

DISCLAIMER

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Dunedin City Council – Land Information Memorandum

Property Address: 99 Kaikorai Valley Road Dunedin

Prepared for: Rhys Donal Heatley and Wayne John Mason

Prepared on: 15-Apr-2026

Property Details:

| | |
|--------------------|---------------------------------|
| Property ID | 5113084 |
| Address | 99 Kaikorai Valley Road Dunedin |
| Parcels | LOT 2 DP 355930 |

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 15-Apr-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

FAULT

Kaikorai

Description: This report presents a general outline of the locations and character of active geological faults and folds in the Clutha and Dunedin City districts. The work described in this report is based on a desktop review of information from regional-scale geological mapping and from more detailed published or open-file geological studies relevant to understanding active faults in the two districts. This project involved the compilation of a Geographic Information System (GIS) dataset that gives the locations of active faults and folds delineated in the two districts. The interpretations and geographic positionings of the faults and folds were aided, where available, by topographic information from airborne LiDAR scans (laser radar) and from satellite, aerial or ground-based photographic archives.

Barrell, D.J.A. (2021). *General distribution and characteristics of active faults and folds in the Clutha and Dunedin City districts, Otago*. GNS Science.

<https://www.orc.govt.nz/media/10002/active-faults-folds-in-the-clutha-and-dunedin-city-districts-otago-2021.pdf>

Commissioned by: Otago Regional Council

Purpose: To describe the general distribution and characteristics of active faults and folds in the Clutha and Dunedin City districts of Otago, to assist with the identification and assessment of earthquake hazard for land-use planning purposes.

Scope of report: The Clutha District and Dunedin City District areas of Otago Region

Reference Number: 12094

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

| | |
|---------------------|---------------------------------|
| Rate Account | 4020528 |
| Address | 99 Kaikorai Valley Road Dunedin |
| Valuation Number | 26970-63102 |

Latest Valuation Details

| | |
|-----------------------|-----------|
| Capital Value | \$920,000 |
| Land Value | \$315,000 |
| Value of Improvements | \$605,000 |
| Area (Hectares) | 0.0577HA |
| Units of Use | 1 |

Current Rates

| | |
|------------------------------|-------------|
| Current Rating Year Starting | 01-Jul-2025 |
| Dunedin City Council Rates | \$4,666.82 |

Rates Outstanding for Year \$996.31

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

| | | | |
|-------------|----------|---|---|
| Status Key: | BC | - | Building Consent Issued |
| | CCC | - | Code Compliance Certificate Issued |
| | Archived | - | In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused. |
| | /CCC | - | |
| | Refused | - | |
| | Lapsed | - | Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect |

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-1993-321643](#) Building Consent - ABA932647

2647 - Erect Dwelling, Plumbing and Drainage, (Fitzpatrick)

Lodgement Date 18-Jun-1993
Decision Granted
Decision Date 14-Jul-1993
Current Status **CCC Issued**
Previous Number ABA932647

(Applications before 2007)

[ABA-2017-721](#) Building Consent - Add Deck to Upper Level of Dwelling, Install Door Unit, Construct Retaining Wall to Enlarge Parking Area

Lodgement Date 24-Apr-2017
Decision Granted
Decision Date 18-May-2017
Current Status **CCC Issued**
Previous Number

(Applications before 2007)

[ABA-2019-186](#) Building Consent - Amendment to ABA-2017-721 - Change Door to Stacker System and Amend Balustrade

Lodgement Date 11-Feb-2019
Decision Granted
Decision Date 05-Mar-2019
Current Status **CCC Issued**
Previous Number

(Applications before 2007)

[ABA-2022-2460](#) Building Consent - Alter Dwelling - Reclad Exterior Walls, Alter Roof One, Two and Three and Install Channel Drain. Install new Woodsman Brunner MKII heater.

Lodgement Date 08-Dec-2022
Decision Granted
Decision Date 11-Oct-2023
Current Status **CCC Requested**
Previous Number

(Applications before 2007)

[ABA-2024-1765](#) Building Consent - Amendment to ABA-2022-2460 - Revise Roof Framing and Cladding to Small Roofs, Alter Wall Framing and Revise Cladding to Part Wall

Lodgement Date 21-Oct-2024
Decision Granted
Decision Date 17-Dec-2024
Current Status **CCC Requested**
Previous Number

(Applications before 2007)

[ABA-2025-101](#) Building Consent - Amendment to ABA-2022-2460 - Replace Plaster Cladding

| | |
|-----------------------------------|----------------------|
| Lodgement Date | 14-Feb-2025 |
| Decision | Granted |
| Decision Date | 15-Mar-2025 |
| Current Status | CCC Requested |
| Previous Number | |
| <i>(Applications before 2007)</i> | |

Building and Drainage Permits

There are no Building or Drainage Permits recorded for this property. In some instances permits may have been recorded as building consents, please also check the consent section of the LIM.

Building Notices

Notice To Fix

The following is a list of Notices To Fix for this property.

| | |
|----------------------|---|
| Notice Number | NTF-2025-18 |
| Status | Resolved |
| Description | Non-compliance with Section 17 of the Building Act 2004, in that all building work must comply with the building code to the extent required by this Act, whether or not a building consent is required in respect of that building work. |

The existing exterior cladding system on the dwelling has failed therefore the structural timber framing is rotten and requires replacement.

Resource Consents

The following Resource Consent(s) are recorded for this property:

[RMA-2003-366461](#) - Resource Management Act (Historical Data)

| | |
|----------------|-------------------------------|
| Description | SUBDIVISION INTO 2 ALLOTMENTS |
| Lodgement Date | 21-Mar-2003 |
| Decision | Granted |
| Decision Date | 11-Apr-2003 |
| Current Status | Consent Lapsed |

[RMA-2005-369240](#) - Resource Management Act (Historical Data)

| | |
|----------------|---|
| Description | TWO LOT SUBDIVISION (REPLACEMENT OF LAPSED SUBDIVISION CONSENT RMA 2003-0236) |
| Lodgement Date | 11-Jul-2005 |
| Decision | Granted |
| Decision Date | 03-Aug-2005 |
| Current Status | s224c Issued |

Consent Stages

| | |
|-----------------|------------------|
| Type | s223 Certificate |
| Issued Date | 25 August 2005 |
| Further Details | |
| Type | s224 Certificate |
| Issued Date | 25 August 2005 |
| Further Details | |

LUC-2017-185 - Land Use Consent

| | |
|----------------|---|
| Description | land use consent to construct a deck that breaches yard setback and height plane angle requirements, and construct a retaining wall |
| Lodgement Date | 27-Apr-2017 |
| Decision | Granted |
| Decision Date | 19-Jul-2017 |
| Current Status | Completed |

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan ("The 2GP") is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 2 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Wastewater Constraint Mapped Area
 - Name: Kaikorai Valley and South Dunedin
- Road Classification Hierarchy (main roads within 30m of site)
 - Kaikorai Valley Rd is a Strategic road

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 99 Kaikorai Valley Road Dunedin

[5019636 85 Kaikorai Valley Road Dunedin](#)

[RMA-1995-352175](#) Resource Management Act (Historical Data) erect double carport with patio and conservatory on top (Non-Notified - Non Complying). The outcome was Granted on 19/10/1987.

[5019640 93 Kaikorai Valley Road Dunedin](#)

[LUC-2023-256](#) Land Use Consent The display of temporary signage at 10 locations.. The outcome was Granted on 12/07/2023.

[5019641 95 Kaikorai Valley Road Dunedin](#)

[LUC-2015-411](#) Land Use Consent construct garage/sleepout. The outcome was Granted on 07/10/2015.

[5019642 97 Kaikorai Valley Road Dunedin](#)

[RMA-2003-366462](#) Resource Management Act (Historical Data) LAND USE CONSENT FOR EXISTING GARAGE ON PROPOSED LOT 1 OF RMA 2003-0236 (Non-Notified - Non Complying). The outcome was Granted on 11/04/2003.

[RMA-2003-366461](#) Resource Management Act (Historical Data) SUBDIVISION INTO 2 ALLOTMENTS (Non-Notified - Non Complying). This consent has since Lapsed.

[RMA-2005-369240](#) Resource Management Act (Historical Data) TWO LOT SUBDIVISION (REPLACEMENT OF LAPSED SUBDIVISION CONSENT RMA 2003-0236) (Non-Notified - Non Complying). The outcome was Granted on 03/08/2005.

[5019643 105 Kaikorai Valley Road Dunedin](#)

[RMA-1996-360045](#) Resource Management Act (Historical Data) CONSERVATORY DBTR - ELLISONS ALUMINIUM LIMITED SEE 96/0737 FOR FEES.

[5019650 101 Kaikorai Valley Road Dunedin](#)

[RMA-1997-361032](#) Resource Management Act (Historical Data) 4 Lot subdivision leaving large balance area sec 125 extension - for further 6 months (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 24/11/1997.

[RMA-1995-358540](#) Resource Management Act (Historical Data) SUBDIVISION CONSENT TO CREATE THREE PROPERTIES FROM FIVE EXISTING TITLES AND LAND USE CONSENT TO ESTABLISH A COPPING OPERATION ON PROPOSED LOT 1 (Notified - Non Complying). The outcome was Granted on 06/12/1995.

[5020588 86 Kaikorai Valley Road Dunedin](#)

[RMA-2003-366851](#) Resource Management Act (Historical Data) REMOVE TWO TREES, ONE POPLAR & ONE WILLOW (Non-Notified - Restricted Discretionary). The outcome was Granted on 19/08/2003.

[5043694 120 Kaikorai Valley Road Dunedin](#)

[RMA-2005-368771](#) Resource Management Act (Historical Data) ERECT GARAGE (Non-Notified - Restricted Discretionary). The outcome was Granted on 11/03/2005.

[RMA-1998-361709](#) Resource Management Act (Historical Data) ERECT TEMPORARY SIGNS AT VARIOUS ADDRESSES FOR HOUSE AND GARDEN SHOW (Non-Notified - Non Complying). The outcome was Granted on 12/02/1998.

[RMA-1992-355590](#) Resource Management Act (Historical Data) EST VETERINARY PRACTICE / App: R BROWN & R MUNDIE BOX 8001 (Non-Notified - Non Complying). The outcome was Granted on 10/12/1992.

[5103093 133 Kaikorai Valley Road Dunedin](#)

[LUC-2019-690/A](#) Land Use Consent S125 application to extend lapse period - The two new residential units on Lot 1 and Lot 4 SUB-2019-164 and associated earthworks. The outcome was s125 Granted on 11/02/2025.

[SUB-2019-164/B](#) Subdivision Consent S125 extension of lapse date - The subdivision of the existing two sites into four sites.. The outcome was s125 Granted on 11/02/2025.

[SUB-2019-164](#) Subdivision Consent the subdivision of the existing two sites into four sites. The outcome was Granted on 09/04/2020.

[LUC-2019-690](#) Land Use Consent two new residential units on Lot 1 and Lot 4 SUB-2019-164 and associated earthworks. The outcome was Granted on 09/04/2020.

[RMA-1997-361032](#) Resource Management Act (Historical Data) 4 Lot subdivision leaving large balance area sec 125 extension - for further 6 months (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 24/11/1997.

[RMA-1995-358540](#) Resource Management Act (Historical Data) SUBDIVISION CONSENT TO CREATE THREE PROPERTIES FROM FIVE EXISTING TITLES AND LAND USE CONSENT TO ESTABLISH A COPPING OPERATION ON PROPOSED LOT 1 (Notified - Non Complying). The outcome was Granted on 06/12/1995.

[5113083 97 Kaikorai Valley Road Dunedin](#)

[RMA-2003-366462](#) Resource Management Act (Historical Data) LAND USE CONSENT FOR EXISTING GARAGE ON PROPOSED LOT 1 OF RMA 2003-0236 (Non-Notified - Non Complying). The outcome was Granted on 11/04/2003.

[RMA-2003-366461](#) Resource Management Act (Historical Data) SUBDIVISION INTO 2 ALLOTMENTS (Non-Notified - Non Complying). This consent has since Lapsed.

[RMA-2005-369240](#) Resource Management Act (Historical Data) TWO LOT SUBDIVISION (REPLACEMENT OF LAPSED SUBDIVISION CONSENT RMA 2003-0236) (Non-Notified - Non Complying). The outcome was Granted on 03/08/2005.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012.

The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Shared private driveway – vehicle access to this property is over adjoining property boundary.

Access to this property appears to be via a private driveway over the adjoining property boundary. The maintenance of the private driveway/s is the property owners/users responsibility. Please consult with your Lawyer to find out if this is registered under your property title and/or there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

Non-compliant vehicle crossing – no stormwater run-off.

It appears there are no stormwater provisions in place for this vehicle crossing. To meet current Council standards the stormwater run-off would be required to be captured at the boundary and managed in a way where it does not cause a nuisance to neighbouring properties, including the road corridor. For example: a strip drain with sump or a sump and piped to the kerb and channel. Council accepts this situation but accepts no liability and the maintenance is the responsibility of the property owner. This may be required to be upgraded in the future.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

| | |
|-----|--|
| AAB | DCC Building permit |
| AAD | DCC Drainage permit |
| AAG | Green Island drainage permit |
| AAH | Hyde permit |
| AAK | St Kilda permit |
| AAM | Mosgiel permit |
| AAP | Port Chalmers permit |
| AAS | Silverpeaks permit |
| AAT | Maniototo permit |
| ABA | Application Building Act 1991 |
| AMD | Amendment to a Building Consent |
| BC | Building Consent |
| BCC | Building Compliance Certificate - Sale and Supply of Alcohol Act |
| BCM | Building Complaint |
| CER | Certifier |
| COA | Certificate of Acceptance |
| DGL | Dangerous Goods Licensing |
| ENV | Health complaint |
| HTH | Health licence |
| LIQ | Alcohol licence |
| NTF | Notice to Fix |
| NTR | Notice to Rectify |
| PIM | Project Information Memorandum |
| POL | Planning Other Legislation |
| RMA | Resource Management Act - Resource consent |
| RMC | Resource consent complaint |
| WOF | Building Warrant of Fitness |

Terms used in Permits & Consents

| | |
|--------|---------------------------------|
| ALT | Alteration |
| ADD | Addition |
| BD D/C | Board drain in common |
| BLD | Building |
| BLDNG | Building |
| BT | Boundary trap |
| B/T | Boiler tube |
| CCC | Code Compliance Certificate |
| DAP | Drainage from adjacent property |
| DGE | Drainage |
| DIC | Drain in common |
| DR | Drainage |
| DWG | Dwelling |
| FS | Foul sewer |
| HEA | Heater |
| ICC | Interim Code Compliance |

MH Manhole
PL Plumbing
PLB Plumbing
PTE Private
SIS Sewer in section
WC Water course
WT Water table
SW Stormwater

General terms

RDMS Records and Document Management System

Appendices



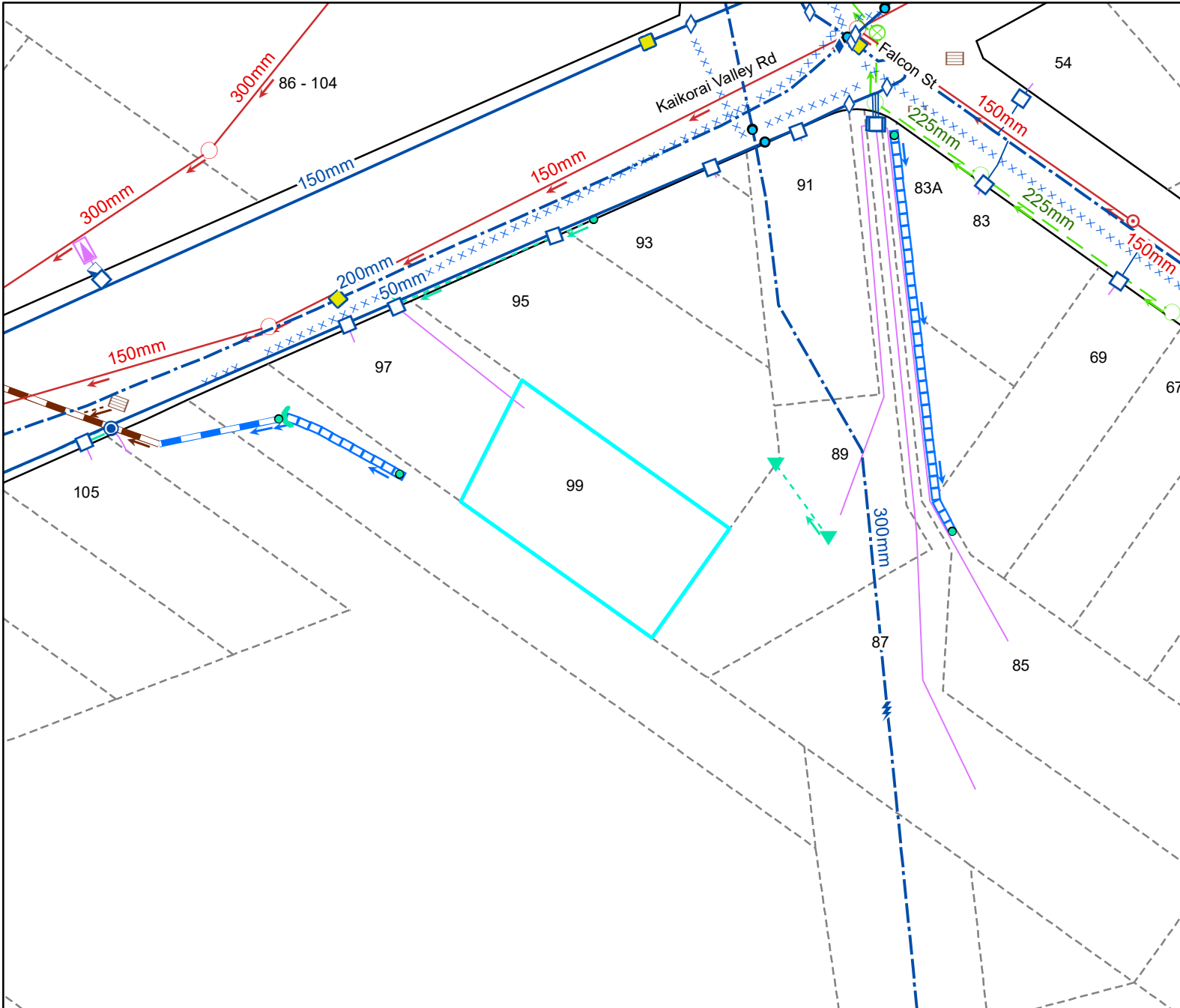
Photographic Map

Scale at A4:
1:750
9/04/2026
8:01:53 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys Ltd, Rural, ORC/Aerial Surveys Ltd, CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013, Copyright DCC, CC BY 3.0 NZ
2006/2007 Urban photography March 2007, copyright NZAM, Rural photography March 2006, copyright Terralink International Ltd.



