/21/2025	Account Name	Purchase Order Number	Amount
5278980806	CINTAS CORPORATION	07/21/2025	First aid supplies for PD/Disp 7/3/25	A.5.3420.0420			POLICE & FIRE DISPATCH - M...		142.68
Vendor 10240 - CINTAS CORPORATION Total:									285.36
Vendor: 10248 - CLEAN MD COMMERCIAL CLEANING INC.									
18281	CLEAN MD COMMERCIAL CLEANING INC.	07/21/2025	monthly EAFD cleaning	A.5.3410.0470			FIRE DEPT - JANITORIAL SUPP...		698.14
Vendor 10248 - CLEAN MD COMMERCIAL CLEANING INC. Total:									698.14
Vendor: 10286 - COUNTY LINE STONE									
16543	COUNTY LINE STONE	07/21/2025	Hot Patch/Stone	A.5.5110.0420			STREET MAINT - ROAD MATE... 2026000015		1,731.77
Vendor 10286 - COUNTY LINE STONE Total:									1,731.77
Vendor: 10357 - EAST AURORA ADVERTISER									
JUNE 2025 LEGAL NOTICES	EAST AURORA ADVERTISER	07/21/2025	JUNE 2025 LEGAL NOTICES	A.5.1325.0410			VILLAGE ADMIN - LEGAL NOT...		101.64
Vendor 10357 - EAST AURORA ADVERTISER Total:									101.64
Vendor: 11331 - Eden Pipe Corporation									
2026000032	Eden Pipe Corporation	07/21/2025	CHURCH STREET WATE...	F.5.8340.0470			TRANSFS & DIST - SUPPLIES &.. 2026000032		4,296.60
Vendor 11331 - Eden Pipe Corporation Total:									4,296.60
Vendor: 10403 - ERIE COUNTY COMPTROLLER									
2025000325-R1	ERIE COUNTY COMPTROLLER	07/21/2025	signage from EC sign shop	A.5.5110.0420			STREET MAINT - ROAD MATE... 2025000325-R1		168.00
Vendor 10403 - ERIE COUNTY COMPTROLLER Total:									168.00
Vendor: 10436 - Firematic Supply Co. Inc.									
INSCV10815	Firematic Supply Co. Inc.	07/21/2025	boots	A.5.3410.0200			FIRE DEPT - EQUIP 2025000301-R1		3,075.48
Vendor 10436 - Firematic Supply Co. Inc. Total:									3,075.48
Vendor: 10521 - GRECO TRAPP PLLC									
JULY 2025 SERVICES	GRECO TRAPP PLLC	07/21/2025	SERVICES FROM JOE TRAPP JULY 2025	A.5.1420.0410			VILLAGE ATTORNEY - CONTR...		500.00
JUNE 2025	GRECO TRAPP PLLC	07/21/2025	STATEMENT 32184	A.5.1420.0411			VILLAGE ATTORNEY - OTHER ...		354.74
JUNE 2025	GRECO TRAPP PLLC	07/21/2025	STATEMENT 32186	A.5.1420.0411			VILLAGE ATTORNEY - OTHER ...		500.00
JUNE 2025	GRECO TRAPP PLLC	07/21/2025	STATEMENT 32185	A.5.1420.0411			VILLAGE ATTORNEY - OTHER ...		1,000.00
JUNE 2025	GRECO TRAPP PLLC	07/21/2025	STATEMENT 32187	A.5.1420.0411			VILLAGE ATTORNEY - OTHER ...		45.00
Vendor 10521 - GRECO TRAPP PLLC Total:									2,399.74
Vendor: 11333 - JEFF STOLL									
STUMP GRINDER TEETH - RE...	JEFF STOLL	07/21/2025	STUMP GRINDER TEETH	A.5.8560.0470			SHADE TREES - DEPARTMEN...		54.36
Vendor 11333 - JEFF STOLL Total:									54.36
Vendor: 10613 - JOHN SIXT & SON INC.									
2506-757989	JOHN SIXT & SON INC.	07/21/2025	lumber	A.5.5110.0420			STREET MAINT - ROAD MATE...		24.18
Vendor 10613 - JOHN SIXT & SON INC. Total:									24.18
Vendor: 10689 - LINEAGE									
INV338673	LINEAGE	07/21/2025	Ink	A.5.1325.0403			VILLAGE ADMIN - OFFICE SU...		669.87
Vendor 10689 - LINEAGE Total:									669.87

Expense Approval Report 7.21.25

Payable Number	Vendor Name	Payable Date	Description (Item)	Account Number	Account Name	Purchase Order Number	Amount
Vendor: 10702 - LOWE'S							
997753/988245/991728	LOWE'S	07/21/2025	June charges	A.5.1620.0420	BUILDINGS - MAINT & REPAI...		455.96
997753/988245/991728	LOWE'S	07/21/2025	June charges	A.5.8510.0411	COMM ENV BEAUTIFICATION...		258.80
					Vendor 10702 - LOWE'S Total:		714.76
Vendor: 10726 - MARTYN PRINTING & GRAPHICS, INC.							
00039527	MARTYN PRINTING & GRAPHICS, INC.	07/21/2025	VEA ENVELOPES	A.5.1670.0403	CENTRAL PRINTING & MAILI...		172.00
					Vendor 10726 - MARTYN PRINTING & GRAPHICS, INC. Total:		172.00
Vendor: 10839 - NYS CONFERENCE OF MAYORS							
4733	NYS CONFERENCE OF MAYORS	07/21/2025	ANNUAL MEMBERSHIP DUES	A.5.1920.0440	MUNICIPAL ASSOCIATION D...		2,979.00
					Vendor 10839 - NYS CONFERENCE OF MAYORS Total:		2,979.00
Vendor: 10864 - NYSEG							
1001-3627-483 6/1-6/20/25	NYSEG	07/21/2025	ST LTG R3 6/1-6/20/25	A.5.5182.0431	STREET LIGHTING - ELECTRIC		5,828.40
1001-3627-491 6/1-6/20/25	NYSEG	07/21/2025	ST LTG R2 6/1-6/20/25	A.5.5182.0431	STREET LIGHTING - ELECTRIC		780.42
1001-7273-243 6/10-7/9/25	NYSEG	07/21/2025	NEAR GIRARD 6/10-7/9/25	A.5.5182.0431	STREET LIGHTING - ELECTRIC		37.50
1004-8515-430 6/10-7/9/25	NYSEG	07/21/2025	400 PINE ST SALT SHED 6/10-7/9/25	A.5.1640.0431	CENTRAL GARAGE - ELECTRIC		29.96
1005-3329-701 6/10-7/9/25	NYSEG	07/21/2025	S GROVE ST 6/10-7/9/25	A.5.7140.0431	PLAYGROUNDS & REC CTRS. -...		89.39
					Vendor 10864 - NYSEG Total:		6,765.67
Vendor: 10945 - Quadient Leasing							
Q1916585	Quadient Leasing	07/21/2025	COVERAGE 6/29 - 10/28/25	A.5.1670.0470	CENTRAL PRINTING & MAILI...		325.23
					Vendor 10945 - Quadient Leasing Total:		325.23
Vendor: 10944 - Quadient							
POSTAGE FEES JULY 7/2/25	Quadient	07/21/2025	POSTAGE FEES	A.5.1670.0470	CENTRAL PRINTING & MAILI...		3,000.00
					Vendor 10944 - Quadient Total:		3,000.00
Vendor: 11334 - RHETT KRIEGER							
MILEAGE REIMBURSEMENT	RHETT KRIEGER	07/21/2025	MILEAGE	A.5.5110.0110	STREET MAINT - SALARIES &...		104.30
					Vendor 11334 - RHETT KRIEGER Total:		104.30
Vendor: 11020 - SAIA COMMUNICATIONS, INC.							
inv821000292	SAIA COMMUNICATIONS, INC.	07/21/2025	EAFD- 6 minitors	A.5.3410.0420	FIRE DEPT - DEPT SUPPLIES		2,347.80
					Vendor 11020 - SAIA COMMUNICATIONS, INC. Total:		2,347.80
Vendor: 11033 - Schroder, Joseph & Associates, LLP							
26562	Schroder, Joseph & Associates, LLP	07/21/2025	SERVICES FOR JUNE 2025	A.5.1420.0411	VILLAGE ATTORNEY - OTHER ...		592.25
					Vendor 11033 - Schroder, Joseph & Associates, LLP Total:		592.25
Vendor: 11052 - SEWING TECHNOLOGY UNIFORM							
49860	SEWING TECHNOLOGY UNIFORM	07/21/2025	Ohara ERT Shirt, mag pouch, belt	A.5.3120.0480	POLICE DEPT - UNIFORMS, B...		193.00
					Vendor 11052 - SEWING TECHNOLOGY UNIFORM Total:		193.00

Expense Approval Report 7.21.25

Payable Dates: 7/21/2025 - 7/21/2025 Post Dates: 7/21/2025 - 7/21/2025

Payable Number	Vendor Name	Payable Date	Description (Item)	Account Number	Account Name	Purchase Order Number	Amount
Vendor: 11328 - Shellback Tactical LLC							
2026000039	Shellback Tactical LLC	07/21/2025	SBT-CLCIIIA-3.0-CMBDLXL Shellback Tactical Banshee	A.5.3120.0470	POLICE DEPT - DEPTAL SUPPL...	2026000039	219.99
2026000039	Shellback Tactical LLC	07/21/2025	SBT-BANELT3-LON-IIIP- RG- LXL Lon-III-P Plates	A.5.3120.0470	POLICE DEPT - DEPTAL SUPPL...	2026000039	815.99
Vendor 11328 - Shellback Tactical LLC Total:							1,035.98
Vendor: 11106 - SUIT-KOTE CORPORATION							
IN074518/IN073437	SUIT-KOTE CORPORATION	07/21/2025	asphalt grinding and tack coat-paving	A.5.5112.0200	CHIPS STREET IMPROVEMEN...		21,346.86
Vendor 11106 - SUIT-KOTE CORPORATION Total:							21,346.86
Vendor: 11185 - Tyler Technologies, Inc.							
2024000371-R1	Tyler Technologies, Inc.	07/21/2025	Tyler Technologies Inc.from 052424	A.5.1325.0400	VILLAGE ADMIN - OPERATING..	2024000371-R1	240.00
Vendor 11185 - Tyler Technologies, Inc. Total:							240.00
Vendor: 11187 - UDIG NY, INC							
25060912	UDIG NY, INC	07/21/2025	April-May-June 2025	F.5.8340.0440	TRANSFS & DIST - TRAINING, ...		35.00
Vendor 11187 - UDIG NY, INC Total:							35.00
Vendor: 11204 - University Emergency Medical Services, Inc.							
203040	University Emergency Medical Services, Inc.	07/21/2025	ANNUAL SERVICES - DR. JOSEPH BARTZ	A.5.3410.0440	FIRE DEPT - TRAINING, TRAV...		500.00
Vendor 11204 - University Emergency Medical Services, Inc. Total:							500.00
Vendor: 11225 - VERIZON WIRELESS							
6117617490	VERIZON WIRELESS	07/21/2025	716-344-7361 DPW GIS	A.5.1490.0434	PUBLIC WORKS ADMIN - TEL...		40.31
6117617490	VERIZON WIRELESS	07/21/2025	716-344-5189 PATRICK WELCH	A.5.3120.0434	POLICE DEPT - TELEPHONE		40.31
6117617490	VERIZON WIRELESS	07/21/2025	716-359-0911 DETECTIVE OFFICE	A.5.3120.0434	POLICE DEPT - TELEPHONE		40.31
6117617490	VERIZON WIRELESS	07/21/2025	716-913-1761 POLICE SUPERVISOR (LIETENANTS)	A.5.3120.0434	POLICE DEPT - TELEPHONE		40.31
6117617490	VERIZON WIRELESS	07/21/2025	716-256-0983 FIRE CHIEF MOBILE WIFI	A.5.3410.0434	FIRE DEPT - TELEPHONE		38.01
Vendor 11225 - VERIZON WIRELESS Total:							199.25
Vendor: 11226 - Verizon-Local Svc.							
MULTIPLE JULY 2025	Verizon-Local Svc.	07/21/2025	716-N73-1487 DATA PRIVATE LINE HALL AND DPW	A.5.1490.0434	PUBLIC WORKS ADMIN - TEL...		91.24
MULTIPLE JULY 2025	Verizon-Local Svc.	07/21/2025	716-N73-1438 RADIO TRANSMITTER POLICE TO BOCES	A.5.3120.0434	POLICE DEPT - TELEPHONE		165.49
MULTIPLE JULY 2025	Verizon-Local Svc.	07/21/2025	716-652-0893 ELEVATOR	A.5.3120.0434	POLICE DEPT - TELEPHONE		78.58
MULTIPLE JULY 2025	Verizon-Local Svc.	07/21/2025	716-652-0319 FIRE HALL ELEVATOR	A.5.3410.0434	FIRE DEPT - TELEPHONE		35.83
Vendor 11226 - Verizon-Local Svc. Total:							371.14

Expense Approval Report 7.21.25

					Payable Dates: 7/21/2025 - 7/21/2025 Post Dates: 7/21/2025 - 7/21/2025		
Payable Number	Vendor Name	Payable Date	Description (Item)	Account Number	Account Name	Purchase Order Number	Amount
Vendor: 11246 - VSP MARKETING GRAPHIC GROUP							
49493	VSP MARKETING GRAPHIC GROUP	07/21/2025	LOCKER NAMEPLATES	A.5.3410.0200	FIRE DEPT - EQUIP		275.00
Vendor 11246 - VSP MARKETING GRAPHIC GROUP Total:							275.00
Vendor: 11248 - W.B. MASON CO., INC.							
255371362, CM3857401	W.B. MASON CO., INC.	07/21/2025	Water 8 7/7/25	A.5.3120.0420	POLICE DEPT - MAINT. SERVI...		21.40
255371362, CM3857401	W.B. MASON CO., INC.	07/21/2025	Water 8 7/7/25	A.5.3420.0420	POLICE & FIRE DISPATCH - M...		21.40
Vendor 11248 - W.B. MASON CO., INC. Total:							42.80
Vendor: 11266 - WENDEL							
274428-8	WENDEL	07/21/2025	PROFESSIONAL SERVICES RENDERED THROUGH 6/29/25	A.5.1480.0410	PUBINFO SVCS-PUB INFO SUP..		265.00
Vendor 11266 - WENDEL Total:							265.00
Vendor: 11287 - WNYNETWORKS							
00006059	WNYNETWORKS	07/21/2025	IT SERVICES FOR JUNE 2025 - VEA	A.5.1480.0410	PUBINFO SVCS-PUB INFO SUP..		875.00
00006059	WNYNETWORKS	07/21/2025	IT SERVICES FOR JUNE 2025 - PD	A.5.3120.0420	POLICE DEPT - MAINT. SERVI...		687.50
Vendor 11287 - WNYNETWORKS Total:							1,562.50
Grand Total:							65,423.65

Report Summary

Fund Summary

Fund	Expense Amount
A - GENERAL FUND	55,042.05
F - ENTERPRISE WATER	7,111.60
H - CAPITAL PROJECT	3,270.00
Grand Total:	65,423.65

Account Summary

Account Number	Account Name	Expense Amount
A.5.1325.0400	VILLAGE ADMIN - OPER...	240.00
A.5.1325.0403	VILLAGE ADMIN - OFFICE...	767.60
A.5.1325.0410	VILLAGE ADMIN - LEGAL...	101.64
A.5.1420.0410	VILLAGE ATTORNEY - C...	500.00
A.5.1420.0411	VILLAGE ATTORNEY - OT...	2,491.99
A.5.1480.0410	PUBINFO SVCS-PUB INFO..	1,300.00
A.5.1490.0434	PUBLIC WORKS ADMIN -...	131.55
A.5.1620.0420	BUILDINGS - MAINT & R...	455.96
A.5.1640.0431	CENTRAL GARAGE - ELEC...	29.96
A.5.1640.0460	CENTRAL GARAGE - VEH...	1,699.20
A.5.1670.0403	CENTRAL PRINTING & M...	172.00
A.5.1670.0470	CENTRAL PRINTING & M...	3,325.23
A.5.1920.0440	MUNICIPAL ASSOCIATIO...	2,979.00
A.5.3120.0420	POLICE DEPT - MAINT. S...	1,219.58
A.5.3120.0434	POLICE DEPT - TELEPHO...	365.00
A.5.3120.0470	POLICE DEPT - DEPTAL S...	1,144.02
A.5.3120.0480	POLICE DEPT - UNIFORM...	193.00
A.5.3410.0200	FIRE DEPT - EQUIP	3,350.48
A.5.3410.0420	FIRE DEPT - DEPT SUPPLI...	2,347.80
A.5.3410.0434	FIRE DEPT - TELEPHONE	73.84
A.5.3410.0440	FIRE DEPT - TRAINING, T...	500.00
A.5.3410.0470	FIRE DEPT - JANITORIAL ...	698.14
A.5.3420.0420	POLICE & FIRE DISPATCH...	532.08
A.5.5110.0110	STREET MAINT - SALARIE...	104.30
A.5.5110.0420	STREET MAINT - ROAD ...	1,923.95
A.5.5112.0200	CHIPS STREET IMPROVE...	21,346.86
A.5.5182.0431	STREET LIGHTING - ELEC...	6,646.32
A.5.7140.0431	PLAYGROUNDS & REC C...	89.39
A.5.8510.0411	COMM ENV BEAUTIFICA...	258.80
A.5.8560.0470	SHADE TREES - DEPART...	54.36
F.5.8340.0440	TRANSFS & DIST - TRAIN...	35.00
F.5.8340.0470	TRANSFS & DIST - SUPPL...	7,076.60

Account Summary

Account Number	Account Name	Expense Amount
H.5.1620.0042	DPW Roof Upper	3,270.00
Grand Total:		65,423.65

Project Account Summary

Project Account Key	Expense Amount
None	65,423.65
Grand Total:	65,423.65

Authorization Signatures

***** Certificate of Financial Officer *****

I hereby certify that the attached Voucher Listing is complete and accurate to the best of my knowledge, and payment is hereby approved.

Signed:

Date:

Section 1 Legislative Intent

The Village finds and determines that the use of motorized scooters, electric scooters, and electric bicycles in public should be regulated as a matter of public health and safety as such operation pertains to the drivers of such devices, pedestrians, and also, users of our highways and streets. The use and operation of these devices also differs when they are for solely personal use as opposed to commercial operations. Regulation is also needed to control the proliferation of companies from simply leaving rental devices in areas of the Village not well suited for such devices which will detract from the picturesque community and village way of life. It is the intent of the Village that the use of these devices should be generally prohibited from use on the sidewalks, except in instances of proper and registered commercial operations, but not the public streets in the Village. Private personal use is also not generally prohibited on the streets of the Village provided that such operation is done safely and within the established rules of the road under the Vehicle and Traffic laws. Therefore, the purpose of this article is to reasonable regulations with regard to the use of motorized scooters, electric scooters, and electric bicycles in the Village of East Aurora.

Section 2 Definitions

ELECTRIC BICYCLE: Includes any bicycle as defined under New York State Vehicle and Traffic Law § 102-c, and more specifically, a bicycle which is not more than thirty six (36) inches wide; has an electric motor that is less than 750 watts; is equipped with operable pedals; and complies with the Consumer Product Safety Commission under 16 CFR 1512.1, et seq.

ELECTRIC SCOOTER: Includes any scooter as defined under New York State Vehicle and Traffic Law § 114-e as a device weighing less than one hundred (100) pounds; has handlebars; has a floorboard of a seat that the operator can stand or sit upon; has an electric motor; can be powered by the electric motor and/or human power; and has a maximum speed of 20 m.p.h. on a paved level surface when powered solely by the electric motor.

HIGHWAY: Includes any public way as defined by New York State Vehicle and Traffic Law § 118.

LANE OF TRAFFIC: That portion of the paved surfaces of a highway or street normally and customarily used for vehicular traffic, but excluding any marked bike path.

MOTORIZED SCOOTER: A skateboard or similar device with one, two or more wheels and an upright steering mechanism attached to the front wheel or wheels, upon which a person or persons may ride propelled by other than muscular power, except that it shall not include an electrically driven mobility assistance device or wheelchair as those devices are defined in New York State Vehicle and Traffic Law § 130-a, nor shall it include any low-speed vehicle as such is defined in New York State Vehicle and Traffic Law § 121-f.

MOTORIZED DEVICE: A skateboard with operates by means other than muscular power of the rider, single and/or double wheel transportation devices with or without handles shall be considered a motorized scooter for purposes of this Code.

PARKING AREA OF A SHOPPING CENTER: Includes those areas defined by New York State Vehicle and Traffic Law § 129-a.

PARKING LOT: Includes those areas defined by New York State Vehicle and Traffic Law § i29-b.

SIDEWALK: Includes those areas defined by New York State Vehicle and Traffic Law § 144.

STREET: Includes those areas defined by New York State Vehicle and Traffic Law § 148.

Section 3 Prohibition

Except as provided herein, no person shall operate a motorized scooter, electric scooter, or electric bicycle upon any sidewalk, **parking area of a shopping center, except as may be permitted by the shopping center for individuals who are immediate customers of same, or within the lane of traffic on any highway or street within the Village of East Aurora, if the following regulations are not strictly adhered to at all times.**

It shall be an exception to this local law with respect to the use of motorized scooters by disabled individuals who have properly obtained a permit from any local, state, or federal government or agency.

Section 4 Electric Bicycles

Electric bicycles that meet the above requirements are further classified as follows:

"Class one bicycle with electric assist" - A bicycle with electric assist having **an electric motor that provides assistance only when the person operating the bicycle is pedaling**, and that ceases to provide assistance when such bicycle reaches a speed of 20 m.p.h.;

"Class two bicycle with electric assist" - A bicycle with electric assist having **an electric motor that may be used exclusively to propel the bicycle**, and that is not capable of providing assistance when such bicycle reaches a speed of 20 m.p.h.;

Section 5 General Rules

Operators of electric scooters, motorized scooters, and electric bicycles must wear protective headgear and/or helmets at all times while operating such devices.

