

DISCLAIMER

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Dunedin City Council – Land Information Memorandum

Property Address: 12 Shaw Street Mosgiel

Prepared for: Huda Hidma Shaik and Vilayat Kalam Shaik
Prepared on: 17-Mar-2026

Property Details:

Property ID	5055475
Address	12 Shaw Street Mosgiel
Parcels	LOT 34 DP 9692

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 17-Mar-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

Contents

Dunedin City Council – Land Information Memorandum	1
Property Address: 12 Shaw Street Mosgiel.....	1
Prepared for: Huda Hidma Shaik and Vilayat Kalam Shaik.....	1
Prepared on: 17-Mar-2026.....	1
Property Details:.....	1
Disclaimer:	1
s44A(2)(a) Information identifying any special feature or characteristics of the land	4
District Plan Hazard Information.....	4
Other Natural Hazard Information.....	4
Flood Hazards	4
Land Stability Hazards	6
Coastal Hazards	6
Seismic Hazards	6
Other Natural Hazards.....	7
Otago Regional Council Hazard Information.....	7
Contaminated Site, Hazardous Substances and Dangerous Goods	8
Contaminated Site Information.....	8
Historic Dangerous Goods Licence(s)	8
Hazardous Substances.....	8
s44A(2)(b) Information on private and public stormwater and sewerage drains.....	8
Drainage	8
Foul Sewer and Waste Water	8
Public Sewer Sheets.....	9
Dunedin City Council Private Drainage plans incomplete.....	9
s44A(2)(bb) Information Council holds regarding drinking water supply to the land	9
Water Supply	9
s44A(2)(c) Information relating to any rates owing in relation to the land	10
Rates Details	10
Rates Assessment Details	10
s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land	10
(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and.....	10
(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004	10
Building and Drainage Consents.....	10
Building and Drainage Permits	11
Building Notices	11
Resource Consents	11
Consent Notices.....	11
Alcohol Licensing	12
Health Licensing.....	12
s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006	12
s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use	12
District Plan	12

District Plan Map	12
s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation.....	13
s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004.....	13
Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.	13
Building Information.....	13
Drainage	13
Minimum Floor Levels	13
Planning	13
Resource Consents within 50m of 12 Shaw Street Mosgiel.....	13
3 Waters	15
Information Regarding Watercourses	15
Transport	16
Glossary of Terms and Abbreviations.....	17
Consent, Permit, Licence & Complaint types	17
Terms used in Permits & Consents.....	17
General terms.....	18
Appendices	19

s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

OVERLAND FLOW PATH

Upper Taieri Flood Level including 500mm Free Board

Description: The property is identified within the report “Minimum Floor Levels for Flood Vulnerable Areas” which seeks to establish minimum floor levels for flood vulnerable areas across the municipality. Although the report is known to the Dunedin City Council the council has not assessed the report for correctness. the applicant is solely responsible for ensuring that the land is suitable for a particular purpose including development. Recommended Minimum Floor Levels(flood level plus 500mm free board) vary for each property under each different sub area.

GHD. (2015). *Minimum floor levels for flood vulnerable areas.* GHD.

[https://2gp.dunedin.govt.nz/2gp/documents/Section32_Background_Documents/Natural_Hazards/Dunedin%20City%20Council,%20Minimum%20Floor%20Levels%20for%20Flood%20Vulnerable%20Areas%20\(GHD,%20March%202015\).pdf](https://2gp.dunedin.govt.nz/2gp/documents/Section32_Background_Documents/Natural_Hazards/Dunedin%20City%20Council,%20Minimum%20Floor%20Levels%20for%20Flood%20Vulnerable%20Areas%20(GHD,%20March%202015).pdf)

Commissioned by: Dunedin City Council

Purpose: The purpose of this report is to identify minimum floor levels for residential development in flood vulnerable areas of Dunedin City, to ensure that buildings are protected against flooding to an appropriate level of risk.

Scope of report: Flood-prone and low-lying parts of Dunedin City

Reference Number: 12074

OVERLAND FLOW PATH

Flood Hazard Area 20

Description: Flood Hazard Area 20 - Mosgiel, classified as 'Hazard 3' in 2GP,

<p>Payan, J & Goldsmith, M. (2014). <i>Flood hazard on the Taieri Plain and Strath Taieri – review of Dunedin City District Plan: natural hazards</i>. Otago Regional Council.</p>
<p>https://www.orc.govt.nz/media/1722/flood-hazard-on-the-taieri-plain.pdf</p>
<p>Commissioned by: Dunedin City Council</p>
<p>Purpose: As part of its current review of its district plan, the Dunedin City Council (DCC) is reviewing the way it manages the use of land, so that the effects of natural hazards (including the effects of climate change) can be avoided, or adequately mitigated. The Otago Regional Council (ORC) is supporting the DCC by collating and presenting information on natural hazards to help inform this review. This present report describes the characteristics of flood hazard on the Taieri Plain and the Strath Taieri.</p>
<p>Scope of report: Taieri Plain in Otago</p>

<p>Otago Regional Council. (2015). <i>Flood hazard on the Taieri Plain – review of Dunedin City District Plan: natural hazards, first revision: August 2015</i>. Otago Regional Council.</p>
<p>https://www.orc.govt.nz/media/1722/flood-hazard-on-the-taieri-plain.pdf</p>
<p>Commissioned by: Dunedin City Council</p>
<p>Purpose: As part of its current review of its District Plan, the Dunedin City Council (DCC) is reviewing the way it manages the use of land, so that the effects of natural hazards (including the effects of climate change) can be avoided, or adequately mitigated. The purpose of this report is to document the nature and extent of flood hazard on the Taieri Plain, to support the development of hazard maps and provide information to guide land-use planning and floodplain management.</p>
<p>Scope of report: Taieri Plain in Otago</p>

Otago Regional Council. (2014). <i>Review of ORC Flood Hazard Advice</i> . GHD.
https://www.orc.govt.nz/media/1722/flood-hazard-on-the-taieri-plain.pdf
Commissioned by: Dunedin City Council
Purpose: This report was prepared to help Dunedin City Council assess how reliable and fit for purpose the Otago Regional Council’s flood hazard advice is for use in the District Plan Review. In short, it evaluates the methods, accuracy, and limitations of ORC’s flood hazard reports so DCC can confidently use them for planning and in defending the plan against challenges.
Scope of report: The geographic scope of the report covers the Dunedin City Council district, focusing on terrestrial flood hazards across a range of areas

Reference Number: 11582

Land Stability Hazards

LAND MOVEMENT

Alluvial Fans - active floodwater-dominated 50000_1999_100m

Description: Active floodwater-dominated. Sheet floods and channel floods carrying sediment are considered possible within the next 100 years. Mapscale:50000. Map Accuracy:1999, accuracy +/-100m, NZMG1949

Reference Number: 10106

Coastal Hazards

No information.

Seismic Hazards

LIQUEFACTION

Domain B

Description: Ground predominantly underlain by poorly consolidated river or stream sediments with shallow groundwater, with a moderate likelihood of liquefaction-susceptible materials being present

Barrell, D. J. A., Glassey, P. J., Cox, S. C., & Smith Lyttle, B. (2014). <i>Assessment of liquefaction hazards in the Dunedin City district</i> . GNS Science.
https://www.dunedin.govt.nz/_data/assets/pdf_file/0011/476084/Assessment-of-liquefaction-hazards-in-the-Dunedin-City-District.pdf

Commissioned by: Otago Regional Council
Purpose: The Otago Regional Council (ORC) contracted GNS Science to assess liquefaction hazards in the Dunedin City territorial authority area (Dunedin district), and delineate areas that may be susceptible to ground damage as a result of liquefaction, and the closely allied phenomenon of lateral spreading. This report presents the results of that assessment.
Scope of report: Dunedin City district

Reference Number: 11407

INTENSIFIED SHAKING

Earthquake Likely Amplification 1:100000 Map

Description: This area has been identified as lying within a zone susceptible to amplified shaking in an earthquake and the area of likely amplification of earthquake intensity by 1 on MM Scale.

Dunedin City Lifelines Project. (1999). <i>Dunedin City Lifelines Project Report</i> . Dunedin City Lifelines Project.
https://www.civildefence.govt.nz/assets/Uploads/documents/lifelines/dunedin-lifelines-report-1999.pdf
Commissioned by: Dunedin City Council and Otago Regional Council
Purpose: To assess the vulnerability of Dunedin’s lifeline utilities to natural hazards and to develop strategies that reduce risks and strengthen the city’s resilience.
Scope of report: The Dunedin City Council area, bounded west by Flagstaff and Three Mile Hill, east by the Otago Harbour entrance, north by Waitati, and south by Brighton.

Reference Number: 10111

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement.

This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **3rd October 1995**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2055475
Address	12 Shaw Street Mosgiel
Valuation Number	28010-27911
Latest Valuation Details	
Capital Value	\$600,000
Land Value	\$350,000
Value of Improvements	\$250,000
Area (Hectares)	0.0668HA
Units of Use	1
Current Rates	
Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$3,836.03
Rates Outstanding for Year	\$959.03

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	/CCC		
	Refused		

Lapsed - Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-1993-320821](#) Building Consent - Heater

Lodgement Date 22-Apr-1993
Decision Granted
Decision Date 14-May-1993
Current Status **CCC Issued**
Previous Number ABA931823
(Applications before 2007)

[ABA-1999-345989](#) Building Consent - Erect Carport

Lodgement Date 02-Mar-1999
Decision Granted
Decision Date 22-Apr-1999
Current Status **CCC Issued**
Previous Number ABA990474
(Applications before 2007)

[ABA-2010-1679](#) Building Consent - Fire - Evolution EF5 Pellet Fire

Lodgement Date 17-Aug-2010
Decision Granted
Decision Date 20-Aug-2010
Current Status **CCC Issued**
Previous Number
(Applications before 2007)

Building and Drainage Permits

[H-1963-255870](#) AAM19630226 A071145 - Erect Garage (Robertson). The permit was lodged on 24-Oct-1963.
[H-1961-254908](#) AAM19610019 33936 - Erect Dwelling (Robertson). The permit was lodged on 05-May-1961.
[H-1961-255192](#) AAM19610305 071145 - Erect Shed (Robertson). The permit was lodged on 19-Apr-1961.
[H-1961-255193](#) AAM19610306 1425 - Plumbing and Drainage for New Dwelling (Robertson). The permit was lodged on 14-Jun-1961.
[H-1966-256851](#) AAM19660207 B082400 - Add Bedroom (Robertson). The permit was lodged on 12-Aug-1966.
[H-1976-260567](#) AAM19760364 H28337 - Add Porch (Robertson). The permit was lodged on 28-Apr-1976.

Building Notices

No Building Notices

Resource Consents

There are no resource consents for this property.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan (“The 2GP”) is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 1 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Hazard 3 (flood) Overlay Zone

Mapped Areas

- Wahi Tupuna
 - Name: Kokika o Te Matamata (area surrounding Mosgiel)
 - ID: 56

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 12 Shaw Street Mosgiel

[5055452 13 Shaw Street Mosgiel](#)

[LUC-2015-8](#) Land Use Consent addition to a dwelling. The outcome was Granted on 10/02/2015.

[5055455 28 Inglis Street Mosgiel](#)

[LUC-2015-554](#) Land Use Consent erect a garage within the front yard on the site and to reauthorise the existing garage and shed. The outcome was Granted on 29/01/2016.

[5055474 10 Shaw Street Mosgiel](#)

[LUC-1989-354670](#) Land Use Consent Ref: P.A 89/2. Tunnel house for all year round garden.. The outcome was Granted on 30/05/1989.

[5055478 18 Shaw Street Mosgiel](#)

[LUC-2008-196](#) Land Use Consent Erect a garage. The outcome was Granted on 01/05/2008.