Legend

| Water Supply | |
|--------------|--------------------------------|
| | Manifold Box |
| | Water Meter |
| | Toby |
| | Meter without manifold box |
| | Retic Flow Meter |
| | Combination Meter |
| | Manifold Box With Restrictor |
| | Water Valve - Zone |
| | Non Return Valve |
| | Water Valve - Gate |
| | Water Valve - Sluice |
| | Water Hydrant |
| | Water Backflow Preventor - RPZ |
| | Water Non-Return Valve |
| | Water Pump Station |
| | Water Bore |
| | Water Treatment Plant |
| | Water Storage Tank |
| | Supply Main |
| | Trunk Main |
| | Disused |
| | Reticulation |
| | Scour |
| | Water Service Lateral |
| | Water Fire Service Lateral |
| | Water Critical Service Lateral |
| | Water Zone Boundary |
| | Water Reservoir |
| | Redundant Water Main |

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

| Foul Sewerage | |
|---------------|--------------------------------|
| | Standard Manhole |
| | Valve Chamber (pressurised) |
| | Boundary Kit |
| | Non-Return Valve |
| | Pump Station Domestic |
| | Drop Manhole |
| | Inspection Manhole |
| | Inspection Opening |
| | Lamphole |
| | Outlet |
| | Pump Station |
| | Treatment Plant |
| | Vent |
| | Foul Sewer Node |
| | Foul Drains in Common (public) |
| | Sewer |
| | Trunk Sewer |
| | Vent Line |
| | Rising Main |
| | Redundant Foul Sewer Pipe |

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

| Stormwater | |
|------------|-----------------------------------|
| | SW Bubble-up Tank |
| | SW Drop Manhole |
| | SW Insp Chamber and Grating Inlet |
| | SW Inspection Manhole |
| | SW Inspection Opening |
| | SW Lamphole |
| | SW Mudtank Inlet |
| | SW Outlet |
| | SW Pipe Inlet |
| | SW Pressure Manhole |
| | SW Standard Manhole |
| | SW Stormwater Node |
| | Roading Bubble-Up Tank |
| | Roading Mudtank |
| | Stormwater Main |
| | Stormwater Trunk Main |
| | DCC Open Channel |
| | Piped WC |
| | Open WC |
| | Culvert |
| | Stormwater Mudtank Pipe |
| | Redundant Stormwater Main |
| | SW Sump |
| | SW Pump Station |

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

| General | | Cadastral | |
|---------|-----------------------------|-----------|--------------------------|
| | DCC Water & Waste Structure | | Parcel |
| | Railway Centreline | | Road/Rail |
| | Hydro | | Motorway Parcels |
| | Strata | | Easment (where recorded) |

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
1:750
9/04/2026
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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.

CODE COMPLIANCE CERTIFICATE



Section 43(3), Building Act 1991

ISSUED BY:

DUNEDIN CITY COUNCIL

50 THE OCTAGON. P.O. BOX 5045, DUNEDIN 9031, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

| | | | | | |
|---------------|----------|---------|------------|---------------|---------|
| Telephone No: | 477-4000 | CCC No: | ABA 932647 | Reference No: | 5019642 |
|---------------|----------|---------|------------|---------------|---------|

(Insert a cross in each applicable box. Attach relevant documents).

| PROJECT LOCATION | PROJECT |
|--|--|
| Name and Mailing Address: FITZPATRICK, BEVAN GEORGE 97 KAIKORAI VALLEY ROAD DUNEDIN 9001 | All <input checked="" type="checkbox"/> Stage Noof an intendedstages New Building <input checked="" type="checkbox"/> Alteration <input checked="" type="checkbox"/> |
| LEGAL DESCRIPTION | Intended Use(s) in detail: ERECT DWG/PLB & DRNGE Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/> |
| Property Number: 5019642 Valuation Roll No: 26970 63100 Street Address: 97 KAIKORAI VALLEY ROAD, DUNEDIN 9001 Legal Description: PART LOT 8 DP 1444 | |

This is:

- A final code compliance issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name:.....

Position: AUTHORISED OFFICER

Date: 27/05/1998
27-7-96

BUILDING CONSENT No.: 93/2647

Project Information Memorandum No.:

ISSUED BY Section 35, Building Act 1991
DUNEDIN CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents)

| APPLICANT | PROJECT |
|--|--|
| Name: B G FITZPATRICK Mailing Address: 97 KAIKORAI VLLY RD DUNEDIN | All <input type="checkbox"/> Stage No. of an intended stages of: <input type="checkbox"/> New Building <input type="checkbox"/> Alteration <input type="checkbox"/> Intended Use(s) (in detail): ERECT DWG/PLB & DRNGE Intended Life: Indefinite, but not less than 50 years <input checked="" type="checkbox"/> Specified as years <input type="checkbox"/> Demolition <input type="checkbox"/> Estimated Value: \$ 100,000.00 |
| PROJECT LOCATION | |
| Street Address: 97 KAIKORAI VLLY RD DUNEDIN | |
| LEGAL DESCRIPTION | |
| Property Number: 196429 Valuation Roll Number: 2697063100 Lot: PT 8 DP: 1444 Section: Block: Survey District: UPPER KAIKORAI | |
| COUNCIL CHARGES | |
| The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$ 0.00 ALL FEES ARE G.S.T. INCLUSIVE | Signed for and on behalf of the Council: Name: <u>J. A. Dewar</u> Position: _____ Date: <u>16/10/93</u> |

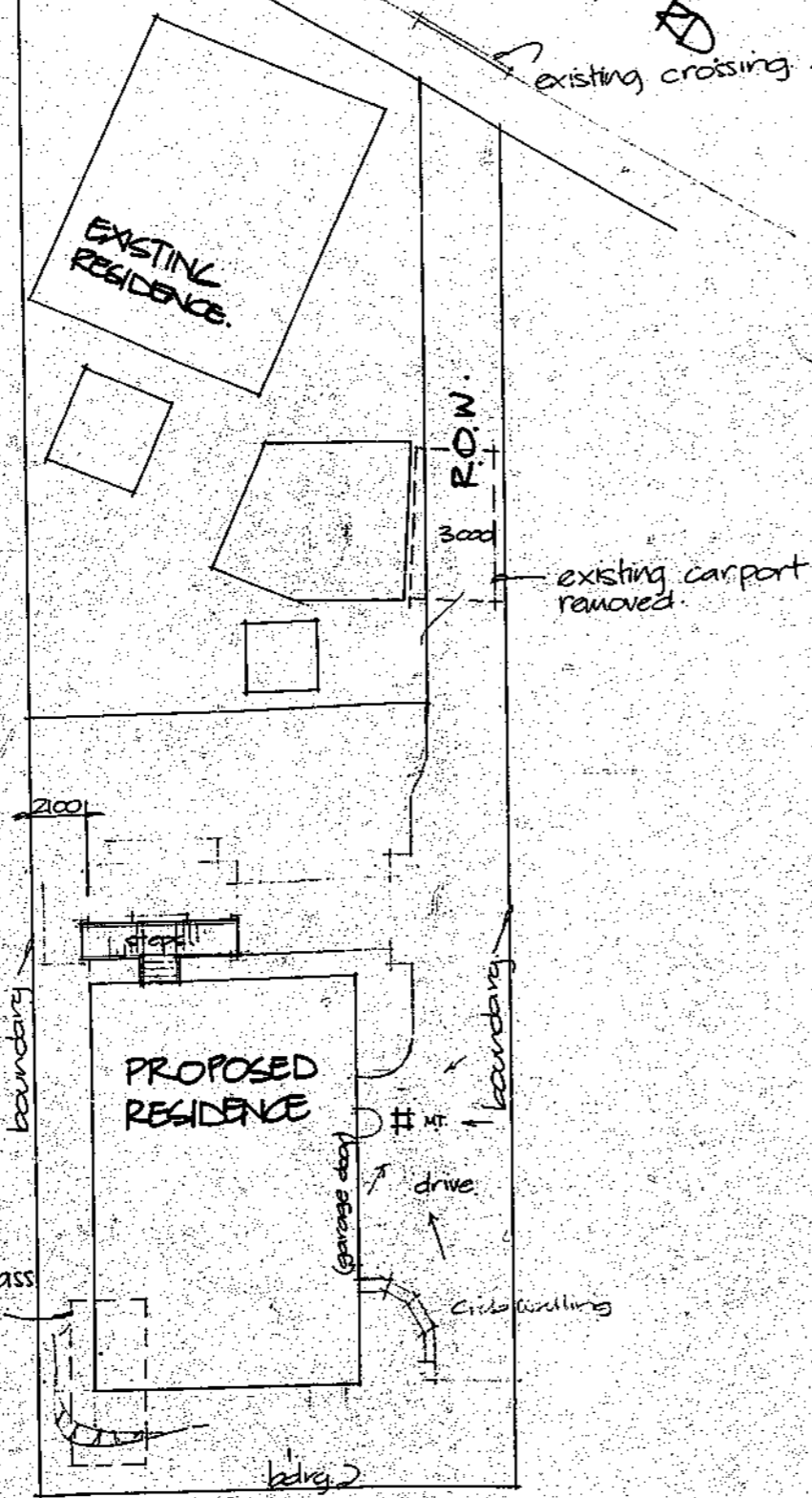
This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the Building Code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached _____ pages, headed "Conditions of Building Consent No. _____".

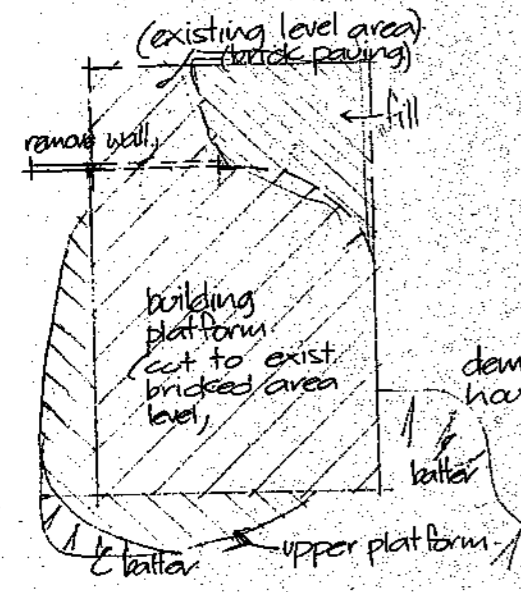
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 01:11 22 33 44 55 66 77 88 99 100 111 122 133 144 155 166 177 188 199 200 211 222 233 244 255 266 277 288 299 300 311 322 333 344 355 366 377 388 399 400
 01:11 22 33 44 55 66 77 88 99 100 111 122 133 144 155 166 177 188 199 200 211 222 233 244 255 266 277 288 299 300 311 322 333 344 355 366 377 388 399 400

KAIKORAI VALLEY RD
 Existing crossing

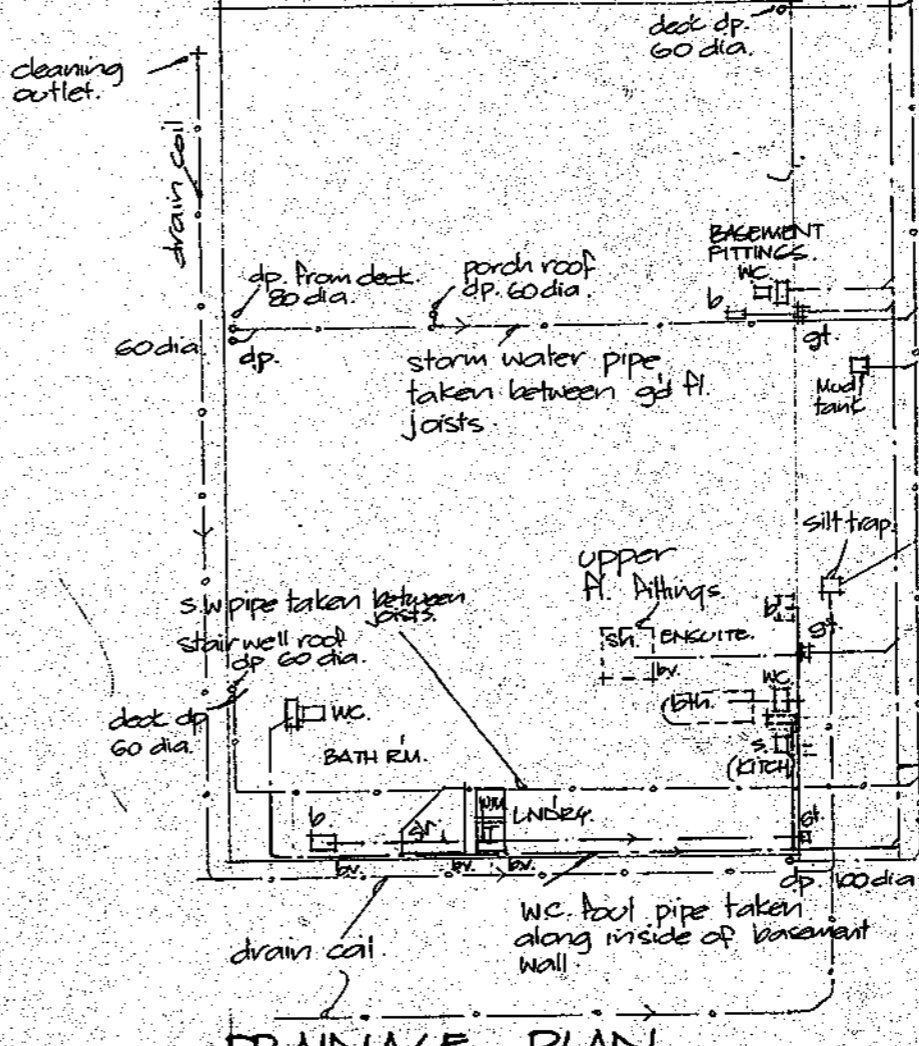
NORTH



SITE PLAN 1:200



FLAT FORM EXCAVATION 1:200



DRAINAGE PLAN 1:100

MUD TANK PRIOR TO FOOTPATH FOR SURFACE WATER
 Storm water to Kerb.

foul drain to street sewer.

DUNEDIN CITY COUNCIL
 Plans and Specifications Approved in accordance with clause E.1. G.1. G.12. G.13 B2
 of the Building Regulations 1992
 Signed *[Signature]*
 Position *[Signature]* Date 24/6/93

Notes & Materials.

- dp down pipe
- b.v. back vent (40 dia upvc)
- gt gully trap
- sw storm water drain
- foul drain
- foul pipe (wc) 80 dia upvc
- storm water drain 110 dia upvc
- storm water pipe 80 dia upvc (within floor)
- down pipes dia's as shown upvc with clamp fixings 1200 chrs.
- basin wastes 52 dia upvc
- sink, tub, showers 40 dia upvc
- bath 40 dia upvc
- sputting Hi line (130x80x160)
- drain coil 100 dia
- All work shall be done in accordance with the New Zealand Building Code 1992 & relevant studs & regulations.
- terminal vent 80 dia upvc.

