

DISCLAIMER

Statement of Passing Over: This information has been supplied by the vendor or the vendor's agents and TRG Dunedin (powered by ownly Ltd licensed REAA 208) is merely passing over this information as supplied to us. We cannot guarantee its accuracy as we have not checked, audited, or reviewed the information and all intending purchasers are advised to conduct their own due diligence investigation into this information. Where you have been supplied with a Council Property File or a LIM Report, please note there may be matters relating to pre-1992 consents or permits in this file which may need further investigation in order to determine their relevance. To the maximum extent permitted by law we do not accept any responsibility to any party for the accuracy or use of the information herein.



Dunedin City Council – Land Information Memorandum

Property Address: 26 Shetland Street Dunedin

Prepared for: Jessica John Hosie

Prepared on: 11-Feb-2026

Property Details:

Property ID	5113869
Address	26 Shetland Street Dunedin
Parcels	LOT 2 DP 376822

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 11-Feb-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

Contents

Dunedin City Council – Land Information Memorandum	1
Property Address: 26 Shetland Street Dunedin	1
Prepared for: Jessica John Hosie	1
Prepared on: 11-Feb-2026.....	1
Property Details:.....	1
Disclaimer:	1
s44A(2)(a) Information identifying any special feature or characteristics of the land	4
District Plan Hazard Information.....	4
Other Natural Hazard Information.....	4
Flood Hazards	4
Land Stability Hazards	4
Coastal Hazards	4
Seismic Hazards	4
Other Natural Hazards.....	5
Otago Regional Council Hazard Information.....	5
Contaminated Site, Hazardous Substances and Dangerous Goods	6
Contaminated Site Information.....	6
Historic Dangerous Goods Licence(s)	6
Hazardous Substances.....	6
s44A(2)(b) Information on private and public stormwater and sewerage drains.....	6
Drainage	6
Foul Sewer and Waste Water	6
Public Sewer Sheets.....	7
Dunedin City Council Private Drainage plans incomplete	7
s44A(2)(bb) Information Council holds regarding drinking water supply to the land	7
Water Supply	7
s44A(2)(c) Information relating to any rates owing in relation to the land	8
Rates Details	8
Rates Assessment Details	8
s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land	8
(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and.....	8
(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004	8
Building and Drainage Consents.....	8
Building and Drainage Permits	9
Building Notices	9
Resource Consents	9
Consent Notices.....	10
Alcohol Licensing	10
Health Licensing.....	10
s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006	10

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use	10
District Plan	10
District Plan Map	11
s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation.....	11
s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004	11
Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.	12
Building Information.....	12
Drainage	12
Minimum Floor Levels	12
Planning.....	12
Resource Consents within 50m of 26 Shetland Street Dunedin	12
3 Waters	15
Information Regarding Watercourses	15
Transport	16
Parks and Reserves.....	17
Glossary of Terms and Abbreviations.....	18
Consent, Permit, Licence & Complaint types	18
Terms used in Permits & Consents.....	18
General terms.....	19
Appendices	20

s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

LAND MOVEMENT

Alluvial Fans - active floodwater-dominated 50000_1998_100m

Description: Active floodwater-dominated. Sheet floods and channel floods carrying sediment are considered possible within the next 100 years. Mapscale:50000. Map Accuracy:1998, accuracy +/-100m, NZMG1949

Reference Number: 10106

Coastal Hazards

No information.

Seismic Hazards

INTENSIFIED SHAKING

Earthquake Possible Amplification 1:25000 Map

Description: This area has been identified as lying within a zone susceptible to amplified shaking in an earthquake and the approximate area of possible amplification of earthquake intensity by 0-1 on MM Scale.

Dunedin City Lifelines Project. (1999). *Dunedin City Lifelines Project Report*. Dunedin City Lifelines Project.

<https://www.civildefence.govt.nz/assets/Uploads/documents/lifelines/dunedin-lifelines-report-1999.pdf>

Commissioned by: Dunedin City Council and Otago Regional Council

Purpose: To assess the vulnerability of Dunedin's lifeline utilities to natural hazards and to develop strategies that reduce risks and strengthen the city's resilience.

Scope of report: The Dunedin City Council area, bounded west by Flagstaff and Three Mile Hill, east by the Otago Harbour entrance, north by Waitati, and south by Brighton.

Reference Number: 10111

FAULT

Kaikorai

Description: This report presents a general outline of the locations and character of active geological faults and folds in the Clutha and Dunedin City districts. The work described in this report is based on a desktop review of information from regional-scale geological mapping and from more detailed published or open-file geological studies relevant to understanding active faults in the two districts. This project involved the compilation of a Geographic Information System (GIS) dataset that gives the locations of active faults and folds delineated in the two districts. The interpretations and geographic positionings of the faults and folds were aided, where available, by topographic information from airborne LiDAR scans (laser radar) and from satellite, aerial or ground-based photographic archives.

Barrell, D.J.A. (2021). *General distribution and characteristics of active faults and folds in the Clutha and Dunedin City districts, Otago*. GNS Science.

<https://www.orc.govt.nz/media/10002/active-faults-folds-in-the-clutha-and-dunedin-city-districts-otago-2021.pdf>

Commissioned by: Otago Regional Council

Purpose: To describe the general distribution and characteristics of active faults and folds in the Clutha and Dunedin City districts of Otago, to assist with the identification and assessment of earthquake hazard for land-use planning purposes.

Scope of report: The Clutha District and Dunedin City District areas of Otago Region

Reference Number: 12094

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Further Comments

The Garage on this property was erected as part of the building consent ABA 2008–2814 – Erect Dwelling and double garage (Erect Dwelling on 26A Shetland Street).

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively.

This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **8th March 1997**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	4022508
Address	26 Shetland Street Dunedin
Valuation Number	26960-43301
Latest Valuation Details	
Capital Value	\$345,000
Land Value	\$240,000
Value of Improvements	\$105,000
Area (Hectares)	0.0684HA
Units of Use	1
Current Rates	
Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$3,128.32
Rates Outstanding for Year	\$3,735.44

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	/CCC	-	
	Refused	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect
	Lapsed	-	

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-1998-343397](#) Building Consent - Intall Heater - Yunca Multi Fuel Inbuilt

Lodgement Date	12-May-1998
Decision	Granted
Decision Date	13-May-1998
Current Status	CCC Issued
Previous Number	ABA981304

(Applications before 2007)

[ABA-2008-2814](#) Building Consent - Erect Dwelling and Double Garage

Lodgement Date	23-Dec-2008
Decision	Granted
Decision Date	12-Feb-2009
Current Status	CCC Issued
Previous Number	

(Applications before 2007)

[ABA-2021-1432](#) Building Consent - Install Metro Xtreme Rad Freestanding Heater in Dwelling

Lodgement Date	25-Jun-2021
Decision	Granted
Decision Date	01-Jul-2021
Current Status	CCC Issued
Previous Number	

(Applications before 2007)

Building and Drainage Permits

[H-1968-67810](#) AAB19680327 19096 - Add Bay Windows to Front of Dwelling. The permit was lodged on 23-Aug-1968.

[H-1918-134265](#) AAD19180019 A13035 - Plumbing & Drainage. The permit was lodged on 28-May-1918.

[H-1924-139281](#) AAD19240031 B5887 - Plumbing, No Plan. The permit was lodged on 20-Nov-1924.

[H-1971-197626](#) AAD19710105 H9928 - Repair Drains, No Plan. The permit was lodged on 07-Dec-1971.

[H-1986-220482](#) AAD19860085 L195 - Drain Repairs, No Plan. The permit was lodged on 07-Oct-1986.

[H-1929-13937](#) AAB1929019 1957 - Erect Garage. The permit was lodged on 22-Aug-1929.

Building Notices

No Building Notices

Resource Consents

The following Resource Consent(s) are recorded for this property:

[RMA-2006-370370](#) - Resource Management Act (Historical Data)

Description	2 LOT SUBDIVISION
Lodgement Date	11-Jul-2006
Decision	Granted
Decision Date	07-Aug-2006
Current Status	s224c Issued

Consent Stages

Type	s223 Certificate
Issued Date	14 November 2006
Further Details	

[S243-2014-4](#) - s243 Cancellation of Easement

Description	s243 (a) cancellation of easement
Lodgement Date	06-May-2014
Decision	Granted
Decision Date	13-May-2014
Current Status	Consent Issued

[S243-2017-4](#) - s243 Cancellation of Easement

Description	section 243 cancellation of easement
Lodgement Date	23-Aug-2017
Decision	Granted
Decision Date	04-Sep-2017
Current Status	Completed

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan ("The 2GP") is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 1 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Urban Biodiversity Mapped Area (part)
 - Name: Ross Creek / Balmacewen
 - Plan ID: UBMA09

[Please note that some of the items above may only extend over part of the property. If there are multiple designations over the property, these may overlap.]

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 26 Shetland Street Dunedin

5018423 24 Shetland Street Dunedin

[RMA-2000-364453](#) Resource Management Act (Historical Data) Rebuilding Wharaekai, building a Waharenuui for Araiteuru Marae (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 21/02/2001.

5018424 24A Shetland Street Dunedin

[RMA-2000-364453](#) Resource Management Act (Historical Data) Rebuilding Wharaekai, building a Waharenuui for Araiteuru Marae (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 21/02/2001.

5018457 34 Shetland Street Dunedin

[RMA-1997-361455](#) Resource Management Act (Historical Data) side yard encroachment by propped garage and deck with urban lanscape conservation area. chq kf telford (Non-Notified - Restricted Discretionary). The outcome was Granted on 20/11/1997.

5018460 24 Shetland Street Dunedin

[RMA-2000-364453](#) Resource Management Act (Historical Data) Rebuilding Wharaekai, building a Waharenuui for Araiteuru Marae (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 21/02/2001.

[RMA-1988-352385](#) Resource Management Act (Historical Data) ERECT CLASSROOMS Ownr:ARAITEURU (Non-Notified - Non Complying). The outcome was Granted on 13/10/1988.

5018461 22 Shetland Street Dunedin

[LUC-2019-632](#) Land Use Consent land use consent for the non- ancillary use of a residential dwelling for a Registered Health Practitioner's Office and Visitor Accommodation. The outcome was Granted on 13/01/2020.

[LUC-2014-578](#) Land Use Consent retrospective approval for earthworks and retaining walls. The outcome was Granted on 28/11/2014.

[LUC-2014-361](#) Land Use Consent addition to dwelling. The outcome was Granted on 23/07/2014.

[5018617 25 Shetland Street Dunedin](#)

[LUC-2016-384](#) Land Use Consent land use consent for removal of up to 30% of the vegetation within Shetland Street Reserve and Kaikorai Common (par of ULCA 16). The outcome was Granted on 12/01/2017.

[RMA-1991-350949](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment Ownr:DCC / App: N.J. Dunckley PO Box 5045 (Non-Notified - Non Complying). The outcome was Granted on 09/05/1991.

[5018619 29 Shetland Street Dunedin](#)

[RMA-1984-351536](#) Resource Management Act (Historical Data) CANCELLED Ownr:SWIFT / App: SWIFT Designer: SWIFT (Non-Notified - Non Complying).

[5018638 58 Nairn Street Dunedin](#)

[LUC-2016-384](#) Land Use Consent land use consent for removal of up to 30% of the vegetation within Shetland Street Reserve and Kaikorai Common (par of ULCA 16). The outcome was Granted on 12/01/2017.

[RMA-1999-363248](#) Resource Management Act (Historical Data) TO PAINT A MURAL Hazards Comments: (Non-Notified - Non Complying). The outcome was Granted on 02/11/1999.

[RMA-1991-350949](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment Ownr:DCC / App: N.J. Dunckley PO Box 5045 (Non-Notified - Non Complying). The outcome was Granted on 09/05/1991.

[5065881 32 Shetland Street Dunedin](#)

[RMA-1995-350624](#) Resource Management Act (Historical Data) SCHEME PLAN 607 SUBDIVISION OF CT 381/141 INTO TWO LOTS (Non-Notified - Non Complying). The outcome was Granted on 12/04/1990.

[5065882 28 Shetland Street Dunedin](#)

[LUC-2016-384](#) Land Use Consent land use consent for removal of up to 30% of the vegetation within Shetland Street Reserve and Kaikorai Common (par of ULCA 16). The outcome was Granted on 12/01/2017.

[RMA-1995-350624](#) Resource Management Act (Historical Data) SCHEME PLAN 607 SUBDIVISION OF CT 381/141 INTO TWO LOTS (Non-Notified - Non Complying). The outcome was Granted on 12/04/1990.

[5104209 25 Lynn Street Dunedin](#)

[LUC-2016-384](#) Land Use Consent land use consent for removal of up to 30% of the vegetation within Shetland Street Reserve and Kaikorai Common (par of ULCA 16). The outcome was Granted on 12/01/2017.

[LUC-2013-147](#) Land Use Consent construct a roofed space within community gardens, and authorise existing structures. The outcome was Granted on 10/05/2013.

[53870 26A Shetland Street Dunedin](#)

[S243-2017-4](#) s243 Cancellation of Easement section 243 cancellation of easement. The outcome was Granted on 04/09/2017.

[S243-2014-4](#) s243 Cancellation of Easement s243 (a) cancellation of easement. The outcome was Granted on 13/05/2014.

[RMA-2006-370370](#) Resource Management Act (Historical Data) 2 LOT SUBDIVISION (Non-Notified - Non Complying). The outcome was Granted on 07/08/2006.

[5114738 36 Shetland Street Dunedin](#)

[LUC-2013-418](#) Land Use Consent install signage. The outcome was Granted on 07/05/2014.

[LUC-2011-128/D](#) Land Use Consent undertake earthworks. The outcome was s127 Upheld on 10/01/2013.

[LUC-2012-324/A](#) Land Use Consent s127 variation to consent. The outcome was s127 Upheld on 10/01/2013.

[LUC-2012-324](#) Land Use Consent establish a secondary access and a parking area. The outcome was Granted on 15/08/2012.

[LUC-2011-128/C](#) Land Use Consent additional earthworks associated with a comprehensive retirement village. The outcome was s127 Upheld on 03/07/2012.

[LUC-2012-262](#) Land Use Consent construction of a retaining wall on Lot 2 DP 405552 and placement of fill on 38 & 42 Shetland Street. The outcome was Granted on 03/07/2012.

[LUC-2011-128/B](#) Land Use Consent s127 change or cancellation of conditions. The outcome was s127 Upheld on 08/05/2012.

[LUC-2011-128/A](#) Land Use Consent s127 change or cancellation of conditions. The outcome was s127 Upheld on 29/02/2012.

[LUC-2011-128](#) Land Use Consent develop a comprehensive retirement village which provides the elderly with a range of housing and care options within a single site.. The outcome was Granted on 14/09/2011.

[RMA-2006-370418](#) Resource Management Act (Historical Data) two-lot subdivision of Balmacewen Intermediate School (Non-Notified - Restricted Discretionary). The outcome was Granted on 16/08/2006.

[RMA-1962-353619](#) Resource Management Act (Historical Data) ERECT AN INTERMEDIATE SCHOOL / App: OTAGO EDUCATION BRD (Notified - Non Complying). The outcome was Granted on 08/05/1962.

[5120489 36 Shetland Street Dunedin](#)

[SUB-2014-78](#) Subdivision Consent subdivision creating 3 lots. The outcome was Granted on 18/08/2014.

[LUC-2013-418](#) Land Use Consent install signage. The outcome was Granted on 07/05/2014.

[LUC-2011-128/D](#) Land Use Consent undertake earthworks. The outcome was s127 Upheld on 10/01/2013.

[LUC-2012-324/A](#) Land Use Consent s127 variation to consent. The outcome was s127 Upheld on 10/01/2013.

[LUC-2012-324](#) Land Use Consent establish a secondary access and a parking area. The outcome was Granted on 15/08/2012.

[LUC-2011-128/C](#) Land Use Consent additional earthworks associated with a comprehensive retirement village. The outcome was s127 Upheld on 03/07/2012.

[LUC-2012-262](#) Land Use Consent construction of a retaining wall on Lot 2 DP 405552 and placement of fill on 38 & 42 Shetland Street. The outcome was Granted on 03/07/2012.

[LUC-2011-128/B](#) Land Use Consent s127 change or cancellation of conditions. The outcome was s127 Upheld on 08/05/2012.

[LUC-2011-128/A](#) Land Use Consent s127 change or cancellation of conditions. The outcome was s127 Upheld on 29/02/2012.

[LUC-2011-128](#) Land Use Consent develop a comprehensive retirement village which provides the elderly with a range of housing and care options within a single site.. The outcome was Granted on 14/09/2011.

[RMA-2006-370418](#) Resource Management Act (Historical Data) two-lot subdivision of Balmacewen Intermediate School (Non-Notified - Restricted Discretionary). The outcome was Granted on 16/08/2006.

[RMA-1996-360238](#) Resource Management Act (Historical Data) ERECT GRANNY FLAT (Non-Notified - Non Complying). The outcome was Granted on 07/11/1996.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules it might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council.

The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Non-compliant vehicle crossing – no stormwater run-off, property/driveway lower than road.

It appears there are no stormwater provisions in place for this vehicle crossing, which may result in the property taking water from the road/footpath or neighbouring properties as a secondary flow path. To meet current Council standards the stormwater run-off would be required to be captured at the boundary and managed in a way where it does not cause a nuisance to neighbouring properties, including the road corridor. For example: a strip drain, with sump or a sump and piped to the kerb and channel. Council accepts this situation but accepts no liability and the maintenance is the responsibility of the property owner. This may be required to be upgraded in the future.

Vehicle crossing – vehicle access to this property is over adjoining property boundary.

It appears that the vehicle access to this property is over the adjacent property boundary. Please consult with your Lawyer to find out if this is registered under your property title.

The following Transportation information is attached to this document:

- Vehicle Crossing Letter dated 15/01/2009

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Parks and Reserves

Details

This property has been identified as being next to a park or reserve.

