

AGENDA
Village Board of East Aurora
Tuesday, January 21, 2025 Regular Meeting at 7 p.m.

1. CALL MEETING TO ORDER
 - A. Pledge of Allegiance
 - B. Roll Call
 - C. Approval of Minutes of Village Board Meeting for January 6, 2025
 - D. Approval of Payment of the January 21, 2025, Abstract for the 2024/2025 fiscal year with a total of \$113,988.42
2. SPEAKERS & COMMUNICATIONS (I)
3. PUBLIC HEARINGS
 - A. Consider a Special Use Permit Application at 30 Walnut St, Michael & Sarina Scaccia to operate a Bed-and-Breakfast on first floor of their dwelling where they live and operate from.
 - B. Consider Local Law 1 of 2025 authorizing a property tax levy limit override.
4. OFFICIAL CONSIDERATIONS
 - A. Approve a Special Use Permit Application at 30 Walnut St, Michael & Sarina Scaccia to operate a Bed-and-Breakfast on first floor of their dwelling where they live and operate from.
 - B. Approve a local law allowing a property tax levy limit override.
 - C. Appoint Scott Jakubczak to the position of DPW Streets Foreman to start on January 22, 2025
 - D. Appoint Police Officer Corey Specht to the position of Police Lieutenant to start on February 1, 2025
 - E. Refer to the Planning Commission February 4, 2025 a Special Use Permit for 166 S. Gove St by Lowell Sylwester, on behalf of The Aurora Players. There are no exterior changes proposed for this project, but because the building is owned by the Village it needs approval by the Village Board.
 - F. Refer to the Planning Commission February 4, 2025 a Site plan Application for 123 Grey Street to install an emergency generator to service the Michaels fire pump, a dumpster enclosure for HomeGoods, and construct a 825 sq. ft. exterior patio within the existing concrete sidewalks on the north side of the outbuilding (Mighty Taco building).
 - G. Refer to the Planning Commission February 4, 2025 a Amended Special Use Permit for Starbucks at the vacant space that adjoins Mighty Taco by James Boglioli of Benderson Development for a coffee house with 60 interior seating and a proposed outdoor patio for an additional 24 seats.
 - H. Approve a Hamlin Park Temporary Use Permit Meaghan Tent Town of Aurora for Aktion Club Kickball various dates.
 - I. Approve a Temporary Use Permit for Meaghan Tent Town of Aurora for the July 3rd Celebration.
 - J. Approve a Temporary Use Permit for Meaghan Tent Town of Aurora for the Town Summer camp, sports and theater programs.
 - K. Approve a Temporary Use Permit for Pasquale's Pizza Run March 15, 2025 at 9am with outdoor music from 8am to 11am.
 - L. Set a public hearing for Tuesday February 18, 2025 for a Special Use Permit Application for 21 Fairlawn Court – Alex Perez – for a single room Bed-and-Breakfast in their dwelling where they live and operate.
 - M. Set a public hearing for Tuesday February 18, 2025 for a Special Use Permit Application for 160 Main Street – Eugene O'Donovan, Favo Pizza (Yotality) –for the existing restaurant program changes that includes “Yotality” dessert service run and owned by Favo Brands, increased exterior seating to 68 seats, reduce inside seating to 76, hours of operation from 11AM to 10PM daily and the removal of outside music.
 - N. Set a public hearing for Tuesday February 18, 2025 for a Special Use Permit Application for 634 Main Street – Eric Gawron, Taste Bistro owner –to modify the existing side alley alcove entry with a new door and sidelight that is flush with existing building façade.
 - O. Declare surplus Property for Auction in the next 90 day - a 1995 Ford Dump ending VIN 2527.
 - P. Permission to apply for NY Cares Up Grant for Strengthening resiliency & Wellness for Uniformed Personnel.
5. NEW BUSINESS
 - A. 30 Day Liquor License – 510 Main Street Charlies Dinner
6. OLD BUSINESS
7. SPEAKERS & COMMUNICATIONS (II)
8. DEPARTMENT HEAD REPORT
9. ADJOURNMENT



Village of East Aurora, NY

Expense Approval Report 1.21.25

By Vendor Name

Payable Dates 1/20/2025 - 1/21/2025 Post Dates 1/20/2025 - 1/21/2025

Payable Number	Vendor Name	Payable Date	Description (Item)	Account Number	Account Name	Purchase Order Number	Amount
Vendor: 10054 - Amazon							
1D1T-4GJF-3MCY	Amazon	01/21/2025	BINDER CLIPS	A.5.1325.0403	VILLAGE ADMIN - OFFICE SU...		7.99
1D1T-4GJF-3MCY	Amazon	01/21/2025	PAPER CLIPS	A.5.1325.0403	VILLAGE ADMIN - OFFICE SU...		11.55
1D1T-4GJF-3MCY	Amazon	01/21/2025	INDEX CARDS	A.5.1325.0403	VILLAGE ADMIN - OFFICE SU...		25.04
1D1T-4GJF-3MCY	Amazon	01/21/2025	ENVELOPE SEALER	A.5.1325.0403	VILLAGE ADMIN - OFFICE SU...		9.98
1PF6-YDC7-1QV9	Amazon	01/21/2025	FIRE DEPARTMENT - KEY CHAINS	A.5.3410.0420	FIRE DEPT - DEPT SUPPLIES		5.99
1PF6-YDC7-1QV9	Amazon	01/21/2025	FIRE DEPARTMENT - KEY CHAINS	A.5.3410.0420	FIRE DEPT - DEPT SUPPLIES		44.75
1W9V-K116-3DDR	Amazon	01/21/2025	VEA - Light Bar	A.5.1640.0460	CENTRAL GARAGE - VEHICLE...		91.16
Vendor 10054 - Amazon Total:							196.46
Vendor: 10085 - ASSOC OF EC GOVERNMENTS							
INV0000057	ASSOC OF EC GOVERNMENTS	01/21/2025	2025 MEMBERSHIP DUES	A.5.1325.0440	VILLAGE ADMIN - TRAINING, ...		300.00
Vendor 10085 - ASSOC OF EC GOVERNMENTS Total:							300.00
Vendor: 10119 - BACH'S TOWING LLC							
INV0000069	BACH'S TOWING LLC	01/21/2025	DPW plow truck towing	A.5.1640.0460	CENTRAL GARAGE - VEHICLE...		962.50
Vendor 10119 - BACH'S TOWING LLC Total:							962.50
Vendor: 10166 - Bound Tree Medical							
INV0000050	Bound Tree Medical	01/21/2025	rescue o2 bag w/shoulder strap	A.5.3410.0497	FIRE DEPT-EMS SUPPLIES		763.96
Vendor 10166 - Bound Tree Medical Total:							763.96
Vendor: 10176 - Brian Parisi Copier Systems, Inc.							
IN146484	Brian Parisi Copier Systems, Inc.	01/20/2025	Shipping for toner	A.5.3120.0420	POLICE DEPT - MAINT. SERVI...		7.50
IN146484	Brian Parisi Copier Systems, Inc.	01/20/2025	Shipping for toner	A.5.3420.0420	POLICE & FIRE DISPATCH - M...		7.50
Vendor 10176 - Brian Parisi Copier Systems, Inc. Total:							15.00
Vendor: 10217 - CARQUEST AUTO PARTS							
2025000197	CARQUEST AUTO PARTS	01/21/2025	CARQUEST AUTO PARTS	A.5.1640.0460	CENTRAL GARAGE - VEHICLE... 2025000197		1,390.50
2025000197	CARQUEST AUTO PARTS	01/21/2025	EAPD	A.5.3120.0460	POLICE DEPT - VEHICLE MAI...		21.44
2025000197	CARQUEST AUTO PARTS	01/21/2025	EAFD parts	A.5.3410.0460	FIRE DEPT - VEHICLE MAINT ...		78.96
Vendor 10217 - CARQUEST AUTO PARTS Total:							1,490.90
Vendor: 10229 - Charter Communications							
142218801010125	Charter Communications	01/21/2025	ACCT 142218801 - 400 PINE ST 1/1 -1/31/25	A.5.1480.0410	PUBINFO SVCS-PUB INFO SUP..		159.98
Vendor 10229 - Charter Communications Total:							159.98

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Vendor: 10248 - CLEAN MD COMMERCIAL CLEANING INC.							
INV0000064	CLEAN MD COMMERCIAL CLEANING INC.	01/21/2025	monthly cleaning	A.5.3410.0470	FIRE DEPT - JANITORIAL SUPP...		646.43
Vendor 10248 - CLEAN MD COMMERCIAL CLEANING INC. Total:							646.43
Vendor: 10275 - Conway Beam Truck Group							
2025000231	Conway Beam Truck Group	01/21/2025	#525 oil	A.5.1640.0450	CENTRAL GARAGE - GASOLIN... 2025000231		80.84
Vendor 10275 - Conway Beam Truck Group Total:							80.84
Vendor: 10286 - COUNTY LINE STONE							
2025000148	COUNTY LINE STONE	01/21/2025	COUNTY LINE STONE	A.5.5110.0420	STREET MAINT - ROAD MATE... 2025000148		346.55
Vendor 10286 - COUNTY LINE STONE Total:							346.55
Vendor: 11308 - Crossbar Athletics LLC							
1149	Crossbar Athletics LLC	01/21/2025	METAL PLATE	A.5.1325.0403	VILLAGE ADMIN - OFFICE SU...		20.00
Vendor 11308 - Crossbar Athletics LLC Total:							20.00
Vendor: 10296 - CSEA EMPL BENEFIT FUND							
12314052Jan2025	CSEA EMPL BENEFIT FUND	01/21/2025	Dental/Vision	A.5.9061.0807	DENTAL INS - DENTAL INS		6,578.13
12314052Jan2025	CSEA EMPL BENEFIT FUND	01/21/2025	Dental/Vision	A.5.9062.0808	OPTICAL - OPTICAL		1,066.65
Vendor 10296 - CSEA EMPL BENEFIT FUND Total:							7,644.78
Vendor: 10320 - DELL MARKETING L.P.							
REQ00008	DELL MARKETING L.P.	01/21/2025	EAFD rugged laptop	A.5.3410.0200	FIRE DEPT - EQUIP		1,540.07
REQ00008	DELL MARKETING L.P.	01/21/2025	Water dept laptop	F.5.8310.0410	WATER ADMIN - OFFICE SUP...		689.72
Vendor 10320 - DELL MARKETING L.P. Total:							2,229.79
Vendor: 11307 - Direkt Force LLC							
INV0000071	Direkt Force LLC	01/21/2025	cylinder repair- DPW	A.5.1640.0460	CENTRAL GARAGE - VEHICLE...		125.00
Vendor 11307 - Direkt Force LLC Total:							125.00
Vendor: 10351 - Eagle Point Gun							
1124695	Eagle Point Gun	01/20/2025	.45 ACP CCI/Speer Lawman Clean Fire #53885	A.5.3120.0440	POLICE DEPT - TRAINING, TR... 2025000232		403.00
Vendor 10351 - Eagle Point Gun Total:							403.00
Vendor: 10357 - EAST AURORA ADVERTISER							
INV0000059	EAST AURORA ADVERTISER	01/21/2025	December 2025 Legal Notices	A.5.1325.0410	VILLAGE ADMIN - LEGAL NOT...		34.65
Vendor 10357 - EAST AURORA ADVERTISER Total:							34.65
Vendor: 10359 - EAST AURORA AUTO PARTS							
INV0000080	EAST AURORA AUTO PARTS	01/21/2025	Dec 2024	A.5.1640.0460	CENTRAL GARAGE - VEHICLE...		147.37
Vendor 10359 - EAST AURORA AUTO PARTS Total:							147.37
Vendor: 10485 - GENERAL WELDING &							
2025000225	GENERAL WELDING &	01/21/2025	Jan 2025	A.5.1640.0460	CENTRAL GARAGE - VEHICLE... 2025000225		179.94
Vendor 10485 - GENERAL WELDING & Total:							179.94
Vendor: 10488 - Getzville Fire Co.							
INV0000081	Getzville Fire Co.	01/21/2025	GRIT training	A.5.3410.0440	FIRE DEPT - TRAINING, TRAV...		1,200.00
Vendor 10488 - Getzville Fire Co. Total:							1,200.00

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Vendor: 10521 - GRECO TRAPP PLLC							
Nov & Dec Services	GRECO TRAPP PLLC	01/21/2025	Services from Joe Trapp Nov 2024	A.5.1420.0410	VILLAGE ATTORNEY - CONTR...		500.00
Nov & Dec Services	GRECO TRAPP PLLC	01/21/2025	Services from Joe Trapp Dec 2024	A.5.1420.0410	VILLAGE ATTORNEY - CONTR...		500.00
Vendor 10521 - GRECO TRAPP PLLC Total:							1,000.00
Vendor: 10525 - Guardian Fences of WNY							
INV0000072	Guardian Fences of WNY	01/21/2025	Pasquales fence project	A.5.5110.0420	STREET MAINT - ROAD MATE...		1,550.00
Vendor 10525 - Guardian Fences of WNY Total:							1,550.00
Vendor: 10547 - Highmark Blue Cross & Blue Shield of Western New York							
241220099681	Highmark Blue Cross & Blue Shield of Western New York	01/21/2025	Health Insurance	A.5.9060.0805	HOSPITAL & MEDICAL INS - H...		40,710.21
241220099681	Highmark Blue Cross & Blue Shield of Western New York	01/21/2025	Health Insurance	A.5.9060.0806	HOSPITAL & MEDICAL INS - H...		18,719.04
241220099681	Highmark Blue Cross & Blue Shield of Western New York	01/21/2025	Health Insurance	F.5.9060.0805	HOSPITAL & MEDICAL INS - H...		3,657.15
241220099681	Highmark Blue Cross & Blue Shield of Western New York	01/21/2025	Health Insurance	F.5.9060.0806	HOSPITAL & MEDICAL INS - H...		1,691.53
Vendor 10547 - Highmark Blue Cross & Blue Shield of Western New York Total:							64,777.93
Vendor: 10588 - Institute for Forensic Psychology							
21649	Institute for Forensic Psychology	01/20/2025	Psychological Eval for PO Sroka	A.5.3120.0420	POLICE DEPT - MAINT. SERVI...		424.00
Vendor 10588 - Institute for Forensic Psychology Total:							424.00
Vendor: 10613 - JOHN SIXT & SON INC.							
INV0000079	JOHN SIXT & SON INC.	01/21/2025	bar bill fence repair	A.5.5110.0420	STREET MAINT - ROAD MATE...		17.94
Vendor 10613 - JOHN SIXT & SON INC. Total:							17.94
Vendor: 10697 - LOGICS							
25-IN3706	LOGICS	01/21/2025	MONTHLY INVOICE FOR FEBRUARY 2025	A.5.1480.0410	PUBINFO SVCS-PUB INFO SUP..		1,363.81
Vendor 10697 - LOGICS Total:							1,363.81
Vendor: 10720 - Manny's Ace Hardware							
2025000200	Manny's Ace Hardware	01/21/2025	Dec 2024	A.5.1620.0420	BUILDINGS - MAINT & REPAI...		241.50
2025000200	Manny's Ace Hardware	01/21/2025	Manny's Ace Hardware	A.5.1640.0420	CENTRAL GARAGE - MAINT &...2025000200		9.48
2025000200	Manny's Ace Hardware	01/21/2025	Dec 2024	A.5.1640.0460	CENTRAL GARAGE - VEHICLE...		100.39
2025000200	Manny's Ace Hardware	01/21/2025	Dec 2024	A.5.3410.0200	FIRE DEPT - EQUIP		158.15
2025000200	Manny's Ace Hardware	01/21/2025	Dec 2024	A.5.5110.0420	STREET MAINT - ROAD MATE...		91.15
2025000200	Manny's Ace Hardware	01/21/2025	Dec 2024	F.5.8340.0470	TRANSFS & DIST - SUPPLIES &..		5.69
Vendor 10720 - Manny's Ace Hardware Total:							606.36
Vendor: 10726 - MARTYN PRINTING & GRAPHICS, INC.							
INV0000068	MARTYN PRINTING & GRAPHICS, INC.	01/21/2025	Jeff Stoll business cards	A.5.1490.0403	PUBLIC WORKS ADMIN - OFF...		62.00
Vendor 10726 - MARTYN PRINTING & GRAPHICS, INC. Total:							62.00

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Vendor: 10741 - Medical Warehouse Inc.							
INV0000052	Medical Warehouse Inc.	01/21/2025	adult & infant masks- EMS	A.5.3410.0497	FIRE DEPT-EMS SUPPLIES		396.12
Vendor 10741 - Medical Warehouse Inc. Total:							396.12
Vendor: 10767 - MUNICIPAL EMERGENCY SERVICES INC.							
INV0000065	MUNICIPAL EMERGENCY SERVICES INC.	01/21/2025	LED safety lights	A.5.3410.0480	FIRE DEPT - UNIFORMS		518.77
Vendor 10767 - MUNICIPAL EMERGENCY SERVICES INC. Total:							518.77
Vendor: 10816 - NOVA HEALTHCARE ADMINISTRATORS, INC.							
NOVA-057087	NOVA HEALTHCARE ADMINISTRATORS, INC.	01/21/2025	Monthly Admin Fee \$4.50 per employee	A.5.9060.0805	HOSPITAL & MEDICAL INS - H...		99.00
NOVA-057087	NOVA HEALTHCARE ADMINISTRATORS, INC.	01/21/2025	Monthly Admin Fee \$4.50 per employee	A.5.9060.0806	HOSPITAL & MEDICAL INS - H...		45.00
NOVA-057087	NOVA HEALTHCARE ADMINISTRATORS, INC.	01/21/2025	Monthly Admin Fee \$4.50 per employee	F.5.9060.0805	HOSPITAL & MEDICAL INS - H...		4.50
NOVA-057087	NOVA HEALTHCARE ADMINISTRATORS, INC.	01/21/2025	Monthly Admin Fee \$4.50 per employee	F.5.9060.0806	HOSPITAL & MEDICAL INS - H...		4.50
Vendor 10816 - NOVA HEALTHCARE ADMINISTRATORS, INC. Total:							153.00
Vendor: 10864 - NYSEG							
1001-0310-448-1/25	NYSEG	01/21/2025	ELECTRICITY USAGE -571 MAIN STREET	A.5.5182.0431	STREET LIGHTING - ELECTRIC		750.48
10013627483	NYSEG	01/21/2025	STREET LIGHT R3	A.5.5182.0431	STREET LIGHTING - ELECTRIC		5,007.77
10013627491	NYSEG	01/21/2025	STREET LIGHT - 12/1 - 12/31/24	A.5.5182.0431	STREET LIGHTING - ELECTRIC		701.60
1001-7273-243-1/25	NYSEG	01/21/2025	GIRARD AVE SIGNAL	A.5.5182.0431	STREET LIGHTING - ELECTRIC		65.64
1004-8515-430-1/25	NYSEG	01/21/2025	PINE ST SALT SHED; 12/11-01/09/25	A.5.1640.0431	CENTRAL GARAGE - ELECTRIC		64.41
1005-3329-701-1/25	NYSEG	01/21/2025	S GROVE LITTLE LOOP 12/11-01/09/25	A.5.7140.0431	PLAYGROUNDS & REC CTRS. -...		148.86
Vendor 10864 - NYSEG Total:							6,738.76
Vendor: 10873 - OCCUSTAR, INC.							
INV0000049	OCCUSTAR, INC.	01/21/2025	PPD admin/SCBA exam/Blood panel	A.5.3410.0420	FIRE DEPT - DEPT SUPPLIES		297.00
Vendor 10873 - OCCUSTAR, INC. Total:							297.00
Vendor: 11304 - Old Dutchman's Wrought Iron, Inc.							
INV0000067	Old Dutchman's Wrought Iron, Inc.	01/21/2025	steel grates for DPW garage	A.5.1640.0460	CENTRAL GARAGE - VEHICLE...		2,524.80
Vendor 11304 - Old Dutchman's Wrought Iron, Inc. Total:							2,524.80
Vendor: 10945 - Quadient Leasing							
INV0000060	Quadient Leasing	01/21/2025	Coverage 1/29 - 4/28/25	A.5.1670.0470	CENTRAL PRINTING & MAILI...		325.23
Vendor 10945 - Quadient Leasing Total:							325.23
Vendor: 10944 - Quadient							
INV0000070	Quadient	01/21/2025	POSTAGE FEE	A.5.1670.0470	CENTRAL PRINTING & MAILI...		1,000.00

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INV0000070	Quadient	01/21/2025	POSTAGE FEE - WATER	F.5.8310.0403	WATER ADMIN - POSTAGE, B...		1,500.00
Vendor 10944 - Quadient Total:							2,500.00
Vendor: 10974 - REBOY SUPPLY INC.							
2025000195	REBOY SUPPLY INC.	01/21/2025	ice melt/shovels	A.5.5142.0470	HIGHWAY SNOW REMOVAL -...		410.80
Vendor 10974 - REBOY SUPPLY INC. Total:							410.80
Vendor: 11008 - RUSERT EQUIPMENT, LLC							
INV0000054	RUSERT EQUIPMENT, LLC	01/21/2025	v plow edges	A.5.1640.0460	CENTRAL GARAGE - VEHICLE...		425.60
Vendor 11008 - RUSERT EQUIPMENT, LLC Total:							425.60
Vendor: 11033 - Schroder, Joseph & Associates, LLP							
26000	Schroder, Joseph & Associates, LLP	01/21/2025	Services for December 2024	A.5.1420.0411	VILLAGE ATTORNEY - OTHER ...		283.25
Vendor 11033 - Schroder, Joseph & Associates, LLP Total:							283.25
Vendor: 11052 - SEWING TECHNOLOGY UNIFORM							
48730	SEWING TECHNOLOGY UNIFORM	01/20/2025	Shirt/pants for PO Longboat	A.5.3120.0480	POLICE DEPT - UNIFORMS, B...		174.98
INV0000051	SEWING TECHNOLOGY UNIFORM	01/21/2025	loose title tags- EMS	A.5.3410.0497	FIRE DEPT-EMS SUPPLIES		900.00
Vendor 11052 - SEWING TECHNOLOGY UNIFORM Total:							1,074.98
Vendor: 11059 - SHERWIN-WILLIAMS CO.							
INV0000073	SHERWIN-WILLIAMS CO.	01/21/2025	paint for police stn/dpw office	A.5.1490.0420	PUBLIC WORKS ADMIN - MA...		77.11
INV0000073	SHERWIN-WILLIAMS CO.	01/21/2025	paint for police stn/dpw office	A.5.1620.0420	BUILDINGS - MAINT & REPAI...		62.42
Vendor 11059 - SHERWIN-WILLIAMS CO. Total:							139.53
Vendor: 11305 - SUNBELT RENTALS, INC.							
INV0000053	SUNBELT RENTALS, INC.	01/21/2025	lift and threader rental- police station	A.5.1640.0420	CENTRAL GARAGE - MAINT &...		2,306.06
Vendor 11305 - SUNBELT RENTALS, INC. Total:							2,306.06
Vendor: 11306 - The Evergreen Folly LLC							
107	The Evergreen Folly LLC	01/21/2025	CHRISTMAS TREES	A.5.7550.0470	CELEBRATIONS - OPERATING...		975.00
Vendor 11306 - The Evergreen Folly LLC Total:							975.00
Vendor: 11133 - THE HARTFORD							
509150252135	THE HARTFORD	01/21/2025	Group Life Insurance Jan 2025	A.5.9045.0803	LIFE INS - LIFE INS		836.00
509150252135	THE HARTFORD	01/21/2025	Group Life Insurance Jan 2025	A.5.9045.0804	LIFE INS - LIFE INS-RETIRES		468.85
509150252135	THE HARTFORD	01/21/2025	Group Life Insurance Jan 2025	F.5.9045.0803	LIFE INS - LIFE INS		88.00
509150252135	THE HARTFORD	01/21/2025	Group Life Insurance Jan 2025	F.5.9045.0804	LIFE INS - LIFE INS-RETIRES		30.97
Vendor 11133 - THE HARTFORD Total:							1,423.82
Vendor: 11163 - TRANSUNION RISK & ALTERNATIVE DATA SOLUTIONS, INC.							
6734312-202412-1	TRANSUNION RISK & ALTERNATIVE DATA SOLUTIONS, INC.	01/20/2025	December search data	A.5.3120.0420	POLICE DEPT - MAINT. SERVI...		100.00
Vendor 11163 - TRANSUNION RISK & ALTERNATIVE DATA SOLUTIONS, INC. Total:							100.00

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Vendor: 11185 - Tyler Technologies, Inc.							
2024000371A	Tyler Technologies, Inc.	01/21/2025	Tyler Technologies Inc.from 052424	A.5.1325.0400	VILLAGE ADMIN - OPERATING..	2024000371	3,825.00
Vendor 11185 - Tyler Technologies, Inc. Total:							3,825.00
Vendor: 11187 - UDIG NY, INC							
INV0000066	UDIG NY, INC	01/21/2025	quarterly dig safe calls	F.5.8340.0420	TRANSFS & DIST - MAINT & R...		35.00
Vendor 11187 - UDIG NY, INC Total:							35.00
Vendor: 11215 - VALLEY FAB & EQUIP INC							
INV0000074	VALLEY FAB & EQUIP INC	01/21/2025	hitch and pin/bolt parts- DPW #504	A.5.1640.0460	CENTRAL GARAGE - VEHICLE...		160.32
Vendor 11215 - VALLEY FAB & EQUIP INC Total:							160.32
Vendor: 11225 - VERIZON WIRELESS							
6102704598	VERIZON WIRELESS	01/21/2025	CELLULAR PHONES	A.5.1490.0434	PUBLIC WORKS ADMIN - TEL...		40.32
6102704598	VERIZON WIRELESS	01/21/2025	CELLULAR PHONES	A.5.3120.0434	POLICE DEPT - TELEPHONE		40.32
6102704598	VERIZON WIRELESS	01/21/2025	CELLULAR PHONES	A.5.3120.0434	POLICE DEPT - TELEPHONE		40.32
6102704598	VERIZON WIRELESS	01/21/2025	CELLULAR PHONES	A.5.3120.0434	POLICE DEPT - TELEPHONE		40.32
6102704598	VERIZON WIRELESS	01/21/2025	CELLULAR PHONES	A.5.3410.0434	FIRE DEPT - TELEPHONE		37.99
Vendor 11225 - VERIZON WIRELESS Total:							199.27
Vendor: 11226 - Verizon-Local Svc.							
INV0000062	Verizon-Local Svc.	01/21/2025	716-N73-1487 Data Private Line Hall and DPW	A.5.1490.0434	PUBLIC WORKS ADMIN - TEL...		91.24
INV0000062	Verizon-Local Svc.	01/21/2025	652-0893 Elevator; 655-6086 Fire alarm	A.5.3120.0434	POLICE DEPT - TELEPHONE		73.64
INV0000062	Verizon-Local Svc.	01/21/2025	716-N73-1438 Radio Transmitter Police to BOCES	A.5.3120.0434	POLICE DEPT - TELEPHONE		165.49
INV0000062	Verizon-Local Svc.	01/21/2025	A.5.3410.0434	A.5.3410.0434	FIRE DEPT - TELEPHONE		32.97
Vendor 11226 - Verizon-Local Svc. Total:							363.34
Vendor: 11246 - VSP MARKETING GRAPHIC GROUP							
INV0000048	VSP MARKETING GRAPHIC GROUP	01/21/2025	locker nameplates	A.5.3410.0200	FIRE DEPT - EQUIP		175.00
Vendor 11246 - VSP MARKETING GRAPHIC GROUP Total:							175.00
Vendor: 11248 - W.B. MASON CO., INC.							
251490281, CM3383310, CM...	W.B. MASON CO., INC.	01/20/2025	Water ordered 1/6/25 7 ordered/7returned	A.5.3120.0420	POLICE DEPT - MAINT. SERVI...		18.72
251490281, CM3383310, CM...	W.B. MASON CO., INC.	01/20/2025	Water ordered 1/6/25 7 ordered/7returned	A.5.3420.0420	POLICE & FIRE DISPATCH - M...		18.73
Vendor 11248 - W.B. MASON CO., INC. Total:							37.45
Vendor: 11287 - WNYNETWORKS							
00005745	WNYNETWORKS	01/21/2025	ANNUAL WEB HOSTING	A.5.1480.0410	PUBINFO SVCS-PUB INFO SUP..		1,250.00
00005745	WNYNETWORKS	01/21/2025	EBAY HARDWARE PURCHASE	A.5.3410.0200	FIRE DEPT - EQUIP		126.77
Vendor 11287 - WNYNETWORKS Total:							1,376.77

Expense Approval Report 1.21.25

					Payable Dates: 1/20/2025 - 1/21/2025 Post Dates: 1/20/2025 - 1/21/2025		
Payable Number	Vendor Name	Payable Date	Description (Item)	Account Number	Account Name	Purchase Order Number	Amount
Vendor: 11290 - WOODCUTTERS HEADQUARTERS							
2025000163	WOODCUTTERS HEADQUARTERS	01/21/2025	WOODCUTTERS HEADQUARTERS	A.5.5110.0420	STREET MAINT - ROAD MATE...	2025000163	474.36
Vendor 11290 - WOODCUTTERS HEADQUARTERS Total:							474.36
Grand Total:							113,988.42

Report Summary

Fund Summary

Fund	Expense Amount
A - GENERAL FUND	106,281.36
F - ENTERPRISE WATER	7,707.06
Grand Total:	113,988.42

Account Summary

Account Number	Account Name	Expense Amount
A.5.1325.0400	VILLAGE ADMIN - OPER...	3,825.00
A.5.1325.0403	VILLAGE ADMIN - OFFICE...	74.56
A.5.1325.0410	VILLAGE ADMIN - LEGAL...	34.65
A.5.1325.0440	VILLAGE ADMIN - TRAIN...	300.00
A.5.1420.0410	VILLAGE ATTORNEY - C...	1,000.00
A.5.1420.0411	VILLAGE ATTORNEY - OT...	283.25
A.5.1480.0410	PUBINFO SVCS-PUB INFO..	2,773.79
A.5.1490.0403	PUBLIC WORKS ADMIN -...	62.00
A.5.1490.0420	PUBLIC WORKS ADMIN -...	77.11
A.5.1490.0434	PUBLIC WORKS ADMIN -...	131.56
A.5.1620.0420	BUILDINGS - MAINT & R...	303.92
A.5.1640.0420	CENTRAL GARAGE - MAI...	2,315.54
A.5.1640.0431	CENTRAL GARAGE - ELEC...	64.41
A.5.1640.0450	CENTRAL GARAGE - GAS...	80.84
A.5.1640.0460	CENTRAL GARAGE - VEH...	6,107.58
A.5.1670.0470	CENTRAL PRINTING & M...	1,325.23
A.5.3120.0420	POLICE DEPT - MAINT. S...	550.22
A.5.3120.0434	POLICE DEPT - TELEPHO...	360.09
A.5.3120.0440	POLICE DEPT - TRAINING,..	403.00
A.5.3120.0460	POLICE DEPT - VEHICLE ...	21.44
A.5.3120.0480	POLICE DEPT - UNIFORM...	174.98
A.5.3410.0200	FIRE DEPT - EQUIP	1,999.99
A.5.3410.0420	FIRE DEPT - DEPT SUPPLI...	347.74
A.5.3410.0434	FIRE DEPT - TELEPHONE	70.96
A.5.3410.0440	FIRE DEPT - TRAINING, T...	1,200.00
A.5.3410.0460	FIRE DEPT - VEHICLE MA...	78.96
A.5.3410.0470	FIRE DEPT - JANITORIAL ...	646.43
A.5.3410.0480	FIRE DEPT - UNIFORMS	518.77
A.5.3410.0497	FIRE DEPT-EMS SUPPLIES	2,060.08
A.5.3420.0420	POLICE & FIRE DISPATCH...	26.23
A.5.5110.0420	STREET MAINT - ROAD ...	2,480.00
A.5.5142.0470	HIGHWAY SNOW REMO...	410.80
A.5.5182.0431	STREET LIGHTING - ELEC...	6,525.49
A.5.7140.0431	PLAYGROUNDS & REC C...	148.86

Account Summary

Account Number	Account Name	Expense Amount
A.5.7550.0470	CELEBRATIONS - OPERAT...	975.00
A.5.9045.0803	LIFE INS - LIFE INS	836.00
A.5.9045.0804	LIFE INS - LIFE INS-RETIR...	468.85
A.5.9060.0805	HOSPITAL & MEDICAL IN...	40,809.21
A.5.9060.0806	HOSPITAL & MEDICAL IN...	18,764.04
A.5.9061.0807	DENTAL INS - DENTAL INS	6,578.13
A.5.9062.0808	OPTICAL - OPTICAL	1,066.65
F.5.8310.0403	WATER ADMIN - POSTA...	1,500.00
F.5.8310.0410	WATER ADMIN - OFFICE ...	689.72
F.5.8340.0420	TRANSFS & DIST - MAINT...	35.00
F.5.8340.0470	TRANSFS & DIST - SUPPL...	5.69
F.5.9045.0803	LIFE INS - LIFE INS	88.00
F.5.9045.0804	LIFE INS - LIFE INS-RETIR...	30.97
F.5.9060.0805	HOSPITAL & MEDICAL IN...	3,661.65
F.5.9060.0806	HOSPITAL & MEDICAL IN...	1,696.03
Grand Total:		113,988.42

Project Account Summary

Project Account Key	Expense Amount
None	113,988.42
Grand Total:	113,988.42

TOWN OF AURORA

575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees

FROM: Richard Miga, Assistant Code Enforcement Officer

DATE: October 25, 2024

The Building Department has accepted a Special Use permit (SUP) application for 30 Walnut Street by owners Mr. and Mrs. Mike and Sarina Scaccia. 30 Walnut Street is located in the Single-Family Residential (SFR) zoning district. The SUP application has been submitted to request a Bed-and-Breakfast (BnB) in their dwelling on first floor while they will live and operate the BnB from the second floor.