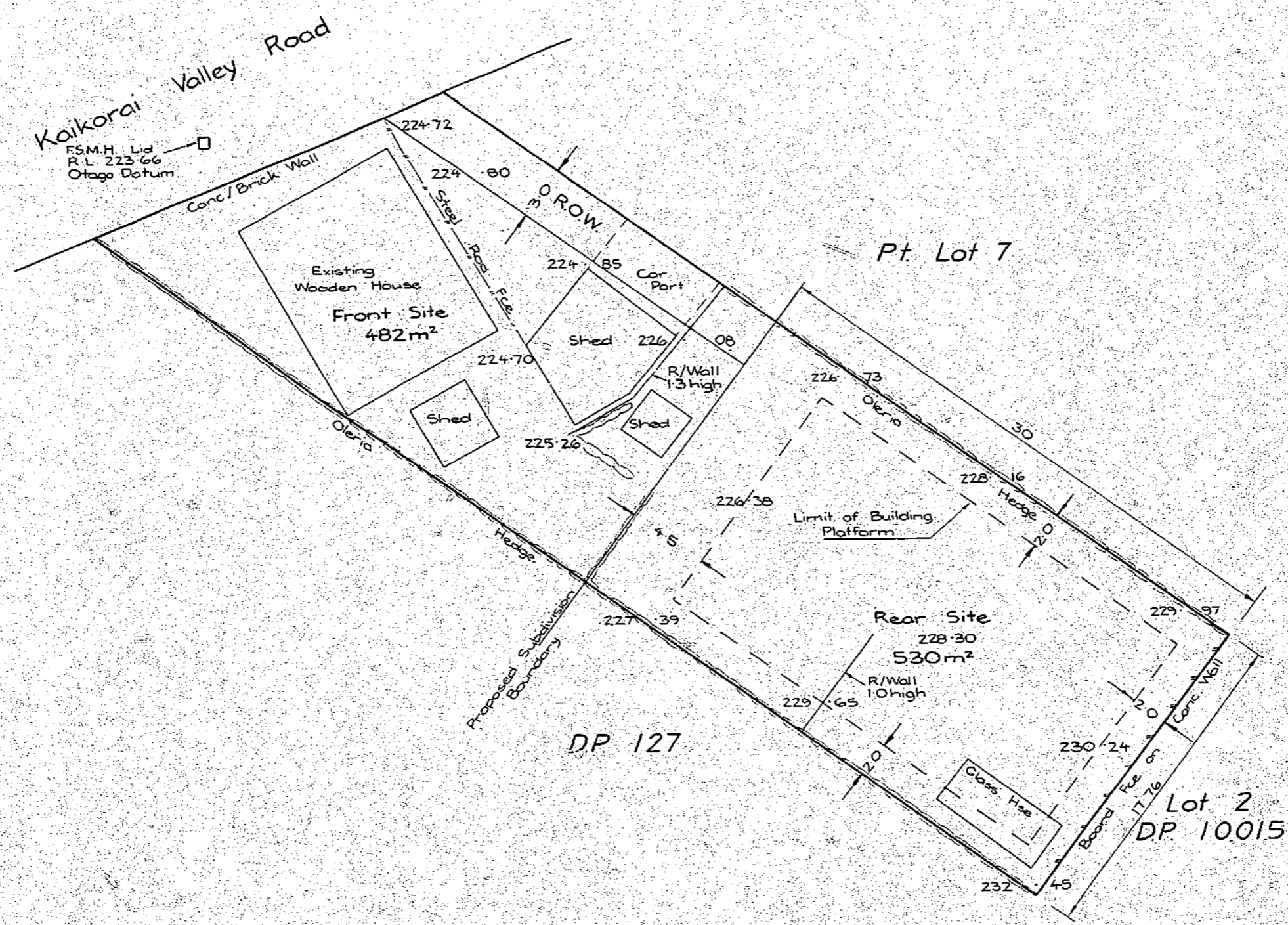
DUNEDIN CITY COUNCIL
 Copy of Approved Plan and/or Specification TO BE RETAINED ON WORKS AND PRODUCED ON REQUEST OF BUILDING INSPECTOR.
 DATE 24/6/93
[Signature] BUILDING INSPECTOR

LEGAL
 part lot 8
 DP 1444
 area 1012 m²

93/2647

PROPOSED RESIDENCE FOR MR + MRS B.G. FITZPATRICK.
 AT 97 KAIKORAI VALLEY ROAD, DUNEDIN.
 drawn: C.G. Sargeant NZCO (Arch) AMNZFAD JUNE 1993.

1



Owner: B.G. Fitzpatrick

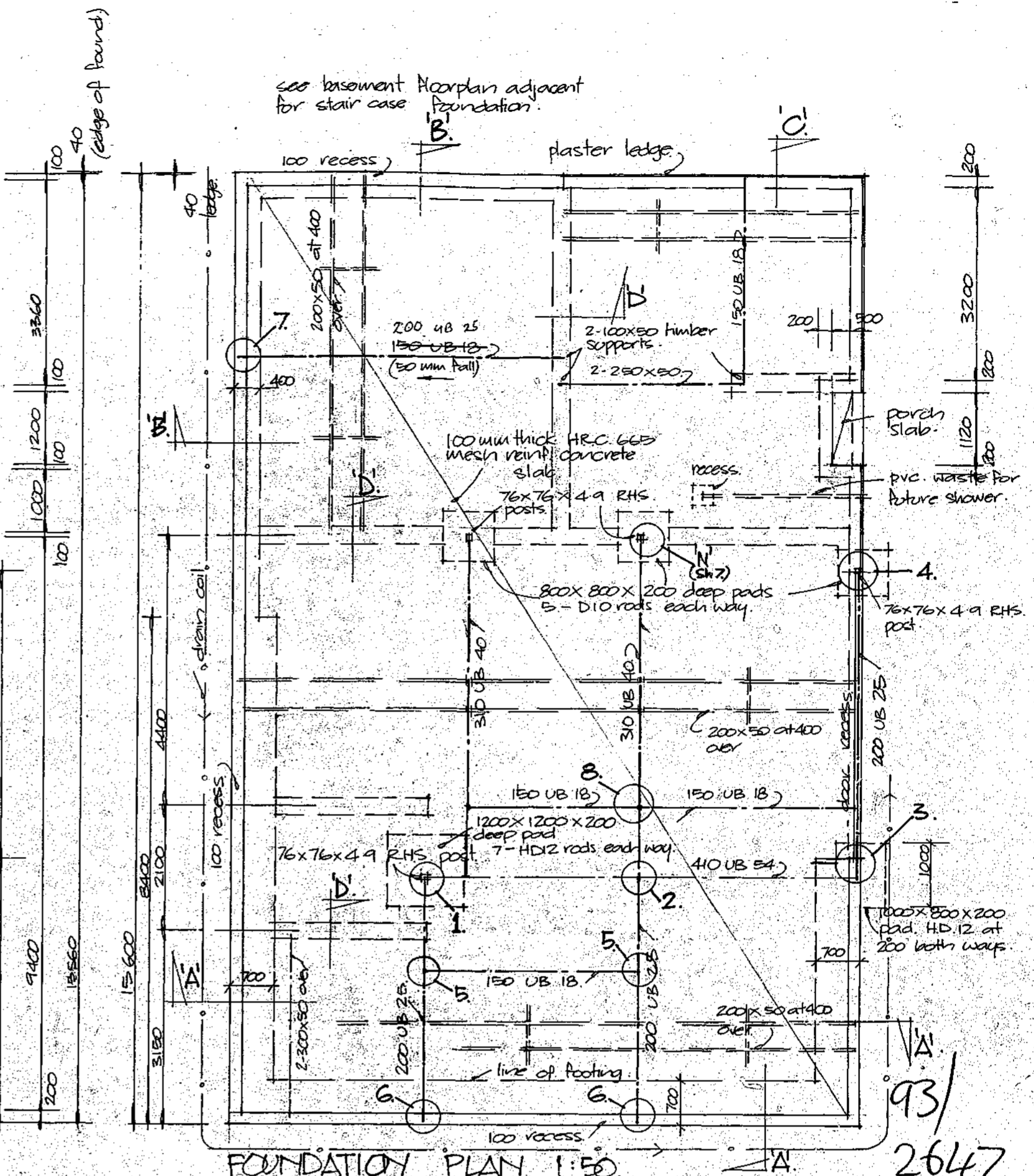
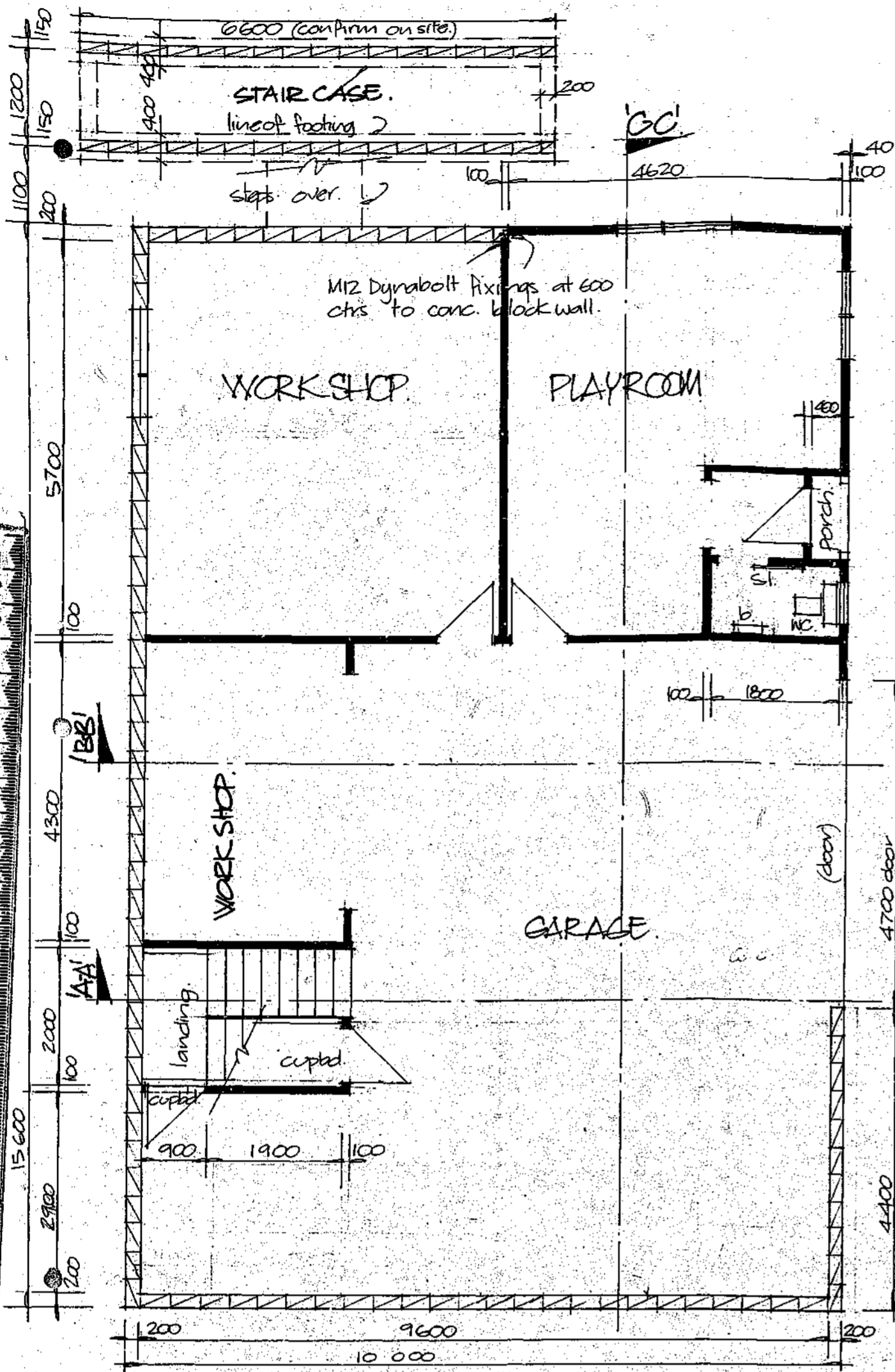
C.T.: 137/265

Area: 1012 m²

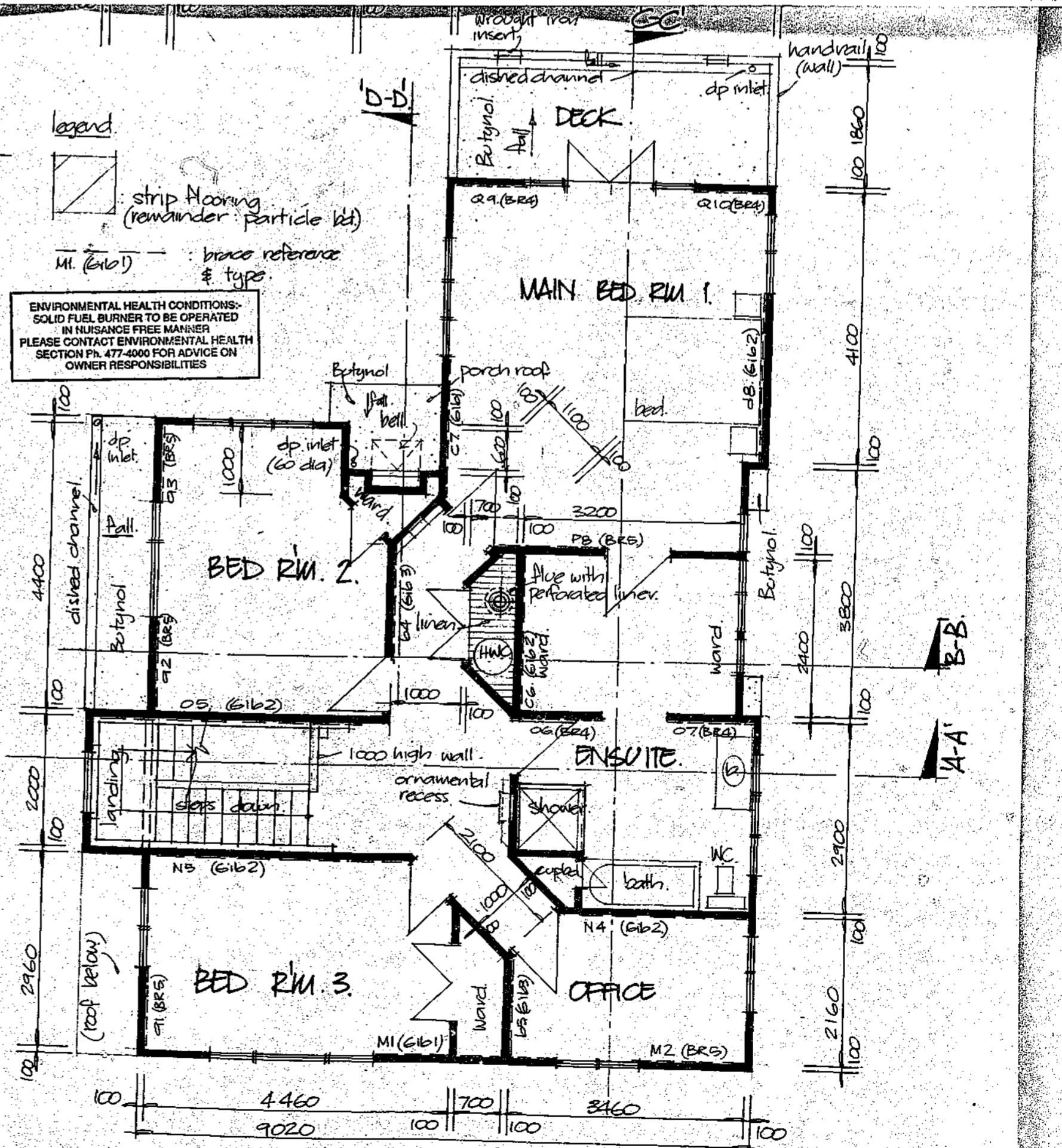
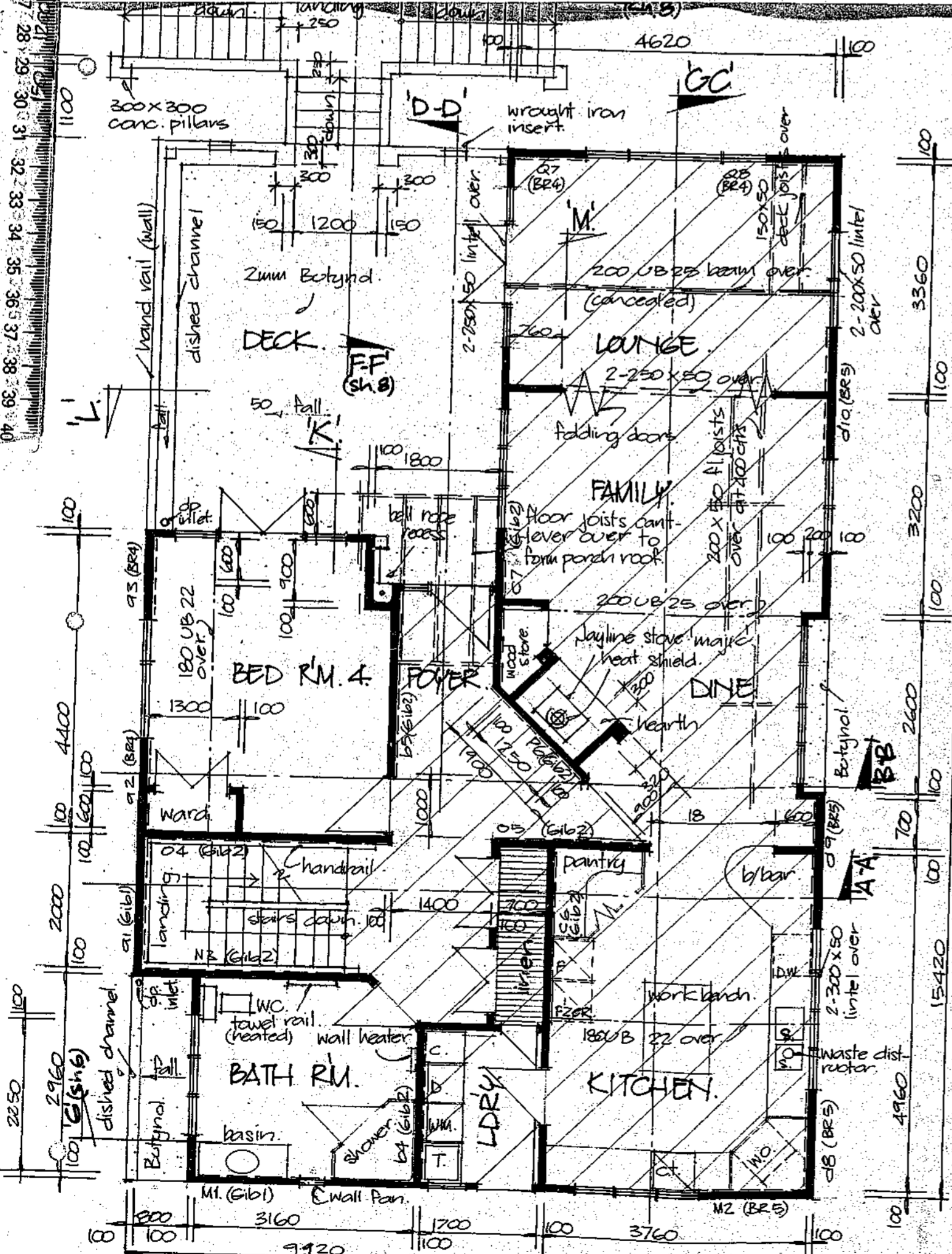
D.G. HATFIELD & ASSOCIATES
 SURVEYING & RESOURCE MANAGEMENT
 DUNEDIN MOSGIEL BALCLUTHA