Please be aware that Council encourages appropriate public usage of the park/reserve and may develop the park/reserve in the future to facilitate use. You also need to be aware that there are many unapproved encroachments into parks/reserves, as well as many unapproved vehicle accesses into private property across parks/reserves land. In such situations it cannot be taken for granted that Council will automatically approve such an encroachment or access-way, and the owner may be asked to remove it. Because of this you should clarify where the boundary of this property is and your means of vehicle access into it.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer

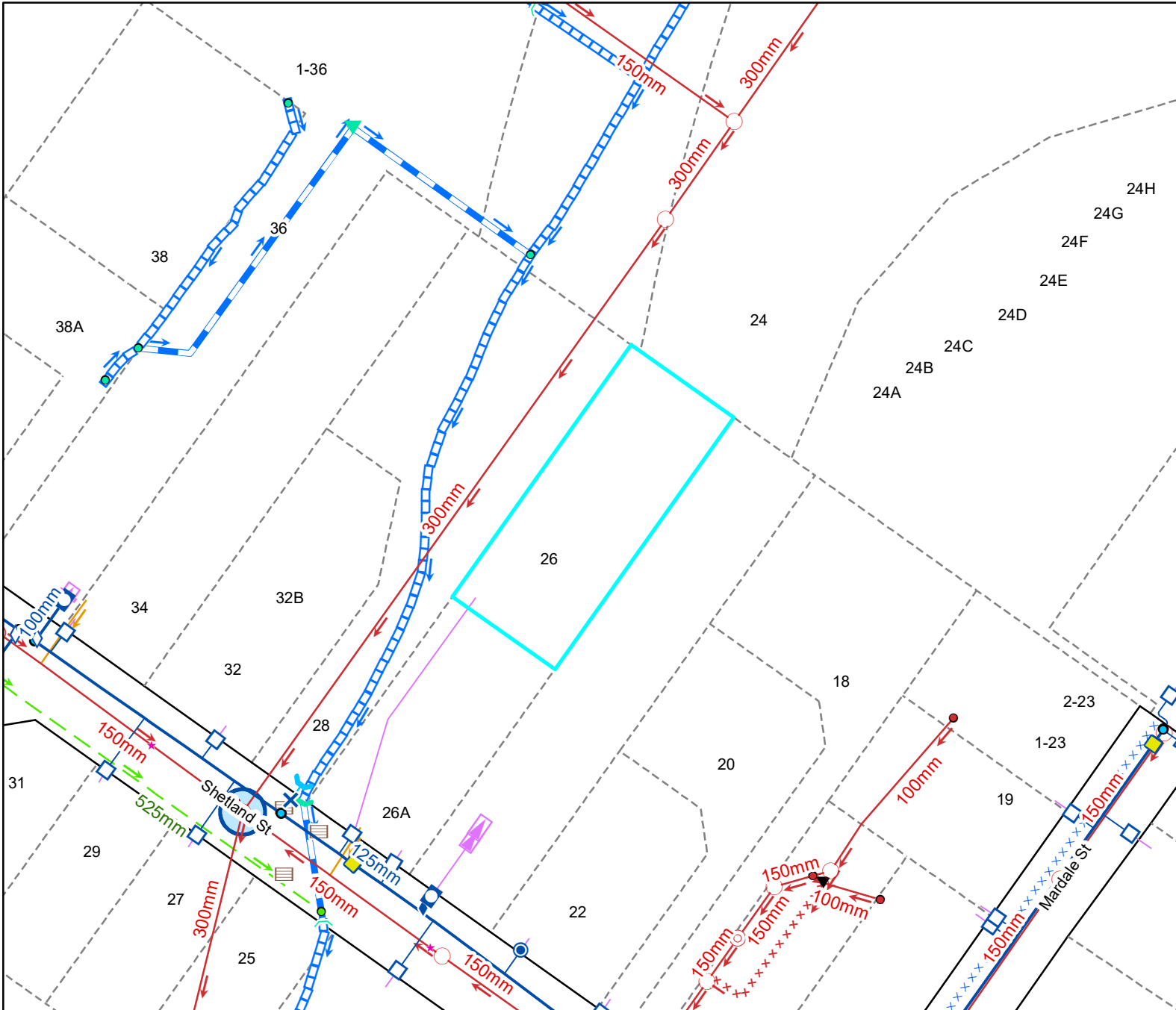
HEA	Heater
ICC	Interim Code Compliance
MH	Manhole
PL	Plumbing
PLB	Plumbing
PTE	Private
SIS	Sewer in section
WC	Water course
WT	Water table
SW	Stormwater

General terms

RDMS Records and Document Management System

Appendices





Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Rider
	Water Valve - Sluice		Scour
	Water Hydrant		Water Service Lateral
	Water Backflow Preventor - RPZ		Water Fire Service Lateral
			Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel
	Railway Centreline		Road/Rail
			Hydro
			Motorway Parcels
			Strata
			Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
1:750
4/02/2026
8:02:41 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright T erralink International Ltd.

BOARD CONTRACT 1752
DUNEDIN DRAINAGE AND SEWERAGE BOARD

APPLICATION NO. A113035

DATE 28/5/18

HOUSE CONNECTION PLAN.

SCALE : $\frac{1}{8}$ in. to a Foot.

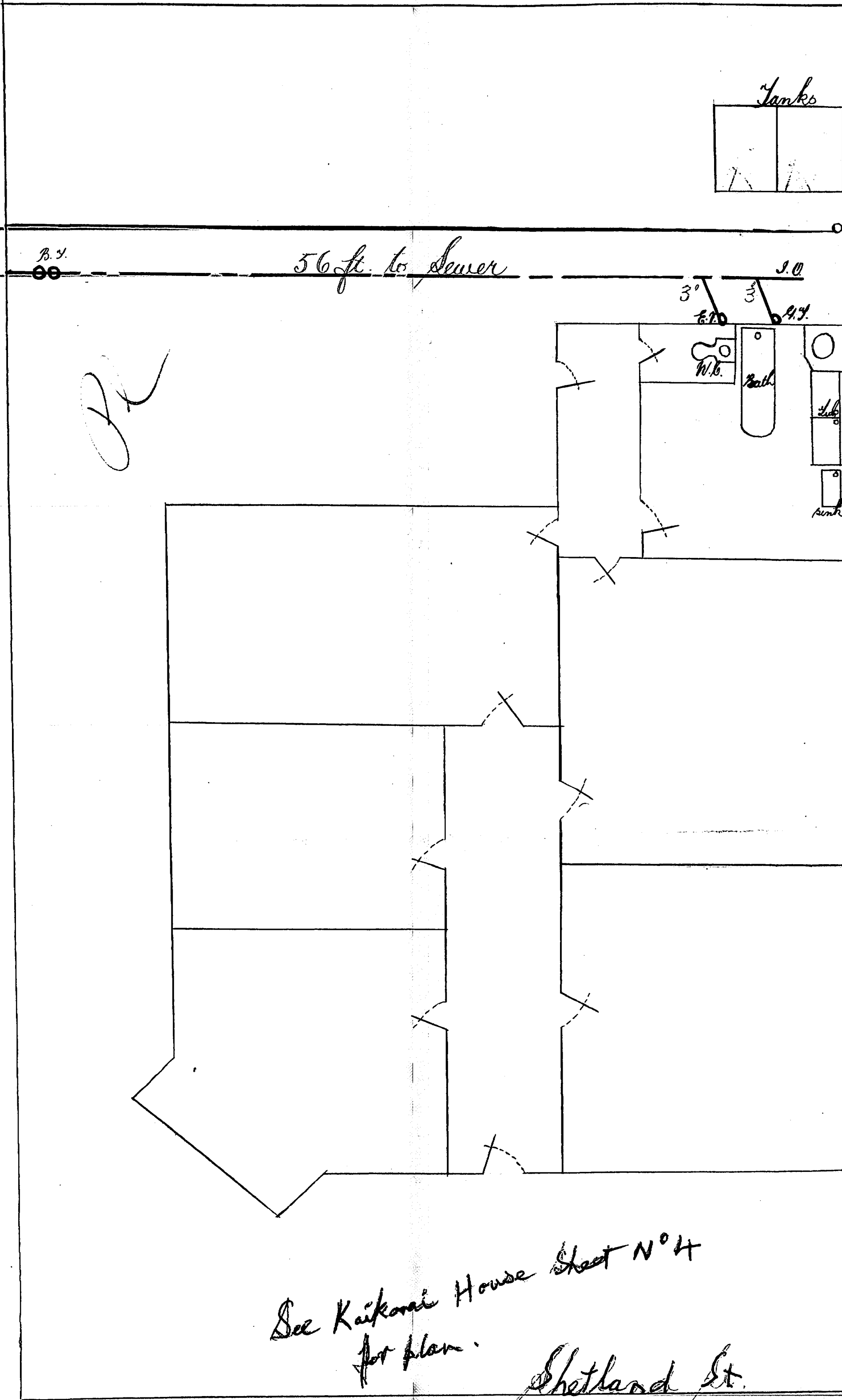
NEW SEWAGE DRAINS: RED
STORM WATER: DOTTED BLACK
OLD DRAINS: FULL BLACK

School
12" Bd
Sewer from

Binding m

DESKTOP IMAGING LTD
www.desktopimaging.co.nz

7 6 5 4 3 2 1 cm
2 1 inches



See Kaiwairua House Sheet N° 4
for plan.

Shetland St.

LEGEND

- Existing Drains
- New Foul Drains
- New Stormwater Drains

Owner M^r. Somerville
Street 16, Shetland St.
Locality Roslyn

Block Anderson
Section 87 PT 82
Allotment

Signature of Drainer Morrison & Warren

DUNEDIN CITY COUNCIL



D P B 0 0 2 0 5 9

Permit

Plan for garage for Mr P. Harris

26 Shetland St Kaikora Dunedin

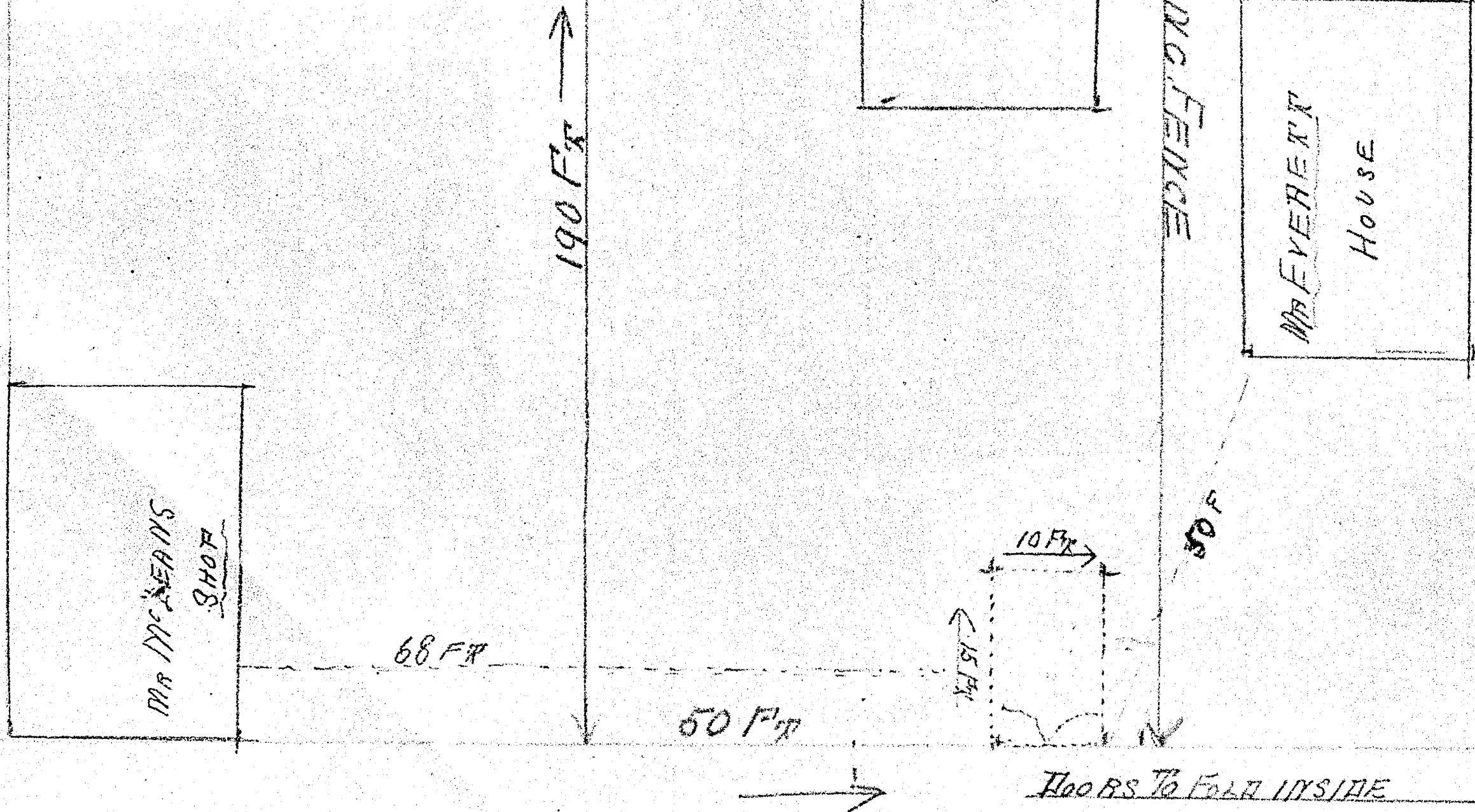
garage to be of wood lined outside

with malthoid roof of iron

scale up to the foot section for 82

Black chunderston

estimated cost £10



SHETLAND ST

1957

PROPOSED NEW FRONT WALL OF DWELLING

FOR

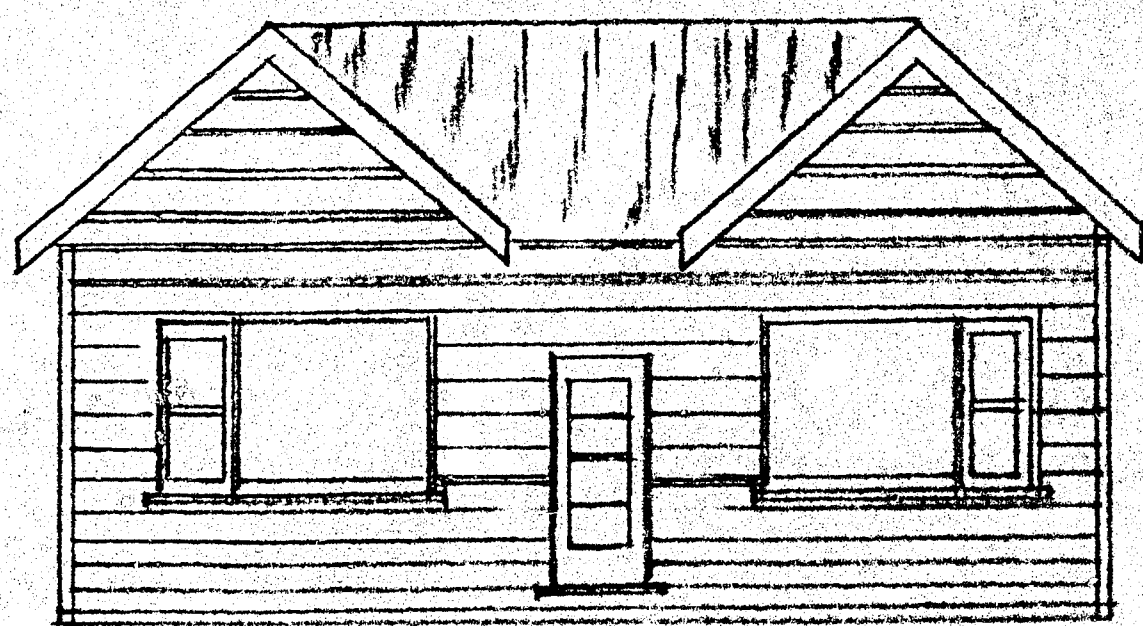
MR L B WRIGHT

26 SHETLAND ST

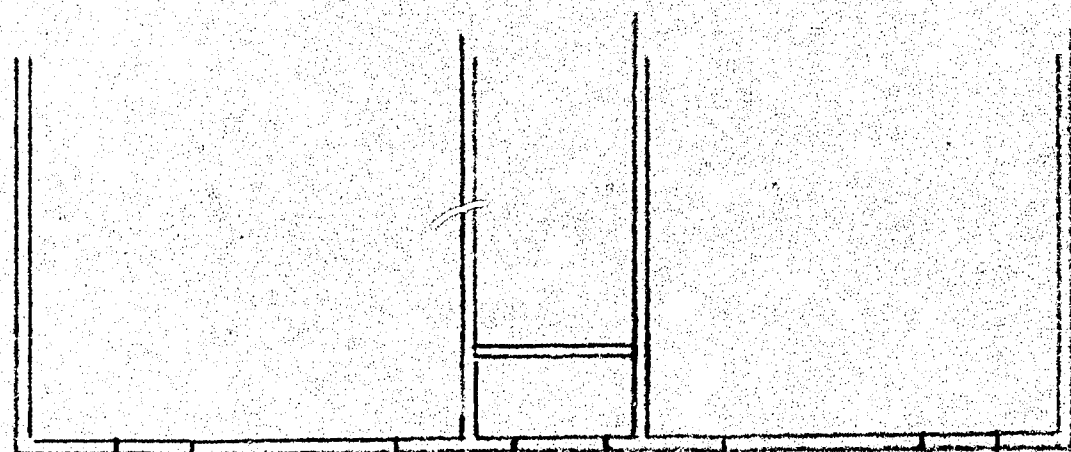
LOT PT. 82.

PLAN 1028

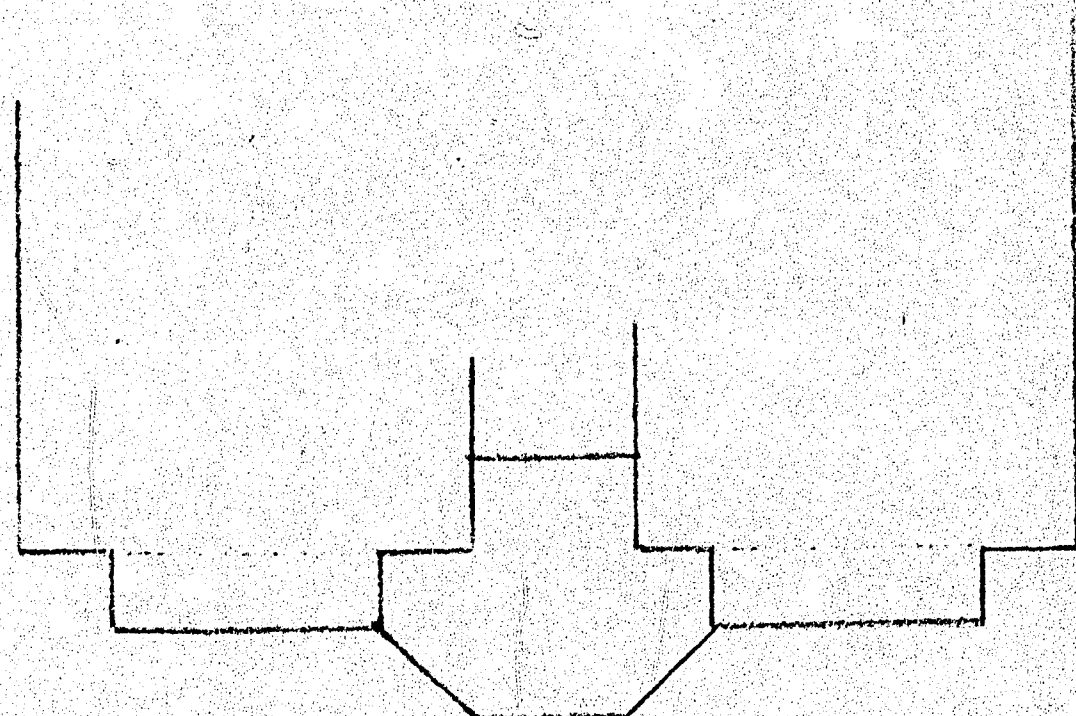
BLK. ANDERSTON.