Village Code section 285-52.3B states that the Village Board may refer the Special Use permit application to the Planning Commission for their review and recommendation. The Village Board shall then schedule a public hearing for the application.

This is an Unlisted action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.

Richard Miga

VILLAGE OF EAST AURORA
585 Oakwood Ave. East Aurora, New York 14052
716-652-6000
In conjunction with
Town of Aurora Building Department
575 Oakwood Ave. East Aurora, NY 14052
716-652-7591

Building Dept:	
Date Received	10/25/24
Complete App	
Village Clerk:	
Date Filed	
Amount \$	
Receipt #	

SPECIAL USE PERMIT APPLICATION

PROPOSED PROJECT Short Term Rental SBL#: _____
LOCATION 30 Walnut St. EA N.Y. ZONING DISTRICT SPR

The applicant agrees to reimburse the Village for any additional fees required for consultant's review.

APPLICANT NAME Michael and Sarina Scaccia
ADDRESS 30 Walnut St. EA N.Y. 14052
TELEPHONE 716 725-2174 FAX _____ E-MAIL _____
SIGNATURE Sarina Scaccia Michael Scaccia

OWNER NAME Sarina and Michael Scaccia
ADDRESS 30 Walnut St. EA N.Y. 14052
TELEPHONE 716 725-1878 FAX _____ E-MAIL smsscaccia@icloud.com
SIGNATURE Sarina Scaccia Michael Scaccia

DEVELOPER NAME Sarina and Michael Scaccia
ADDRESS 30 Walnut St. EA N.Y. 14052
TELEPHONE 716 725-2174 FAX _____ E-MAIL smsscaccia@icloud.com
SIGNATURE Sarina Scaccia Michael Scaccia

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One (1) – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-52.2
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD or by Dropbox.
- Application fee \$25.00, Permit fee \$25.00, and Public Hearing fee \$100.00 – Total \$150 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:

___ Type 1 ___ Type 2 ☒ Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date
Public Hearing	_____
Notices Mailed	_____
Posted Notice-VEA Hall	_____
Posted Notice-Prop	_____
Approval/Denial Date	_____

Attach Village Board resolution with noted conditions.

CHECK LIST FOR SPECIAL USE PERMIT APPLICATION

- ☒ A cover letter to the Village board with a narrative of all proposed uses and structures, including but not limited to: hours of operation, number of employees, maximum seat capacity, and required number of parking spaces.
- ☒ A narrative report describing how the proposed use will satisfy the criteria set forth in the special use permit review criteria of Chapter §285-52.4 (also listed below), as well as any other applicable requirements relating to the specific use proposed.
 - ☒ Will be generally consistent with the goals of the Village Comprehensive Plan.
 - ☒ Will meet all relevant criteria set forth in Chapter §285-52.3 and §285-52.4.
 - ☒ Will be compatible with existing uses adjacent to and near the property.
 - ☒ Will not create a hazard to health, safety or the general welfare of the public.
 - ☒ Will not alter the essential character of the neighborhood nor be detrimental to the neighborhood residents.
 - ☒ Will not be a nuisance to neighboring land uses in terms of the production of obnoxious or objectionable noise, dust, glare, odor, refuse, fumes, vibrations, unsightliness, contamination or other similar conditions.
 - ☒ Will not cause undue harm to or destroy existing sensitive natural features on the site or in the surrounding area or cause adverse environmental impacts such as significant erosion and/or sedimentation, slope destruction, flooding or ponding of water, or degradation of water quality.
 - ☒ Will not destroy or adversely impact significant historic and/or cultural resource sites.
 - ☒ Will provide adequate landscaping, screening or buffering between adjacent uses which are incompatible with the proposed project.
 - ☒ Will not otherwise be detrimental to the public convenience and welfare.
- ☒ All SEQR Documentation as required by New York State Law.

From: Sarina Scaccia

SMSCACCIA@icloud.com

Subject: Request for short term rental 30

Walnut St. EA

Date: Oct 25, 2024 at 1:06:37 PM

To: Richard Miga

rmiga@townofaurora.com

To the East Aurora town board:

Our home at 30 Walnut in which we live on the top unit will be used as a short term Airbnb/VRBO rental. The lower unit is a three bedroom and two bathroom apartment that will be monitored by my husband and myself at all times while we have guests. We will make ourselves easily accessible living upstairs while we have guests downstairs. We will have a specific time for check-in and checkout during the day. We can accommodate up to two additional parking spaces for this Airbnb and it can comfortably sleep 5-7 guests.

There are multiple short term rentals in our neighborhood in which we will monitor and compare our operations with to ensure we're staying consistent and obeying any relevant criteria

set forth by the town/village. We will not create a hazard to health, safety, or general welfare to the public. We will ensure that the character of the neighborhood and the general area is not disturbed, and that there will be no violations in regards to disturbances.

Since we live on the property, we will of course provide exceptional upkeep, and oversee of this rental property.

If you have any questions please do not hesitate to reach out to us.

Thank you so much.

Mike and Sarina Scaccia

Mike Scaccia- 716-725-1878

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

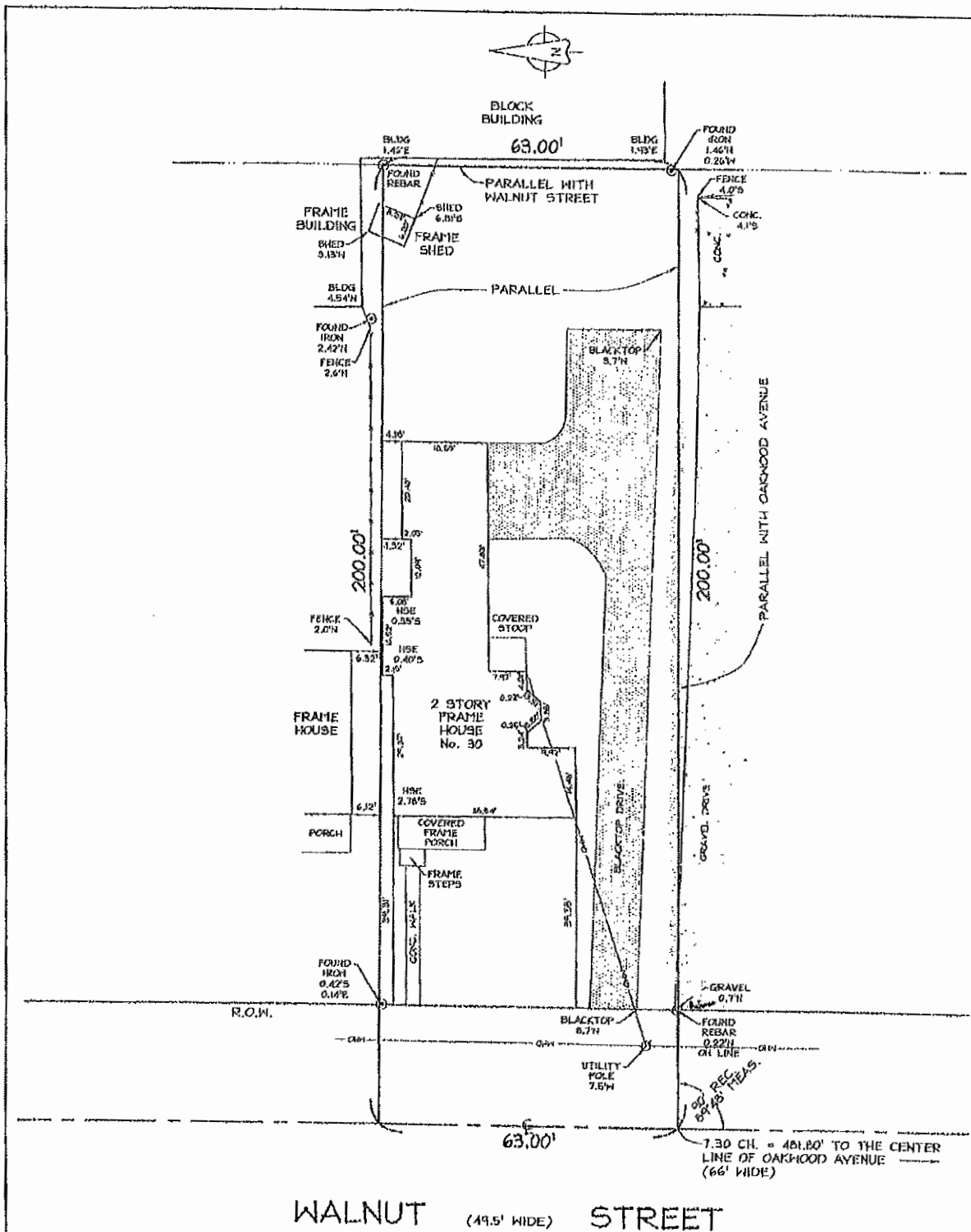
Part 1 – Project and Sponsor Information			
Short Term Rental - Scaccia Property			
Name of Action or Project:			
30 Walnut St. Lower			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action: We are proposing a short term rental in our lower unit. Our goal is to positively share the East Aurora Village Experience to others. Our ideal location is within the heart of East Aurora. We are walking distance to Uiclers, Roycroft and so much more.			
Name of Applicant or Sponsor:		Telephone: 716 725 1878	
Sarina and Michael Scaccia		E-Mail: SmScaccia@icloud.com	
Address: 30 Walnut St.			
City/PQ: East Aurora N.Y.		Zip Code: 14052	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		☒	☐
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval: Short Term Rental Approval		☐	☒
3. a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
1800 sq ft Lower Unit 2 parking Spaces			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☒ Commercial ☒ Residential (suburban)			
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify):			
☐ Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☒	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☒	☐	
b. Are public transportation services available at or near the site of the proposed action?	☐	☒	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☐	☒	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	☐	☒	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	☐	☒	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	☐	☒	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☒	☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☒	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☒ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	☒	☐
16. Is the project site located in the 100-year flood plan?	NO	YES
	☒	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	☒	☐
a. Will storm water discharges flow to adjacent properties?	☒	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	☒	☐
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	☒	☐
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Sarina and Michael Scaccia</u> Date: <u>10/25/24</u> Signature: <u>Danie Scaccia</u> Title: <u>Owner</u>		

Michael Scaccia

Owner



NO CLAIM SET OR FOUND AT PROPERTY CORNERS WERE RECORDED HEREIN

509 Mohr Street, P.O. Box 516, East Aurora, NY 14052
 p (716) 655-1058 f (716) 655-1864 www.nussbaumer.com

This survey was prepared without the benefit of an abstract of title and is subject to any name of fact that may be revealed by an examination of records.

(any) unrecorded alterations or modifications to any survey, plan, map, or report is a violation of Section 1702, paragraph 2 of the New York State Eminent Domain Law.

NUSSBAUMER & CLARKE, INC.
 ENGINEERS EST. 1951
 1140 AVENUE 30

BOUNDARY SURVEY
30 WALNUT STREET
 Part of Lot 23, Township 9, Range 6
 Holland Land Company's Survey
 Village of East Aurora, Town of Aurora
 County of Erie, State of New York

Thornton A. Kuyper

Date of Survey: 8/14/2003 Scale: 1" = 30' Perimeter: 807.00'

Village of East Aurora
Notice of Public Hearing

Please take notice that the Village of East Aurora Board of Trustees passed a resolution at their December 16, 2024 Village Board meeting to conduct a public hearing in the board room of the East Aurora Municipal Center, 585 Oakwood Ave, East Aurora NY on Tuesday January 21, 2025 at 7:00 pm.

The purpose of this hearing is to consider a Local Law authorizing a property tax levy in excess of the limit established in General Municipal Law Section 3-c. If adopted, the proposed local law shall read as follows:

Section 1. Legislative Intent

It is the intent of this local law to allow the Village of East Aurora to adopt a budget for the fiscal year commencing June 1, 2025 that requires a real property tax levy in excess of the “tax levy limit” as defined by General Municipal Law Section 3-c.

Section 2. Authority

This local law is adopted pursuant to subdivision 5 of General municipal Law Section 3-c, which expressly authorizes a local government’s governing body to override the property tax cap for the coming fiscal year by the adoption of a local law approved by a vote of sixty percent (60%) of said governing body.

Section 3: Tax Levy Limit Override

The Board of Trustees of the Village of East Aurora, County of Erie, is hereby authorized to adopt a budget for the fiscal year commencing June 1, 2025 that requires a real property tax levy in excess of the amount otherwise prescribed in General Municipal Law Section 3-c.

Section 4: Severability

If a court determines that any clause, sentence, paragraph, subdivision, or part of this local law or the application thereof to any person, firm or corporation, or circumstance is invalid or unconstitutional, the court’s order or judgment shall not affect, impair, or invalidate the remainder of this local law, but shall be confined in its operation to the clause, sentence, paragraph, subdivision, or part of this local law or in its application to the person, individual, form or corporation or circumstance, directly involved in the controversy in which such judgment or order shall be rendered.

Section 5: Effective date

This local law shall take effect immediately upon filing with the Secretary of State.

At said hearing all persons so desiring shall have the opportunity to be heard.

By Order of the Village Board
Maureen Jerackas
Clerk -Treasurer

***Important instructions to Village Board members:**

Include all pertinent items desired by the Village pertaining to the operation of the business. Note that any items and matters that are part of the discussion, prior to the official approval, which are not included in the conditions section when the approval is granted, those may not be enforceable unless they are made express conditions of the approval.

An Application of a Request for an Special Use Permit, received by the Office of the Village Clerk on October 25, 2024, is hereby:

[APPROVED] or [DENIED], as submitted, for applicant Mike and Sarina Scaccia. 30 Walnut Street, request a Bed-and-Breakfast (BnB) in their dwelling on first floor while they will live and operate the BnB from the second floor.

The Village Board shall be Lead Agency under the State Environmental Quality Review Act (SEQRA). A Negative Declaration is made under SEQRA and said application is determined to be an Unlisted Action.

The following findings and conditions from the Village Planning Commission are incorporated herein:

Findings:

1. The proposed application meets the spirit and intent of the Village Code.
2. The proposed application dwelling is owner occupied and present on the property.
3. Originally constructed as a multi-family dwelling, the application meets the spirit and intent of the Village Code and owners will be living upstairs full-time while the lower unit is rented.

Conditions:

1. The proposed application will provide 3 parking spaces for the rental unit.
2. The proposed application will house up to 6 adult occupancies.

If approved, the following additional language should be part of the approval:

Approval is Granted for the above-referenced Special Use Permit Application, as written and submitted, and with the following additional modifications and/or conditions*:

Should any part of the application and Special Use Permit approval be in conflict with any segment of the underlying Village Code (i.e., Zoning, etc.), adherence shall be with the Village Code provisions.

The Village shall have the right to periodically inspect the property for compliance with the Village Code, the Special Use Permit and its conditions.

The nature, duration and intensity of the operations which are involved in, or conducted in connection with, this Special Use Permit shall not be increased or expanded without the approval of the Village Board. Any increase or expansion shall be considered at a public hearing held in accordance with the application requirements and administrative procedures which have been adopted by the Village Board.

This Special Use Permit shall expire if significant construction has not been commenced within one year, and has not been completed within two years, of final Special Use Permit approval or, if no construction is involved, if the use has not been commenced within one year of final Special Use Permit approval.

This Special Use Permit shall expire if the use, once begun, ceases operation, for any reason, for more than six consecutive months. For seasonal uses, the use will be considered ceased if there is no operation for at least 12 consecutive months.

This Special Use Permit may be revoked by the Village Board if it is found and determined that there has been a material failure of compliance with any one of the terms, conditions, limitations or requirements imposed by the Special Use Permit. Revocation may also occur in the event of Village Code violations occurring at the property. The Village Board shall hold a public hearing to consider whether or not the Special Use Permit grantee has violated the terms and conditions of the Special Use Permit or if any Village Code violations have occurred. The public hearing shall be held only after the permit grantee has been notified. Notice of the violations and of the date, place and time of the public hearing shall be mailed to the Special Use Permit grantee by certified mail, return receipt requested, directed to the last known address of the permit grantee.

TOWN OF AURORA
575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees

FROM: Elizabeth Cassidy, Code Enforcement Officer

DATE: January 9, 2025

The Building Department has accepted Site Plan application for 166 S. Gove St by Lowell Sylwester, on behalf of The Aurora Players. There are no exterior changes proposed for this project, but because the building is owned by the Village the Attorney recommended this application be submitted for review and approval by the Village Board.

A county referral is not required for this application.

Village Code §285-52.3B requires the Village Board refer the application to the Planning Commission for their review and recommendation. The Village Board shall then schedule a public hearing for the application. After the public hearing a SEQRA determination is required prior to any vote.

This is an Unlisted action for purposes of SEQRA.

If you have any questions, please contact me at 652-7591.

Liz Cassidy

VILLAGE OF EAST AURORA
 571 Main Street, East Aurora, New York 14052
 716-652-6000
 In conjunction with
Town of Aurora Building Department
 300 Glead Ave, East Aurora, NY 14052
 716-652-7591

Building Dept:	
Date Received	11/8/25
Complete App	11/9/25
Village Clerk:	
Date Received	_____
Amount \$	_____
Receipt #	_____

SITE PLAN APPLICATION

PROPOSED PROJECT Seat replacement Aurora Players Inc SBL#: 175.08-6-1.1
 LOCATION 116 S. Grove St ZONING DISTRICT OS

The applicant agrees to reimburse the Village for any additional fees required for consultant's review of submitted technical data, including but not limited to, traffic studies, drainage, lighting, water and sewer plans.

APPLICANT NAME LOWELL F. SYLWESTER
 ADDRESS 784 CHESTNUT HILL RD
 TELEPHONE 716-573-3464 FAX _____ E-MAIL LFSYLWESTER@GMAIL.COM
 SIGNATURE [Signature]

OWNER NAME Village of East Aurora
 ADDRESS 585 Oakwood Ave East Aurora NY 14052
 TELEPHONE 716-652-6000 FAX _____ E-MAIL _____
 SIGNATURE _____

ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT Paul Ernst RA.
 NAME Maureen Folts Aubrecht Ernst, PC
 ADDRESS 6395 W. Quaker Rd Orchard Park NY 14127
 TELEPHONE 716-662-2200 FAX _____ E-MAIL _____
 SIGNATURE _____ AFFIX STAMP

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- Twenty (20) Sets – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-51.3
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD Rom.
- Application fee \$25.00 and Public Hearing fee \$100.00 – Total \$125 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____ Minor Project written request to waive PC mtg Y/N/NA: VB Decision Y/N

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Historic Preservation	_____	_____
ZBA	_____	_____
EC Div of Planning	_____	_____
NYS DOT	_____	_____
Town Notification	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:
 ___ Type 1 ___ Type 2 ___ Unlisted

VILLAGE BOARD ACTION:

Mtg/Mail Date
 Public Hearing _____
 Notices Mailed _____
 Posted Notice-VEA Hall _____
 Posted Notice-Prop _____
 Approval/Denial Date _____

Attach Village Board resolution with noted conditions.

Auditorium Seat Replacement Project

Project Goal: Replace the outdated seating in Aurora Players' Roycroft Pavilion Theater.

Seating Upgrade: Aurora Players' Roycroft Pavilion Theater will be upgraded with Irwin Marquee Model 51.12.56.4 seats, reducing capacity from 205 to 183.

Theater Renovation: The project includes floor repair and refinishing by Caleb Schafft of WNY Hardwood Specialists and new aisle carpeting (contractor TBD) – estimated \$7,700 cost.

Seating Project Cost: Estimated to be \$64,019, including removal of old seats, installation of 183 Irwin Marquee seats, and 10 Irwin portable seats.

Project Timeline: Installation is planned for August/September 2025, with a purchase order deadline of January. The theater does not have any activity requiring use of the auditorium during this time period. The project will be done in stages.

1. Current seating and carpeting will be removed. Seating to be removed and disposed of by Irwin Seating.
2. Floor will be repaired where needed and refinished.
3. New seating will be installed by Irwin Seating.
4. New carpeting for the aisles to be installed.

Short Environmental Assessment Form

Part 1 - Project Information

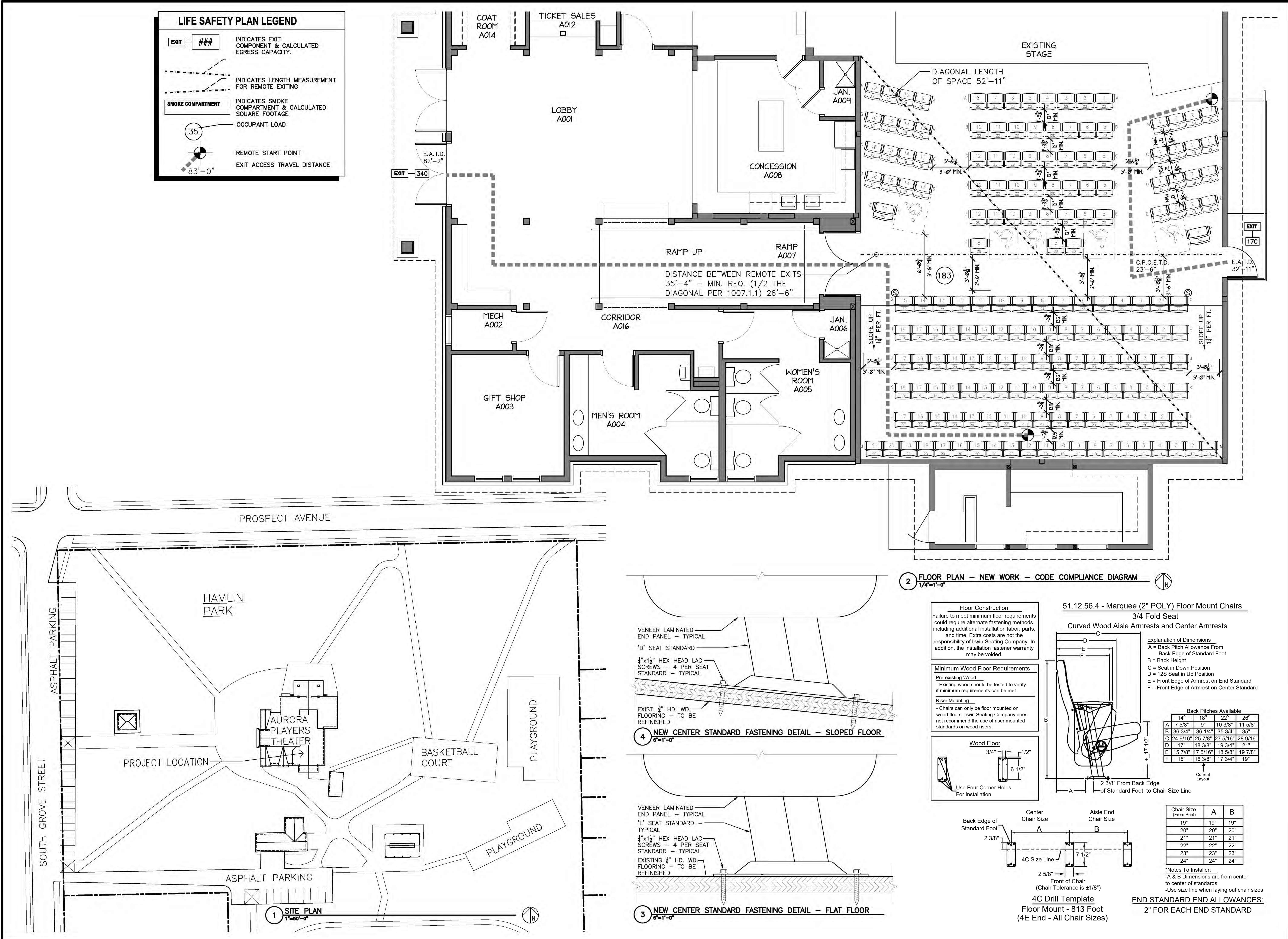
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
Name of Action or Project: REPLACEMENT OF SEATS - AURORA PLAYERS							
Project Location (describe, and attach a location map): HAMLIN PARK RAVILION - AURORA PLAYERS							
Brief Description of Proposed Action: Removal / replacement of seats in auditorium Refinishing / repair of floor							
Name of Applicant or Sponsor: LOWELL SYLVESTER		Telephone: 646-573 3464					
		E-Mail: LFSYLVESTER@GMAIL.COM					
Address: 784 CHESTNUT HILL RD							
City/PO: E. AURORA		State: NY	Zip Code: 14052				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;">☒</td> <td style="text-align: center;">☐</td> </tr> </table>	NO	YES	☒	☐
NO	YES						
☒	☐						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: TDA Building Permit			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;">☐</td> <td style="text-align: center;">☒</td> </tr> </table>	NO	YES	☐	☒
NO	YES						
☐	☒						
3.a. Total acreage of the site of the proposed action?		16.0 acres					
b. Total acreage to be physically disturbed?		4.0 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		16.0 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____ ☒ Parkland							

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO ☒	YES ☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO ☒	YES ☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO ☒	YES ☐
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>LOWELL F. SYLVESTER</u> Date: <u>Jan 8, 2025</u> Signature: <u><i>Lowell F. Sylvester</i></u>		



TOWN OF AURORA
575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees

FROM: Richard Miga, Assistant Code Enforcement Officer

DATE: January 15, 2025

The Building Department has accepted a Site Plan application from James A. Boglioli of 93 NYRPT/Benderson Development, owner of 123 Grey Street. The request is to install an emergency generator to service the Michaels fire pump, a dumpster enclosure for HomeGoods, and construct an approximately 825 sq. ft. exterior patio within the existing concrete sidewalks on the north side of the outbuilding (Mighty Taco building).

Village Code section 285-51.5 requires the application to be referred to the Planning Commission for their recommendation. After which a public hearing is required prior to a decision by the Village Board.

Village Code section 285-50.4C(3) requires the application be referred to the Erie County Planning Department for review due to proximity to a State Highway (Hamburg Street/20A).

This is an Type II action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.

Richard Miga

VILLAGE OF EAST AURORA
 571 Main Street, East Aurora, New York 14052
 716-652-6000
 In conjunction with
Town of Aurora Building Department
 300 Glead Ave, East Aurora, NY 14052
 716-652-7591

Building Dept:	
Date Received	_____
Complete App	_____
Village Clerk:	
Date Received	_____
Amount \$	_____
Receipt #	_____

SITE PLAN APPLICATION

PROPOSED PROJECT Site modifications SBL#: _____
 LOCATION 123 Grey Street ZONING DISTRICT C

The applicant agrees to reimburse the Village for any additional fees required for consultant's review of submitted technical data, including but not limited to, traffic studies, drainage, lighting, water and sewer plans.

APPLICANT NAME Benderson Development Company, LLC
 ADDRESS 570 Delaware Avenue, Buffalo, New York 14202
 TELEPHONE 716-878-9626 CELL 716-998-9915 E-MAIL jmb@benderson.com
 SIGNATURE James A. Boglioli

OWNER NAME 93 NYRPT, LLC
 ADDRESS 570 Delaware Avenue, Buffalo, New York 14202
 TELEPHONE 716-878-9626 CELL 716-998-9915 E-MAIL jmb@benderosn.com
 SIGNATURE James A. Boglioli

ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT
 NAME James A. Rumsey FIRM _____
 ADDRESS 570 Delaware Avenue
 TELEPHONE 716-878-9626 FAX _____ E-MAIL jmb@benderosn.com
 SIGNATURE _____ AFFIX STAMP

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- Twenty (20) Sets – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-51.3
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD Rom.
- Application fee \$25.00 and Public Hearing fee \$100.00 – Total \$125 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____ Minor Project written request to waive PC mtg Y/N/NA: VB Decision Y/N

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Historic Preservation	_____	_____
ZBA	_____	_____
EC Div of Planning	_____	_____
NYS DOT	_____	_____
Town Notification	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:
 ___ Type 1 ☒ Type 2 ___ Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date	
Public Hearing	_____	
Notices Mailed	_____	
Posted Notice-VEA Hall	_____	
Posted Notice-Prop	_____	
Approval/Denial Date	_____	Attach Village Board resolution with noted conditions.