Operators of electric scooters, motorized scooters, and electric bicycles must be at least sixteen (16) years of age at the time of the operation of such devices anywhere on public land.

Except as set forth in section 6, electric scooters, motorized scooters, and electric bicycles are not permitted at any time on any public sidewalk within the Village of East Aurora.

Electric scooters, motorized scooters, and electric bicycles must, at all times, follow all local, State, and Federal Vehicle and Traffic laws, rules, and regulations when operating in the lane of traffic in the Village of East Aurora.

Electric scooters, motorized scooters, and electric bicycles are prohibited from exceeding 15 m.p.h. while operating in the Village.

Operators of electric scooters, motorized scooters, and electric bicycles must wear readily visible reflective clothing or other material while operating such device.

Operators of electric scooters, motorized scooters, and electric bicycles during the hours between thirty (30) minutes after sunset to thirty (30) minutes before sunrise must have lamps, lights and/or other reflective materials permanently affixed to the device which must be in full working order while the device is in operation.

All operators must also have permanently attached to their electric scooters, motorized scooters, and electric bicycles an audible warning device to alert pedestrians, drivers of motor vehicles, and bicycle riders of their presence in the event of an emergency.

Except as limited below with respect to Commercial Use, electric scooters, motorized scooters, and electric bicycles may not be parked on the public sidewalks unless appropriately placed within a bicycle rack that may be present. Same shall at no times be attached to any street signs, telephone and/or electric poles, or trees. At no time may electric scooters, motorized scooters, and electric bicycles be parked in a manner that interferes with pedestrian use of a sidewalk.

Electric scooters, motorized scooters, and electric bicycles must yield the right of way to pedestrians at all times.

Electric scooters, motorized scooters, and electric bicycles may only ride single file when on public streets and highways.

Electric scooters, motorized scooters, and electric bicycles shall not be operated by an individual in an impaired condition due to alcohol or drugs, whether prescription or otherwise.

Section 6 Commercial Use

Electric scooters, motorized scooters, and electric bicycles used for commercial use within the Village shall be registered with the Village Clerk prior to such use.

Electric scooters, motorized scooters, and electric bicycles used for commercial use within the Village may be operated for a limited time on the sidewalks of the Village when such operation is in the course and scope of the commercial operations, provided that the license has been obtained as set forth below.

Electric scooters, motorized scooters, and electric bicycles used for commercial use within the Village must yield the right of way to pedestrians.

Electric scooters, motorized scooters, and electric bicycles used for commercial use within the Village may be parked on the Village sidewalks for the sole purposes of loading and unloading.

Applications for a permit or certificate of registration shall contain the following information: name, proof of age, address, and electronic mail address of the person to be conducting the commercial activity; the name and address of the business or organization for which the permit or certificate of registration is sought; a brief description of the business or activity to be conducted; if employed, the name, address, electronic mail address, and telephone number of the employer; or if acting as an agent, the name, address, electronic mail address, and telephone number of the principal who is being represented, with credentials in written form

establishing the relationship and the authority of the employee or agent to act for the employer or principal, as the case may be; a statement as to whether or not the applicant has been convicted of a felony, misdemeanor or local law violation, the nature of the offense or violation, the penalty or punishment imposed, the date when and place where such offense occurred, and other pertinent details thereof; the type of device that will be used and its registration number, if any, and name and address of registrant together with the name and policy number of the insurance carrier covering the device; proof of possession of any license or permit which, under federal, state or local laws or regulations, the applicant is required to have in order to conduct the proposed business, or which, under any such law or regulation, would exempt the applicant from the licensing requirements of this article; two photographs of the applicant that shall have been taken within sixty (60) days immediately prior to the date of filing of the application. The photographs shall measure one (1) inch by two (2) inches and show the head and shoulders of the applicant in a clear and distinguishing manner; and such other information as may reasonably be required by the Board of Trustees as a condition to registration or permitting or to permit investigation into the applicant's background and past practices. The application shall be signed by the applicant and shall be accompanied by the fees established in the Village's fee schedule, as amended by the Board of Trustees from time to time. All applications shall be made at least twenty (20) days prior to conducting any activities requiring a permit.

Investigation, Approval or Disapproval.

A. The Village may conduct such background checks as the Village deems necessary and prudent. The following shall be grounds for denying a permit:

1. Failure of an applicant to truthfully provide any information requested by the Village as part of the application process.
2. The time of use would endanger the health, safety, and welfare of the public
3. Failure of the applicant to pay any required fee.
4. When an applicant has a bad business reputation. Evidence of a bad business reputation may include prior revocations of any permit or license, prior convictions for violation of any federal or state law or regulation or of any local ordinance, which adversely reflects upon the person's ability to conduct the business or other operation/activity for which the permit is being sought, or prior complaints with the Village, Better Business Bureau, state Attorney General, or other similar business or consumer rights office.
5. The applicant has been convicted of a felony, misdemeanor, or local law violation involving a sex offense, trafficking in controlled substances, or any violent acts

against persons or property, such conviction being entered within the five (5) years preceding the date of application.

6. The applicant is a person against whom a judgment based upon, or conviction for, fraud, deceit or misrepresentation has been entered within the five (5) years immediately preceding the date of application.

7. The applicant offers no proof of authority to serve as an agent.

8. The applicant has been denied a permit under this article within the immediate past year, unless the applicant can and does show to the satisfaction of the Clerk that the reasons for such earlier denial no longer exist.

9. Such other legitimate reason as may be determined by the Board of Trustees.

10. The Board of Trustees may also impose such conditions on any approval that shall be deemed reasonable and prudent by the Board.

B. In the event of any permit is not approved, the applicant shall have the right to present such evidence to the Board of Trustees with respect to such application within ten (10) calendar days of such disapproval.

Refusal of license or permit; appeal.

In the event that the Clerk shall refuse to issue a license or permit, the person who has been refused a license or permit may appeal to the Board of Trustees, who shall, upon a favorable majority vote, order the Village Clerk to issue a license or permit to the applicant.

Permit expiration.

All permits issued under the provisions of this article shall expire **on December 31st of each year** from the date of issuance, unless an earlier expiration date is noted on the permit.

Permit exhibition.

Every person required to obtain a permit under the provisions of this article shall exhibit the permit when requested to do so by any prospective customer or individual.

Transfer prohibited.

It shall be unlawful for any person other than the permit holder to use or wear any permit or badge issued under the provisions of this article.

Permit revocation.

Any permit issued under this article may be revoked or suspended by the Clerk, after notice for any of the following reasons:

- A. Fraud, misrepresentation or false statement contained in the application for a permit;
- B. Fraud, misrepresentation or false statement made by the permit holder in the course of conducting solicitation or peddling activities;
- C. Conducting peddling or solicitation activities contrary to the provisions of the permit;
- D. Conviction for any crime involving moral turpitude; or
- E. Conducting peddling or solicitation activities in such a manner as to create a public nuisance, constitute a breach of the peace or endanger the health, safety or general welfare of the public.

Notice and hearing.

Notice of a hearing for revocation of a permit issued under this article shall be provided in writing and shall set forth specifically the grounds for the proposed revocation and the time and place of the hearing. Notice shall be faxed, sent electronically, or mailed to the permit holder at the address shown on the permit application or at the last known address of the permit holder or by causing a copy of such notice to be personally delivered the applicant. In either case, the permit will be deemed revoked upon mailing or delivery of such notice.

Appeals.

1. Any person aggrieved by the action or decision of the Clerk to deny, suspend or revoke a permit applied for under the provisions of this article shall have the right to appeal such action or decision to the Mayor within fifteen (15) days after the notice of the action or decision has been mailed to the person's address as shown on the permit application form, or to his last known address.
2. An appeal shall be taken by filing with the Clerk a written statement setting forth the grounds for the appeal.
3. The Clerk shall transmit the written statement to the Mayor within ten (10) days of its receipt and the Mayor shall set a time and place for a hearing on the appeal.
4. A hearing shall be set not later than twenty (20) days from the date of

receipt of the appellant's written statement by the Mayor.

5. Notice of the time and place of the hearing shall be given to the appellant in the same manner as provided for the mailing of notice of action or decision.

6. The decision of the Mayor on the appeal shall be final and binding.

Where any business, trade or other entity for which a license is granted by the Village is or is about to become a nuisance or menace to the peace, comfort and health of the Village of East Aurora or its inhabitants, the Code Enforcement Officer shall have the right to immediately suspend such license or permit upon serving written notice to the holder of such license or permit or upon any person in charge of such business, trade or other entity, pending a decision by the Board of Trustees.

Section 7 Motorized and Electric Scooters and Electric Bicycles

Motorized and Electric Scooter and Electric Bicycle operators, in addition to the provisions above:

May not carry more than one person at one time;

May not carry any package, bundle or article which prevents the operator from keeping at least one hand upon the handle bars or which obstructs his or her vision in any direction;

May only operate on highways with a posted speed limit of 30 m.p.h. or less, including non-interstate public highways, private roads open to motor vehicle traffic, and designated bicycle or in-line skate lanes, except otherwise provided;

May not operate an electric scooter in excess of 15 m.p.h.;

Motorized and Electric scooter operators and/or Electric Bicycle operators may not attach their scooter, or himself or herself, to any vehicle being operated upon a roadway. Moreover, vehicle operators may not permit any person to attach any motorized or electric scooter, or himself or herself, to such operator's vehicle in violation of this section.

Section 8 Bicycle and Scooter Sharing Systems

In addition to the provisions set forth above, bicycle and scooter sharing systems shall be permitted in the Village subject to the reasonable conditions placed by the Board of Trustees as to their location and use and further provided that the operator of such system has registered and received a permit as set forth in section 6 above.

Furthermore, all trip data, personal information, images, videos, credit card information, and other recorded images collected by any share system must be for the exclusive use of such shared bicycle or shared electric scooter or shared bicycle with electric assist system and may not be sold, distributed, or otherwise made available for any commercial purpose and may not be disclosed or otherwise

made accessible except (i) to the person who is the subject of such data, information or record; or (ii) if necessary to comply with a lawful court order, judicial warrant, or subpoena for individual data, information or records properly issued pursuant to the criminal procedure law or the civil practice law and rules.

Section 9 Penalties

Violations of this Article shall be subject to a Fifty Dollar (\$50.00) fine for the first violation, up to One Hundred Dollars (\$100.00) for a second violation, and up to Two Hundred Fifty Dollars (\$250.00) for each subsequent violation. In the event that the violator is less than sixteen (16) years old, a summons shall be issued to the parent and/or guardian.

Section 10 Effective Date

This law shall take effect immediately upon filing with the Secretary of State.

ARTICLE 44 Sign Regulations

§ 285-44.1. Purpose and intent.

- A. The primary purpose of these sign regulations for the Village of East Aurora is to permit the erection and display of signage within the Village, while protecting public health, safety and general welfare. All signs and sign systems are subject to the regulations that follow in this article.
- B. These regulations also serve to achieve the following objectives:
 - (1) Ensure right to free speech as protected under the Constitution;
 - (2) Protect property values, create a more attractive economic and business climate, and protect the physical appearance of the community;
 - (3) Provide structures and uses with effective means of identification while reducing visual clutter through the prevention of excessive and confusing sign displays;
 - (4) Reduce traffic conflicts or hazards by minimizing visual distractions or obstacles in or visible from the public rights-of-way;
 - (5) Minimize the adverse effect of signs on nearby public and private property;
 - (6) Avoid personal injury and property damage from unsafe or confusing signs; and
 - (7) Establish a clear and impartial process for those seeking to install signs.
- C. The regulations of this article shall govern and control the erection, enlargement, expansion, renovation, operation, maintenance, relocation, and removal of all signs within the Village visible from any street, sidewalk, public right-of-way, or public space.

§ 285-44.2. Sign permit required.

Except as hereinafter provided, no person shall erect, alter, construct, relocate or cause to be erected, altered, constructed or relocated any sign without first having obtained a sign permit from the **Code Enforcement Officer (CEO)** with final approval from the **Board of Trustees** unless otherwise stated in this article.

Application requirements. The following information shall be provided to the CEO for a sign permit application:

- (1) Name, address, **telephone number, including cellular number, email address, contact information**, and signature of the applicant.
- (2) Name, address, **telephone number, including cellular number, email address**, and signature of the building and/or property owner, if not the applicant.

- (3) Dimensions and drawings indicating the size, shape, construct, materials, and layout of the sign(s), **including any requests for illumination or moving parts.**
 - (4) Site plan and elevations indicating the proposed location and size of the sign(s) to scale, **including any provisions for illumination and structural supports.**
 - (5) Any additional site and/or sign information as requested by the CEO.
- B. **Historical signs. Signs such as cornerstones, commemorative tablets, and historical markers, provided that said signs are less than six (6) square feet in area and not illuminated shall require a permit.**
- C. **Three dimensional signs, statutes, depictions of any nature shall be permitted with the prior approval of the CEO and Board of Trustees.**
- D. No permit required. The following situations shall not require the issuance of a sign permit provided such maintenance, changes, or alterations do not in any way alter the physical size, design, or nature of the sign.
 - (1) The repainting, repairing, changing of parts, and maintenance of signs.
 - (2) A change in the message of a sign.
- E. Board review.
 - (1) New development subject to review and approval by the Village Board or Planning Commission, ~~at the request of the applicant,~~ may have proposed signage reviewed and approved as part of the special use permit or site plan review process. **[Amended 5-4-2020 by L.L. No. 2-2020]**
 - (2) In the event of such review, all required sign permit application materials shall be provided to the reviewing board as part of the complete application.
 - (3) Any sign permit application for a marquee sign shall require review and approval by the Village Board **after referral to the Planning Commission.**
- F. Alteration. Any sign for which a permit has been issued shall not be modified, relocated, altered, or replaced, unless an amended or new sign permit is obtained from the CEO.
- G. Expiration. A sign permit shall expire if the sign for which the permit has been issued is not fully constructed within **six (6) months** ~~one year~~ from the date of issuance of the sign permit.
- H. Revocation. The CEO or designee may, at any time for a violation of this regulation, issue a notice of violation. A written notice of the violation including all reasons for the violation shall be mailed to the property and sign owner(s). Said violation must be corrected within **thirty (30) days** of the date of notice; otherwise, the sign permit shall be revoked and the sign in question shall be required to be removed.

§ 285-44.3. Measurement.

- A. Sign area.

- (1) Single sign face. The area of a sign shall be computed by means of the smallest square, circle, rectangle, triangle, or geometric combination thereof that will encompass the extreme limits of the writing, representation, emblem, graphic, and/or other display, together with any material, backdrop, or structure on which it is placed.
- (2) Multifaced signs. In the case of a multifaced sign, only one side of the sign is considered in determining sign area if the sides of the sign are back-to-back or diverge at an angle of 45° or less.
- (3) Structural support not included. The supporting structure or bracing of a sign shall not be computed as part of the sign area, unless such supporting structure or bracing is made a part of the message with the inclusion of any text or graphics. If such is the case, a combination of regular geometric shapes which can encompass the area of said text or graphics shall be included as part of the total sign area computation.

B. Sign height.

- (1) Freestanding sign. The height of a freestanding sign shall be calculated by measuring the vertical distance between the top part of such sign or its structure, whichever is highest, to the elevation of the ground directly beneath the center of the sign.
- (2) Other signs. The height of all other signs shall be determined by measuring the vertical distance between the top part of the sign face or structure, whichever is highest, to the bottommost edge of the sign face or structure.
- (3) Structural support included. Any material whose major function is to provide structural support for a sign shall be considered part of the sign for purposes of determining sign height.

§ 285-44.4. Regulations applicable to all signs.

- A. Safety provisions.** All signs shall be designed, constructed, and located in accordance with the following criteria to protect the general health, safety, and welfare of the public.
- (1) No sign shall be erected in such a manner as to obstruct free egress from a window, door or fire escape or to become a menace to life, health or property.
 - (2) No sign shall be erected at or near any intersection of streets, alleys, or railways in a manner that obstructs free and clear vision for pedestrians, bicyclists, and motorists.
 - (3) No sign shall be of a shape or color that may be confused with any authorized traffic control device.
 - (4) No rotating beam, beacon, or flashing illumination ~~resembling an emergency light~~ shall be used with any sign display.
 - (5) The erection of any sign and its supports, including any wiring and/or electrical components utilized therein, shall be consistent with the general accepted

standards and practices of the New York State Building Code.

- (6) The erection of any sign, its supports, wiring, or other structural and/or electrical elements may be subject to inspection and approval by the CEO.
- B. Design and construction. All signs shall be designed and constructed in accordance with the following criteria:
- (1) All signs shall be constructed of permanent, weather-resistant, and durable materials, except for banners, flags, temporary signs, and window signs otherwise in conformance with this article.
 - (2) Where applicable, signs shall be supported by sign structures that are designed to resist wind pressures, dead loads, and lateral loads in accordance with the appropriate provisions of the New York State Building Code.
 - (3) All sign lettering shall be permanently affixed to the sign.
 - (4) No permanent sign may be constructed of untreated or unpainted wood, sandblasted metal, or other unfinished material.
 - (5) No sign may use an audible device or sound amplifier.
- C. Location. All signs shall be so located in accordance with the following standards:
- (1) Signs shall not be erected within nor project into any public right-of-way or between any sidewalk and street or highway. ~~unless otherwise specified within this article~~. Signs must be located on private property and comply with the dimensional and setback requirements herein.
 - (2) Off-premises signs are prohibited. All signs shall be located on the site being promoted, identified, or advertised with the exception of temporary signs.
 - (3) All signs, unless otherwise noted, are to be setback at least ~~ten (10) five~~ feet from any property line.
 - (4) For the purposes of this article, ~~flexible banners, inflatable banners/signs, balloons with messages, flags (other than government), or pennants~~ shall be permitted as temporary signs ~~for a period not to exceed thirty (30) consecutive days in any twelve (12) month period without the prior approval of the CEO~~. No banner shall be displayed over any sidewalk, Village street or highway except upon approval by the Village Board. A public liability bond or policy in the sum of at least \$500,000 shall be furnished for each banner which extends across ~~and/or onto~~ a sidewalk, street or highway.
 - (5) No signs shall be placed on any electrical pole, light pole, hydrant, municipal trash receptacle, utility pole, tree ~~within the municipal right of way, municipal fence, street sign, or any traffic control device~~.
 - (6) Except as provided for elsewhere in this Article and subsection 7 below, no more than two (2) signs or shall be permitted on any property.
 - (7) Signs pertaining to elections shall not be erected more than thirty (30) days

prior to any election and must be removed within five (5) days of such election.

No more than one sign for each candidate shall be permitted at any one time and no signs shall be placed within any right of way.

- D. Visibility at intersections. No sign or any part of a sign exceeding three (3) feet in height, other than a supporting pole or brace no greater than eighteen (18) inches in width or diameter, shall be located within the designated clear sight triangle of any intersecting streets. The clear sight triangle shall be defined by the triangle formed by two intersecting street lines and a line joining points on such street lines thirty (30) feet from their intersection.
- E. Illumination. All sign illumination shall be in accordance with the following standards:
- (1) Light sources for illuminated signs shall not be of such brightness as to constitute a hazard to pedestrians or motorists and shall be shielded so as not to cast an illumination of more than two (2) footcandles on adjacent nonresidential properties or more than 0.1 footcandle on adjacent residential properties.
 - (2) Up-lighting, or the illumination of signs from a light source below that of the sign face, shall be permitted for ground signs or wall signs only. No sign in a residential district may be illuminated between the hours of 8:00 p.m. and 6:00 a.m. except for official flags of the United States of America, State of New York, County of Erie, Town of Aurora, or Village of East Aurora.
 - (3) Intermittent illumination or illumination which involves movement or causes the illusion of movement resulting from the arrangement of lighting, is prohibited.
- F. Maintenance and repair. All signs shall be maintained in safe and good structural condition, in compliance with all applicable building and electrical codes, and in conformance with this article at all times. Such maintenance includes replacement of all defective bulbs, parts, materials, painting, repainting, cleaning, replacement of copy, and other acts required for maintenance of such sign. If any sign does not comply with these standards, the CEO may require its removal.
- G. Obsolete signs. Absent written permission from the CEO, any sign that no longer advertises or identifies the current or permitted use of the property and/or event must be removed within ten (10) ~~30~~ days after the conclusion of the event or written notification from the CEO, whichever is sooner.
- H. Removal of signs.
- (1) Where required by this article, the removal of signs shall be the sole responsibility of the sign owner. If said sign is not removed within ten (10) ~~30~~ days of the date of written notice by the CEO, the CEO or their designee is authorized to affect its removal.
 - (2) The CEO may immediately and without notice remove any sign that is found to be in violation of this article. This shall include any sign that is found to be

unsafe, insecure, or in such condition as to be a menace to the safety of the public. **After removal**, the sign owner shall be given written notice of the removal of such sign by the CEO. If the sign is not claimed within ten (10) days of such notice, the sign may be disposed of by the Village.

- (3) Any costs incurred for the removal of a sign shall be fully reimbursed to the Village of East Aurora by the sign owner. Such costs may be placed on the tax roll for collection by the Village.

§ 285-44.5. Signs authorized without a permit.

The following types of signs may be erected in the Village without obtaining a sign permit. Although permits are not required for these signs, they shall conform to all other requirements of this article or may be subject to removal by the CEO.

- A. Directional signs. Signs that provide direction to pedestrians, bicyclists, or motorists shall not require a sign permit provided the following conditions are met:
- (1) The cumulative area of signs on any one property shall not exceed an area of six (6) square feet in a residential district or twelve (12) square feet in a nonresidential district.
 - (2) No sign exceeds three (3) feet in height or six square feet in area.
 - (3) The signs are not illuminated, unless otherwise approved by the Village Board.
 - (4) The signs do not extend above the first floor or project beyond property lines.
- B. Signs on gasoline pumps. Signs attached to a gasoline pump shall not require a permit provided they do not exceed six square feet in area per sign.
- C. Governmental signs. Any official sign, public notice, or warning sign supported by federal, state or local law, including but not limited to signs erected and maintained pursuant to and in discharge of any government functions. (Example: New York State inspection station or authorized repair shop identification). There are no size requirements or time limits for governmental signs.
- D. Incidental signs. Signs containing no commercial message that are intended to identify incidental property information, such as addresses, entrances, exits, hours of operation, or open/closed, shall not require a permit provided the following conditions are met:
- (1) The sign does not exceed four (4) square feet in area and two (2) feet in height.
 - (2) The sign is not illuminated.
 - (3) If placed in a window, the sign **must be is** in conformance with all applicable regulations of window signs (§ 285-44.9).
- ~~E.~~ Internal signs. Signs within a building not **visible legible** from the public right-of-way or adjacent lots, or any sign within an enclosed outdoor space, such as an athletic field, where such sign is not **visible legible** beyond the property lines **shall not be subject to these regulations. There are no requirements for internal signs.**

Illuminated internal signs shall not be permitted without the prior approval of the CEO and Board of Trustees.