SITE PLAN - 97 KAIKORAI VALLEY ROAD
 PT LOT 8, D.P. 1444

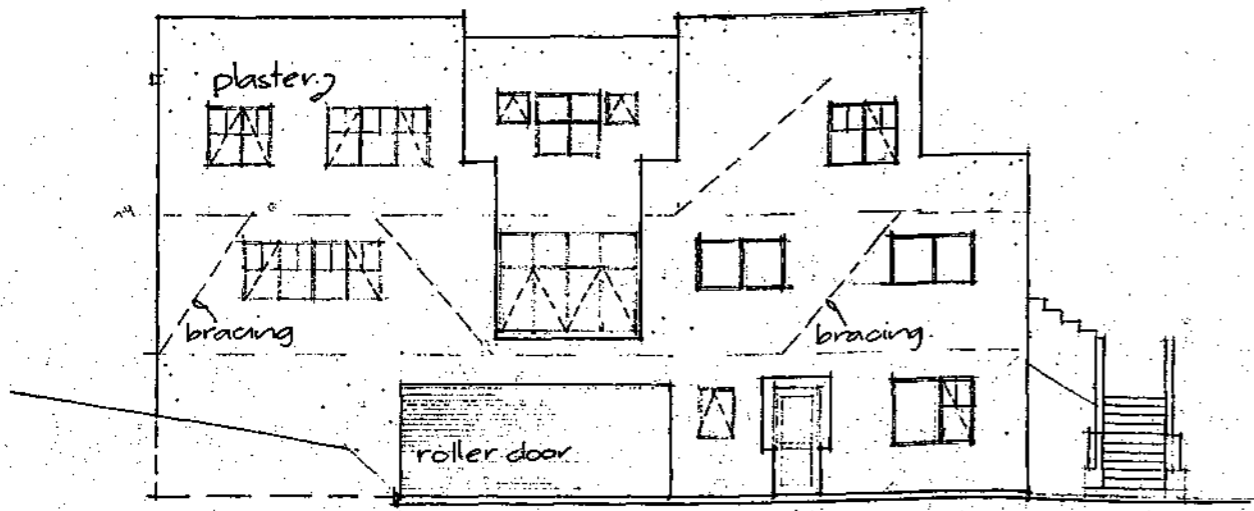
| No | AMENDMENTS | Initials | Date | ORIG. SCALE | JOB No. |
|--------|---------------|----------|------|-------------|----------|
| | | | | 1:200 | 5821 |
| | | | | DATUM | PLAN No. |
| SURVEY | T.P.S. Apr 93 | | | OTAGO | 5821/1 |
| LEVEL | | | | | |
| DESIGN | | | | | |



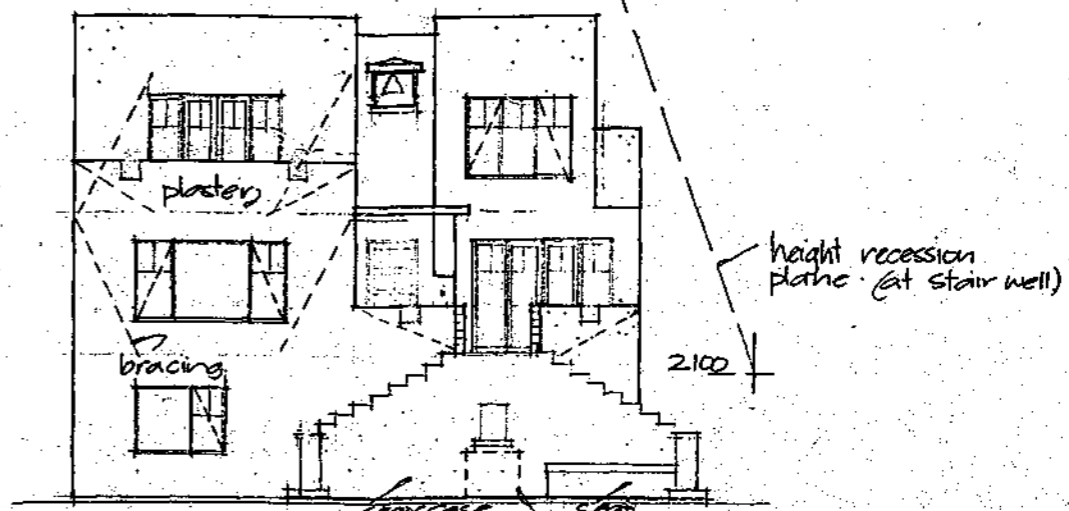
PROPOSED RESIDENCE FOR MR + MRS B. G. FITZPATRICK,
 AT 97 KAIKORAI VALLEY ROAD, DUNEDIN.
 drawn: C. G. Sargeant NZCO (Arch) AMNZPAP June 1993.



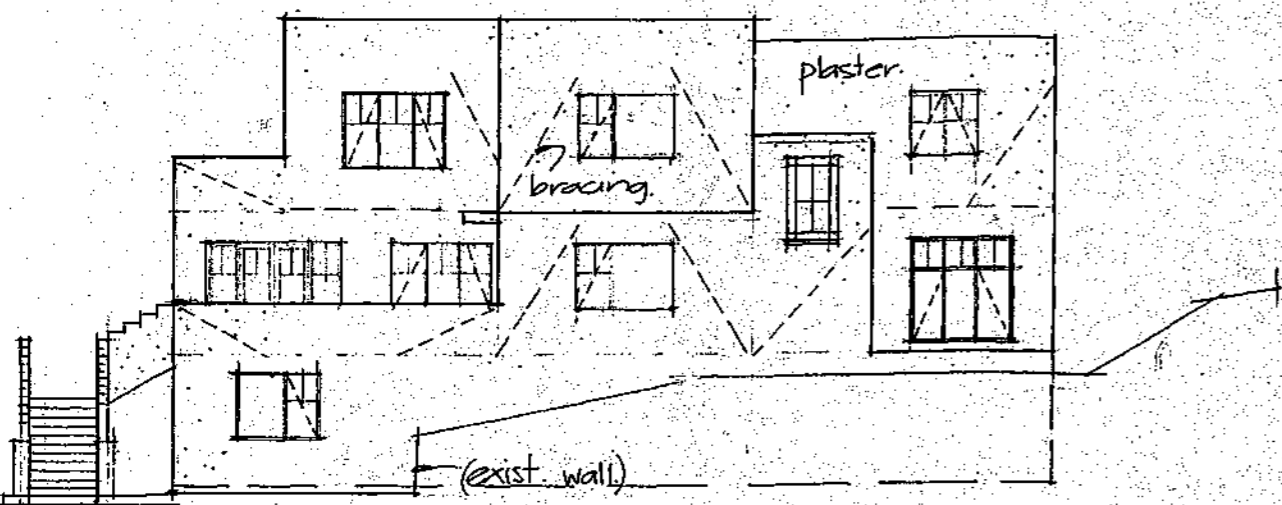
PROPOSED RESIDENCE FOR MR + MRS B. G. FITZPATRICK,
 AT 97 KAIKORAI VALLEY ROAD, DUNEDIN.
 drawn: C. G. Sargeant NZCO (Arch) AMNZPAP June 1993.



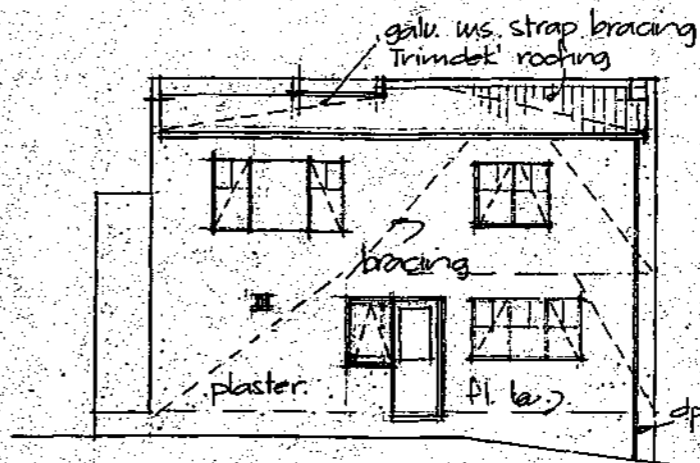
Nth East ELEVATION
1:100



Nth West ELEVATION
1:100



Sth West ELEVATION
1:100

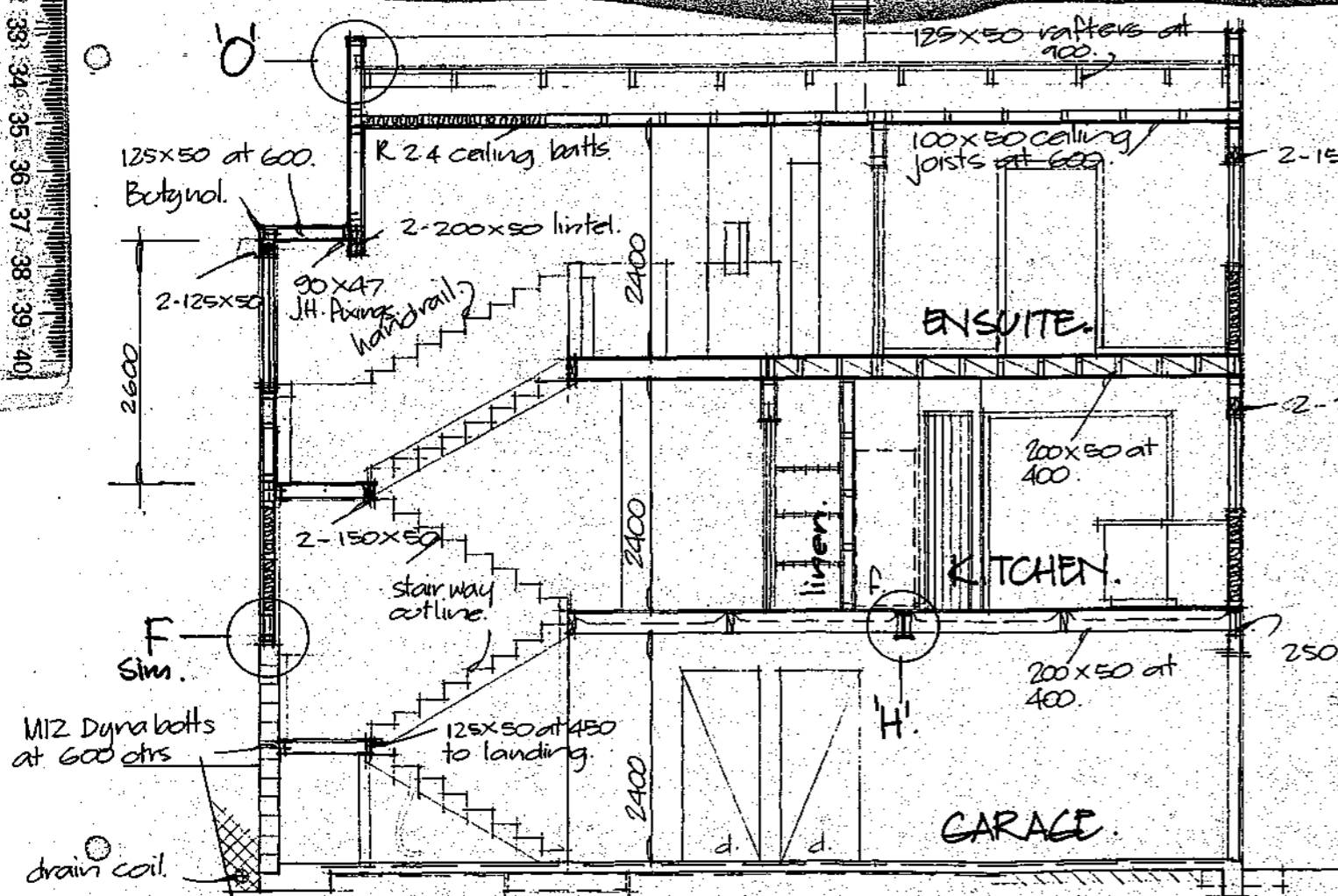


Sth East ELEVATION
1:100

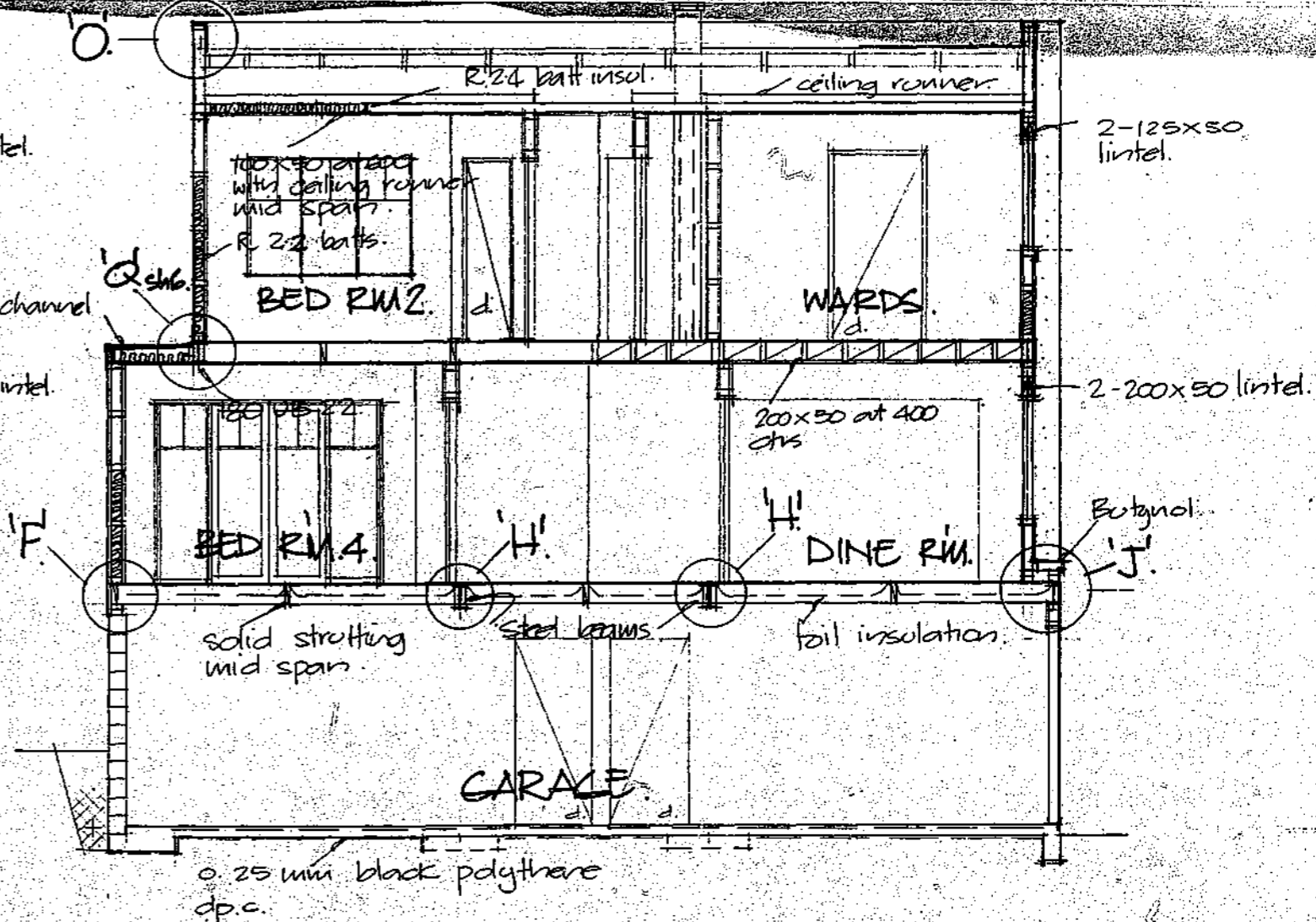
93/2647

PROPOSED RESIDENCE FOR MR & MRS B. G. FITZPATRICK,
AT 97 KAIKORAI VALLEY ROAD DUNEDIN.
drawn: C. G. Sargeant NZCO (Arch) AMNZFAD June 1993.