Short Environmental Assessment Form

Part 1 - Project Information

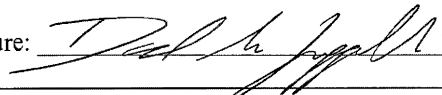
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Proposed Site Modifications - Aurpra Village Shopping Center			
Project Location (describe, and attach a location map): 123 Grey Street, East Aurora, Erie County			
Brief Description of Proposed Action: The proposed action is a Site Plan Application and consists of the following: 1) Installation of an Emergency Back up Generator for the Michaels Sprinkler System Fire Pump Generator within a Level II sound enclosure 2) Add a dumpster enclosure for the Homegood's tenant space adjacent to the recently approved loading docks addition 3) Construct a 825 SF Patio area within an existing concrete sidewalk area along the North side of the South restaurant outbuilding (Mighty Taco building) for use by a future coffee shop tenant			
Name of Applicant or Sponsor: Benderson Development Company, LLC		Telephone: 716-878-9626 E-Mail: jamesboglioli@benderson.com	
Address: 570 Delaware Ave			
City/PO: Buffalo		State: New York	Zip Code: 14202
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO ☐	YES ☒
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village of East Aurora - Building Permit		NO ☐	YES ☒
3. a. Total acreage of the site of the proposed action?		14.43 acres	
b. Total acreage to be physically disturbed?		.21 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		19.78 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action: ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify): ☐ Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☒	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☒	☐	
b. Are public transportation services available at or near the site of the proposed action?	☐	☒	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☐	☒	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	☐	☒	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ N/A existing	☐	☒	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ N/A Existing	☐	☒	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☒	☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☒	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☒ Urban ☒ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	☒	☐
16. Is the project site located in the 100-year flood plan?	NO	YES
	☒	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	☐	☒
a. Will storm water discharges flow to adjacent properties?	☒	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	☐	☒
_____ Sheet drain to nearby existing on site storm infrastructure _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
_____ _____	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
_____ _____	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
_____ _____	☒	☐
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>David Zuppelli</u> Date: <u>11.21.24</u> Signature: <u></u> Title: <u>Civil Engineer</u>		



January 6, 2025

Attn: Mr. Richard Miga
Town of Aurora / Village of East Aurora
Building Department
575 Oakwood Avenue
East Aurora, New York 14052

**Re: Site Plan Review – Proposed Site Modifications
123 Grey Street, East Aurora NY 14052 (BDP# 2127)**

Dear Mr. Miga:

Benderson Development Company, LLC is pleased to be resubmitting updated Civil design plans for the above referenced projects that address the previously issued village comments received via email dated December 17, 2024. In this regard, please find enclosed the following information:

- Updated Civil Design Plans prepared by James Rumsey R.A. revision date January 3, 2025

In regard to the comments, we offer the following responses:

Comments via email dated December 17, 2024

For SUP Application:

1. A completed SEQR form is provided with resubmittal.
2. A patio seating plan has been added to the plans set showing the 24 proposed seats on the patio.
3. An elevation of the proposed patio is included with this resubmission.
4. There are 60 interior seats and 24 exterior seats.

For Site Plan Application:

1. The existing parking surrounding the existing tenant space exceeds the required amount per code of 11 spaces for this proposed use. In addition, this project is part of a larger shopping center that requires 684 spaces and provides 816 spaces.
2. A site lighting plan for the proposed canopy lights and site lights within the vicinity of the project has been added to the plan set.
3. Comment Acknowledged that signs will be a separate application.

The above response should be what is needed for further review of the proposed project. If you have any questions or further comments, please do not hesitate to contact either Courtney Adamo at (716) 878-9630 or myself at (716) 998-9915.

Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC

James A. Boglioli

James A. Boglioli, Esq.
Director, Right to Build – Northeast U.S.

November 25, 2024

Members of the Village Planning Board
Village of East Aurora
575 Oakwood Avenue
East Aurora, New York 14052

**Re: Aurora Village Shopping Center
123 Grey Street (BDP # 2127)
Application for Site Plan Approval for Site Modifications**

Dear Chairperson and Members of the Planning Board:

In connection with the above-referenced property, enclosed please find our application seeking site plan and façade modifications to the above-referenced shopping center. The following modifications are proposed:

- In connection with the recently approved HomeGoods, a new dumpster enclosure is proposed along the south side of the truck loading dock addition behind HomeGoods;
- In connection with Michael's, an emergency backup generator which is required for the fire pump that services the Michaels sprinkler system is proposed to be located behind Michael's and within a Type 2 rated enclosure. A noise study is included with the application package that demonstrates that the generator is in compliance with all local and state noise requirements and will not impact any abutting properties. The generator is for emergency purposes, when the power goes out, to operate the fire sprinkler system; and
- At the Mighty Taco building, a new patio is proposed along the northside of the existing vacant space along with façade improvements to allow for a proposed coffee shop tenant to occupy the vacant space.

In support of this application package, please find enclosed the following information:

- 1) Civil Engineering Plans prepared by James A Rumsey, R.A;
- 2) Architectural Plans;
- 3) Village of East Aurora Application; and
- 4) Short EAF.

We look forward to working with the village on this project. Should you have any questions or require any additional materials, please do not hesitate to contact me.

Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC

James A. Boglioli

James A. Boglioli, Esq.
Director, Right to Build – Northeast US



- EXISTING EIFS FACADE AND FACADE TO REMAIN & BE RE-PAINTED
- NEW BRICK = PER BRICK TO MATCH EXISTING
- RE-WORK EXISTING EIFS FACADE FOR F. COND. - RE-F.
- EXISTING S. DOREFRONT TO REMAIN RE-WORK DOORS AS REQUIRED
- NEW WOOD CLADDING
- NEW PAVEMENT PATIO PAVERS TO MATCH PLAZA PAVERS
- PATIO RAILING
- WOOD SOFFIT
- NEW PATIO COVER AND BRICK PIERS WITH NEW SCONCE LIGHTING, BRICK TO MATCH EXISTING

PATIO DOOR

1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PROPOSED RENDERING
SCALE: 1/8" = 1'-0"



3 PROPOSED RENDERING
SCALE: 1/8" = 1'-0"

NO.	DATE	REVISIONS
1	10-1-24	ISSUED FOR PERMIT
2		
3		
4		
5		
6		
7		
8		
9		
10		

SPECIAL INFORMATION:
THIS DOCUMENT IS THE PROPERTY OF BENDERSON DEVELOPMENT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BENDERSON DEVELOPMENT.

ALL DIMENSIONS AND ELEVATIONS OF THIS DOCUMENT ARE IN ACCORDANCE WITH THE SECTION PLAN OF THE STATE OF NEW YORK.

AURORA VILLAGE SHOPPING CENTER
123 GREY STREET
EAST AURORA, NY 14052
PROPOSED
FACADE RENOVATION

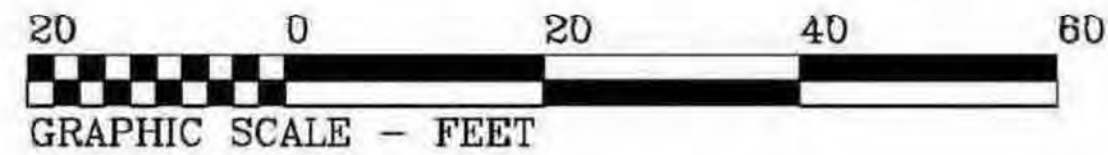
CONSULTANT

BENDERSON DEVELOPMENT
270 DOWNTOWN AVE. ALBANY, NY 12202
PROJECT NO. 24-001

SEAL

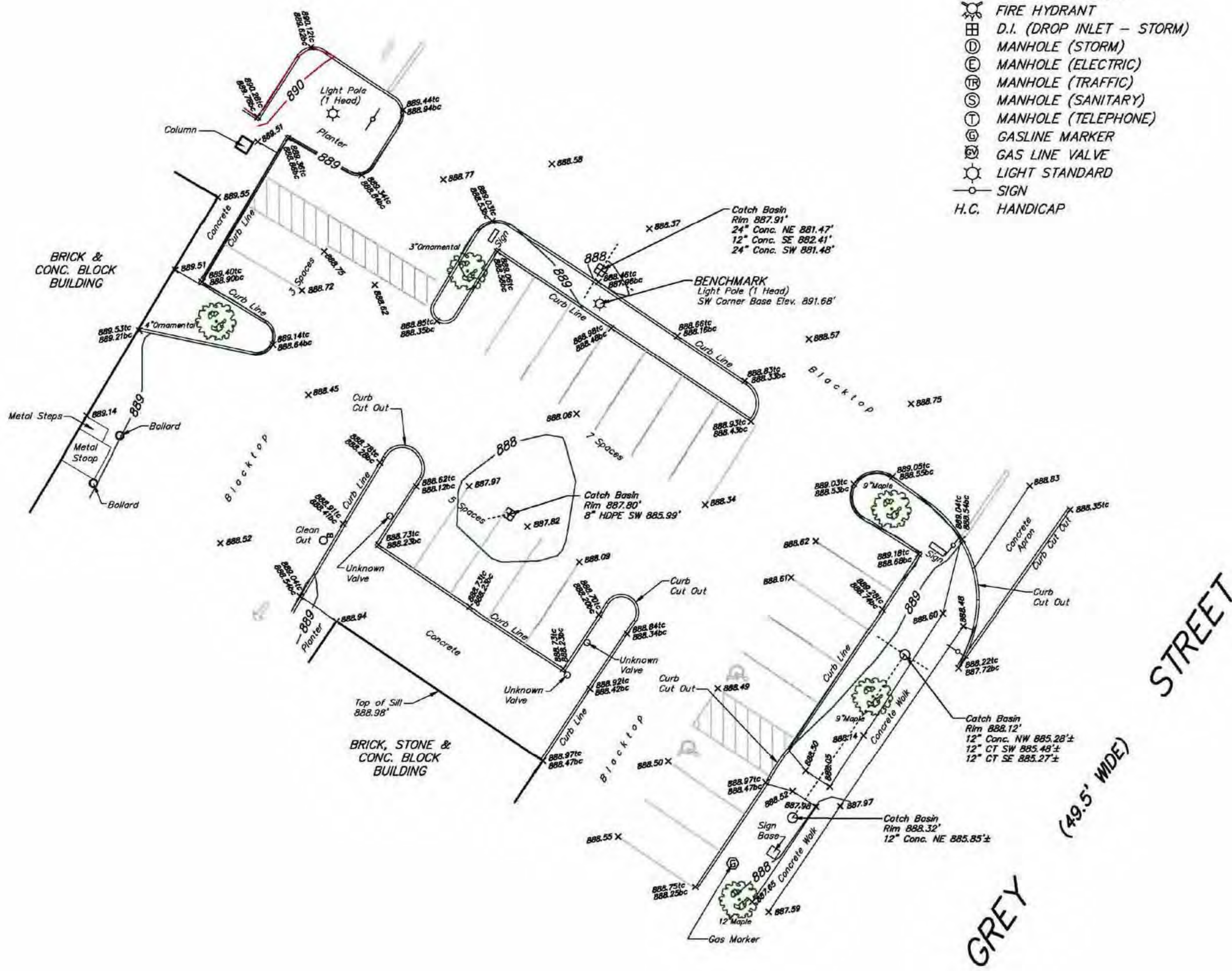
EXTERIOR
ELEVATIONS

10-1-24
JAN
10-1-24
A2.0



LEGEND

- | | | | |
|------|---------------------------|--------|----------------|
| Ø | UTILITY / SERVICE POLE | R.O.W. | RIGHT OF WAY |
| W | WATER LINE VALVE | CONC. | CONCRETE |
| X | FIRE HYDRANT | INV. | INVERT |
| D.I. | D.I. (DROP INLET - STORM) | M.H. | MANHOLE |
| ⊕ | MANHOLE (STORM) | —G— | GAS LINE |
| ⊖ | MANHOLE (ELECTRIC) | —W— | WATER LINE |
| ⊗ | MANHOLE (TRAFFIC) | —T— | TELEPHONE LINE |
| ⊙ | MANHOLE (SANITARY) | —E— | ELECTRIC LINE |
| ⊕ | MANHOLE (TELEPHONE) | —P— | UTILITY LINES |
| ⊖ | GASLINE MARKER | —C— | CABLE LINES |
| ⊗ | GAS LINE VALVE | D. | DEED |
| ⊙ | LIGHT STANDARD | M. | MEASURED |
| ⊕ | SIGN | L. | LIBER |
| H.C. | HANDICAP | P. | PAGE |



UTILITIES

The underground utilities shown have been located from field survey information & existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. This surveyor has not physically located the underground utilities.

Note: Underground Utility information has been ordered from the respective utility companies. As the information is received, this map will be amended to reflect said information.

National Fuel
Attn: Ed Kulpa
(716) 857-7967

Time Warner Cable
Attn: Chris Smith
(800) 262-8600

Verizon
Attn: Mark Granschow
(716) 840-8656

Erie County Water Dept.
Attn: Steve Denzler
(716) 685-8289

N.Y.S. Electric & Gas
Attn: Sam Ceppaglia
(716) 651-5256

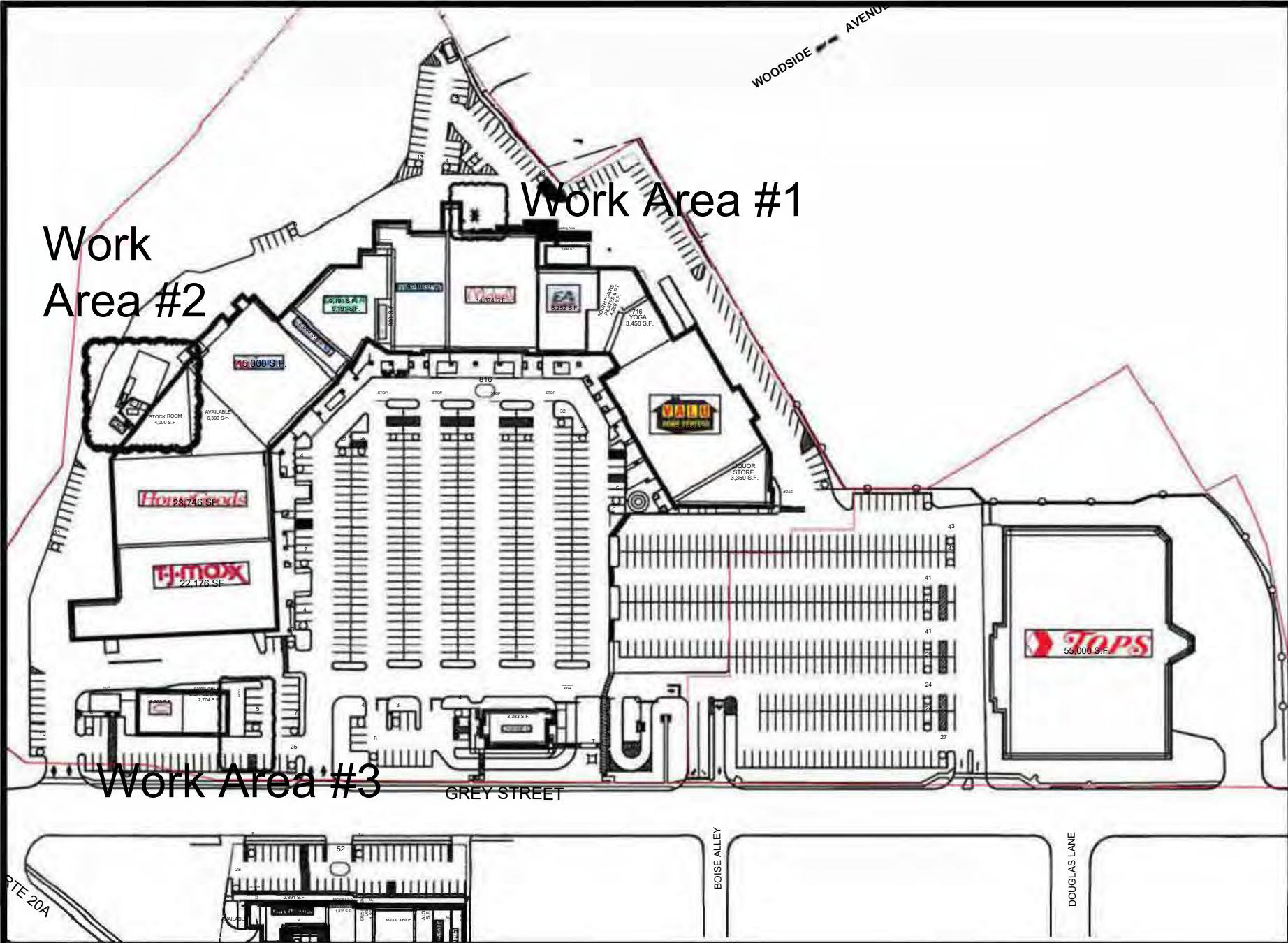
National Grid
Attn: Roy Schultz
(315) 428-6319

ELEVATION DATUM
ELEVATION ON THIS MAP WERE DETERMINED UTILIZING
MAP MADE BY STONEFIELD ENGINEERING & DESIGN
(PHONE 718-606-8305)
PROJECT ID: NYC-220221
TITLE: GRADING & DRAINAGE PLAN (C-7)

INSTRUMENT(S) UTILIZED IN DETERMINING LOCATION OF BOUNDARY LINES:
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED IN SAID ABSTRACT.
NOTE: PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.

THIS SURVEY MAP WAS PREPARED IN ACCORDANCE WITH THE CURRENT STANDARDS FOR LAND SURVEYS ADOPTED BY THE BAR ASSOCIATION OF ERIE COUNTY AT THE REQUEST OF Benderson Development Co. LLC Christopher J. Barr NYSPLS No. 051068	©COPYRIGHT 2024 BY: TRUE NORTH LAND SURVEYING, PLLC 150 AERO DRIVE BUFFALO, NEW YORK 14225 (716) 631-5140 ~ Truenorthpllc@aol.com	AMEND:
		SURVEY DATE: 10-4-24
PARTIAL TOPOGRAPHIC SURVEY PART OF LOT 31 SECTION 9 TOWNSHIP 9 RANGE 6 OF THE: Holland Land Company's SURVEY - Erie COUNTY, N.Y.	SBL No. 175.07-1-11	DRAWING DATE: 11-13-24
		SCALE: 1" = 20'
SURVEY OF: 123 Grey Street, Village of East Aurora, Town of Aurora		"ALL RIGHTS RESERVED"

THIS MAP VOID UNLESS
EMBOSSED
WITH NEW YORK STATE LICENSED LAND
SURVEYOR'S SEAL. ALTERING ANY ITEM
ON THIS MAP IS A VIOLATION OF THE
LAW EXCEPT AS PROVIDED IN SECTION
7209, PART 2, OF THE NEW YORK
STATE EDUCATION LAW.



- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
 14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTORS CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

- DEMOLITION NOTES: #
1. Existing Curb to be removed.
 2. Limits of Curb Removal.
 3. Existing Asphalt Pavement to be removed and regraded (Refer to General Note 14)
 4. Existing Concrete Sidewalk to be removed.
 5. Existing Storm Drainage/CB to remain and be protected during Construction.
 6. Existing Utility Structure to remain and be protected during Construction.
 7. Limits of Disturbance
 8. Existing Feature to Remain.
 9. Existing Feature to be Removed.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

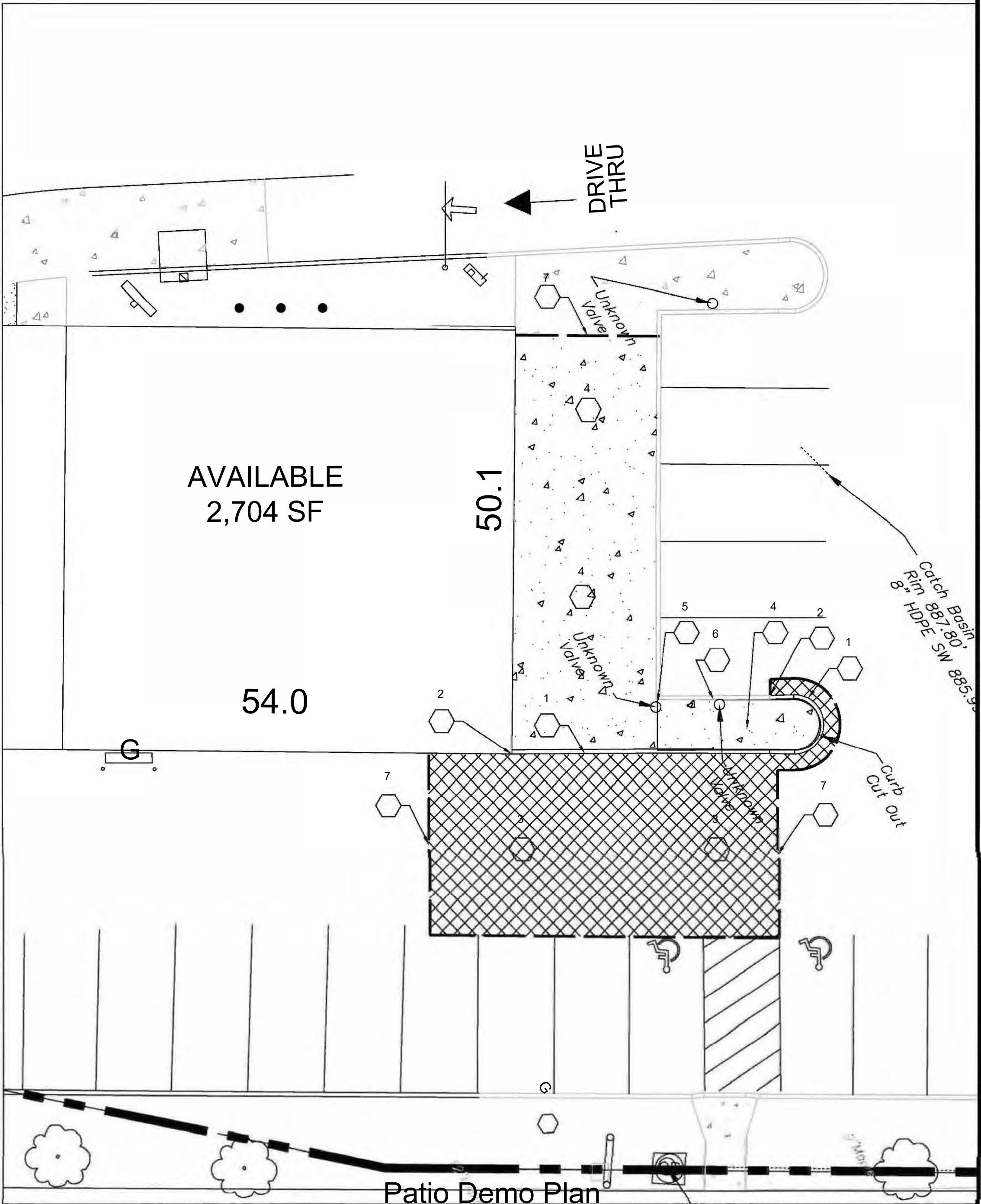
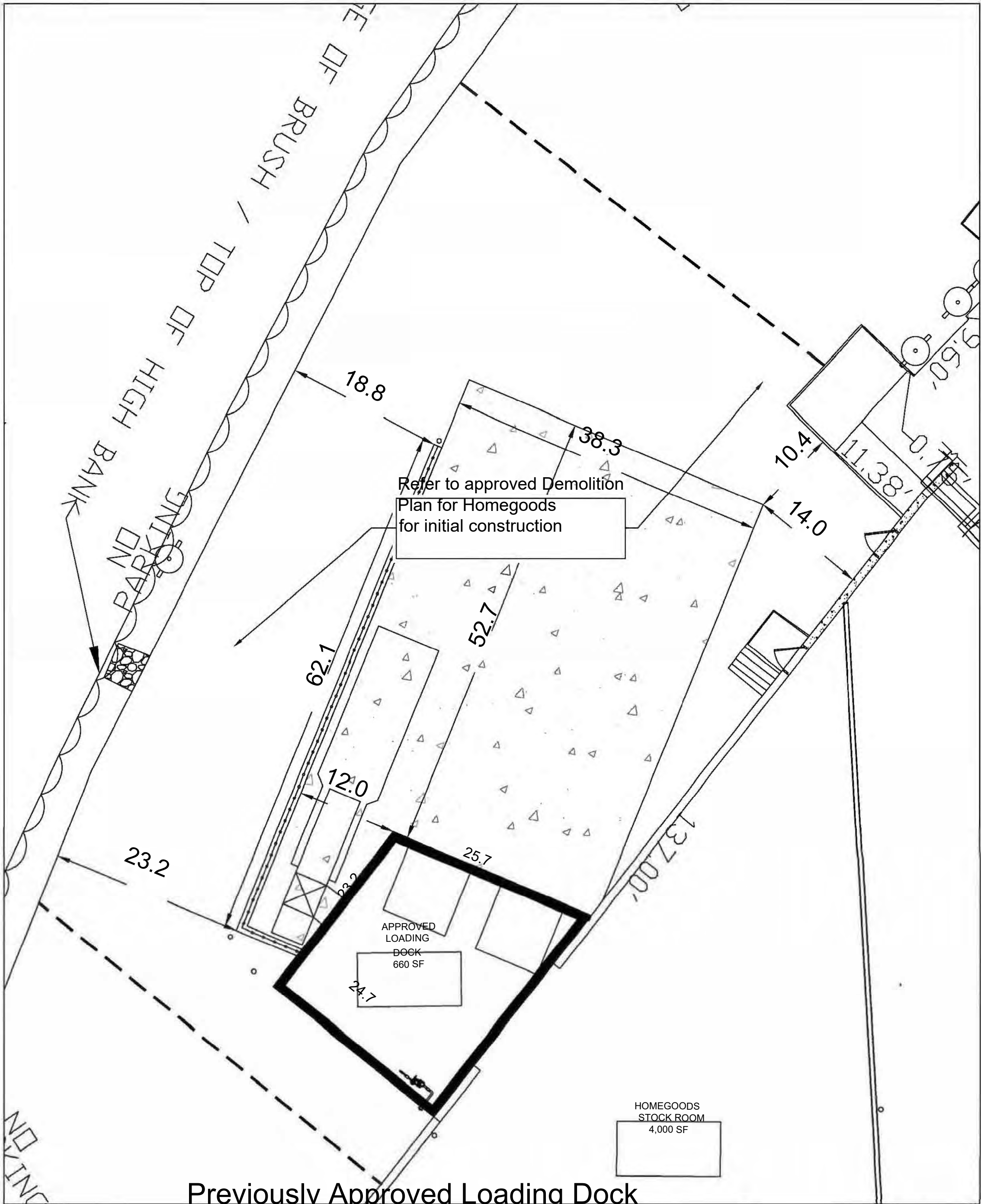
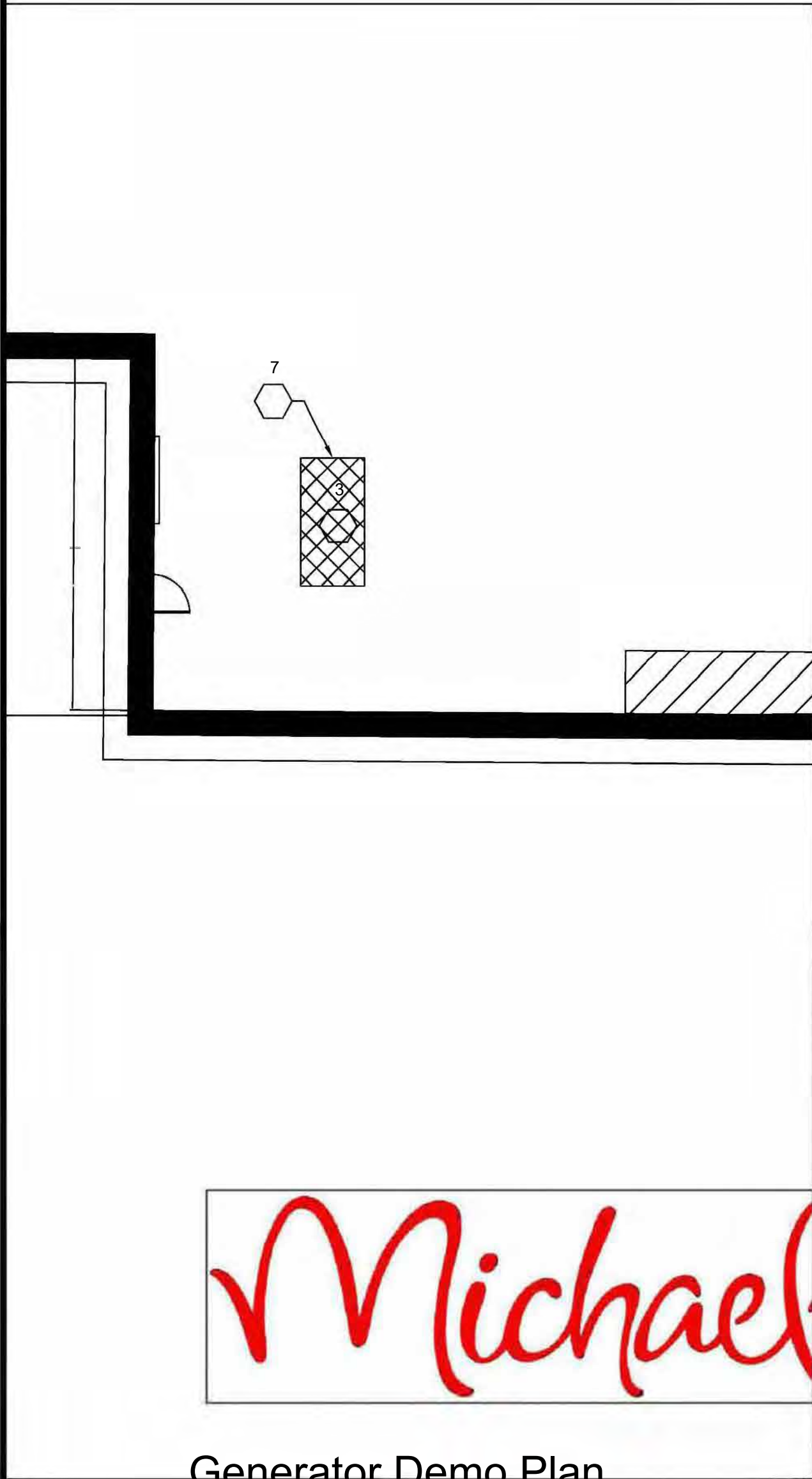
SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #2209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: # 2127
AREA: -