- F. Lawn signs. Lawn signs shall be allowed on any lot without a permit provided the following conditions are met **in addition to the provisions elsewhere in this Article:**
- (1) The sign does not exceed three (3) feet in height and six (6) square feet in area.
 - (2) The sign is not displayed for more than **thirty (30) days in a ~~one hundred twenty~~ ninety (90)-day period. Such signs may be displayed for three (3) additional ninety (90) day periods within the same calendar year.**
 - (3) The sign is not illuminated.
 - (4) **No more than two (2) signs shall be permitted at any one time.**
 - (5) **No signs shall be placed within ten (10) feet of the property line.**
 - (6) **No signs shall have any moving parts.**
 - (7) **Signs pertaining to elections shall not be erected more than thirty (30) days prior to any election and must be removed within ~~five (5)~~ days of such election.**
- G. Noncommercial signs on a residential property. Any sign on a residential property that does not contain a commercial message shall not require the issuance of a sign permit, provided the following conditions are met **in addition to the provisions elsewhere in this Article:**
- (1) There is no more than **two (2) signs** per dwelling unit.
 - (2) No single sign exceeds two (2) feet in height and **four (4) square** feet in area.
 - (3) The cumulative area of all signs does not exceed **eight (8) ~~twelve (12)~~** square feet.
 - (4) The sign is not illuminated.
 - (5) The sign is not attached to any permanent building or structure.

§ 285-44.6. Prohibited signs.

The following signs are prohibited within the Village:

- A. Signs for which no sign permit was issued or for which a sign permit has been revoked.
- B. Signs that are not properly maintained, considered structurally unsound, hazardous, or otherwise unsafe.
- C. Signs that contain words or pictures of an obscene or pornographic nature.
- D. Signs that emit audible sounds, odor, or visible matter, **such as smoke or a mist, or similar matter without prior Board approval.****
- E. Signs placed on a curb, sidewalk, hydrant, utility pole, trees, **electrical pole, light pole, hydrant, municipal trash receptacle, municipal fence, street sign, or any traffic**

control device or other objects located on or over any public street unless otherwise permitted by the Village Board.

- F. Signs that may be confused with a traffic control sign, signal or device or the light of an emergency or road equipment vehicle or hide from view any traffic or street sign, signal, or device.
- G. Signs that flash, blink, rotate, or revolve, and/or utilize unshielded lighting devices or reflectors to outline or provide the background of a sign. **[Amended 5-4-2020 by L.L. No. 2-2020]**
- H. Internally illuminated signs and signs that utilize exposed neon tubing for letters or lighting, **except where permitted by the Board of Trustees.**
- I. Signs that are mounted on wheels or mounted on any structure on wheels.
- J. Signs mounted on or applied to registered or unregistered vehicles unless such vehicle is parked legally **on property owned by the vehicle owner** or out of public view. **[Amended 5-4-2020 by L.L. No. 2-2020]**
- K. Signs with mirrors or any other reflective material.
- L. Signs painted directly on walls or other structural building features except by special use permit from the Village Board. **[Amended 5-4-2020 by L.L. No. 2-2020]**
- M. Manual changeable copy signs, electronic changeable copy signs, and signs that are animated or utilize full motion or video technology, **with the exception of a theater marquee.**
- N. Banners, pennants, windblown or inflated signs. **[Amended 5-4-2020 by L.L. No. 2-2020]**
- O. Roof signs **not otherwise permitted by the Board of Trustees**, obsolete signs, off-premises signs, and billboards.
- P. **Pole signs without the prior approval of the CEO and Board of Trustees.**

§ 285-44.7. Sign provisions by zoning districts.

- A. Residential districts.
 - (1) No lot or use shall have more than **two (2)** sign types, as provided for in § 285-44.9.
 - (2) The illumination of signs in residential districts is prohibited.
 - (3) Where a single or multifamily residential development exists, such as an apartment complex, one ground sign may be permitted for the development at each entrance/exit access point **for a period not to exceed twelve (12) months.**
- B. Nonresidential districts.
 - (1) No use or lot shall have more than two sign types, as provided for in

§ 285-44.9.

- (2) Where multiple operations or uses are located on a single lot, such as, but not limited to, industrial centers, business parks, or shopping plazas, each use shall be allowed two signs of any type in addition to one freestanding sign for the development.
- (3) Window signs shall be included in the count of total allotted signage for any lot or use. **[Amended 5-4-2020 by L.L. No. 2-2020]**
 - (a) Window signs in restaurants or taverns advertising items other than the particular establishment shall be permitted with the prior approval of the Board of Trustees.
- (4) Marquee signs may be permitted with Village Board review and approval.

§ 285-44.8. Nonconforming signs.

- A. All permanent signs that are nonconforming as of the date of enactment of this chapter must be removed or brought into compliance at such time as the sign is replaced, the property and/or business changes use or ownership, or a new permit is required under the provisions of this article. Lawn signs shall be removed upon the expiration of the time limits set forth in this article.
- B. Any nonconforming sign that is removed from its position or siting and not replaced in-kind within thirty (30) days shall be presumed to be abandoned and discontinued and may not be restored or re-erected except in compliance with this article.
- C. No nonconforming sign may be altered in any way that would increase its nonconformity with the regulations of this article, including, but not limited to area, height, setback, and illumination.
- D. Nothing herein shall be deemed to prevent maintaining a nonconforming sign in good repair and safe condition.

§ 285-44.9. Regulations by sign type. [Amended 5-4-2020 by L.L. No. 2-2020]

The following tables outline the requirements for sign types that may be proposed for installation within the Village. The tables regulate each type of sign by the zoning district in which it is located.

Table 44.9A: Ground Signs							
Ground sign: A sign not attached to any building or structure, which may be supported by one or two columns or posts provided the distance between the ground and bottommost edge of the sign is no greater than three feet.							
Zoning Districts							
Requirement	R	GC	NC	VC	GM	VM	OS
Number permitted ¹	1 per lot	—	1 per lot	1 per lot	—	1 per lot	1 per lot
Maximum area (square feet)	6	—	16	16	—	16	16

§ 285-44.9

§ 285-44.9

Maximum height ² (feet)	6	–	7	7	–	7	7
Minimum setback ³ (feet)	5	–	5	5	–	5	5
Illumination permitted	No	–	Yes	Yes	–	Yes	Yes

NOTES:

¹ Signs shall be so located so that the sign face is parallel to the street.

² Measured from the elevation of the ground at the center of the sign to the topmost edge of the sign.

³ Measured from the nearest edge of the sign to the front or side lot line.

Table 44.9B: Pedestal Signs

Pedestal sign: A sign not attached to any building or structure supported by one or two columns or posts with a distance exceeding seven feet from the ground and the bottommost edge of the sign.

Zoning Districts							
Requirement	R	GC	NC	VC	GM	VM	OS
Number permitted ¹	–	1 per lot	–	–	1 per lot	–	–
Maximum area (square feet)	–	32	–	–	32	–	–
Maximum height ² (feet)	–	15	–	–	15	–	–
Minimum setback ³ (feet)	–	10	–	–	10	–	–
Illumination permitted	–	Yes	–	–	Yes	–	–

NOTES:

¹ Signs shall be so located so that the sign face is parallel to the street.

² Measured from the elevation of the ground at the center of the sign to the topmost edge of the sign.

³ Measured from the nearest edge of the sign to the front or side lot line.

Table 44.9C: Wall Signs

Wall sign: Any sign fastened to a building or structure that does not project more than 12 inches from the facade.

Zoning Districts							
Requirement	R	GC	NC	VC	GM	VM	OS
Number permitted	1 per structure	1 per facade	1 per facade	1 per facade	1 per facade	1 per facade	1 per facade
Maximum area ¹	6 square feet	12%	10%	10%	12%	10%	10%

Table 44.9C: Wall Signs**Wall sign: Any sign fastened to a building or structure that does not project more than 12 inches from the facade.**

Zoning Districts							
Requirement	R	GC	NC	VC	GM	VM	OS
Maximum height (feet)	2	5	4	4	5	4	4
Illumination permitted ²	No	Yes	Yes	Yes	Yes	Yes	No

NOTES:

¹ Unless otherwise noted, the maximum area of a sign shall be measured as a percentage of the facade upon which it is to be located.

² Any sign located on a facade facing a residential district or use shall not be illuminated.

Table 44.9D: Projecting Signs**Projecting sign: A sign wholly or partly dependent upon a building or structure for support which projects more than 12 inches, but less than 36 inches from the facade.**

Zoning Districts							
Requirement	R	GC	NC	VC	GM	VM	OS
Number permitted	-	1 per use	1 per use	1 per use	-	1 per use	-
Maximum area (square feet)	-	8	6	6	-	6	-
Maximum height (feet)	-	3	2	2	-	2	-
Minimum clearance ¹ (feet)	-	8	8	8	-	8	-
Illumination permitted	-	Yes	Yes	Yes	-	Yes	-

NOTE:

¹ Measured from the elevation of the ground directly beneath the center of the sign to the bottommost edge of the sign.

Table 44.9E: Suspended Signs**Suspended sign: A sign attached to and supported by the underside of a horizontal plane.**

Zoning Districts							
Requirement	R	GC	NC	VC	GM	VM	OS
Number permitted	-	1 per use	1 per use	1 per use	-	-	-
Maximum area (square feet)	-	8	6	6	-	-	-
Maximum height (feet)	-	3	2	2	-	-	-
Minimum clearance ¹ (feet)	-	8	8	8	-	-	-
Illumination permitted	-	No	No	No	-	-	-

NOTE:

¹ Measured from the elevation of the ground directly beneath the center of the sign to the bottommost edge of the sign.

Table 44.9F: Awning Signs

Awning sign: A sign that is part of or attached to an awning, canopy, or other fabric, plastic, or structural protective cover over a door, entrance, window, or outdoor area.

Zoning Districts							
Requirement	R	GC	NC	VC	GM	VM	OS
Number permitted ¹	-	1 per awning	1 per awning	1 per awning	1 per awning	1 per awning	-
Maximum height (inches)	-	6	6	6	6	6	-
Minimum clearance ² (feet)	-	8	8	8	8-	8	-
Illumination permitted	-	No	No	No	No	No	-

NOTES:

¹ Said sign shall only be permitted on the bottommost edge of the canvas, fabric, or other material to which it is applied, often referred to as the valence.

² Measured from the elevation of the ground directly beneath the center of the awning to the bottommost edge of the awning.

Table 44.9G: Window Signs

Window sign: A sign which is applied or attached to the exterior or interior of a window or is installed inside of a window within 12 inches of the window through which it can be seen.

Zoning Districts							
Requirement	R	GC	NC	VC	GM	VM	OS
Number permitted	-	Any	Any	Any	Any	Any	-
Maximum Area ¹	-	20%	15%	15%	20%	15%	-
Illumination permitted	-	No	No	No	No	No	-

NOTES:

¹ The maximum area of a sign shall be determined by the percentage of window area covered.

Table 44.9H: Sandwich Board Signs

Sandwich board sign: A freestanding sign that is comprised of two sign faces diverging at a 45-degree angle from their adjoining edge.

Zoning Districts							
Requirement	R	GC	NC	VC	GM	VM	OS
Number permitted ¹	1 per use	1 per use	1 per use	1 per use	1 per use	1 per use	1 per use
Maximum area (square feet)	6	6	6	6	6	6	6
Maximum height (feet)	4	4	4	4	4	4	4
Illumination permitted	No	No	No	No	No	No	No

NOTE:

¹ Sign must be brought in each day at the close of business.

Table 44.9I: Temporary Signs

Temporary sign: A sign which is not intended to be used for a period of time exceeding 30 days and is not attached to a building, structure, or the ground in a permanent manner.

Zoning Districts							
Requirement	R	GC	NC	VC	GM	VM	OS
Number permitted ¹	1 per use	1 per use	1 per use	1 per use	1 per use	1 per use	1 per use
Maximum area (square feet)	12	32	32	32	32	32	32
Maximum height (feet)	3	4	4	4	4	4	4
Illumination permitted	No	No	No	No	No	No	No
Maximum display time ²	30 days	30 days	30 days	30 days	30 days	30 days	30 days

NOTES:

¹ Temporary signs shall not be included in the count of total allotted signage for any lot or use.

² Maximum display time shall be limited to any given ninety-day period.

TOWN OF AURORA

575 OAKWOOD AVENUE, EAST AURORA, NY 14052

BUILDING DEPARTMENT

(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Board Members

FROM: Richard Miga, Assistant Code Enforcement Officer

DATE: June 4, 2025

The Building Department has accepted a Site Plan application from James A. Boglioli of Benderson Development, owner of 123 Grey Street. The request is to add an exterior double door with platform and stairs to the rear of the plaza for access to a vacant space adjacent to the Homegoods, relocate an existing exterior door on the west side of the Starbucks to the north to accommodate the tenant layout, and landscaping at the ingresses/egresses on Grey Street.

Village Code section 285-51.5 requires the application to be referred to the Planning Commission for their recommendation. After which a public hearing is required prior to a decision by the Village Board.

Village Code section 285-50.4C(3) requires the application be referred to the Erie County Planning Department for review due to proximity to a State Highway (Hamburg Street/20A).

This is an Type II action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.

Richard Miga

May 27, 2025

Members of the Village Planning Board
Village of East Aurora
575 Oakwood Avenue
East Aurora, New York 14052

**Re: Aurora Village Shopping Center
123 Grey Street (BDP # 2127)
Application for Site Plan Approval for Site Modifications**

Dear Chairperson and Members of the Planning Board:

In connection with the above-referenced property, enclosed please find our application seeking site plan approval for the following proposed modifications to the above-referenced shopping center:

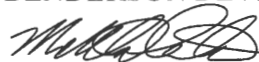
- In connection with the recently approved HomeGoods, a new rear door, with an associated access platform, steps, and railings is proposed at the rear of the tenant space behind the principle building;
- In connection with the recently approved HomeGoods, a rear access door that previously had access to Homegood's space has been relocated to provide new double doors with access to the vacant space next to HomeGoods. An associated access platform, steps and railing are to be provided at door access point;
- In connection with the recently approved Starbucks, an existing access door located along the Northside of the building is proposed to be relocated per the tenant interior requirements.
- At the Plaza entrances, the existing landscaping has, over time, been subject to heavy salt spray during the winter, vehicle destruction and are overgrown. As a result, these landscape areas have degraded and become unattractive. The proposed modifications revitalizes the entrances with new attractive landscaping including heartier shrubs that are resistant to salt from snow deposits, and additional vibrant colors with annual flowers.

In support of this application package, please find enclosed the following information:

- 1) Civil Engineering Plans prepared by James A Rumsey, R.A;
- 2) Architectural Plans;
- 3) Village of East Aurora Application; and
- 4) Short EAF.

We look forward to working with the village on this project. Should you have any questions or require any additional materials, please do not hesitate to either Courtney Adamo at (716) 878-9630 or Jame; Boglioli at (716) 878-9626.

Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC



Matthew J. Oates, P.E.
Director, Engineering

Short Environmental Assessment Form

Part 1 - Project Information

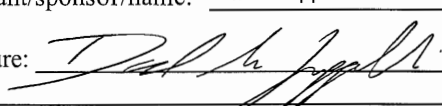
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Proposed Site Modifications - Aurora Village Shopping Center			
Project Location (describe, and attach a location map): 123 Grey Street, East Aurora, Erie County			
Brief Description of Proposed Action: The proposed action consists of relocating a side door for future Starbucks tenant, relocating the existing doors for the vacant space next to Homegoods, install an access platform with associated stairs and railing at rear door for Homegood; and installing new landscaping to refresh/replace the old design within the existing landscape areas at the plaza entrance drives.			
Name of Applicant or Sponsor: Benderson Development Company, LLC		Telephone: 716-878-9626	
		E-Mail: jamesboglioli@benderson.com	
Address: 570 Delaware Ave			
City/PO: Buffalo		State: New York	Zip Code: 14202
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO ☐ YES ☒
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO ☐ YES ☒
3. a. Total acreage of the site of the proposed action? 14.44 acres b. Total acreage to be physically disturbed? 0.01 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 19.78 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action: ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify): ☐ Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☒	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☒	☐	
b. Are public transportation services available at or near the site of the proposed action?	☐	☒	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☐	☒	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:			
Exceed _____	☐	☒	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	☒	☐	
N/A Existing _____			
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	☒	☐	
N/A Existing _____			
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☒	☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☒	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☒ Urban ☒ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	☒	☐
16. Is the project site located in the 100-year flood plan?	NO	YES
	☒	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	☐	☒
a. Will storm water discharges flow to adjacent properties?	☒	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	☐	☒
Sheet drain to nearby storm infrastructures		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	☒	☐
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>David Zuppelli</u> Date: <u>5.27.25</u> Signature: <u></u> Title: <u>Civil Engineer</u>		

VILLAGE OF EAST AURORA
 571 Main Street, East Aurora, New York 14052
 716-652-6000
 In conjunction with
Town of Aurora Building Department
 300 Glead Ave, East Aurora, NY 14052
 716-652-7591

Building Dept:	
Date Received	_____
Complete App	_____
Village Clerk:	
Date Received	_____
Amount \$	_____
Receipt #	_____

SITE PLAN APPLICATION

PROPOSED PROJECT Building Facade Renovation SBL#: _____
 LOCATION 123 Grey Street ZONING DISTRICT C

The applicant agrees to reimburse the Village for any additional fees required for consultant's review of submitted technical data, including but not limited to, traffic studies, drainage, lighting, water and sewer plans.

APPLICANT NAME Benderson Development Company, LLC
 ADDRESS 570 Delaware Avenue, Buffalo, New York 14202
 TELEPHONE 716-878-9626 E-MAIL jmb@benderson.com
 SIGNATURE James A. Boglioli
 CELL 716-998-9915
 OWNER NAME 93 NYRPT, LLC
 ADDRESS 570 Delaware Avenue, Buffalo, New York 14202
 TELEPHONE 716-878-9626 FAX _____ E-MAIL jmb@benderosn.com
 SIGNATURE James A. Boglioli
 CELL 716-998-9915
 ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT
 NAME James A. Rumsey FIRM _____
 ADDRESS 570 Delaware Avenue
 TELEPHONE 716-878-9626 FAX _____ E-MAIL jmb@benderosn.com
 SIGNATURE _____ AFFIX STAMP

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- Twenty (20) Sets – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-51.3
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD Rom.
- Application fee \$25.00 and Public Hearing fee \$100.00 – Total \$125 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____ Minor Project written request to waive PC mtg Y/N/NA: VB Decision Y/N

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Historic Preservation	_____	_____
ZBA	_____	_____
EC Div of Planning	_____	_____
NYS DOT	_____	_____
Town Notification	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:
 ___ Type 1 ___ Type 2 ___ Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date	
Public Hearing	_____	
Notices Mailed	_____	
Posted Notice-VEA Hall	_____	
Posted Notice-Prop	_____	
Approval/Denial Date	_____	Attach Village Board resolution with noted conditions.

CHECK LIST FOR SITE PLAN APPLICATION

An application for site plan review shall include the following supporting documents, as applicable. A licensed professional engineer or registered land surveyor shall prepare all site plan materials unless otherwise approved by the Village Board.

- ☒ Description or narrative of all proposed uses and structures, including but not limited to hours of operation, number of employees, maximum seat capacity, and proposed number of off-street vehicle and bicycle parking spaces.
- ☒ A site plan drawn at a scale of one inch equals 20 feet or such other scale as the Village Board may deem appropriate, on standard 24 inch by 36 inch sheets, with continuation on 8 ½ inch by 11 inch sheets as necessary for written information.
- ☐ A certified land survey showing the boundaries of the applicant's property under consideration in its current state plotted to scale with the north point, scale, and date clearly indicated, or other document deemed acceptable by the reviewing board.
- ☒ Plans indicating the following with regard to the property in question, where applicable.
 - ☐ The location of all properties, their ownership, uses thereon, subdivisions, streets, easements, and adjacent buildings within 300 feet of the property in question.
 - ☐ The location and use of all existing and proposed structures on the property in question, including all dimensions of height and floor area, exterior entrances, and anticipated future additions and alterations.
 - ☐ The location of all existing and proposed topography features, including but not limited to, site grading, open spaces, woodlands, watercourses, steep slopes, wetlands, floodplains, and watersheds.
 - ☒ The location of existing and proposed landscaping, screening, walls, and fences, including information regarding the size and type of plants and building materials proposed.
 - ☒ The location of existing and proposed public and private streets, off-street parking areas, loading areas, driveways, sidewalks, ramps, curbs, and paths. Such plans shall include considerations for vehicular, pedestrian, and bicycle traffic circulation, parking, and access.
 - ☐ The location of existing and proposed utility systems including sewage or septic, water supply, telephone, cable, electric, and stormwater drainage. Stormwater drainage systems shall include existing and proposed drain lines, culverts, catch basins, headwalls, endwalls, hydrants, manholes, and drainage swales.
 - ☐ The location, height, intensity, and bulb type (sodium, incandescent, etc.) of all external lighting fixtures. The direction of illumination and methods to eliminate glare onto adjoining properties must also be shown.
 - ☐ The location, height, size, material, and design of all existing and proposed signs.
 - ☒ Elevations at a scale of one-quarter inch equals one foot for all exterior facades of the proposed structure(s) and/or alterations to or expansions of existing facades, showing design features and indicating the type and color or materials to be used.
 - ☐ Plans to prevent the pollution of surface or ground water, erosion of soil both during and after construction, excessive runoff, excessive raising or lowering of the water table, and flooding of other properties, as applicable.
 - ☐ A schedule for completion of each construction phase for buildings, parking, and landscaped areas.
 - ☐ Plans for disposal of construction and demolition waste, either on-site or at an approved disposal facility.
- ☒ All New York State SEQR documentation as required by law.
- ☐ The Village Board may request additional information as per Village Code §285-51.3(B)(6) or anything else it deems necessary for a complete assessment of the site plan.
- ☐ All required fees and reimbursements, and an escrow deposit to cover professional review costs, if required.