[5055479 20 Shaw Street Mosgiel](#)

[POL-2014-12](#) Planning Other Legislation removal of building line restriction. The outcome was Granted on 27/03/2014.

[5139265 58 Ayr Street Mosgiel](#)

[LUC-2025-141](#) Land Use Consent Authorise residential activity on undersized allotments (SUB-2025-40). There has been no outcome yet.

[SUB-2025-40](#) Subdivision Consent A 650-lot fee simple subdivision across two (2) stages involving PDAs. There has been no outcome yet.

[SUB-2023-7](#) Subdivision Consent subdivision resulting in two new sites. The outcome was Granted on 22/03/2023.

[RMA-2000-364178](#) Resource Management Act (Historical Data) TO ERECT A NEW DWELLING ON THE PROPOSED ALLOTMENT 5 year consent period (Notified - Non Complying). The outcome was Granted on 18/10/2000.

[RMA-2000-364166](#) Resource Management Act (Historical Data) SUBDIVISION INTO TWO ALLOTMENTS (Notified - Non Complying). The outcome was Granted on 18/10/2000.

[RMA-1994-351469](#) Resource Management Act (Historical Data) RIGHT OF WAY OVER PT SECS 9 & 10 BLK III EAST TAIERI SD IN FAVOUR OF PT SEC 4 BLK III EAST TAIERI SD (Non-Notified - Non Complying).

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Encroachment on road reserve – privately owned concrete path.

On the property's frontage there is a concrete path that appears to be located on road reserve. This may remain at the pleasure of Council. Council accepts this situation but accepts no liability. Maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

MH Manhole
PL Plumbing
PLB Plumbing
PTE Private
SIS Sewer in section
WC Water course
WT Water table
SW Stormwater

General terms

RDMS Records and Document Management System

Appendices



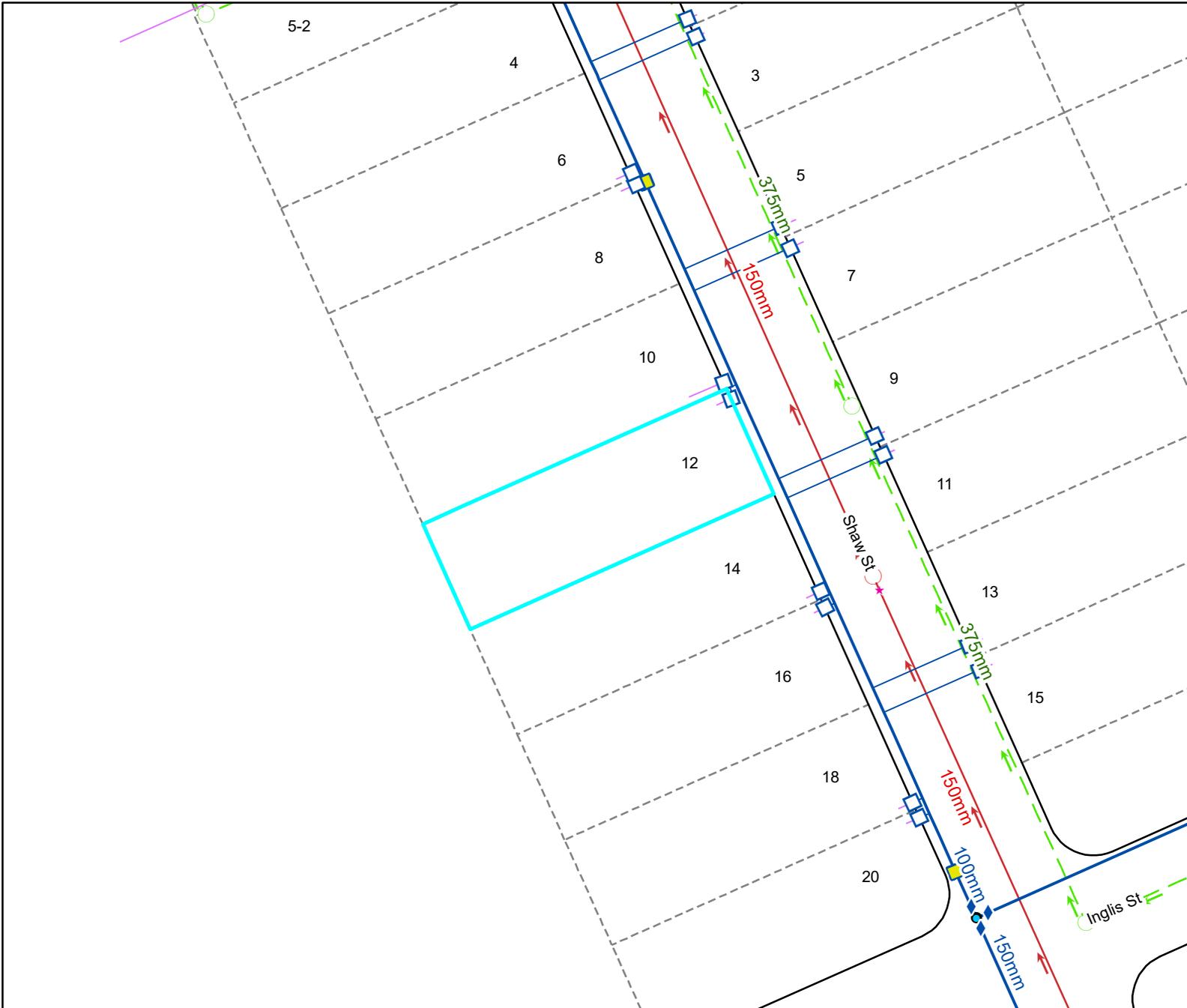
Photographic Map

Scale at A4:
1:750
11/03/2026
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PARCEL LINES CAN VARY FROM
LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only
and is not accurate to surveying, engineering
or orthographic standards. Every effort
has been made to ensure correctness and
timeliness of the information presented.

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2006, copyright Terralink International Ltd.



Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Rider
	Water Valve - Sluice		Scour
	Water Hydrant		Water Service Lateral
	Water Backflow Preventor - RPZ		Water Fire Service Lateral
			Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel		Road/Rail
	Railway Centreline		Hydro		Motorway Parcels
			Strata		Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

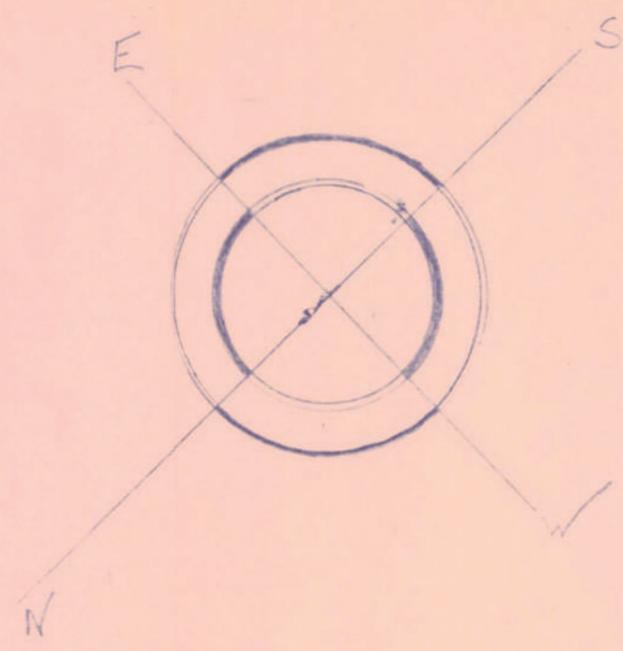
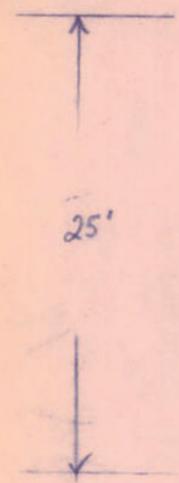
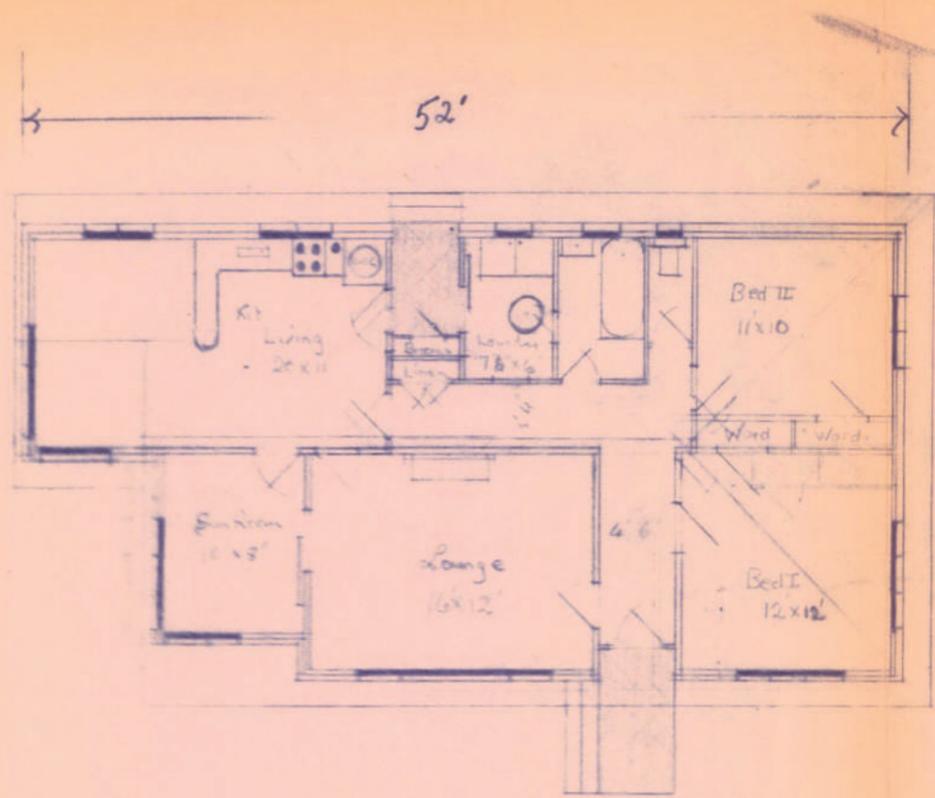
Information shown is the best available at the time of publishing. The accuracy and completeness of this information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
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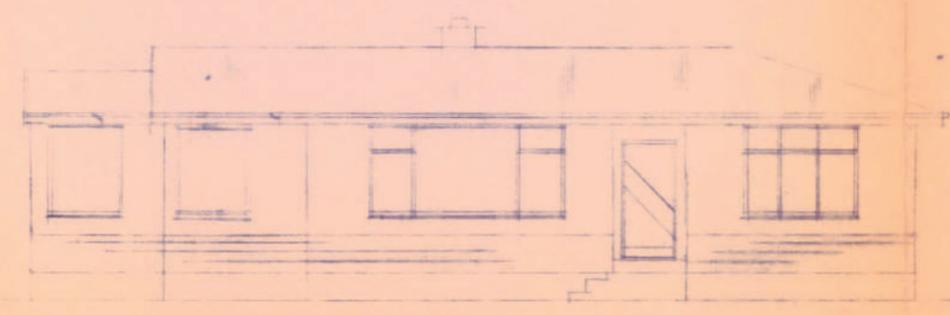
2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ.
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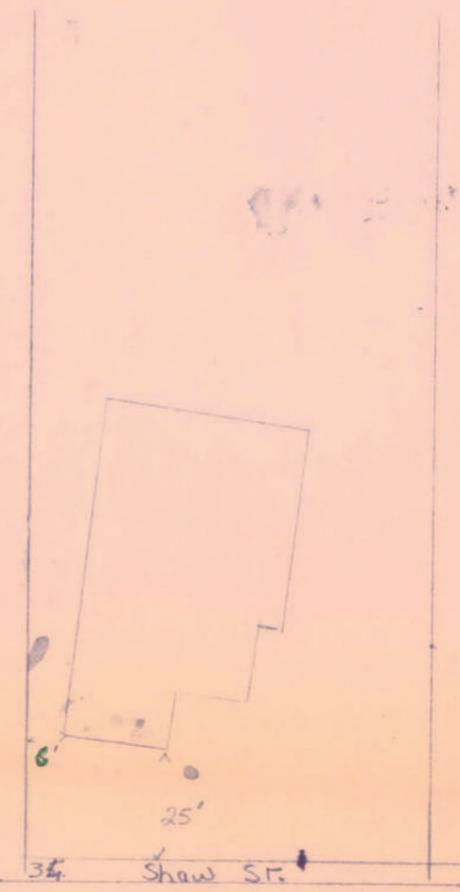
Proposed Residence for