PROPOSED FRONT ELEVATION



PROPOSED GROUND PLAN

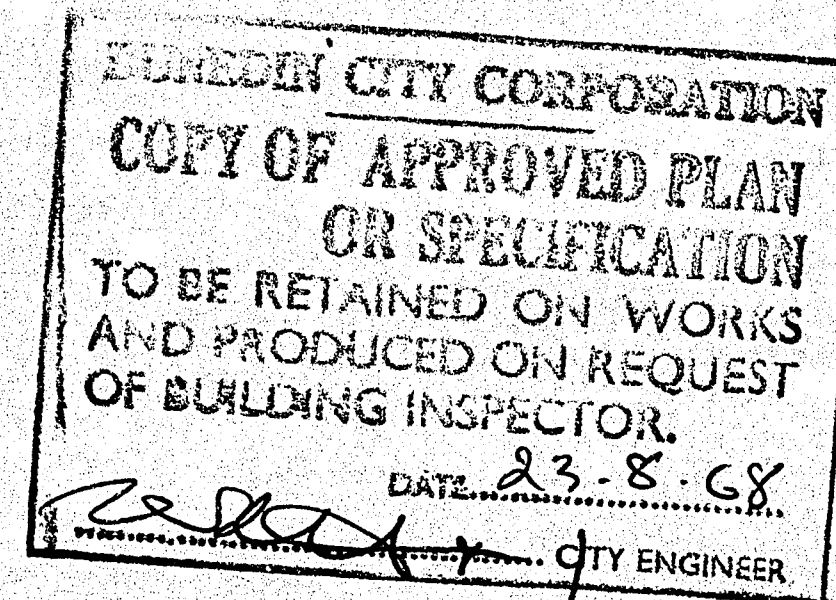


EXISTING GROUND PLAN

SCALE 1/8" = 1 FOOT

SPECIFICATIONS

REMOVE ROTTED TIMBER FROM FRONT WALL
 REPLACE WITH NEW RED FINE TIMBERS
 FRAMING AT 18" CENTRES
 COVER WITH 10X1" DR LUMBER. WITH ALL
 NECESSARY STOPS BARGES, ETC.
 SUPPLY WINDOWS AS SHOWN 8'X5' OVERALL
 SASHES HUNG ON DURASTAYS - FIXED GLASS
 SUPPLY NECESSARY HARDWARE.
 PRIME ALL NEW EXPOSED DR TIMBER
 SUPPLY COMPLETE NEW ALT GLASS DOOR, FRAME
 FLASH ALL WORK AS NECESSARY
 FIX PINEX SHEETS TO FRONT WALL ON INSIDE
 SUPPLY 8 CONCRETE PILES AT FRONT WALL
 AND 2 PILES UNDER CENTRE OF BED RM
 FIX BARGES TO REAR GABLES AND TO ALL
 NEW BARGE BOARDS FIT IRON COVERS WITH ROLLEDGE
 FIT NEW SHEET IRON AT WASH HOUSE & REMOVE VENT
 WHERE PORCH REMOVED PLACE 2" CONCRETE OVER GROUND
 ALL WORK TO BE CARRIED OUT TO REGULATIONS
 BUILDER TO OBTAIN ALL NECESSARY PERMITS
 ALLOW THE P.C. SUM OF \$40.00 CONTINGENCY AMOUNT TO
 BE SPENT AS REQUIRED BY OWNER.
 ALL WORK TO BE CARRIED OUT IN FIRST CLASS MANNER.



P.P. IVAN O'DRISCOLL

Ivan O'Driscoll

L.B. Wright

19096

SHETLAND ST
 SITE PLAN SCALE 1/16" = 1 FOOT



CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07 v2.0

Section 95, Building Act 2004

CCC NO:	ABA-2008-2814	Telephone No:	03 477 4000
APPLICANT		PROJECT	
D J McQuillan and H M Greenfield 26 Shetland Street Wakari Dunedin 9010		Work Type: New Construction Intended Use/Description of Work: Erect Dwelling and Double Garage	
PROJECT LOCATION		Intended Life: Indefinite, not less than 50 years. This CCC also applies to the following Amended Consents: N/A	
26A Shetland Street Dunedin			
LEGAL DESCRIPTION			
Legal Description: LOT 1 LT 376822 Valuation Roll No: Building Name: N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

☐ Compliance Schedule attached

Signed for and on behalf of the Council:

TEAM LEADER INSPECTIONS

Date: 7 August 2009

2617 SHETLAND ST

ABA No: 2008-2814



Telephone 455-4100 Fax 455-0871 Mobile 025-328-834

2617 SHETLAND ST

ABA 2008-2814

SHEET

1

DRAWN

CHECKED

SCALES

SERIES OF

TRACED

DATE 10-5-00

NTS

REF

ABA 2008-2814
1-7-09

As Built Plan
Received by: Brian Stolt
Date: 1-7-09
ABA No: 2008-2814

AS BUILT

EXT HOUSE

sub Soil Drainage

Sump

NEW GARAGE

DRIVEWAY

NEW SIW TO EXT 8.M

EXT SIW TO CREEK



BARRY DELL PLUMBING

SERVICES (2001) LTD

OFFICE & WORKSHOP:

104 South Road, The Glen

Telephone 455-4100 Fax 455-0871 Mobile 025-328-834

26A SHETLAND ST

ABA 2008-2814

DRAWN

CHECKED

SCALES

SHEET

SERIES

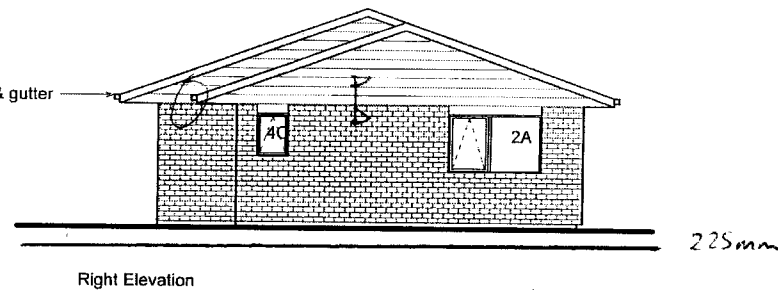
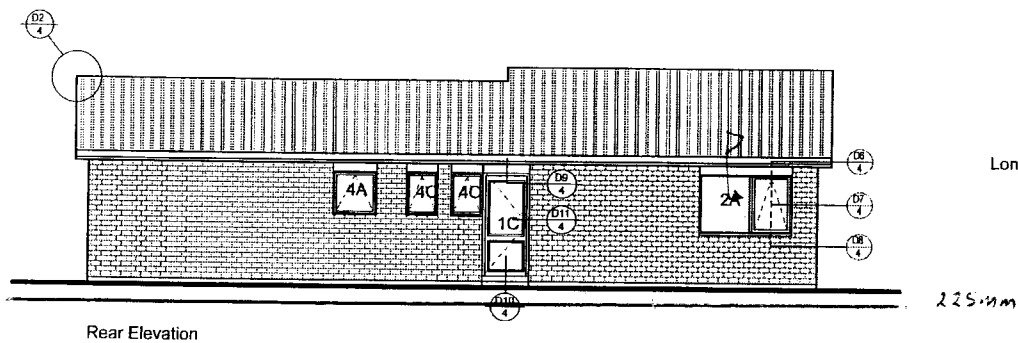
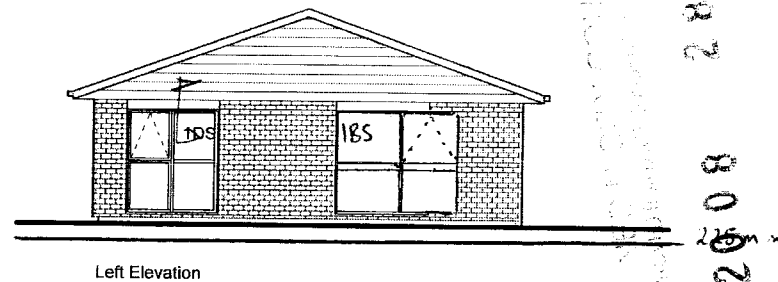
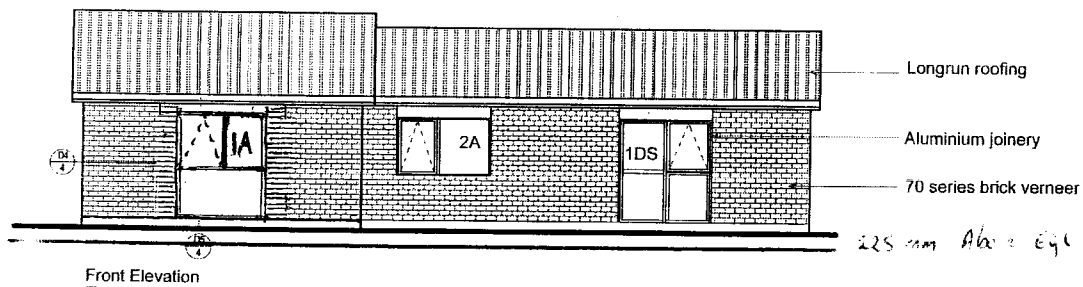
TRACED

DATE 1/7/09

N.T.S

REF

REF



PROJECT TITLE Proposed home for:

DRAWING TITLE

Edgcumbe - Elevation

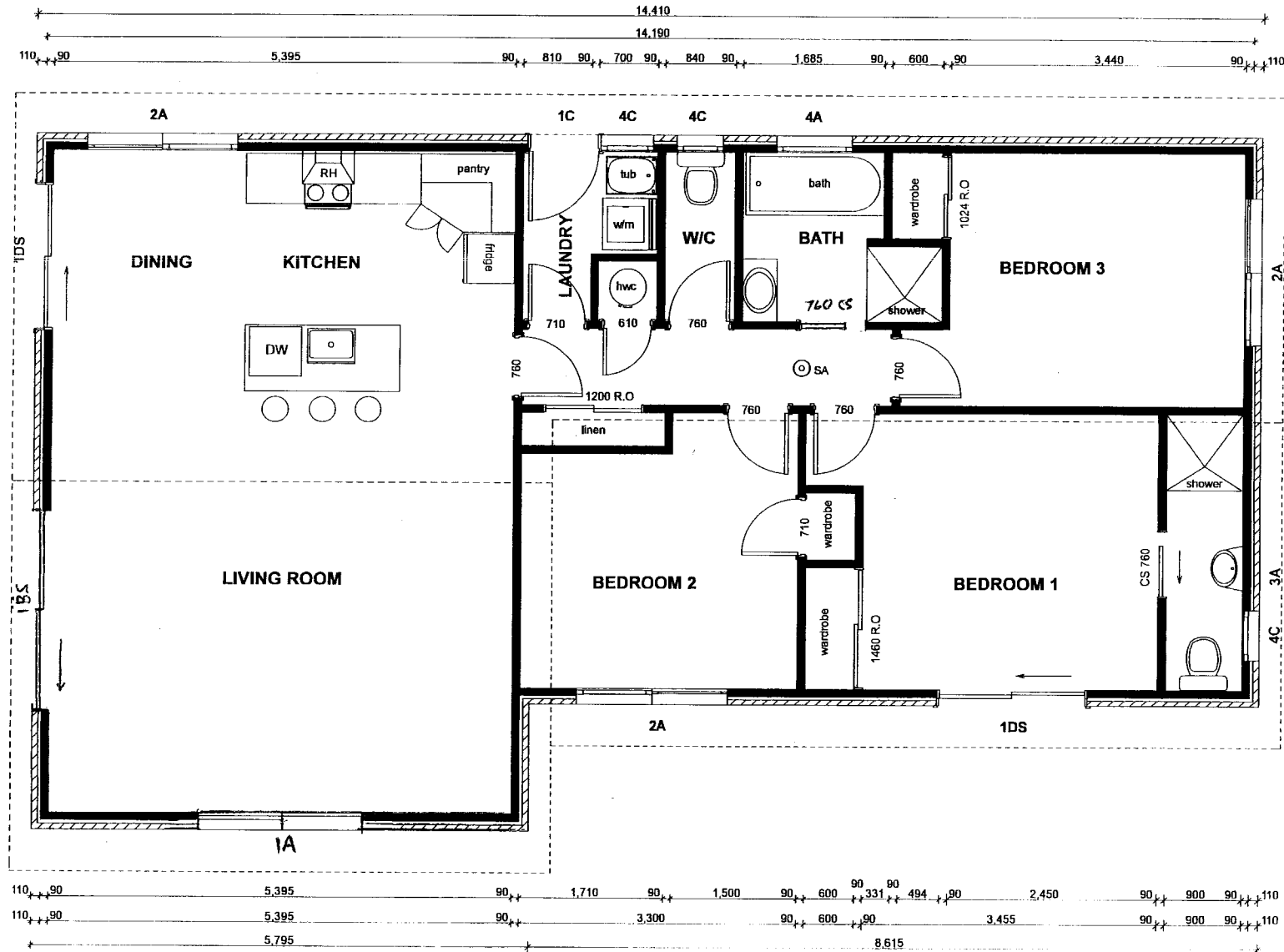
FLOOR AREA 107.07m²

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

SCALE: 1:50
DRAWN: VBL

DATE: Mar 07
FILE: Holly01+

SHEET: 2
OF: 3



NOTE 9 DOWN LIGHTS CA RATED ALLOWED



PROJECT TITLE Proposed home for:

DRAWING TITLE Edgcombe - Floor Plan

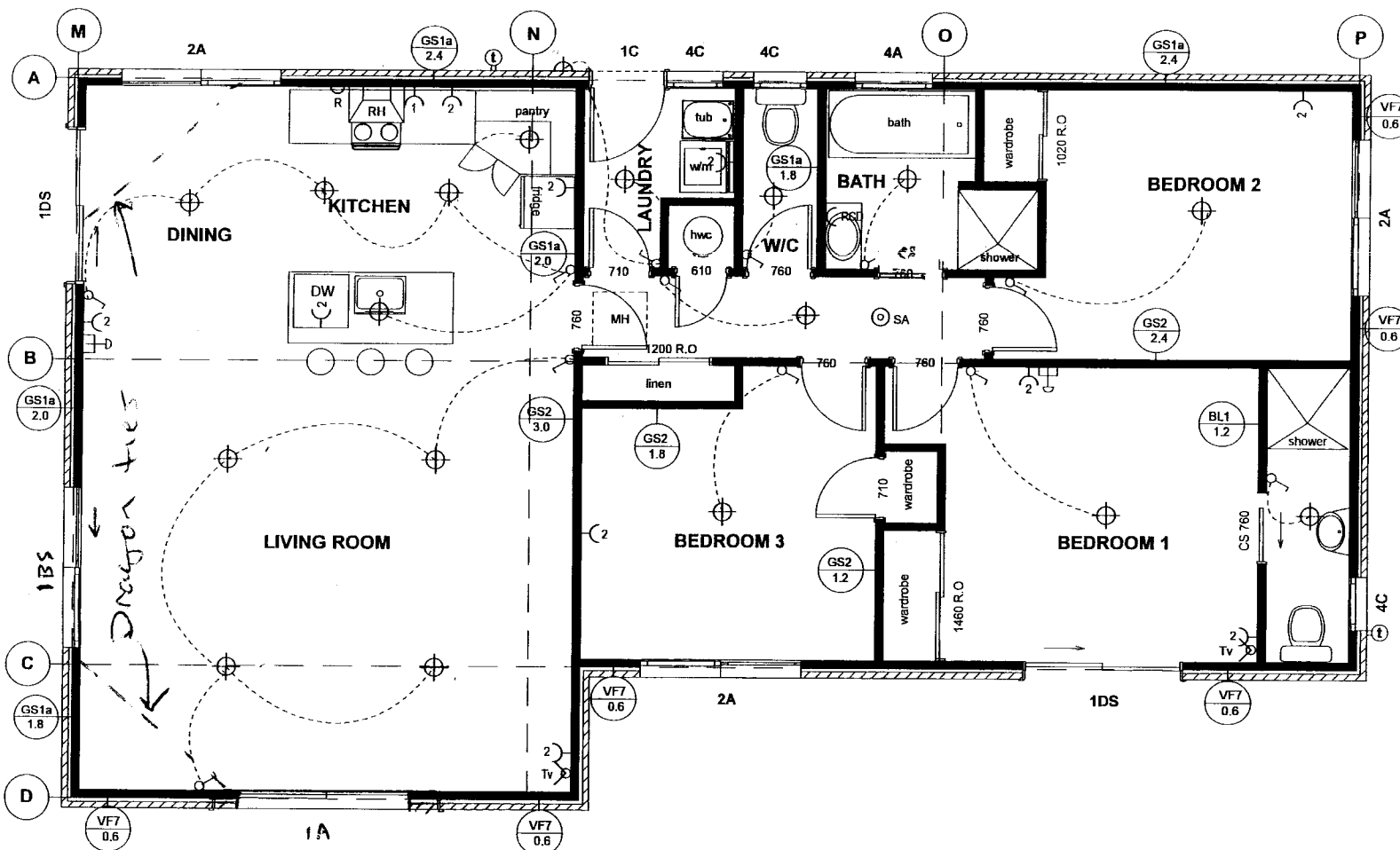
FLOOR AREA 107.07m²

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

SCALE: 1:50
DRAWN: VBL
DATE: Mar 07
FILE: Holly01+

SHEET: 1
OF: 3

2008 2814



- Legend**
- ⊕ Standard light / downlight
 - 2- Double Power Point
 - R Electrical Range
 - ⊕ Light Switch
 - RCD Shaver Point
 - △ Wall Light Exterior
 - ⊕ Tv Point
 - ⊕ Data Point
 - SA Smoke Alarm
 - ⊕ Outside Tap
 - MH Man Hole

NOTE 9 DOWN LIGHTS (CA RATE AS IN SPECIFICATIONS) ARE COMPLIANT TO HI. NO INCREASE IN R3.6 VALUES ARE NEEDED. VBE DCE.
9 DOWNLIGHTS TO DINING & LIVING ONLY.



PROJECT TITLE Proposed home for:

DRAWING TITLE

Edgumbe - Electrical & Bracing

FLOOR AREA 107.07m²

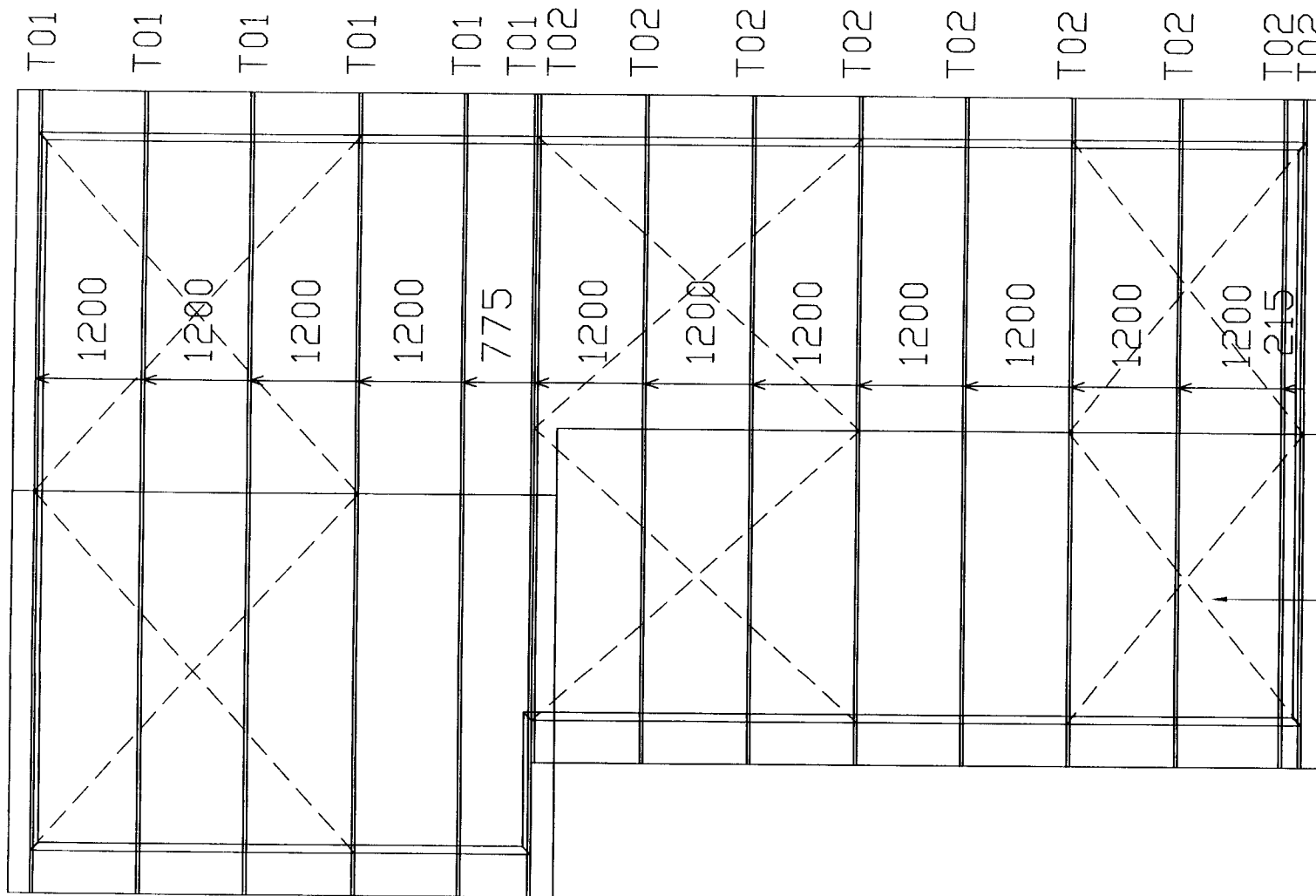
Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

SCALE: 1:50
DRAWN: VBL

DATE: Mar 07
FILE: Holly01+

SHEET: 3
OF: 3

2008 2814



Span and Load Chart:
 Live load = 0.20kPa (Distr) 1.0kN (Conc)
 Dead Load = 0.15kPa (top chord)
 = 0.20 kPa (bottom chord)
 @ 900 & 1200 centres only
 Wind Load Cpi = 0.50 max
 Cpe = 0.80 max
 Purlin Spacing = 1000 max

Truss Centres	Wind Load	Snow Load
1200	V.High	1.00 kPa
900	V.High	1.20 kPa

Timber:
 The specification of timber shall be as follows:
 All top and bottom chords are to be MGP10 or MSG10 90x35 radiata pine.
 All webs are to be min MGP6 or MSG8 70x35 radiata pine.
 Treatment: To NZMP 3640:1992
 Moisture Content: Dry
 Typical positioning tolerances for plates refer to VB1000 Producer Statement for homes.

