

DISCLAIMER

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Dunedin City Council – Land Information Memorandum

Property Address: 8 Elder Street Dunedin

Prepared for: Kamal Naser Slaimankhel

Prepared on: 25-Mar-2026

Property Details:

Property ID	5029607
Address	8 Elder Street Dunedin
Parcels	LOT 5 DP 2478

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 25-Mar-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **13th January 1999**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Urban Stormwater Catchment

This property is located within an urban stormwater catchment that has been modelled in a study to determine the potential effects of land use and climate change that may occur over the next 50 years. This indicates that some areas of the catchment might be subject to a potential flooding risk or surface water ponding during particular rainfall events.

These effects are outlined in the Integrated Catchment Management Plans (ICMPs) that are available on the Council website. The ICMPs show the areas in the catchment that have been modelled which might be susceptible to a higher risk of flooding. The ICMPs contain maps that indicate a potential worst case scenario for a 1 in 100 year rainfall event. However, there are a series of maps also available that show modelling results from a range of other scenarios.

While the maps have been produced to help Council manage the reticulation networks, they are not sufficiently detailed to specifically account for individual properties which may be affected by local factors not included in the models.

For further information please contact 3 Waters Services at Dunedin City Council.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2029607
Address	8 Elder Street Dunedin
Valuation Number	27180-36000
Latest Valuation Details	
Capital Value	\$730,000

Land Value	\$540,000
Value of Improvements	\$190,000
Area (Hectares)	0.0442HA
Units of Use	1

Current Rates

Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$4,512.97

Rates Outstanding for Year	\$4,851.49
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For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC - Building Consent Issued
	CCC - Code Compliance Certificate Issued
Archived	- In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
/CCC	
Refused	
Lapsed	- Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-1998-345176](#) Building Consent - Stormwater Separation

Lodgement Date	18-Nov-1998
Decision	Granted
Decision Date	24-Nov-1998
Current Status	CCC Issued
Previous Number	ABA983334

(Applications before 2007)

Building and Drainage Permits

[H-1920-6815](#) AAB19200210

5052 - Erect Dwelling, No Plan (Gregg). The permit was lodged on 30-Nov-1920.

[H-1942-24554](#) AAB19420232

720 - Repair Dwelling, No Plan (Falconer). The permit was lodged on 30-Nov-1942.

[H-1964-61814](#) AAB19640851

12382 - Addition to Rear, (MacBeth). The permit was lodged on 18-Dec-1964.

[H-1984-95651](#) AAB19841033

8227 - Alteration to Dwelling, No Plan (Furniss). The permit was lodged on 21-Dec-1984.

[H-1921-136865](#) AAD19210544

B59 - Plumbing & Drainage, (Greg). The permit was lodged on 31-Jan-1921.

[H-1965-188837](#) AAD19651184

G9687 - Alter Plumbing & Drainage (MacBeth). The permit was lodged on 25-Feb-1965.

[H-1975-205522](#) AAD19751320

J5571 - Boiler Tubes, No Plan (Various Owners). The permit was lodged on 29-Sep-1975.

[H-1992-235486](#) AAD19925666

M2626 - Reconnect Laterals, No Plan (Various Owners). The permit was lodged on 12-Jun-1992.

Building Notices

No Building Notices

Resource Consents

There are no resource consents for this property.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan ("The 2GP") is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- Inner City Residential (refer Section 15, Residential)

Scheduled Items

- Heritage Buildings and Structures
 - Type: Character Contributing Building
 - Plan ID: CC369
 - Name: Residential building
 - Address: 8 Elder Street Dunedin
- Scheduled Trees within 30m of site
 - Plan ID: T906
 - Common Name: Red beech
- Scheduled Trees within 30m of site
 - Plan ID: T410
 - Common Name: Pin oak
- Scheduled Trees within 30m of site
 - Plan ID: G108
 - Common Name: Miro
- Scheduled Trees within 30m of site
 - Plan ID: G108
 - Common Name: Kowhai

Overlay Zones

- Heritage Precinct Overlay Zone
 - Type: Residential
 - Name: Royal Terrace - Pitt Street - Heriot Row

Mapped Areas

- Archaeological Alert Layer

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 8 Elder Street Dunedin

[5028663 12 Pitt Street Dunedin](#)

[RMA-1967-353849](#) Resource Management Act (Historical Data) PROPERTY AS RES.& PHOTOGRAPHER'S STUDIO / App: F BARTA (Notified - Non Complying). The outcome was Granted on 17/01/1967.

[5028664 14 Pitt Street Dunedin](#)

[RMA-2006-370634](#) Resource Management Act (Historical Data) CONSTRUCTION OF A DECK AND FRENCH DOORS (Non-Notified - Restricted Discretionary). The outcome was Granted on 09/10/2006.

[5028665 16 Pitt Street Dunedin](#)

[LUC-2024-96](#) Land Use Consent Convert garage into residential unit. There has been no outcome yet.

[BACT-2023-25](#) Boundary Activity Notice A minor extension to the dwelling (approx. 1.5m x 1.5m), which encroaches the side yard. The outcome was Issued on 15/09/2023.

[RMA-2004-367861](#) Resource Management Act (Historical Data) Extend food safe (Non-Notified - Restricted Discretionary). This consent has since Lapsed.

[5028667 7 Elder Street Dunedin](#)

[LUC-2022-44](#) Land Use Consent Emergency Works Scheduled Tree (T410 Scarlet Oak). The outcome was Granted on 02/03/2022.