PROPOSED SITE ADJUSTMENTS

AURORA VILLAGE SHOPPING CENTER
123 GREY STREET, EAST AURORA, NY 14052
BDC Property # 2127
SITE DEVELOPMENT DRAWINGS

INDEX OF DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
C1.0	COVER SHEET		
C2.0	EXISTING SITE PLAN		
C3.0	DEMOLITION PLAN		
C4.0	OVERALL SITE PLAN		
C4.1	DETAILED SITE PLAN AND DETAILS		
C5.0	GRADING PLAN		
C7.0	LANDSCAPING PLAN		
C7.1	LANDSCAPING PLAN		

OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC
ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202
CONTACT: DAVID ZUPPELLI
PHONE: 716 - 878 - 9683



BENDERSON DEVELOPMENT COMPANY, LLC
570 Delaware Ave.
Buffalo, New York 14202

SURVEYOR

NAME: TRUE NORTH LAND SURVEYING PLLC
ADDRESS: 150 AERO DRIVE, BUFFALO, NY 14225
CONTACT: CHRISTOPHER BARR
PHONE: 716-631-5140

UTILITIES:

NATURAL GAS
NAME/TITLE: WILLIAM SCHNEIDER
COMPANY/DEPT: NATURAL FUEL GAS
ADDRESS: -
PHONE: 716 - 696 - 6460

TELEPHONE COMPANY
NAME/TITLE: JOHN HECKMAN
COMPANY/DEPT: VERIZON
ADDRESS: -
PHONE: 716 - 840 - 8603

ELECTRIC
NAME/TITLE: -
COMPANY/DEPT: NATIONAL GRID
ADDRESS: -
PHONE: -

DIG SAFELY NEW YORK
PHONE: 1 - 800 - 962 - 7962 OR (811)

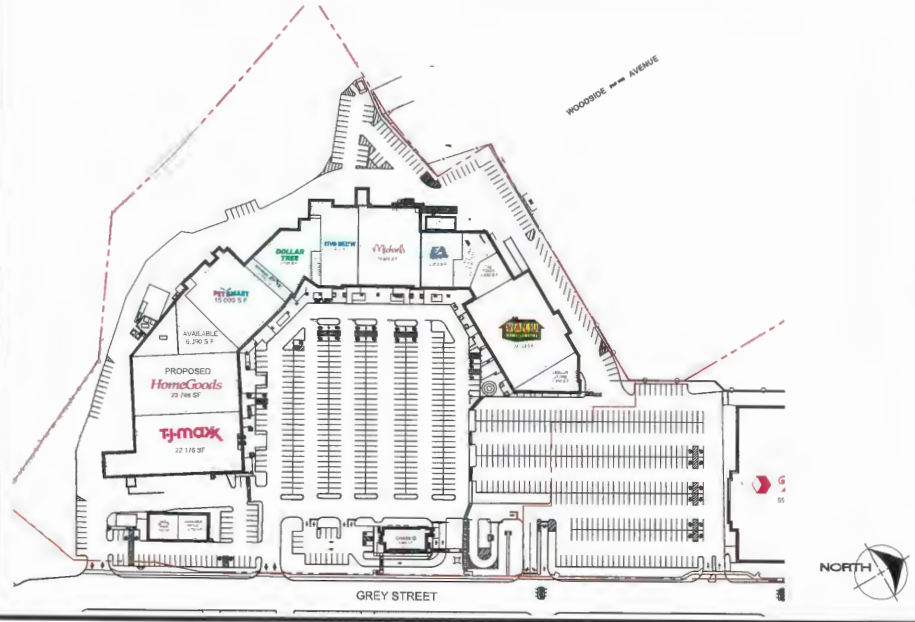
AGENCIES:

PLANNING COMMISSION
NAME/TITLE: DAN CASTLE
COMPANY/DEPT: VILLAGE OF EAST AURORA
ADDRESS: 585 OAKWOOD AVE. EAST AURORA, NY 14052
PHONE: 716 - 652 - 6000 Opt.4

BUILDING & CODE ENFORCEMENT
NAME/TITLE: ELIZABETH CASSIDY / CODE ENFORCEMENT OFFICER
COMPANY/DEPT: VILLAGE OF EAST AURORA / CODE ENFORCEMENT
ADDRESS: 575 OAKWOOD AVE. EAST AURORA, NY 14052
PHONE: 716 - 652 - 7591

DEPARTMENT OF PUBLIC WORKS
NAME/TITLE: MATTHEW HOEH / SUPERINTENDENT
COMPANY/DEPT: VILLAGE OF EAST AURORA
ADDRESS: 400 PINE STREET EAST AURORA, NY 14052
PHONE: 716 - 652 - 6057

SITE LOCATION MAP 1:150



REGIONAL LOCATION MAP NTS



DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 87(2)(b) OF THE STATE EDUCATION LAW.

CONSTRUCTION SET



Know what's below.
Call before you dig.

PROPERTY NUMBER: #2127
AREA: -

AURORA VILLAGE
SHOPPING CENTER
123 GREY STREET,
EAST AURORA, NY 14052
PROPOSED SITE
ADJUSTMENT

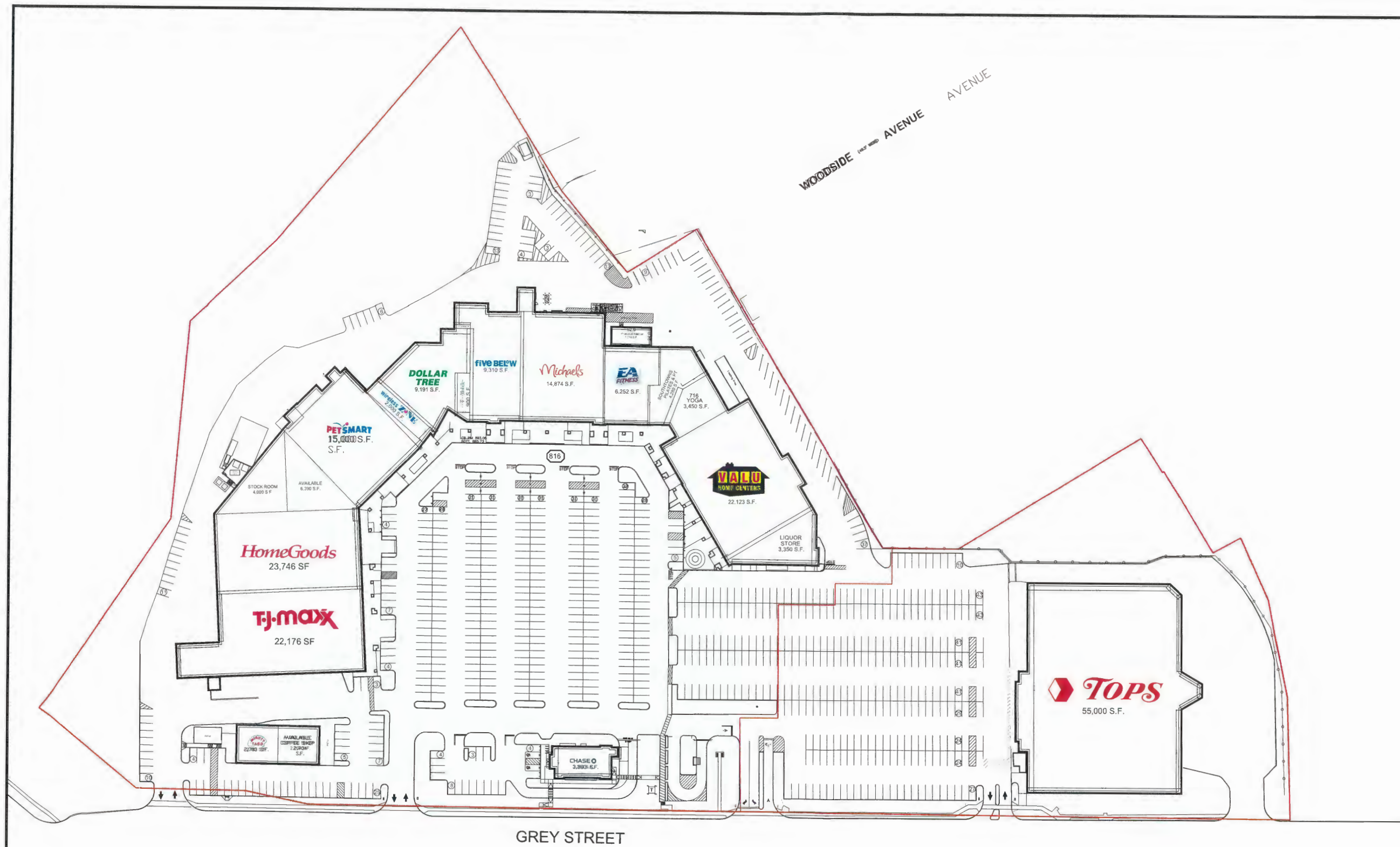
CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
**Cover
Page**
SCALE:
NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 05.23.2025
DRAWING NO.:
C1.0



DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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PROPERTY NUMBER: #2127 AREA: -

AURORA VILLAGE
SHOPPING CENTER
123 GREY STREET,
EAST AURORA, NY 14052
PROPOSED SITE
ADJUSTMENT

CONSULTANT

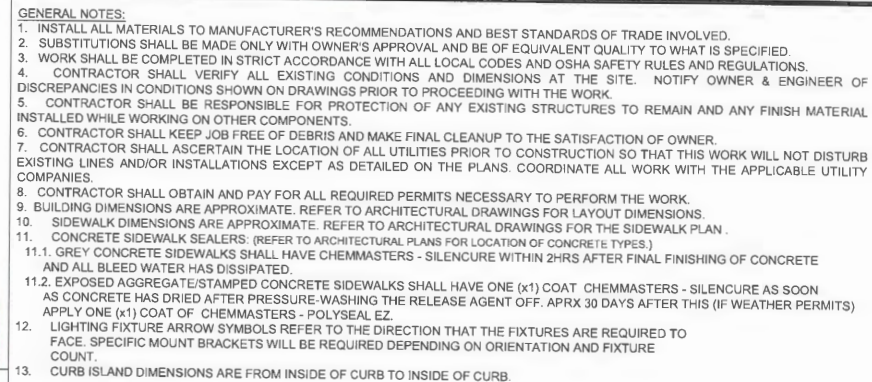
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Existing
Site Plan

SCALE:
1" = 60'
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 05.23.2025
DRAWING NO.
C2.0



- GENERAL NOTES:**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF ANY DISCREPANCIES OR CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 12. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT CHEMMASTERS - POLYSEAL EZ.
 13. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

DEMOLITION NOTES: #

1. Remove Existing Door. In-fill Opening
2. Cut into existing Wall for New Door Opening
3. Remove Existing Bollard
4. Remove Existing Concrete Platform

DRAWING REVISIONS:

[illegible]

SPECIAL INFORMATION:

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IN VIOLATION OF SECTION #7209 OF THE STATE
EDUCATION LAW

CONSTRUCTION SET



PROPERTY NUMBER:
#2127

AREA:

**AURORA VILLAGE
SHOPPING CENTER
123 GREY STREET,
EAST AURORA, NY 14052**

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON
DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:

Demolition Plan

SCALE:

1" = 10'

DRAWN BY: _____ DRAWING NO. _____

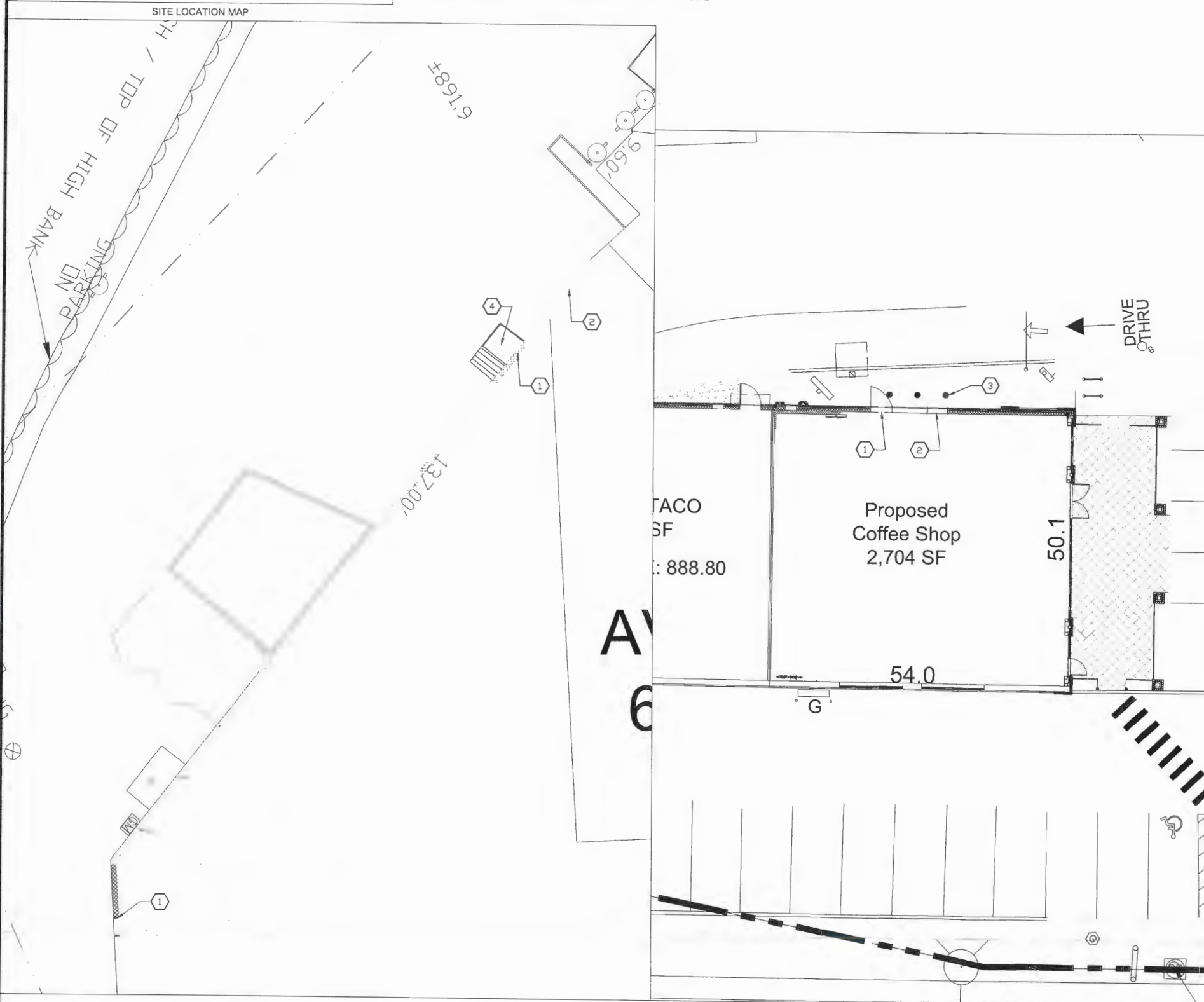
DMZ

CHECKED BY:
MAO

MAO
DATE:

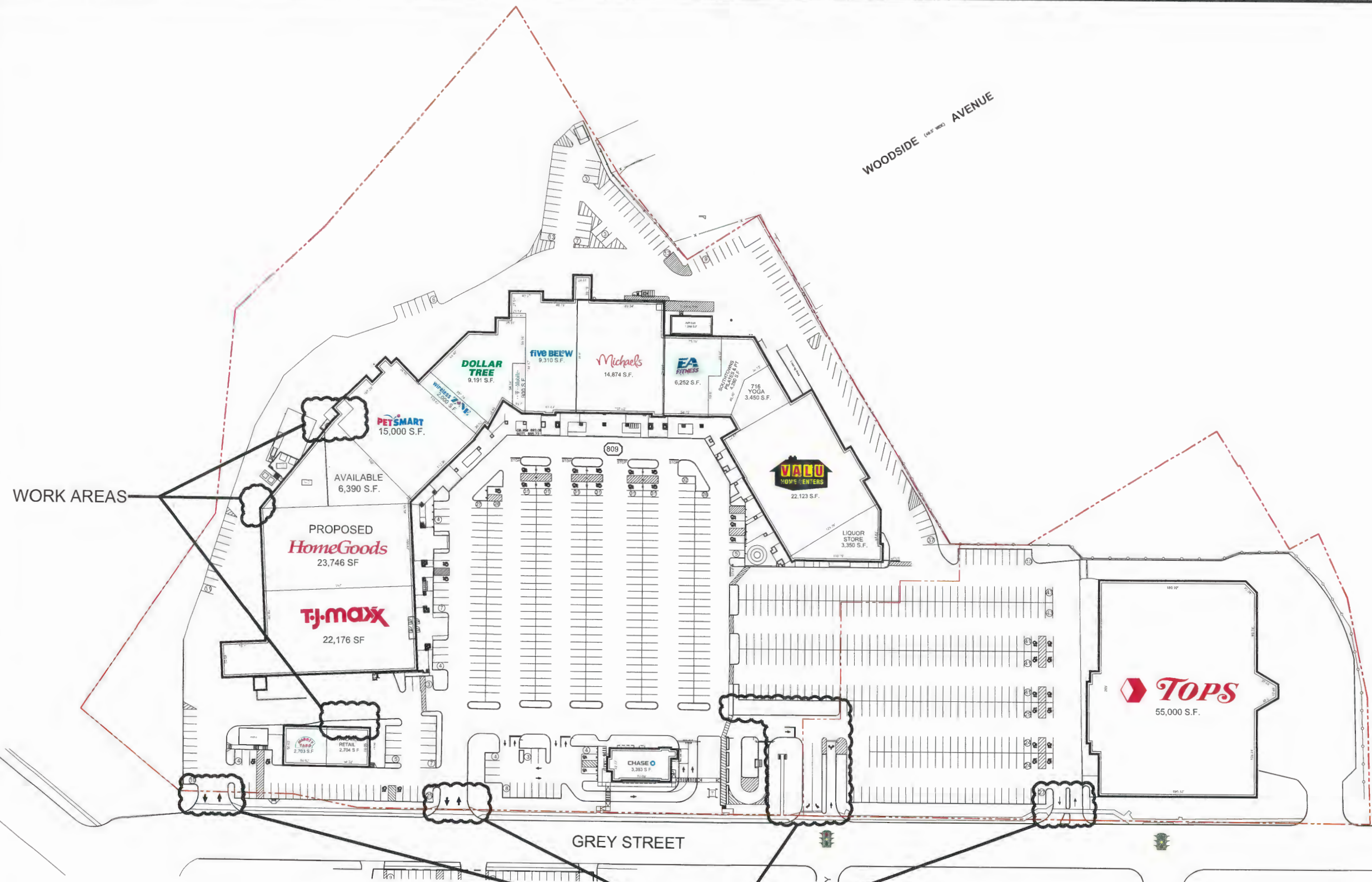
DATE:
05.23.2025

C3.0



Rear Door Platforms

Building Side Door



PROPOSED PARKING ANALYSIS - VILLAGE OF EAST AURORA, NY			
USE	CODE	REQUIRED	PROVIDED
RETAIL STORE	3 SPACE / 1000 SF	146,830 S.F. / (1000) = 147 SPACES*	809 SPACES
FOOD STORE / RESTAURANT	4 SPACE / 1000 SF	60,407 S.F. / (1000) = 60 SPACES*	
TOTAL		683 SPACES	
STALL SIZE	9'x18'	9'x18'	
* AVAILABLE SPACE CALCULATED AS RETAIL STORE MAX PARKING = 125% MIN REQUIRED = 683 * 1.25 = 854 SPACES > 809 SPACES			

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
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CONSTRUCTION SET



PROPERTY NUMBER: #2127 AREA: -

AURORA VILLAGE SHOPPING CENTER
123 GREY STREET,
EAST AURORA, NY 14052

PROPOSED SITE ADJUSTMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



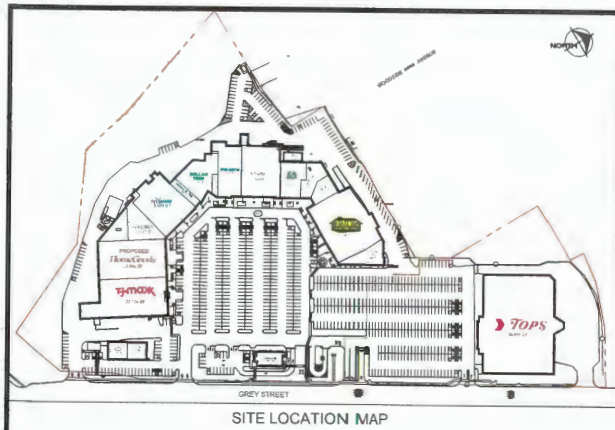
TITLE: Overall Site Plan

SCALE: 1" = 60'