Mr. J. B. Robertson

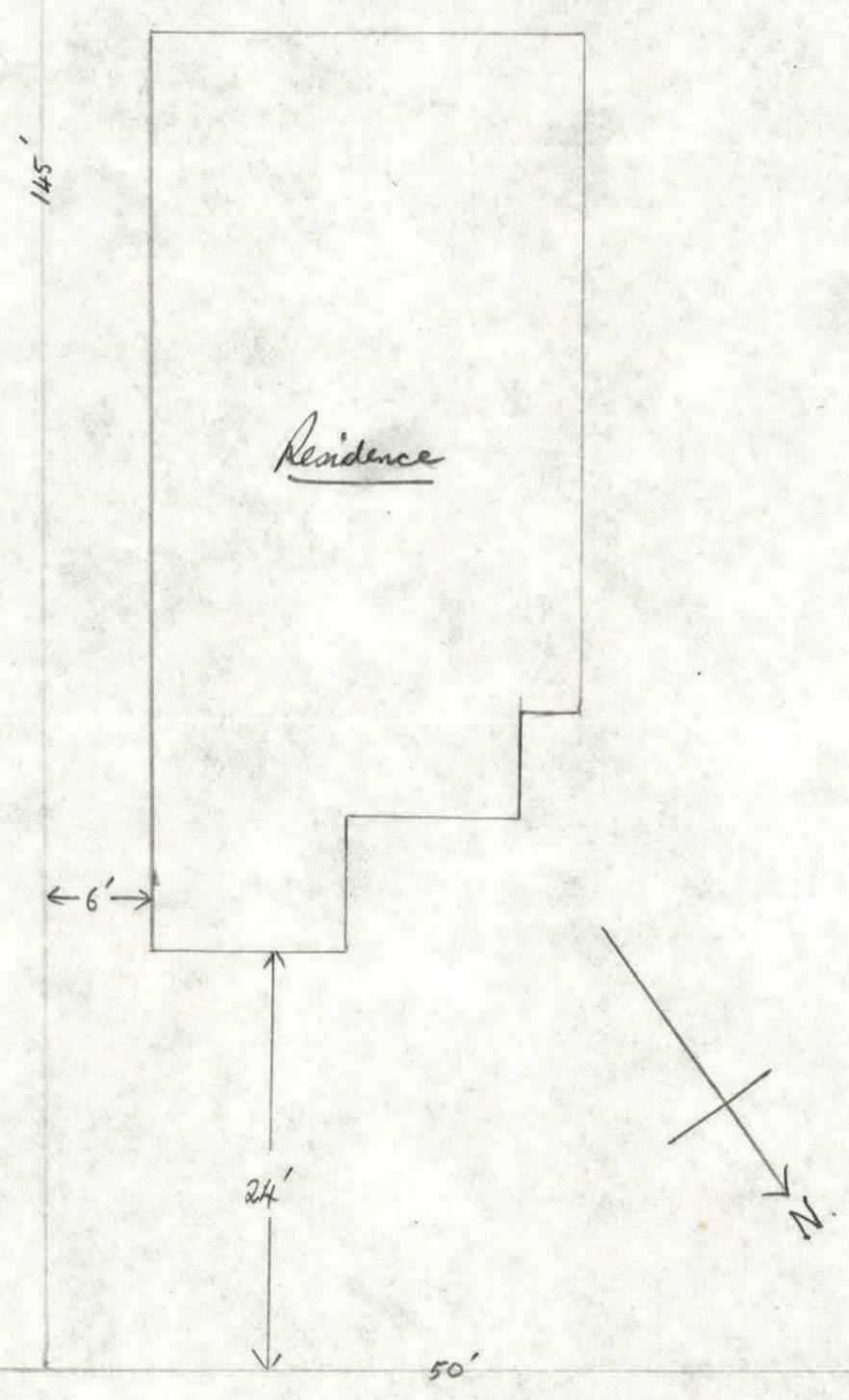
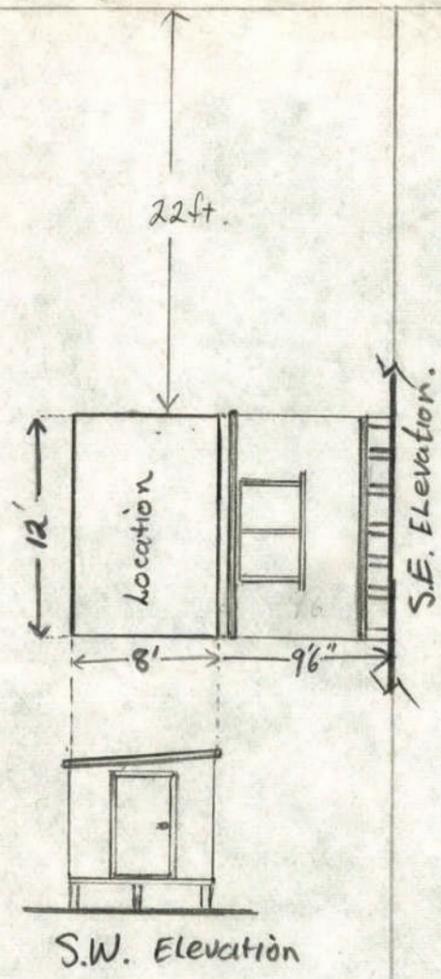
Section 34 Shaw St Mosgiel



N.W. Elevation



Optim. Roof
Wood



SHAW STREET:

REFERENCE:

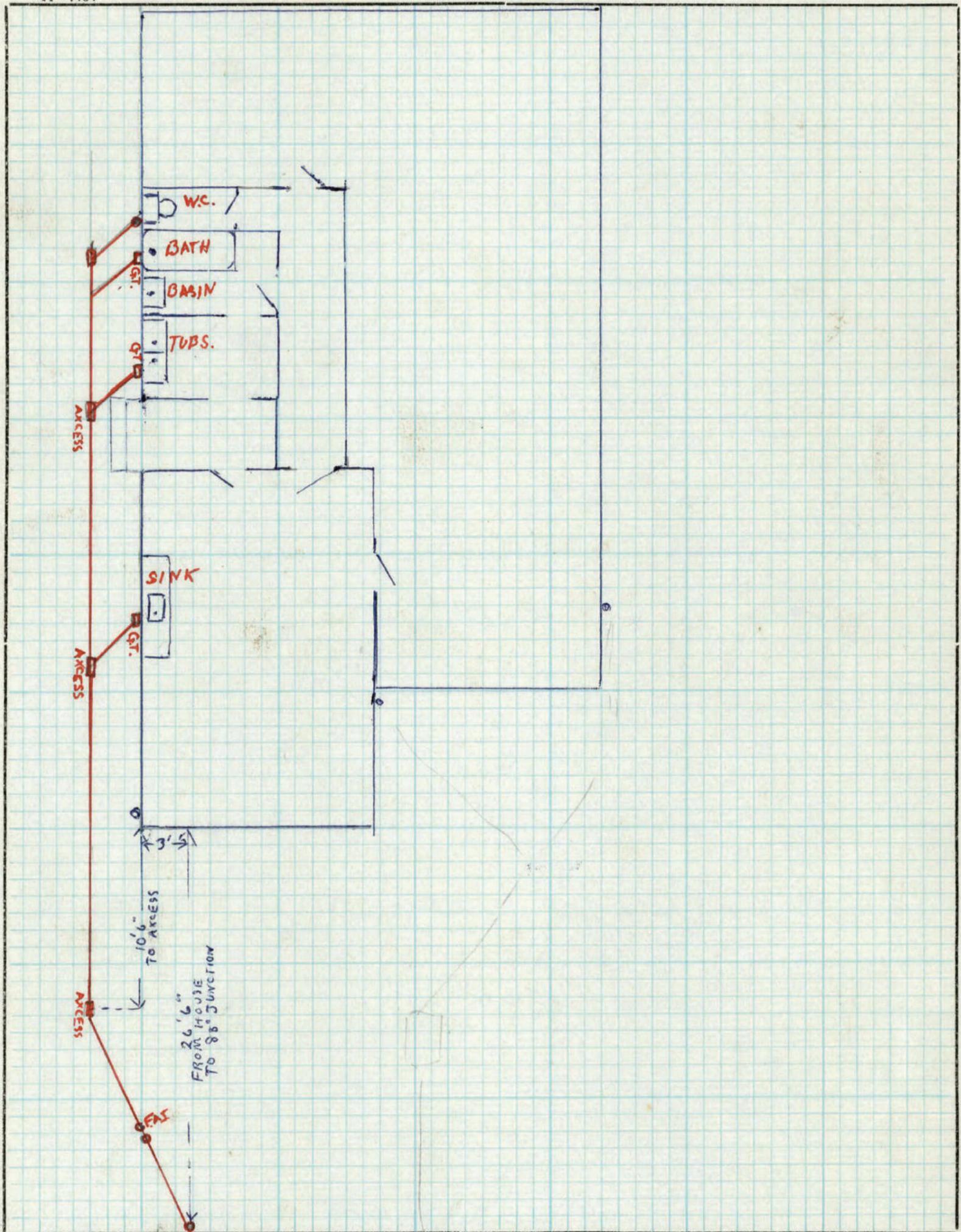
I.T. means Intercepting Trap
 F.A.I. " Fresh Air Inlet
 I.P. " Inspecting Pipe

Y.P. means Junction Pipe
 G.T. " Gully Trap

M.V. means Main Vent
 T.V. " Terminal Vent
 I.C. " Inspection Chamber

Scale—One inch equals eight feet.

TP-7104



Owner M. B. Robertson.