[LUC-2018-380](#) Land Use Consent land use consent to undertake maintenance work on a significant tree - Oak - T410. The outcome was Granted on 25/07/2018.

[RMA-2005-369778](#) Resource Management Act (Historical Data) MAINTENANCE WORK ON OAK TREE, PDP TREE NO. T410, CROWN RAISING AND CROWN CLEANING. (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 21/02/2005.

[5028668 11 Elder Street Dunedin](#)

[RMA-2006-370905](#) Resource Management Act (Historical Data) REMOVAL OF PROTECTED GIANT FIR TREE. The outcome was Granted on 09/03/2007.

[RMA-2002-365513](#) Resource Management Act (Historical Data) REMOVAL OF MYOPORUM LAETUM TREE AND PRUNING OF OAK TREE (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 03/04/2002.

[5029591 2A Elder Street Dunedin](#)

[LUC-2008-436](#) Land Use Consent alterations to existing units. The outcome was Granted on 30/09/2008.

[RMA-1998-361928](#) Resource Management Act (Historical Data) CONSTRUCTION OF ACCESSORY BLDG WITHIN TOWNSCAPE PRECINC Hazards Comments: (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 16/07/1998.

[5029594 20 Pitt Street Dunedin](#)

[RMA-1991-351155](#) Resource Management Act (Historical Data) Certificate 312 Ownr:UNIVERSITY OF OTAGO (Non-Notified - Non Complying). The outcome was Granted on 07/11/1991.

[5029596 24 Pitt Street Dunedin](#)

[RMA-1992-355485](#) Resource Management Act (Historical Data) Subdivision Ownr:UNIVERSITY OF OTAGO Separation of Leasehold sites (Non-Notified - Non Complying). The outcome was Granted on 09/12/1992.

[5029599 35 Heriot Row Dunedin](#)

[LUC-2023-315](#) Land Use Consent the conversion of an existing sleepout to a residential unit, outdoor living space breaching quality and location standards, the addition of a deck to a scheduled heritage building and works within the dripline of a scheduled tree. The outcome was Granted on 11/09/2023.

[LUC-2020-144](#) Land Use Consent land use consent for the construction of a sleep out associated with an existing residential activity resulting in a short fall of carparking. The outcome was Granted on 07/05/2020.

[LUC-2019-135](#) Land Use Consent land use consent for tree maintenance T579 - Copper beech. The outcome was Granted on 28/03/2019.

[LUC-2018-747](#) Land Use Consent land use consent for works close to significant trees - G108 - for carparking and driveway. The outcome was Granted on 07/02/2019.

[RMA-1992-357788](#) Resource Management Act (Historical Data) Subdivision Ownr:University of Otago / App: M.D. Body PO Box 235 (Non-Notified - Non Complying). The outcome was Granted on 09/03/1993.

[RMA-1992-355485](#) Resource Management Act (Historical Data) Subdivision Ownr:UNIVERSITY OF OTAGO Separation of Leasehold sites (Non-Notified - Non Complying). The outcome was Granted on 09/12/1992.

[5029601 33 Heriot Row Dunedin](#)

[LUC-2023-311](#) Land Use Consent undertake maintenance on significant tree G108. The outcome was Granted on 11/09/2023.

[5029603 20 Elder Street Dunedin](#)

[RMA-2003-366408](#) Resource Management Act (Historical Data) REMOVE A SIGNIFICANT TREE (Other). The outcome was Granted on 12/03/2003.

[RMA-2000-364306](#) Resource Management Act (Historical Data) ERECT GARAGE IN FRONT YARD (Non-Notified - Restricted Discretionary). The outcome was Granted on 26/09/2000.

[RMA-1992-355485](#) Resource Management Act (Historical Data) Subdivision Ownr:UNIVERSITY OF OTAGO Separation of Leasehold sites (Non-Notified - Non Complying). The outcome was Granted on 09/12/1992.

[5029604 16 Elder Street Dunedin](#)

[RMA-1992-355485](#) Resource Management Act (Historical Data) Subdivision Ownr:UNIVERSITY OF OTAGO Separation of Leasehold sites (Non-Notified - Non Complying). The outcome was Granted on 09/12/1992.

5029605 12 Elder Street Dunedin

[LUC-2025-16](#) Land Use Consent The alteration of a character contributing building to replace the clay tile roof with coloursteel roof and the removal of the chimney.. The outcome was Granted on 05/02/2025.

5029606 10 Elder Street Dunedin

[RMA-1995-358849](#) Resource Management Act (Historical Data) CONVERT EXISTING TWO STOREY DWELLING INTO TWO SEPARATE 5 BEDROOM RESIDENTIAL UNITS (Non-Notified - Non Complying). The outcome was Granted on 29/09/1995.

5127190 1 - 13 Elder Street Dunedin

[SUB-2016-24/A](#) Subdivision Consent variation of resource consents SUB-2016-24 , by altering the easements for access, and LUC-2016-160, by introducing a new under-width section of the access and to refer to the correct subdivision plan. The outcome was s127 Upheld on 08/05/2018.

[LUC-2016-160/A](#) Land Use Consent s127 variation of conditions for SUB-2016-24 , by altering the easements for access, and LUC-2016-160, by introducing a new under-width section of the access and to refer to the correct subdivision plan. The outcome was s127 Upheld on 08/05/2018.