4

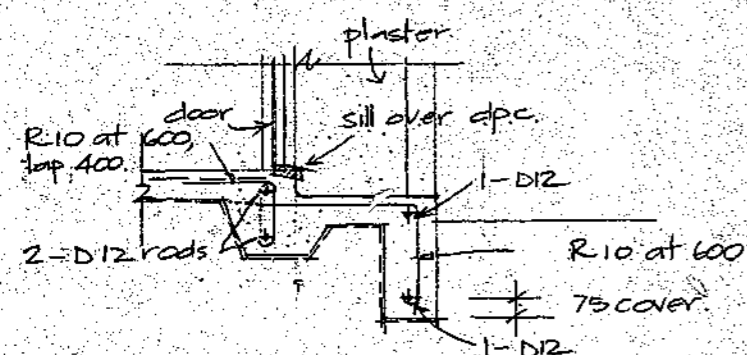


CROSS SECTION 'A-A'
1:50

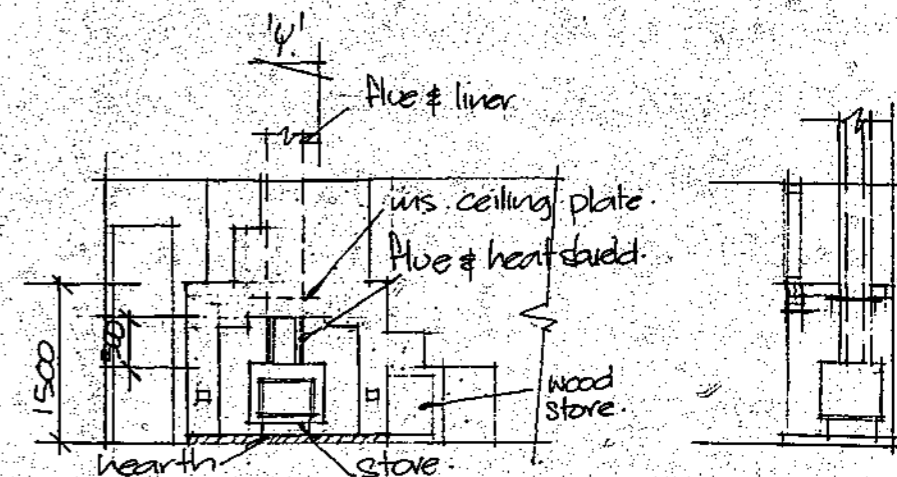
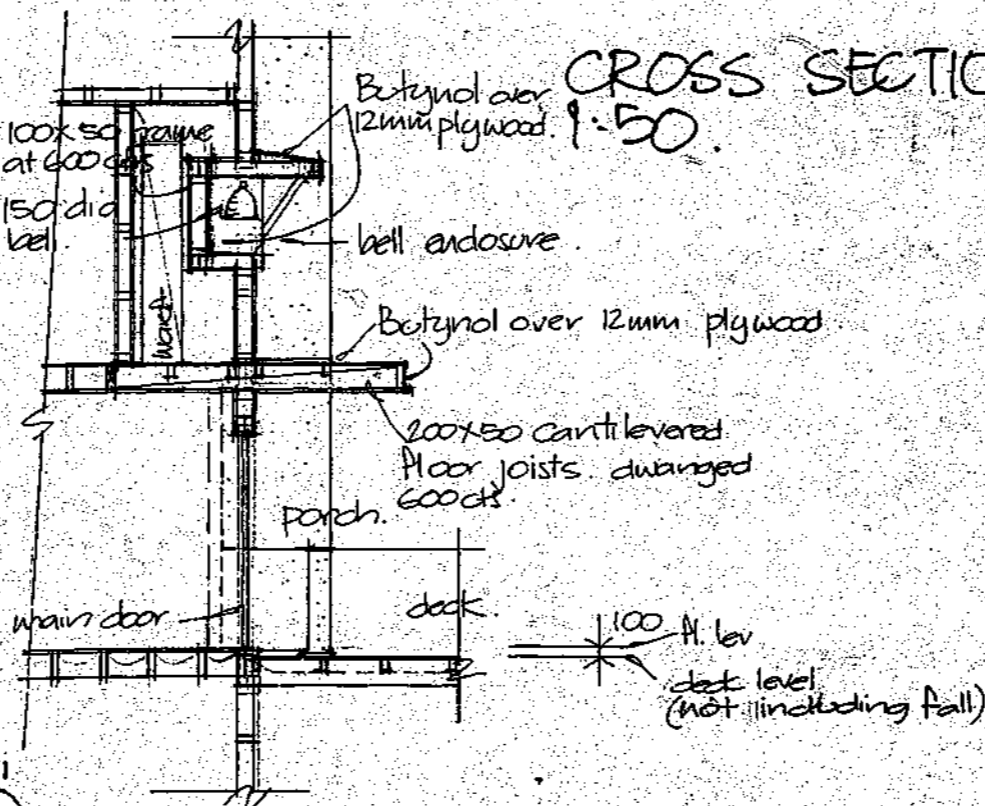


CROSS SECTION 'B-B'
1:50

BASE MENT-
ENTRY PORCH SLAB.
1:20



CROSS SECT. 'D-D'.
1:50



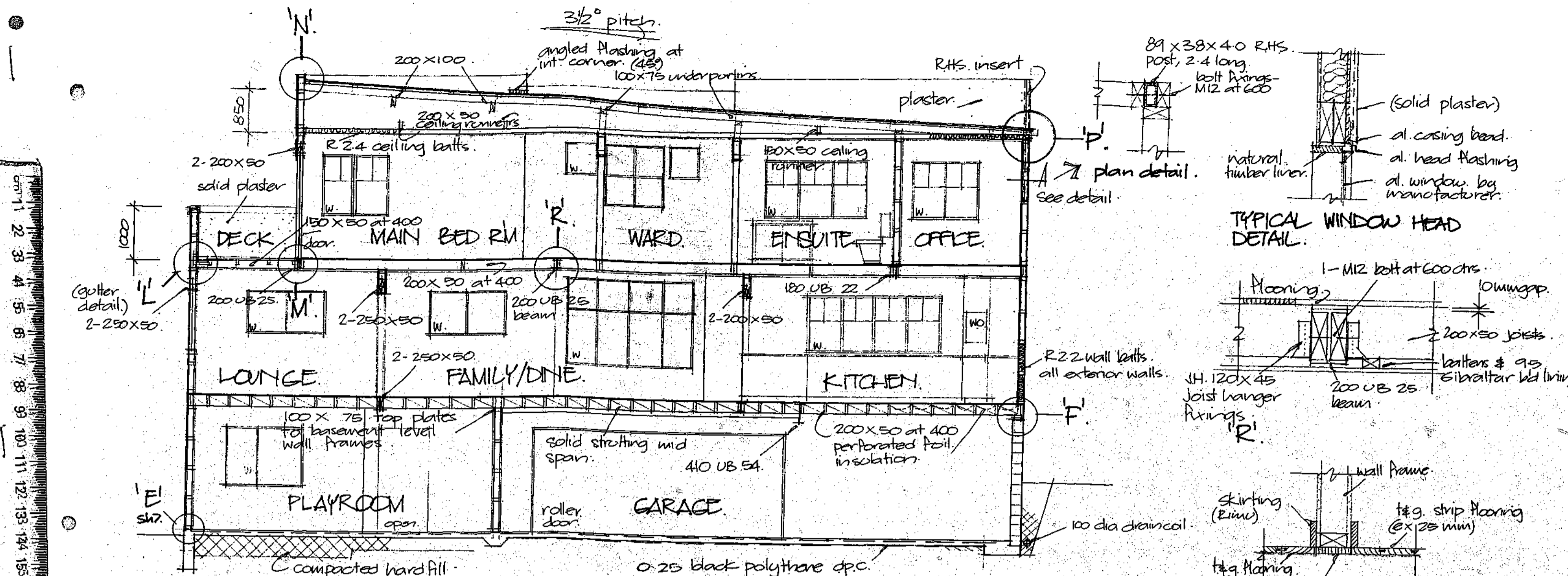
INT. ELEVATION
STONE ENCLOSURE.
1:50

SECT. 'Y'

PROPOSED RESIDENCE FOR MR & MRS B. G. FITZPATRICK,
AT 97 KAIKORAI VALLEY ROAD DUNEDIN.
drawn: C. G. Sargeant NZCO (Arch) AMNZFAD June 1993.

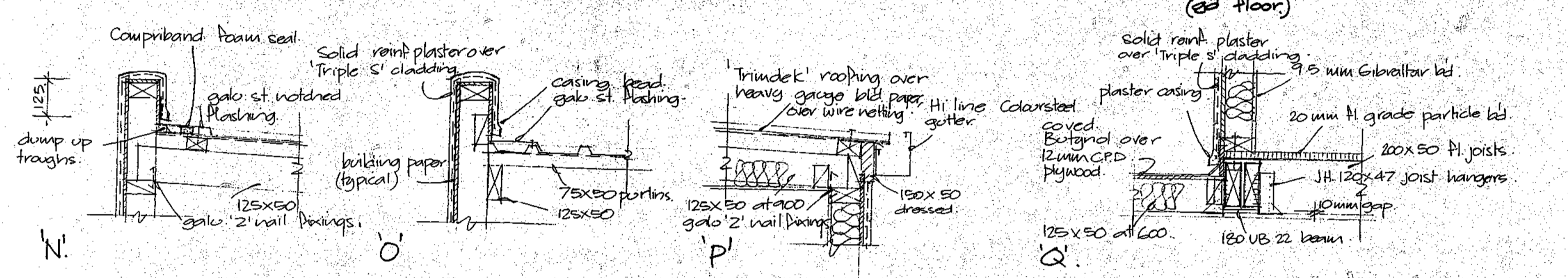
5

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40



CROSS SECTION 'D-D' 1:50

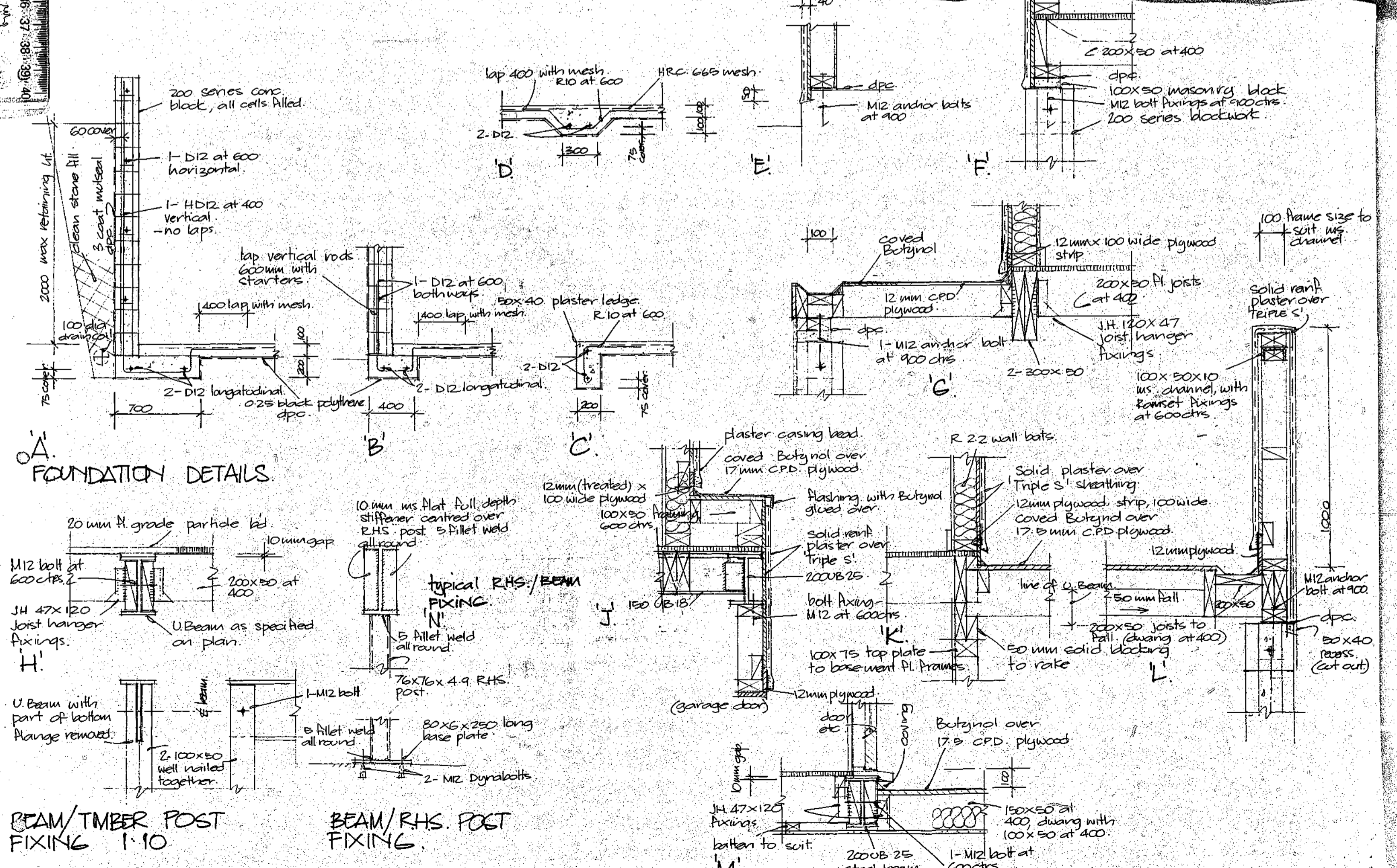
TYPICAL WINDOW HEAD DETAIL
WALL FRAME/STRIP FLOOR DETAIL (2nd floor) 1:10



93/2647

PROPOSED RESIDENCE FOR MR + MRS B. G. FITZPATRICK,
AT 97 KAIKORAI VALLEY ROAD DUNEDIN.
drawn: C. G. Sargeant NZCO (Arch) AMNZFAD June 1993