12 Shaw Street

Allotment _____ Block _____

Record No. _____

Township of Mosgiel

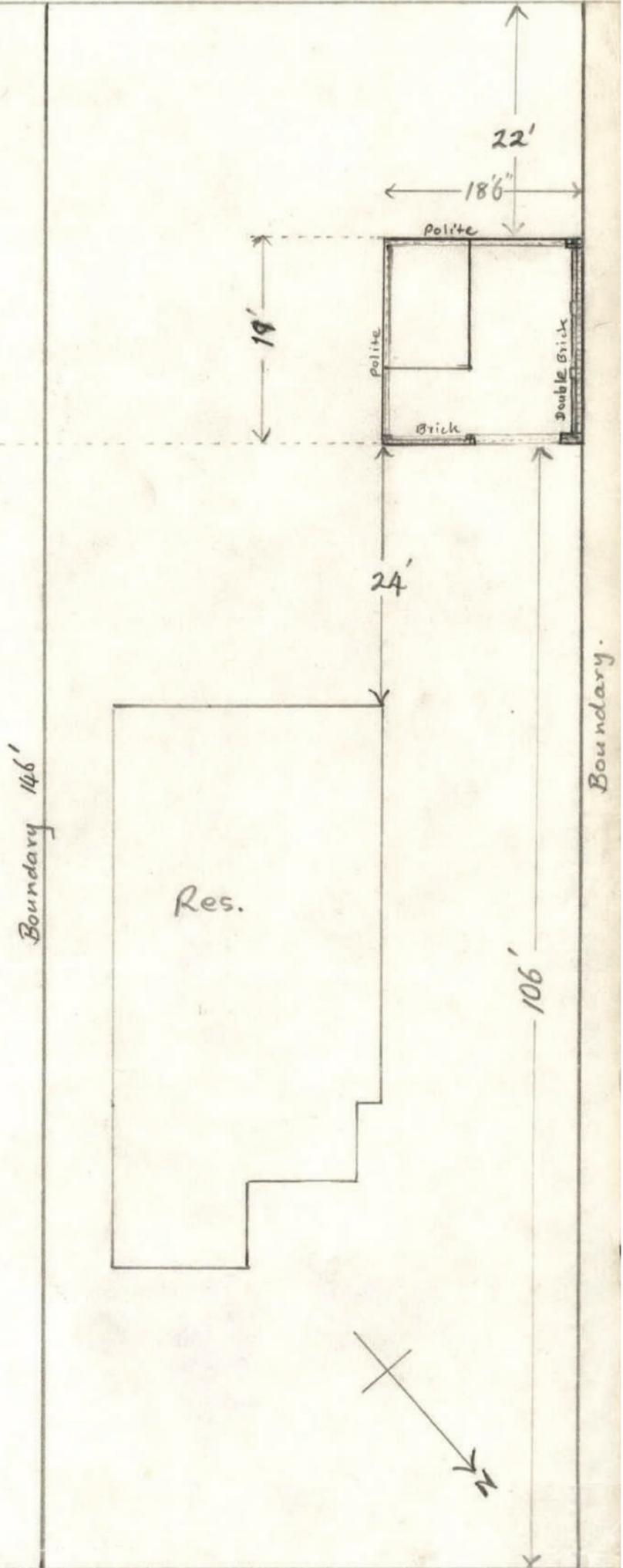
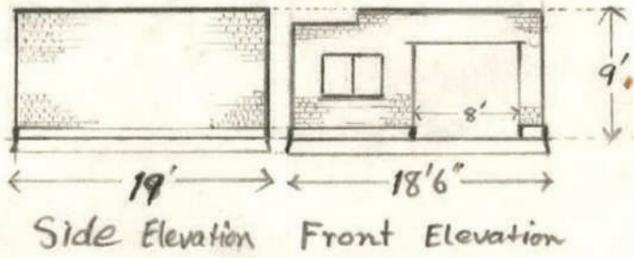
Signature of Drainer [Signature]

Stormwater

SITE PLAN

INSERT CARBON PAPER

Scale: 1-16th in. to 1ft.



Frontage 50'
SHAW STREET.

PROPOSED ^{Brick} ~~VIBRAPAC BLOCK~~ GARAGE

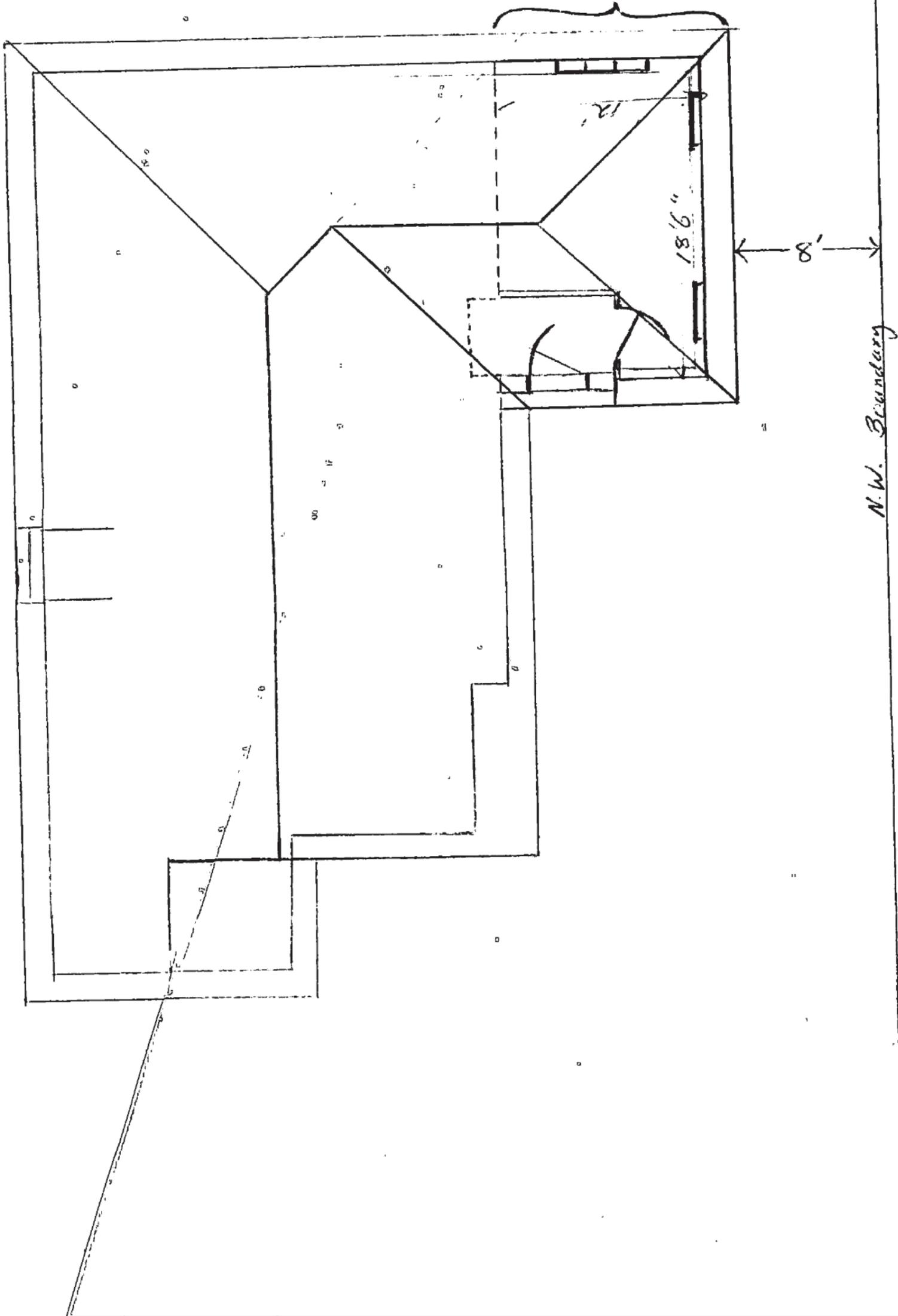
To be erected for J. B. Robertson at 12 SHAW ST

~~Garage: A, B, C, D.~~ Roof: ~~FLAT~~, PITCHED.

Contractor

VIBRAPAC (OTAGO) LTD.

Proposed addition to Residence
J B Robertson 12 Shaw St.
Mosgiel.

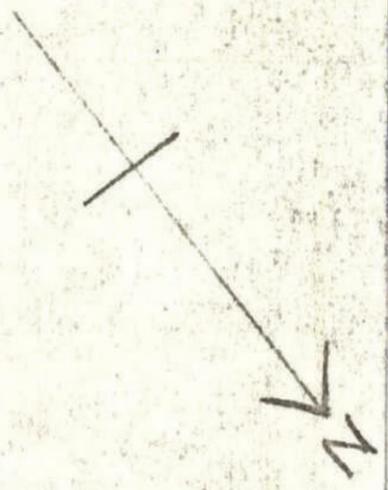
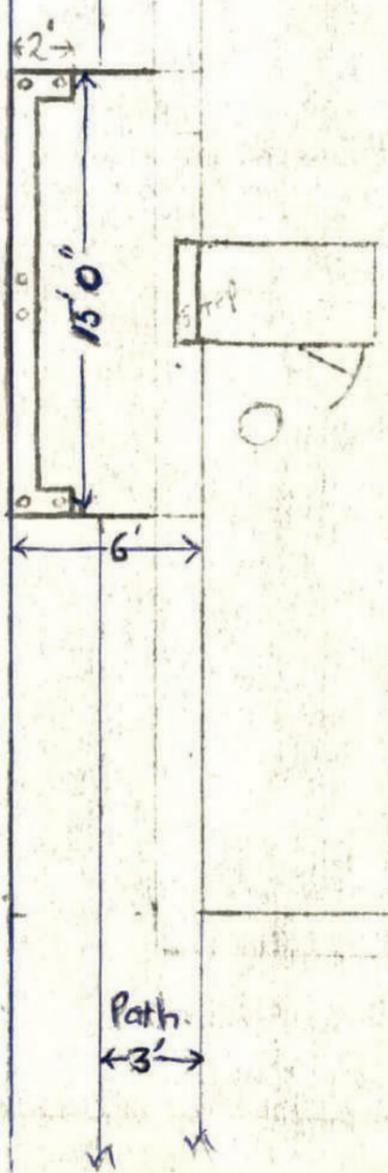


S.E. Boundary

8" Block Wall on Boundary

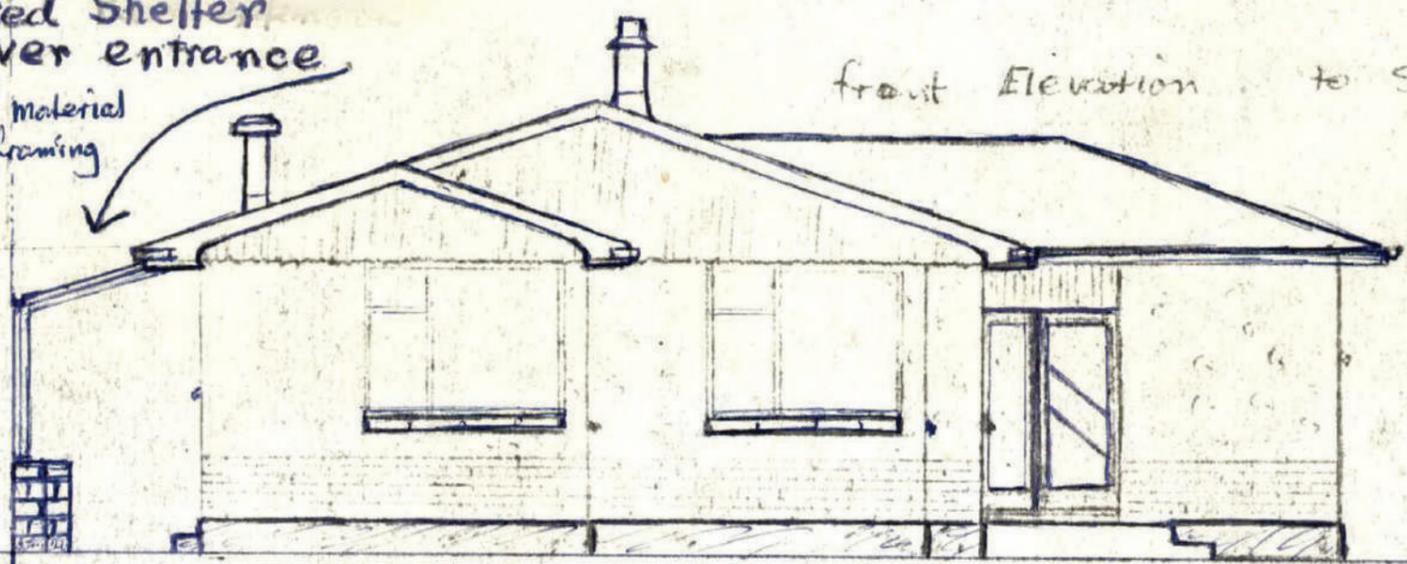
Self
foundation

Plan



Proposed Shelter over entrance
Nova-Roof material on open framing

front Elevation to Shaw St.