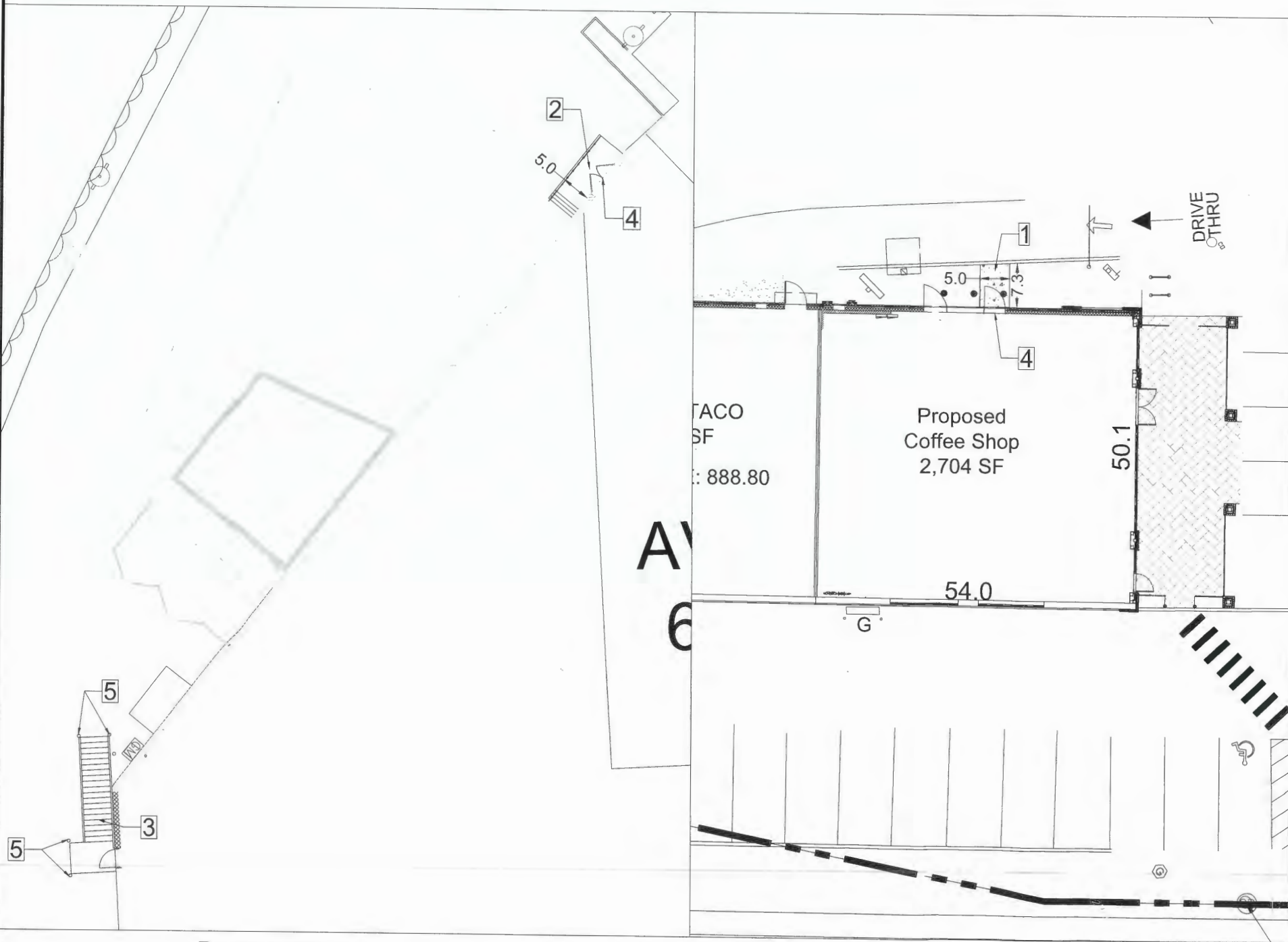
DRAWN BY: DMZ DRAWING NO. C4.0

CHECKED BY: MAO

DATE: 05.23.2025



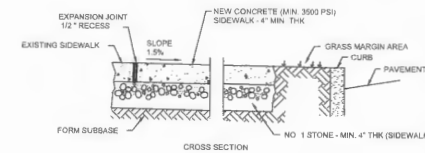
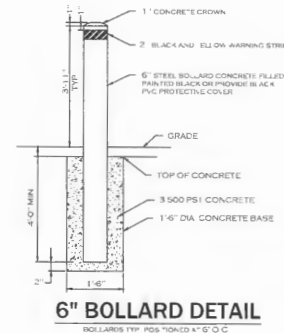
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 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.



Rear Door Platforms

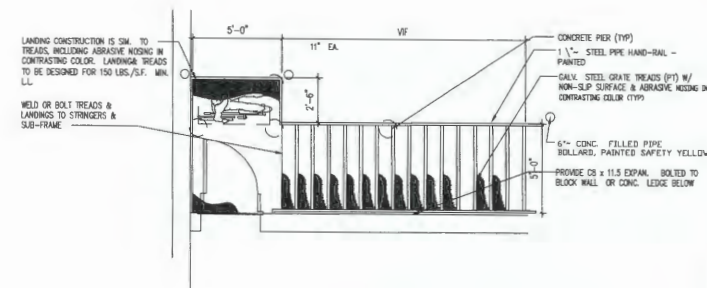
Building Side Door

- SITE NOTES:
1. Proposed Concrete Sidewalk
 2. Proposed Concrete Platform and Steps with Railing
 3. Proposed Metal Platform and Stairs
 4. New Door Location
 5. Proposed 6" Bollard



- NOTES
1. CONTROL JOINTS TO BE AT 8'-0" O.C. BOTHWAYS - SEE SPECIFICATIONS FOR FURTHER JOINT REQUIREMENTS HYSDOT 700-2700.
 2. CONCRETE SIDEWALK MATERIAL SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 601 AND CONSTRUCTION METHODS SHALL CONFORM TO NYSDOT STANDARD SPECIFICATION 608-3.
- CONCRETE SIDEWALK SEALERS:
1. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES)
 - 1.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
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STANDARD CONCRETE SIDEWALK



METAL PLATFORM AND STAIRS DETAIL

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:

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SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE

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CONSTRUCTION SET



PROPERTY NUMBER: #2127

AREA:

AURORA VILLAGE
SHOPPING CENTER
123 GREY STREET,
EAST AURORA, NY 14052

PROPOSED SITE
ADJUSTMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE

Detailed
Site Plan

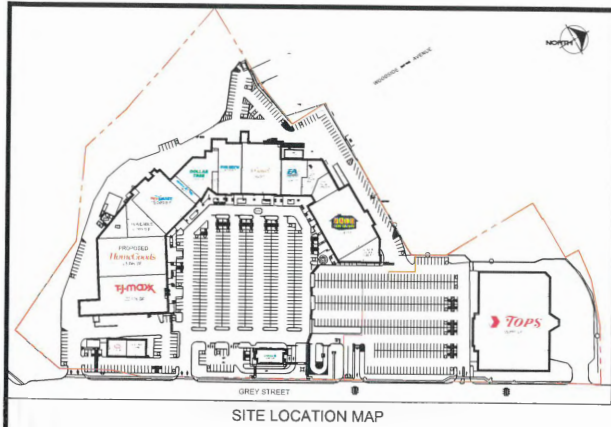
SCALE:
1" = 10'

DRAWN BY: DMZ

CHECKED BY: MAO

DATE: 05.23.2025

DRAWING NO. **C4.1**



- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
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 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

GRADING LEGEND:

- Property Line
- 6" Curb (typ).
- Catch Basin - Top of Grade
- Proposed Contour Line
- Slope Direction

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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CONSTRUCTION SET

811

Know what's below. Call before you dig.

PROPERTY NUMBER: #2127 AREA: -

AURORA VILLAGE SHOPPING CENTER
123 GREY STREET,
EAST AURORA, NY 14052

PROPOSED SITE ADJUSTMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



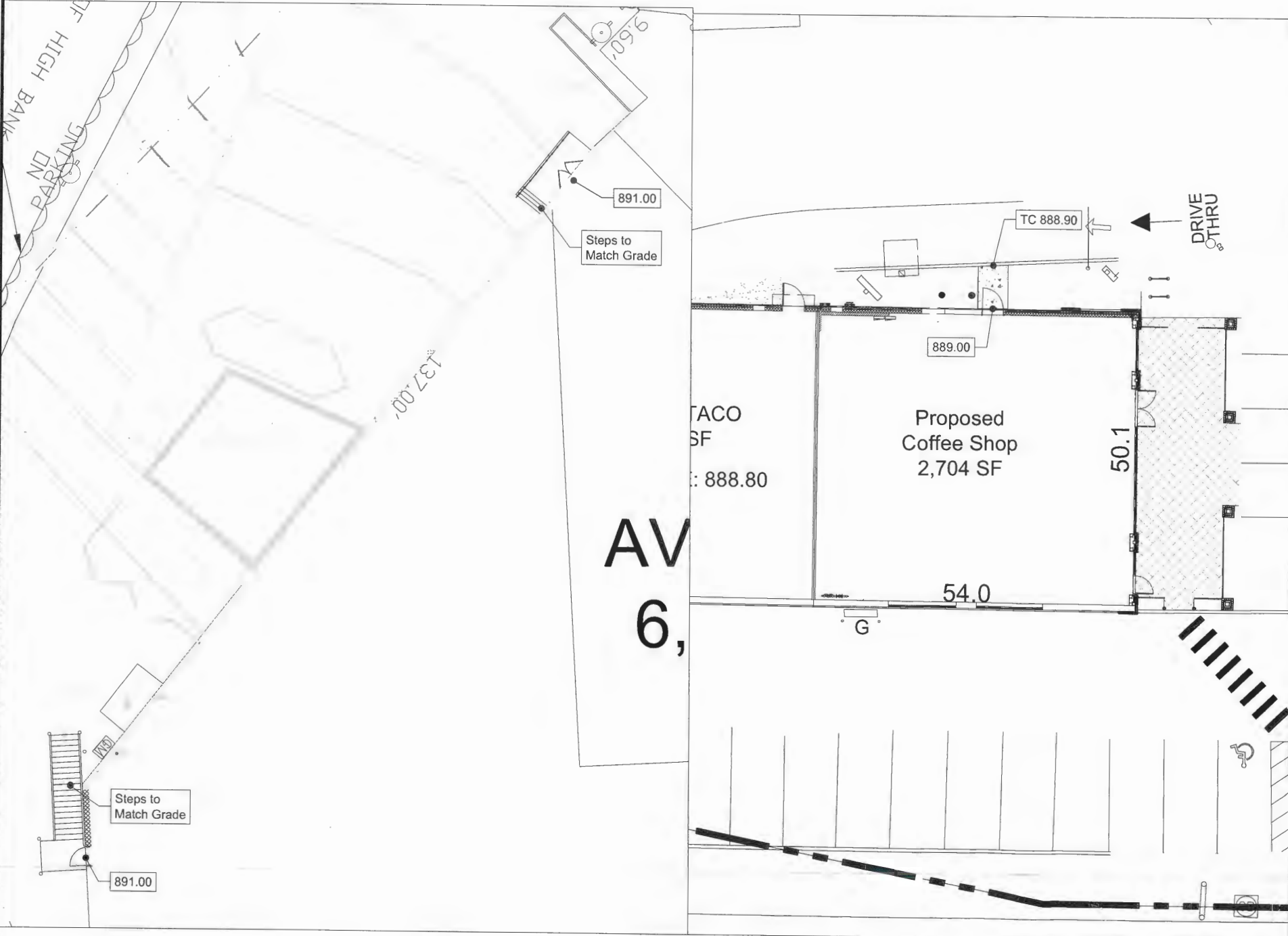
TITLE: Grading Plan

SCALE: 1" = 10'

DRAWN BY: DMZ DRAWING NO. C5.0

CHECKED BY: MAO

DATE: 05.23.2025



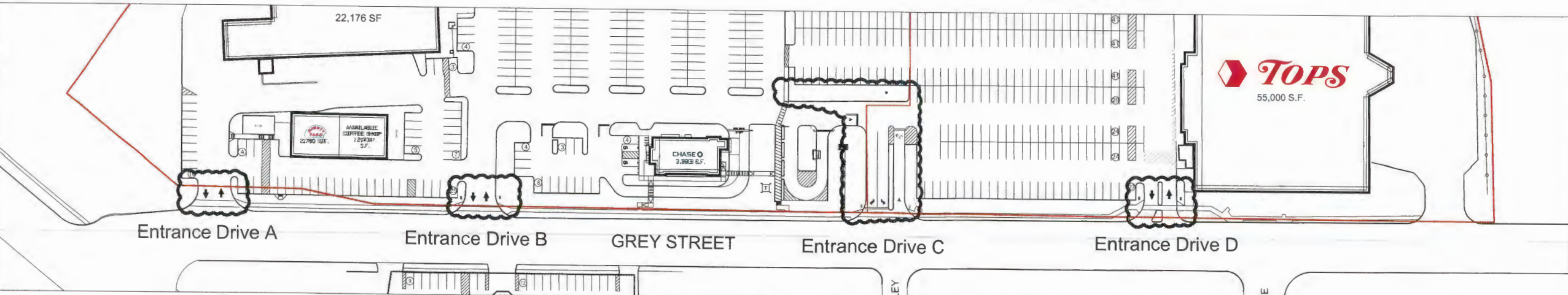
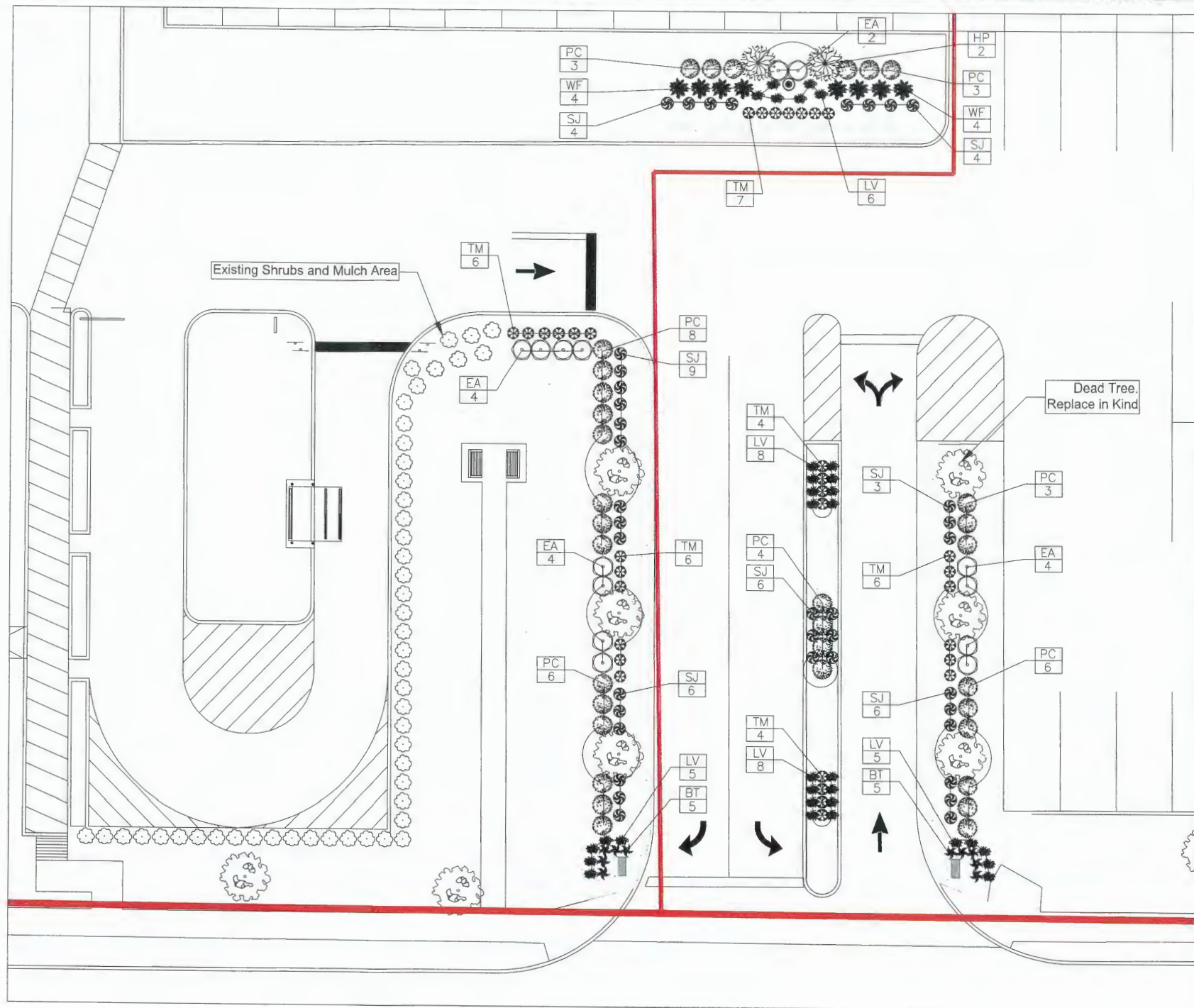
Rear Door Platforms

Building Side Door

- LANDSCAPE NOTES:
- ALL PLANTS INSTALLED SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS NOTED ON THE PLANS AND IN THE LATEST EDITION ON THE AMERICAN STANDARD FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY TAKEOFF, THE QUANTITIES SHOWN ARE A MINIMUM AND ARE FOR REFERENCE ONLY.
 - PROPOSED PLANTING MATERIAL LOCATIONS IDENTIFIED ON THE PLANS CONVEY DESIGN INTENT ONLY. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL COMPLETE A FIELD STAKEOUT OF ALL PROPOSED PLANTING MATERIAL LOCATIONS FOR THE OWNER'S REPRESENTATIVE'S INITIAL REVIEW. THE FINAL LOCATION OF ALL PROPOSED PLANTING MATERIALS WILL REQUIRE THE APPROVAL OF THE OWNER'S REPRESENTATIVE AT THE TIME OF INSTALLATION.
 - THE CONTRACTOR IS HEREBY NOTIFIED THAT IF UNDERGROUND UTILITIES EXIST IN THE VICINITY OF THE PLANTINGS, ALL PROPOSED PLANTINGS SHALL BE INSTALLED A MINIMUM OF 5' FROM ANY UNDERGROUND UTILITY. CONTACT THE OWNER'S FIELD REPRESENTATIVE IF PLANTINGS SHOWN ON THE PLANS VIOLATE THIS SITUATION.
 - ALL TREES SHALL BE INSTALLED A MINIMUM OF 20' FROM ANY OVERHEAD ELECTRIC LINES.
 - PLANTING BACKFILL MIXTURE SHALL CONSIST OF 4 PARTS TOPSOIL, 1 PART PEAT MOSS, 1/2 PART WELL ROTTED MANURE, 10 LBS 5-10-5 PLANTING FERTILIZER THOROUGHLY MIXED PER CUBIC YARD.
 - STAKE AND WRAP TREES IMMEDIATELY FOLLOWING INSTALLATION.
 - ALL PLANTED AREAS SHALL RECEIVE A MAX. 2" LAYER OF COCOA BROWN MULCH, WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
 - ALL DISTURBED AREAS NOT RECEIVING PLANTINGS (INCLUDING RIGHT-OF-WAYS) SHALL BE PROVIDED WITH SOD. SEED PERMITTED AT RETENTION POND IF PLANTED EARLY ENOUGH TO ESTABLISH.
 - THE AREAS ON THE PLAN TO BE SEEDDED SHALL HAVE 4" MINIMUM OF TOPSOIL, DISK PLOWED, LEVELED AND HAND RAKED SMOOTH. SURFACE SHALL BE ROLLED TO REMOVE LUMPS.
 - ALL SEEDED AREAS SHALL BE HYDROSEEDING IN ACCORDANCE WITH THE SPECIFICATION INDICATED. WHERE REQUIRED BY CLIMATIC CONDITIONS, SLOPE OR SEASON OF PLANTING.
 - HYDROSEED SPEC. 20% RYE, 20% BLUE GRASS, 60% TURF TYPE PESCUE.
 - SOD MAY BE SUBSTITUTED FOR SEEDING IN ORDER TO ACHIEVE THE REQUIRED COVERAGE (REFER TO CONTRACTOR FOR SOD/SEED COVERAGE).
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING, MOWING AND OTHER MAINTENANCE TO SEEDED AREAS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THIS SHALL INCLUDE WATERING DAILY FOR 15 DAYS OR AS REQUIRED BY WEATHER CONDITIONS AND RE-SEEDING OF THIN SPOTS FOLLOWING THE GERMINATION OF THE SEEDS.
 - CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING TREES ONSITE AND OFFSITE, WHICH ARE TO BE PRESERVED, FROM ALL POSSIBLE TYPES OF ROOT, TRUNK, AND LIMB DAMAGE.
 - CONTRACTOR TO PROVIDE A ONE YEAR GUARANTEE ON ALL NEW PLANTING MATERIALS, INCLUDING LAWNS, STARTING AT THE DATE OF FINAL ACCEPTANCE.