[SUB-2016-24](#) Subdivision Consent subdivision creating 2 lots. The outcome was Granted on 18/05/2016.

[LUC-2016-160](#) Land Use Consent land use consent being the establishment of two residential units on new Lot 1 SUB-2016-24 with existing and new bulk and location breaches and non-compliant parking, and the existing residential unit on Lot 1 SUB-2016-24 with existing and new bulk and location breaches and non-compliant parking and access. The outcome was Granted on 18/05/2016.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that

provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules it might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Privately owned retaining wall.

There is a private retaining wall that is located on this property's frontage at the back of the footpath. This may remain at the pleasure of Council however an encroachment license may be required in the future. Council accepts this situation but accepts no liability. Any damage caused and the maintenance is the responsibility of the property owner/s. The Council may require this to be addressed in the future.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

MH Manhole
PL Plumbing
PLB Plumbing
PTE Private
SIS Sewer in section
WC Water course
WT Water table
SW Stormwater

General terms

RDMS Records and Document Management System

Appendices



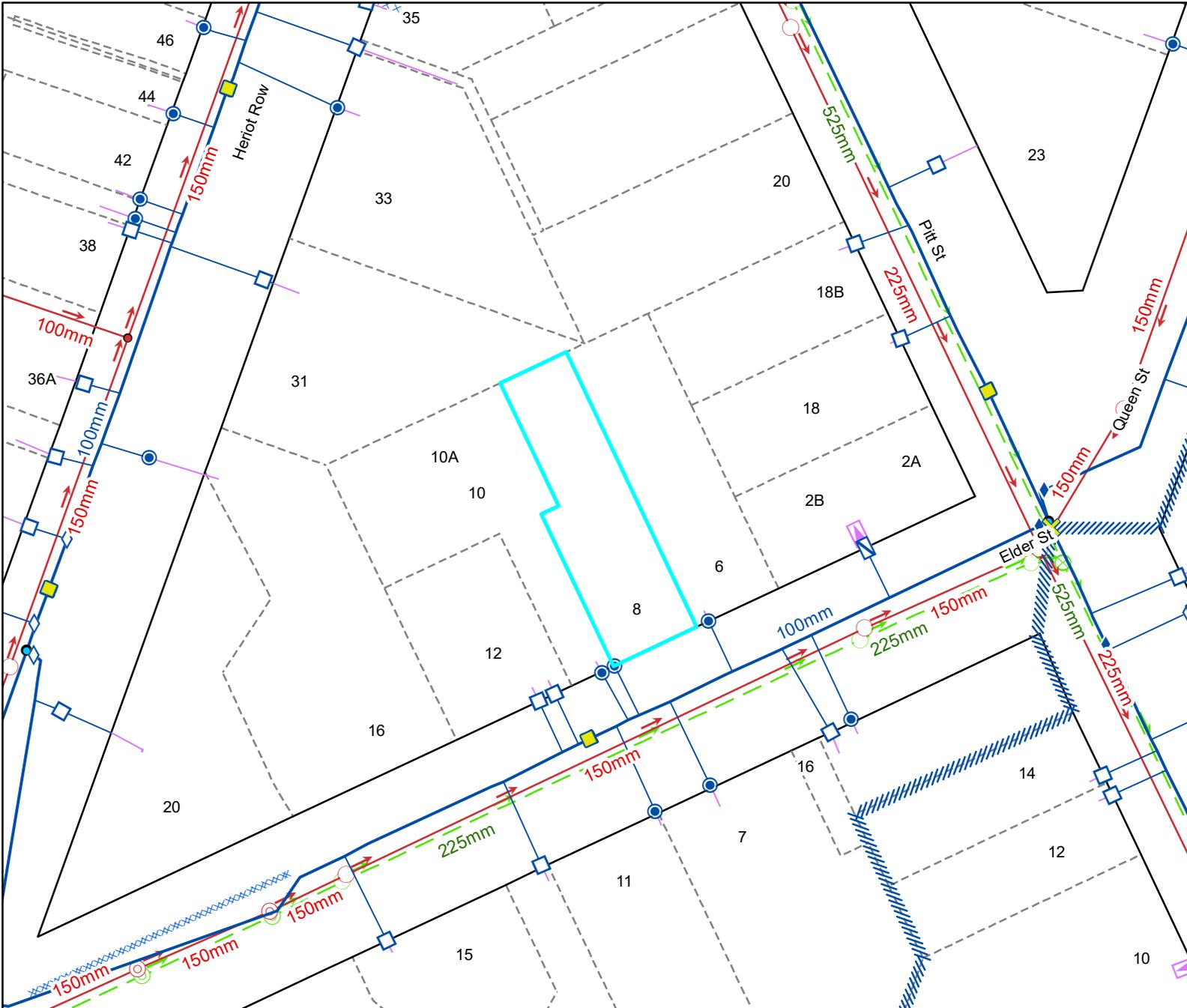
Photographic Map

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PARCEL LINES CAN VARY FROM
 LEGAL PARCEL BOUNDARIES
 This map is for illustration purposes only
 and is not accurate to surveying, engineering
 or orthographic standards. Every effort
 has been made to ensure correctness and
 timeliness of the information presented.