Aurora Village Shopping Center
123 Grey Street
East Aurora, NY 14052

PROPOSED
SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
REGISTERED ARCHITECT
PREPARED FOR

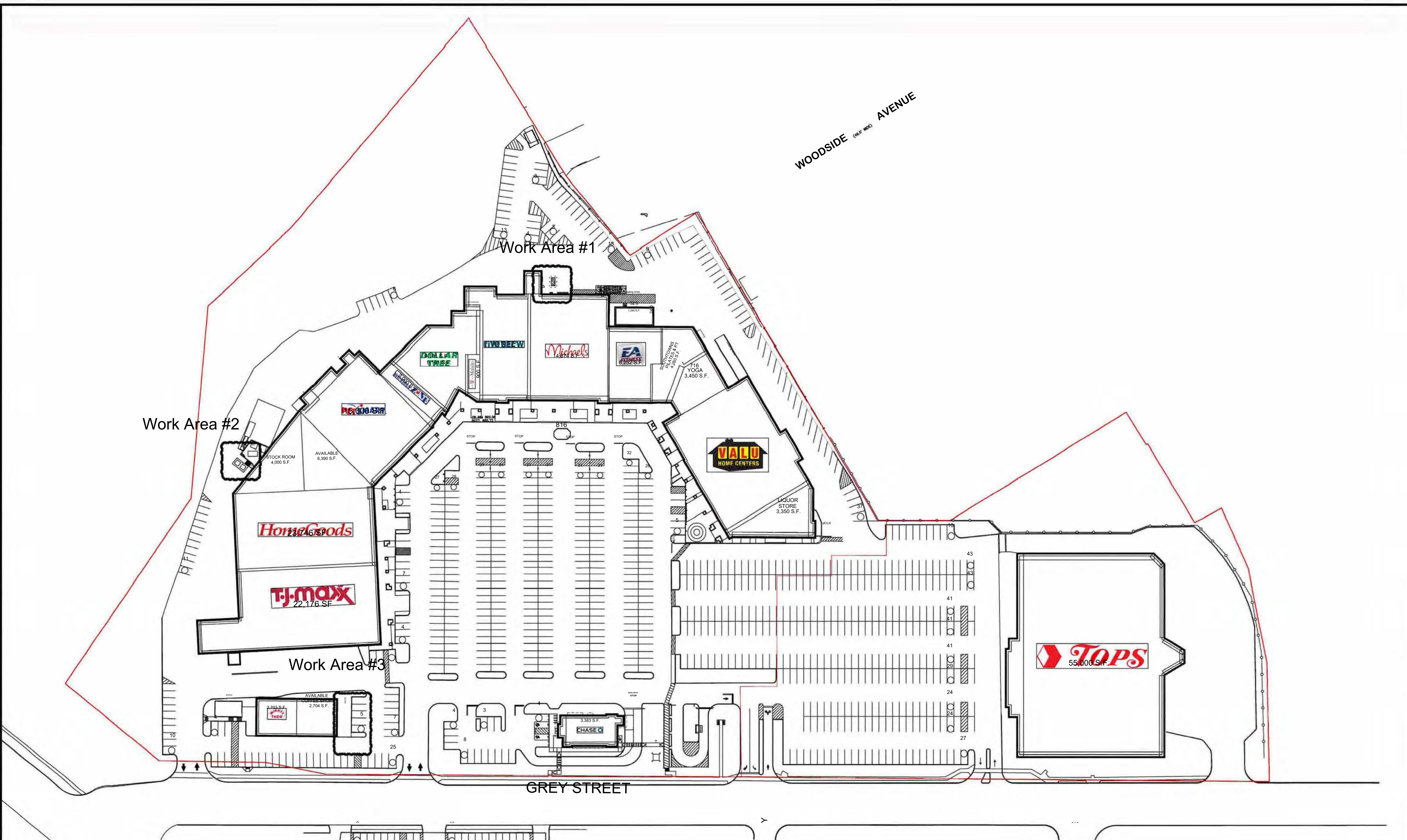
BENDERSON
DEVELOPMENT
SEAL



TITLE:
Demolition
Plan

SCALE:
1" = 10'
DRAWN BY:
DMZ
CHECKED BY:
MAO
DATE:
11.18.2024

DRAWING NO.
C3.0



PROPOSED PARKING ANALYSIS - VILLAGE OF EAST AURORA, NY			
USE	CODE	REQUIRED	PROVIDED
RETAIL STORE	3 SPACE / 1000 SF	$147,042 \text{ S.F.} / \left(\frac{1,000}{3}\right) = 442 \text{ SPACES}^*$	816 SPACES
FOOD STORE / RESTAURANT	4 SPACE / 1000 SF	$60,407 \text{ S.F.} / \left(\frac{1,000}{4}\right) = 242 \text{ SPACES}^*$	
TOTAL		684 SPACES	
STALL SIZE		9'x18'	9'x18'
* AVAILABLE SPACE CALCULATED AS RETAIL STORE MAX PARKING = 125% MIN REQUIRED = 684 * 1.25 = 855 SPACES > 816 SPACES			

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
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CONSTRUCTION SET



PROPERTY NUMBER: #2127 AREA: -

**AURORA VILLAGE
SHOPPING CENTER**
123 GREY STREET,
EAST AURORA, NY 14052

**PROPOSED
SITE MODIFICATIONS**

CONSULTANT

JAMES ALLEN RUMSEY
PREPARED FOR

BENDERSON DEVELOPMENT
510 DELAWARE AVE. BUFFALO, NY 14202
(716) 890-0211

SEAL



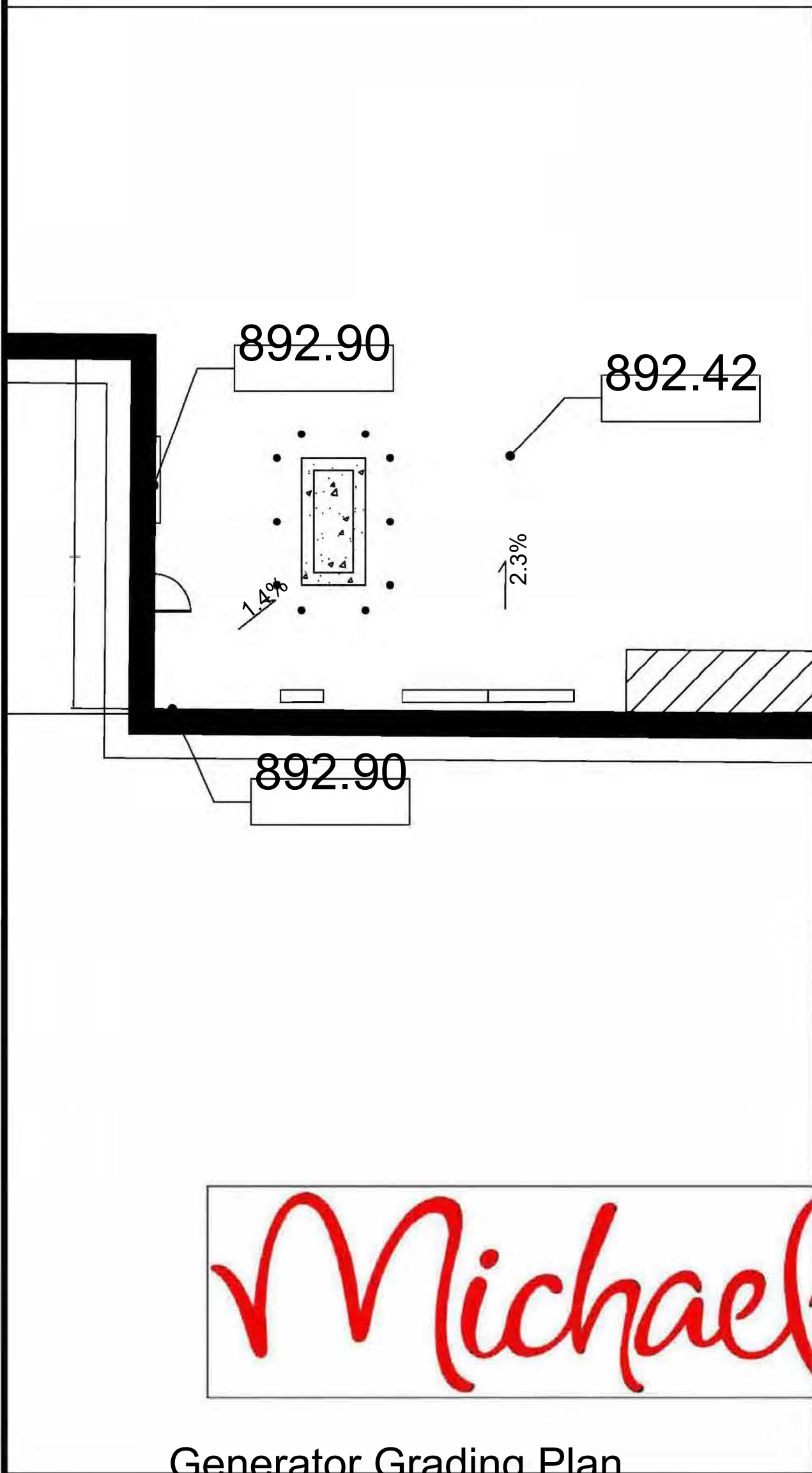
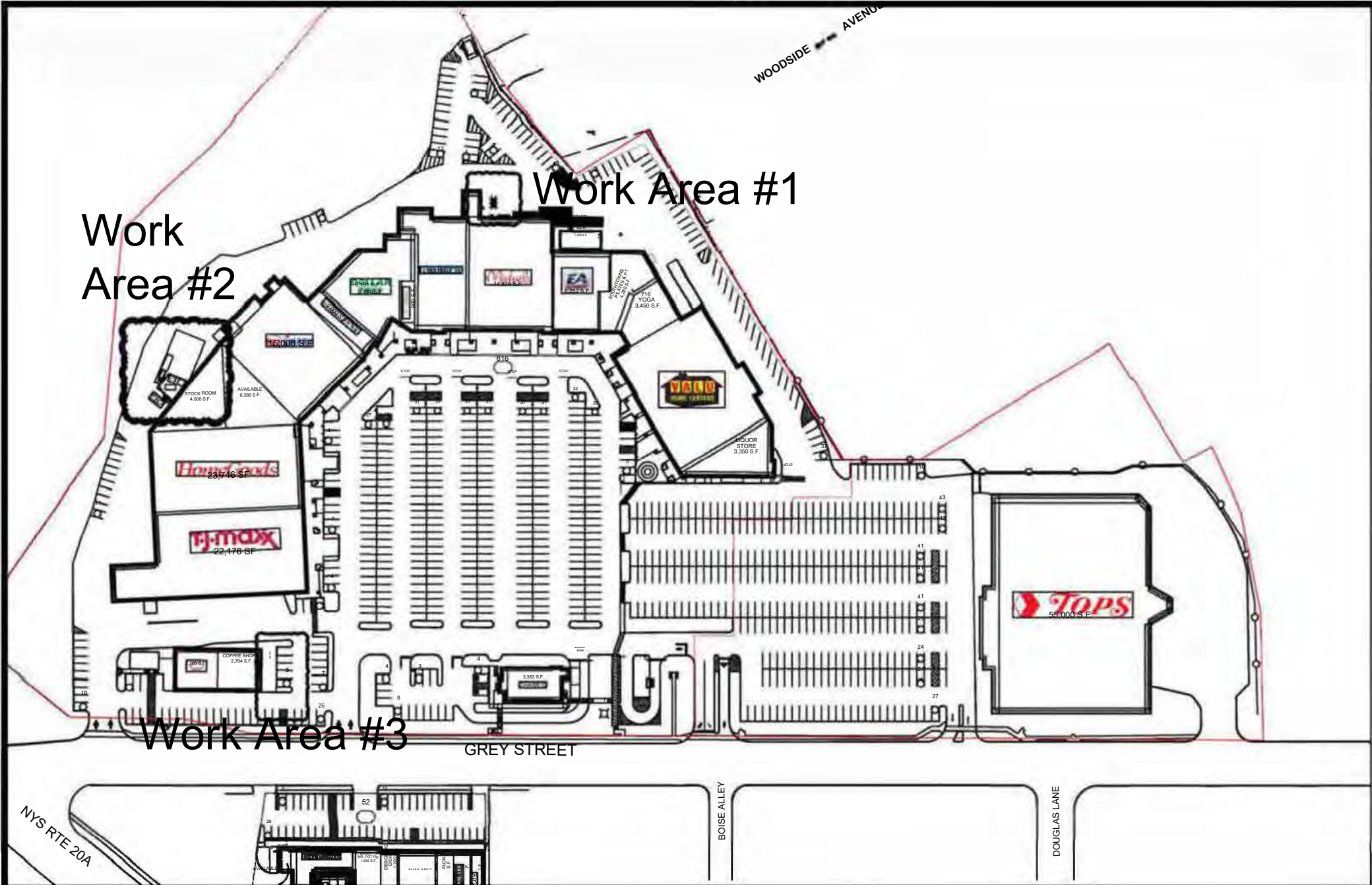
TITLE: Overall Site Plan

SCALE: 1" = 60'

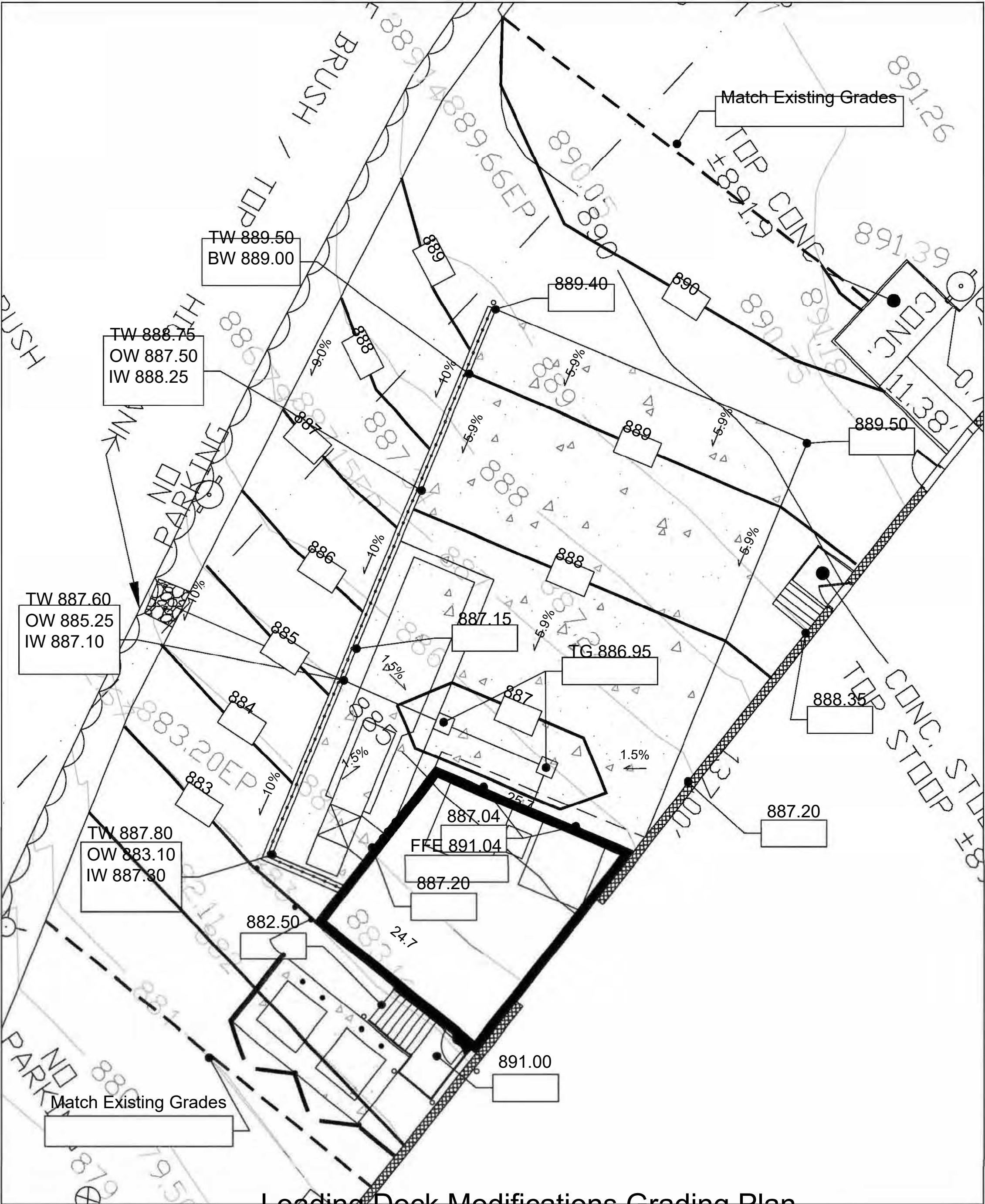
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CHECKED BY: MAO

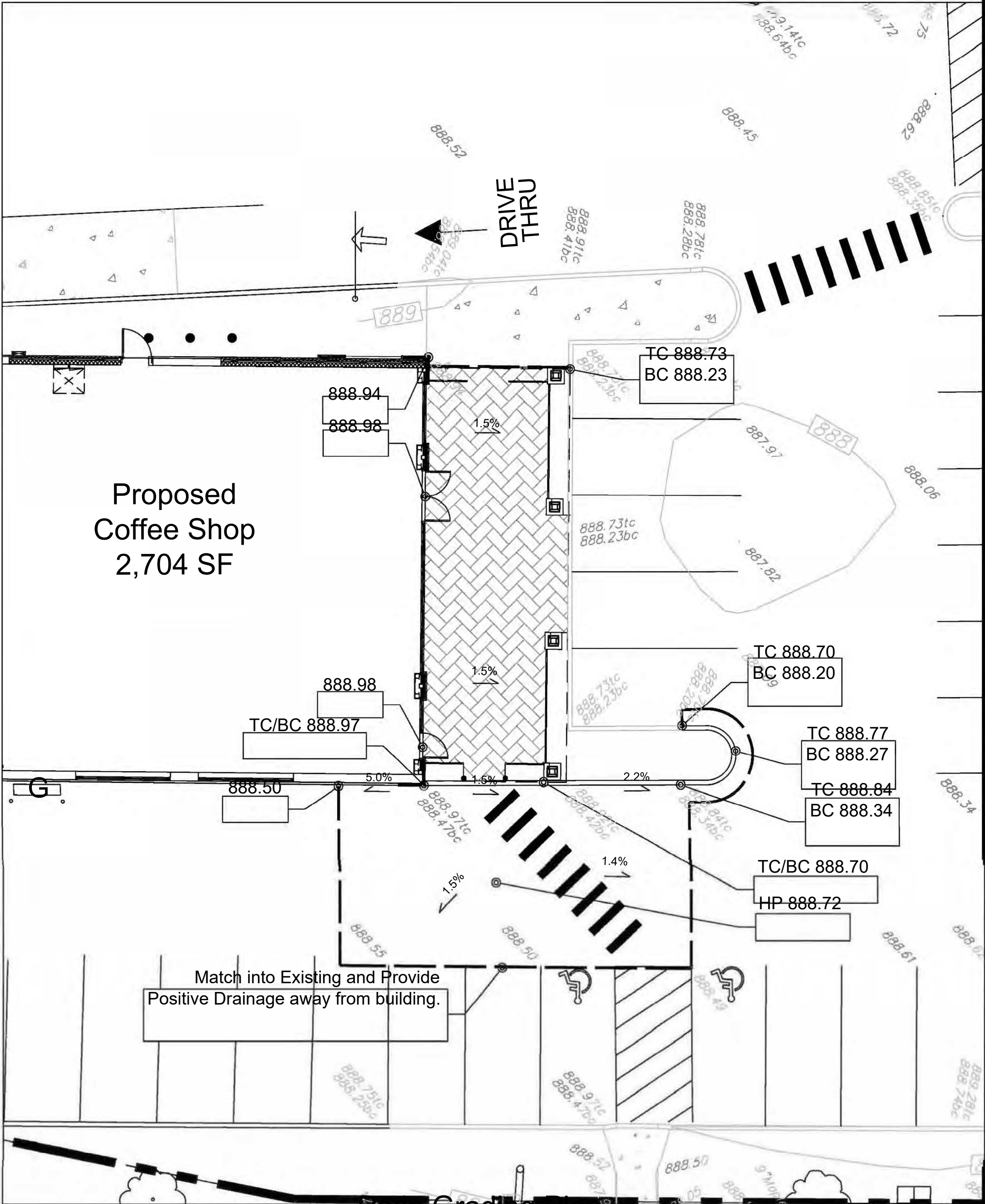
DATE: 11.18.2024



Generator Grading Plan
Work Area #1



Loading Dock Modifications Grading Plan
Work Area #2



Patio Grading Plan
Work Area #3

GRADING LEGEND:

- Property Line
- 6" Curb (typ).
- ☒ Catch Basin - Top of Grade
- ### Proposed Contour Line
- ### Slope Direction

HOLD CRITICAL SLOPE - FINISHED FLOOR ELEVATION MUST BE VERIFIED AT EACH ENTRY DOOR PRIOR TO SETTING OF CONCRETE CURB FORMS TO VERIFY THAT SIDEWALK SLOPE DOES NOT EXCEED 1.5%.

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.
SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.
NOTICE
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PROPERTY NUMBER: # 2127
AREA: -

Aurora Village Shopping Center
123 Grey Street
East Aurora, NY 14052

PROPOSED SITE MODIFICATIONS

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON DEVELOPMENT
123 Grey Street
(716) 886-0211

SEAL



TITLE:
Grading Plan

SCALE: 1" = 10'
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 11.18.2024

DRAWING NO.: **C5.0**

SG080 | 4.5L | 80 kW
INDUSTRIAL SPARK-IGNITED GENERATOR SET
EPA Certified Stationary

GENERAC | **INDUSTRIAL**

Standby Power Rating
80 kW, 100 kVA, 60 Hz



*Assembled in the USA using domestic and foreign parts



Image used for illustration purposes only

Codes and Standards

Not all codes and standards apply to all configurations. Contact factory for details.



UL2200, UL6200, UL1236, UL489



CSA C22.2



DIN

BS5514 and DIN 6271



SAE J1349



NFPA 37, 70, 99, 110



NEC700, 701, 702, 708



NEMA ICS10, MG1, 250, ICS6, AB1



ANSI C62.41



IBC 2009, CBC 2010, IBC 2012,
ASCE 7-05, ASCE 7-10, ICC-ES
AC-156 (2012)



Powering a Smarter World

For over 65 years, Generac has been at the forefront of power generation, pioneering innovative solutions and unparalleled manufacturing excellence. At the heart of our reputation for superior quality lies our commitment to meticulously designing and manufacturing key components of our generators—ranging from alternators and enclosures to base tanks, control systems, and cutting-edge communications software.

Generac's gensets stand out for their unparalleled versatility and reliability. Engineered to offer a wide range of options and configurations, they are tailored to meet the unique demands of virtually any application, seamlessly adapting to its complexity. Our commitment to reliability drives us to globally source only the most dependable engines, selected through stringent criteria for optimal performance under the toughest industrial conditions.

Beyond the sale, Generac's dedication to our customers extends to comprehensive service support, for peace of mind and reliability long after your purchase. Our commitment is to not only provide state-of-the-art power solutions but also enduring success and satisfaction of our customers through ongoing support and service excellence.

STANDARD FEATURES

ENGINE SYSTEM

- Oil Drain Extension
- Heavy Duty Air Cleaner
- Level 1 Fan and Belt Guards (Open Set Only)
- Stainless Steel Flexible Exhaust Connection
- Factory Filled Oil and Coolant
- Critical Silencer
- Oil Temperature Sender with Alarm
- Air Filter Restriction Indicator

FUEL SYSTEM

- NPT Fuel Connection on Frame
- Primary and Secondary Fuel Shutoff

COOLING SYSTEM

- Closed Coolant Recovery System
- UV/Ozone Resistant Hoses
- Factory-Installed Radiator
- 50/50 Ethylene Glycol Antifreeze
- Radiator Drain Extension

ELECTRICAL SYSTEM

- Battery Charging Alternator
- Battery Cables
- Battery Tray
- Rubber-Booted Engine Electrical Connections
- Solenoid Activated Starter Motor

ALTERNATOR SYSTEM

- UL2200 GENprotect™
- Class H Insulation Material
- 2:3 Pitch
- Skewed Stator
- Brushless Excitation
- Sealed Bearing
- Full Load Capacity Alternator

GENERATOR SET

- Internal Genset Vibration Isolation
- Separation of Circuits - High/Low Voltage
- Separation of Circuits - Multiple Breakers
- Wrapped Exhaust Piping
- Standard Factory Testing
- 2 Year Limited Warranty (Standby and Demand Response Rated Units)

ENCLOSURE (IF SELECTED)

- Rust-Proof Fasteners with Nylon Washers to Protect Finish
- High Performance Sound-Absorbing Material (Sound Attenuated Enclosures)
- Gasketed Doors
- Upward Facing Discharge Hoods (Radiator and Exhaust)
- Stainless Steel Lift Off Door Hinges
- Stainless Steel Lockable Handles
- RhinoCoat™ - Textured Polyester Powder Coat Paint

CONTROL SYSTEM



Power Zone® Pro Controller

- NFPA 110 Level 1 Compliant
- Engine Protective Functions
- Alternator Protective Functions
- Digital Engine Governor Control
- Digital Voltage Regulator
- Multiple Programmable Inputs and Outputs
- Remote Display Capability

Power Zone® Pro Controller Continued

- Remote Communication via Modbus® RTU, Modbus TCP/IP, and Ethernet 10/100
- Alarm and Event Logging with Real Time Stamping
- Expandable Analog and Digital Inputs and Outputs
- Remote Wireless Software Update Capable
- Built-In Programmable Logic Eliminates the Need for External Controllers Under Most Conditions
- Programmable I/O Channel Properties
- Built-In Diagnostics

Alarms and Warnings

- High/Low Oil Pressure
- High/Low Coolant Level
- High/Low Coolant Temperature
- Sender/Sensor Failure
- High/Low Oil Temperature
- Over Total kW
- Over/Under Speed
- Over/Under Voltage
- Over/Under Frequency
- Over Current
- High/Low Battery Voltage

Alarms and Warnings Continued

- Battery Charger Current
- Phase to Phase and Phase to Neutral Short Circuits (I²T Algorithm)

4.3 Inch Color Touch Screen Display

- Resistive Color Touch Screen
- Easily Identifiable Icons
- Multi-Lingual
- On Screen Editable Parameters
- Key Function Monitoring
- Three Phase Voltage, Amperage, kW, kVA, and kVAR
- Selectable Line to Line or Line to Neutral Measurements
- Frequency
- Engine Speed
- Engine Coolant Temperature
- Engine Oil Temperature
- Battery Voltage
- Hourmeter
- Warning and Alarm Indication
- Diagnostics
- Maintenance Events/Information

CONFIGURABLE OPTIONS

ENGINE SYSTEM

- Heater with Shutoff Valves
- Engine Coolant Heater
- Oil Heater
- Level 1 Fan and Belt Guards (Enclosed Units Only)
- Radiator Duct Adapter (Open Set Only)
- Two-Stage Heavy Duty Air Cleaner
- Critical Grade Silencer
- Baseframe Cover/Rodent Guard

ELECTRICAL SYSTEM

- 10A UL Battery Charger
- Battery Warmer

ALTERNATOR SYSTEM

- Permanent Magnet Excitation
- Alternator Upsizing
- Anti-Condensation Heater
- Tropical Coating

CIRCUIT BREAKER OPTIONS

- Main Line Circuit Breaker
- 2nd Main Line Circuit Breaker
- 3rd Main Line Circuit Breaker
- Shunt Trip and Auxiliary Contact
- Electronic Trip Breakers

FUEL SYSTEM

- NPT Flexible Fuel Line

GENERATOR SET

- Extended Factory Testing (3-Phase Only)
- 8 Position Load Center
- IBC Seismic Certification (Contact Factory for Availability)
- OSHPD Seismic Certification (Contact Factory for Availability)
- Elevated Stand

ENCLOSURE

- Level 0 Sound Attenuated
- Level 1 Sound Attenuated
- Level 2 Sound Attenuated
- Level 2 Sound Attenuated with Motorized Dampers
- Steel Enclosure
- Aluminum Enclosure
- Up to 200 MPH Wind Load Rating (Contact Factory for Availability)
- AC/DC Enclosure Lighting Kit
- Enclosure Heaters (with Motorized Dampers Only)
- Door Alarm Switch
- Spring Vibration Isolators
- Pad Vibration Isolators

CONTROL SYSTEM

- NFPA 110 Compliant 21-Light Remote Annunciator
- Remote Relay Assembly (8 or 16)
- Remote E-Stop (Break Glass-Type, Surface Mount)
- Remote E-Stop (Red Mushroom-Type, Surface Mount)
- Remote E-Stop (Red Mushroom-Type, Flush Mount)
- 10A Engine Run Relay
- Ground Fault Annunciator
- 120 V GFCI and 240 V Outlets
- 100 dB Alarm Horn
- Damper Alarm Contacts (with Motorized Dampers Only)

WARRANTY (EMERGENCY STANDBY POWER)

- 2 Year Extended Limited Warranty
- 5 Year Extended Limited Warranty
- 7 Year Extended Limited Warranty
- 10 Year Extended Limited Warranty

ENGINEERED OPTIONS

CONTROL SYSTEM

- Spare Inputs (x4) / Outputs (x4)
- Battery Disconnect Switch

GENERATOR SET

- Special Testing
- Battery Box

APPLICATION AND ENGINEERING DATA

ENGINE SPECIFICATIONS

General

Make	Generac
Cylinder #	4
Type	In-Line
Displacement - in ³ (L)	275.0 (4.5)
Bore - in (mm)	4.5 (114.3)
Stroke - in (mm)	4.25 (107.95)
Compression Ratio	9.1:1
Intake Air Method	Turbocharged
Number of Main Bearings	5
Connecting Rods	Forged Steel, Fractured Split, Bushingless
Cylinder Head	Cast Iron
Cylinder Liners	Cast Iron
Ignition	Coil Near Plug Solid State Inductive
Piston Type	Cast Aluminum Flat Top
Crankshaft Type	Forged Steel
Lifter Type	Hydraulic
Intake Valve Material	Stainless Steel
Exhaust Valve Material	Stainless Steel
Hardened Valve Seats	High Steel Iron Alloy

Engine Governing

Governor	Electronic
Frequency Regulation (Steady State)	± 0.25

Lubrication System

Oil Pump	Gear Driven
Oil Filter Type	Full-Flow Spin-On Cartridge
Engine Oil Capacity: qt (L)	21 (20)

Cooling System

Cooling System Type	Pressurized Closed
Fan Type	Pusher
Fan Speed (rpm)	2,100
Fan Diameter - in (mm)	22 (533)

Fuel System

Fuel Type	Natural Gas
Fuel Injection	Electronic
Fuel Shut Off	Generac
Operating Fuel Pressure - in H ₂ O (kPa)	5 - 14 (1.2 - 3.5)

*When designing the external fuel system, assume a 20% safety factor to the upper and lower limit of the specified fuel pressure range to account for site variation and measurement at the generator test port. Refer to Generac document 1000004620, latest rev. for proper gas supply design guidelines. (Contact Factory for Details)

Engine Electrical System

System Voltage	12 VDC
Battery Charger Alternator	Standard
Battery Size	See Battery Index 0161970SBY
Battery Voltage	12 VDC
Ground Polarity	Negative (-)

ALTERNATOR SPECIFICATIONS

Standard Model	K0080124Y21
Poles	4
Field Type	Revolving
Insulation Class - Rotor	H
Insulation Class - Stator	H
Total Harmonic Distortion (THD)	<5% (3-Phase Only)
Telephone Interference Factor (TIF)	<50

Standard Excitation	Synchronous Brushless
Bearings	Sealed Ball
Coupling	Direct via Flexible Disc
Prototype Short Circuit Test	Yes
Voltage Regulator Type	Full Digital
Number of Sensed Phases	All
Regulation Accuracy (Steady State)	±0.25%

OPERATING DATA

POWER RATINGS

		Standby
Single-Phase 120/240 VAC @1.0pf	80 kW/80 kVA	Amps: 333
Three-Phase 120/208 VAC @0.8pf	80 kW/100 kVA	Amps: 278
Three-Phase 120/240 VAC @0.8pf	80 kW/100 kVA	Amps: 241
Three-Phase 277/480 VAC @0.8pf	80 kW/100 kVA	Amps: 120
Three-Phase 346/600 VAC @0.8pf	80 kW/100 kVA	Amps: 96

STARTING CAPABILITIES (skVA)

skVA vs. Voltage Dip					
120/240 VAC 1Ø	30%	277/480 VAC 3Ø	30%	208/240 VAC 3Ø	30%
A0080044N21	58	K0080124Y21	172	K0080124Y21	132
A0130044N21	105	K0130124Y21	327	K0130124Y21	327

FUEL CONSUMPTION RATES*

Percent Load	Natural Gas – scfh (m³/hr)	Standby
25%		290 (8.2)
50%		538 (15.2)
75%		795 (22.5)
100%		1,063 (30.1)

*1.5X maximum site rated fuel consumption should be used for gas supply design practices. Refer to Generac 1000046207, latest rev, or contact factory for details.