LANDSCAPING INDEX							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	ROOT	QTY.
[TREES]							
	HP	Hydrangea paniculata	PANICLE HYDRANGEA	2-1/2"	-	B&B	2
[SHRUBS & GRASS]							
	SJ	Spiraea japonica 'Gold Mound'	GOLD MOUND SPIRAEA	-	18"	3 GAL.	38
	WF	Weigela florida	OLD FASHIONED WEIGELA	-	24"	3 GAL.	8
	TM	Taxus x media 'Densiformis'	Dense Yew	-	18"	3 GAL.	33
	PC	Prunus x cistena	PURPLELEAF SAND CHERRY	-	24"	3 GAL.	33
	LV	Ligustrum x vicaryi	Vicary Golden Privet	-	18"	3 GAL.	51
	BT	Berberis thunbergii	Japanese Barberry	-	18"	3 GAL.	28
	EA	Euonymus alatus 'Compactus'	Burning Bush	-	24"	3 GAL.	14

- Grass Area / Sod
- Annual Plantings
- Existing Tree/ Shrubs



Entrance Drive Landscaping
Scale: 1" = 60'

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

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CONSTRUCTION SET



PROPERTY NUMBER: #2127 AREA: -

AURORA VILLAGE
SHOPPING CENTER
123 GREY STREET,
EAST AURORA, NY 14052

PROPOSED SITE
ADJUSTMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Landscaping
Plan

SCALE:
1" = 10'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
05.23.2025

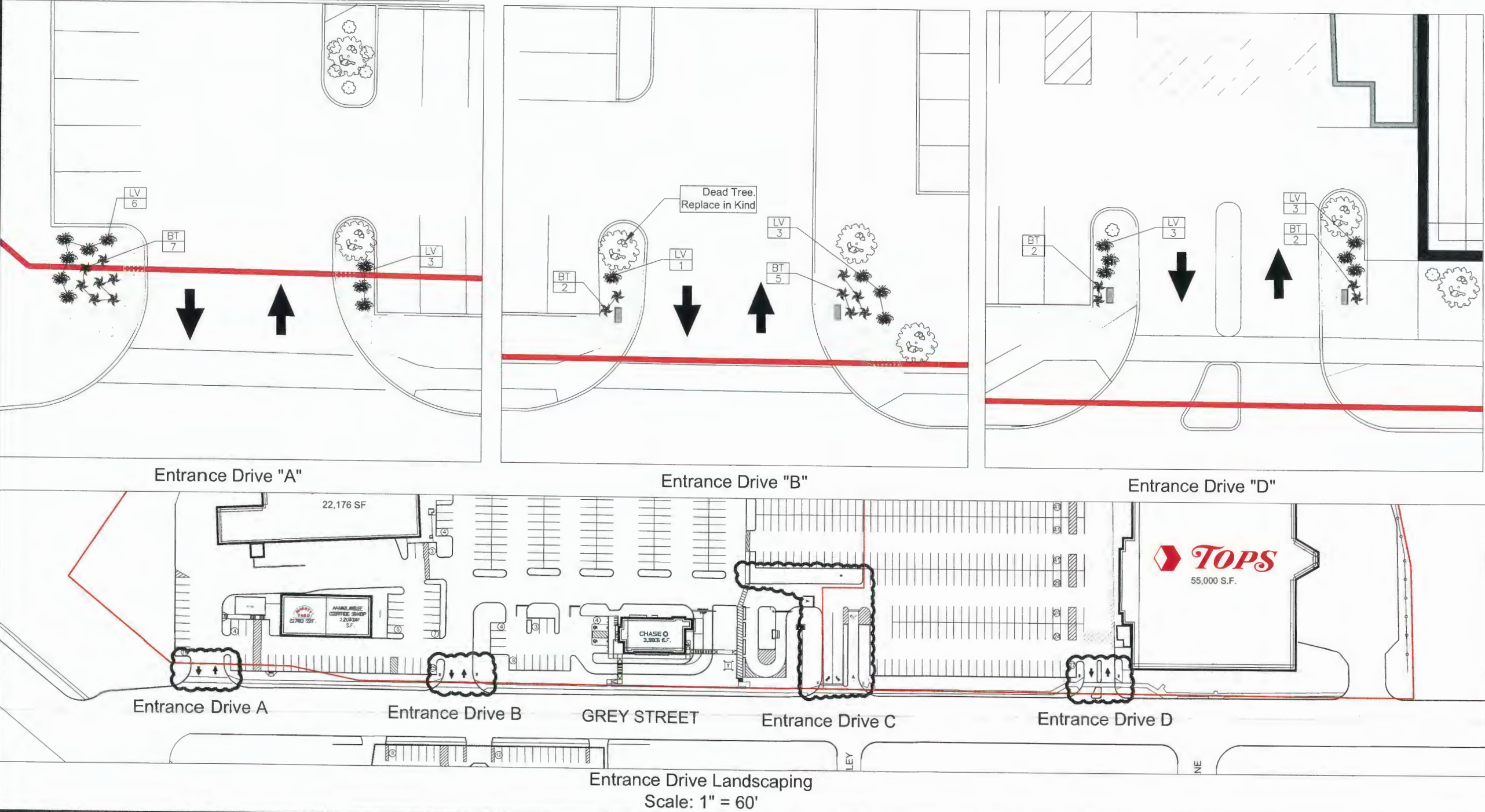
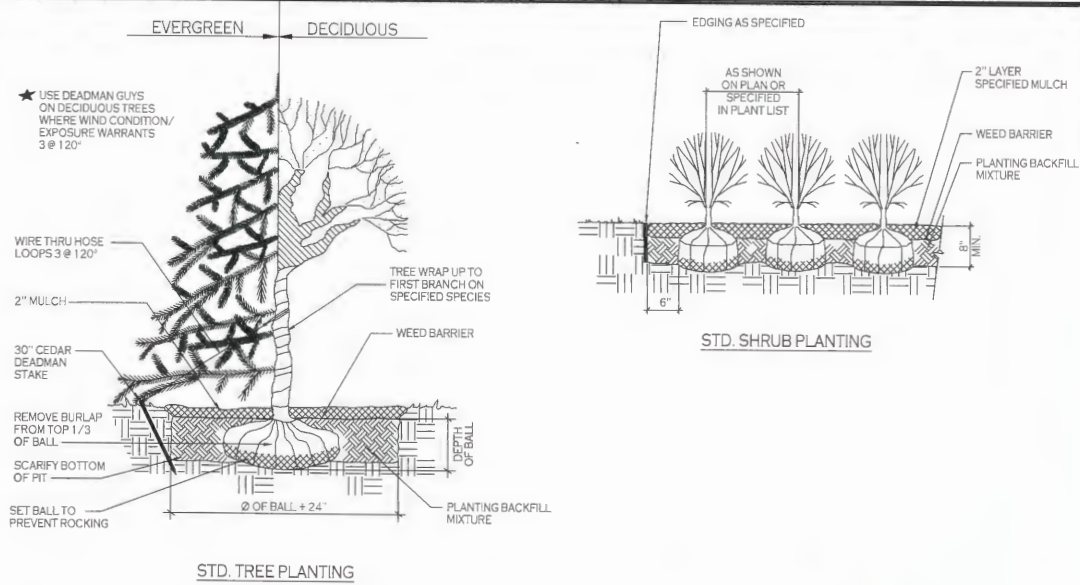
DRAWING NO.
C7.0

LANDSCAPING INDEX							
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	ROOT	QTY.
[TREES]							
	HP	Hydrangea paniculata	PANICLE HYDRANGEA	-	2-1/2"	B&B	2
[SHRUBS & GRASS]							
	SJ	Spiraea japonica 'Gold Mound'	GOLD MOUND SPIRAEA	-	18"	3 GAL.	38
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Grass Area / Sod

Annual Plantings

Existing Tree/ Shrubs



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

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CONSTRUCTION SET

NORTH

811

Know what's below. Call before you dig.

PROPERTY NUMBER

#2127

AREA

AURORA VILLAGE SHOPPING CENTER

123 GREY STREET,

EAST AURORA, NY 14052

PROPOSED SITE ADJUSTMENT

CONSULTANT

JAMES ALLEN RUMSEY

ARCHITECT

PREPARED FOR

BENDERSON DEVELOPMENT

570 DELAWARE AVE., BUFFALO, NY 14202

(716) 886-0211

SEAL

REGISTERED ARCHITECT

JAMES ALLEN RUMSEY

STATE OF NEW YORK

TITLE

Landscaping Plan

SCALE:

1" = 10'

DRAWN BY:

DMZ

CHECKED BY:

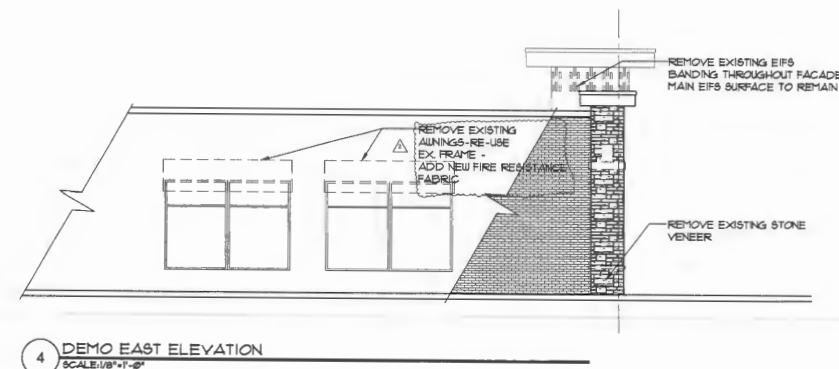
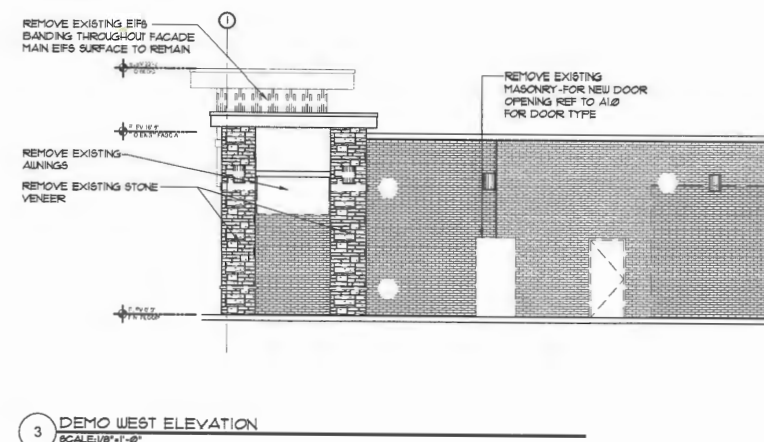
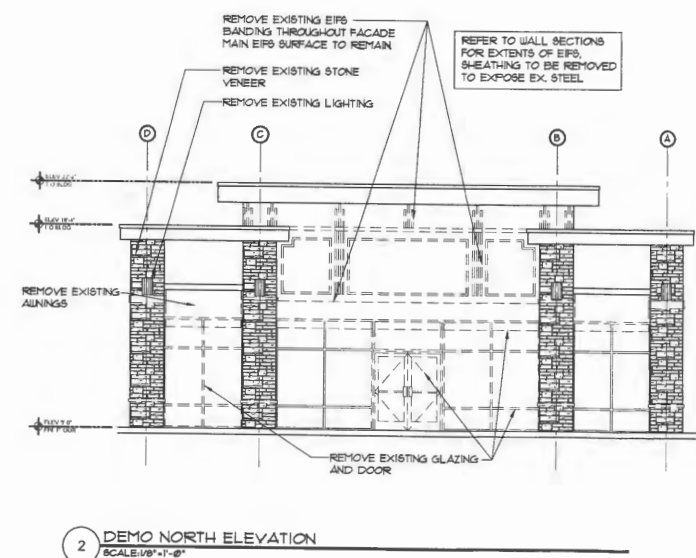
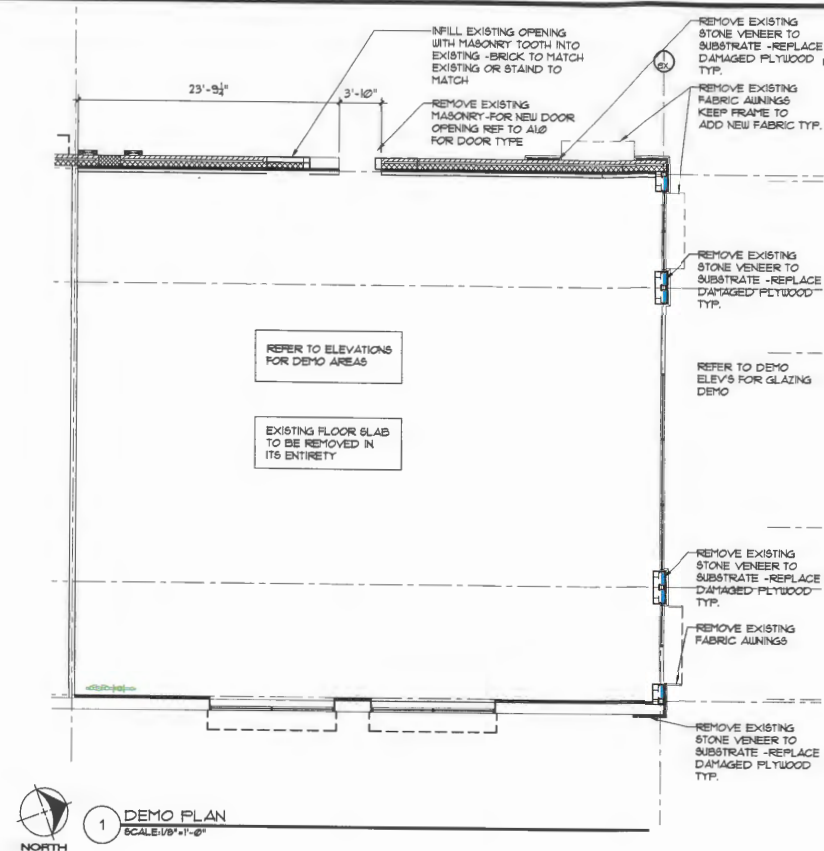
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DATE:

05.23.2025

DRAWING NO.

C7.1

[illegible]

SPECIAL INFORMATION:
THIS DRAWING PREPARED FOR TENANT IMPROVEMENT TO AN EXISTING BUILDING OR BUILDING CONSTRUCTED BY OTHERS IT IS UNDERSTOOD THAT ANY WARRANTY INFORMATION CONCERNING EQUIPMENT INSTALLED MUST BE FORWARDED TO THE OWNER AND THAT ANY AND ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.

NOTICE
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IN VIOLATION OF SECTION #7209 OF THE STATE
EDUCATION LAW.

PROPERTY NUMBER.	AREA.
2127	N/A SF

**AURORA VILLAGE
SHOPPING CENTER**
123 GREY STREET
EAST AURORA, NY 14052

**Proposed
STARBUCKS**

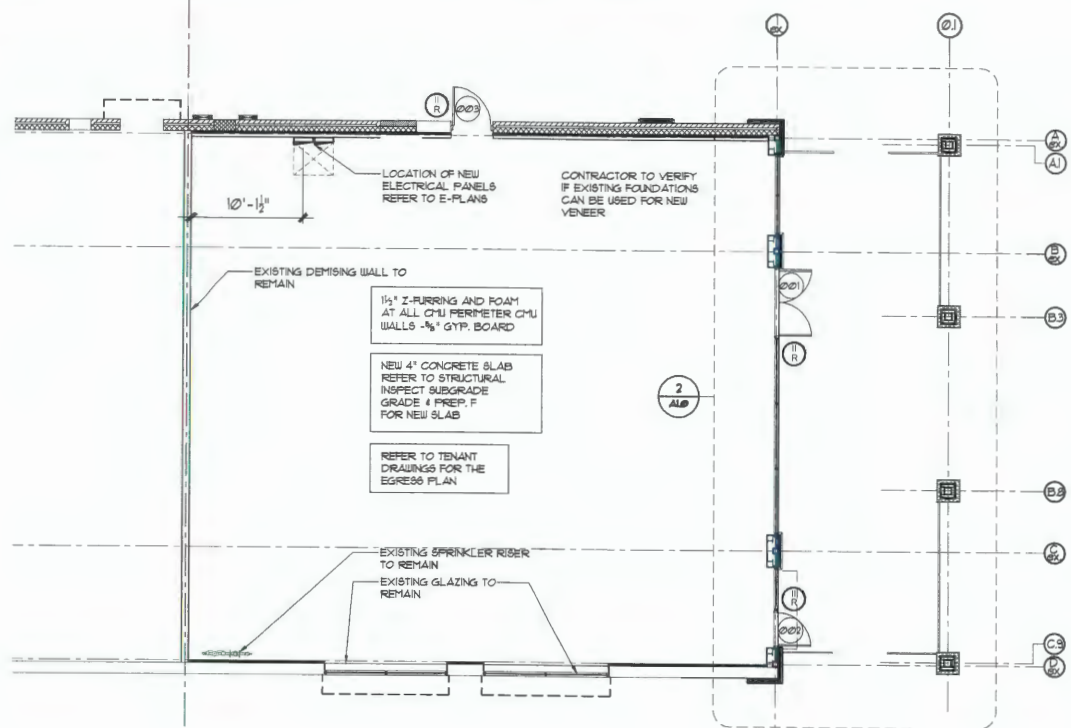
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON
DEVELOPMENT
7978 COOPER CREEK BLVD., SUITE 100, UNIVERSITY PARK, FL 34134
Phone (941) 360-7283

SEAL

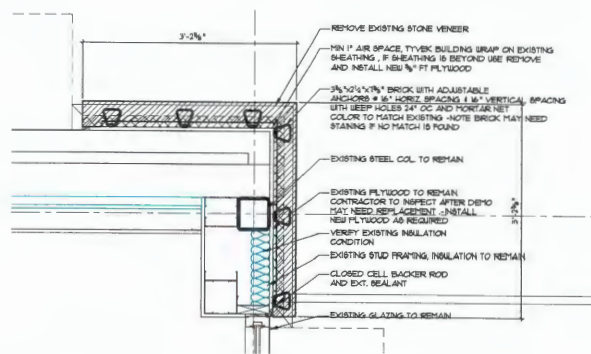
TITLE
DEMOLITION
FLOOR PLAN,
ELEVATIONS

DRAWN BY
JM
CHECKED BY
JAR
DATE
2-24-25

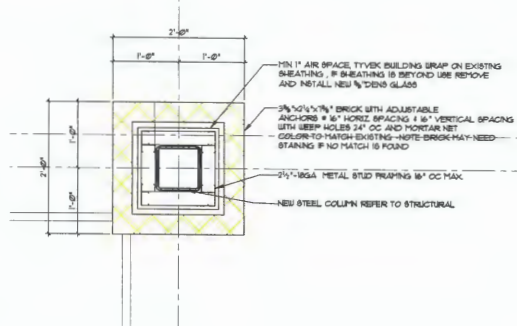
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D1.0



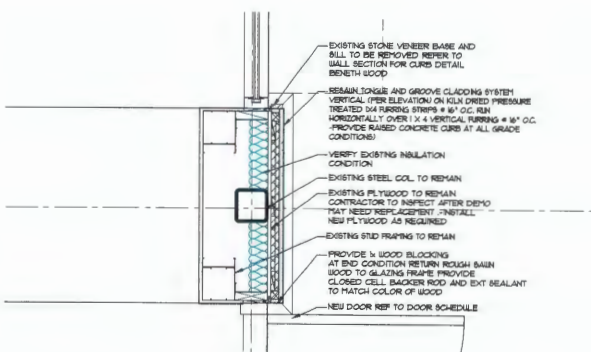
1 OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"



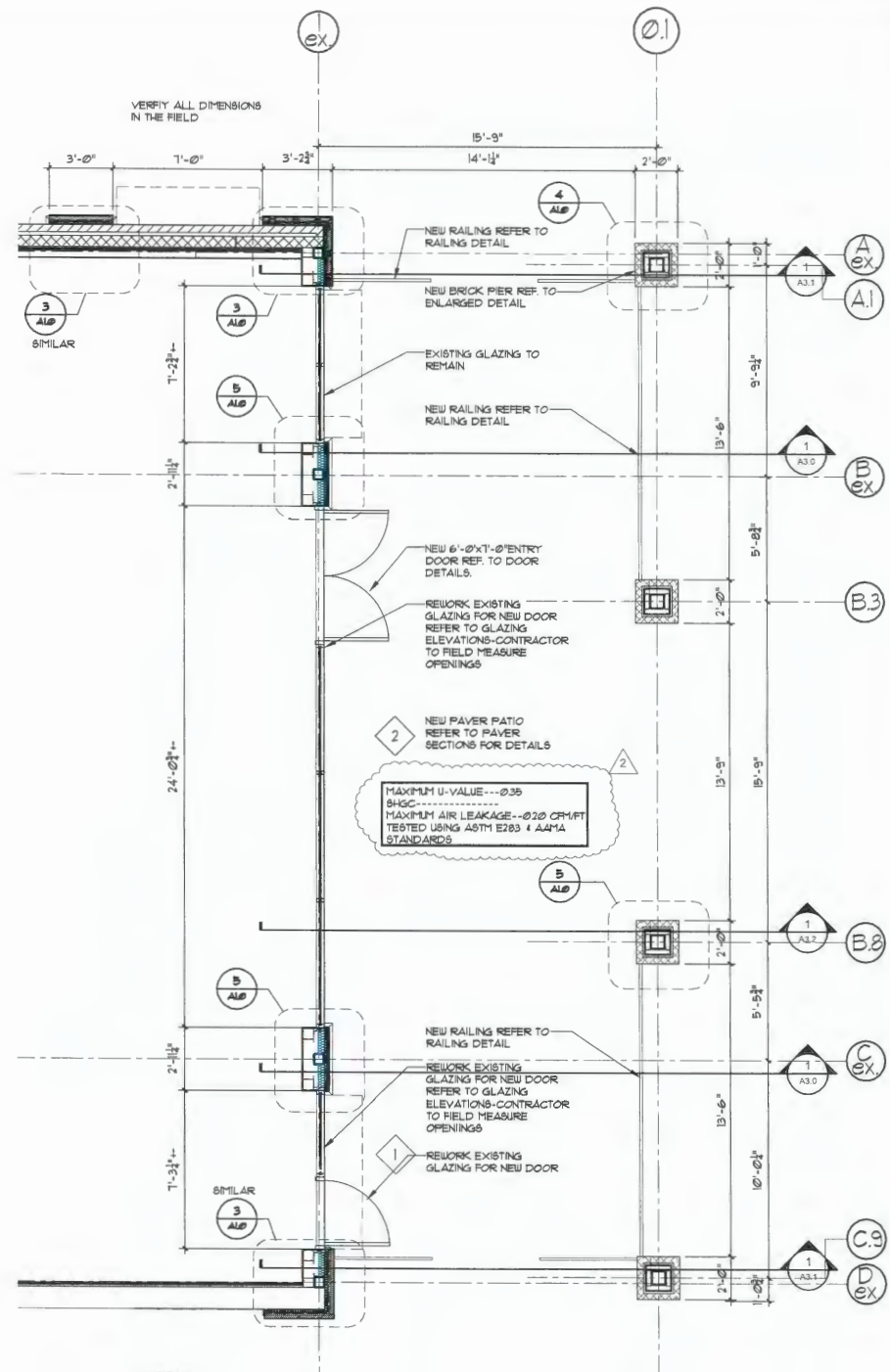
3 ENLARGED DETAIL
SCALE: 3/4" = 1'-0"