6

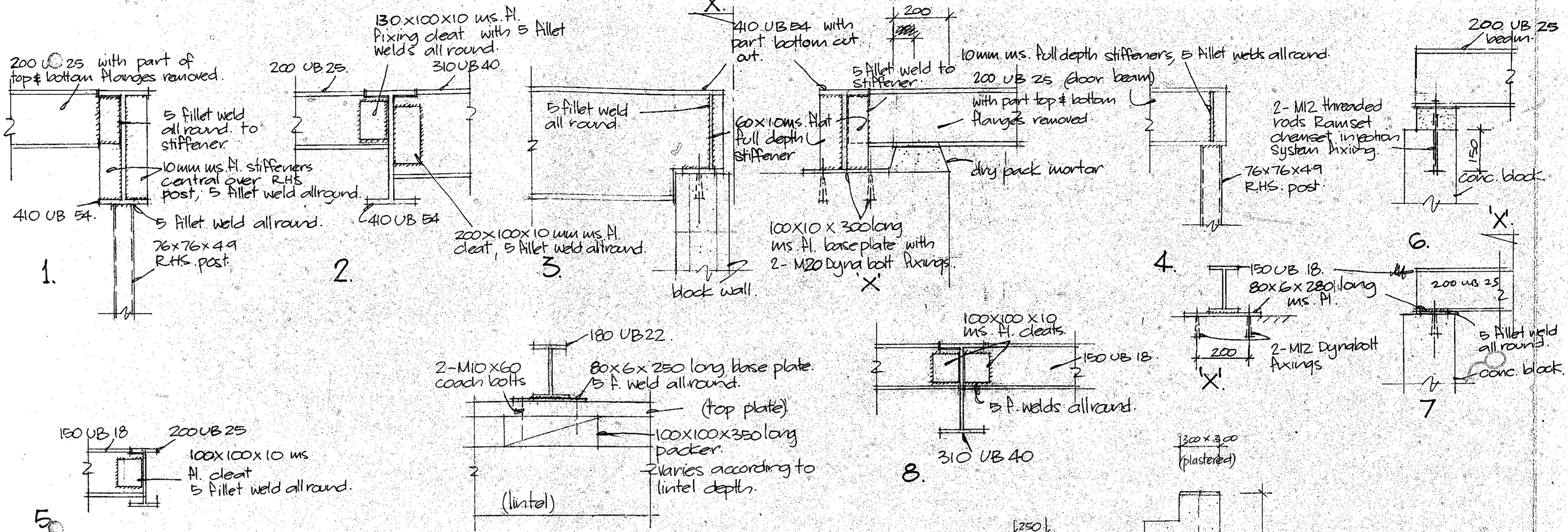


FOUNDATION DETAILS

BEAM/TIMBER POST FIXING 1:10
BEAM/RHS. POST FIXING

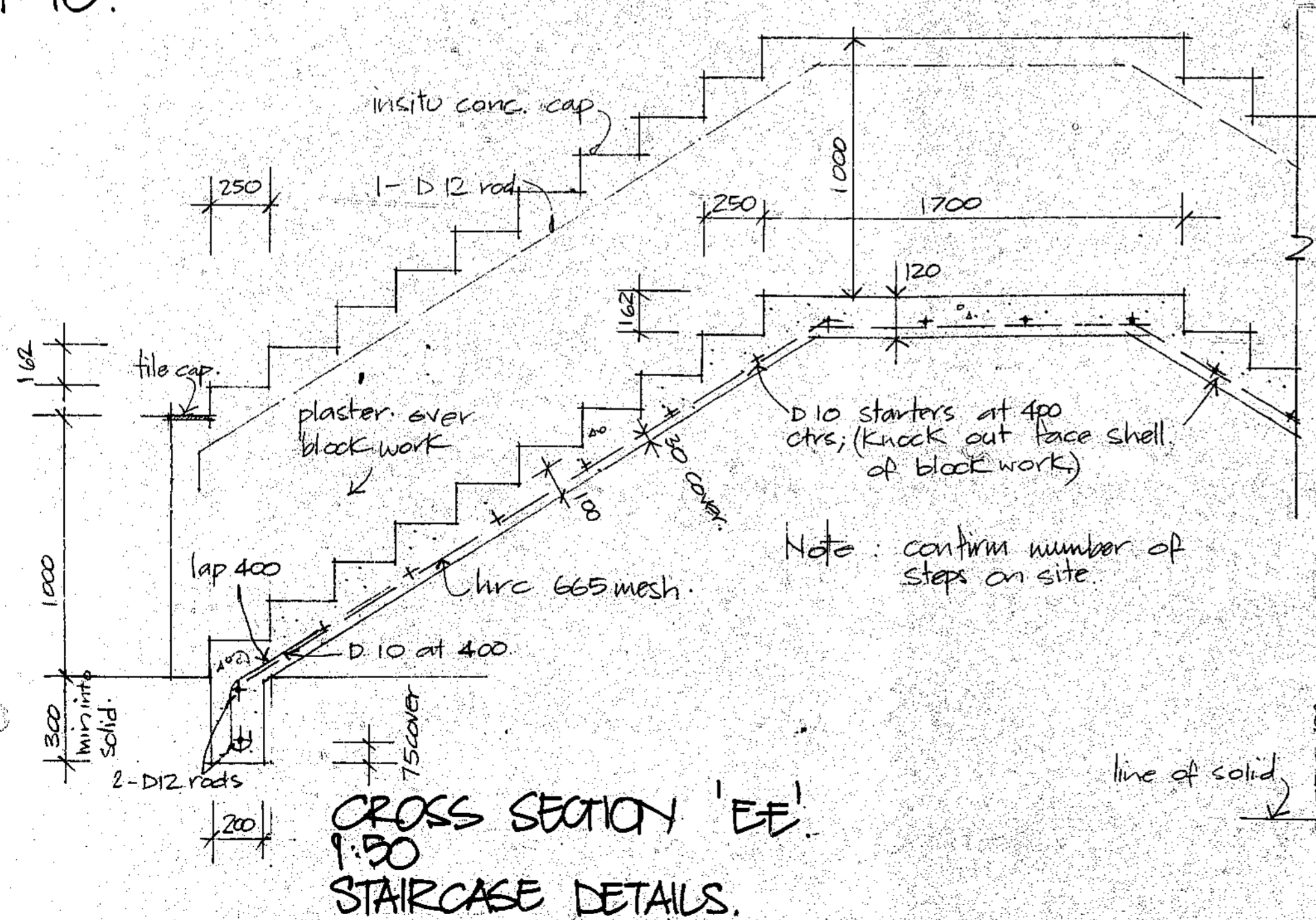
PROPOSED RESIDENCE FOR MR + MRS B. G. FITZPATRICK,
AT 97 KAIKORAI VALLEY ROAD DUNEDIN.
drawn: C. G. Sargeant NZCO (Arch) AMNZFAD June 1993

7

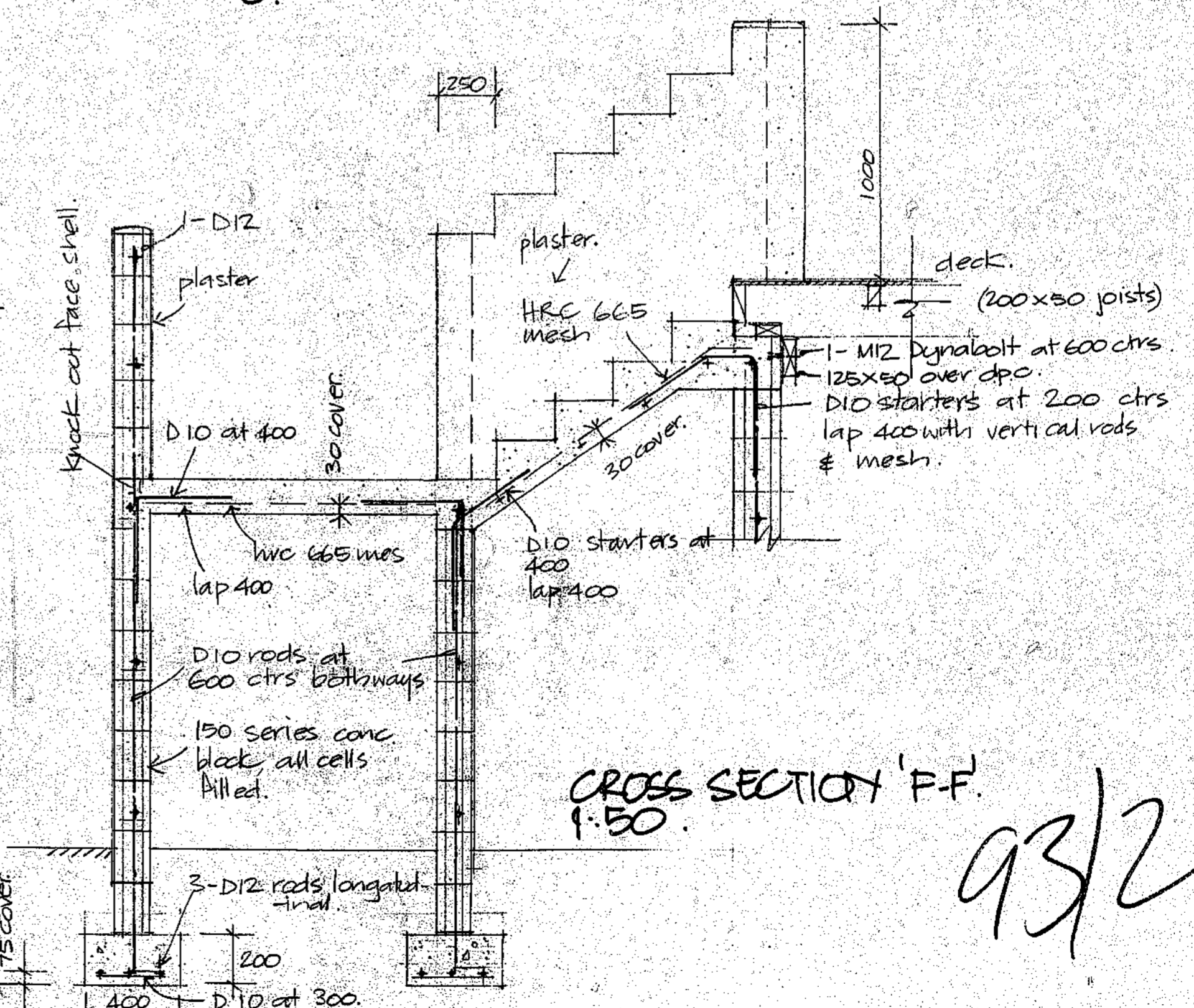


1:10
STEEL BEAM DETAILS.

1:10
STEEL BEAM FIXING
- over window lintel.



1:50
CROSS SECTION 'EE'
STAIRCASE DETAILS.



1:50
CROSS SECTION 'FF'

93/2647

PROPOSED RESIDENCE FOR MR + MRS B. G. FITZPATRICK,
AT 97 KAIKORAI VALLEY ROAD DUNEDIN.
drawn: C. G. Sargeant NZCD (Arch) AMINZPAD June 1993.



Code Compliance Certificate Form 7

Section 95, Building Act 2004

R D Heatley and Lucas and Lucas Trustees Limited
99 Kaikorai Valley Road
Dunedin 9011

The building

Street address of building: 99 Kaikorai Valley Road Dunedin

Legal description of land where building is located: LOT 2 DP 355930

Building Name: N/A

Location of building within site/block number: N/A

Level/unit Number: N/A

Current, lawfully established, use: Housing

Number of occupants:

Year first constructed: 1993

The owner

Name of owner: R D Heatley and Lucas and Lucas Trustees Limited

Contact person: R D Heatley and Lucas and Lucas Trustees Limited

Mailing address: 99 Kaikorai Valley Road, Dunedin 9011

Street address/registered office:

Mobile: 027 247 7679

Landline: 03 477 7980

Email address: rhyshatley@xtra.co.nz

First point of contact for communications with the building consent authority: As above

Building work

Building Consent Number:

ABA-2017-721 - Add Deck to Upper Level of Dwelling, Install Door Unit, Construct Retaining Wall to Enlarge Parking Area

This CCC also applies to the following amended consents:

ABA-2019-186 - Change Door to Stacker System and Amend Balustrade

Issued by: Dunedin City Council

Code Compliance

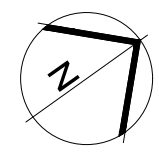
The building consent authority named below is satisfied, on reasonable grounds, that-

(a) The building work complies with the building consent

Team Leader Inspections
On behalf of Dunedin City Council

Date: 18 January 2021

DUNEDIN CITY COUNCIL
Plans and Specifications approved in accordance with the NZ Building Code. To be retained on works and produced on request.
Date: 17/05/2017 Building: MJ Hart
Date: 17/05/2017 Plumbing: MJ Hart

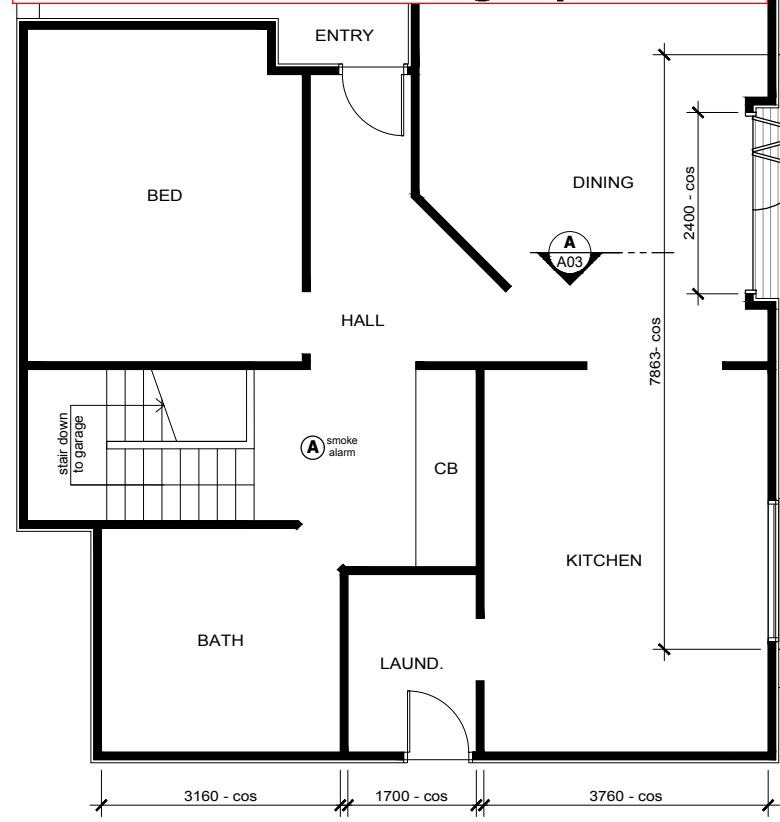


| FIRE DESIGN SUMMARY | |
|---|---|
| <p>The purpose of this summary is to illustrate compliance with: Code Clauses C1 through to C 6 as applicable using The Appropriate Acceptable Solutions. This summary doesn't address any matter beyond these code clauses and building act requirements.</p> <p>The Purpose group is SH(Sleeping Single Home) The Risk group is SH The applicable acceptable solution is CAS1, The Importance level is level 2.</p> <p>1 General 99 Kaikorai Valley Road, Dunedin</p> <p>The proposed deck is positioned at first floor level and forms a carport over the existing driveway area - to allow access to the garage of the existing dwelling, whilst allowing parking beneath.</p> <p>The deck / carport is self-supporting, with no structural connection to the existing dwelling.</p> <p>The dead-end open path length, taken into consideration the new deck is well within the 25m maximum distance allowed.</p> <p>The existing egress from the building through the front door is not impeded by the new deck / carport as it is located alongside, such occupants do not have to pass under the deck to exit the building.</p> | <p>Part 5: Control of external fire spread 5.1 Fire resistance ratings Non sprinkler protected buildings, FRR 30/30/30, a).... Where part of the external wall is less than 1.0m and less than 90° from the relevant boundary.</p> <ul style="list-style-type: none"> - The deck / carport is located a minimum of 450mm from the existing north-east side boundary of the property. <p>Part 5.5: Carports and similar construction 100% unprotected area... 2 sides open under same ownership roof plan area no more than 40m², no part of roof closer than 0.3m to relevant boundary.</p> <ul style="list-style-type: none"> - "Carports or similar construction" <ul style="list-style-type: none"> - note, refer to MBIE - Determination 2017/002 - "Regarding the requirement for fire resistance of a slatted timber deck over a carparking area....." - 2 sides open, existing ground levels remain - same ownership - less than 40m² area - 450mm min. to relevant boundary <p>The risk of fire outbreak from occupying a deck area is no greater than the risk of fire outbreak from a motor vehicle parked in the same location. Acceptable solution effective 1 January 2017.</p> |

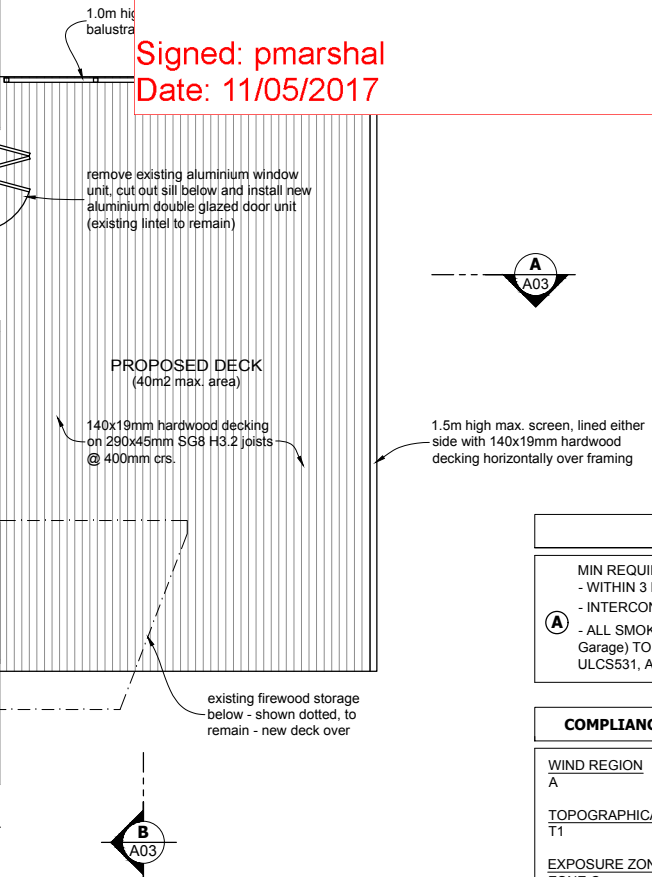
WARNING. The Dunedin City Council private drainage records (plans) may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council records.
The private drain plans on-file are incomplete or in conclusive. The assumed location of the private drains is as per the consent plans. The position, level or existence of private drains is subject to verification on site by the owner of the land or their agent. Any drain not located or disconnected is responsibly of the owner or agent

DUNEDIN CITY COUNCIL - FORM 4
Construction not to commence until Resource Consent granted as per Project Information Memorandum Planning report.