COOLING

		Standby
Air Flow (Fan Air Flow Across Radiator) - Open Set	cfm (m³/min)	4,343 (123)
Coolant Flow	gpm (Lpm)	24 (90)
Coolant System Capacity	gal (L)	9 (34)
Maximum Operating Ambient Temperature	°F (°C)	122 (50)
Maximum Operating Ambient Temperature (Before Derate)		See Bulletin No. 0199270SSD
Maximum Radiator Backpressure	in H ₂ O (kPa)	0.5 (0.12)

COMBUSTION AIR REQUIREMENTS

	Standby
Flow at Rated Power cfm (m³/min)	178 (5.0)

ENGINE

		Standby
Rated Engine Speed	RPM	1,800
Horsepower at Rated kW**	hp	128
Piston Speed	ft/min (m/min)	1,275 (389)
BMEP	psi (kPa)	214 (1,473)

** Refer to "Emissions Data Sheet" for maximum bHP for EPA and SCAQMD permitting purposes.

EXHAUST

		Standby
Exhaust Flow (Rated Output)	cfm (m³/min)	456 (13.0)
Maximum Allowable Exhaust Backpressure (Post Silencer)	in Hg (Kpa)	0.75 (2.54)
Exhaust Temperature (Rated Output)	°F (°C)	1,425 (774)

Deration – Operational characteristics consider maximum ambient conditions. Derate factors may apply under atypical site conditions.

Please contact a Generac Power Systems Industrial Dealer for additional details. All performance ratings in accordance with BS5514 and DIN6271 standards.

Standby - See Bulletin 0187500SSB

EPA Certified Stationary

DIMENSIONS AND WEIGHTS*



* All measurements are approximate and for estimation purposes only.

YOUR FACTORY RECOGNIZED GENERAC INDUSTRIAL DEALER

Specification characteristics may change without notice. Dimensions and weights are for preliminary purposes only. Please consult a Generac Power Systems Industrial Dealer for detailed installation drawings.

LEVEL 2 SOUND ATTENUATED ENCLOSURE

G4.5L Generac, SG080

60Hz NO-LOAD, dB(A)

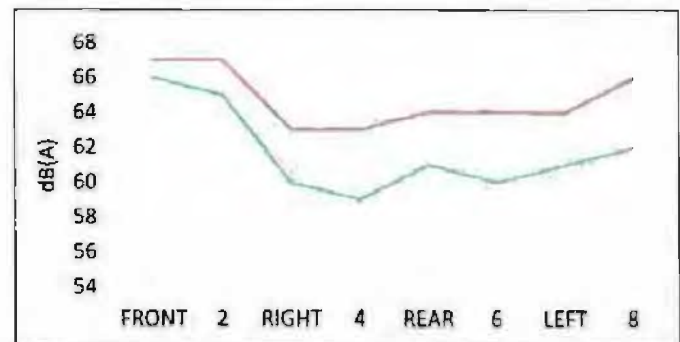
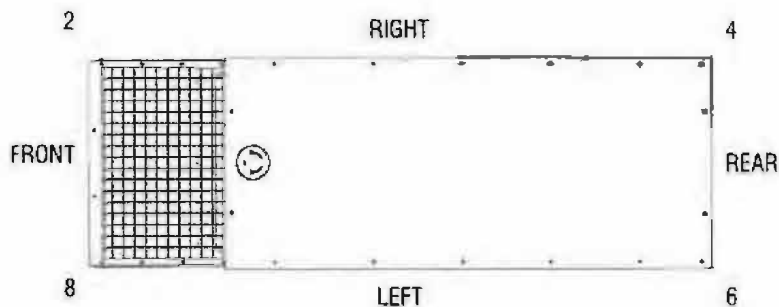
DISTANCE: 7 METERS

MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									dB(A)
	31.5	63	125	250	500	1,000	2,000	4,000	8,000	
FRONT	29	45	51	61	62	61	52	53	45	66
2	33	45	50	62	61	58	52	49	46	65
RIGHT	33	42	52	54	55	55	48	49	45	60
4	28	44	49	55	55	54	49	47	43	59
REAR	29	45	52	54	54	56	56	50	46	61
6	29	44	49	55	54	55	50	47	45	60
LEFT	30	43	51	57	57	55	48	50	46	61
8	28	45	50	57	59	57	50	48	46	62
AVERAGE	30	44	51	57	57	56	51	49	45	62

60Hz FULL-LOAD, dB(A)

DISTANCE: 7 METERS

MICROPHONE LOCATION	OCTAVE BAND CENTER FREQUENCY (Hz)									dB(A)
	31.5	63	125	250	500	1,000	2,000	4,000	8,000	
FRONT	30	62	52	60	61	60	52	52	47	67
2	31	61	52	63	62	58	54	50	48	67
RIGHT	30	57	53	55	59	57	49	50	47	63
4	27	61	51	55	56	55	50	49	47	63
REAR	27	60	53	55	55	57	57	52	52	64
6	28	60	52	57	58	56	51	52	49	64
LEFT	30	59	54	58	59	55	50	52	50	64
8	31	62	53	58	60	57	52	50	50	66
AVERAGE	29	60	52	58	59	57	52	51	49	65



- All positions at 23 feet (7 meters) from side faces of generator set.
- Test conducted on a 100 foot diameter asphalt surface.
- Sound pressure levels are subject to instrumentation, installation and testing conditions.
- Sound levels are ± 2 dB(A).

TOWN OF AURORA

575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees

FROM: Richard Miga, Assistant Code Enforcement Officer

DATE: January 15, 2025

The Building Department has accepted a Special Use permit (SUP) amendment application for Coffee House at 123 Grey St. in the vacant space that adjoins to the Mighty Taco by James Boglioli of 93 NYRPT/Benderson Development. 123 Grey Street is located in the General Commercial (GC) zoning district. The Special-Use permit application is for a coffee house with 60 interior seating and a proposed outdoor patio for an additional 24 seats.

Village Code section 285-50.4C requires the Village to submit the applications to Erie County Department of Environment and Planning for their review and comment due to proximity to a State highway.

Village Code section 285-52.3B states that the Village Board may refer the Special Use permit application to the Planning Commission for their review and recommendation. The Village Board shall then schedule a public hearing for the application.

This is an Unlisted action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.

Richard Miga

VILLAGE OF EAST AURORA

585 Oakwood Ave, East Aurora, New York 14052

716-652-6000

In conjunction with

Town of Aurora Building Department

575 Oakwood Ave, East Aurora, NY 14052

716-652-7591

Building Dept:

Date Received _____

Complete App _____

Village Clerk:

Date Filed _____

Amount \$ _____

Receipt # _____

SPECIAL USE PERMIT APPLICATION

PROPOSED PROJECT Coffee Shop with Outdoor Seating SBL# _____
LOCATION 123 Grey Street ZONING DISTRICT GC

The applicant agrees to reimburse the Village for any additional fees required for review by consultants hired by the Village.

APPLICANT NAME Benderson Development Company, LLC
ADDRESS 570 Delaware Avneue, Buffalo, New York 14202
TELEPHONE 716-878-9626 FAX 716-998-9910 E-MAIL jmb@benderson.com

SIGNATURE James A. Boglioli

OWNER OF PROPERTY 93 NYRPT, LLC
ADDRESS 570 Delaware Avenue, Buffalo, New York 14202
TELEPHONE 716-878-9626 FAX 716-998-9915 cell _____ E-MAIL jmb@benderson.com

SIGNATURE James A. Boglioli

~~DEVELOPER NAME N/A~~
~~ADDRESS _____~~
~~TELEPHONE _____ FAX _____ E-MAIL _____~~
~~SIGNATURE _____~~

Request is for: ☒ Restaurant, Indoor Dining and/or ☒ Restaurant, Outdoor Dining
☐ Gas Station ☐ Car Wash ☐ Other
☐ Outdoor music or other noise impact; if yes please include a quick summation of request:

Days and hours of operation (indoor) 5:00am - 9:00pm 7 days a week
Days and hours of operation (outdoor) 5:00am - 9:00pm 7 days a week

Will alcoholic beverages be served? ☐ Yes ☒ No

Will there be outdoor music? ☐ Yes ☒ No If yes, what type of music: _____
Days and times of music _____

Are premises handicap accessible? ☒ Yes ☐ No If not, premises must be made ADA compliant
If yes, contact building department at 716-652-7591

Will there be any renovations ☒ Yes ☐ No

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One Cover Letter to Village Board, Supporting Documents and SEQR as required in §285-52.2
- One complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD-ROM
- Application fee \$25.00, Permit fee \$25.00 and Public Hearing fee \$100.00 – Total \$150 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:

___ Type 1 ___ Type 2 ☒ Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date	
Public Hearing	_____	
Notices Mailed	_____	
Posted Notice-VEA Hall	_____	
Posted Notice-Prop	_____	
Approval/Denial Date	_____	Attach Village Board resolution with noted conditions.

CHECK LIST FOR SPECIAL USE PERMIT APPLICATION

- ☒ A cover letter to the Village Board with a narrative of all proposed uses and structures, including but not limited to: hours of operation, number of employees, maximum seat capacity and required number of parking spaces.
- ☒ A narrative report describing how the proposed use will satisfy the criteria set forth in the Special Use Permit review criteria of Chapter §285-52.4 (also listed below), as well as any other applicable requirements relating to the specific use proposed.
 - ☒ Will be generally consistent with the goals of the Village Comprehensive Plan.
 - ☒ Will meet all relevant criteria set forth in Chapter §285-52.3 and §285-52.4.
 - ☒ Will be compatible with existing uses adjacent to and near the property.
 - ☒ Will not create a hazard to health, safety or the general welfare of the public.
 - ☒ Will not alter the essential character of the neighborhood nor be detrimental to the neighborhood residents.
 - ☒ Will not be a nuisance to neighboring land uses in terms of the production of obnoxious or objectionable noise, dust, glare, odor, refuse, fumes, vibrations, unsightliness, contamination or other similar conditions.
 - ☒ Will not cause undue harm to, or destroy, existing sensitive natural features on the site or in the surrounding area or cause adverse environmental impacts such as significant erosion and/or sedimentation, slope destruction, flooding or ponding of water or degradation of water quality.
 - ☒ Will not destroy or adversely impact significant historic and/or cultural resource sites.
 - ☒ Will provide adequate landscaping, screening or buffering between adjacent uses which are incompatible with the proposed project.
 - ☒ Will not otherwise be detrimental to the public convenience and welfare.
- ☒ All SEQR documentation, as required by New York State Law.



January 6, 2025

Attn: Mr. Richard Miga
Town of Aurora / Village of East Aurora
Building Department
575 Oakwood Avenue
East Aurora, New York 14052

**Re: Site Plan Review – Proposed Site Modifications
123 Grey Street, East Aurora NY 14052 (BDP# 2127)**

Dear Mr. Miga:

Benderson Development Company, LLC is pleased to be resubmitting updated Civil design plans for the above referenced projects that address the previously issued village comments received via email dated December 17, 2024. In this regard, please find enclosed the following information:

- Updated Civil Design Plans prepared by James Rumsey R.A. revision date January 3, 2025

In regard to the comments, we offer the following responses:

Comments via email dated December 17, 2024

For SUP Application:

1. A completed SEQR form is provided with resubmittal.
2. A patio seating plan has been added to the plans set showing the 24 proposed seats on the patio.
3. An elevation of the proposed patio is included with this resubmission.
4. There are 60 interior seats and 24 exterior seats.

For Site Plan Application:

1. The existing parking surrounding the existing tenant space exceeds the required amount per code of 11 spaces for this proposed use. In addition, this project is part of a larger shopping center that requires 684 spaces and provides 816 spaces.
2. A site lighting plan for the proposed canopy lights and site lights within the vicinity of the project has been added to the plan set.
3. Comment Acknowledged that signs will be a separate application.

The above response should be what is needed for further review of the proposed project. If you have any questions or further comments, please do not hesitate to contact either Courtney Adamo at (716) 878-9630 or myself at (716) 998-9915.

Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC

James A. Boglioli

James A. Boglioli, Esq.
Director, Right to Build – Northeast U.S.

November 25, 2024

VIA HAND DELIVERY

Peter M. Mercurio, Mayor and Members of the Village Board
Village of East Aurora
571 Main Street
East Aurora, NY 14052

Re: Special Permit for a Coffee Shop (BDCP# 2127)
Aurora Village Shopping Center
123 Grey Street, East Aurora

Dear Mayor Mercurio and Members of the Board:

Enclosed please find the required application materials in connection with our application for a Special Permit for a coffee shop/restaurant to be located at our Aurora Village Shopping Center at 123 Grey Street, Village of East Aurora (the "Property") with an existing, vacant space adjacent to the Mighty Taco restaurant.

The Subject Property

The Aurora Village Shopping Center is a large shopping center located on Grey Street. The property was purchased by Benderson in October 1995 and is located in the "C" Zoning District. It is improved with a Tops grocery store; a large, U-shaped multi-tenant building; and a small 5,407 s.f. outparcel building which has a Mighty Taco with a drive thru and an additional 2,704 SF of space that has been vacant since June 2010 when the Goodyear closed. A plan showing the shopping center is attached as **Exhibit A**.

The Project

Mighty Taco presently occupies 2,703 s.f. of the 5,407 s.f. freestanding building. Benderson has obtained a coffee shop as a tenant for the vacant 2,704 s.f. adjacent to Mighty Taco. As part of the project, a new outdoor patio will be constructed on the north side of the building. Typical hours of operation for the proposed coffee shop are seven days a week from 5 am to 9 pm.

Special Permit Application

Village Code section 285-51 states that a special permit is required for restaurants and outdoor service of food and beverages.

Village Code section 285-51-B provides that in reviewing an application for a special permit, the Village Board of Trustees shall issue a special permit upon a finding that the general welfare, health and safety of the residents of the Village shall not be adversely affected by the issuance of such permit, considering among other pertinent factors the flow of traffic, pedestrian and vehicular safety, fire control, snow removal, noise levels, visual pollution, sanitation and the general nature of the neighborhood.

The project site is an existing shopping center and the project is the re-use of a vacant space within an existing building. As such there will be no adverse impact on fire control, snow removal, noise levels, visual pollution and sanitation. Snow removal and fire control remain unaffected by the proposed development. There

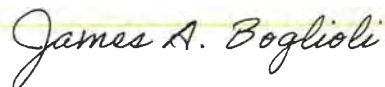
will be no significant increase in noise level. The project will not result in any visual pollution, and, instead, will result in a new façade and other site improvements to the existing vacant portion of the building.

Finally, the project will not have any adverse effect on the nature of the neighborhood. The proposed coffee shop is located in a commercial area within the Village of East Aurora, improved with other commercial use and restaurants. The proposed coffee shop is not adjacent to or facing any residential uses. Directly across Grey Street from the subject property, are Sorrentino's Restaurant, M&T Bank, Key Bank and the former Bank of America. In addition, within approximately 1,000 feet of the subject property are McDonald's and Tim Hortons

Conclusion

Benderson believes that the proposed coffee shop will not result in any negative impacts to the area in which the building is located. We respectfully request that the matter be placed on the agenda for the next meeting of the Village Board. Should you require any additional information or wish to discuss the matter please do not hesitate to contact me at (716) 878-9626 or by e-mail at JamesBoglioli@Benderson.com.

Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC



James A. Boglioli, Esq.
Director, Right to Build – Northeast US

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

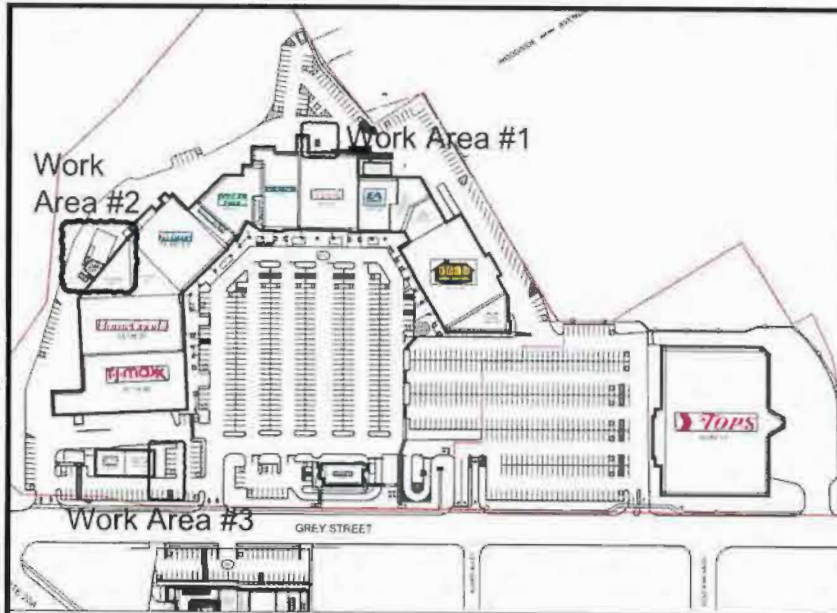
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

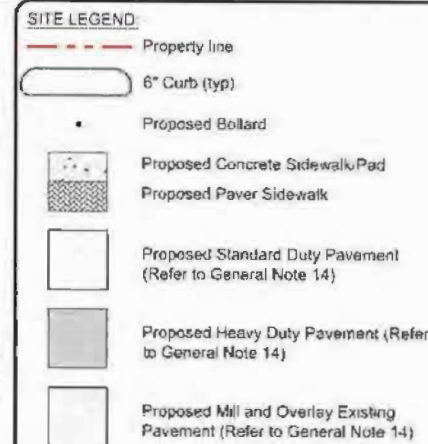
Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			☐	☐
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			☐	☐
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
☐ Urban	☐ Rural (non-agriculture)	☐ Industrial	☐ Commercial	☐ Residential (suburban)
☐ Forest	☐ Agriculture	☐ Aquatic	Other(Specify):	
Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☐	☐
b. Consistent with the adopted comprehensive plan?	☐	☐	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☐	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☐	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	☐	☐	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☐	☐	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	☐	☐	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	☐	☐	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	☐	☐	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	☐	☐	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☐	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☐	☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☐	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest Agricultural/grasslands Early mid-successional Wetland ☐ Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	☐	☐
16. Is the project site located in the 100-year flood plan?	NO	YES
	☐	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	☐	☐
	☐	☐
	☐	☐
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	☐	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	☐	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	☐	☐
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: <u></u> _____ Title: _____		



- GENERAL NOTES**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILLED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES):
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILICURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILICURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.
 14. CONTRACTOR TO PROVIDE NEW PAVEMENT THAT CONFORMS TO THE GRADING PLAN WHILE MAINTAINING, AS A MINIMUM, THE EXISTING STONE BASE. THE MEANS AND METHODS OF OBTAINING NEW GRADES IS LEFT UP TO THE CONTRACTOR AND CAN BE OBTAINED VIA SHIMMING THE PAVEMENT AND THEN A NEW TOP COAT, REMOVING EXISTING ASPHALT PAVEMENT AND REGRADING EXISTING STONE BASE, A COMBINATION OF THESE TWO OR ANOTHER METHOD OF THE CONTRACTOR'S CHOOSING. FINAL PAVEMENT WORK PLAN SHALL BE PROVIDED TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.



- SITE NOTES**
1. Proposed Building Addition
 2. Proposed 6" Concrete Curb
 3. Proposed Flush Curb
 4. Match into Existing Curb
 5. Proposed Mill and Overlay Asphalt Pavement
 6. Proposed Curb Ramp
 7. Proposed Concrete Pavement
 8. Proposed Concrete/Paver Building Sidewalk
 9. Pavement Saw-Cut / Match into Existing
 10. Proposed 6" Bollard
 11. Proposed Handicap Parking Sign
 12. Proposed No Parking Sign
 13. Proposed Pavement Stripping/Symbols
 14. Proposed Landscaping
 15. Proposed Retaining Wall. Refer to Structural Plans
 16. Proposed Heavy Duty Pavement Section
 17. Proposed Standard Duty Pavement Section

All curb radii are 3ft unless noted.
Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

DRAWING REVISIONS

No.	DATE	BY	REMARKS

SPECIAL INFORMATION
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.
SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 17208 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: # 2127
AREA: -

Aurora Village Shopping Center
123 Grey Street
East Aurora, NY 14052

PROPOSED SITE MODIFICATIONS

CONSULTANT

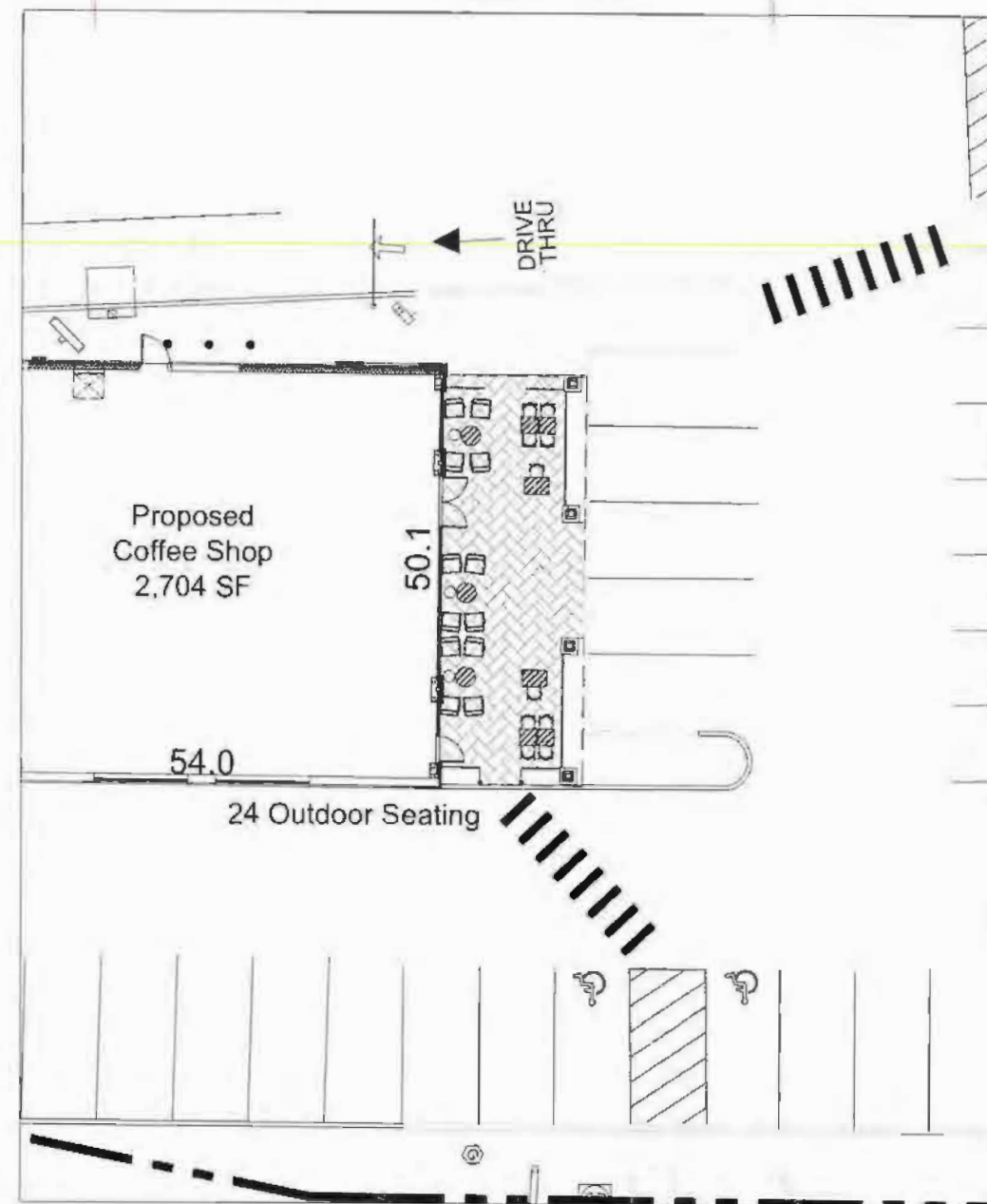
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL

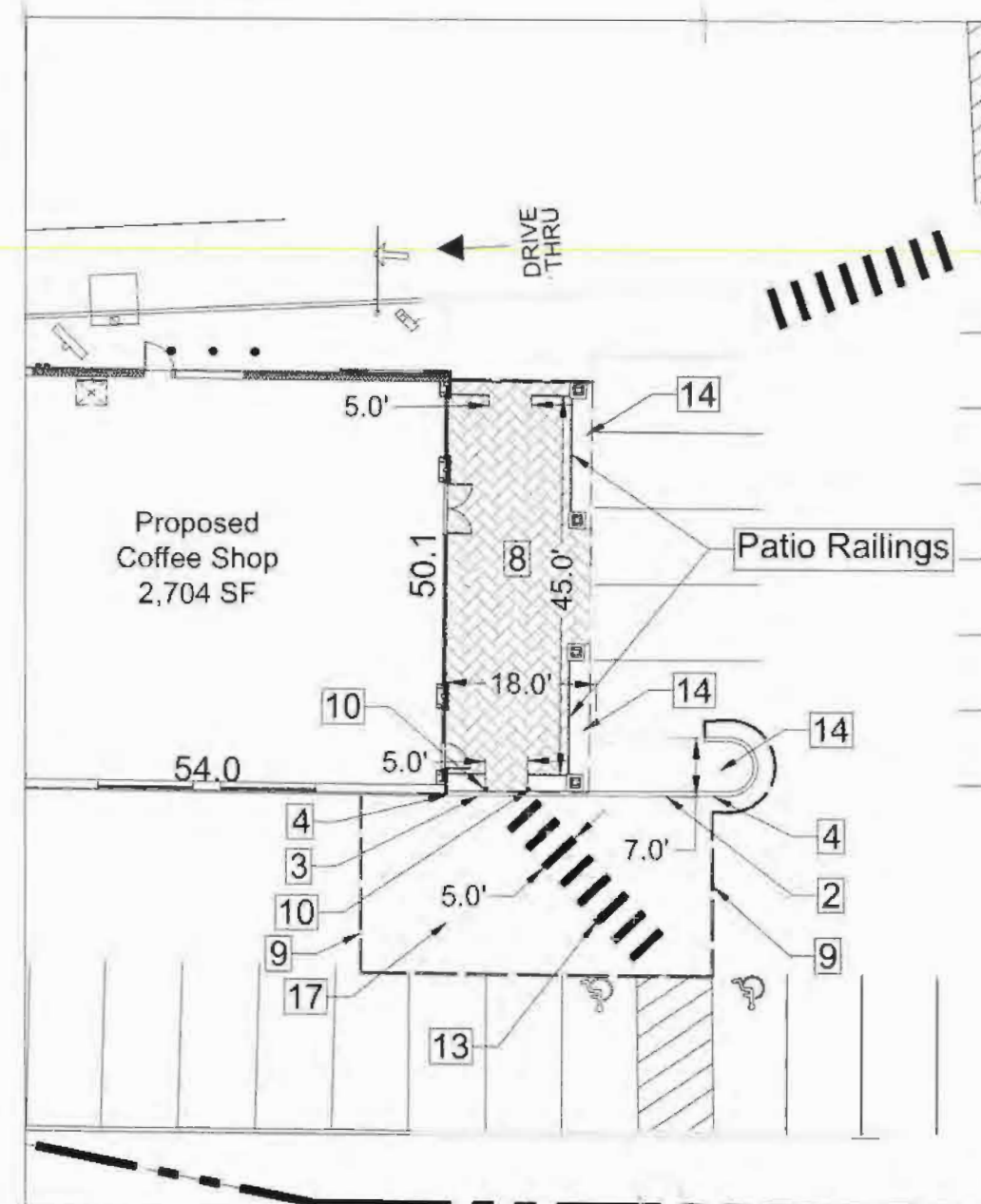


Patio Detailed Site Plan

SCALE: 1" = 10'
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 11.18.2024
DRAWING NO: **C4.11**



Patio Seating Plan
Work Area #3



Patio Site Plan
Work Area #3

STARBUCKS





Temporary Use Permit Hamlin Park

Submit to: Village of East Aurora 585 Oakwood Ave EA, NY 14052

Telephone (716) 652-6000, ext. 3

Fax: (716) 652-1290

Not Less Than 60 Days or More Than 75 Days Before Date of Activity

Application Fee \$25.00 _____

Permit Fee \$50.00 _____

Name of Organization: Town of Aurora

Individual Responsible for this request: Maaghan Tent

Address: 575 Oakwood Ave

Telephone number: 716-652-8866 Fax: _____

Email Address: mtent@townofaurora.com

Date(s) of event: 5/20, 5/27, 5/3, 5/10, 5/17, 5/24

Hours of use including set up/take down: Start: 6:30 am/pm End: 7:30 am/pm

Description of the event or use:

Aktion Club Kickball to be played
on the grassy area between the old basketball
court and the Aurora Players Pavilion

Specific area(s) requested; map attached.