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Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Scour
	Water Valve - Sluice		Water Service Lateral
	Water Hydrant		Water Fire Service Lateral
	Water Backflow Preventor - RPZ		Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel		Road/Rail
	Railway Centreline		Hydro		Motorway Parcels
			Strata		Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

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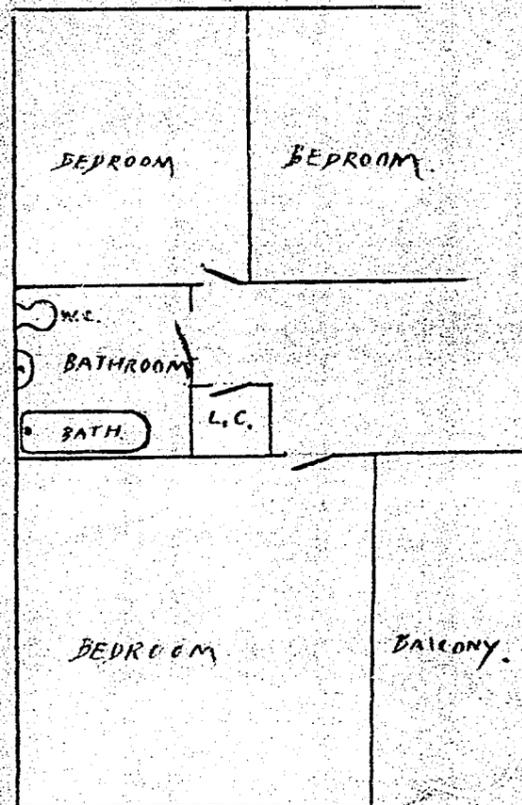
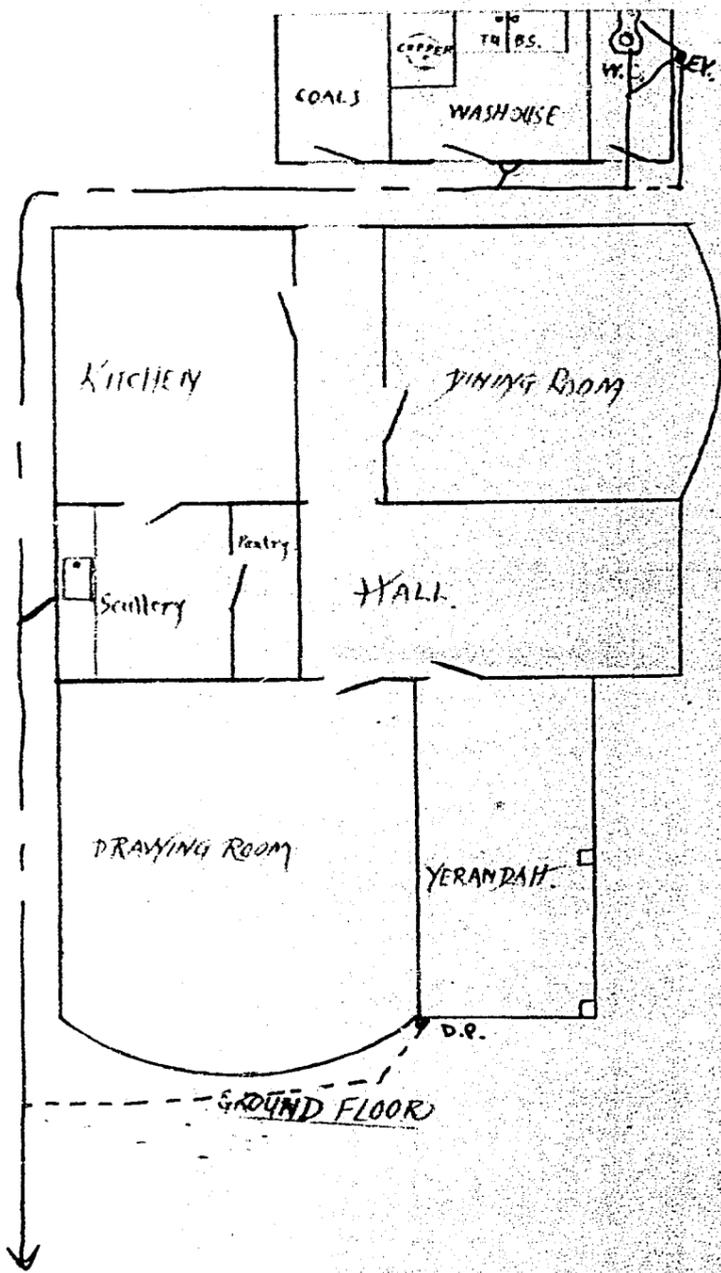
PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

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HOUSE CONNECTION PLAN.

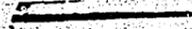
SCALE: $\frac{1}{8}$ in. to a Foot.

NEW SEWAGE DRAINS: RED
STORMWATER: DOTTED BLACK
OLD DRAINS: FULL BLACK



FIRST FLOOR

LEGEND

-  Existing Drains
-  New Foul Drains
-  New Stormwater Drains

Owner H. Gregg
 Street Elder St.
 Locality D.