Front 50' Boundary 12 Shaw St Mosgiel.

CODE COMPLIANCE CERTIFICATE No.: 93/1823

Section 43(3), Building Act 1991

ISSUED BY **DUNEDIN CITY COUNCIL**

BUILDING CONSENT No.: 93/1823

(Insert a cross in each applicable box. Attach relevant documents.)

PROJECT	PROJECT LOCATION
All <input type="checkbox"/>	Street Number:
Stage No. of: of an intended stages	J B ROBERTSON 12 SHAW ST MOSGIEL
New or relocated building <input type="checkbox"/>	
Alteration <input type="checkbox"/>	
Intended use(s) (in detail): HEATER	LEGAL DESCRIPTION
Intended Life:	Property Number: 554759
Indefinite, but not less than 50 years <input type="checkbox"/>	Valuation Roll Number: 2801027911
Specified as 5 years <input type="checkbox"/>	Lot: 34 DP: 9692
Demolition <input type="checkbox"/>	Section: Block:
	Survey District: EAST TAIERI

This is:

- A final code compliance certificate issued in respect of all of the building work under the above building consent
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent
- This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No." (being this certificate).

The Council charges payable on the uplifting of this code compliance certificate, in accordance with the attached details, are: \$ 0.00

Receipt No.:

Signed for and on behalf of the Council:

Name: *J. Stewart*

Position: _____ Date: 06/09/94

BUILDING CONSENT No.: 93/1823

Project Information Memorandum No.:

Section 35, Building Act 1991

ISSUED BY

DUNEDIN CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents)

APPLICANT	PROJECT
Name: J B ROBERTSON Mailing Address: 12 SHAW ST MOSGIEL	All <input type="checkbox"/> Stage No. of an intended stages of New Building <input type="checkbox"/> Alteration <input type="checkbox"/>
PROJECT LOCATION Street Address: 12 SHAW MOSGIEL	Intended Use(s) (in detail): HEATER Intended Life:
LEGAL DESCRIPTION Property Number: 554759 Valuation Roll Number: 2801027911 Lot: 34 DP: 9692 Section: Block: Survey District: EAST TAIERI	Indefinite, but not less than 50 years <input type="checkbox"/> Specified as 5 years Demolition <input type="checkbox"/> Estimated Value: \$ 2,000.00
COUNCIL CHARGES The balance of Council's charges payable on up/fting of this building consent, in accordance with the tax invoice are: Total: \$ 0.00 ALL FEES ARE INCLUSIVE	Signed for and on behalf of the Council: Name: <i>J. J. [Signature]</i> Position: Date: <u>17/05/93</u>

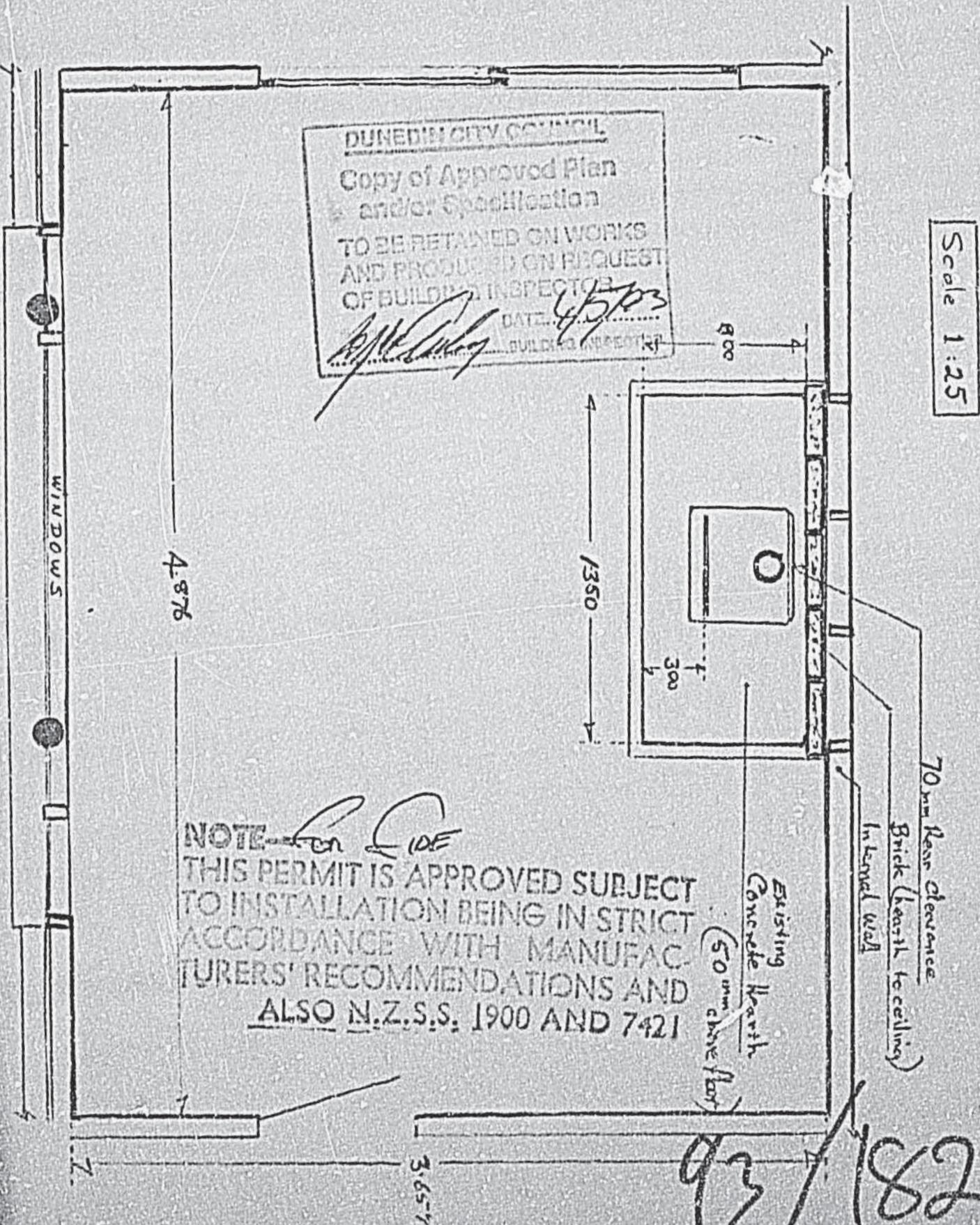
This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached _____ pages, headed "Conditions of Building Consent No. _____"

J B Robertson
12 Shaw Street. Mosgiel.

Phone 4894783

Proposed installation of MAGNUM P100 Log Burner.



DUNEDIN CITY COUNCIL
Copy of Approved Plan
and/or Specification
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR
DATE: 4/5/03
BUILDING INSPECTOR: [Signature]

Scale 1:25

NOTE - on side
THIS PERMIT IS APPROVED SUBJECT
TO INSTALLATION BEING IN STRICT
ACCORDANCE WITH MANUFACTURERS'
RECOMMENDATIONS AND
ALSO N.Z.S.S. 1900 AND 7421

Existing
Concrete Hearth
(50mm above floor)
Brick hearth to ceiling
70mm Rear clearance
Internal wall

3.654

93/1823

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

Telephone No:	477-4000	CCC No:	ABA 990474	Reference No:	5055475
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
Name and Mailing Address: ROBERTSON, JAMES BEVAN 12 SHAW STREET MOSGIEL 9007	All <input checked="" type="checkbox"/> Stage No of an intended stages New Building <input checked="" type="checkbox"/> Alteration <input type="checkbox"/>
LEGAL DESCRIPTION Property Number: 5055475 Valuation Roll No: 28010 27911 Street Address: 12 SHAW STREET, MOSGIEL 9007 Legal Description: LOT 34 DP 9692	Intended Use(s) in detail: ERECT CARPORT Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/>

This is:

- A final code compliance issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name: 

Position: AUTHORISED OFFICER

Date: 16/09/1999

BUILDING CONSENT



Section 35, Building Act 1991

ISSUED BY:

DUNEDIN CITY COUNCIL

50 THE OCTAGON, P.O. BOX 5045, DUNEDIN 9031, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	477-4000	Consent No:	ABA 990474	Reference No:	5055475
---------------	----------	-------------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

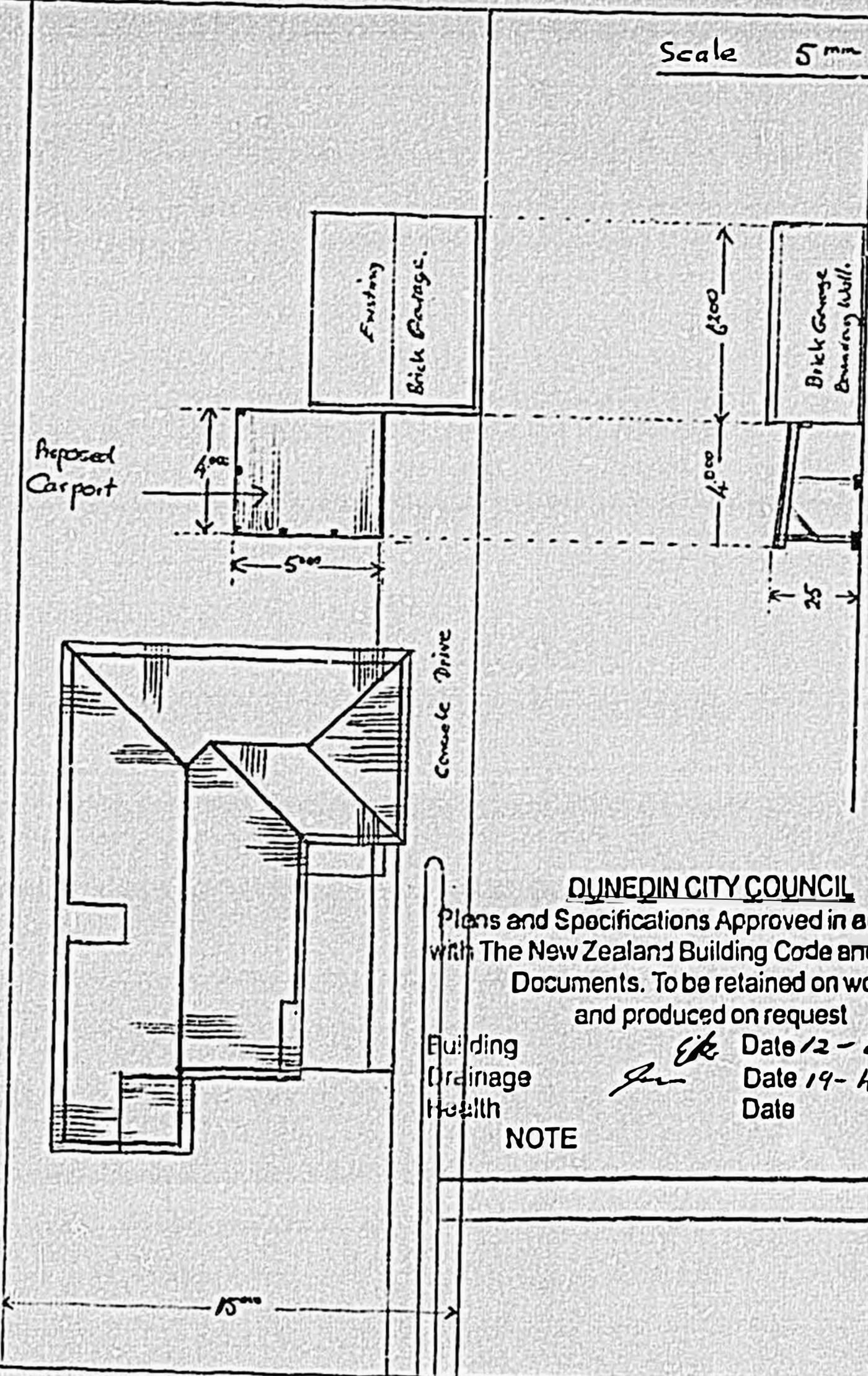
APPLICANT	PROJECT
Name: ROBERTSON, JAMES BEVAN 12 SHAW STREET MOSGIEL 9007	All <input checked="" type="checkbox"/> Stage No of an intendedstages
PROJECT LOCATION	New Building <input checked="" type="checkbox"/> Alteration <input type="checkbox"/>
Street Address: 12 SHAW STREET, MOSGIEL 9007	Intended Use(s) in detail: ERECT CARPORT
LEGAL DESCRIPTION	Intended Life:
Property Number: 5055475	Indefinite, not less than 50 years <input checked="" type="checkbox"/>
Valuation Roll No: 28010 27911	Specified as years <input type="checkbox"/>
Legal Description: LOT 34 DP 8692	Demolition <input type="checkbox"/> Estimated Value: \$1300
COUNCIL CHARGES	Signed for and on behalf of the Council:
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:	Name: <i>J. Deenan</i>
Total: \$	Position: AUTHORISED OFFICER
ALL FEES ARE GST INCLUSIVE	Date: 22/04/1999

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."