Roof Bracing: As per NZS3604
 Single tensioned cross Lumberlock Strip Brace over top chords/purlins.
 5 / 30x3.15 nails each end
 1 / 30x3.15 nail each cross (top chord/purlin)

Truss Layout Plan

VERSATILE

PROJECT TITLE

Proposed home for:

DRAWING TITLE

Edgcombe - Truss Plan A

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

SCALE: 1:50
 DRAWN: VBL

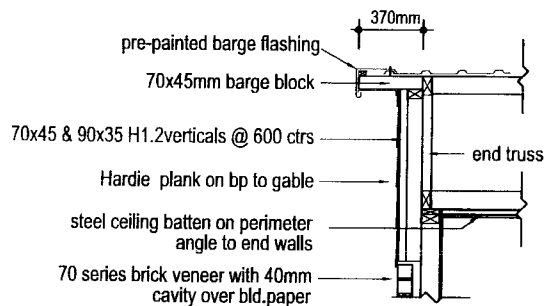
DATE: MAR 07
 FILE:

SHEET:
 OF:

Aluminium Window & Door Schedule for Versatile Homes Loadbearing Walls

Doors:	
Lintels:	
1A - 2010H x 1765W = 2x140x45	✓
1B - 2010H x 2365W = 1x190x45	✓
1BS - 2010H x 2365W = 1x190x45	✓
1C - 2010H x 865W = 2x90x45	✓
1D - 2010H x 1765W = 2x140x45	✓
1DS - 2010H x 1765W = 2x140x45	✓
Windows:	
1E - 1700H x 865W = 2x90x45	✓
1ES - 1700H x 865W = 2x90x45	✓
1F - 2010H x 565W = 1x90x45	✓
2A - 1100H x 1765W = 2x140x45	✓
2B - 1100H x 1165W = 2x90x45	✓
2E - 1100H x 2365W = 1x190x45	✓
3A - 800H x 1765W = 2x140x45	✓
3B - 800H x 1165W = 2x90x45	✓
3C - 800H x 2365W = 1x190x45	✓
4A - 800H x 865W = 2x90x45	✓
4C - 800H x 565W = 1x90x45	✓
5A - 500H x 1765W = 2x140x45	✓
5B - 500H x 1165W = 2x90x45	✓

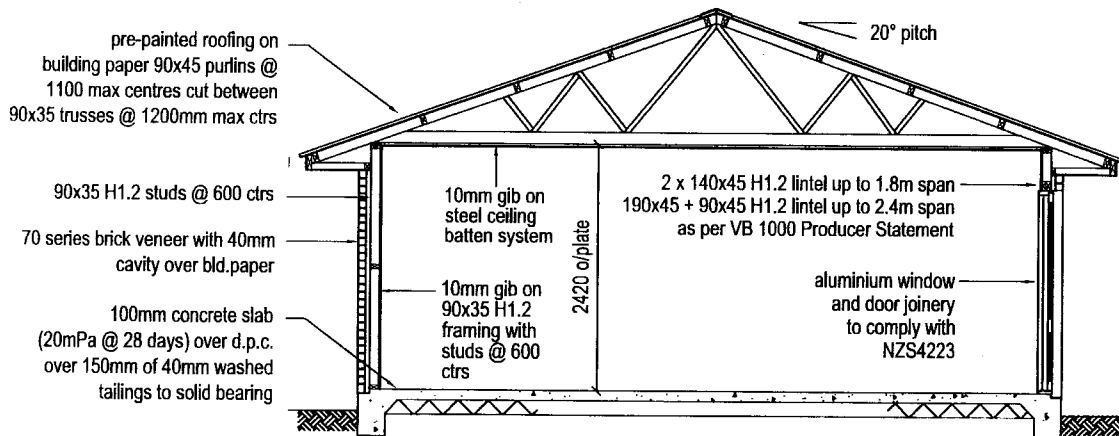
2008 2014



Gable Soffit

Scale 1:20

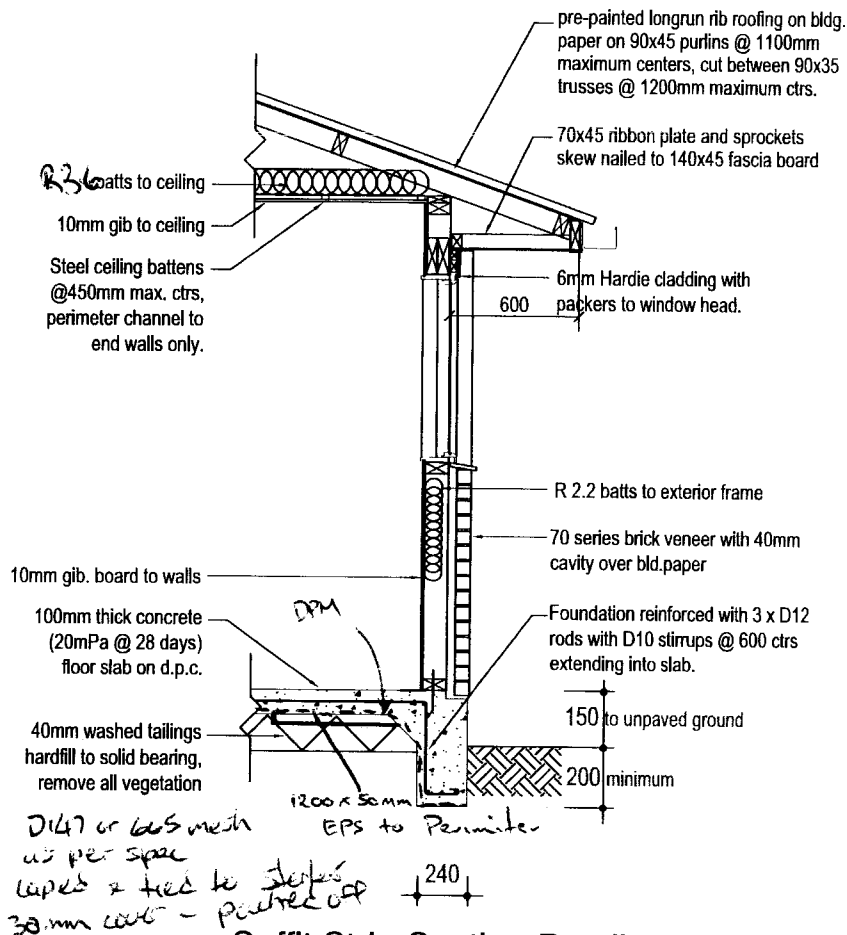
* To provide ply to gable ends - specification 4.3.2



Section A-A

Scale 1:50

IF REINFORCED MESH 100T BOUND W/BS
NZS 3604 75/100 L
SOW CUTS 300 L



Soffit Strip Section Detail

Scale 1:20

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

VERSATILE

PROJECT TITLE

Proposed home for:

DRAWING TITLE

Concrete floor -Brick with soffit
20 roof pitch (S.I.)

SCALE:

As Shown

DATE: MAR 07

DRAWN:

VBL

FILE:

1202A

SHEET:

1

OF 1

Additional building wrap dressed
over flashing tape on top and sides

Building Wrap
dressed into opening

Flashing Tape

Framing

70 series brick veneer

Shelf angle 60mm x 10mm extending 100mm
each side of meterbox

Angle flashing riveted and silicon
sealed to meter box, top bottom
and sides

Meterbox

around all sides of box

Angle flashing with drip bend
extended 200mm each side of meterbox

Flashing tape

Building wrap

2008 2814

VERSATILE®

PROJECT TITLE

DRAWING TITLE

• • • • •

Note: Construction to comply with NZS 3604 (1999)
and the New Zealand Building Code 2004

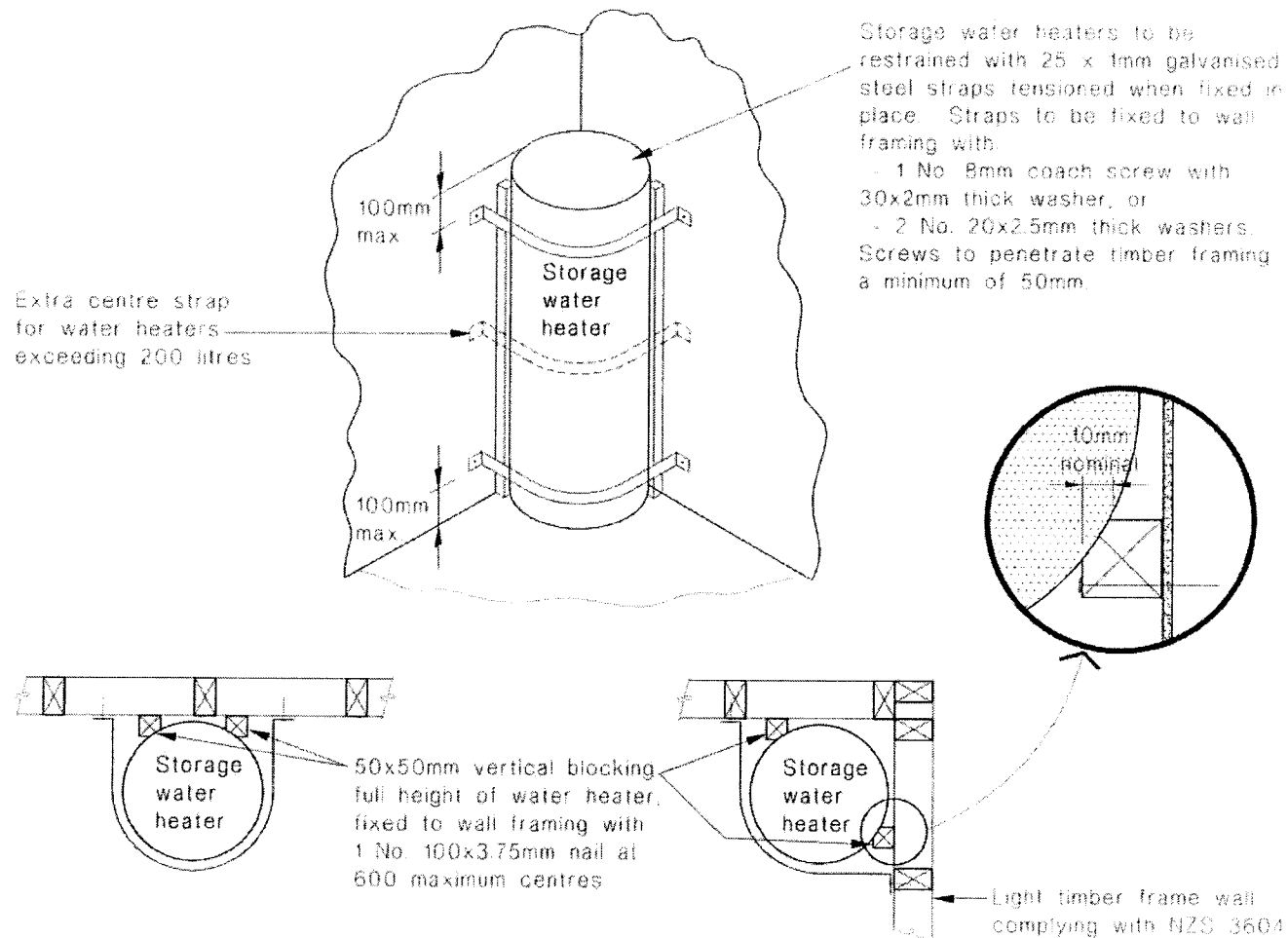
SCALE:

DATE: Jan 08

SHEET:

1

OF: 1



DUNEDIN CITY COUNCIL
APPROVED BUILDING DEPARTMENT

2008 2014

Note: Tempering valve is to be fitted to the HWC

VERSATILE

PROJECT TITLE

DRAWING TITLE

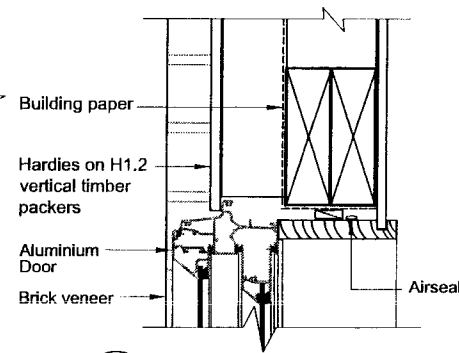
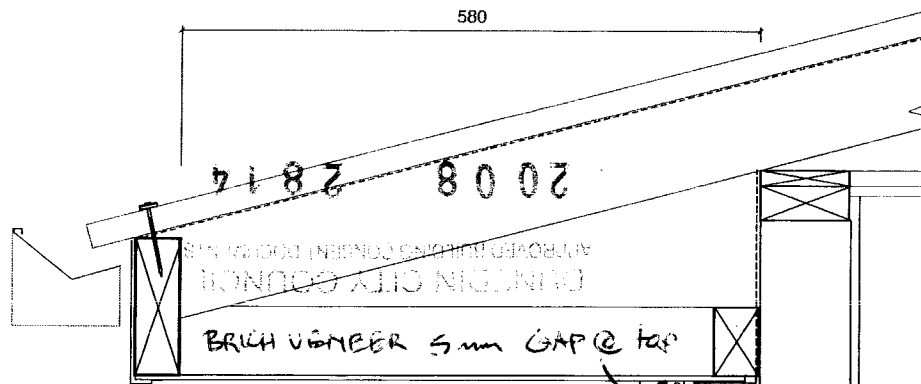
Seismic Restraint of HWC

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

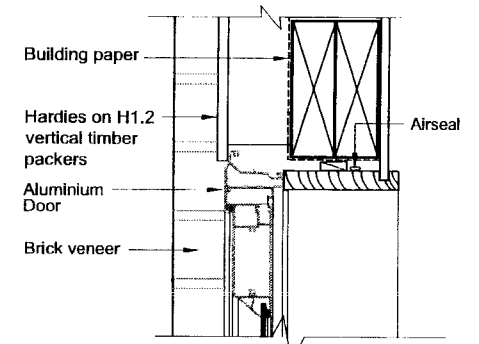
SCALE: NTS
REVISION:

DATE: Apr 08
FILE: 1234

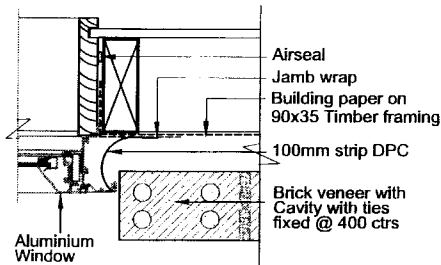
SHEET: 1
OF: 1



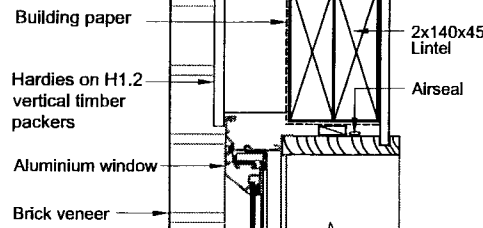
D3
2
Aluminium Slider Head
Scale 1:5



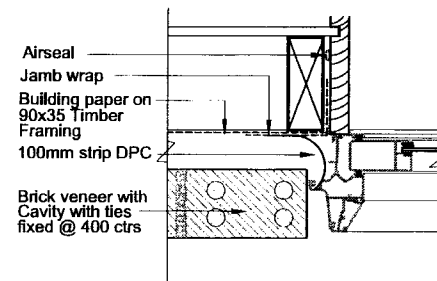
D9
2
Aluminium Door Head
Scale 1:5



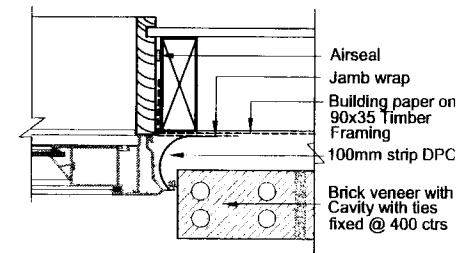
D7
2
Aluminium Window Jamb
Scale 1:5



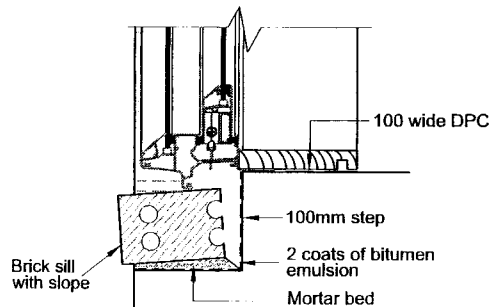
D6
2
Aluminium Window Head
Scale 1:5



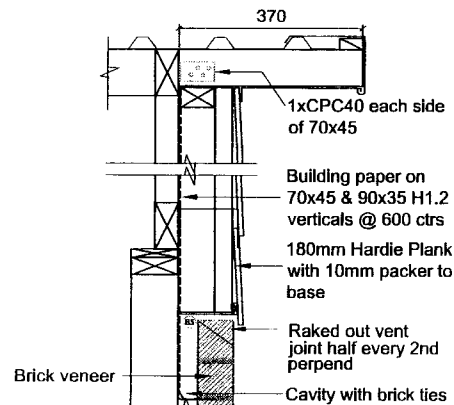
D4
2
Aluminium Slider Jamb
Scale 1:5



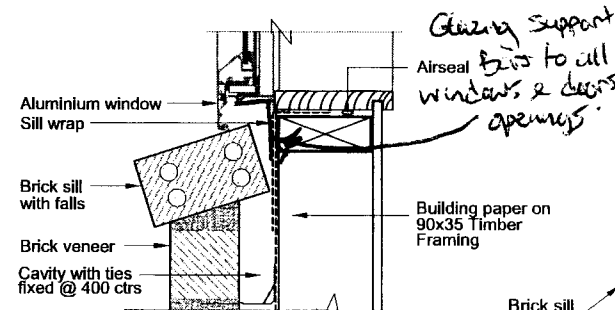
D11
2
Aluminium Door Jamb
Scale 1:5



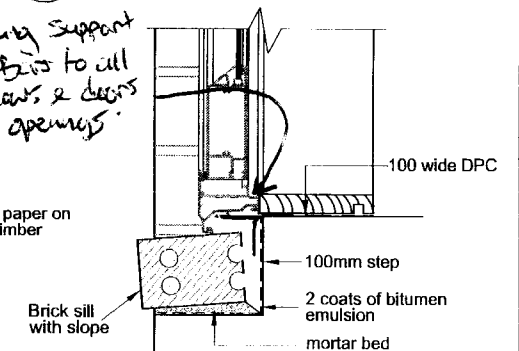
D5
2
Aluminium Slider Sill
Scale 1:5



D2
2
Brick Hardies Detail
Scale 1:10



D8
2
Aluminium Window Sill
Scale 1:5



D10
2
Aluminium Door Sill
Scale 1:5

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

VERSATILE

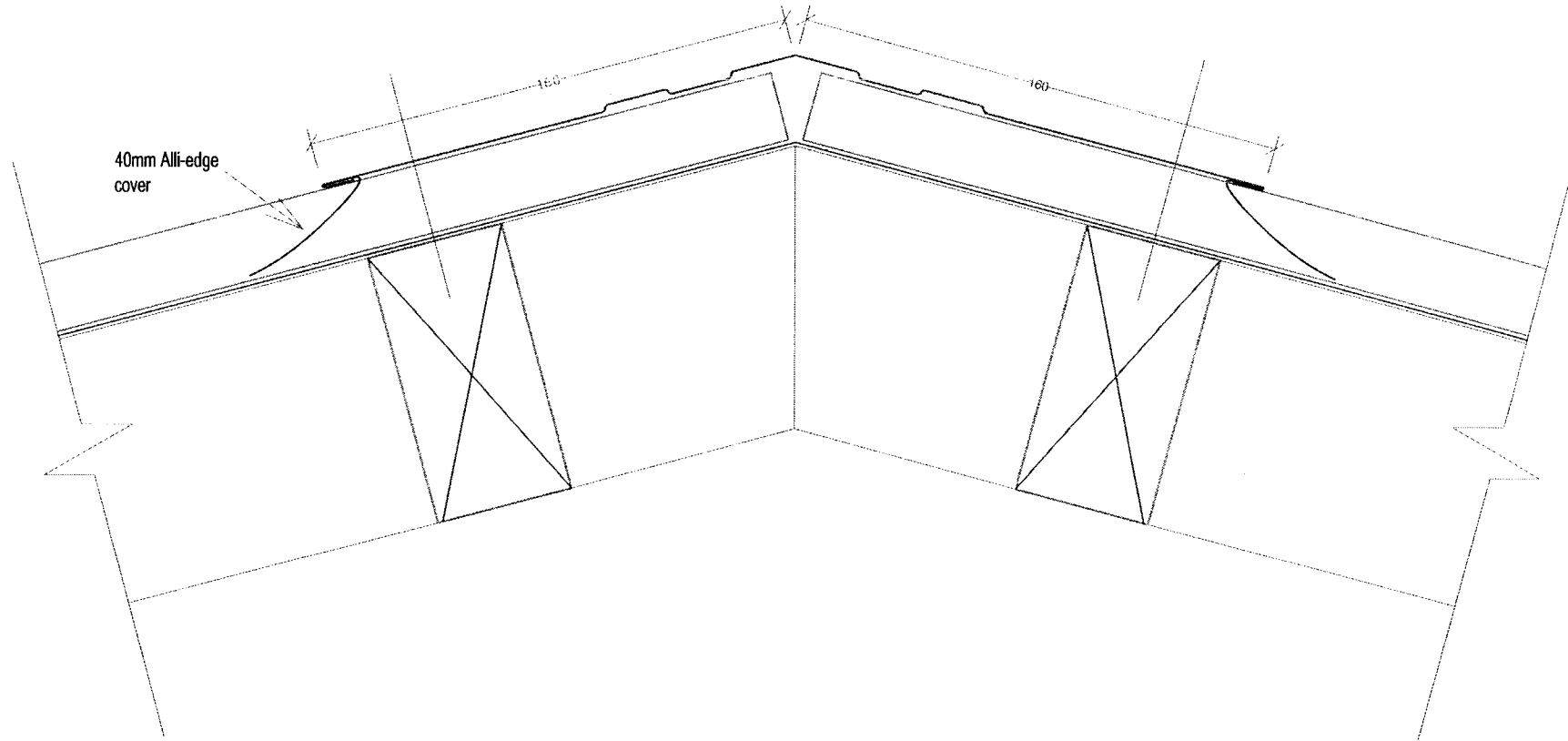
PROJECT TITLE **Proposed home for:**

DRAWING TITLE

Versatile Details - Brick Veneer

SCALE: **As Shown** DATE: **Feb 07**
DRAWN: **VBL** FILE: **2209B-E**

SHEET: **4**
OF:



Ridging Profile

VERSATILE

PROJECT TITLE

DRAWING TITLE

Ridging Profile

Note: Construction to comply with BS 5629:1990 and the New Zealand Building Code.

SCALE

DATE

Sept 07

Sheet

1

DRAWN BY

FILE

VB Ltd

1

CLIENT

Mr. & Mrs. Heidi & David McQuillan
26 Shetland Street
Dunedin

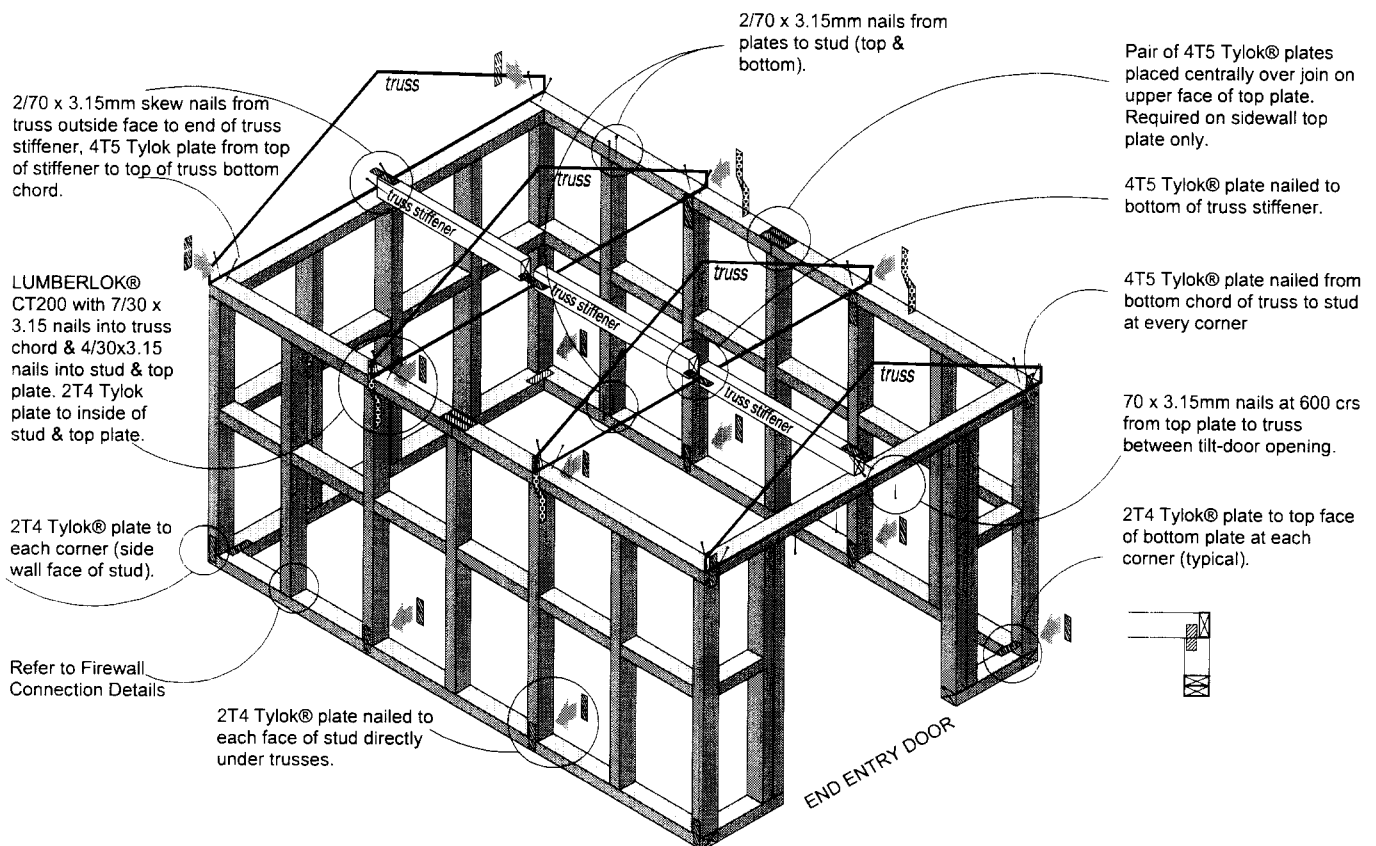
AUTHORITY

VB2000

HARDWARE FIXING
DETAILS

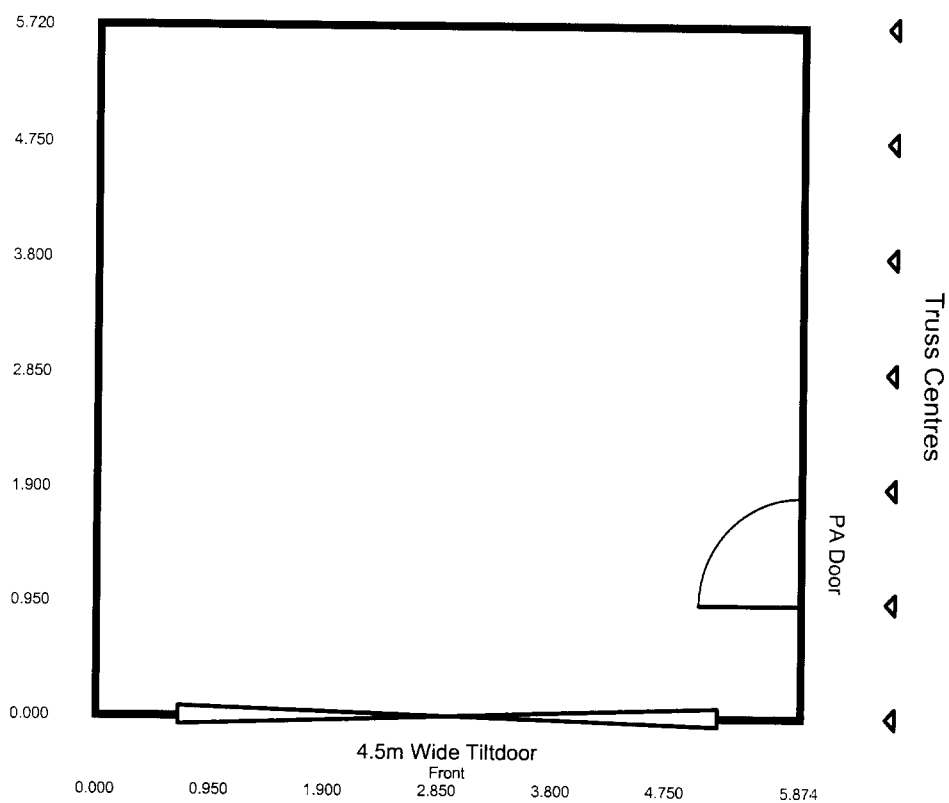
Hardware Fixing Locations

Gable Entry



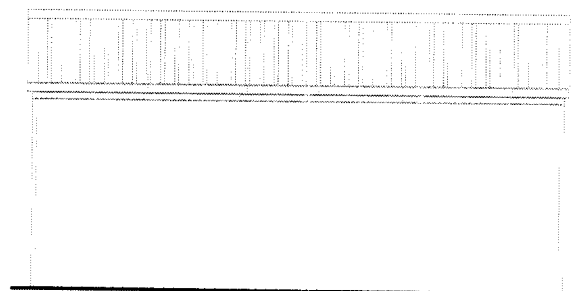
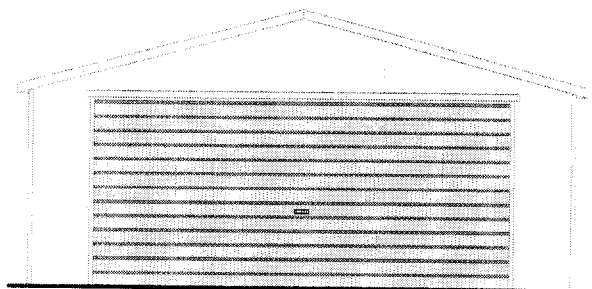
NOTE: 1) Hardware fixings apply to all 600, 950 & 1000 series buildings. 2) 1000 series buildings do not have dwangs.

Proposed: Garage (Quote Number: Richard-1439)
 For: Mr. & Mrs. Heidi & David McQuillan
 Address: 26 Shetland Street, Dunedin,



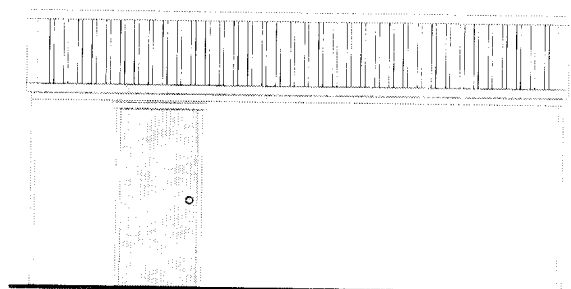
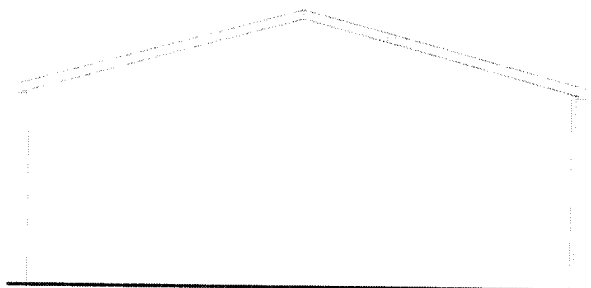
Front Elevation

Left Elevation



Rear Elevation

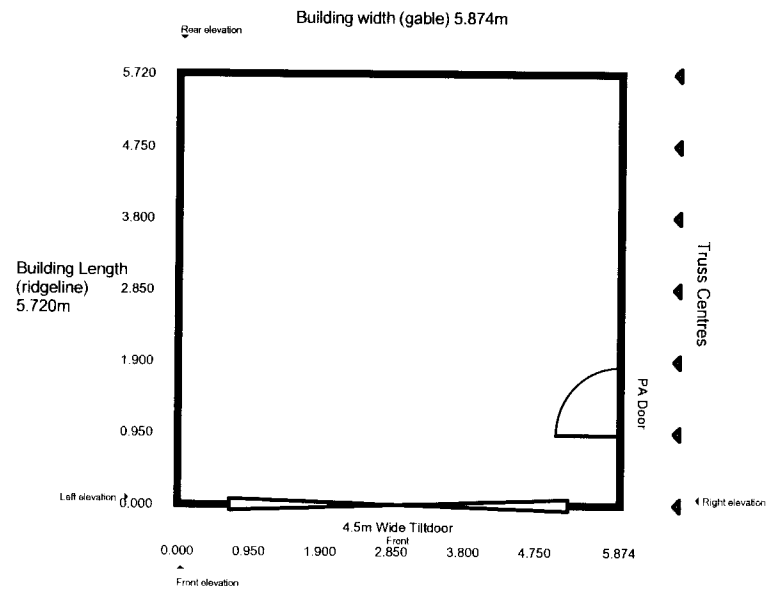
Right Elevation



Design approved by client:

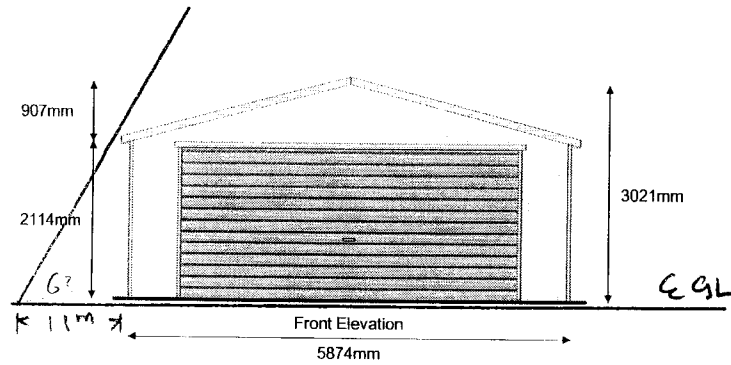
Date:

Versatile Buildings 950 Series Floor Plan
 Customer: Mr. & Mrs. Heidi & David McQuillan
 Site Address: 26 Shetland Street, Dunedin,
 Reference: Richard-1439
 Contact: Richard Hanrahan, Dunedin, (03) 488 5632

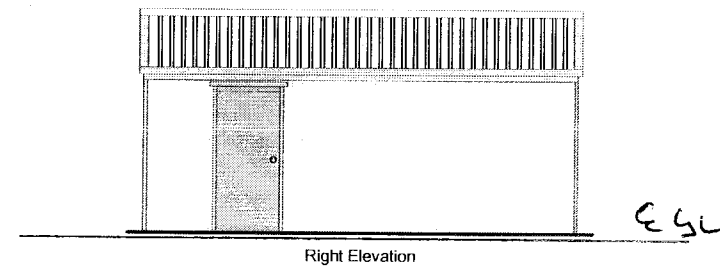
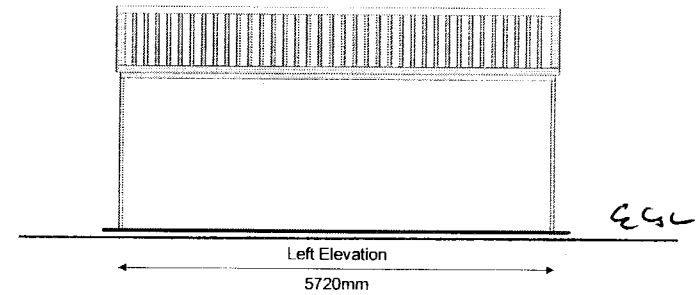
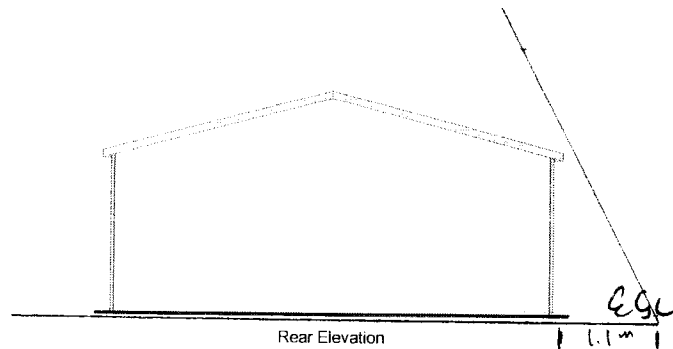


DUNEDIN CITY COUNCIL
 APPROVED BUILDING CONSENT 13/01/2008
 2008 2814

Versatile Buildings 950 Series Elevations
 Customer: Mr. & Mrs. Heidi & David McQuillan
 Site Address: 26 Shetland Street, Dunedin,
 Reference: Richard-1439
 Contact: Richard Hanrahan, Dunedin, (03) 488 5632



1.1m off LH Side Boundary



Versatile Buildings 950 Series Specifications

Customer: Mr. & Mrs. Heidi & David McQuillan

Site Address: 26 Shetland Street, Dunedin,

Reference: Richard-1439

Contact: Richard Hanrahan, Dunedin, (03) 488 5632

Model:	Versatile 950 Series
Size & Stud Height:	5.720m long x 5.874m wide, with 2.1m stud height
Floor Type:	Concrete floor
Roof Details:	15 degree pitch. Thickness: 0.35mm
Trusses:	90mm x 35mm kiln dried, stress graded timber as per floor plan
Wall Framing:	H1.2 treated 90mm x 35mm kiln dried, stress graded timber
Wind Zone:	High wind zone
Cladding Type:	Vertical 6 Rib profile
Gable Cladding:	Cladding profile
Gable Soffit:	None
Downpipes Location:	Front of building
Downpipes Size:	65mm
Aluminium Joinery Glazing:	

Notes:

GENERAL: Construction to comply with Mitek Producer Statement, VB 2000 and in all other respects NZS 3604:1999 and the NZ Building Code.