DCC CITY PLANNING RESOURCE CONSENT REQUIRED
The plans for this development do not comply with the District Plan
LUC 2017-85 is currently being processed in relation to district plan rule breaches.
Signed: pmarshal
Date: 11/05/2017

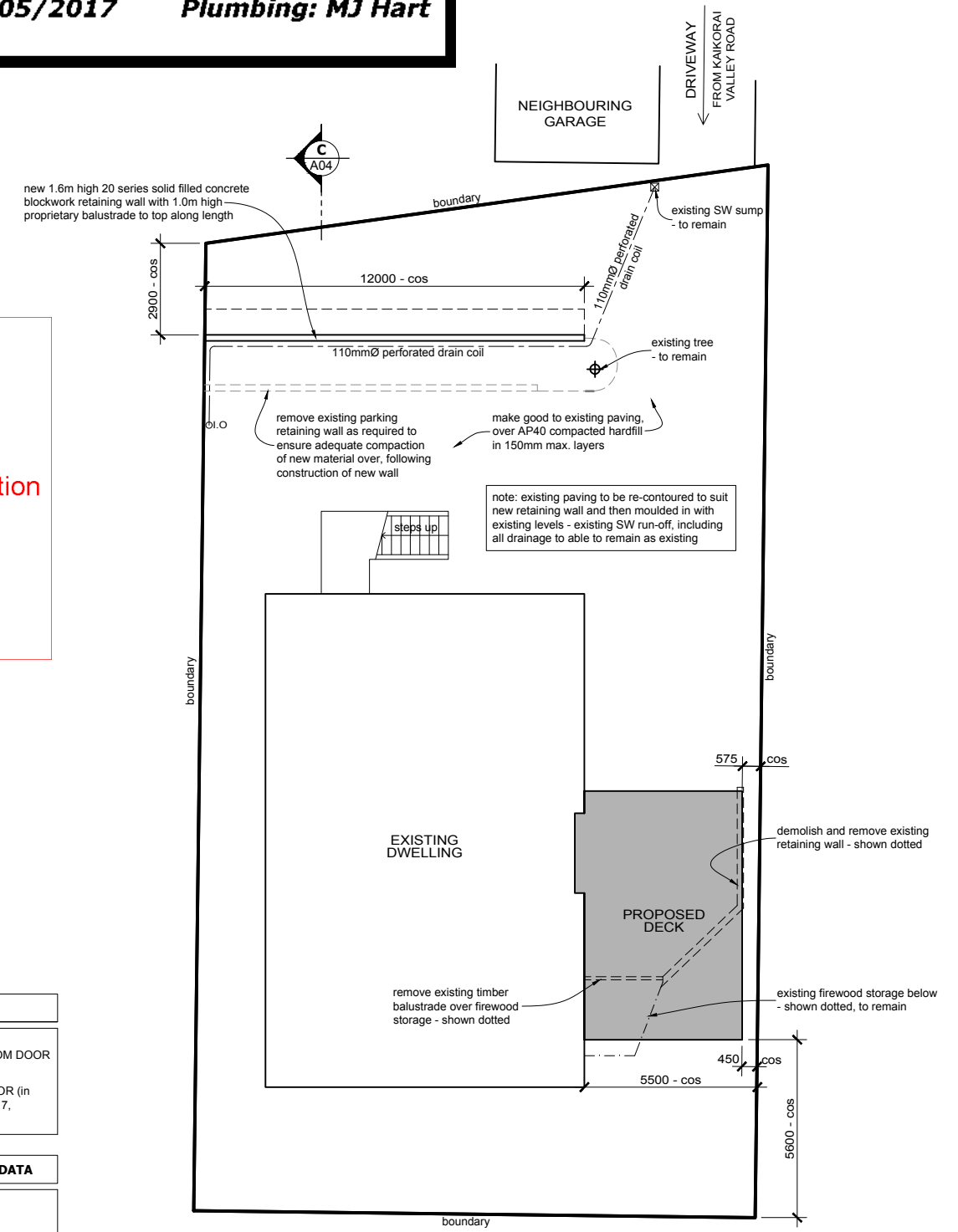


proposed part upper floor plan
SCALE 1:100 @ A3



| SMOKE ALARMS | |
|--|--|
| MIN REQUIRED: | |
| - WITHIN 3 METRES OF EVERY BEDROOM DOOR | |
| - INTERCONNECTED INSTALLATION | |
| A - ALL SMOKE ALARMS & HEAT DETECTOR (in Garage) TO COMPLY WITH EITHER UL217, ULCS531, AS3786 OR BS5446 PT. 1. | |

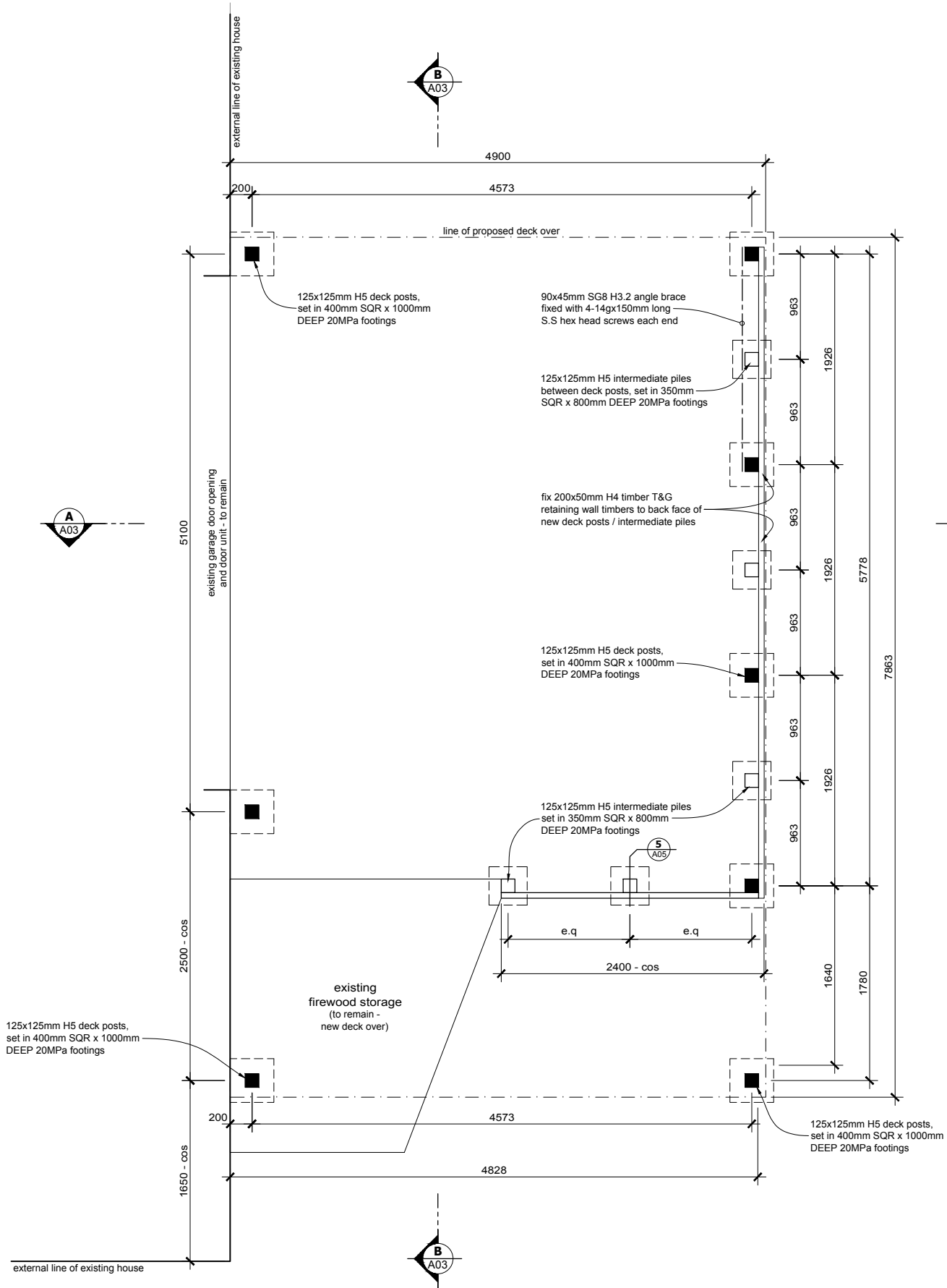
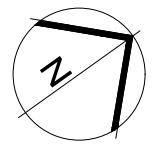
| COMPLIANCE INFORMATION - SITE DATA | |
|------------------------------------|---------------------------|
| WIND REGION A | WIND ZONE HIGH |
| TOPOGRAPHICAL CLASS T1 | EARTHQUAKE ZONE ZONE 1 |
| EXPOSURE ZONE ZONE C | |



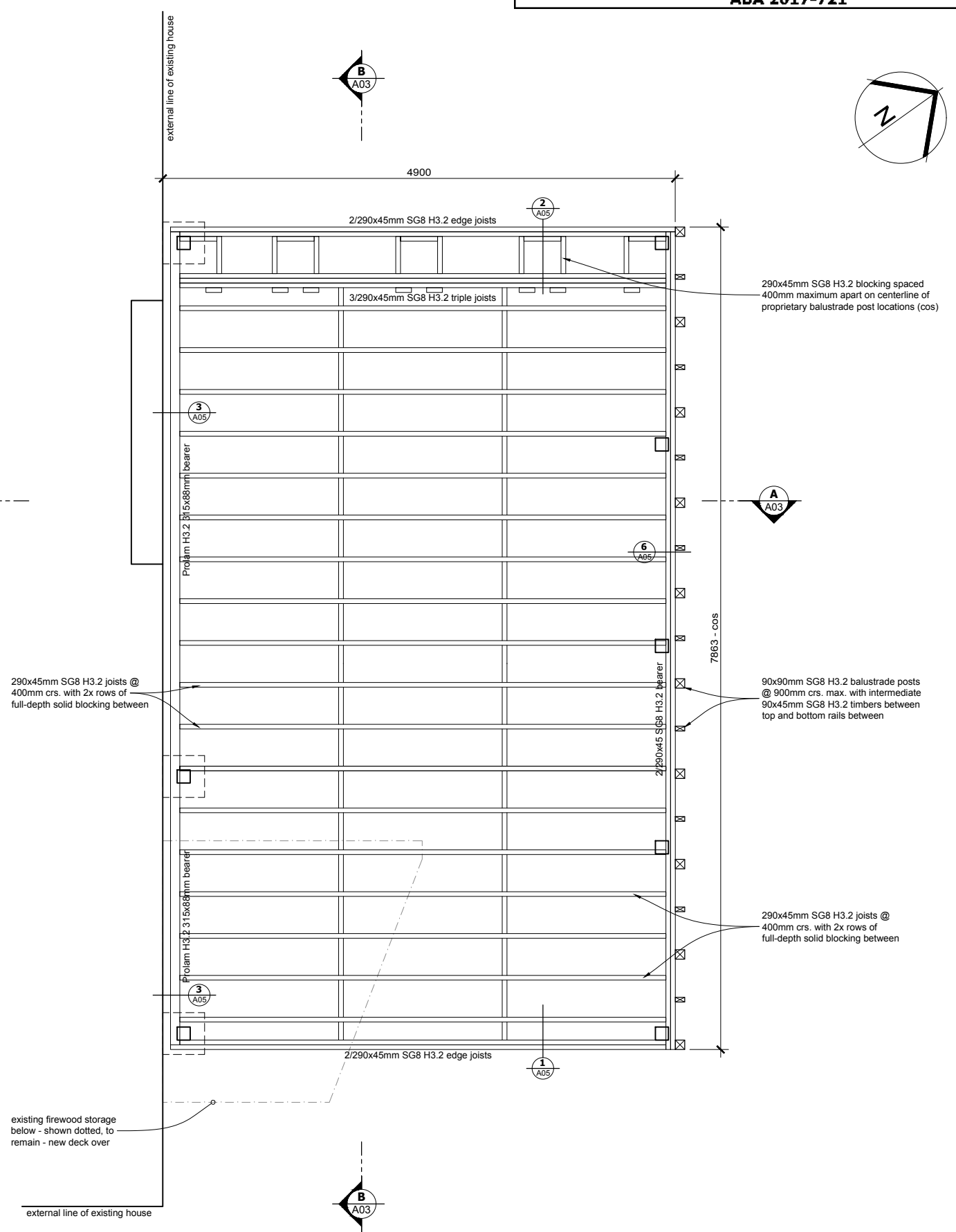
site plan
SCALE 1:200 @ A3

LEGAL DESCRIPTION
LOT 2 DP 355930
CT: 228177
Valuation No. 26970-63102
Site Area: 577m2

SITE PLAN & PROPOSED PART UPPER FLOOR PLAN

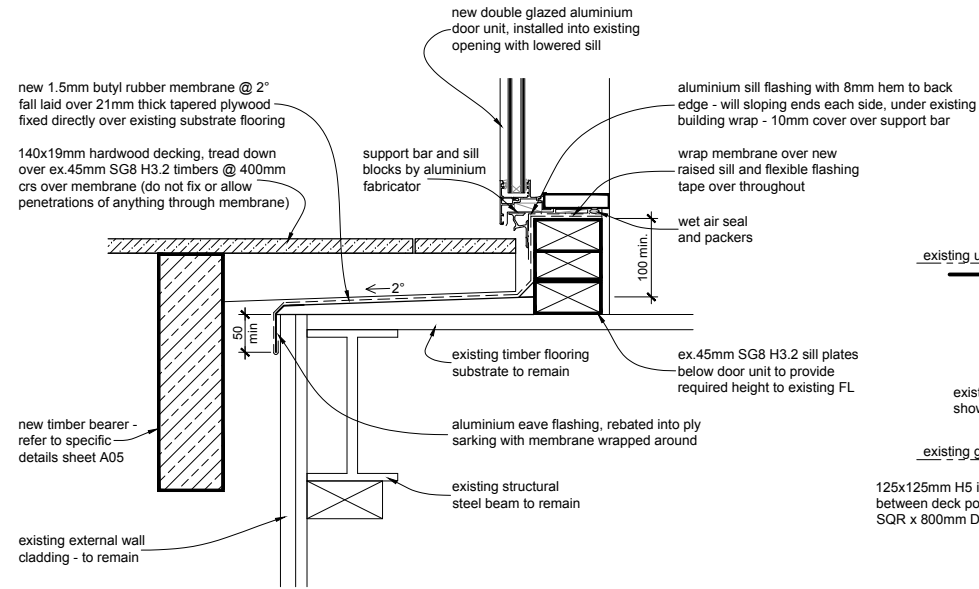


proposed deck foundation plan
SCALE 1:50 @ A3

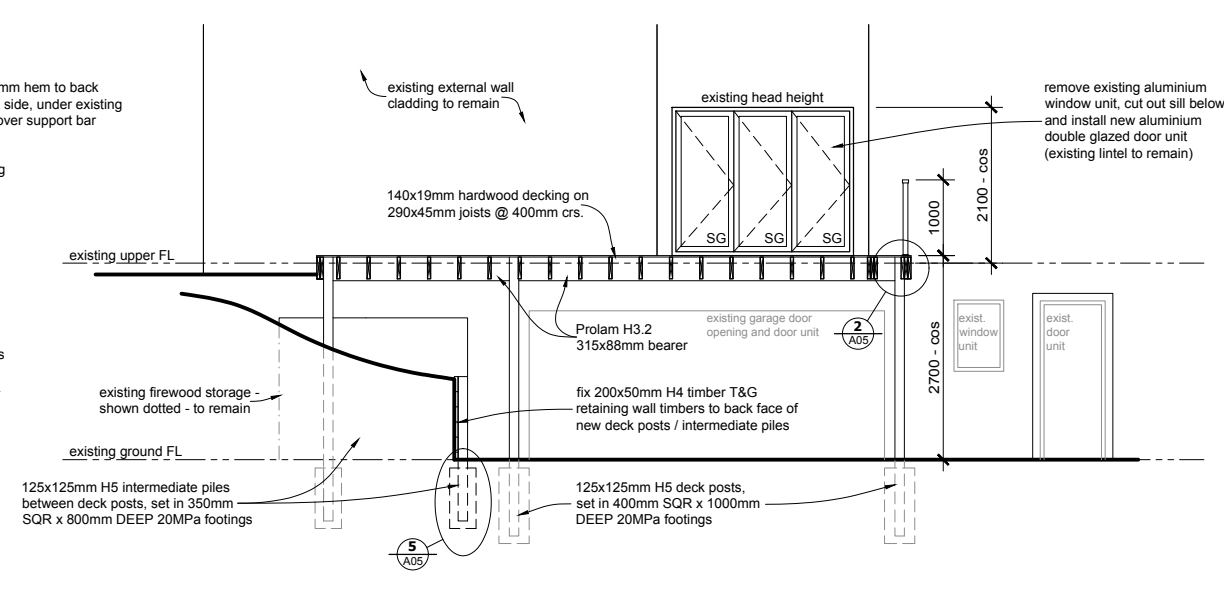


proposed deck framing plan
SCALE 1:50 @ A3

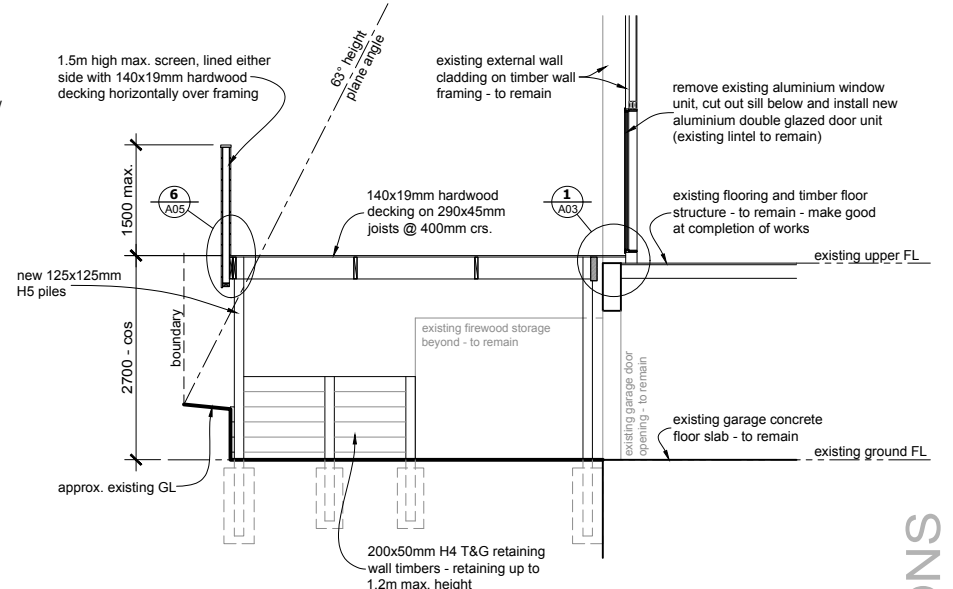
PROPOSED DECK FOUNDATION & FRAMING PLANS