Proposed Carport Construction at 12 Shaw St. Mosgiel
 J.B. Robertson.

Scale 5mm = 1M



Note: N.W. Elevation Stormwater to outfall facilities via existing garage facilities

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request

Building
 Drainage
 Health

EJR Date 12-4-99.
JR Date 19-4-99.
 Date

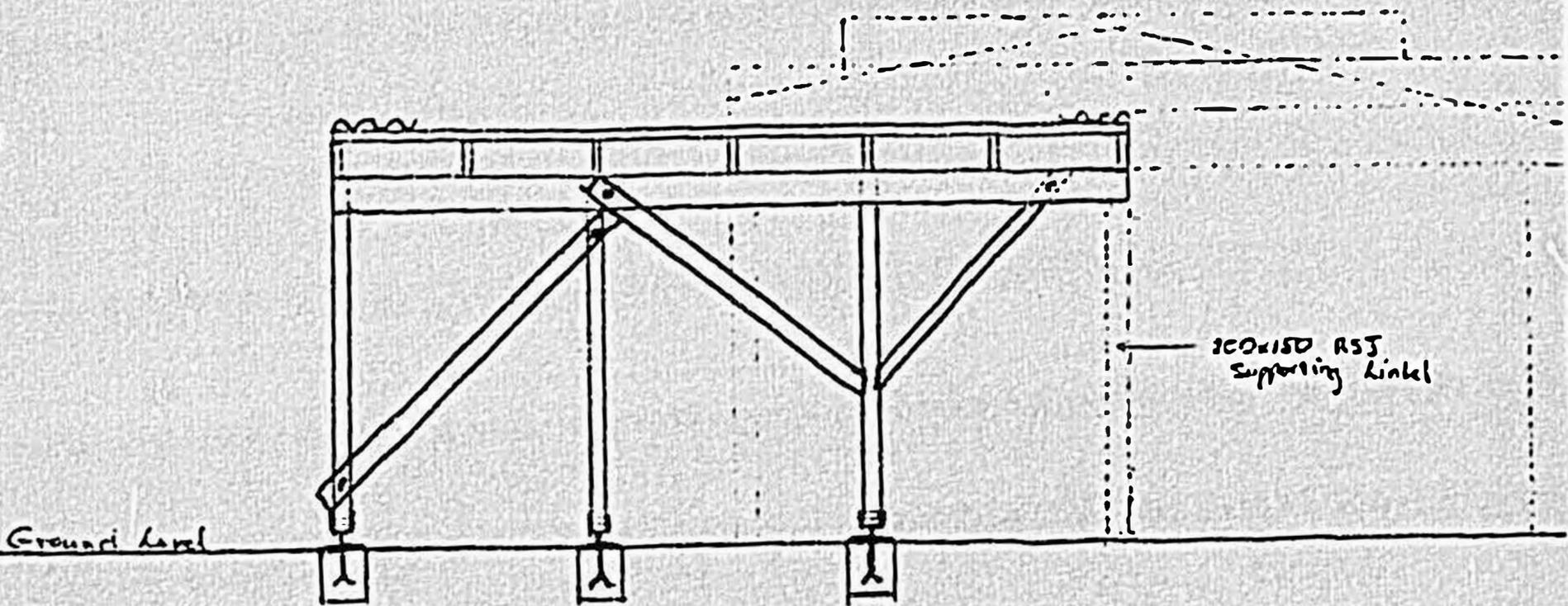
NOTE

Site Plan
 12 SHAW Street.

99-0474

Section A A

Existing Garage (Brick & concrete)
shown by dotted lines behind
proposed carport.



Concrete footings

300 x 300 x 300

Posts

100 x 150 H4 Radiata

Beams

200 x 50 " "

Rafters (spaced 0.850)

200 x 50 " "

Brace (cantilever)

100 x 100 H3 "

Other Bracing

100 x 50 H3 "

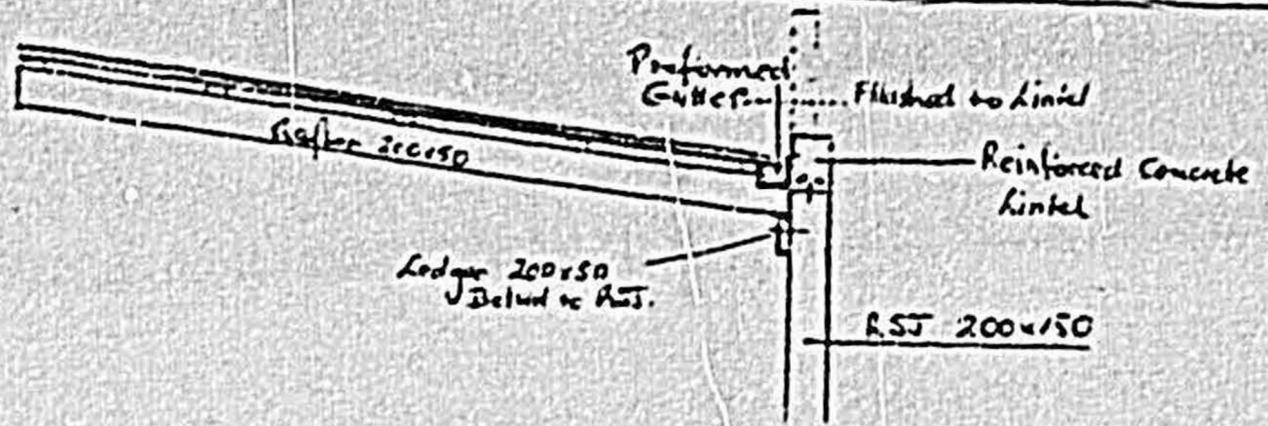
Roof - G.C. Iron.

Roof Bracing

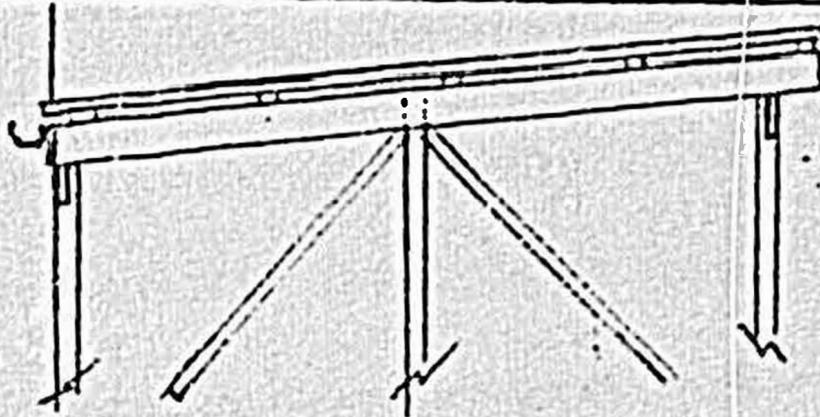
Steel Straps, & tensioners

99-0474

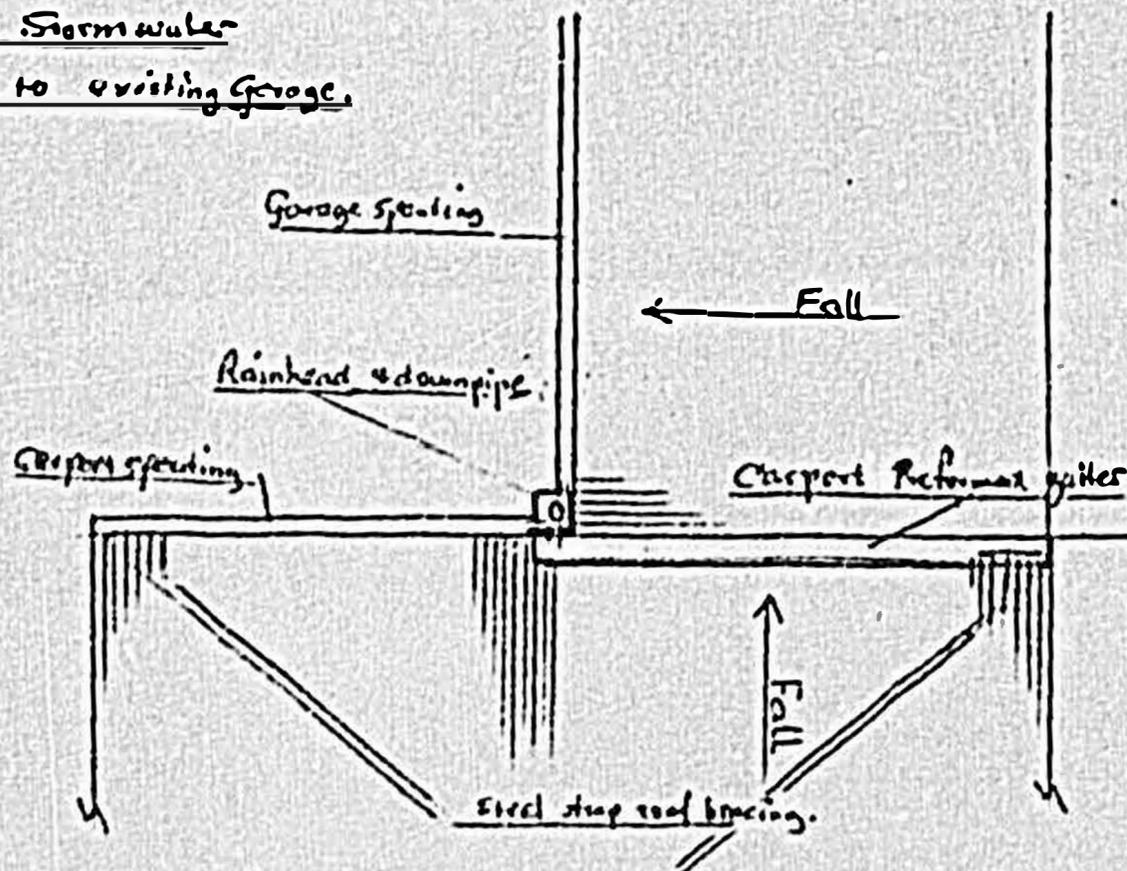
N.W. Elevation



South East Elevation



Plan of Stormwater Connection to existing Garage.