FOUNDATIONS: Concrete floor shall be 17.5Mpa, 100mm thick. Footing as detailed

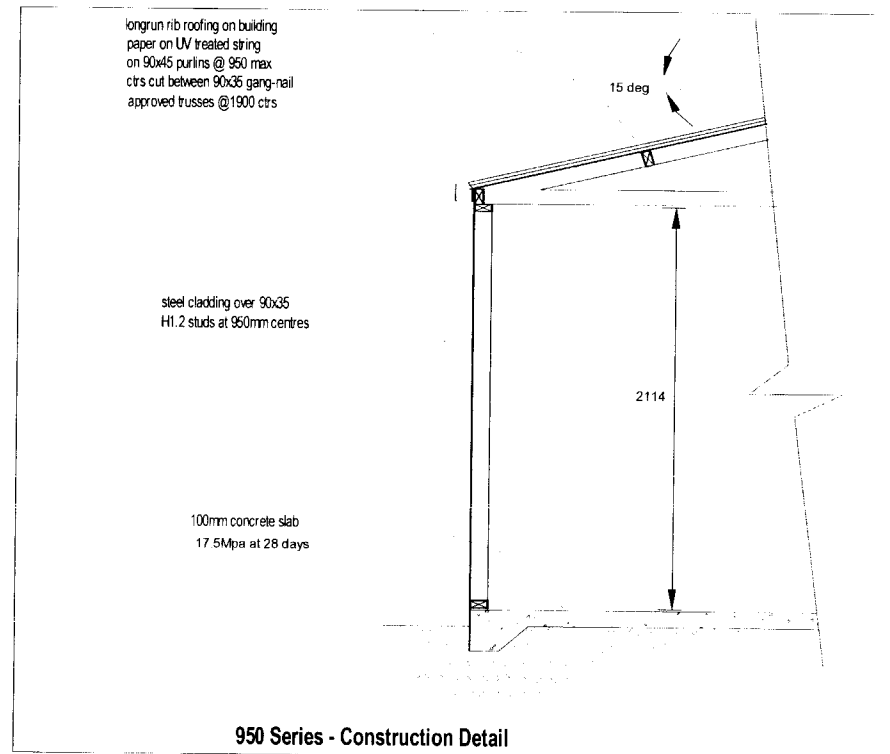
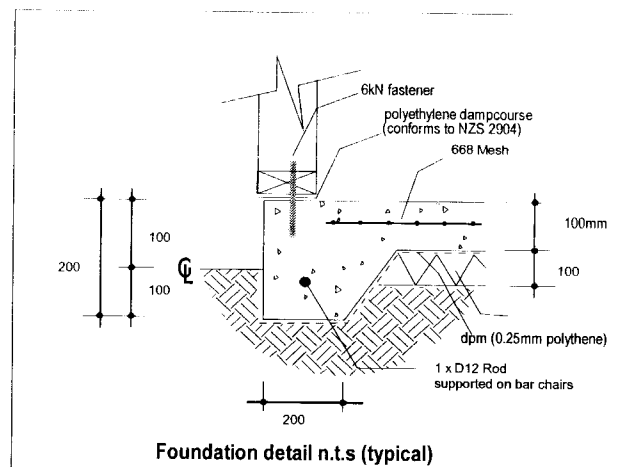
WALL FRAMING: All timber shall be machine stress graded, gauged and treated to TPA Specification H1.2 or C.F, MGP 10 framing. Studs shall be 90 x 35mm at 950mm crs and housed into 90 x 35mm plates. Lay Supercoarse DPC under all plates. Refer Producer Statement VB 2000, WALL FRAME DETAIL for timber grade options and specification. Fix hardware in accordance with Producer Statement VB 2000, WALL FRAME DETAIL.

ROOF FRAMING: Purlins shall be 90 x 45mm on edge at 950mm crs fixed to roof trusses at 1900mm crs. Fix purlins and ridge braces as detailed in Producer Statement VB 2000, TRUSS DETAILS. See truss details and specification in Producer Statement VB 2000, SPAN, LOAD AND TRUSS DETAILS.

ROOFING: Shall be Versatile 6 rib longrun metal roofing fixed with 75mm spiral shank weatherseal roof nails, over bituminous type building paper supported by ultra-violet fast lashing.

WALL CLADDING: Fix with galvanized clouts and roof nails as specified in VB 2000.

ROOF BRACING: For all buildings fix Lumberlok roof plane strap bracing in accordance with VB 2000 Producer Statement





MiTek New Zealand Ltd.

AUCKLAND
PO Box 58-014, Greenmount
Phone: (09) 274 7100
Fax: (09) 274 7100

CHRISTCHURCH
PO Box 838, Riccarton
Phone: (03) 340 869
Fax: (03) 340 0011

www.mitek.co.nz

HOME OF GANG-NAIL® BUILDING SYSTEMS

Job Name

DOUBLE GARAGE.

CH12513

950 SERIES BRACING.

Date 4-4-08

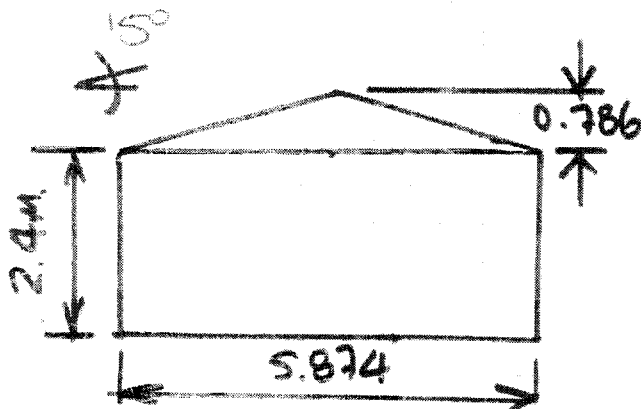
Designer

CML

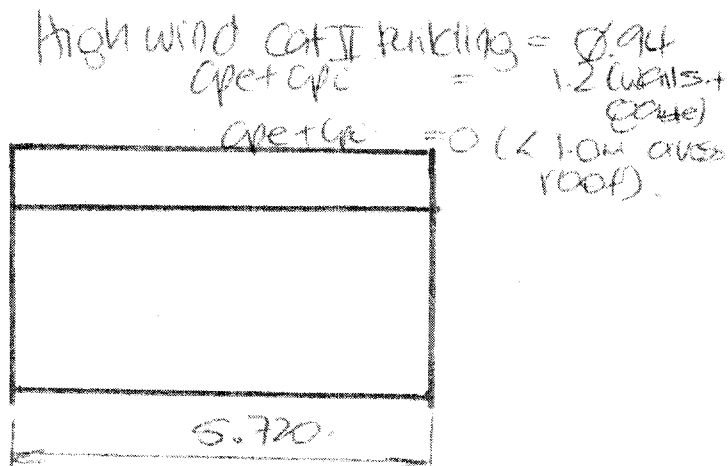
Checker

Page

1/1



Along



Across

High wind cat II bracing = 0.94
 $C_{pe} + C_{pi} = 1.2$ (walls + gable)
 $C_{pe} + C_{pi} = 0$ (< 1.0m across roof).

Ratio 1:1.03.

0.0 Along

$$\text{Area} = (1.2 \text{m} \times 5.874 \text{m}) + (0.786 \times \frac{1}{2} \times 5.874)$$

$$= 9.357 \text{m}^2$$

BUS

$$= 12 + 0.94 \text{kPa} \times 9.357 \text{m}^2 \times 20 \text{BU/kN}$$

Along
 211 BUS TOTAL OR 106 BU / Wall.

Across

$$\text{BU} = 12 + 0.94 \text{kPa} \times 1.2 \text{m} \times 5.720 \text{m} \times 20 \text{BU/kN}$$

Across
 155 BUS TOTAL OR 77 BU / Wall

Reinforced - Along

$$\text{GRV cladding } 2.4 \text{m high} = 22 \text{BU/m}$$

$$\text{GRV } 5 \text{m} \times 22 \text{BU/m} = 110 \text{BU / Wall}$$

Across Reinforced

GRV cladding
 VTB

$$3 \text{m} \times 22 \text{BU/m} = 66 \text{BU}$$

$$= 100 \text{BU}$$

Total = 166 BUS TOTAL



MiTek New Zealand Ltd.

AUCKLAND
PO Box 58-014, Greenmount
Phone: (09) 274 7100
Fax: (09) 274 7100

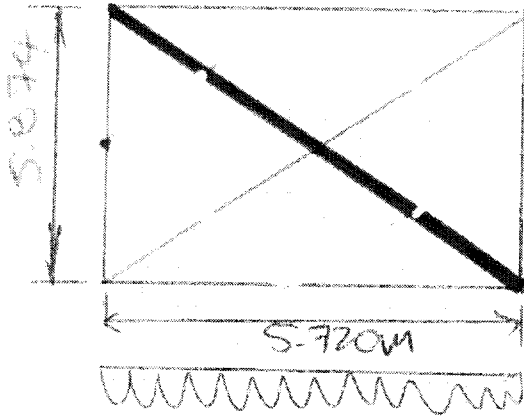
CHRISTCHURCH
PO Box 6387, Riccarton
Phone: (03) 348 8601
Fax: (03) 348 0214

www.mitek.co.nz

HOME OF GANG-NAIL® BUILDING SYSTEMS

Job Name	DOUBLE GARAGE	Ref	CH 2523
950 SERIES BRACING		Date	4-4-08
Designer	are	Checker	
		Page	2/2

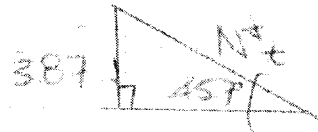
Roof bracing:



load

$$= 1.2 + 0.94 \text{ kPa} \times 1.2 \text{ m} \times 5.720 / 2$$

$$= 3.87 \text{ kN}$$



$$\frac{3.87 \text{ kN}}{\sin 45.7} = N_t$$

$$5.4 \text{ kN} = N_t$$

$$\text{Capacity} = 0.9 \times 1.0 \times 8.44$$

$$0.9 \text{ kN} = 7.6 \text{ kN}$$

$$N_t \leq 0.9 \text{ kN} \checkmark$$

2008 2814



MiTek New Zealand Ltd.

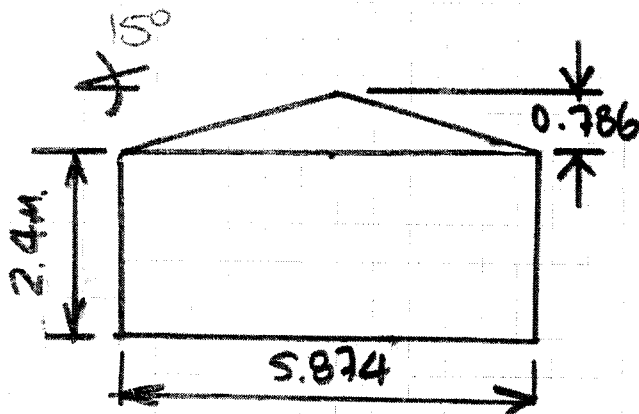
AUCKLAND
PO Box 58-014, Greenmount
Phone: (09) 274 7108
Fax: (09) 274 7100

CHRISTCHURCH
PO Box 8987, Riccarton
Phone: (03) 348 8691
Fax: (03) 348 0314

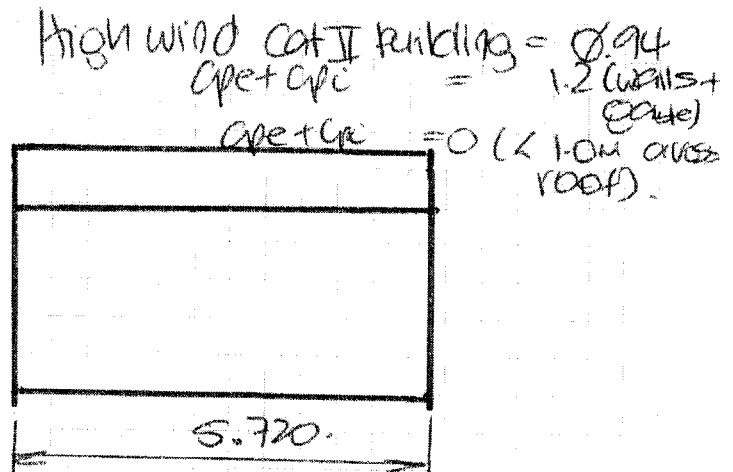
www.mitek.co.nz

HOME OF GANG-NAIL® BUILDING SYSTEMS

Job Name DOUBLE GARAGE.		CH12513
950 SERIES BRACING.		Date 4-4-08
Designer CML	Checker	Page 1/1



Along



Across

Ratio: 1:1.03.

0% Along

$$\text{Area} = (1.2\text{m} \times 5.874\text{m}) + (0.786 \times \frac{1}{2} \times 5.874)$$

$$= 9.357\text{m}^2$$

BUS

$$= 1.2 \times 0.94\text{kPa} \times 9.357\text{m}^2 \times 20\text{BU/KN}$$

$$= \boxed{211\text{ BUS TOTAL OR } 106\text{ BU/Wall.}} \quad \text{Along.}$$

Across

$$\text{BU} = 1.2 \times 0.94\text{kPa} \times 1.2\text{m} \times 5.720\text{m} \times 20\text{BU/KN}$$

$$= \boxed{155\text{ BUS TOTAL OR } 77\text{ BU/Wall}} \quad \text{Across.}$$

Achieved - Along

$$\text{GRV cladding } 2.4\text{m high} = 22\text{BU/m}$$

$$\text{GRV } 5\text{m} \times 22\text{BU/m} = 110\text{BU/Wall}$$

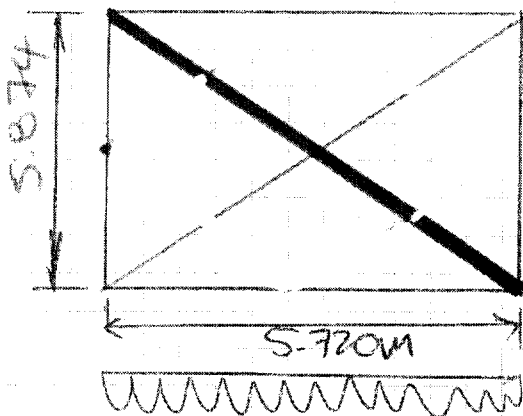
Across Achieved

$$\text{GRV cladding VT6 } 3\text{m} \times 22\text{BU/m} = 66\text{BU}$$

$$100\text{ BUS}$$

$$\text{Total} = 166\text{ BUS TOTAL}$$

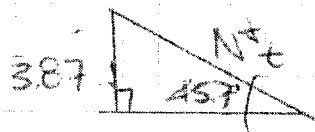
Roof bracing:



load

$$= 1.2 \times 0.94 \text{ kPa} \times 1.2 \text{ m} \times 5.720 / 2$$

$$= \underline{3.87 \text{ kN}}$$



$$\frac{3.87 \text{ kN}}{\sin 45.7} = N_t$$

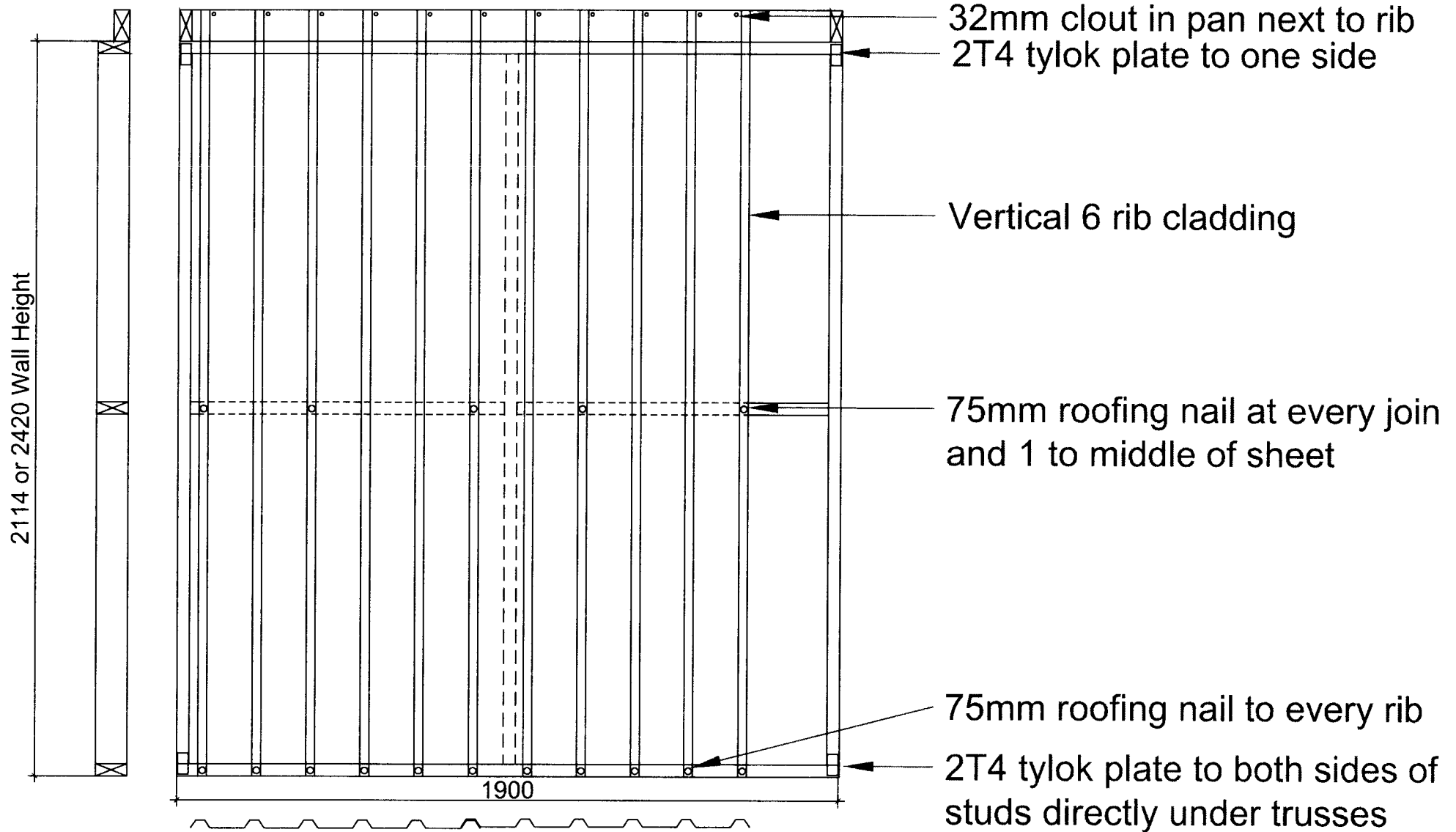
$$5.4 \text{ kN} = N_t$$

$$\text{Capacity} = 0.9 \times 1.0 \times 8.44$$

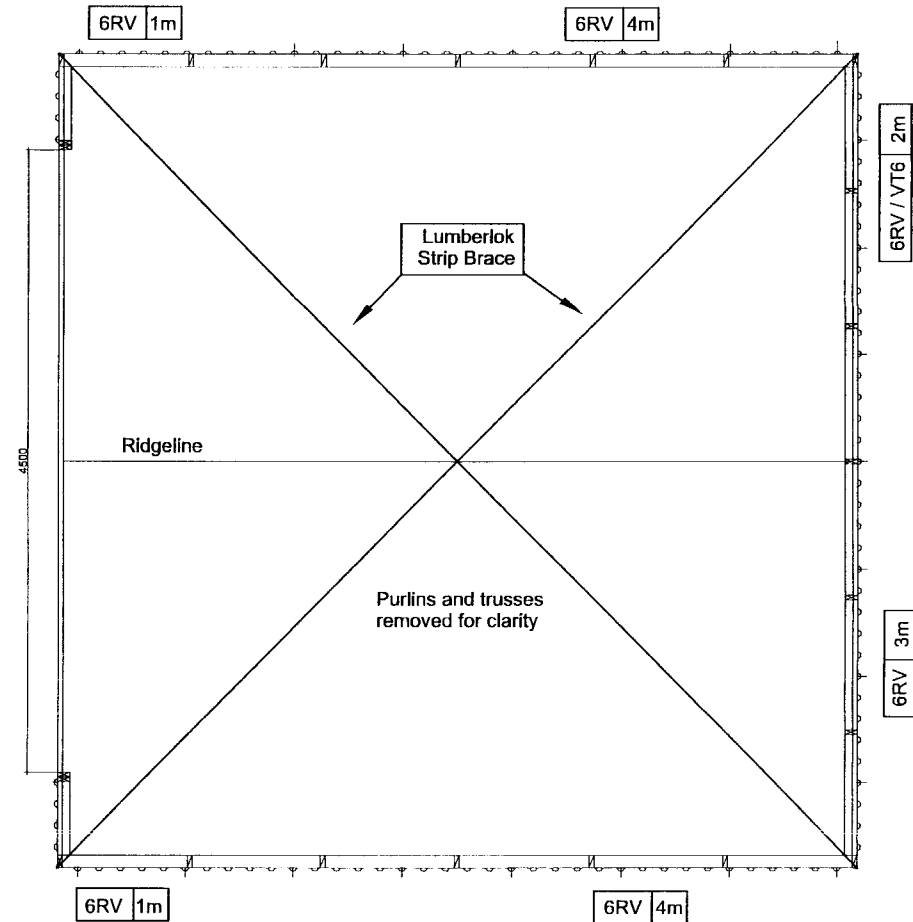
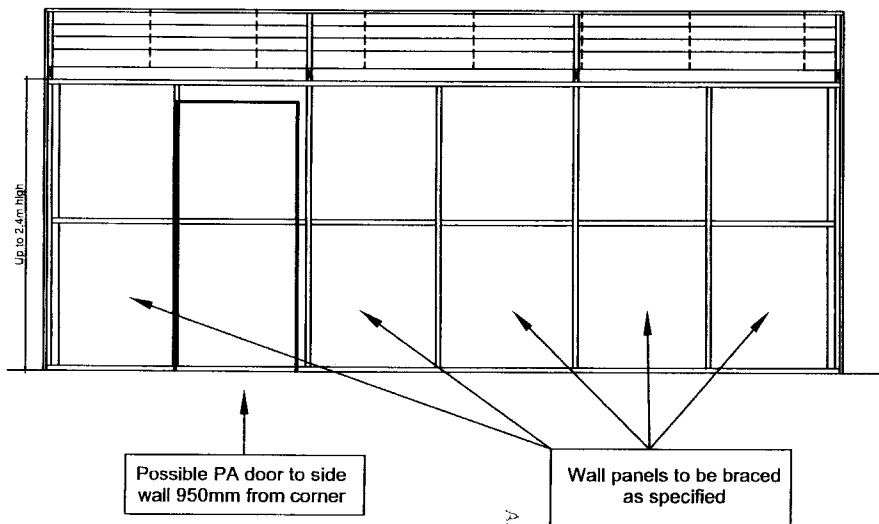
$$0.9 \times 8.44 = 7.6 \text{ kN}$$

$$N_t \leq 0.9 \times 8.44 \checkmark$$

6RV = 22 BU's per meter



Side Elevation



VERSATILE®

PROJECT TITLE

950 Series

DRAWING TITLE

Double Garage Bracing Plan

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

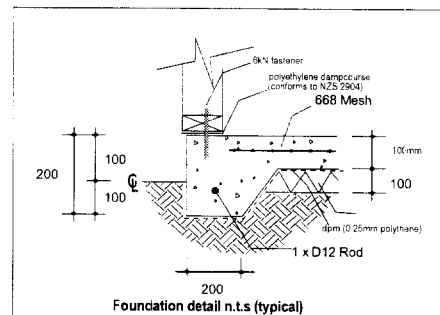
SCALE: NTS DATE: Mar 08
REVISION: Ver 1.4 FILE: 1234

SHEET:
OF:

2008 2814

APPROVED BUILDING CONSTRUCTION

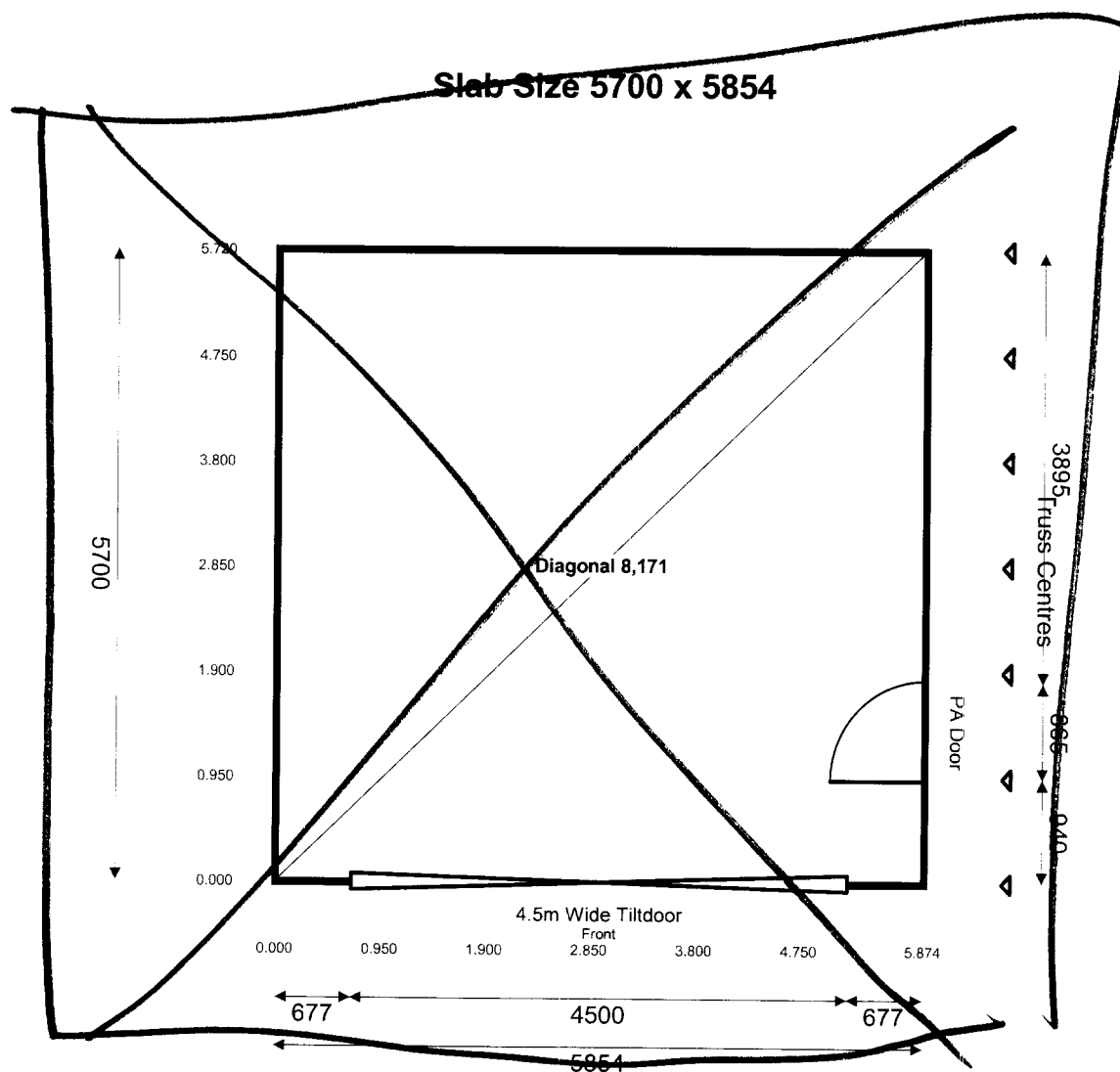
Job No.:	Richard-1439
Customer:	Mr. & Mrs. Heidi & David McQuillan
Site Address:	26 Shetland Street, Dunedin,
Customer Phone:	4676545 (Home) 021807809 (Mobile)
Contact:	Richard Hanrahan, Dunedin, (03) 488 5632
Building Size:	5.720m long x 5.874m wide
Stud Centres:	950mm
Foundation Type:	Foundation Garage
Reinforcing:	1 x D12 with 668 mesh to slab
DPM:	To all of slab
Concrete m³:	0
Fill m³:	0
Concrete Rating:	17.5Mpa
Concrete Floor Details:	Steel trowel finish
	Ramp not included
	Subject to final site inspection

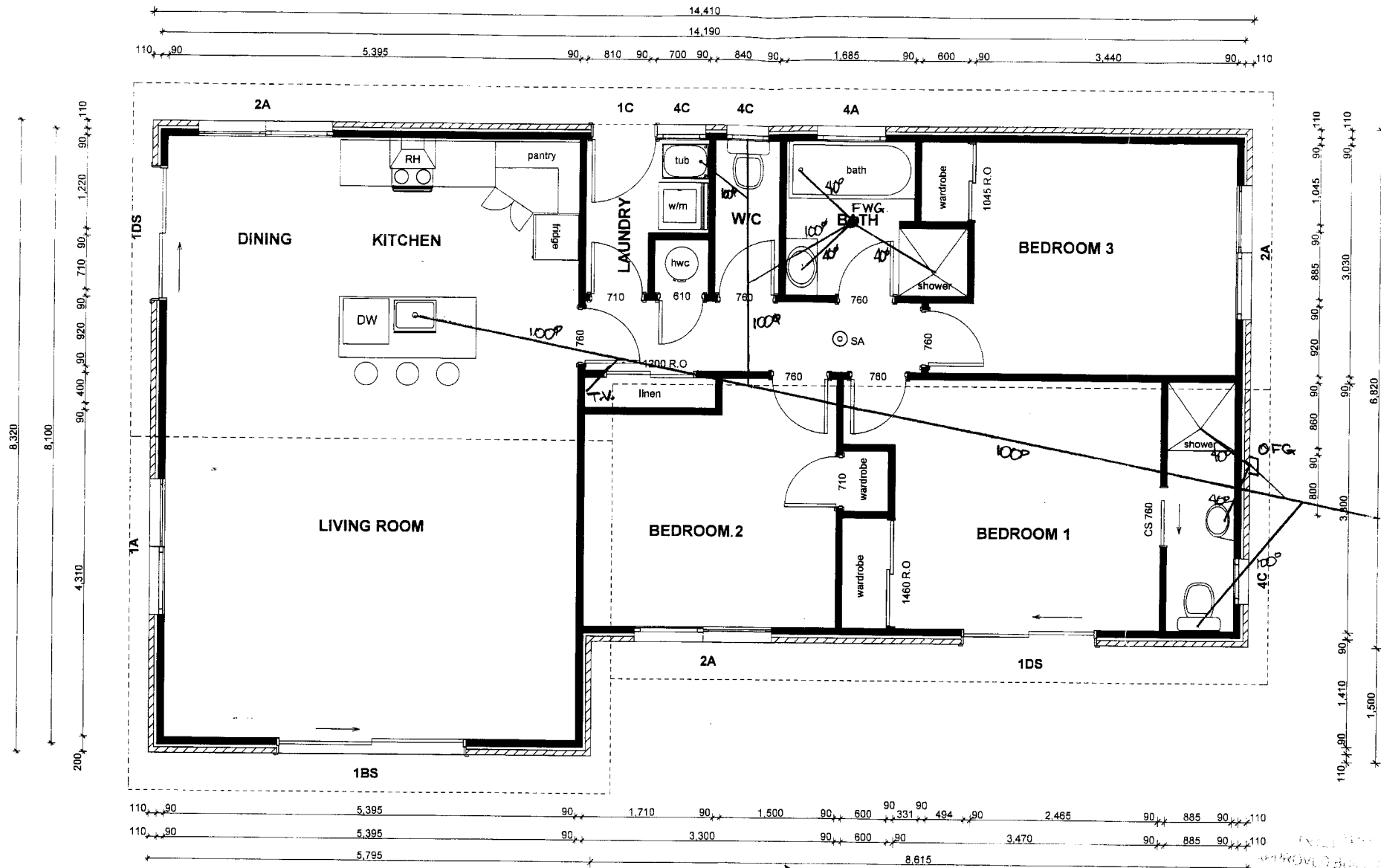


DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT 900, IMPDET

2008 2814

(notes to go here)





PROJECT TITLE

Proposed home for

Drainage

DRAWING TITLE

Edgcombe - Floor Plan

FLOOR AREA

107.07m²

Note: Construction to comply with NZS 3604 (1999) and the New Zealand Building Code 2004

SCALE: 1:50

DATE: Oct 08

DRAWN: VBL

FILE: Holly01+

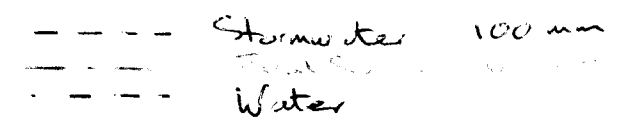
SHEET:

1

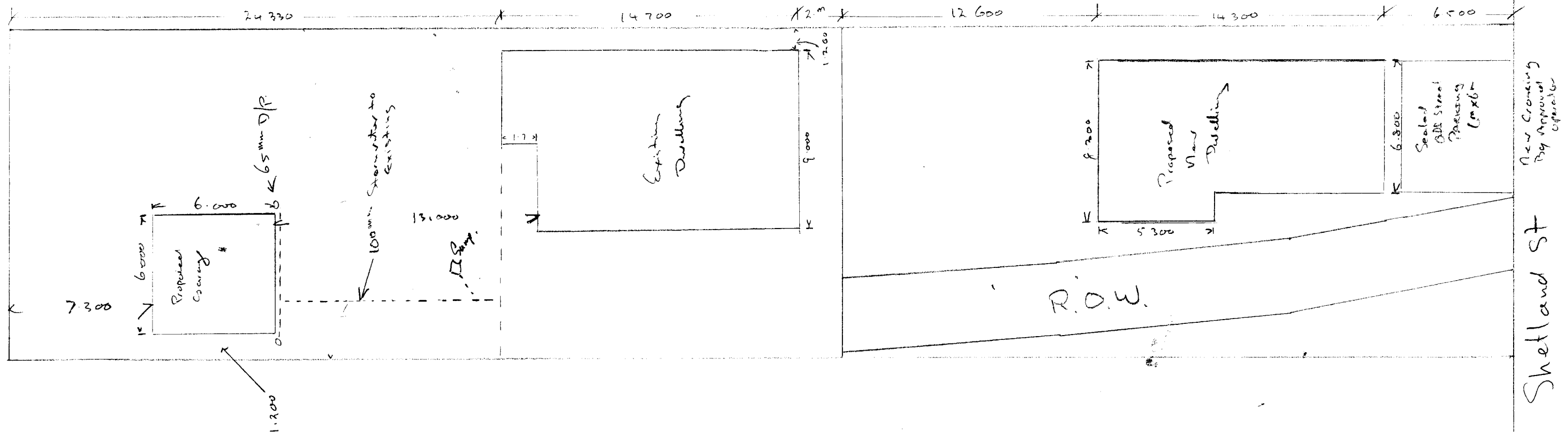
OF: 3

2008

284



SHEET: 1



Shetland St
New Crossing
By Approval
Copied

SITE DETAILS
LOT: PT Lot 82
DP: 1028
CT:

VERSATILE
BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 349-2555
FAX: (03) 349-1286

PROJECT TITLE
Proposed Building for:
H & D McQuillen

DRAWING TITLE
SITE PLAN

DUNEDIN CITY COUNCIL
Plans and Specifications Approved in accordance
with The New Zealand Resource Management Act and Approved
Documents. To be used for all applications
and produced on request.
Building
Planning
Health
NOTE
Date 29/1/09
Date 12/1/09
Date

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2008 2814

Note: Construction to comply with NZS 3604 (1999)
and the New Zealand Building Code 1992
REFER TO PRODUCER STATEMENT VB2000

SCALE: 1:200
DATE: 2008
FILE:
SHEET: 1
OF: 1

Code Compliance Certificate Form 7

Section 95, Building Act 2004

J J Hosie and M L Kora
26 Shetland Street
Dunedin 9010

The building

Street address of building: 26 Shetland Street Dunedin

Legal description of land where building is located: LOT 2 DP 376822

Building Name: n/a

Location of building within site/block number: n/a

Level/unit Number: n/a

Current, lawfully established, use: Housing

Number of occupants: 2

Year first constructed: 1940

The owner

Name of owner: J J Hosie and M L Kora

Contact person: J J Hosie and M L Kora

Mailing address: 26 Shetland Street, Dunedin 9010

Street address/registered office:

Mobile: 021 159 2943

Landline:

Email address: jhosie@doc.govt.nz

First point of contact for communications with the building consent authority: As above

Building work

Building Consent Number:

ABA-2021-1432 Install Metro Xtreme Rad Freestanding Heater in Dwelling

This CCC also applies to the following amended consents: n/a

Issued by: Dunedin City Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that-

(a) The building work complies with the building consent



Team Leader Inspections
On behalf of Dunedin City Council

Date: 14 July 2022



BUILDING CONSENT - ABA-2021-1432

(Section 51, Building Act 2004)

Form 5

The building

Street address of building: 26 Shetland Street Dunedin

Legal description of land where building is located: LOT 2 DP 376822

Building Name: n/a

Location of building within site/block number: n/a

Level/unit Number: n/a

The owner

Name of owner: J J Hosie and M L Kora

Contact person: J J Hosie and M L Kora

Mailing address: C/O Advance Construction Limited, 2 Waldron Crescent, Abbotsford, Dunedin 9018

Street address/registered office:

Mobile: 021 159 2943

Landline:

Email address: jhosie@doc.govt.nz

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Install Metro Xtreme Rad Freestanding Heater in Dwelling.