Block 24
 Section 5
 Allotment _____

Signature of Drainer E. J. McKay

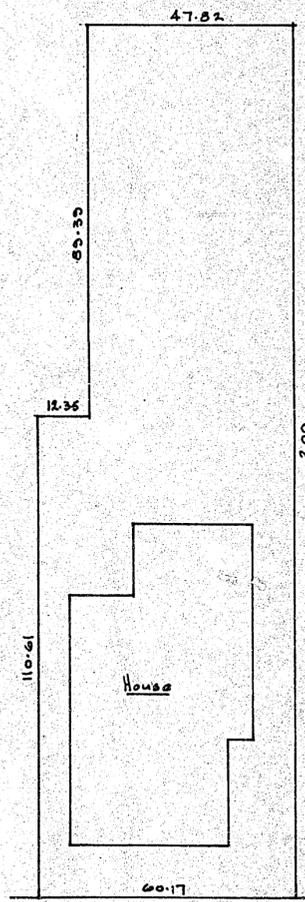
DUNEDIN DRAINAGE & SEWERAGE BOARD

A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainer, respectively and shall comply fully with the Board's By-laws and the D. & P. Regs., 1959.

Stormwater to be discharged to Street Channel

Foul sewage to be discharged to New Sanitary fittings to connect to alterations of existing foul drains to gain to be obtained clear of addition

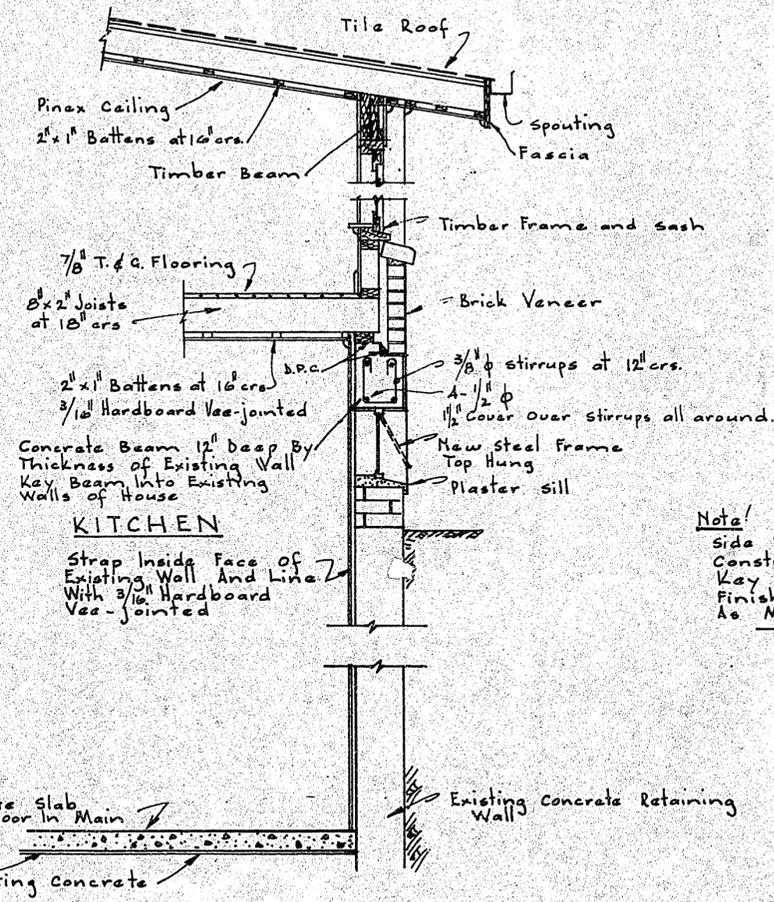
9/12/64
A.S. Moir



Block 24 Dunedin
Lot N° 5
D.P. 2478

N° 8 Elder Street
Dunedin.

Elder St
SITE PLAN
1/16" = 1'-0"



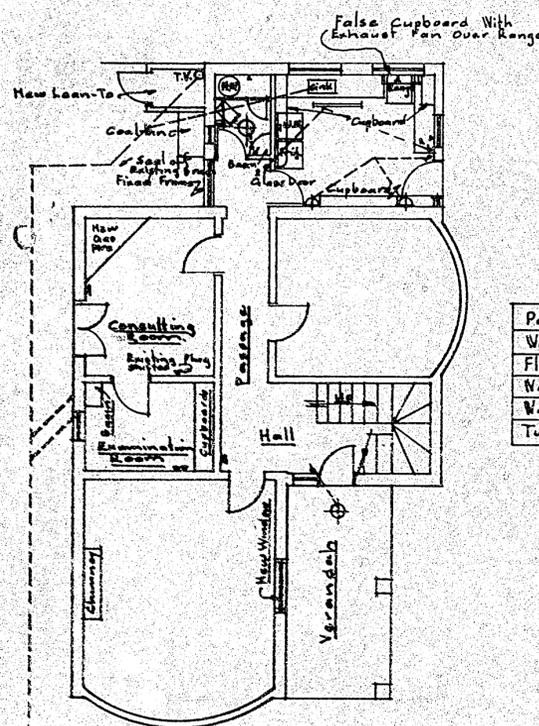
Note:
Side Walls of New Extension same Construction as New Wall shown. Key all New Work into Existing and Finish Exterior in same Finishes as Main House.