- ☐ Kiwanis BBQ shelter
- ☐ Tennis Courts shelter
- ☐ Rotary Band shell
- ☐ Soccer field/football field
- ☐ Baseball diamond

☐ Volleyball courts Tennis courts

☐ Aurora Players Pavilion**MUST receive permission to use the Pavilion from the Aurora Players prior to handing in this application. You must also attach a copy of a written agreement for use from the Aurora Players. **

☐ Outdoor Playground

☒ Other: see above

Estimated attendance: _____

Will food or drinks be served? ☐ Yes ☒ No If yes, describe: _____

Is there a plan for garbage? ☐ Yes ☒ No Recycling? ☐ Yes ☐ No If yes, describe: _____

Will there be sound amplification or music or a band(s)? ☐ Yes ☒ No If yes, describe: _____

Other services requested (describe): _____

☐ Police _____

☐ Department of Public Works (DPW) _____

☐ Fire Department _____

☐ Materials _____

(Provide drawings describing location, size, and text of all proposed signs for this event to the Town of Aurora Building Department, 5 South Grove St. Approved signs may be erected 30 days prior to the event and must be removed immediately after same.)

I make this application and agree to abide by the **Guidelines for Use of Hamlin Park**.

Meaghan Test
Signature of Applicant

1/6/25
Date

Official Use Only Below this Line- -----

Event: _____

Attachment Submitted:

- ☐ Indemnification Agreement
- ☐ Certificate of Insurance
- ☐ Map with area(s) requested to be used indicated.
- ☐ Copy of application for sign permit, if applicable. (Upon application approval, copy of approved sign permit must be filed with the Village Clerk NO LATER THAN 5 days prior to scheduled event.)

Action by Village Board:

If referred to Friends of Hamlin Park Advisory Board, date of VB referral: _____

Application **recommended or** **not recommended** by HPAB. (Attach written referral submitted to application.)

The Village Board, upon review of the application took the following action, with or without conditions (as applicable) and noted below:

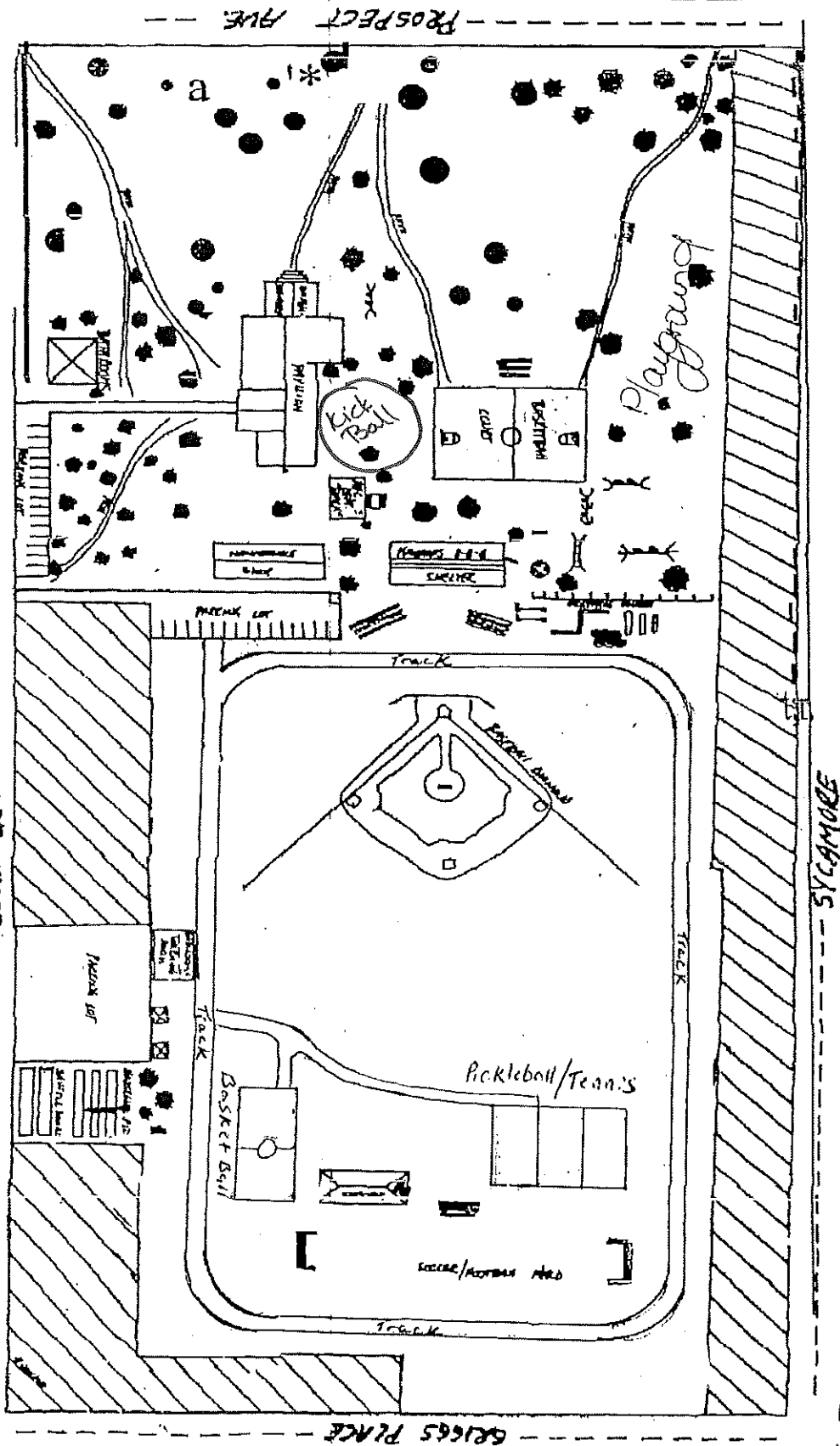
Date: **Approved** _____ **Denied:** _____
Village Clerk Signature Village Clerk Signature

Conditions:

- ☐ Police Department approval
- ☐ DPW approval
- ☐ Fire Department approval
- ☐ Requesting organization shall attach a completed **Certificate of Insurance** with Minimum Limits to include public liability coverage with limits of \$1,000,000ea occurrence; property damage insurance with limits of \$1,000,000ea occurrence. Policy shall be endorsed to include Village of East Aurora as an additional named insured.
- ☐ Requesting organization shall sign an **Indemnification Agreement**, on organization letterhead, Signed by authorized applicant or officer of company and duly notarized.
- ☐ Other _____

11

SOUTH GROVE -



68165 PLACE



VILLAGE OF EAST AURORA

APPLICATION FOR TEMPORARY USE PERMIT

Not less than 60 days or more than 75 days before date of activity

\$25.00 Application Fee _____ \$50.00 Permit Fee _____
\$100.00 Mailer Fee (300 feet for road/public parking lot closure and/or outdoor music) _____

Date Application Filed: 1/6/05
Date of V.B. Action: _____

Approved: _____ Disapproved: _____

Conditions of approval will be listed in the permit.

Sect. 285-52 Participants of an area activity, such as, but not necessarily limited to, a sidewalk sale, art, antique, craft show and/or sales, farmers market, or community/civic promotion activities and similar.

Please type or print legibly

Name of Organization: Town of Aurora

Is Organization a: not-for-profit Charitable/Service Business School Government

Name & Address of Individual Responsible: Maughan Tent 575 Oakwood Ave. East Aurora

Phone Number: (716) 860-2691 E-mail: mtent@townofaurora.com

Event Name: July 3rd Celebration

Date(s) of Event: 7/3/25 Time(s) of Event: 12pm - 11pm Estimated # of People: 4,900

Please describe activity/purpose of this event: July 3rd Celebration

Location (include all areas of the event): Hamlin Park
(attach map)

Will this event be donating a portion of proceeds to one or more charities and publicizing that in promotional material? Yes No

If yes, list charities and the percentage of proceeds to be donated: _____

Will this event be held entirely in the Village of East Aurora? Yes No

If no, specify: _____

Will the event include more than one vendor/organization? Yes No (If Yes, attach list of vendors/participants)

Will the event involve a street or parking lot closure/usage? Yes No If yes, please note:

Road/Lot Name(s): Both lots @ Hamlin Park / Riley to Main, Main to S. Grace, S. Grace to Griggs

Date(s) of Closure: 7/3/25 Time(s): Roads 6pm - 7pm

Parking lots: TBD

Will the event include:

Parade or motorcade Yes No

(If Yes, attach Map of route)

Walk or Run Yes No

(If Yes, attach Map of route)

Will there be outdoor music? Yes No

Time & Location: 7-10pm Hamlin Park outfield

Amplification: Yes No

Type: Live DJ Multiple/Mixed

Will you be providing or selling alcohol? Yes No

Will people be allowed to bring alcohol? Yes No

Will there be Security Guards? Yes No Volunteers or Private Paid Entity

Please List Entity Name _____

Will there be temporary food stands? Yes No

How many? 6 or 7

Food Truck? If yes, name of vendor: TBD - will provide when completed - local organizations
(additional permit required)

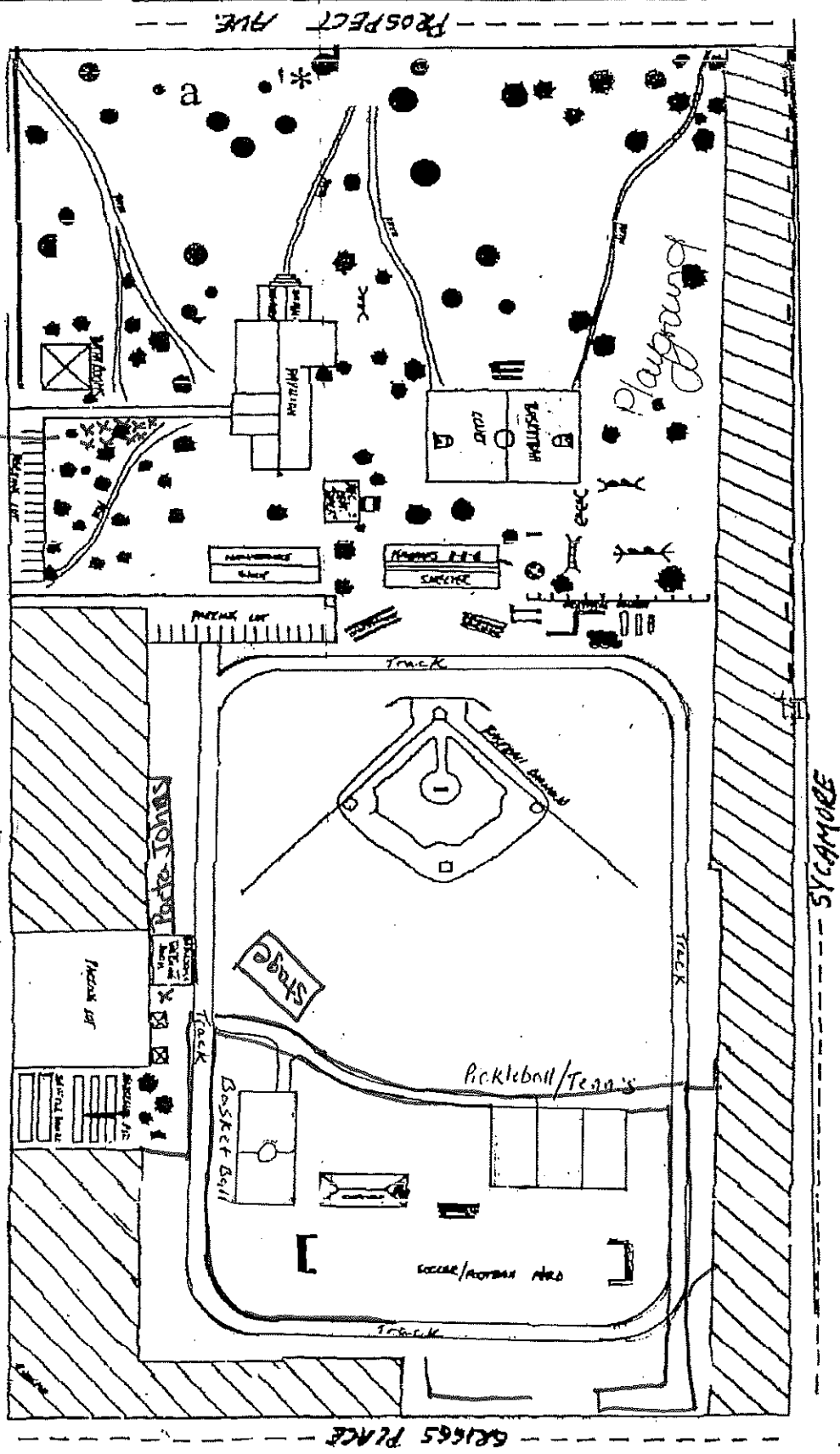
Will a tent or other structure be erected for the event? Yes No Size: Stage - Erie County Baul Island

Date & Time to be installed 7/2 or 7/3 TBD Date & Time to be removed 7/4 or 7/5

Dark photos

7

SOUTH GRADE



PROSPECT AVE.

GRIGGS PLACE

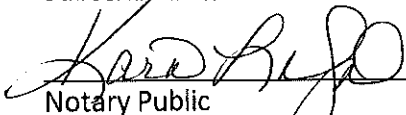
Indemnification Agreement

To the fullest extent permitted by law, I/We shall indemnify and hold harmless the Village of East Aurora and its employees from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of our work under this contract, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, including loss of use resulting there from but only to the extent caused in whole or in part by negligent acts or omissions of our organization, anyone directly or indirectly employed by us or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to otherwise exist as to a party or person described in this paragraph.



Authorized Applicant or Officer

Subscribed and sworn to before me this 6th day of January, 2024



Notary Public
KARIN L. DOJNIK
Notary Public, State of New York
Reg. # 01DO6445148
Qualified in Erie County
Commission Expires December 12, 2026



Temporary Use Permit Hamlin Park

Submit to: Village of East Aurora 585 Oakwood Ave EA, NY 14052

Telephone (716) 652-6000, ext. 3 Fax: (716) 652-1290

Not Less Than 60 Days or More Than 75 Days Before Date of Activity

Application Fee \$25.00 _____

Permit Fee \$50.00 _____

Name of Organization: Town of Aurora

Individual Responsible for this request: Meaghan Tent

Address: 46 575 Oakwood Ave.

Telephone number: 716-652-8866 Fax: _____

Email Address: mtent@townofaurora.com

Date(s) of event: Program's run 6/30/25 - 8/8/25 set up begins 6/23/25

Hours of use including set up/take down: * Monday - Friday Start: 8:30 (am/pm) End: 4:00 am/pm

Description of the event or use: Summer Camp, Sports & Theater Programs

* Hamlin's Got Talent Show on 7/31 - 6:30 - 7:30pm

Specific area(s) requested; map attached.

- ☒ Kiwanis BBQ shelter
- ☒ Tennis Courts shelter
- ☒ Rotary Band shell
- ☒ Soccer field/football field
- ☒ Baseball diamond

- ☒ Volleyball courts Tennis courts
- ☒ Aurora Players Pavilion**MUST receive permission to use the Pavilion from the Aurora Players prior to handing in this application. You must also attach a copy of a written agreement for use from the Aurora Players. **
- ☒ Outdoor Playground
- Other: _____

Estimated attendance: 100

Will food or drinks be served? ☐ Yes ☒ No If yes, describe: _____

Is there a plan for garbage? ☐ Yes ☒ No Recycling? ☐ Yes ☐ No If yes, describe: _____

Will there be sound amplification or music or a band(s)? ☒ Yes ☐ No If yes, describe: Speaker for

Hamlin's Got Talent

Other services requested (describe): _____

____ Police _____

____ Department of Public Works (DPW) _____

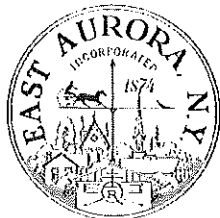
____ Fire Department _____

____ Materials _____

PAID

Cash

JAN 03 2025



VILLAGE OF EAST AURORA

APPLICATION FOR TEMPORARY USE PERMIT

Not less than 60 days or more than 75 days before date of activity

\$25.00 Application Fee X \$50.00 Permit Fee X
 \$100.00 Mailer Fee (300 feet for road/public parking lot closure and/or outdoor music) X

Date Application Filed: 1/3/25Date of V.B. Action: 1/21/25

Approved: _____ Disapproved: _____

Conditions of approval will be listed in the permit.

Sect. 285-52 Participants of an area activity, such as, but not necessarily limited to, a sidewalk sale, art, antique, craft show and/or sales, farmers market, or community/civic promotion activities and similar.

Please type or print legibly

Name of Organization: RunForward Events LLCIs Organization a: not-for-profit Charitable/Service Business School GovernmentName & Address of Individual Responsible: Ekaterina Frohring, 60 Carriage Dr, apt. 8, Orchard Park, NYPhone Number: 954-684-1761 E-mail: runforwardevents@gmail.comEvent Name: Pasquale's PIZZA ANNDate(s) of Event: 3/15/25 Time(s) of Event: 9 AM Estimated # of People: 250Please describe activity/purpose of this event: Healthy run/walk for all agesLocation (include all areas of the event): Start and Finish 242 Main St, East Aurora, NY
(attach map)Will this event be donating a portion of proceeds to one or more charities and publicizing that in promotional material? Yes NoIf yes, list charities and the percentage of proceeds to be donated: MATT Urban Center, 10%Will this event be held entirely in the Village of East Aurora? Yes No

If no, specify: _____

Will the event include more than one vendor/organization? Yes No (if Yes, attach list of vendors/participants)Will the event involve a street or parking lot closure/usage? Yes No If yes, please note:

Road/Lot Name(s): _____

Date(s) of Closure: _____ Time(s): _____

Will the event include:

Parade or motorcade Yes No

(If Yes, attach Map of route)

Walk or Run Yes No

(If Yes, attach Map of route)

Will there be outdoor music? Yes NoTime & Location: 8 AM - 10 AM, 242 Main St, EAAmplification: Yes No

Type: Live DJ Multiple/Mixed

Will you be providing or selling alcohol? Yes NoWill people be allowed to bring alcohol? Yes NoWill there be Security Guards? Yes No Volunteers or Private Paid Entity

Please List Entity Name: _____

Will there be temporary food stands? Yes No

How many? _____

Food Truck? If yes, name of vendor: _____

(additional permit required)

Will a tent or other structure be erected for the event? Yes No Size: w 134 inch h 181 inchDate & Time to be installed 3/15/25 8:30 AM Date & Time to be removed 3/15/25 11:00 AM

Will any prep work be done on/or before the event? Yes No

Please describe: _____

Set up Date: _____ Time: _____

Clean up Date: _____ Time: _____

Will additional **garbage cans** be needed? Yes No How many _____ Drop Off Location: _____

Do you have a **Recycling Plan**? Yes No Please describe: _____

Will each vendor/organization be responsible for their own garbage? Yes No

Will a **dumpster** be used? Yes No If yes, location: _____

Will there be **portable lavatories**? Yes No How Many? _____

Location(s): _____

Will there Bell Jar or Games of Chance? Yes No (if yes, separate permit required)

What is the source of **electricity**, if applicable? N/A

Please list any extras e.g. Light show, loudspeakers, decorations, paints, or dyes:

Police Services Requested: _____

(Crossing Guards may be required dependent upon event and is a decision of the Police Department)

DPW Services Requested: _____

Fire/Other: _____

- Attach a map or sketch showing the location of the event. Such map shall include:

Location of parking facilities, indicating number of parking spaces being provided; location of toilet facilities including the location of port-a-potties; location of public entrance(s) and exit(s) to the event site; location of vendor facilities (if applicable) including booths, tents and food service facilities; explanation of steps being taken to control traffic and provide security (if applicable) and the number of security personnel that will be present.

Requesting organization shall attach a completed Certificate of Insurance with minimum limits including public liability coverage of limits of \$1,000,000 each occurrence; property damage insurance with limits of \$1,000,000 each occurrence. The policy shall be endorsed to include Village of East Aurora as an additional named insured.

Requesting organization shall attach Indemnification Agreement on organization letterhead, signed by authorized applicant or officer of company and duly notarized (sample included)

"Applicant named herein is fully responsible for obtaining any & all licensing with regard to the presentation or playing of music, pursuant to music copyright laws. The Village of East Aurora assumes no liability in this regard".

Police Department: Conditions/Comments _____

Dept of Public Works: Conditions/Comments _____

Fire Dept/Disaster Coordinator: Conditions/Comments _____

Sign Permits are to be obtained from the Town of Aurora Building Department 575 Oakwood Ave, 716.652.7591

Clerk Shared/Forms/Village Permit Application Forms/Application Temporary Use Permit

CERTIFICATE OF INSURANCE

PRINT DATE: 12/30/2024

CERTIFICATE NUMBER: 202412301095014

AGENCY:

Edgewood Partners Insurance Center
5909 Peachtree Dunwoody Road, Suite 800
Atlanta, GA 30328
678-324-3300 (Phone), 678-324-3303 (Fax)

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

NAMED INSURED:

USA Track & Field, Inc. RunForward Events LLC
130 East Washington Street, Suite 800
Indianapolis IN 46204

INSURERS AFFORDING COVERAGE:

INSURER A: Clear Blue Insurance Company NAIC #28860

EVENT INFORMATION:

Pasquale's Pizza Run (3/15/2025 - 3/15/2025)

POLICY/COVERAGE INFORMATION:

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INS TYPE OF INSURANCE:	POLICY NUMBER(S):	EFFECTIVE:	EXPIRES:	LIMITS:
A GENERAL LIABILITY				
X Occurrence	CZ26INGL0001-02	11/1/2024 12:01 AM	11/1/2025 12:01 AM	GENERAL AGGREGATE (Per Event) \$4,000,000
X Participant Legal Liability				EACH OCCURRENCE \$2,000,000
				DAMAGE TO RENTED PREMISES (Each Occ.) \$2,000,000
				MEDICAL EXPENSE (Any one person) EXCLUDED
				PERSONAL & ADV INJURY \$2,000,000
				PRODUCTS-COMP/OP AGG \$2,000,000
A UMBRELLA/EXCESS LIABILITY				
X Occurrence	CZ27IN3X0001-02	11/1/2024 12:01 AM	11/1/2025 12:01 AM	EACH OCCURRENCE \$3,000,000
				AGGREGATE \$3,000,000

DESCRIPTION OF OPERATIONS/LOCATIONS/VEHICLES/EXCLUSIONS ADDED BY ENDORSEMENT/SPECIAL PROVISIONS:

Coverage applies to USA Track & Field sanctioned events and registered practices, including any directly related activities, such as event set-up and tear-down, participant check-in and award ceremonies.

The certificate holder is an Additional Insured, but only when the state or governmental agency or subdivision or political subdivision has issued a permit or authorization and per the following endorsement: Additional Insured - State or Governmental Agency or Subdivision or Political Subdivision - Permits or Authorizations (Form CG 2012).

The General Liability policy contains a Waiver of Subrogation provision as per Waiver of Transfer of Rights of Recovery Against Others (Form CG 24 04).

The General Liability policy is primary and non-contributory with respect to the negligence of the Named Insureds (Form CG 20 01).

Excess policy follows form of underlying General Liability.

CERTIFICATE HOLDER:

Village of East Aurora, NY
585 Oakwood Avenue
East Aurora NY 14052

NOTICE OF CANCELLATION:

Should any of the above described policies be cancelled before the expiration date thereof, notice will be delivered in accordance with the policy provisions.

AUTHORIZED REPRESENTATIVE:

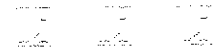




Dustin Waldron

to me

Mon, Dec 2, 2024, 9:53 AM



Good Morning Ekaterina,

I showed the route to our Chief of Police and he and I are in agreement that the new route you have come up with is good on our end. If you'd like to proceed with the process of getting the correct permits/applications with the Village Administrators Office at the Village Hall, please feel free!

Also, I'm not sure if the Village Admin Office advised you or not, but my Chief of Police wanted to make sure you were aware of you needing to get insurance for your event. If you have any questions on this part of the process, I would ask the Village Admin Office.

Please keep me posted on your progress as we get closer to the date of your event. Once you get everything lined up please reach out and we can schedule a meeting to finalize everything.

Thank you and good luck in your planning,

Lt. Dustin Waldron

Pasquale's Pizza Run



ROUTE DIRECTIONS

No	Km	Turn	Directions
1	0.000		Start on North Willow Street
2	0.572	→	Turn right onto North Street
3	1.948	→	Turn right onto Fillmore Avenue
4	2.528	→	Turn right onto Maple Road
5	2.810	→	Turn right onto Girard Avenue
6	3.386	→	Turn right onto Whaley Avenue
7	3.667	→	Turn right onto Fillmore Avenue
8	4.246	→	Turn right onto Maple Road
9	4.401	←	Turn left onto Parkdale Avenue
10	4.798	←	Turn left onto North Willow Street
11	5.003		FINISH

Indemnification Agreement

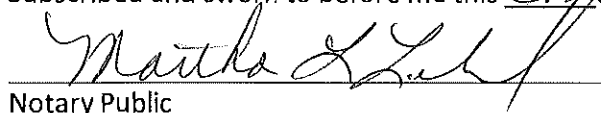
To the fullest extent permitted by law, I/We shall indemnify and hold harmless the Village of East Aurora and its employees from and against claims, damages, losses and expenses, including but not limited to attorney's fees, arising out of or resulting from performance of our work under this contract, provided that such claim, damage, loss or expense is attributable to bodily injury, sickness, disease or death, or to injury to or destruction of tangible property, including loss of use resulting there from but only to the extent caused in whole or in part by negligent acts or omissions of our organization, anyone directly or indirectly employed by us or anyone for whose acts they may be liable, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder. Such obligation shall not be construed to otherwise exist as to a party or person described in this paragraph.



Authorized Applicant or Officer

STATE OF NY
COUNTY OF ERLE

Subscribed and sworn to before me this 3RD day of January, 2025



Notary Public

MARTHA L. LIBROCK
Notary Public, State of New York
No. 01LI5028312
Qualified in Erie County
My Commission Expires May 31, 2026

TOWN OF AURORA

575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Board of Trustees

FROM: Elizabeth Cassidy, Code Enforcement Officer

DATE: November 13, 2024

Our office has accepted a special use permit application to operate a B&B submitted by Alex Perez at 21 Fairlawn Ct (SBL: 175.11-2-57). This owner-occupied residence is located in the Single-Family Residence (SFR) zone. Operation of a B&B is an allowed use, by Special Use Permit, for an owner-occupied residence.

Village Code section 285-51.5 requires the Village Board to refer the Special Use Permit application to the Planning Commission for their review and recommendation. The Village Board shall then schedule a public hearing prior to the SEQRA determination and decision.

This is an Unlisted action under SEQRA.

A County referral is required for this application due to the proximity of the property to a municipal boundary (Town of Aurora).

If you have any questions, please contact our office at 652-7591.

Liz Cassidy

VILLAGE OF EAST AURORA
571 Main Street, East Aurora, New York 14052
716-652-6000
In conjunction with
Town of Aurora Building Department
300 Glead Ave, East Aurora, NY 14052
716-652-7591

Building Dept:	
Date Received	11/12/24
Complete App	11/12/24
Village Clerk:	
Date Filed	11/13/24
Amount \$	150.00
Receipt #	3457-9

SPECIAL USE PERMIT APPLICATION

PROPOSED PROJECT Short term Rental SBL#: 175.11-2-57
LOCATION 21 Fairlawn Ct. ZONING DISTRICT SEIL

The applicant agrees to reimburse the Village for any additional fees required for consultant's review.

APPLICANT NAME Alex Perez
ADDRESS 21 Fairlawn Ct, East Aurora, NY 14052
TELEPHONE 347-776-8357 FAX _____ E-MAIL alex.alpe28@gmail.com
SIGNATURE Alex Perez

OWNER NAME Alex Perez
ADDRESS 21 Fairlawn Ct, East Aurora, NY 14052
TELEPHONE 347-776-8357 FAX _____ E-MAIL alex.alpe28@gmail.com
SIGNATURE Alex Perez

DEVELOPER NAME N/A
ADDRESS _____
TELEPHONE _____ FAX _____ E-MAIL _____
SIGNATURE _____

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One (1) – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-52.2
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD or by Dropbox.
- Application fee \$25.00, Permit fee \$25.00, and Public Hearing fee \$100.00 – Total \$150 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:
___ Type 1 ___ Type 2 X Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date
Public Hearing	_____
Notices Mailed	_____
Posted Notice-VEA Hall	_____
Posted Notice-Prop	_____
Approval/Denial Date	_____

Attach Village Board resolution with noted conditions.

Alex Perez
21 Fair lawn CT
East Aurora, NY 14052
November 10, 2024

East Aurora Village Board
585 Oakwood Ave
East Aurora, NY 14052

Dear Village Board,

I am writing to formally request a special permit for a short-term rental of one room within my residence located at 21 Fair lawn CT, East Aurora, NY 14052. This request is part of my application process to ensure compliance with local zoning and rental regulations.

My goal is to offer a well-maintained, safe, and comfortable environment for visitors, while upholding the character and peacefulness of our neighborhood. I believe that allowing this rental will not only benefit my household but also contribute positively to our local economy by attracting responsible travelers who wish to experience the unique offerings of our town.

The proposed rental space is a single room within my home and will be used exclusively for short-term stays. A dedicated parking space on my property will be provided for guests, ensuring no additional parking impact on the neighborhood.

I appreciate your time in reviewing my application and I am more than willing to provide any additional information required to facilitate this process. Thank you for your consideration, and I look forward to a favorable response.