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Record of required site inspections (section 90(2) of the Building Act 2004)

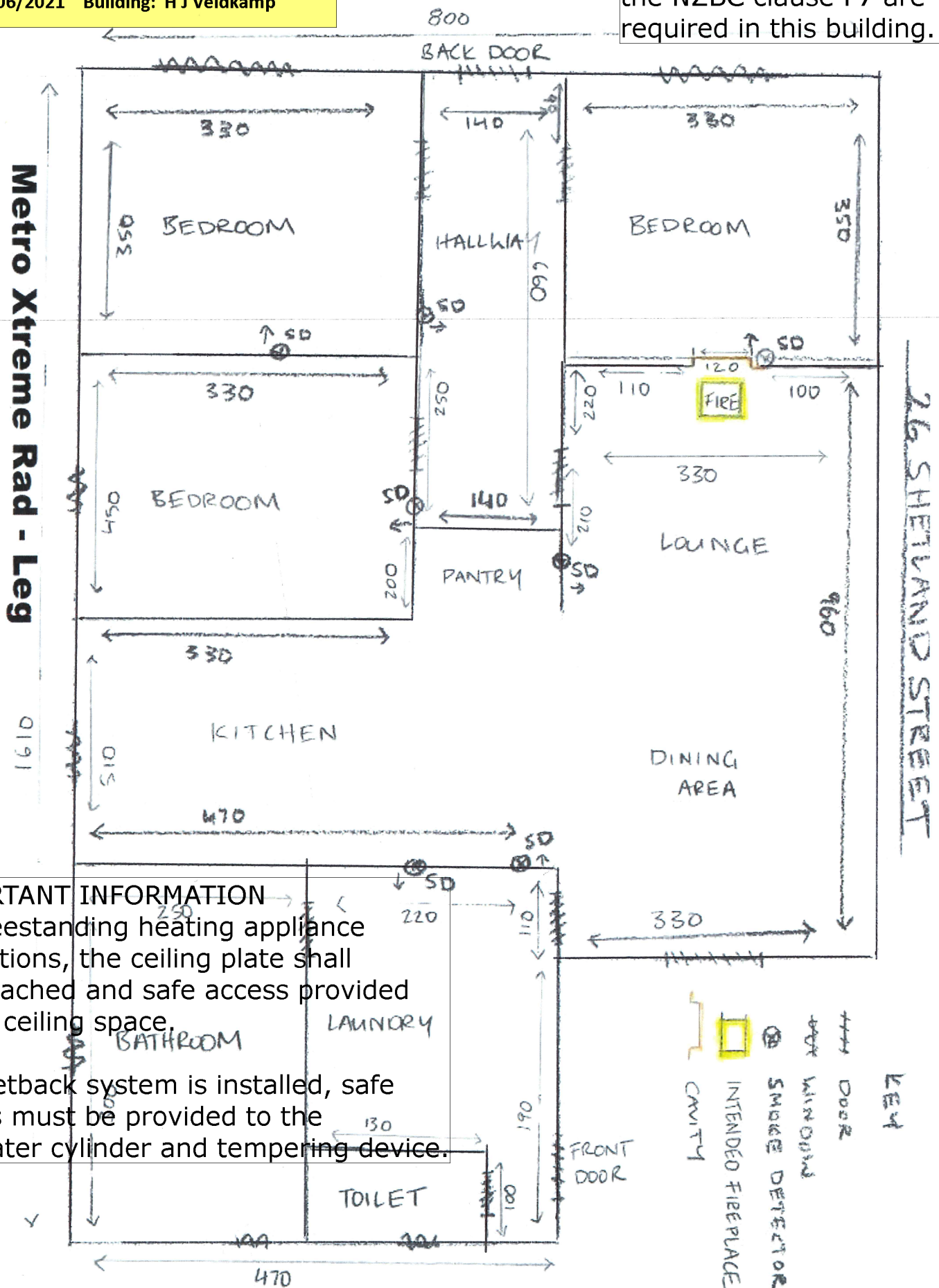
Grant Sutton

Authorised Officer

On behalf of Dunedin City Council

Date: 5 July 2021

DOMESTIC SMOKE ALARM
Smoke alarms complying with the NZBC clause F7 are required in this building.



IMPORTANT INFORMATION
For freestanding heating appliance inspections, the ceiling plate shall be detached and safe access provided to the ceiling space.
If a wetback system is installed, safe access must be provided to the hot water cylinder and tempering device.

Reference: RMA 2006-0590/5018459/220191/222713/103994
Enquires to: Ross Smith
Direct phone: 474-3819

7 August 2006

D. McQuillan & H. Greenfield
C/- Paterson Pitts Partners Limited
P.O. Box 1083
DUNEDIN

Attention: Brian Curtis

Dear Brian

RESOURCE CONSENT APPLICATION: **RMA 2006-0590**
26 SHETLAND STREET
DUNEDIN.

Your application for resource consent to subdivide the site at 26 Shetland Street, Dunedin, into two residential allotments were processed on a non-notified basis in accordance with sections 93 and 94 of the Resource Management Act 1991. Council's Senior Planner considered the application under delegated authority on 7 August 2006.

I advise that the Council has **granted** consent to the application. The full text of this decision commences on page 4. In accordance with Section 125 of the Resource Management Act 1991, this consent must be given effect to within five years from the date of this decision.

DESCRIPTION OF ACTIVITY

Resource consent is sought to subdivide the subject parcel in order to create two residential allotments as set out in the Paterson Pitts Partners Limited Plan No. 10133, dated 12 August 2003.

Proposed Lot 1 will comprise 556m² while proposed Lot 2 comprises an area of 683m², that contains the existing dwelling.

Lot 1, which will have frontage to Shetland Street, will be available for the construction of a new residential dwelling. The applicant is currently having plans drawn up for this. This lot has frontage to Shetland Street, from which practical access is available.

Lot 2 will contain the existing dwelling and will continue to operate in its current capacity. The establishment of a Right of Way will access this lot over Lot 1 to Shetland Street. The location of this proposed Right of Way will coincide with the existing gravel driveway that currently provides access to the existing dwelling on Lot 2.

The property is legally described as Part Allotment 82 Deposited Plan 1028 containing a total area of 1239m² and held in Certificate of Title OT112/278.

REASONS FOR APPLICATION

Dunedin City District Plan

The subject site is zoned **Residential 1** in the District Plan.

Subdivision

Within this zone, subdivision is a discretionary activity (restricted) where the application complies with Rules 18.5.3 – 18.5.6, 18.5.9 and 18.5.10 and each resulting 'site' complies with the minimum area and frontage required by the conditions attached to permitted activities for the zone in which the activity is located. In this instance, both allotments comply with the minimum area requirements of the Residential 1 zone of 500m². Lot 2 does not meet the minimum frontage requirements onto a legal road and the proposed subdivision is therefore considered to be a **non-complying activity** in accordance with Rule 18.5.2.

PLANNING ASSESSMENT

Affected persons

No affected person forms were submitted with the proposed subdivision. No persons were considered to be adversely affected by the subdivision for the reasons set out in the 'Effects on the Environment' section below. There are also no special circumstances that warrant the consent of the adjoining property owners/occupiers in terms of the Resource Management Act 1991. The two lots will fully comply for residential purposes. A new dwelling is proposed to be erected on proposed Lots 1.

Effects on the Environment

The following assessment of effects on the environment has been carried out in accordance with section 104(1) of the Resource Management Act 1991. It addresses those assessment matters listed under section 18.6.1 and 20.6 of the District Plan considered relevant to the proposed activity, and is carried out on the basis that the environment is characterised by a mix of well established low to medium density residential development, with houses typically single story surrounded by established lawns and gardens.

Any actual or potential adverse effects on the environment of allowing the activity are considered to be no more than minor for the following reasons:

1. Baseline Considerations

Under sections 94A(a) and 104(2) of the Resource Management Act 1991, the Council may disregard an adverse effect of the activity on the environment if the plan permits an activity with that effect. That is, an application can be assessed by comparing it to the existing environment and development that could take place on the site as of right, without a resource consent, but excluding development that is fanciful. Two residential units are permitted on the subject site. Accordingly, it is considered the subdivision will not cause any adverse effects on the water supply or sewerage networks, and will not cause any adverse effects on drainage.

2. Were it not for the technical non-compliance of access to Lot 2, the subdivision would have a planning status of discretionary (restricted) under the District Plan. Council's discretion would be restricted to the matters contained in section 18.5.1 of the District Plan. These have been considered in assessing this application, and as the proposal fully complies with the relevant requirements, other than access, for subdivision activities under the District Plan, the effects generated by the proposal have been anticipated by the Plan and assessed as being no more than minor. On this basis no parties are considered affected by the proposal.

3. Council's Planner, Transportation Planning, has reviewed the proposal. She noted the following comments: Shetland Street is a '**Local Roads**'.

Transportation Planning considers the effects of the proposal on the transportation network to be less than minor provided the following condition of consent is attached to any consent granted: (*Assessment matters 18.6.1(c), (i), and (m)*).

1. The full length of the Right of Way is to be formed, hard surfaced and adequately drained within the site.

The following advice notes are recommended:

1. The vehicle access from the carriageway of Shetland Street to the property boundary is over road reserve and is therefore required to be built in accordance with the Dunedin City Council Vehicle Entrance Specification (to be obtained from Council's Roading Department).
 2. The carparking requirements for Lot 1 will be assessed at the time of lodgement of building consent for any residential units there, as parking is calculated based on the floor area of the dwelling.
 3. A formal agreement should be drawn up between the owners of the two lots to clarify their responsibilities regarding the maintenance of the Right of Way".
4. Comments were sought from the Council's water and Waste Services Business Unit.

The effects of the proposal in relation to the service infrastructure (assessment matter 8.13.10) have been assessed by the Council's Water and Waste Services Business Unit.

It is therefore considered that the proposal will not raise any significant issues in terms of the service infrastructure. The existing facilities can be adapted to serve the proposed development, with matters of design for services for the new dwelling on Lot 1, being addressed at the building consent stage.

CONSENT DECISION

*That pursuant to sections 34A(1) and 104B and after having regard to Part II matters and sections 104 and 104D of the Resource Management Act 1991, the Dunedin City Council **grants** consent for a **non-complying** activity to subdivide the site at 26 Shetland Street, Dunedin, legally described as Part Allotment 82 Deposited Plan 1028 Certificate of Title OT112/278, into two residential sites, subject to the following conditions imposed under section 108 and 220 of the Act:*

1. *That the proposed activity shall be given effect to generally in accordance with the plans prepared by Paterson Pitts Partners Limited titled 'Lots 1 & 2 Being a Proposed Subdivision of Pt Lot 82 Deposited Plan 1028 ref 10133 dated 12 August 2003', and the information submitted as part of resource consent application RMA 2006-0590 received by Council on 11 July 2006, except where modified by the following conditions:*
2. *That prior to certification pursuant to section 223 of the Resource Management Act 1991, the applicant shall ensure the following:*

- (a) *If a requirement for any easements for services is incurred during the survey then these easements shall be granted or reserved and included in the Memorandum of Easements. This includes all easements for private drainage.*
 - (b) *All rights reserved for any necessary drainage easements for this subdivision.*
 - (c) *The Right of Way easement shall be granted or reserved.*
3. *Prior to certification pursuant to section 224(c) of the Resource Management Act 1991, the applicant shall complete the following:*
- (a) *That a separate water service at the street boundary shall be installed to serve new Lot 2, therefore an "Application for Water Supply" shall be submitted to the Water and Waste Services Business Unit.*
 - (b) *That details of how new Lot 2 is to be served for water shall be provided to the Water and Waste Services Business Unit for approval. This detail shall accompany the application for water supply.*
 - (c) *The full length of the Right of Way shall be formed to a minimum width of 3.0 metres, hard surfaced and adequately drained within the site.*

ADVICE NOTES

- (1) *In addition to the conditions of a resource consent, the Resource Management Act establishes through sections 16 and 17 a duty for all persons to avoid unreasonable noise, and to avoid, remedy or mitigate any adverse effect created from an activity they undertake. A similar responsibility exists under the Health Act 1956.*
- (2) *The vehicle access from the carriageway of Shetland Street to the property boundary is over road reserve and shall to be built in accordance with the Dunedin City Council Vehicle Entrance Specification (to be obtained from Council's Roading Department).*
- (3) *The carparking requirements Lot 1 shall be assessed at the time of the lodgement of building consent for any residential units there as parking is calculated based on the floor area of the dwelling.*
- (4) *A formal agreement should be drawn up between the owners of the two lots to clarify their responsibilities regarding the maintenance of the Rights of Way.*
- (5) *The installation and connection of new water reticulation to the existing public water system will be carried out after the applicant (subdivider) has completed and submitted an 'Application for Water form to the Council and following the applicant's (subdivider's) acceptance of the quote for the required work (as per the Dunedin City Councils Terms and Conditions for the Supply of Water and the Dunedin City Council Code of Subdivision (Part 4)). A quote for the required work can be obtained from either the Dunedin City Council (DCC) or an approved water supply connection installer (AWSCI).*
- (6) *That Stormwater run-off is managed during any earthworks and construction stages. Consideration should be given to appropriate actions and/or measures that can be implemented in order to control and contain stormwater run-off from the site during these stages.*

REASONS

Effects

In accordance with section 104(1)(a) of the Resource Management Act 1991, the actual and potential adverse effects associated with the proposed activity have been assessed, and are outlined above. It is considered that the environmental effects of the proposed activity will be no more than minor.

District Plan – Objectives and Policies

In accordance with section 104(1)(b) of the Resource Management Act 1991, the Objectives and Policies of the District Plan were taken into account in assessing the application. The proposal has been assessed against the relevant provisions identified through Section 18.6.1 of the District Plan.

The proposal is considered to be consistent with the following objectives and policies:

Sustainability, Residential, and Transportation Sections

- **Objective 4.2.1 and Policies 4.3.1 and 4.3.10** seek to maintain and enhance amenity values and ensure development is considered in a holistic manner.
- **Objective 8.2.1 and Policy 8.3.1** seek to ensure the adverse effects on the amenity values and character of residential areas are avoided, remedied or mitigated.
- **Objective 8.2.4 and Policy 8.3.4** seek to ensure that the existing urban service infrastructure is sustained for the use of future generations.
- **Objective 20.2.2 and Policy 20.3.4** seek to ensure that land use activities are undertaken in a manner, which avoids, remedies, or mitigates adverse effects on the transportation network.

Subdivision Section

- **Objective 18.2.1** seeks to ensure that subdivision takes place in a coordinated and sustainable manner.
- **Objective 18.2.6** seeks to ensure that any adverse effects from subdivision and subsequent land use activities are avoided, remedied or mitigated.
- **Objective 18.2.7 and Policy 18.3.7** aim to ensure that subdividers provide the necessary infrastructure within subdivisions to avoid, remedy, or mitigate adverse effects of the land use at no cost to the community.

The proposal is also assessed as meeting the anticipated environmental results of sections 4.5, and 18.7 of the District Plan.

Section 104D

In accordance with section 104D of the Resource Management Act 1991, Council can only grant consent to a non-complying activity if either:

- a) the adverse effects of the activity will be no more than minor; or
- b) the proposal will not be contrary to the objectives and policies of the District Plans.

It has been determined that the adverse effects of the activity will be no more than minor, in the issues addressed under the heading 'Effects on the Environment' above, and that the proposal is not contrary to the objectives and policies of the District Plan. Therefore, Council can consider granting consent to the proposal.

Other Matters (s104(1)(c))

Recent judgements made by the Environment Court, direct Council to be wary of granting consent to non-complying activities. The Environment Court is now directing Council to put significant weight on whether or not granting consent to non-complying proposals could adversely affect the integrity of the Plan. That is, could the activity create an undesirable precedent that could compromise the integrity of the provisions of the District Plan, or is the site or the proposed activity a 'true exception'.

I consider that granting consent to this subdivision will not threaten the integrity or consistent administration of the District Plan. In my opinion, the circumstances of the application warrant the granting of consent to this non-complying subdivision. The proposed access arrangement satisfies the intention of the District Plan. A true exception is not necessary.

Part II Matters

The proposed activity has also been assessed in terms of Part II matters of the Resource Management Act 1991. For the reasons outlined above, the proposed activity is considered to be not contrary to section 5(2)(c); "Avoiding, remedying, or mitigating any adverse effects of activities on the environment", section 7(c) "The maintenance and enhancement of amenity values" and section 7(f) "The maintenance and enhancement of the quality of the environment."

COMPLIANCE WITH CONDITIONS

It is the consent holder's responsibility to comply with any conditions imposed on their resource consent prior to and during (as applicable) exercising the resource consent. Failure to comply with the conditions may result in prosecution, the penalties for which are outlined in Section 339 of the Resource Management Act 1991.

LAPSING OF CONSENT

This consent shall lapse after a period of 5 years from the date of this decision unless the consent has been given effect to during this period. This period may be extended on application to the Council pursuant to Section 125 of the Resource Management Act 1991.

BUILDING CONSENT

This is a resource consent. A building consent may be required before any work is undertaken on the site. Please check with the Building Control Office, Development Services to establish whether or not a building consent is required.

RIGHTS OF APPEAL

In accordance with section 357 of the Resource Management Act 1991, the consent holder may object to this decision or any condition within 15 working days of the decision being received, by applying in writing to the Dunedin City Council at the following address:

The Chief Executive
Dunedin City Council
P O Box 5045
DUNEDIN

Attn: Senior Planner – Enquiries 1st Floor

RECOMMENDATION DEVELOPMENT CONTRIBUTIONS DECISION

In accordance with Section 198 of the Local Government Act 2002 and the Dunedin City Council Policy on Development Contributions of the adopted 2006/07 – 2015/16 Community Plan, a development contribution of \$373.30 (including GST) is payable on this development.

This contribution has been calculated as set out below:

Contribution Area	Rate per Unit of Demand 2006/07	Additional Units of Demand	Contribution excluding GST (\$)
Reserves – City wide	\$331.83 per unit	1	331.83
Water - Variation 9B	\$2.21 per square metre site area	Nil	
Waste water - Variation 9B (Area A only – refer to Map E1 in policy)	\$3.11 per square metre site area	Nil	
GST:			\$41.47
Total:			\$373.30

Payment shall be made at your earliest convenience but shall be prior to the issue of the 224c certificate for the development.

In the event that the development contribution for this consent is not paid, the Council may pursuant to section 208 of the Local Government Act 2002:

- (a) withhold a certificate under section http://www.dcc.govt.nz/sdCGI-BIN/om_isapi.dll?clientID=94309105&hitsperheading=on&infobase=statutes.nfo&jump=a1991-069%2fs.224-ss.0&softpage=Document42 - JUMPDEST_a1991-069/s.224-ss.0224(c) of the Resource Management Act 1991 and
- (b) register the development contribution under the http://www.dcc.govt.nz/sdCGI-BIN/om_isapi.dll?clientID=94309105&hitsperheading=on&infobase=statutes.nfo&jump=a1928-018&softpage=Document42 - JUMPDEST_a1928-018 Statutory Land Charges Registration Act 1928, as a charge on the title of the land in respect of which the development contribution was required.

Please note that if you apply for any future consent that amends or creates additional development you may be required to pay additional development contributions. You will be advised of this when you apply for additional consents.

Yours faithfully

Ross Smith
PLANNER