DUNEDIN CITY CORPORATION
COPY OF APPROVED PLAN
OR SPECIFICATION
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.
DATE 18.12.64
CITY ENGINEER

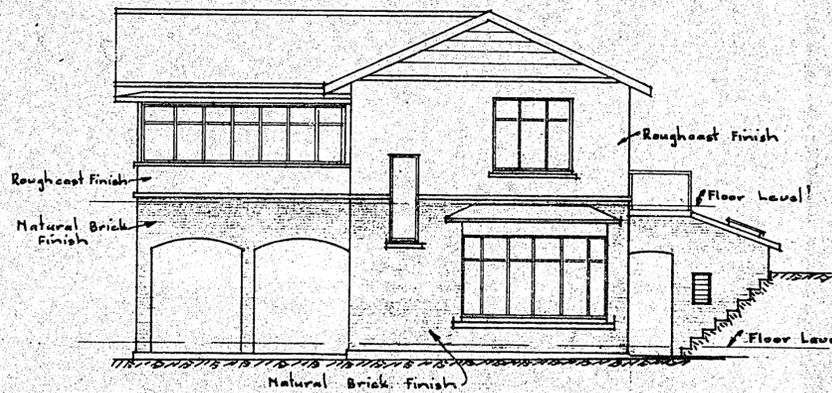
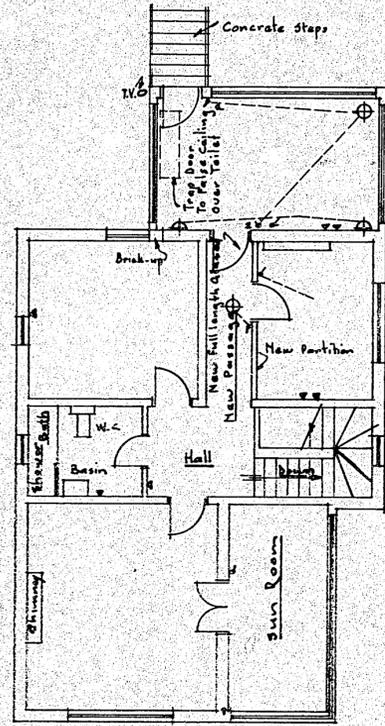
12382

Builder D. S. Moir
Owner W. Macbeth
Sheet N° 2

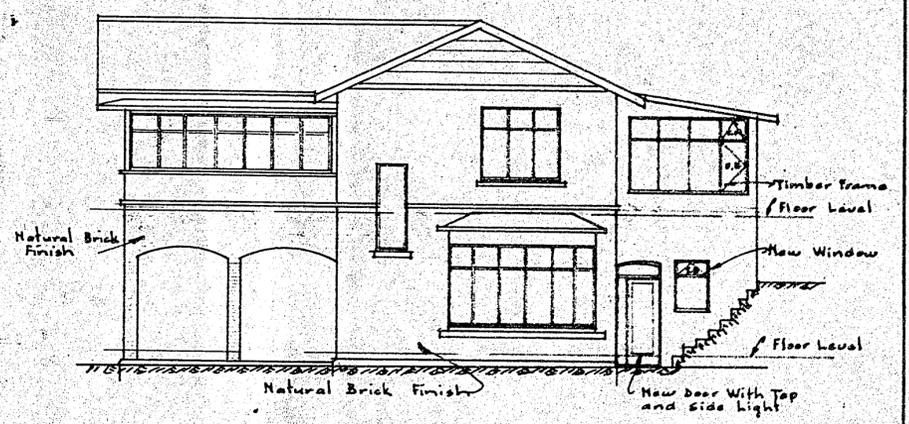
Scale - 1/16" = 1'-0"
Nov. 1964



- Pendant Light ⊕
- Wall Light ⊕
- Fluorescent Light ⊕
- Wall Switch ⊕
- Wall Plug ⊕
- Two-way Switch 2 ⊕