4 ENLARGED DETAIL
SCALE: 3/4" = 1'-0"



5 ENLARGED DETAIL
SCALE: 3/4" = 1'-0"



2 ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

DRAWING REVISIONS:			
NO.	DATE	BY	REMARKS
1	2-24-25	JM	ISSUED FOR BID/PERMIT
2	3-7-25	JM	TOWN COMMENTS

SPECIAL INFORMATION:
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PROPERTY NUMBER: 2127
AREA: N/A SF

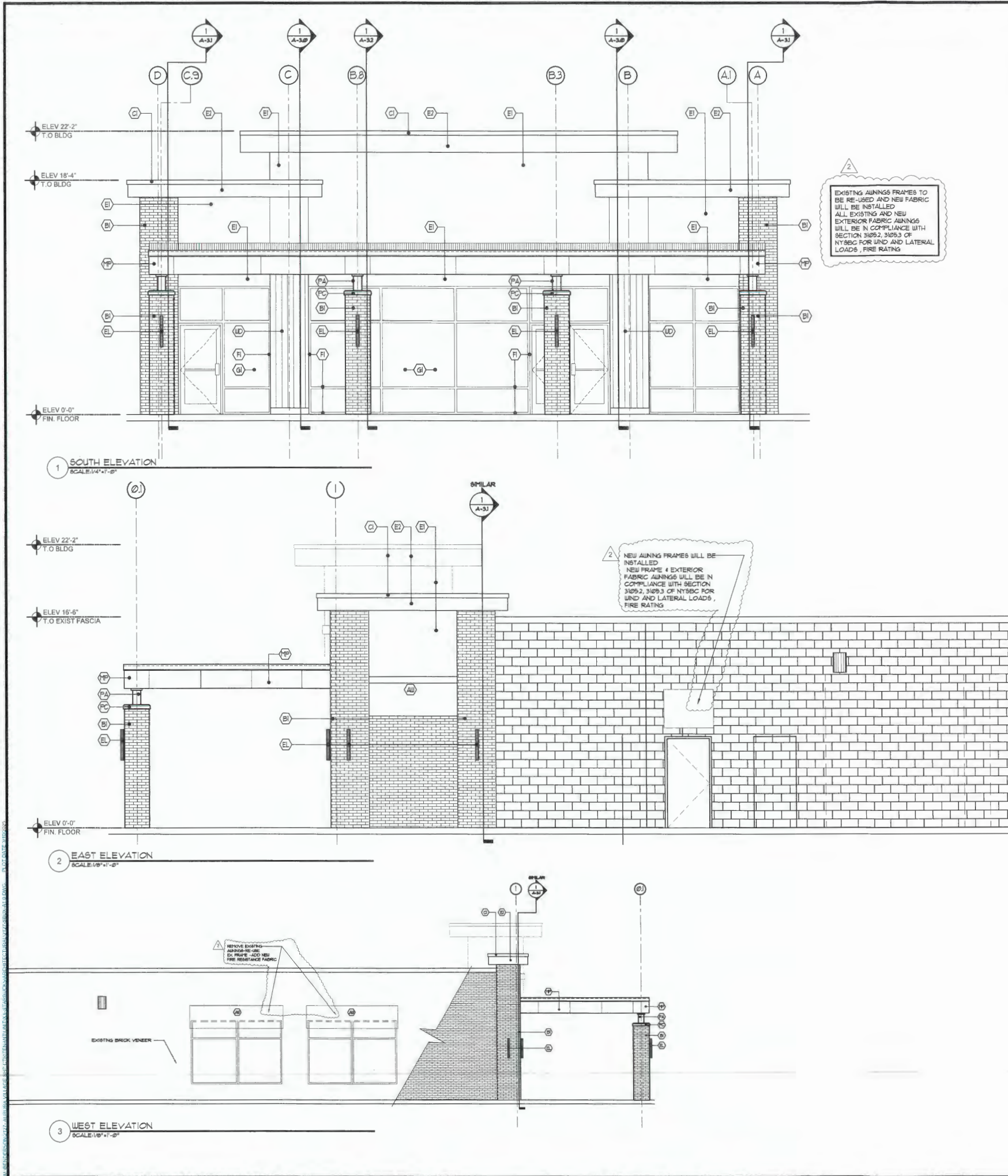
AURORA VILLAGE SHOPPING CENTER
123 GREY STREET
EAST AURORA, NY 14052
Proposed STARBUCKS

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
7979 COOPER CREEK BLVD., SUITE 100, UNIVERSITY PARK, FL 34201
Phone (941) 360-7263

SEAL

TITLE
**FLOOR PLAN, DETAILS
ENLARGED PLAN**

DRAWN BY: JM
CHECKED BY: JAR
DATE: 2-24-25
DRAWING NO: **A1.0**



EXTERIOR FINISH MATERIALS LEGEND	
COPING	METAL PAINT
(C) PREFINISHED METAL COPING, ATAS xx	(PA) STEEL COLUMN PAINT TO MATCH METAL PANEL PER SPEC. ON A2.0
ALUMINUM STOREFRONT FRAMING	METAL PANEL
(F) KAWNEER TRIFAB 451 ALUMINUM FRAMING : COLOR: CLEAR ANODIZED	(MP) 4"X11" (A2) METAL PANEL WITH DRYSEAL EVO CLIP SYSTEM COLOR: ATAS CLASSIC BRONZE
GLASS	FABRIC AWNING
(G) 1" INSULATED GLASS : COLOR CLEAR	(FA) FLAME RETARDANT FABRIC AWNING, TO BE DETERMINED
EES	EXTERIOR LIGHT FIXTURE
(E) EFS COLOR: DRYVIT SW 1019 GAUNTLET GREY---TEXTURE SANDPEBBLE	(EL) "NOVUS" ARMOR OUTDOOR WALL SCONSE 412" -LED 3000K COLOR BLACK LED SCONSE LIGHT
(E) EFS COLOR: DRYVIT SW1020 BLACK FOX---TEXTURE SANDPEBBLE	HOLLOW METAL DOOR
BRICK	(MD) HOLLOW METAL DOOR AND FRAME- SHERWIN WILLIAMS SW6099 SAND DOLLAR
(B) MODULAR BRICK -TO MATCH EXISTING CONTRACTOR TO PROVIDE SAMPLES IF NOT MATCH BRICK WILL NEED TO BE STAINED TO MATCH	GENERAL NOTES
PRE-CAST	1. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISH MATERIALS TO ARCHITECT'S OFFICE FOR APPROVALS, PRIOR TO CONSTRUCTION.
(PC) PRE-CAST 9" LIGHT WHEAT ETCHED	2. WITH OWNER'S APPROVAL, CONTRACTOR MAY SUBMIT TO ARCHITECT, ALTERNATE MANUFACTURER FINISH PRODUCTS FOR SUBMITTAL APPROVAL. OWNER/ARCHITECT RESERVE THE RIGHT TO REJECT ANY OR ALL ALTERNATES.
WOOD	3. CONTRACTOR TO COORDINATE WITH ARCHITECT'S OFFICE AND LANDLORD, COLOR AND FINISH MATERIALS SPECIFICATIONS AND THEIR INTENDED LOCATIONS, PRIOR TO INSTALLATION AND CONSTRUCTION.
(W) RESAWN TIMBER CO. -COLOR WEGA ACCOYA WOOD SIDING -VERTICAL ORIENTATION- 6" X 1" TONGUE AND GROOVE -SELECT TIGHT KNOT -REMOVE MAJOR SPLITS OR CHECKS (REFER TO MFG RECOMMENDATION OR WASTE FACTOR)	4. LINE INDICATES SIGNBAND AREA.
-SEAL ALL 4 SIDES PER MFG. RECOMMENDATIONS	5. LINE INDICATED CONTROL JOINT.
-INSTALL PER ALL RESAWN LUMBER RECOMMENDATIONS	6. LINE OF FOUNDATION
-BDCI TO PROVIDE PROPERTY MAINTENANCE PROGRAM TO MAINTAIN CEDAR COLOR PER MFG. RECOMMENDATIONS	7. LINE OF ROOF
-PROVIDE UV PROTECTION -SEMI TRANSPARENT SEALING OIL	8. VERT. VEE GROOVE- 1" SEE DETAIL ON SHEET A2.2
-PROVIDE TEST AREA PRIOR TO FULL STAIN FOR COLOR VERIFICATION	9. HORIZ. VEE GROOVE- 1" SEE DETAIL ON SHEET A2.2

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	2-24-25	JM	ISSUED FOR BID/PERMIT
2	3-7-25	JM	TOWN COMMENTS

SPECIAL INFORMATION:
THIS DRAWING PREPARED FOR TENANT IMPROVEMENTS TO AN EXISTING BUILDING OR BUILDING CONSTRUCTED BY OTHERS. IT IS UNDERSTOOD THAT ANY WARRANTY INFORMATION CONCERNING EQUIPMENT INSTALLED MUST BE FORWARDED TO THE OWNER AND THAT ANY AND ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 7209 OF THE STATE EDUCATION LAW.

PROPERTY NUMBER
2127

AREA
N/A SF

AURORA VILLAGE
SHOPPING CENTER
123 GREY STREET
EAST AURORA, NY 14052

Proposed
STARBUCKS

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

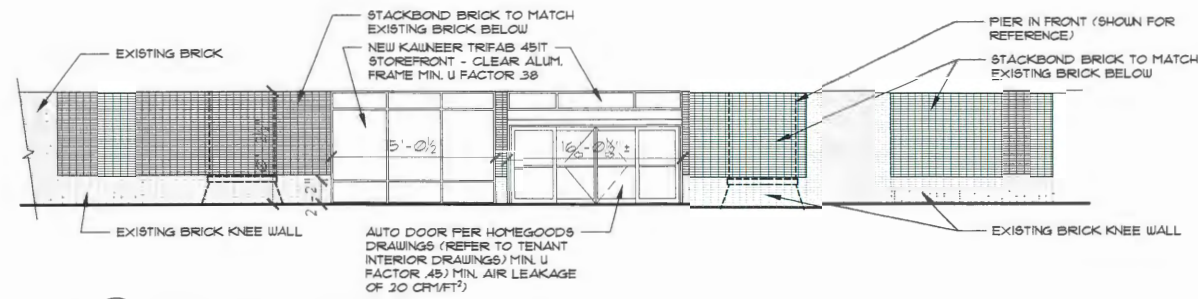
**BENDERSON
DEVELOPMENT**
7874 COOPER CREEK BLVD., SUITE 100, UNIVERSITY PARK, FL 34201
Phone (941) 360-7283

SEAL

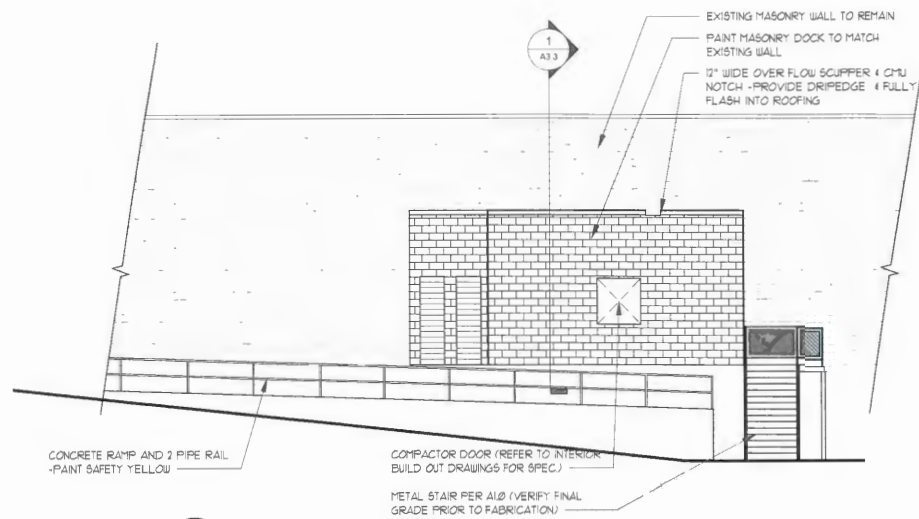
TITLE
ELEVATIONS
SCHEDULES

DRAWN BY
JM
CHECKED BY
JAR
DATE
2-24-25

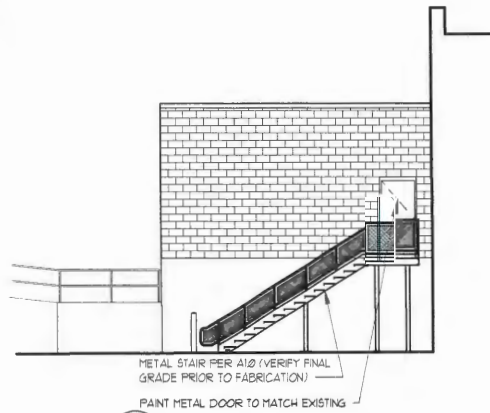
DRAWING NO
A2.0



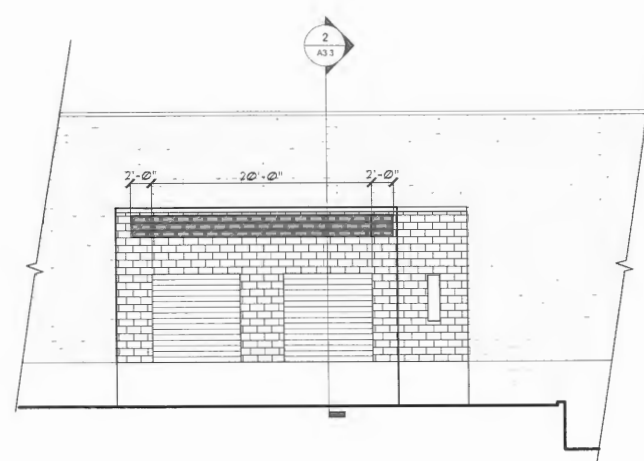
1 NORTH ELEVATION @ STOREFRONT
A2.1 1/8" = 1'-0"



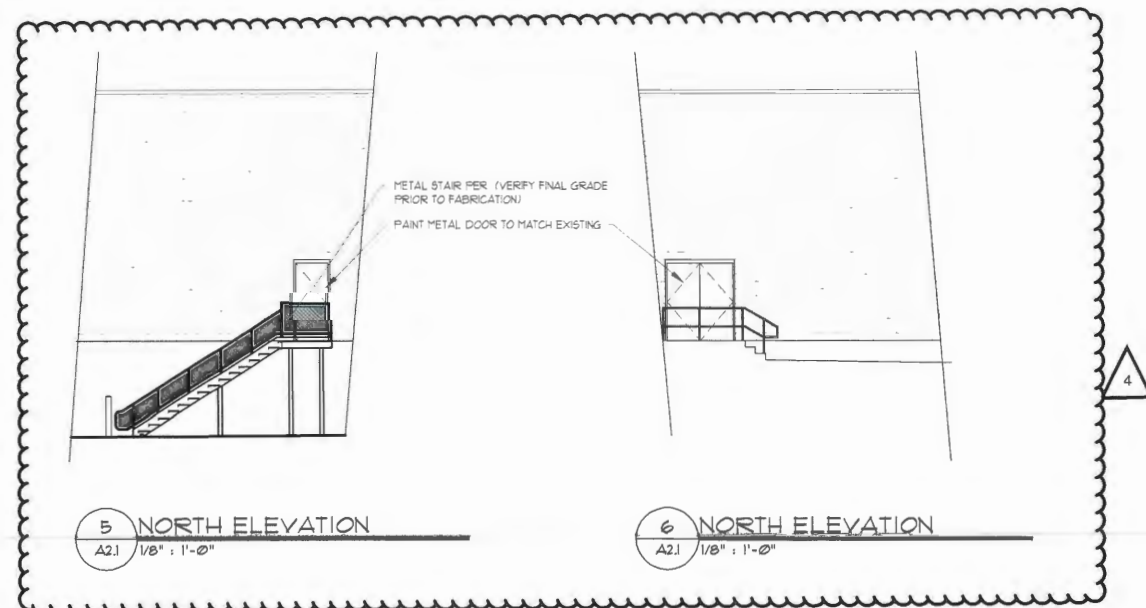
2 NORTH ELEVATION
A2.1 1/8" = 1'-0"



3 NORTH ELEVATION
A2.1 1/8" = 1'-0"

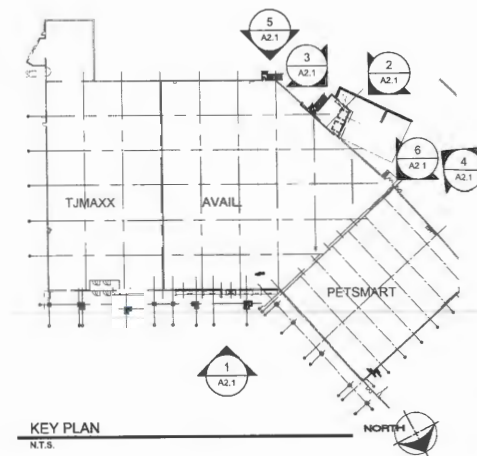


4 NORTH ELEVATION
A2.0 1/8" = 1'-0"



5 NORTH ELEVATION
A2.1 1/8" = 1'-0"

6 NORTH ELEVATION
A2.1 1/8" = 1'-0"



KEY PLAN
N.T.S.

NO.	DATE	BY	REMARKS
1	7.17.24	CAR	INTELL OPENING
2	1.10.25	CAR	DOCK FRONT GLAZ.
3	2.2.25	CAR	PERMIT RESPONSE
4	5.27.25	CAR	DOOR UPDATE

SPECIAL INFORMATION:
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JAMES ALLEN RUMSEY
ARCHITECT

PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE. BUFFALO, NY 14202
BUFFALO, NY 14202
(716) 886-0211

PROPERTY NUMBER
2127

AURORA VILLAGE
123 GREY STREET
EAST AURORA, NEW YORK
FACADE RENOVATION

SEAL:

TITLE
EXTERIOR ELEVATIONS

DRAWN BY:
CAR
CHECKED BY:
JAR
DATE:
5.30.24

DRAWING NO.
A2.1

MODIFY 2025/2026 BUDGET

July 21, 2025

Trustee _____, offered the following resolution and moved for its adoption:

BE IT RESOLVED, the Clerk–Treasurer is hereby authorized to modify the 2024/2025 Budget in the following manner:

Revenue – Appropriated Fund balance - \$ 200,000
Expenditures – Road Materials 5-5110.0420 - \$200,000
Park Place Road Reconstruction

Revenue – Water Fund Appropriated Fund balance - \$ 95,000
Expenditures – Transmission & Distribution maint & repairs F-5-8340-0420 - \$95,000
Waterlines for Park Place Road reconstruction

The following resolution was seconded by Trustee _____ and unanimously approved

VILLAGE OF EAST AURORA
APPLICATION FOR TEMPORARY USE PERMIT
Not less than 60 days or more than 75 days before date of activity

\$25.00 Application Fee ☒ \$50.00 Permit Fee ☒
\$100.00 Mailer Fee (300 feet for road/public parking lot closure and/or outdoor music) ☒
Date Application Filed: 7/18/25
Date of V.B. Action: 7/25/25 Approved: _____ Disapproved: _____
Conditions of approval will be listed in permit

Please type or print legibly

Name of Organization East Aurora American Legion Post #362
Is Organization a: Not-For-Profit Charitable/Service Business School Government
Name & Address of Individual Responsible Bill Lewis, Commander / 1 Legion Drive, EA, NY 14052
Phone Number (716) 652-9862 E-mail commander.ealegion362@gmail.com
Event Name Toytown Car Show
Date(s) of Event August 24, 2025 Time(s) of Event 0800-1700hrs Estimated # of People 1500

Please describe activity/purpose of this event Antique Car Show, All proceeds benefit local high school student scholarships.
Location (include all areas of the event) Main Street, EA, between intersections of Maple and Olean.
(attach map)

Will this event be donating a portion of proceeds to one or more charities and publicizing that in promotional material? Yes No

If yes, list charities and the percentage of proceeds to be donated: Local high school scholarships, 100%

Will this event be held entirely in the Village of East Aurora? ☒ Yes ☐ No

If no, specify: _____

Will the event include more than one vendor/organization? ☒ Yes ☐ No

(if yes, attach list of vendors/participants) EA Legion Post #362 & EA Moose Lodge #370

Will the event involve a street or parking lot closure/usage? ☒ Yes ☐ No If yes, please note:

Road/Lot Name(s): Main Street (Rt. 20A) from intersection of Maple Street east to intersection of Olean St.

Date(s) of Closure: Sunday, August 24, 2025, 0900-1800hrs.

Will the event include:

Parade or motorcade ☐ Yes ☒ No (Attach Map of route)

Walk or Run ☐ Yes ☒ No (Attach Map of route)

Applicants should review proposed routes with the Police Department prior to making this application.

Will there be outdoor music? Yes No

Time & Location Duration of Show Live ☐ DJ ☒ Multiple/Mixed ☐

Amplification ☒ Yes ☐ No

*** Minimal at select utility poles along the event area.

Will you be providing or selling alcohol? ☐ Yes ☒ No

Will people be allowed to bring alcohol? ☐ Yes ☒ No

Will there be Security Guards? ☐ Yes ☒ No Volunteers ☐ or Private Paid Entity ☐

Please List Entity Name _____

Will there be temporary food stands? ☒ Yes ☐ No

How many? (1) Boy Scout Troop 513 Hotdog & Sausage Stand, corner of Main and Pine St.

Food Truck? If yes, name of vendor: No.

(additional permit required) Chamber of Commerce Member _____

Will tent or other structure be erected for event? ☐ Yes ☒ No Size _____

Date & Time to be installed _____ Date & Time to be removed _____

Will any prep work be done on or before the event? ☒ Yes ☐ No

Please describe Portable radio speaker systems will be hung from the utility poles on Main Street in the event area.

Set up Date: 8/23/2025 Time: 1800hrs - complete

Clean up Date: 8/24/2025 Time: 1600-1800hrs.

Applicants/Event Organizers are responsible for ensuring complete clean-up after the event.

Will additional **garbage cans** be needed? ☒ Yes ☐ No How many 10 Drop Off Location Up and Down Main St.

On request, these may be provided by the Village DPW for an added fee.