Sincerely,

Alex Perez
alex.alpe28@gmail.com

Short Environmental Assessment Form

Part 1 - Project Information

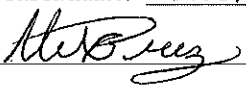
Instructions for Completing

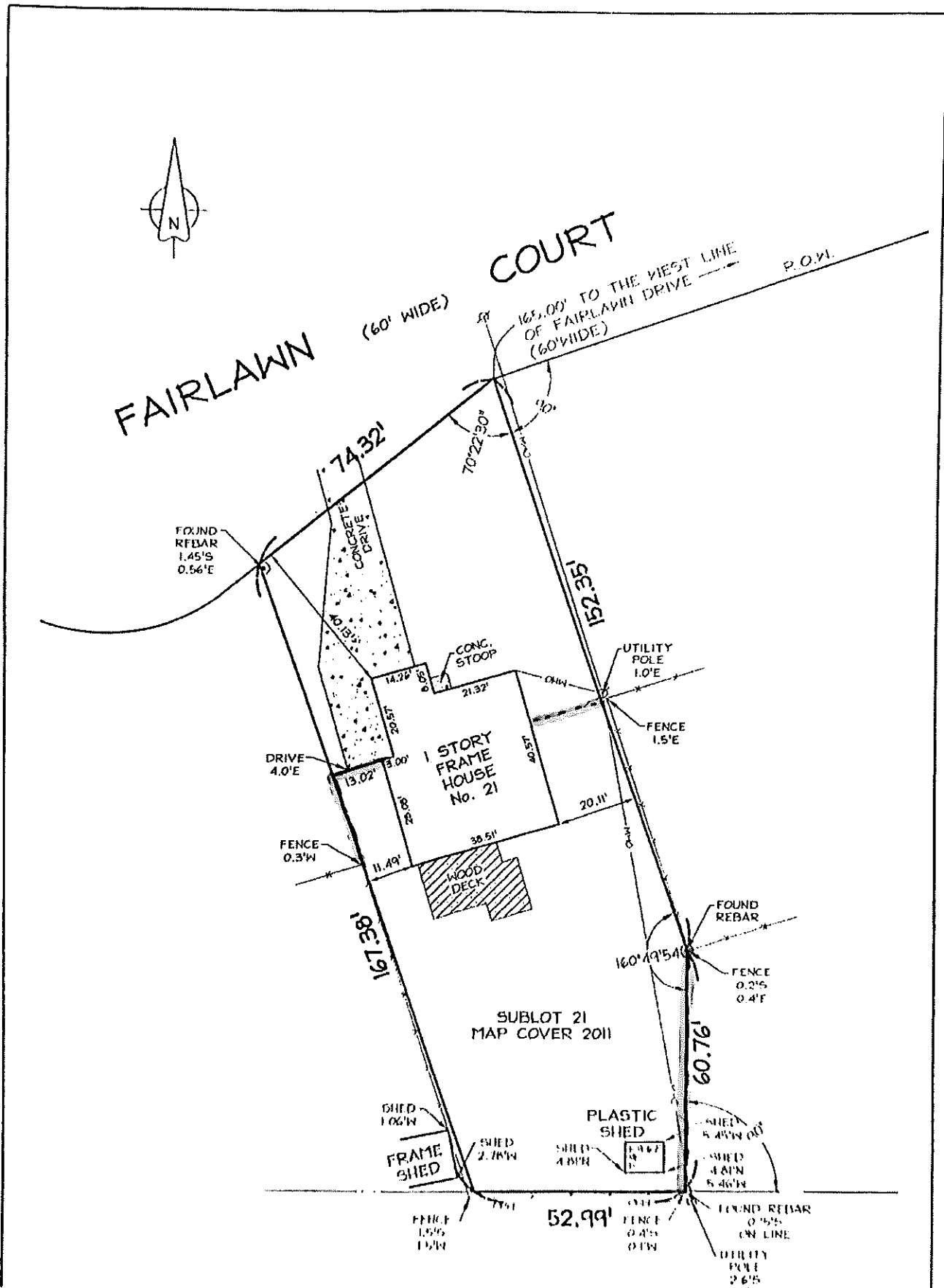
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: <i>Short Term Rental.</i>			
Project Location (describe, and attach a location map): <i>21 Fairlawn Ct, East Aurora</i>			
Brief Description of Proposed Action: <i>The proposed rental space is a single room within my home and will be exclusively for short term rentals. A dedicated parking space on my property will be provided for guest.</i>			
Name of Applicant or Sponsor: <i>Alex Perez</i>		Telephone: <i>347 776 8357</i>	
		E-Mail: <i>alex.alpez8@gmail.com</i>	
Address: <i>21 Fairlawn Ct</i>			
City/PO: <i>East Aurora</i>		State: <i>NY</i>	Zip Code: <i>14052</i>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO ☒ YES ☐
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO ☒ YES ☐
3. a. Total acreage of the site of the proposed action?		<i>.28</i> acres	
b. Total acreage to be physically disturbed?		<i>0</i> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<i>.28</i> acres	
4. Check all land uses that occur on, are adjoining or near the proposed action: ☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify): ☐ Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☒	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☒	☐	
b. Are public transportation services available at or near the site of the proposed action?	☒	☐	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☒	☐	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: <u>existing construction</u>	☐	☒	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: <u>existing connection to water</u>	☐	☒	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: <u>existing connection to sanitary sewer</u>	☐	☒	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☒	☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☒	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☐ Urban ☒ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	☒	☐
16. Is the project site located in the 100-year flood plan?	NO	YES
	☒	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	☒	☐
a. Will storm water discharges flow to adjacent properties?	☒	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	☒	☐
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	☒	☐
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Alex Perez</u> Date: <u>11-10-2024</u> Signature: <u></u> Title: _____		



TOWN OF AURORA
575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Trustees

FROM: Richard Miga, Assistant Code Enforcement Officer

DATE: December 4, 2024

The Building Department has accepted a Special Use permit (SUP) amendment application for Favo Pizza (previously Irishman) at 160 Main St. Tenant owner Gene O'Donovan of Favo Brands, Inc. is requesting SUP amendment approval for the existing restaurant program changes that includes, a "Yotality" desert service that is run and owned by Favo Brands inside Favo Pizza, increased exterior seating to 68 seats, reduce inside seating to 76 seats, hours of operation to 11am to 10:00 pm daily, and the removal of outside live music.

Village Code section 285-50.4C requires the Village to submit the applications to Erie County Department of Environment and Planning for their review and comment due to proximity to a State highway.

Village Code section 285-52.3B states that the Village Board may refer the Special Use permit application to the Planning Commission for their review and recommendation. The Village Board shall then schedule a public hearing for the application.

This is an Unlisted action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.

Richard Miga

VILLAGE OF EAST AURORA
 571 Main Street, East Aurora, New York 14052
 716-652-6000
 In conjunction with
Town of Aurora Building Department
 300 Glead Ave, East Aurora, NY 14052
 716-652-7591

Building Dept:	
Date Received	_____
Complete App	_____
Village Clerk:	
Date Filed	_____
Amount \$	_____
Receipt #	_____

SECIAL USE PERMIT APPLICATION

PROPOSED PROJECT FAVO PIZZA (TOTALITY) SBL#: 164.19-5-13.111 VC
 LOCATION 160 MAIN STREET ZONING DISTRICT EAST AURORA

The applicant agrees to reimburse the Village for any additional fees required for consultant's review.

APPLICANT NAME FAVO BRANDS INC. (716) 714 5777
 ADDRESS 160 MAIN STREET EAST AURORA NY 14052
 TELEPHONE 585 233 5703 FAX - E-MAIL G.O'DONOVAN@ICLOUD.COM
 SIGNATURE [Signature] PRESIDENT

OWNER NAME EUGENE O'DONOVAN (GENE)
 ADDRESS 4 VILLAGE GROVE, PITTSFORD NY 14534
 TELEPHONE 585 233 5703 FAX - E-MAIL G.O'DONOVAN@ICLOUD.COM
 SIGNATURE [Signature]

DEVELOPER NAME BENDERSON DEV.
 ADDRESS 570 DELAWARE AVE
 TELEPHONE 716 886 0211 FAX - E-MAIL -
 SIGNATURE [Signature]

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- One (1) – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-52.2
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD or by Dropbox.
- Application fee \$25.00, Permit fee \$25.00, and Public Hearing fee \$100.00 – Total \$150 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:

☐ Type 1 ☐ Type 2 ☐ Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date	
Public Hearing	_____	
Notices Mailed	_____	
Posted Notice-VEA Hall	_____	
Posted Notice-Prop	_____	
Approval/Denial Date	_____	Attach Village Board resolution with noted conditions.

PROPOSED CHANGES TO 160 MAIN STREET, EAST AURORA.

Change of brand from the IRISHMAN to FAVO PIZZA
(and the addition of YOTALITY as a dessert option inside an existing business).

In addition, the following is relevant:

- Hours of opening have been changed (reduced to 11.00 am to 10.00pm daily)
- We have no plans for any live music going forward.
- With the exception of signage (which has already been approved by the Village) no changes are proposed to the existing internal or external layout or mechanicals (no changes to bathrooms or cooking/refrigeration, etc., no new walls, doors, etc.))
- Our seating requirement has been adjusted to the following:
 - 76 seats inside (vs. 82 previously approved)
 - 68 seats outside (vs 38 previously approved)

(please let me know if you have any concerns about these seating numbers –increase in proposed seating outside is somewhat aspirational and may be on the higher end of our actual needs).

The FAVO Pizza, YOTALITY and the IRISHMAN brands are all 100% owned by Gene O'Donovan (they are NOT franchises nor are there any other partners involved).

Insofar as the operation is concerned, both brands are operated jointly (YOTALITY is effectively a "junior" brand and represents a dessert option in an existing business).

We share employees, computer systems, refrigeration and all other existing facilities. No changes are proposed to the existing internal or external layout or mechanicals (no changes to bathrooms or cooking/refrigeration, etc., no new walls, doors, etc.)

In addition, both the *Erie County Department of Health* and the *New York State Liquor Authority* have reviewed and approved the proposed changes.

Please let me know if you have any other questions or concerns.
I am happy to meet with you to discuss in more detail as needed.

Thank you

Gene O'Donovan
godonovan@icloud.com
585 233 5703

- We have moved the class A and K fire extinguishers as you instructed.
-

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
FAVO PIZZA			
Name of Action or Project:			
160 Main Street, brand conversion from "The Irishman" to FAVO Pizza (and Yotality)			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Change of branding and signage on an existing restaurant location.			
Name of Applicant or Sponsor:		Telephone: 585 233 5703	
FAVO Brands Inc. (Gene O'Donovan -owner of The Irishman and Favo Pizza)		E-Mail: godonovan@icloud.com	
Address:			
4160 Main Street			
City/PO:		State:	Zip Code:
East Aurora		NY	14052
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
3. a. Total acreage of the site of the proposed action?			N/A acres
b. Total acreage to be physically disturbed?			N/A acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			N/A acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☒ Commercial ☐ Residential (suburban)			
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify):			
☐ Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☒	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☒	☐	
b. Are public transportation services available at or near the site of the proposed action?	☐	☒	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☐	☒	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:			
SAME AS EXISTING _____	☐	☒	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	☐	☒	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	☐	☒	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☒	☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☒	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☒ Urban ☐ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	☒	☐
16. Is the project site located in the 100-year flood plan?	NO	YES
	☒	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	☒	☐
a. Will storm water discharges flow to adjacent properties?	☒	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	☒	☐
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	☒	☐
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	☒	☐
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	☒	☐
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>GENE O'DONOVAN</u> Date: <u>12/2/24</u> Signature: <u>[Signature]</u> Title: <u>PA00 DIZZA</u> <u>PRESIDENT</u>		

PRINT FORM

FAVO PIZZA

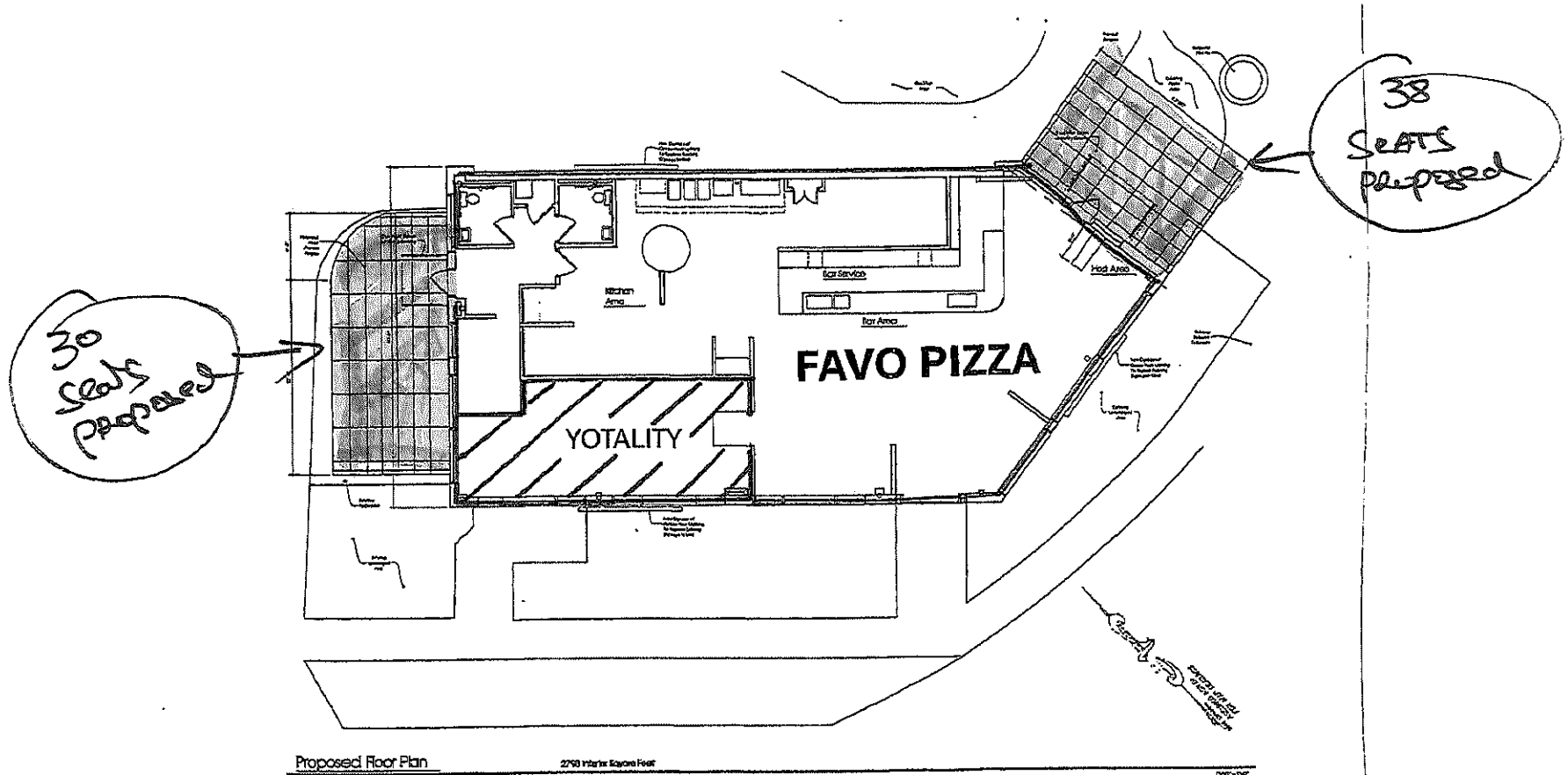
160 Main Street
East Aurora
NY 14052

PROPOSED SEATING (for FAVO and Yotality)

INSIDE (76 vs. 82 previously approved)

OUTSIDE (68 vs 38 previously)

TOTAL (144 vs 123 previously)



Outdoor seating will be split between the two already existing outdoor patios.
No (physical) changes to those patios are proposed

(38 on MAIN ST. side
30 on BUFFALO ST. side)

TOWN OF AURORA

575 OAKWOOD AVENUE, EAST AURORA, NY 14052
BUILDING DEPARTMENT
(716) 652-7591

MEMO

TO: Mayor Mercurio and Village Board Members

FROM: Richard Miga, Assistant Code Enforcement Officer

DATE: December 10, 2024

The Building Department has accepted a Site Plan application from Eric Gawron, owner of Taste Bistro, and tenant at 634 Main Street. The request is to modify the existing side alley alcove entry with a new door with sidelight that is flush with existing building façade.

Village Code section 285-51.5 requires the application to be referred to the Planning Commission for their recommendation. After which a public hearing is required prior to a decision by the Village Board.

Village Code section 285-50.4C(3) requires the application be referred to the Erie County Planning Department for review due to proximity to a State Highway (Main Street/20A).

This is an Unlisted action for purposes of SEQR.

If you have any questions, please contact me at 652-7591.

Richard Miga

VILLAGE OF EAST AURORA
571 Main Street, East Aurora, New York 14052
716-652-6000
In conjunction with
Town of Aurora Building Department
300 Glead Ave, East Aurora, NY 14052
716-652-7591

Building Dept:
Date Received _____
Complete App _____
Village Clerk:
Date Received _____
Amount \$ _____
Receipt # _____

SITE PLAN APPLICATION

PROPOSED PROJECT Taste Bistro - exterior SBL#: 165,17-6-40
LOCATION 634 Main St, East Aurora ZONING DISTRICT VC

The applicant agrees to reimburse the Village for any additional fees required for consultant's review of submitted technical data, including but not limited to, traffic studies, drainage, lighting, water and sewer plans.

APPLICANT NAME Eric Gawron, owner
ADDRESS 7919 Feddick Rd Hamburg, NY 14075
TELEPHONE 716-912-2060 FAX _____ E-MAIL TasteBistro716@gmail.com
SIGNATURE [Signature]

OWNER NAME EA Management
ADDRESS _____
TELEPHONE _____ FAX _____ E-MAIL _____
SIGNATURE via e-mail

ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT
NAME Sarah Buchanan FIRM Duo Design
ADDRESS _____
TELEPHONE 716-359-1642 FAX _____ E-MAIL _____
SIGNATURE _____ AFFIX STAMP

THIS APPLICATION MUST INCLUDE THE FOLLOWING:

- Twenty (20) Sets – Cover letter to Village Board, Supporting Documents, and SEQR as required in §285-51.3
- One (1) complete file of submittal package in PDF format via email (under 10MB) to maureen.jerackas@east-aurora.ny.us. Larger files may be submitted on a USB drive or CD Rom.
- Application fee \$25.00 and Public Hearing fee \$100.00 – Total \$125 at time of application

OFFICE USE ONLY: Sketch Plan Meeting Date _____ Minor Project written request to waive PC mtg Y/N/NA: VB Decision Y/N

REQUIRED MEETINGS/REFERRALS:

	Mtg/Mail Date	Conditions/Comments, if applicable:
Planning Commission	_____	_____
Historic Preservation	_____	_____
ZBA	_____	_____
EC Div of Planning	_____	_____
NYS DOT	_____	_____
Town Notification	_____	_____
Safety Committee	_____	_____
VEA DPW	_____	_____
OTHER (specify)	_____	_____

SEQR ACTION:
___ Type 1 ___ Type 2 0 Unlisted

VILLAGE BOARD ACTION:

	Mtg/Mail Date
Public Hearing	_____
Notices Mailed	_____
Posted Notice-VEA Hall	_____
Posted Notice-Prop	_____
Approval/Denial Date	_____

Attach Village Board resolution with noted conditions.

Elizabeth Cassidy

From: Hickory427 <hickory427@aol.com>
Sent: Monday, December 9, 2024 10:41 AM
To: Elizabeth Cassidy; tastebistro716@gmail.com
Subject: Re: Taste Bistro - site plan authorization

EA Management approves Taste for the site plan.

On Monday, December 9, 2024 at 09:38:23 AM EST, tastebistro716@gmail.com <tastebistro716@gmail.com> wrote:

Alex-

As per our discussion, please "reply to all" as I've copied the Town of East Aurora code enforcement officer (Elizabeth Cassidy) on this e-mail. She simply needs a quick e-mail from you authorizing us to submit a Site Plan Application.

Much appreciated!!

Eric Gawron
716-912-2060

CHECK LIST FOR SITE PLAN APPLICATION

An application for site plan review shall include the following supporting documents, as applicable. A licensed professional engineer or registered land surveyor shall prepare all site plan materials unless otherwise approved by the Village Board.

- ☒ Description or narrative of all proposed uses and structures, including but not limited to hours of operation, number of employees, maximum seat capacity, and proposed number of off-street vehicle and bicycle parking spaces.
- ☒ A site plan drawn at a scale of one inch equals 20 feet or such other scale as the Village Board may deem appropriate, on standard 24 inch by 36 inch sheets, with continuation on 8 ½ inch by 11 inch sheets as necessary for written information.
- ☒ A certified land survey showing the boundaries of the applicant's property under consideration in its current state plotted to scale with the north point, scale, and date clearly indicated, or other document deemed acceptable by the reviewing board.
- ☒ Plans indicating the following with regard to the property in question, where applicable.
 - ☒ The location of all properties, their ownership, uses thereon, subdivisions, streets, easements, and adjacent buildings within 300 feet of the property in question.
 - ☒ The location and use of all existing and proposed structures on the property in question, including all dimensions of height and floor area, exterior entrances, and anticipated future additions and alterations.
 - ☒ The location of all existing and proposed topography features, including but not limited to, site grading, open spaces, woodlands, watercourses, steep slopes, wetlands, floodplains, and watersheds.
 - ☒ The location of existing and proposed landscaping, screening, walls, and fences, including information regarding the size and type of plants and building materials proposed.
 - ☒ The location of existing and proposed public and private streets, off-street parking areas, loading areas, driveways, sidewalks, ramps, curbs, and paths. Such plans shall include considerations for vehicular, pedestrian, and bicycle traffic circulation, parking, and access.
 - ☒ The location of existing and proposed utility systems including sewage or septic, water supply, telephone, cable, electric, and stormwater drainage. Stormwater drainage systems shall include existing and proposed drain lines, culverts, catch basins, headwalls, endwalls, hydrants, manholes, and drainage swales.
 - ☒ The location, height, intensity, and bulb type (sodium, incandescent, etc.) of all external lighting fixtures. The direction of illumination and methods to eliminate glare onto adjoining properties must also be shown.
 - ☒ The location, height, size, material, and design of all existing and proposed signs.
 - ☒ Elevations at a scale of one-quarter inch equals one foot for all exterior facades of the proposed structure(s) and/or alterations to or expansions of existing facades, showing design features and indicating the type and color or materials to be used.
 - ☒ Plans to prevent the pollution of surface or ground water, erosion of soil both during and after construction, excessive runoff, excessive raising or lowering of the water table, and flooding of other properties, as applicable.
 - ☒ A schedule for completion of each construction phase for buildings, parking, and landscaped areas.
 - ☒ Plans for disposal of construction and demolition waste, either on-site or at an approved disposal facility.
- ☒ All New York State SEQR documentation as required by law.
- ☒ The Village Board may request additional information as per Village Code §285-51.3(B)(6) or anything else it deems necessary for a complete assessment of the site plan.
- ☒ All required fees and reimbursements, and an escrow deposit to cover professional review costs, if required.

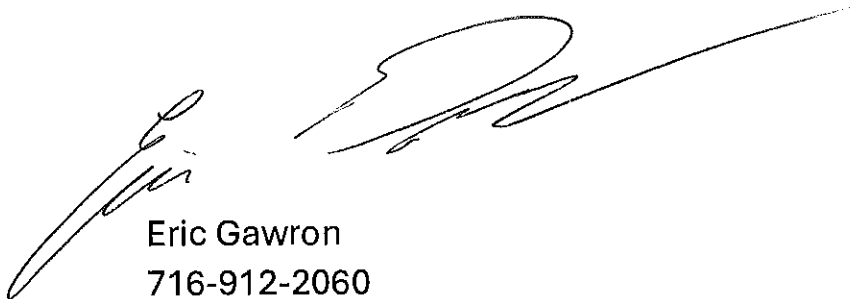
December 9, 2024

To Whom It May Concern:

The attached application is for some minor exterior work at Taste Bistro (634 Main St, East Aurora) that is part of a larger interior remodel which is being covered under a separate interior building permit. As you may know, we took over the space previously occupied by Red's earlier this year. We will be expanding into that space allowing us to increase both our kitchen space, storage space, and customer seating. All around, a win-win for everyone.

As part of that project, we had a small exterior change we wanted to make to increase our interior spacing and allow for greater flexibility with planning. Currently, our side door located in the alley in inside a small alcove. We are looking to remove that alcove and have the door positioned flush with the exterior wall. The door will be storefront glass with a black aluminum frame along with a sidelight to completely fill the existing opening. By using the sidelight, there is no need for additional infill which may not match the existing building material & color.

Thank you for your consideration as we update Taste to serve East Aurora for years to come.



Eric Gawron
716-912-2060

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Taste Bistro - Eric Gawron, owner			
Name of Action or Project:			
Taste Bistro - exterior side door			
Project Location (describe, and attach a location map):			
634 Main St, East Aurora - alley side door			
Brief Description of Proposed Action:			
We are removing the current side door "alcove" and moving the door to be flush with the exterior wall in an effort to gain interior space and flexibility. The door will be a storefront glass door with black aluminum frame and a sidelight. This will fill the entire existing opening so no additional infill will be required.			
Name of Applicant or Sponsor:		Telephone: 716-912-2060	
Eric Gawron - Taste Bistro		E-Mail: tastebistro716@gmail.com	
Address:			
7919 Feddick Rd			
City/PO:		State:	Zip Code:
Hamburg		NY	14075
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
			☒
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
			☒
3. a. Total acreage of the site of the proposed action?		.57 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		.57 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
☐ Urban ☐ Rural (non-agriculture) ☐ Industrial ☒ Commercial ☐ Residential (suburban)			
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other(Specify):			
☐ Parkland			

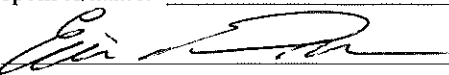
5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	☐	☒	☐
b. Consistent with the adopted comprehensive plan?	☐	☒	☐
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	☐	☒	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	☒	☐	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	☒	☐	
b. Are public transportation services available at or near the site of the proposed action?	☐	☒	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	☐	☒	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:			
An old wooden door with poor air tightness will be replaced with a new energy efficient door	☐	☒	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	☒	☐	
n/a			
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	☒	☐	
n/a			
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	☒	☐	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	☒	☐	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	☒	☐	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	☒	☐	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

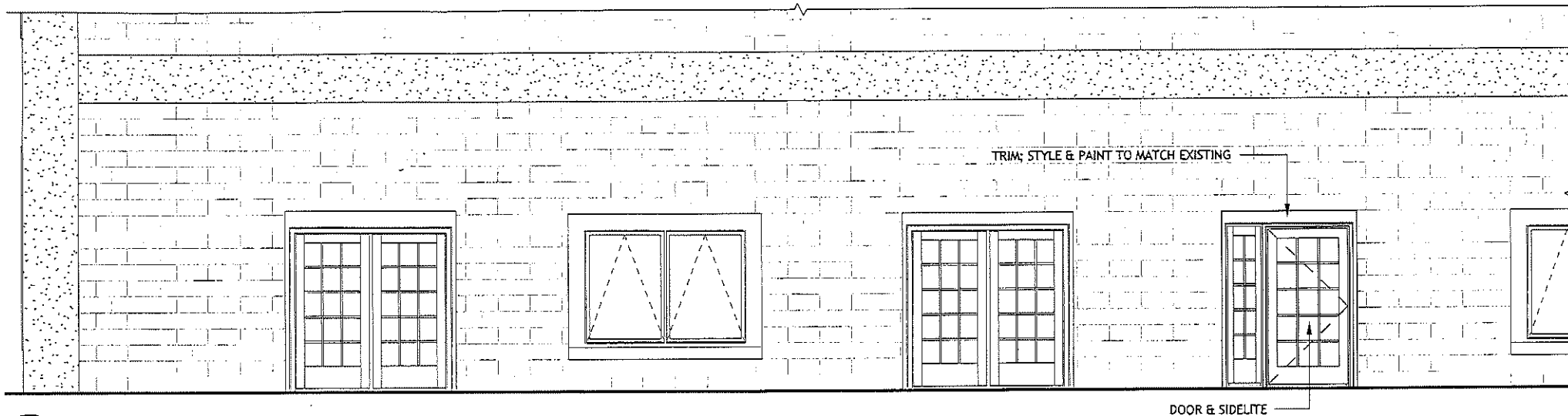
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: ☐ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional ☐ Wetland ☒ Urban ☐ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	☒	☐
16. Is the project site located in the 100-year flood plan?	NO	YES
	☒	☐
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	☒	☐
a. Will storm water discharges flow to adjacent properties?	☒	☐
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	☒	☐

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	☒	☐

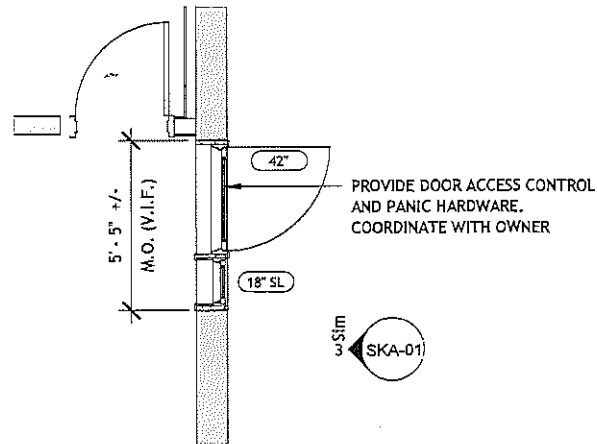
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	☒	☐

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	☒	☐

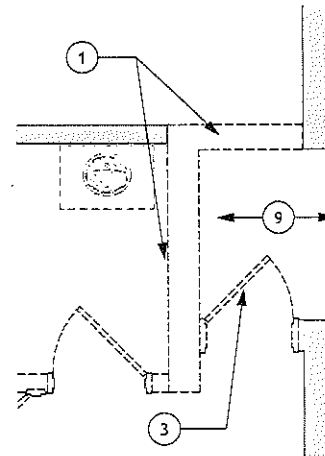
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>Eric Gawron - Taste Bistro</u> Date: <u>12-9-24</u>		
Signature: <u></u> Title: <u>owner</u>		



3 Side Alley Elevation
SKA-01 1/4" = 1'-0"



2 First Floor
SKA-01 1/4" = 1'-0"



1 Demolition First Floor
SKA-01 1/4" = 1'-0"

DEMOLITION CALLOUTS

APPLY TO ALL CALLOUTS
DISPOSE OF ALL REMOVED MATERIAL & DEBRIS FROM THE SITE, ALL IN ACCORDANCE W/ CURRENT REGULATIONS.

- 1 INTERIOR PARTITION WALL TO BE REMOVED AND DISCARDED. PARTITION WALLS INDICATED ARE OF STUD CONSTRUCTION WITH GYPSUM WALLBOARD. REMOVE COMPLETE TO EXTENT INDICATED. PATCH FLOOR, WALL AND CEILING SURFACES SCHEDULED TO REMAIN. MATCH ADJACENT.
- 3 REMOVE DOOR, FRAME, AND HARDWARE.
- 9 REMOVE PORTION OF EXTERIOR FLOOR TILE AND TILE BASE.



Daniel J. Buchanan
8727 Woodside Drive
Eden, NY 14057
716.984.2920

PROJECT NAME:
TASTE BISTRO & COFFEE BAR

ADDRESS:
634-3 Main Street
East Aurora, NY 14052

DATE:
12/10/24

DRAWN BY:
Author

PROJECT NO:
24013

DRAWING NAME:
SKA-01

DRAWING NO.