99-0474



DUNEDIN CITY

Kaunihera-a-rohe o Otepoti

50 The Octagon, PO Box 5045, Moray Place
Dunedin 9058, New Zealand
Telephone: 03 477 4000, Fax: 03 474 3594
Email: dcc@dcc.govt.nz
www.dunedin.govt.nz

CODE COMPLIANCE CERTIFICATE

CCC/PC/14/07/10/1

Section 95, Building Act 2004

CCC NO:	ABA-2010-1679	Telephone No:	03 477 4000
APPLICANT		PROJECT	
J B Robertson C/O Otago Pellet Fire Limited 550 Kaikorai Valley Road Dunedin 9011		Work Type: Alterations/Repairs	
PROJECT LOCATION		Intended Use/Description of Work:	
12 Shaw Street Mosgiel		Fire - Evolution EF5 Pellet Fire	
LEGAL DESCRIPTION		Intended Life:	
Legal Description: LOT 34 DP 9692		Indefinite, not less than 50 years.	
Valuation Roll No: 28010-27911		This CCC also applies to the following Amended Consents:	
Building Name: N/A		N/A	

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:

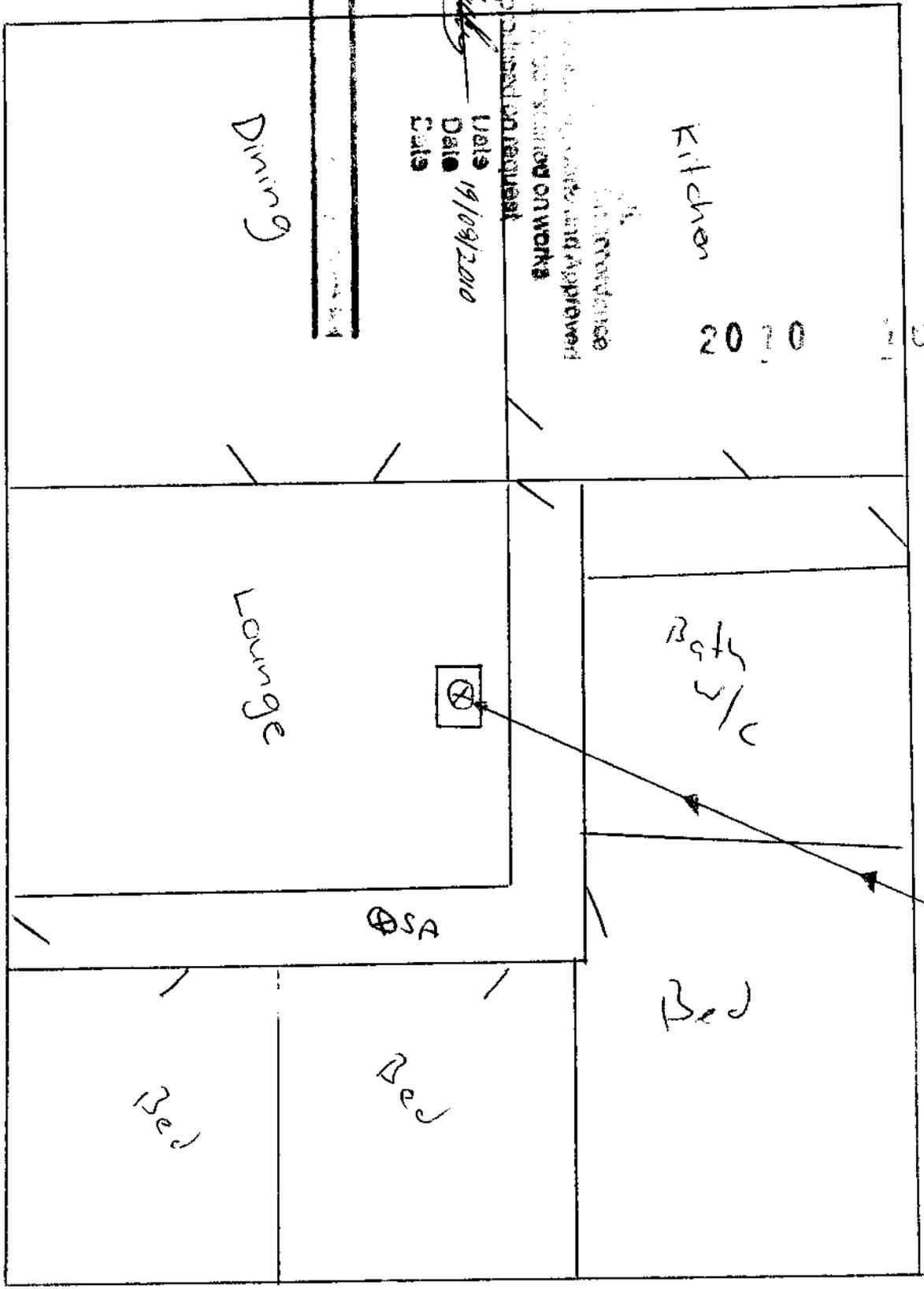
TEAM LEADER INSPECTIONS

Date: 28 September 2010

12 Show Street

Mosque

- Scope of Work
- ⊙ Install Evolution Pellet Fire
 - ⊙ SA - Smoke Alarms.



Building
 Date
 Name
 NOTE

Valid
 Date 19/09/2010
 Date

Site prepared on request

Site prepared on works

Site prepared on works and approval

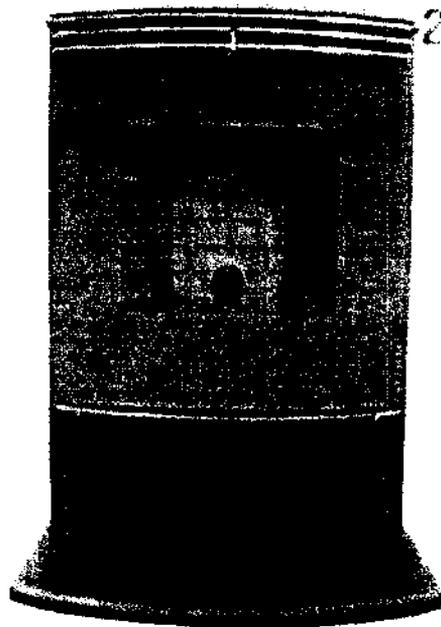


Conditions apply

nature's flame

Renewable fuel from Solid Energy

EVOLUTION EF5



Pellet Stove Installation Specifications

Safety testing of the Evolution (EF5) Pellet Burning
Heater to AS/NZS 02/662 and 05/1193 Emissions
02/656

Flue Kit Testing to AS/NZS 2918 AppF: 05/1185

INSTALLATION

APPLIANCE DIMENSIONS:

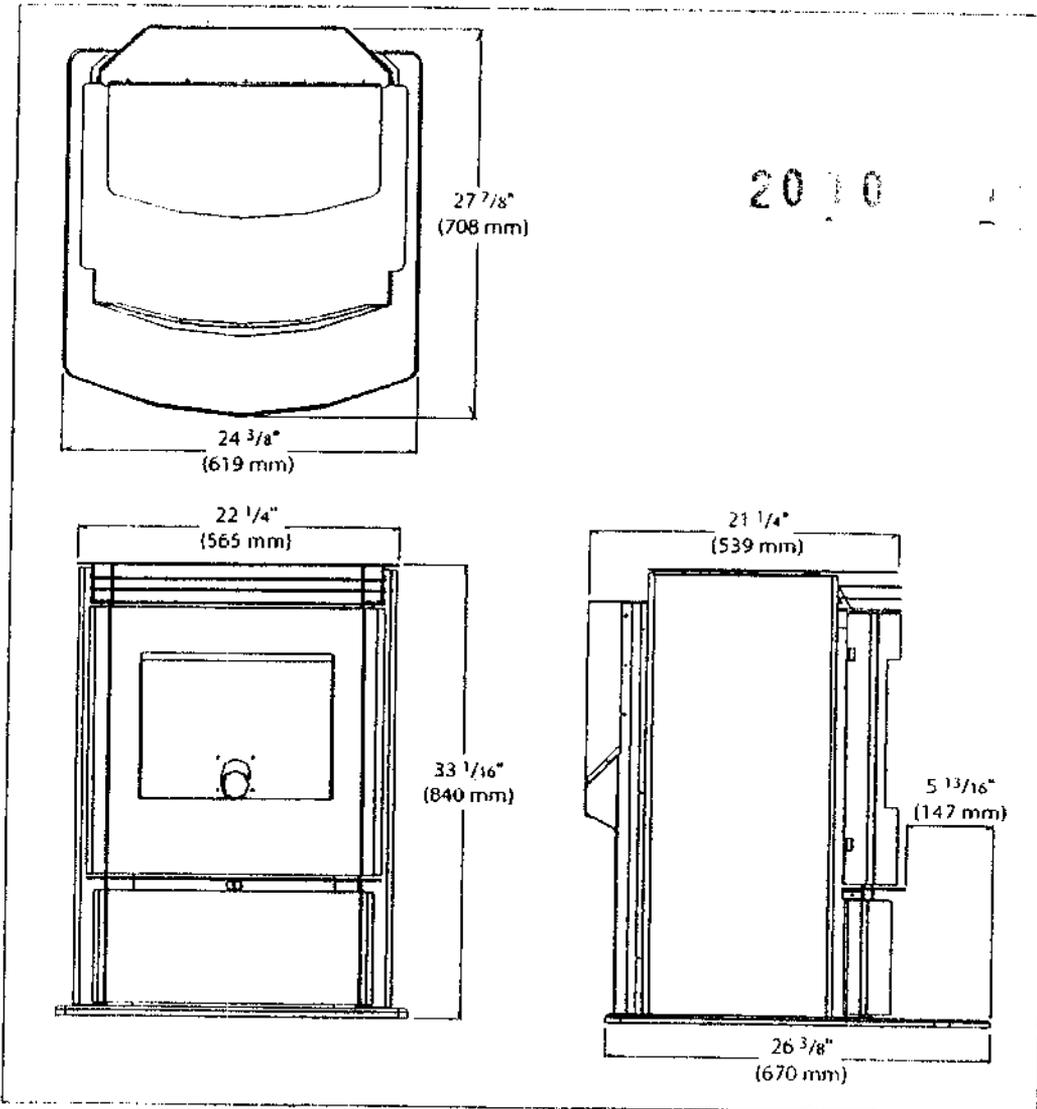


Figure 5: Dimensions of EF5.

INSTALLATION

CLEARANCES TO COMBUSTIBLES:

This unit can be installed on a combustible floor due to the built in pedestal hearth pad (for example linoleum, hardwood flooring). If this unit is to be installed onto a carpeted surface, a hearth pad must be used for stability.

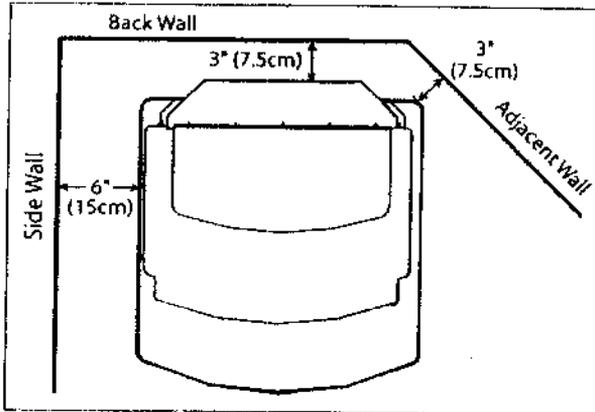


Figure 6: EF5 Clearance to Combustibles.

These dimensions are minimum clearances but it is recommended that you ensure sufficient room for serving, routine cleaning and maintenance.

Side wall to unit	6 inches (15 cm)
Back wall to unit	3 inches (7.5 cm)
Corner to unit	3 inches (7.5 cm)

ALCOVE CLEARANCES:

This unit may be installed in an alcove. Maintain these clearances to combustibles.

Minimum Alcove width	48 inches (122 cm)
Minimum Alcove height	48 inches (122 cm)
Minimum Alcove depth	48 inches (122 cm)

Install vent at clearances specified by the vent manufacturer.