Will each vendor/organization be responsible for their own garbage? ☒ Yes ☐ No

Will a **dumpster** be used? ☐ Yes ☒ No If yes, location _____

Will there be **portable toilets**? ☒ Yes ☐ No How Many? _____

Location(s) Main & Park (x2), Main & Whaley (x2), Main & Riley (x4)

Will there Bell Jar or Games of Chance? ☐ Yes ☒ No (if yes, separate permit required)

What is the source of **electric**, if applicable? _____

Please list any extras e.g. light show, loud speakers, decorations, paints, dyes, etc.:

Loud speakers for music and show announcements as described above.

For the following items, state if the applicant has made prior contact with each entity to discuss the event.

Police Services Requested: Crossing Guard / Traffic Control at Main & Riley and Main & Olean.

(Crossing Guards may be required, and an additional fee charged to the applicant, depending on the event, as determined by the Police Department.)

DPW Services Requested: (10) Additional garbage cans along Main Street in the event area.

Fire/Other Services Requested: _____

- Attach map or sketch showing the location of the event. Such map shall include:

Location of parking facilities, indicating number of parking spaces being provided; location of toilet facilities including the location of portable toilets; location of public entrance(s) and exit(s) to the event site; location of vendor facilities (if applicable) including booths, tents and food service facilities; explanation of steps being taken to control traffic and provide security (if applicable) and the number of security personnel that will be present.

X *Requesting organization shall attach a completed Certificate of Insurance with minimum limits include public liability coverage of limits of \$1,000,000 each occurrence; property damage insurance with limits of \$1,000,000 each occurrence. Policy shall be endorsed to include Village of East Aurora as an additional named insured.*

X *Requesting organization shall attach Indemnification Agreement on organization letterhead, signed by authorized applicant or officer of company and duly notarized (sample included).*

Applicant named herein is fully responsible for obtaining any & all licensing with regard to the presentation or playing of music, pursuant to music copyright laws. The Village of East Aurora assumes no liability in this regard.

☐ Police Department: Conditions/Comments _____

☐ Department of Public Works: Conditions/Comments _____

☐ Fire Department/Disaster Coordinator: Conditions/Comments _____

Sign Permits are to be obtained from the Town of Aurora Building Department 575 Oakwood Ave, 716-652-7591

Name, Address and Telephone Number of Property Owner(s): _____

Signature of Applicant: William Lewis

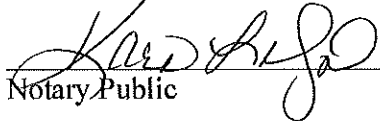
Applicant's signature certifies that all information contained in this application is complete and accurate and that the applicant has any permission required by the property owner(s) for the event to occur on the property.

Indemnification Agreement

To the fullest extent permitted by law, I/We shall indemnify and hold harmless the Village of East Aurora and its employees from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of our work under this contract, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, including loss of use resulting there from but only to the extent caused in whole or in part by negligent acts or omissions of our organization, anyone directly or indirectly employed by us or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to otherwise exist as to a party or person described in this paragraph.


Authorized Applicant or Officer

Subscribed and sworn to before me this 15th day of July, 2025


Notary Public

KARIN L. DOJNIK
Notary Public, State of New York
Reg. # 01DO6445148
Qualified In Erie County
Commission Expires December 12, 2026



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

7/14/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER	CONTACT NAME: Maureen Steria
Foy Agency, Inc.	PHONE (A/C, No, Ext): (315) 493-2391
P. O. Box 42	FAX (A/C, No): (315) 493-3267
	E-MAIL: maureen@foyagency.com
	ADDRESS:
	INSURER(S) AFFORDING COVERAGE
Deer River NY 13627	INSURER A: GA Assurance Ins Co
	NAIC # 26344
INSURED	INSURER B:
East Aurora American Legion Post #362 VFW Post 205	INSURER C:
	INSURER D:
1 Legion Drive	INSURER E:
East Aurora NY 14052	INSURER F:

COVERAGES

CERTIFICATE NUMBER: 2025 07 14

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	COMMERCIAL GENERAL LIABILITY						
	☐ CLAIMS-MADE ☐ OCCUR	X		HAC659797117	3/1/2025	3/1/2026	EACH OCCURRENCE \$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
							MED EXP (Any one person) \$ 5,000
							PERSONAL & ADV INJURY \$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:						GENERAL AGGREGATE \$ 2,000,000
	☒ POLICY ☐ PRO-JECT ☐ LOC						PRODUCTS - COMP/OP AGG \$ 2,000,000
	OTHER:						\$
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident) \$
	☐ ANY AUTO						BODILY INJURY (Per person) \$
	☐ ALL OWNED AUTOS						BODILY INJURY (Per accident) \$
	☐ HIRED AUTOS						PROPERTY DAMAGE (Per accident) \$
	☐ SCHEDULED AUTOS						\$
	☐ NON-OWNED AUTOS						
	UMBRELLA LIAB						EACH OCCURRENCE \$
	☐ OCCUR						AGGREGATE \$
	EXCESS LIAB						\$
	☐ CLAIMS-MADE						\$
	DED ☐ RETENTION \$						
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						PER STATUTE ☐ OTH-ER ☐
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	Y/N					E.L. EACH ACCIDENT \$
	If yes, describe under DESCRIPTION OF OPERATIONS below	N/A					E.L. DISEASE - EA EMPLOYEE \$
							E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

West Herr Auto Group is added as an Additional Insured effective for 1 day, August 24, 2025 by written contract.

CERTIFICATE HOLDER

CANCELLATION

West Herr Auto Group
3552 South West Blvd
Orchard Park, NY 14127

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Michael Hayes/PAIGE

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Temporary Use Permit Hamlin Park

Submit to: Village of East Aurora 585 Oakwood Ave EA, NY 14052

Telephone (716) 652-6000, ext. 4

Not less than 60 Days or more than 75 days before date of activity

Application Fee	\$25.00	<u>X</u>
Permit Fee	\$50.00	<u>X</u>
<u>Cash</u>		

Name of Organization: EAST AURORA LITTLE LEAGUE

Individual Responsible for this request: BRANDON EMMICK

Address: 100 N. LAKE DR ORCHARD PARK, NY 14127

Telephone number: 716-320-3737 Fax: _____

Email Address: EMMICKB@GMAIL.COM

Date(s) of event: 7/28/25 - 11/15/25

Hours of use including set up/take down: Start: 8 am/pm End: 5 am/pm

Description of the event or use:
EAST AURORA FOOTBALL GAMES + PRACTICES

Specific area(s) requested; map attached.

- ☐ Kiwanis BBQ shelter
- ☐ Tennis Courts shelter
- ☐ Rotary Band shell
- ☒ Soccer field/football field
- ☒ Baseball diamond

- ☐ Volleyball courts Tennis courts
- ☐ Aurora Players Pavilion**MUST receive permission to use the Pavilion from the Aurora Players prior to handing in this application. You must also attach a copy of a written agreement for use from the Aurora Players. **
- ☐ Outdoor Playground
- ☐ Other: _____

Estimated attendance: 250

Will food or drinks be served? ☒ Yes ☐ No If yes, describe: CALL SNACK SNACK

Is there a plan for garbage? ☒ Yes ☐ No Recycling? ☐ Yes ☐ No If yes, describe: TOWN

Will there be sound amplification or music or a band(s)? ☒ Yes ☐ No If yes, describe: ANNOUNCER

Booth

Other services requested (describe): _____

☐ Police _____

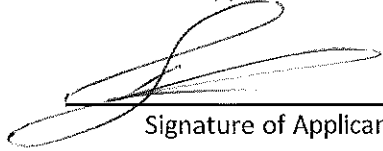
☐ Department of Public Works (DPW) _____

☐ Fire Department _____

☐ Materials _____

(Provide drawings describing location, size, and text of all proposed signs for this event to the Town of Aurora Building Department, 5 South Grove St. Approved signs may be erected 30 days prior to the event and must be removed immediately after same.)

I make this application and agree to abide by the **Guidelines for Use of Hamlin Park**.



Signature of Applicant

7/15/25

Date

Official Use Only Below this Line -----

Event: _____

Attachment Submitted:

- ☐ Indemnification Agreement
- ☐ Certificate of Insurance
- ☐ Map with area(s) requested to be used indicated.
- ☐ Copy of application for sign permit, if applicable. (Upon application approval, copy of approved sign permit must be filed with the Village Clerk NO LATER THAN 5 days prior to scheduled event.)

Action by Village Board:

If referred to Friends of Hamlin Park Advisory Board, date of VB referral: _____

Application **recommended or** **not recommended** by HPAB. (Attach written referral submitted to application.)

The Village Board, upon review of the application took the following action, with or without conditions (as applicable) and noted below:

Date: **Approved** _____
Village Clerk Signature

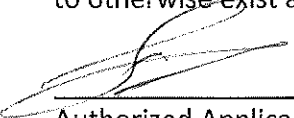
Denied: _____
Village Clerk Signature

Conditions:

- ☐ Police Department approval
- ☐ DPW approval
- ☐ Fire Department approval
- ☐ Requesting organization shall attach a completed **Certificate of Insurance** with Minimum Limits to include public liability coverage with limits of \$1,000,000ea occurrence; property damage insurance with limits of \$1,000,000ea occurrence. Policy shall be endorsed to include Village of East Aurora as an additional named insured.
- ☐ Requesting organization shall sign an **Indemnification Agreement**, on organization letterhead, Signed by authorized applicant or officer of company and duly notarized.
- ☐ Other _____

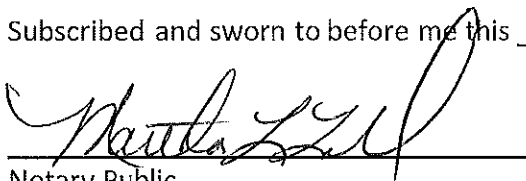
Indemnification Agreement

To the fullest extent permitted by law, I/We shall indemnify and hold harmless the Village of East Aurora and its employees from and against claims, damages, losses and expenses, including! but not limited to attorney's fees, arising out of or resulting from performance of our work under this contract, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or injury to or destruction of tangible property, including the loss of use resulting there from but only to the extent caused in whole or in part by negligent acts or omissions of our organization, anyone directly or indirectly employed by us or for anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to otherwise exist as to a party or person described in this paragraph.


Authorized Applicant or Officer

State of New York)
County of Erie)

Subscribed and sworn to before me this 15th day of July, 2025


Notary Public

MARTHA L. LIBROCK
Notary Public, State of New York
No. 01LI5028312
Qualified in Erie County
My Commission Expires May 31, 2026

Qualified in Erie County, New York
My commission expires: 5/31/2026

Guidelines for Use of Hamlin Park

1) Introduction

Hamlin Park, herein called the park, is owned by the Village of East Aurora, and maintained by the Town of Aurora. The park is intended for use and enjoyment by village and town residents and visitors to the area. All park users, individuals, and groups alike, are asked to be courteous towards town and village personnel, neighbors, and other park users.

2) Purpose

These guidelines embody the policies and procedures that govern the use of the park. Their purpose is to secure for resident's optimal use and benefit of the park, insure maintenance of the park, and assure fair and efficient access to the park.

3) Temporary Use Permit Requirements

- a) A Village of East Aurora Temporary Use Permit for Hamlin Park, herein called permit, is required for use of the park by groups of more than one hundred (100). Permit applications are available at the Village Hall, 585 Oakwood Ave, or at www.east-aurora.ny.us. A permit is required for use of all park facilities and property including, but not limited to, baseball fields, soccer/football fields, the basketball court, the Rotary Bandstand, volleyball courts, tennis courts, park shelters, and the grove area.
- b) The permit application must be completed in full, along with a map of the park highlighting the area and/or facilities to be used, and a signed indemnification agreement and a certificate of insurance naming the village as an additional insured. Application for a permit must be received not less than sixty (60) days, and not more than 75 days, before the date of such use or activities.
- c) The Village may forward each permit application to the Friends of Hamlin Park Advisory Board, herein called the Advisory Board, for review and recommendations. The Village Board then reviews the application. If the application has been approved, the Village Board provides a copy to the applicant, the East Aurora Police Department, the Town of Aurora Building Department and the Town Parks and Recreation Department.

4) Factors Considered in Approving Permits

Factors to be considered in determining permission for use include limitations due to current capital improvements or rehabilitation. Regular maintenance, extent of wear and tear to be caused by use, coordination of uses, efficient scheduling and availability of services.

5) Permit denial or rescission Permits may be denied or rescinded:

When an applicant fails to comply with requirements of this policy, town, village or state law. When an applicant has knowingly made a false, misleading, or fraudulent statement in the application or any supporting document. When scheduling conflicts occur, for any other reason deemed reasonable by the Village Board or problems or issues experienced with applicant with past events or use.

6) Priority of Use

Village or Town sponsored events have priority of use for the park. Requests for permits will be approved based on the following order of priority:

- a) Residents and groups within the Town
- b) Organizations that have historically used the park.
- c) Groups outside the Town

7) Fees

The application fee is \$25.00 and is payable when the application is submitted. If the application is approved, the permit fee is \$50.00.

8) Limits on Park Use

The following are not allowed in the park: Dogs (not including dogs trained for the visually impaired), cats or other animals; Alcoholic beverages; Firearms, air guns or slingshots; Gambling; Archery; Golfing; Fires (other than grills); Cutting, marring or injuring any tree Littering; Hunting and trapping; Snowmobiles; or Broadcasting through loud speaking amplifiers (unless specifically approved in permit)

9) Parking

Parking is not permitted on the grass at any time. Parking is limited to designated parking lots. Driving any vehicle in the park, except for approved park maintenance and public utility vehicles, without express approval, is prohibited. Vehicles may drive on the blacktop into the pavilion area (Aurora Players and Rotary Bandstand) for loading and unloading only. Vehicles and other apparatus or equipment are prohibited within eight (8) feet of any tree. Vehicles are to be removed immediately after loading or unloading. In accordance with fire safety regulation, no vehicles may be left unattended in the pavilion area.

10) Preservation of Property

It is a violation of the Village Code to injure, deface, disturb or befoul any part of the park or any of the buildings, signs, equipment or other park property, or to remove, injure or destroy any tree, flower, shrub, rock or mineral in the park, or to peel any bark from or cut or injure any park tree.

11) Cleaning

- a) Permit users are responsible for cleaning up the park area before noon the day after the event, making sure garbage is collected and bagged, and the area is restored to the same condition as it was prior to the event.
- b) For groups or crowds over 300, permit users must provide for the removal of all garbage and trash generated during the event/use from the park. If a dumpster is to be used, location of the dumpster must be approved by the East Aurora Department of Public Works and removed from the site within 24 hours of the conclusion of the event. Additional trash containers and bags (at a rate of one per every 50 additional people) are required during the event/use and must be removed within 24 hours of the conclusion of the event/use. **It is not the financial responsibility of the Village to remove, or cause to be removed any garbage, trash, or refuse resulting from the granting of this permit.**
- c) In case of any damage resulting from or rubbish left in the park because of the approved event or use, costs incurred will be billed to the applicant, upon the determination and recommendation of the East Aurora Department of Public Works and approved by the Village Board.

12) Recycling

Recycling is encouraged at all events. All events with projected attendance of more than 300, and all those serving beverages in cans and/or bottles, shall provide designated recycling receptacles adjacent to the point of sale, near designated eating areas, and/or at park entrances and exits.

13) Additional Toilet Facilities

Permit users must provide an adequate number of portable toilets to meet crowd demands as per the NYS Health Department codes.

14) Use of Additional Apparatus or Equipment

The use of any apparatus or equipment not existing in the park must be pre-approved in writing by the Village. This includes amusement rides, portable toilets, etc. Any approved apparatus or equipment must be removed from the park within two (2) days of the conclusion of the event, unless otherwise previously specified.

15) Noise

The park is in a residential neighborhood surrounded by homes. No park event should produce noise levels that interfere with or detract from the enjoyment of the public in the surrounding area.

16) Signage

If signs are to be used in conjunction with an event, the applicant must contact the Town Building Department at 652-7591 for information on compliance with village codes and obtain all necessary permits. Copies of any approved sign permits must be filed with the Village Clerk no later than 5 days prior to the scheduled event.

17) Hours

Permitted Park hours are from 7 a.m. to 10 p.m.

18) Local Ordinances

All local ordinances, fire and safety regulations, state laws, and building regulations apply to the use of the park.

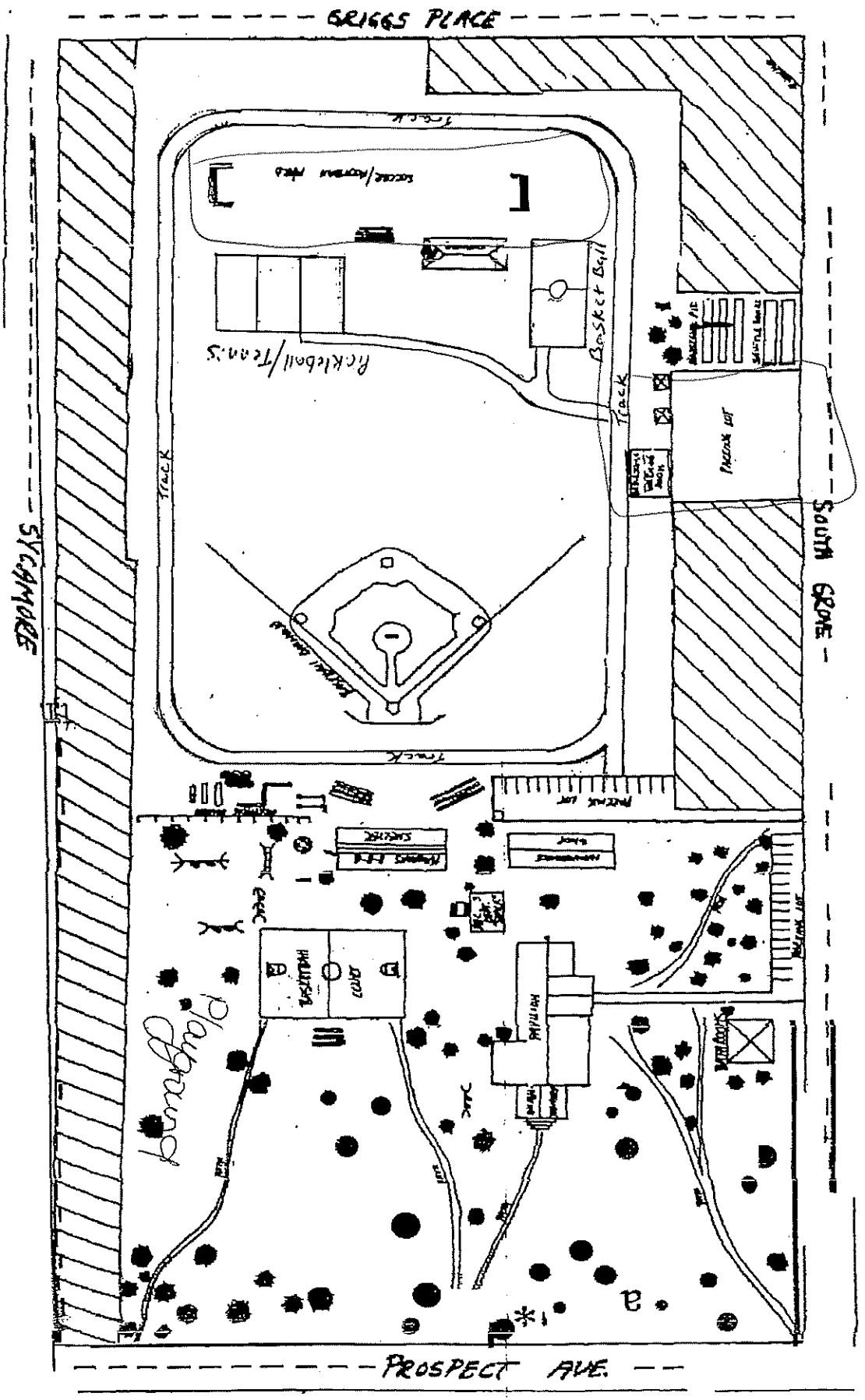
19) Waiver of Guidelines

The Village Board, at its discretion, may waive any of the guidelines contained herein. Factors that will be considered in determining whether a waiver will be granted include:

- the nature of the event
- the number of attendees anticipated
- history of similar events and/or sponsoring organizations.

20) Violation of Park Guidelines

Complaints about alleged violations of park guidelines should be directed to the Village Board. Complaints alleging an imminent danger or threat to life, health or property should be made directly to the East Aurora Police Department.



RESOLUTION

July 21, 2025

DECLARE SURPLUS PROPERTY

Trustee _____ offered the following resolution and moved for its adoption:

BE IT RESOLVED, the Department of Public Works has a 2015 International Terrastar Vin- 8896 for surplus property and is due to be auctioned in the next 90 days.

BE IT RESOLVED, the Department of Public Works has a 2015 International Terrastar Vin- 8897 for surplus property and is due to be auctioned in the next 90 days.

The foregoing resolution was seconded by Trustee _____ and unanimously approved.

TOWN OF AURORA

575 OAKWOOD AVENUE, EAST AURORA, NY 14052

BUILDING DEPARTMENT

(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees

FROM: Richard Miga, Assistant Code Enforcement Officer

DATE: July 17, 2025

REFERENCE: Village Code 246-2 Abandon Vehicles

PROPERTY OWNER:

Sean Heimburg

168 Center Street

East Aurora, NY 14052

The property at 168 Center Street (SBL: 176.8.47.1) has an unregistered abandoned vehicle (Nissan Crossover – Grey). As stated in Village Code Chapter 246-2 Abandon Vehicles, no unlicensed or inoperable vehicle shall be stored upon any private land other than in an enclosed building. The cited vehicle was initially in the front yard at the right-of-way until the first notice was issued and received by the property owner. The owner has since moved the vehicle to the rear yard of the property. The owner has been in contact with our office since March 17, 2025 and has stated the vehicle has been sold, but the vehicle has remained. Our office has given the property owner multiple extensions to remedy the notice on 5/29/25 and 7/3/25. Notices of violation were sent to the owner via certified and regular mail on and only the final notice was unclaimed.

Attached are the notices and supplemental documentation.

If you have any questions, please contact me at 652-7591.

Richard Miga