SKA-01

RESOLUTION

January 21, 2025

DECLARE SURPLUS PROPERTY

Trustee _____, offered the following resolution and moved for its adoption:

BE IT RESOLVED, the Department of Public Works has a 1995 Ford dump truck with plow (#504) VIN 1FDYS82E3SVA32527 for surplus property and is due to be auctioned within the next 90 days.

The foregoing resolution was seconded by Trustee _____ and unanimously approved.



Office of
Mental Health



Strengthening Resiliency & Wellness
for Uniformed Personnel

REQUEST FOR APPLICATIONS (RFA)

NY CARES UP Grants

Funding for Resiliency and Wellness Planning Grants for New York State Uniformed Personnel Organizations:

911 Dispatchers, Corrections, Emergency Medical Services, Fire Services, and Law Enforcement Agencies

Research Foundation for Mental Hygiene, Inc. (RFMH)
150 Broadway
Menands, New York 12204
<http://corporate.rfmh.org/>

In Partnership with:
New York State Office of Mental Health's (NYS OMH) Suicide
Prevention Center of New York (SPCNY)
44 Holland Avenue
Albany, New York 12208
<http://www.omh.ny.gov>

- Technical Assistance and Training Program: New York State Office of Mental Health's Suicide Prevention Center of New York
- Contract Number: C22653GG
- Contract Term: 1/1/2025-12/31/2025
- Date of Issue: 11/20/2024
- **Due Date/Time: 11:59pm EST on 1/31/2025**
- Total Number of Awards: 15
- Counties: All New York Counties – Statewide
- Classification: Procurement
- Entered by: New York State Office of Mental Health's (NYS OMH) Suicide Prevention Center of New York (SPCNY)

How To Apply:

- Complete the application and supplemental materials provided on the funding page:
NycaresUp.com/fundingopportunities
- **Due date** for application: **1/31/25, 11:59pm**, Eastern Standard Time

How Applications Are Reviewed:

- Each section has been assigned an explicit point value totaling 100 points. Scores refer to how well the applicant met criteria provided by the program within the relevant section of the application.
- All applications will be reviewed for eligibility and completeness by New York State Office of Mental Health's (NYS OMH) Suicide Prevention Center of New York (SPCNY). Applicants will be notified that their applications did or did not meet eligibility and/or submission requirements.

How The Grant Is Awarded:

- Notifications on funding will be made via e-mail by 3/3/2025.

(Please be aware that any expenses your agency incurs in the preparation and submission of the application(s) will not be reimbursed by
NYS OMH or RFMH.)



**Strengthening Resiliency & Wellness
for Uniformed Personnel**

**Changing the Conversation
Awareness Resilience
Empower Peers
Skill Building/Suicide Prevention for
Uniformed Personnel**

**Title: Request For Applications: NY CARES UP Grants for New York State
Uniformed Personnel Organizations***

* Includes 911 Dispatchers, Corrections, Emergency Medical Services, Fire Services, and Law Enforcement Agencies

Description:

Individuals working in 911 Dispatch, Corrections, Emergency Medical Services, Fire Services, and Law Enforcement are at increased risk for a host of problems, including insomnia, family/marital discord, alcohol and substance misuse, clinical depression, post-traumatic stress disorder, and even suicide. Effective interventions and enhanced support are needed to limit the impact of cumulative workplace trauma exposure on these essential workers.

Grant funding will allow agencies to implement the goals of the CARES UP initiative, which include:

- *Creating organizational culture change to support and improve mental health at work.*
- *Reducing the impact of workplace trauma and stress. Provide opportunities to learn about resilience, life skills, and healthy coping strategies.*
- *Promoting acceptance of mental health care and wellness at work.*
- *Increasing access to peer programs and other social supports.*
- *Introducing access and decrease barriers to wellness options at work.*

As part of the broader initiative called NY CARES UP (Changing the Conversation, Awareness, Resilience, Empower Peers, Skill Building/Suicide Prevention for-Uniformed Personnel), the New York State Office of Mental Health's Suicide Prevention Center of New York (OMH SPCNY) is awarding \$60,000 to Uniformed Personnel organizations (including 911 Dispatchers, Corrections, Emergency Medical Services, Fire Services, and Law Enforcement Agencies) to participate in a 24-month grant period. The awards will go to eligible uniformed personnel organizations in the state. Additional funding specifically for training purposes will be provided to the awarded sites, each grant year-- amount is dependent on size of organization.

24 Month Grant Period: January 2025 to December 2026

Grant Year 1: \$30,000

Grant Year 2: \$30,000

Eligibility Criteria:

Grants will be provided across the five (5) categories listed below.

Eligible* applicants **are organizations operating in NYS within one of the following categories:

- 911 Dispatch Centers (^^)
- County Corrections Facility
- Emergency Medical Services Department
- Firefighter Department (either volunteer, professional, or combination^)
- Law Enforcement Department

*** Eligible applicants must have a minimum of 15 full-time uniformed personnel staff to apply.**

****Departments that have previously received direct CARES UP awards are not eligible.**

^ Departments that are a combined Fire and EMS agency will be considered.

^^ Fire departments and emergency medical services (EMS) agencies with 911 dispatch capabilities will be considered.

For the purposes of this grant, the above entities are defined as:

- 911 Dispatch Centers: a municipal or county agency designated by the New York State 911 Board as a Public Safety Answering Points (PSAPs)
- County Corrections Facility: the department of local government that is responsible for managing the treatment of convicted offenders (not including state agency or privately funded).
- Emergency Medical Services Department: service providing out-of-hospital acute care and transport to definitive care, to patients with illnesses and injuries which the patient believes constitute a medical emergency.
- Fire Department: the department of a local or municipal authority in charge of preventing and fighting fires.
- Law Enforcement Department: any unit of local government, local commission, public authority, or other organization which employs police or peace officers; not including campus security officers or NYS police (funding will prioritize first responder law enforcement units).

If you have questions about eligibility, please contact us at CARESUP@omh.ny.gov with the subject line "RFA 2025".

Proposed Grant Deliverables and Timeline: Participating organizations will implement the CARES UP model, following the step-by-step guide provided in the toolkit. The toolkit can be found [here](#). Applicants should review the toolkit and familiarize themselves with the elements of the model before applying. Applications should reflect how the department will plan to complete the steps of the CARES UP model.

The following deliverables will be expected to be met by grant recipients as part of implementation over the two-year (24 month) course of the grant. Please note that technical assistance will be provided by the SPCNY CARES UP team.

Proposed Activities Grant Year One (1/1/2025-12/31/2025)

- Designation of a grant site lead/ primary point of contact
- Primary point of contact to attend an in-person kick off meeting held in 2025
- Completion of an initial *Mental Health and Wellness Strengths and Needs Assessment* and *Member Support Survey* (instruments to be provided), including an inventory of:
 - Where members go for potential crisis supports (i.e., EAP, Emergency Department, specialized counselors)
 - Resiliency supports (i.e., wellness activities)
- Completion of any applicable evaluation measures
- Completion of general mental health awareness trainings by the majority of uniformed personnel staff:
 - A virtual, self-paced 90-minute general *Mental Health Awareness Module* provided by Dr. Drew Anderson by end of grant year one
 - Identify an evidence-based, comprehensive resilience and wellness focused training from a list of trainings recommend by SPCNY*** and plan for 75% of appropriate staff, as approved by the SPCNY CARES UP team, to complete the training by the end of grant year two. Proposed training plan must be reviewed and approved by CARES UP Project Manager, in order to receive additional training funding
 - Staff/Agency who attend trainings will be asked to complete brief pre/post training evaluations
- By the end of grant year one, creation of planning documents for grant year two focused on implementation of mental health wellness and resiliency activities that will be completed. These will be based on:
 - The needs assessment, how the agency plans to bolster/expand future training efforts focused on mental health, wellness, and resiliency
 - The Member Support survey, how the agency will:
 - Bolster/expand mental health and wellness resources for staff
 - Develop/enhance their peer support network
- Promote provided 988 & other mental wellness communications within the department
 - Create awareness within your department and community about CARES UP activities and successes
- Participate in county Suicide Prevention Coalition (if applicable in the county)
- Connect with your County Mental Health Department within 120 days of grant award
- Attend monthly community of practice meetings with SPCNY CARES UP project manager/other grant sites
- Attend mandatory webinars, in person meetings, and any additional meetings as needed
- Optional: Train at least two (2) staff as Instructor Trainers in Dr. Drew Anderson's Mental Health Awareness Module (If you choose to train staff, training will be provided at no cost to grant participants)
- Optional- Attend SPCNY state suicide prevention conference

Proposed Activities Grant Year Two (1/1/26 – 12/31/26)

- Review and implement approved activities listed in year one planning documents to bolster mental health wellness supports for staff
- **Training-** Proposed training plan must be reviewed and approved by CARES UP Project Manager, in order to receive additional training funding.
 - Identify staff to attend peer support training; number trained should be proportional to total number of staff, as approved by SPCNY CARES UP teams
 - Ensure at least 75% of appropriate staff complete the selected resiliency training as approved by SPCNY CARES UP teams
- Attend additional webinars and training as recommended by SPCNY CARES UP teams
- Identify local behavioral health providers to serve as resources and referrals sources for staff in need of support, and create local directory (Technical Assistance will be provided)
- Continue participation in county Suicide Prevention Coalition (if available in the county)
- Create materials to share implementation successes such as spotlight stories, press releases, or public service announcement style videos
- Optional: Train at least two (2) staff as Instructor Trainers in Dr. Drew Anderson's Mental Health Awareness Module (If you choose to train staff, training will be provided at no cost to grant participants)
- Optional- Attend SPCNY state suicide prevention conference

Budget: Spending must fall into the following categories:

- Administrative Support and Planning - Support planning activities and efforts to meet deliverables in a timely manner. These activities include grant project management, point of contact duties, facilitation of grant participation (e.g., coordination of survey administration and training) and completion of other grant tasks.
- Promotion of CARES UP initiatives and 988 (website/social media updates, Press Releases, etc.)
- Coverage/Staffing - cross coverage, overtime costs to allow for training attendance
- Supplies – copies of flyers, materials for prevention /wellness resources, etc.
- Incentives - training and survey completion incentives to boost completion rate
- Travel Costs – travel to attend an in-person kickoff meeting in Albany, NY
- Training Costs - costs for Mental Health Wellness, Resiliency, and/or Suicide Prevention

Year One Budget Template EXAMPLE:

Budget Line	Anticipated Budget
Administrative Support and Planning	\$10,000
Promotion of 988 and other mental health and wellness communications materials	\$500
Coverage/Staffing	\$15,000
Supplies	\$1,000
Training and Survey Completion Incentives	\$500
Travel Costs	\$300
Estimated Training Costs	\$2,700
Total	\$30,000

Anticipated Outcomes:

This funding is intended to achieve the following outcomes through improving organizational leadership with a systematic and strategic framework utilizing the CARES UP model. By improving the knowledge, skills and resources for administration and leadership, uniformed personnel organizations will achieve the following:

- Identification of current needs and gaps to develop an awardee specific implementation plan to bolster mental health, wellness, and resiliency supports for uniformed personnel
- Increase leadership and staff awareness of the various risks to mental health and wellness associated within workforce exposure
- Increase uniformed personnel workforce comfort and willingness to support colleagues who appear to be in emotional distress
- Increase awareness of resources available to those seeking mental health supports
- Increase knowledge and skills and protective factors to promote mental wellness, suicide prevention and resiliency
- Increase staff access to peer supports within the workplace
- Decrease mental health stigma often present within these professions

*****Approved Wellness & Resiliency Trainings*****

Training opportunities will be shared with grantees. Additional training funding may be provided to each grant awardee, allotted cost will be dependent on agency size.

If you have questions about eligibility, please contact us at CARESUP@omh.ny.gov with the subject line "RFA 2025".

A Q&A informational webinar will be held on 1/7/25 from 1-2PM. Register using this link to attend.

<https://us05web.zoom.us/j/85738347028?pwd=GXdao6XAMu1vy6fNZ4JeOiFXefsom.1>

Please submit your application to CARESUP@omh.ny.gov by 11:59PM EST on 1/31/25.

Please note this is solely a Request For Applications and does not guarantee an award or contract.

☐ Original☐ Amended

Date _____

Standardized NOTICE FORM for Providing 30-Day Advance Notice to a Local Municipality or Community Board

1. Date Notice Sent: 1/06/2025

1a. Delivered by: _____

2. Select the type of Application that will be filed with the Authority for an On-Premises Alcoholic Beverage License:

For premises outside the City of New York:☒ New Application ☐ Removal ☐ Class ChangeFor premises in the City of New York:☐ New Application ☐ New Application and Temporary Retail Permit ☐ Renewal ☐ Alteration ☐ Removal☐ Class Change ☐ Method of Operation ☐ Corporate ChangeFor **New** and Temporary Retail Permit applicants, answer each question below using all information known to dateFor **Renewal** applicants, answer all questionsFor **Alteration** applicants, attach a complete written description and diagrams depicting the proposed alteration(s)For **Corporate Change** applicants, attach a list of the current and proposed corporate principalsFor **Removal** applicants, attach a statement of your current and proposed addresses with the reason(s) for the relocationFor **Class Change** applicants, attach a statement detailing your current license type and your proposed license typeFor **Method of Operation Change** applicants, although not required, if you choose to submit, attach an explanation detailing those changes**Please include all documents as noted above. Failure to do so may result in disapproval of the application.****This 30-Day Advance Notice is Being Provided to the Clerk of the Following Local Municipality or Community Board:**3. Name of Municipality or Community Board: Aurora Municipal Center**Applicant/Licensee Information:**

4. Licensee Serial Number (if applicable): _____

Expiration Date (if applicable): _____

5. Applicant or Licensee Name: Steven Krastev6. Trade Name (if any): N/A7. Street Address of Establishment: 510 Main St.8. City, Town or Village: East Aurora, NY Zip Code: 140529. Business Telephone Number of applicant/ Licensee: 716-655-028210. Business E-mail of Applicant/Licensee: charliesdiner@hotmail.com11. Type(s) of alcohol sold or to be sold: ☐ Beer & cider ☒ Wine, Beer & Cider ☐ Liquor, Wine, Beer & Cider12. Extent of Food Service: ☒ Full Food menu; full kitchen run by a chef/cook ☐ Menu meets legal minimum food requirements; food prep area required13. Type of Establishment: Restaurant (full kitchen and full menu required)☐ Seasonal Establishment ☐ Juke Box ☐ Disc Jockey ☐ Recorded Music ☐ Karaoke14. Method of Operation:
(check all that apply) ☐ Live Music (give details i.e., rock bands, acoustic, jazz, etc.): _____☐ Patron Dancing ☐ Employee Dancing ☐ Exotic Dancing ☐ Topless Entertainment☐ Video/Arcade Games ☐ Third Party Promoters ☐ Security Personnel☐ Other (specify): _____15. Licensed Outdoor Area: ☐ None ☒ Patio or Deck ☐ Rooftop ☐ Garden/Grounds ☐ Freestanding Covered Structure
(check all that apply) ☐ Sidewalk Cafe ☐ Other (specify): _____

OFFICE USE ONLY		
☐ Original	☐ Amended	Date _____

16. List the floor(s) of the building that the establishment is located on: 1
17. List the room number(s) the establishment is located in within the building, if appropriate: N/A
18. Is the premises located within 500 feet of three or more on-premises liquor establishments? ☐ Yes ☒ No
19. Will the license holder or a manager be physically present within the establishment during all hours of operation? ☐ Yes ☒ No
20. If this is a transfer application (an existing licensed business is being purchased) provide the name and serial number of the licensee:
- | | |
|------|---------------|
| | |
| Name | Serial Number |
21. Does the applicant or licensee own the building in which the establishment is located? ☒ Yes (If YES, SKIP 23-26) ☐ No

Owner of the Building in Which the Licensed Establishment is Located

22. Building Owner's Full Name: Steven Krastev
23. Building Owner's Street Address:
24. City, Town or Village: State: Zip Code:
25. Business Telephone Number of Building Owner:

**Representative or Attorney Representing the Applicant in Connection with the
Application for a License to Traffic in Alcohol at the Establishment Identified in this Notice**

26. Representative/Attorney's Full Name: N/A
27. Representative/Attorney's Street Address:
28. City, Town or Village: State: Zip Code:
29. Business Telephone Number of Representative/Attorney:
30. Business E-mail Address of Representative/Attorney:

I am the applicant or licensee holder or a principal of the legal entity that holds or is applying for the license. Representations in this form are in conformity with representations made in submitted documents relied upon by the Authority when granting the license. I understand that representations made in this form will also be relied upon, and that false representations may result in disapproval of the application or revocation of the license.

By my signature, I affirm - under **Penalty of Perjury** - that the representations made in this form are true.

31. Printed Principal Name: Steven Krastev Title: Mr.

Principal Signature: _____



VILLAGE OF EAST AURORA VILLAGE BOARD MEETING

January 6, 2025 - 7:00 PM

Present:

Trustee Lazickas
Trustee Cameron
Trustee Viger
Trustee Flynn
Trustee Rabey
Trustee Scheer
Mayor Mercurio

Also Present:

Maureen Jerackas, Village Clerk-Treasurer
Shane Kreiger, Village Administrator
Patrick Welch, Police Chief
Jeff Stoll, DPW Crew Chief
Chris Trapp, Village Attorney
Liz Cassidy, Code Enforcement
33 Members of the public

A Motion by Trustee Cameron to approve the Village Board minutes for December 16, 2024, seconded by Trustee Rabey, and carried with unanimous approval.

Trustee Flynn moved to approve the payment of the January 6, 2025 Abstract 2024/2025 fiscal year for a total of \$182,091.96, seconded by Trustee Viger, and carried by unanimous approval.

SPEAKERS & COMMUNICATIONS (I) –

- o Village Administrator updated on Go Net Speed. Working on a plan to reroute the lines so not to disturb the fairy tree.
- o Maryann Colopy 365 S. Grove HPC Chair has reached out to SHPO. Could work with Cultural Landscape Report showing the significance and this could identify specific historically significant trees. Working with the Public Service Commission is the best way as the village cannot limit what these companies do.
- o Steve Harts 248 Walnut Street discussed moving poles on the grass by the park.
- o Joe Trapp – will follow up with SHPO regarding the Cultural Landscape Report. Verified the village can't go against the Public Service Commission.
- o Chris Trapp- maybe singular trees we can protect but the whole project the village can't stop.
 - o Trustee Sheer asked about filing a lawsuit, Joe Trapp responded that it expensive and unproductive.
 - o Trustee Sheer spoke of the value of trees.
 - o Chris Trapp asked Code Enforcement for pictures of any concerning trees.
 - o Trustee Lazickas questioned what routine maintenance would have been verses this project.
 - o Trustee Flynn asked about the trees and if we could have a list of trees that can be saved.
 - o Joe Trapp there are downtown revitalization grants. When Springville was harmed, they got a CFA to get funds to plant trees.
 - o Trustee Sheer contacted NYSEG because of trees on lines in backyards he wants cut, it is dangerous, but they have not.
- o Holly Maciejewski 218 Center Street – spoke about trees, their canopies and the value they provide for the home.
 - o Village Administrator spoke of Public Service Commission. The letter was sent by Chris Trapp and was brought to the attention of the Governor Hochul.

- o Nancy Smith 195 Sycamore Street – East Aurora has been designated as a Tree City for 26 years. I Tree App provides economic value, range of estimate and population value of trees. USDA had our tree canopy at 41% higher than other municipalities, East Aurora is the 3rd highest in the area. She noted there is a 5-year plan by NYSEG, Lancaster was first and now they are in year 2. Check into the DEC, it provides a grant for Urban Forestry to help replace the trees.
 - o Trustee Flynn said Nancy always has the best information.
- o Sheila Giblin East Fillmore – had a Maple with a dead branch and Black Walnut they were both taken down, other places cut deep v's but were not taken out. She is concerned that they took trees of value.
- o Jesse Griffiths – Chair of the Tree board – he is working with Rock to salvage some of the cut wood to use for firewood. If more than 50% of canopy must be removed, they will take the whole tree down and he is consulted on the tree removal. He said we do not have a map of where the lines are being added but have been told the entire village and North of the Town up to Elma, the line in the area. He spoke of the Tree Board and their concern for the trees.
 - o Mayor Mercurio asked Jesse to identify a handful of significant trees. Where did the 8' vs 10' on powerlines come from? Mayor Mercurio also asked if we can demand a schedule, Chris Trapp said no not this time, but we can request it.
 - o What is the PSC Rules verses a Law? A State agency gets more information
 - o Trustee Sheer asked if it can be slowed? Chris Trapp said maybe but don't know, will look in to.
 - o Mayor Mercurio asked what is the ultimate goal? Chris Trapp said we could alter the plan but not stop the plan. Stopping a specific tree at a specific location is possible but a complete stoppage is not likely.
 - o Clerk-Treasurer asked Jesse to send her the tree trimming document that he was referring to for distance.
- o Jesse Griffiths said we could bury the conduit but could hurt the tree roots too. Keep in mind for larger projects in the future.
 - o Mayor Mercurio notes ¾ mile to a mile was quoted by the previous Administrator when we did the road project on Oakwood, and it was an issue.
- o Monique Brandon 191 King Street CEO of Rural Outreach no one is interested in the firewood so not going to be handing out wood at the center. The work on King Street is devastating.
- o Jong from Warren Drive stated they have underground lines. Asked the board about EA being a Climate Smart Community and possibly using that to stop the cutting. Also, spoke of climate change and how we need trees in Village for shade.
- o Jessica Masters 139 King Street in support of anything we can do. Who is saying people want this new service, where is the data?
 - o Trustee Lazickas asked if any company can do this without the Village saying it is ok? Chris Trapp said yes but there are specifics. Trustee Lazickas states that this is a Capital Improvement project not Maintenance Project and we are bearing the brunt of it.
- o Jennifer Brazil 115 Blake Hill Road - She has worked with Sue Russell, e-mailed Senator Gallivan and was on Channel 7 News this has been done from the beginning. Jennifer noted the Environmental impact of the poles going into the ground is harmful. Because this right of way project is under NYSEG no SEQRA which is an environmental impact study had to be done. We have no idea of the impact the poles are doing to the area with what is being left behind and the new ones they are installing. She is glad so many people are here to support and announced that Go Net Speed, O'Connell and NYSEG to be at Town Meeting on Monday January 13th, 2025.
- o Michelle Bella 370 South Park Place she supports Jenn and all the environmental concerns.
- o Ashley Curry 110 Maple Road agrees with others. Need to be better at foresight and vision. Thanked Shane for the Oak tree victory, she believes we can save more of them.
- o Nancy Smith spoke of ANS American Northern Standards and A300 and they don't mention the cutting clearance formula. If we could reduce the size compared to what they are doing that would be significant.
 - o Mayor Mercurio asked Chris Trapp to get back to the Board on the cutting standards.
- o Holly Majewski agreed to what Nancy Smith said and as a multiple effort looking to sue for the depth of value due to loss.

- Chris Trapp said each homeowner has to do it for each individual property which is hard to win.
- Mayor Mercurio asked Village Administrator to contact Gina Wachowski at the County for Maple Street conduit under the road.
 - Jenn asked if we have in writing that they are not going to touch the Oak on South Grove. Also, said the gateway to the Village on East Main Street where they are taking down trees looks horrible.
 - Mayor Mercurio asked Village Administrator to ask if it can be redirected off Main Street.
- Police Chief Welch cautioned the community, the best way to deal with this is what you have done tonight, which is civil speaking. The workers are doing a job they are told to do. Don't engage with people in a way that can get carried away. Passion can take over; if you have something to express call the village, talk to Shane.
 - Mayor Mercurio talked about being there, you can catch more flies with honey.
 - Trustee Cameron said we can't afford to make a mistake; we need to do this the right way. She asked for a recap on tasks – Mayor Mercurio went through the list -
 - Jesse Griffith is going to provide a short list of trees to the Clerk-Treasurer
 - Chris Trapp is going to look into value of a lawsuit; utility expanding not maintaining; checking on the cutting standards and other findings
 - Village Administrator to talk to NYSEG on the 8' verses 10' standard verses no mention; and burying lines on Maple, going to speak with NYSEG and County.
 - Mayor Mercurio to reach out to Kathy Hochul local Representative Bonnie Lockwood.

PUBLIC HEARINGS: – None

OFFICIAL CONSIDERATIONS:

- A motion by Trustee Rabey to approve the Resolution for the Special Use Permit Application for 640 Main Street Lower – Andrew Krouse Hop-N-Hemp Tea Inc DBA Buffalo Kind for a cannabis dispensary, seconded by Trustee Lazickas and carried with unanimous approval.

An Application of a Request for an Amended Special Use Permit, received by the Office of the Village Clerk on August 5, 2024, is hereby:

APPROVED, as submitted with conditions, for applicant Andrew Krouse of Hop-n-Hemp Tea, Inc. DBA Buffalo Kind to operate a legal State Licensed dispensary at 640-650 Main Street.

The Village Board shall be the Lead Agency under the State Environmental Quality Review Act (SEQRA). A Negative Declaration is made under SEQRA and said application is determined to be an Unlisted Action.

The following findings and conditions from the Village are incorporated herein:

Findings for the Proposed Business:

1. The East Aurora Village Code provides that no two cannabis retail dispensaries may be located within five hundred feet of one another.
2. Another cannabis retail dispensary was previously granted approval by the Board of Trustees which would be located within the distance prohibited by the Code.
3. As an advisory commission, the Planning Commission is charged to reviewing whether the plans for the facility meet building and related requirements under the Code.
4. The Planning Commission takes no position with respect to the issuance of final permits or approvals with respect to the location of the applicant's retail establishment since that authority rests solely with the Board of Trustees.
5. No parking requirements are applicable due to the proximity of the Village parking lot and they have 7 parking spaces provided including 1 handicap space.
6. Hours of operation are consistent with those of nearby businesses.
7. Signage adheres to the Village code.
8. The proposed business will improve the building facade.
9. There will be no onsite consumption, and measures will be taken to ensure no odors are produced.

10. The site for this business is in a discrete location.

Condition for the Proposed Business:

1. The applicant must meet with the EA Police to obtain their satisfaction that the store will have sufficient security measures employed. Meet with the Police on September 11th, 2024

If approved, the following additional language should be part of the approval:

Approval is Granted for the above-referenced Special Use Permit Application, as written and submitted, and with the following additional modifications and/or conditions*:

1. The Village shall have the right to periodically inspect the property for compliance with the Village Code, the Special Use Permit and its conditions.
2. No consumption shall be permitted on the property at any time.
3. No deliveries shall be undertaken.
4. Hours of operation may not expand beyond 70 hours a week. Operating Monday thru Thursday 10:00am to 8pm; Friday & Saturday 10:00am to 10:00pm and Sunday 12:00pm to 5:00pm.

Should any part of the application and Special Use Permit approval be in conflict with any segment of the underlying Village Code (i.e., Zoning, etc.), adherence shall be with the Village Code provisions.

The Village shall have the right to periodically inspect the property for compliance with the Village Code, the Special Use Permit and its conditions.

The nature, duration and intensity of the operations which are involved in, or conducted in connection with, this Special Use Permit shall not be increased or expanded without the approval of the Village Board. Any increase or expansion shall be considered at a public hearing held in accordance with the application requirements and administrative procedures which have been adopted by the Village Board.

This Special Use Permit shall expire if significant construction has not been commenced within one year, and has not been completed within two years, of final Special Use Permit approval or, if no construction is involved, if the use has not been commenced within one year of final Special Use Permit approval.

This Special Use Permit shall expire if the use, once begun, ceases operation, for any reason, for more than six consecutive months. For seasonal uses, the use will be considered ceased if there is no operation for at least 12 consecutive months.

This Special Use Permit may be revoked by the Village Board if it is found and determined that there has been a material failure of compliance with any one of the terms, conditions, limitations or requirements imposed by the Special Use Permit. Revocation may also occur in the event of Village Code violations occurring at the property. The Village Board shall hold a public hearing to consider whether or not the Special Use Permit grantee has violated the terms and conditions of the Special Use Permit or if any Village Code violations have occurred. The public hearing shall be held only after the permit grantee has been notified. Notice of the violations and of the date, place and time of the public hearing shall be mailed to the Special Use Permit grantee by certified mail, return receipt requested, directed to the last known address of the permit grantee.

- A Motion by Mayor Mercurio, to appoint Jake J. Sroka, to the position of Police Officer, for the Village of East Aurora, effective January 18, 2025, at step 1 of CBA seconded Trustee Cameron. The appointment is provisional pursuant to the of the Rules for the Classified Civil Service for Erie County and the Collective Bargaining Agreement in effect as of the date of hire, and put on a roll call:

Trustee Flynn – Aye
Trustee Viger – Aye
Trustee Lazickas – Aye
Trustee Cameron – Aye
Trustee Rabey – Aye
Trustee Scheer -Aye
Mayor Mercurio –Aye

- A motion by Trustee Sheer to approve Budget Adjustments for the 2024/25 fiscal year, seconded by Trustee Flynn and unanimously approved.

Budget Transfers	2024-2025				
FROM			TO		
A.5.3120.0125	Longevity	\$ 1,900.00	A.5.3120.0470	Department Supplies	\$ 1,900.00
A.5.3120.0230	Department equipment	\$ 2,000.00	A.5.3120.0470	Department Supplies	\$ 2,000.00

OLD BUSINESS

- East Leaf – Notification comments: none
- County Traffic Survey – Porterville Road & Pine Street: The Village Administrator explained the county did the study and it does not meet the criteria to put a three-way stop put in place and has no recommendations. It was also noted that even if the Village wanted it done it would not be put in because it doesn't meet the criteria.

SPEAKERS & COMMUNICATIONS (II)

- Joseph White 761 Lawrence local business owner would like to know what documentation they can ask for from the people cutting the trees, and asked about personally owned trees
 - o Directed them to website for contact information and DPW is going to mark the right of ways to see if the tree is in that area.

Department Head and Trustee Reports

Police Chief Welch – Busy with events, they went smoothly through the holiday season. Traffic and parking enforcement has been a priority. Would like to revisit Temple Place parking looking in to parking there and working with Jeff Stoll.

General Crew Chief Stoll – Break from the snow, patching potholes and getting trucks in order. One truck is still in the shop should be getting back in a couple days. Planning on working with 2 trucks and can borrow from Elma a truck, which may need new tires.

Trustee Sheer – Glad mobile camera was up and running at Carolcade. He feels the camera helped play a role keep things in order. Police Chief Welch said officers noticed and took care of quickly a few disorderly young men. Dispatch is also able to watch and inform wherever it is up from the monitors at the station. Thank you, Shane Krieger, for ordering the camera.

Trustee Cameron – Thanked the people for coming out to speak on the trees.

Mayor Mercurio – Appreciates the passion of the residents to come out and speak. Thanked the village office staff for their flexibility last week.

ADJOURNMENT: A Motion was made by Trustee Lazickas to adjourn the meeting at 8:46pm. Seconded by Trustee Viger and unanimously carried.

Respectfully submitted,

Melanie Walker
Deputy Clerk