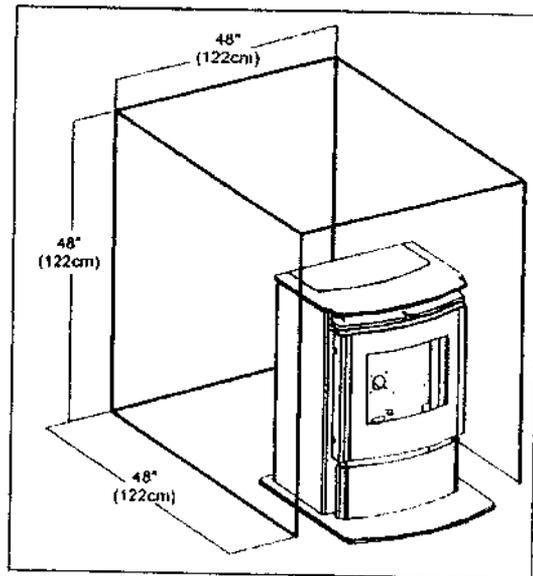


Figure 7: EF5 Minimum Alcove Size.

INSTALLATION

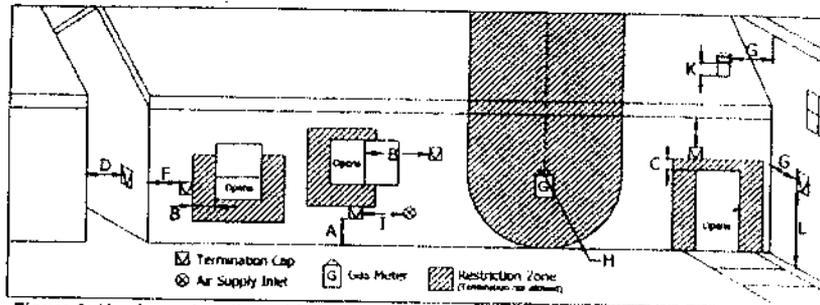
VENT TERMINATION REQUIREMENTS:

IT IS RECOMMENDED THAT YOUR PELLET STOVE BE INSTALLED BY AN AUTHORIZED DEALER/INSTALLER.

Table 1: Use in conjunction with Figure 9 for allowable exterior vent termination locations.

Letter	Minimum Clearance	Description
A	24 in (61 cm)	Above grass, top of plants, wood, or any other combustible materials.
B	48 in (122 cm)	From beside/below any door or window that may be opened.
C	24 in (61 cm)	From above any door or window that may be opened.
D	24 in (61 cm)	To any adjacent building, fences and protruding parts of the structure.
E	24 in (61 cm)	below any eave or roof overhang
F	12 in (30 cm)	To outside corner.
G	12 in (30 cm)	To inside corner, combustible wall (vertical and horizontal terminations).
H	3 ft (91 cm) within a height of 15 ft (4.5 m) above the meter/regulator assembly	To each side of center line extended above natural gas or propane meter/regulator assembly or mechanical vent.
I	3 ft (91 cm)	From any forced air intake of other appliance
J	12 in (30 cm)	Clearance to non-mechanical air supply inlet to building, or the combustion air inlet to any appliance.
K	24 in (61 cm)	Clearance above roof line for vertical terminations.
L	7 ft (2.13 m)	Clearance above paved sidewalk or paved driveway located on public property.

1. Do not terminate the vent in any enclosed or semi-enclosed areas such as a carport, garage, attic, crawlspace, narrow walkway, closely fenced area, under a sundeck or porch, or any location that can build up a concentration of fumes such as stairwells, covered breezeway, etc.



2. Vent surfaces can become hot enough to cause burns if touched by children. Non-combustible shielding or guards may be required.
3. Termination must exhaust above the inlet elevation. It is recommended that at least five feet of vertical pipe be installed outside when the appliance is vented directly through a wall, to create some natural draft to prevent the possibility of smoke or odor during appliance shut down or power failure. This will keep exhaust from causing a nuisance or hazard from exposing people or shrubs to high temperatures. In any case, the safest and preferred venting method is to extend the vent through the roof vertically.
4. Distance from the bottom of the termination and grade is 12" (30 cm) minimum. This is conditional upon the plants and nature of grade surface. The exhaust gases are hot enough to ignite grass, plants and shrubs located in the vicinity of termination. The grade surface must not be lawn.
5. If the unit is incorrectly vented or the air to fuel mixture is out of balance, a slight discoloration of the exterior of the house might occur. Since these factors are beyond the control of Sherwood Industries Ltd, we grant no guarantee against such incidents.

NOTE: Venting terminals shall not be recessed into walls or siding.

INSTALLATION

MOBILE HOME INSTALLATION:

- Secure the heater to the floor using the two holes in the pedestal.
- Ensure the unit is electrically grounded to the chassis of your home (permanently).
- Do not install in a room people sleep in.
- Outside fresh air is mandatory. Secure outside air connections directly to fresh air intake pipe and secure with three (3) screws evenly spaced.

CAUTION: THE STRUCTURAL INTEGRITY OF THE MANUFACTURED HOME FLOOR, WALL AND CEILING/ROOF MUST BE MAINTAINED.

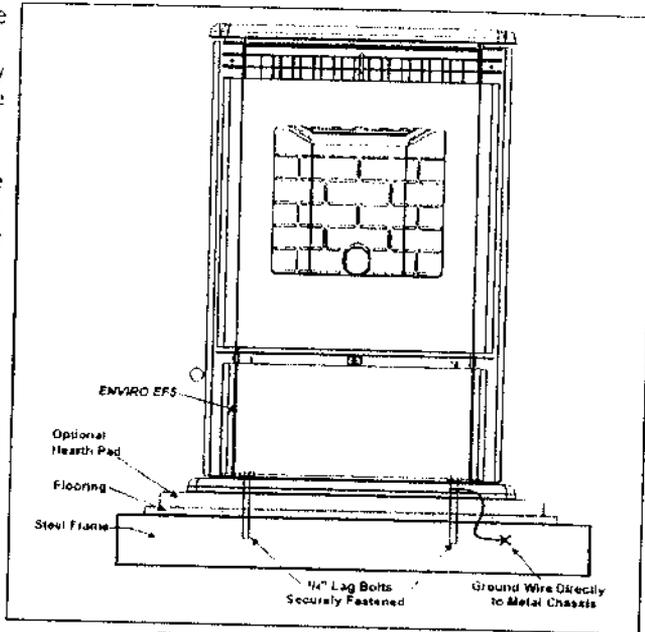


Figure 12: Mobile home installation.

CORNER THROUGH WALL INSTALLATION:

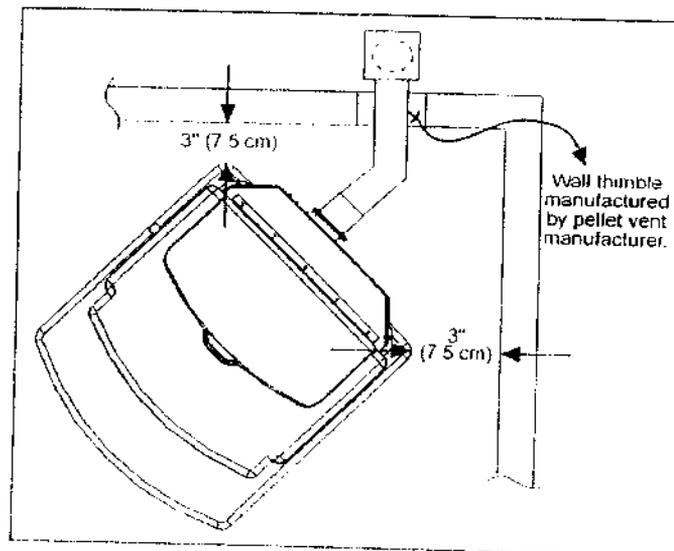
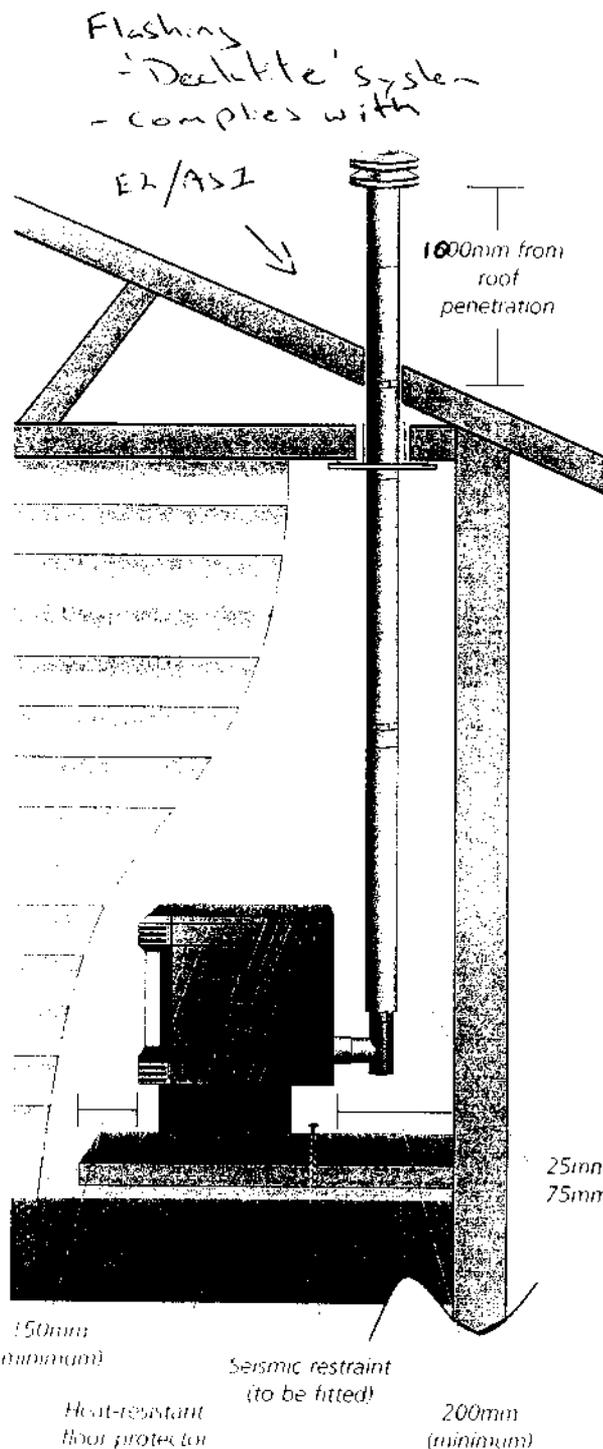


Figure 13: Corner Installation.

2010 1010

50 Internal Standard Flue Kit



This flue kit may be used in new and replacement applications in rooms with stud height of 2.4m. The overall height of the flue is 3.6m. The visible flue is finished in black and the ceiling plate is white. The support angles for securing the liner to the ceiling are not shown. Kit is supplied in a carton.

Each 50 Internal Standard Flue Kit contains:-

Part No	Description	Quantity
1	Galvanised outer liner ø100mm x 900mm long	1
2	Stainless steel inner liner ø75mm x 900mm long	4
4a	Black p/coat outer liner ø100mm x 900mm long	3
5	Inner/outer flue liner spacer	2
6c	Ceiling thimble ø107mm hole	1
7c	Ceiling decor plate ø107mm hole - white	1
8	Rain cap 75mm	1
9	Rain Cap 100mm	1
10b	Elbow 45° - ø75mm stainless - black (painted)	1
12b	T-adaptor/cleanout - ø75mm - black (painted)	1
23	Support angle 950mm long - 50mm x 50mm sides	2

Note: The Davin 50 Internal Standard Flue Kit complies with AS/NZS 2918:2001 as per Applied Research Test Report 05/1185, dated 15 September 2005.

All fires must be installed by a qualified installer as per the manufacturer's instructions and AS/NZS2918:2001.