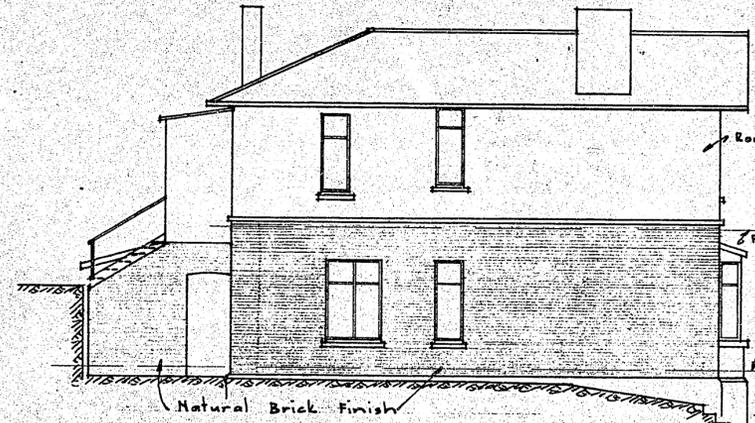
EXISTING NORTH ELEVATION



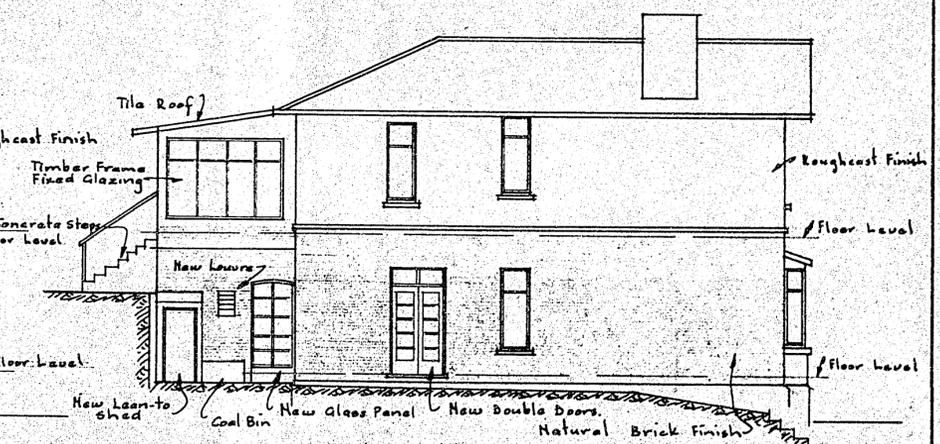
PROPOSED NORTH ELEVATION

PROPOSED GROUND FLOOR

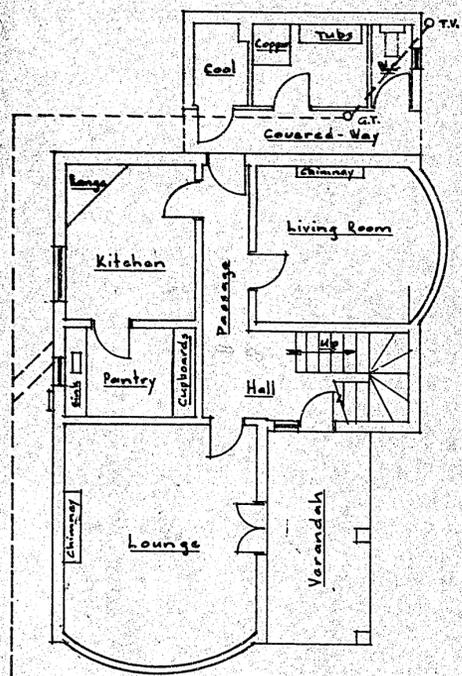
PROPOSED FIRST FLOOR



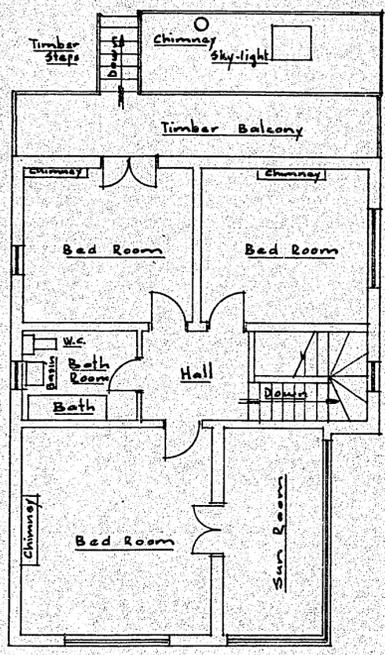
EXISTING SOUTH ELEVATION



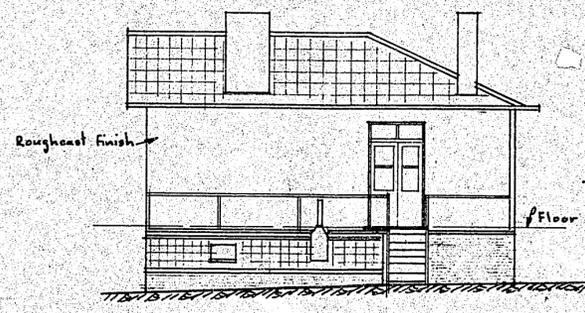
PROPOSED SOUTH ELEVATION



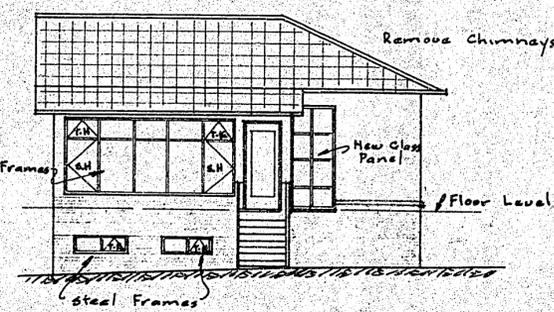
EXISTING GROUND FLOOR



EXISTING FIRST FLOOR



EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

DUNEDIN CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETAINED ON WORKS
 AND PRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 DATE: 11/11/24
 CITY ENGINEER

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

50 THE OCTAGON, P.O. BOX 5045, DUNEDIN 9031, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	477-4000	CCC No:	ABA 983334	Reference No:	5029607
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
<p>Name and Mailing Address:</p> <p>FURNISS, JANET 8 ELDER STREET DUNEDIN 9001</p>	<p>All <input checked="" type="checkbox"/></p> <p>Stage No of an intended stages</p> <p>New Building <input type="checkbox"/></p> <p>Alteration <input checked="" type="checkbox"/></p>
LEGAL DESCRIPTION	<p>Intended Use(s) in detail:</p> <p>S/WATER SEPARATION</p> <p>Intended Life:</p> <p>Indefinite, not less than 50 years <input checked="" type="checkbox"/></p> <p>Specified as years</p> <p>Demolition <input type="checkbox"/></p>
<p>Property Number: 5029607 Valuation Roll No: 27180 36000</p> <p>Street Address: 8 ELDER STREET, DUNEDIN 9001</p> <p>Legal Description: LOT 5 DP 2478</p>	

This is:

- A final code compliance issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name: [Signature]

Position: AUTHORISED OFFICER

Date: 01/12/1998

BUILDING CONSENT



Section 35, Building Act 1991

ISSUED BY:

DUNEDIN CITY COUNCIL

50 THE OCTAGON, P.O. BOX 5045, DUNEDIN 9031, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	477-4000	Consent No:	ABA 983334	Reference No:	5029607
---------------	----------	-------------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: FURNISS, JANET 8 ELDER STREET DUNEDIN 9001	All <input checked="" type="checkbox"/> Stage No of an intendedstages
PROJECT LOCATION	New Building <input type="checkbox"/>
Street Address: 8 ELDER STREET, DUNEDIN 9001	Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: SWATER SEPARATION
LEGAL DESCRIPTION	Intended Life:
Property Number: 5029607	Indefinite, not less than 50 years <input checked="" type="checkbox"/>
Valuation Roll No: 27180 36000	Specified as years
Legal Description: LOT 5 DP 2478	Demolition <input type="checkbox"/> Estimated Value: \$1065
COUNCIL CHARGES	Signed for and on behalf of the Council:
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:	Name: <i>[Signature]</i>
Total: \$	Position: AUTHORISED OFFICER
ALL FEES ARE GST INCLUSIVE	Date: 24/11/1998

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."

4-3594

29607

with the
duty or

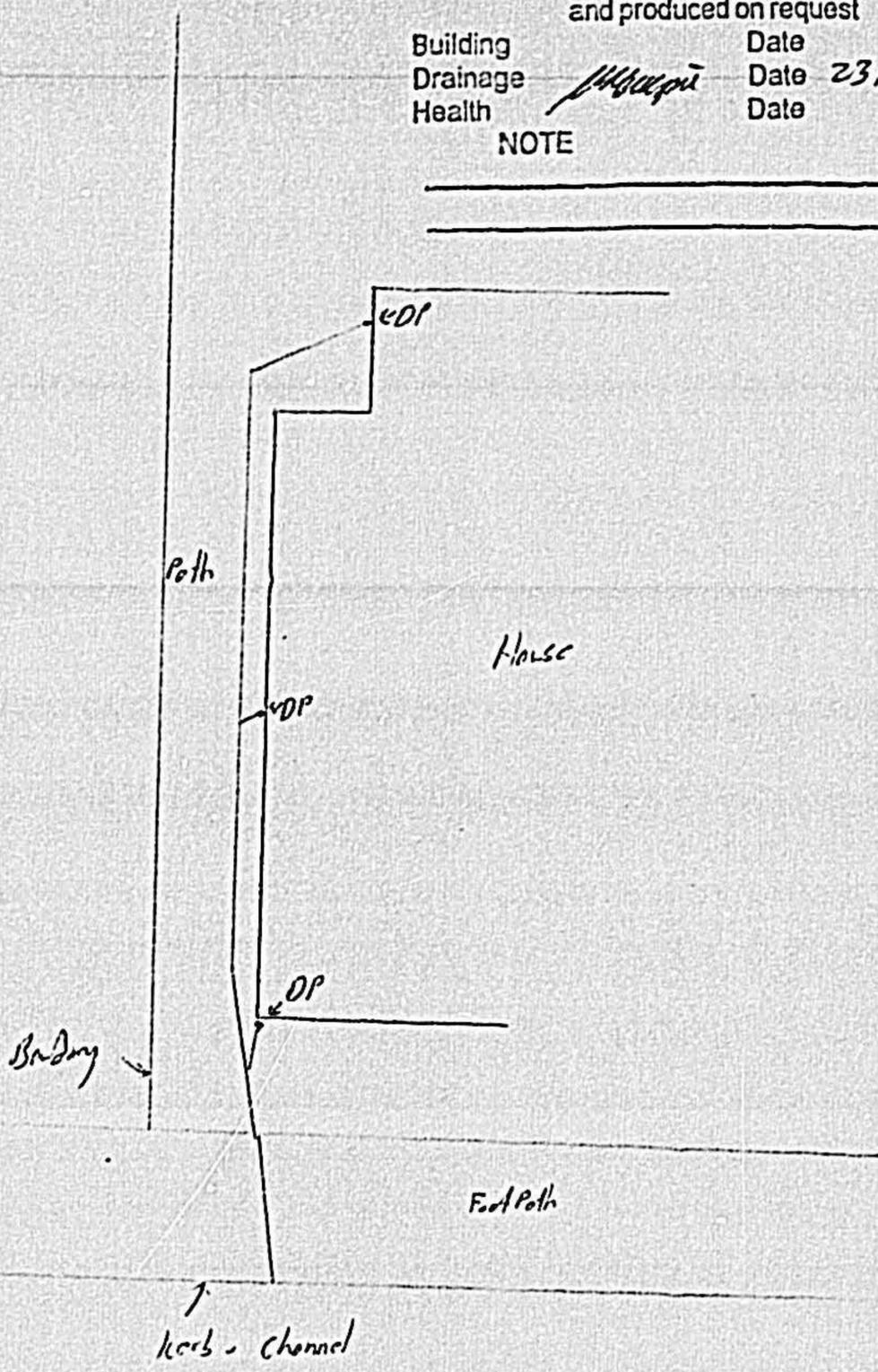
tions of

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance
with The New Zealand Building Code and Approved
Documents. To be retained on works
and produced on request

Building	Date
Drainage	Date 23/11/98
Health	Date

NOTE



D. J. McNAB & SON LTD
71-73 HARROW ST, DUNEDIN
Phone 776-891 P.O. Box 5115

8 Elder St
98 3334

Scale 1:100
Mrs Furniss
8 ELDER ST