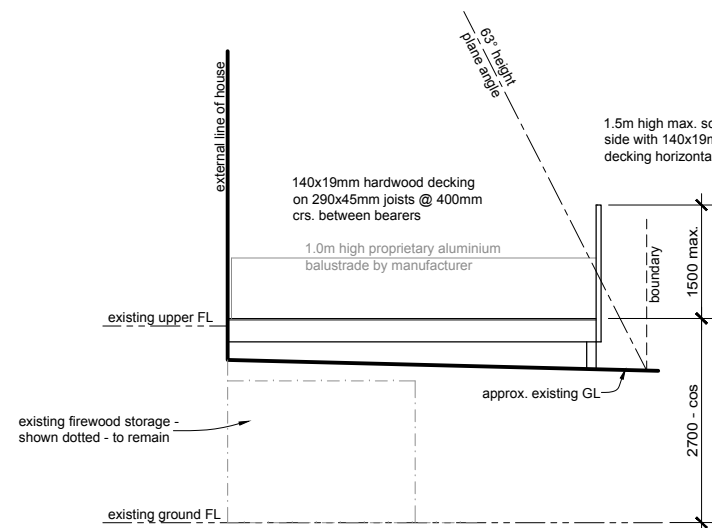
1 deck / door sill detail
SCALE 1:10 @ A3



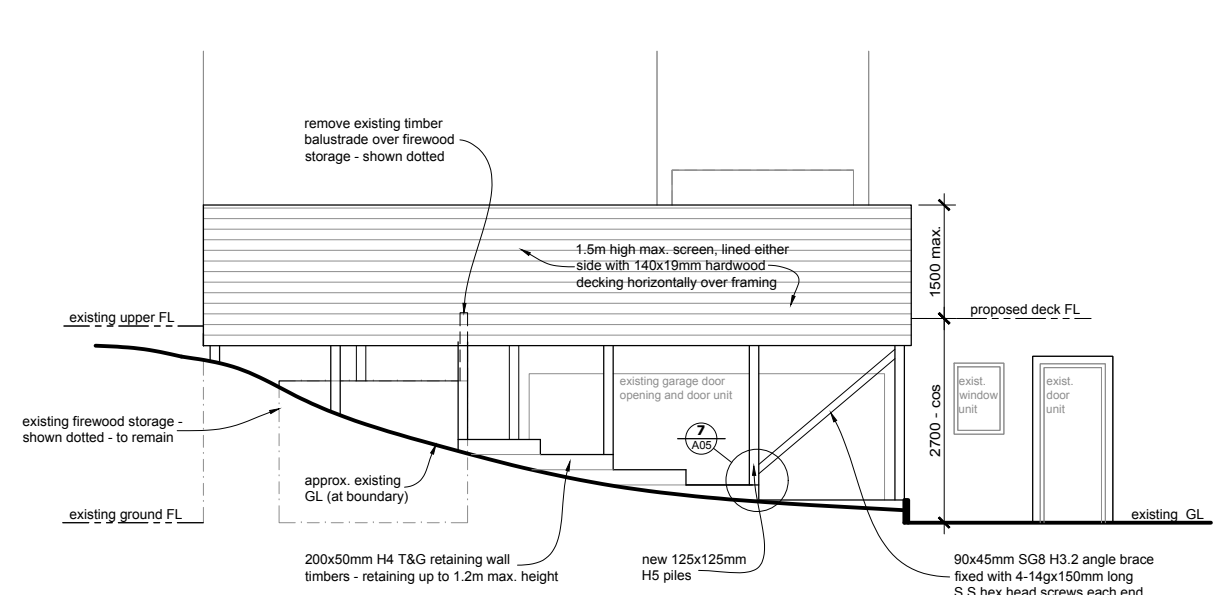
A longitudinal section
SCALE 1:100 @ A3



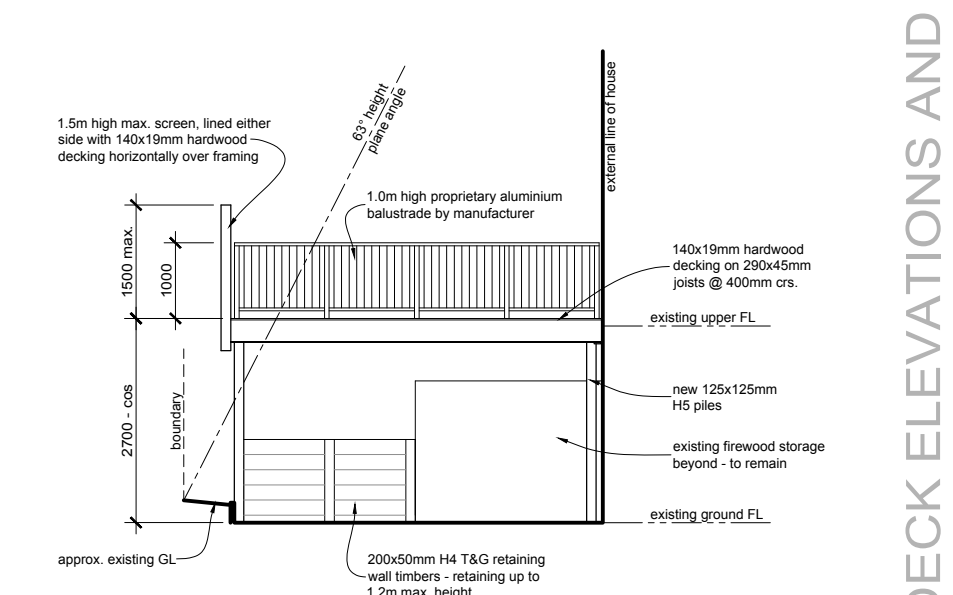
B cross section
SCALE 1:100 @ A3



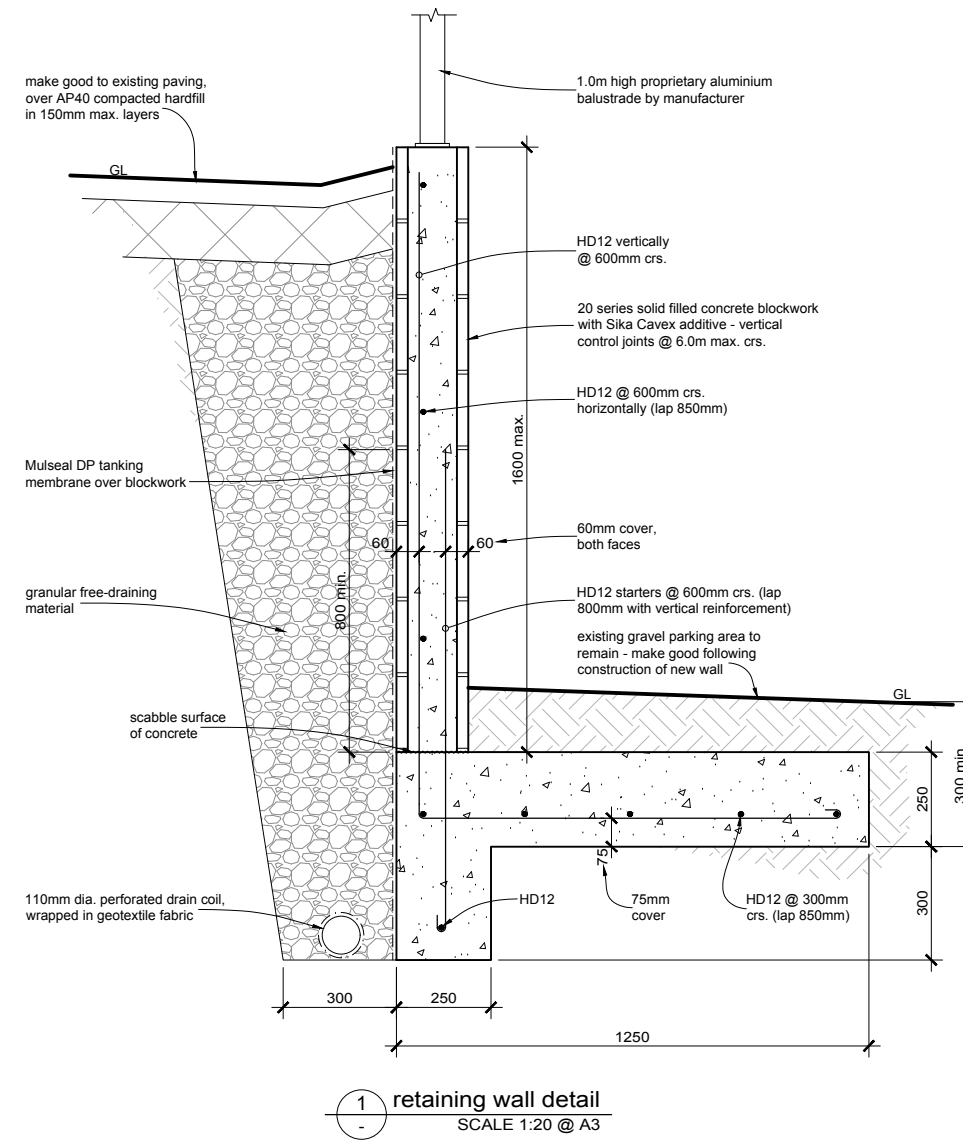
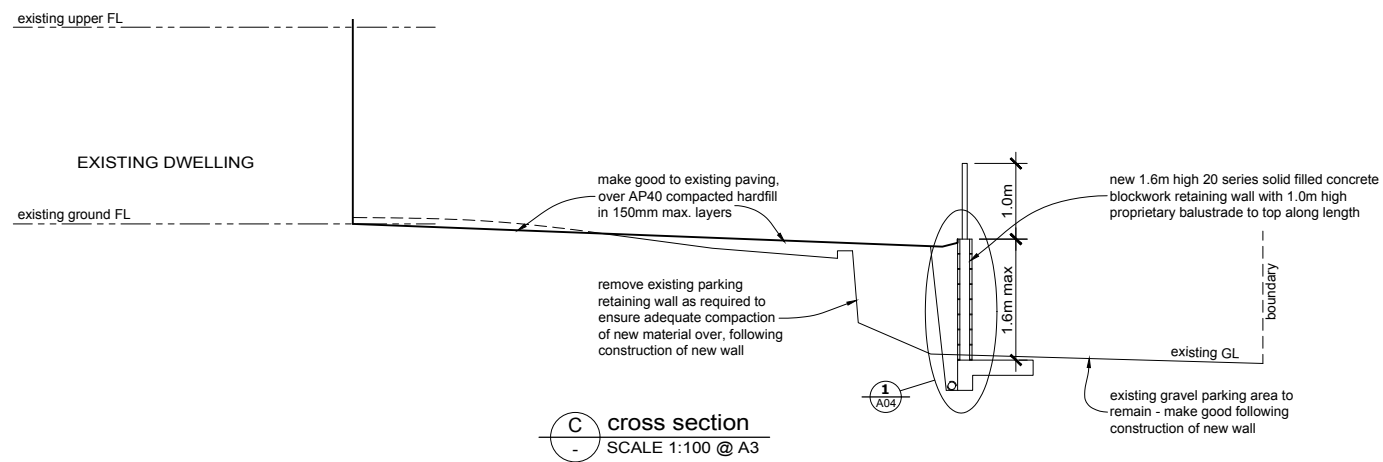
south-east elevation
SCALE 1:100 @ A3



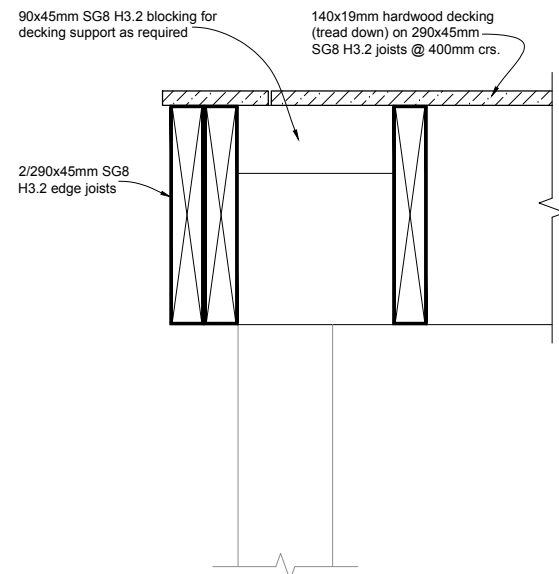
north-east elevation
SCALE 1:100 @ A3



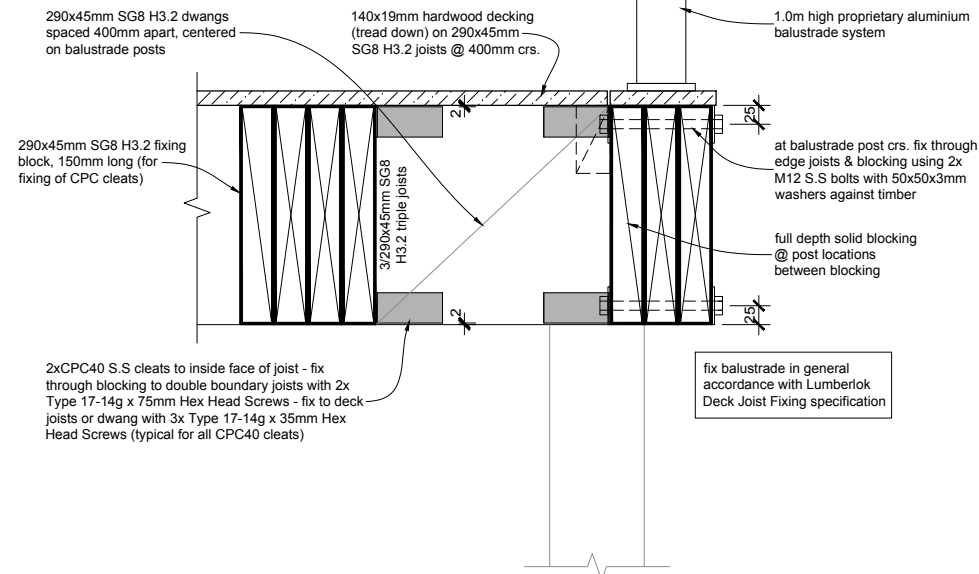
north-west elevation
SCALE 1:100 @ A3



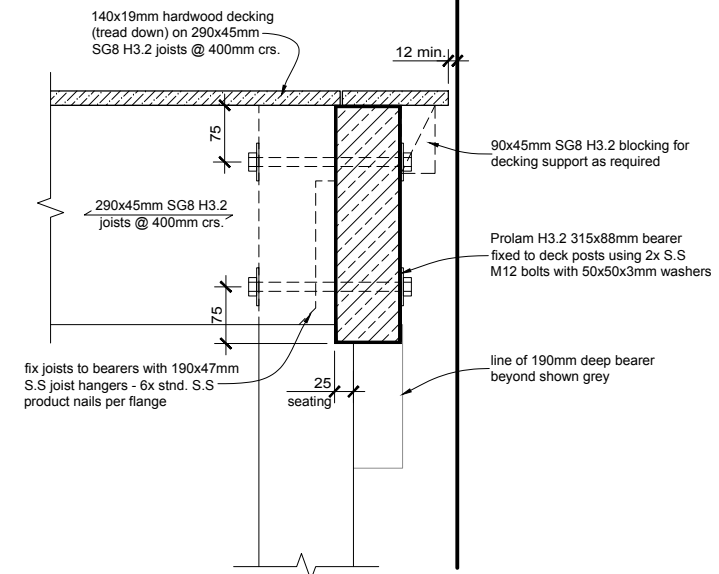
RETAINING WALL SECTION AND DETAIL



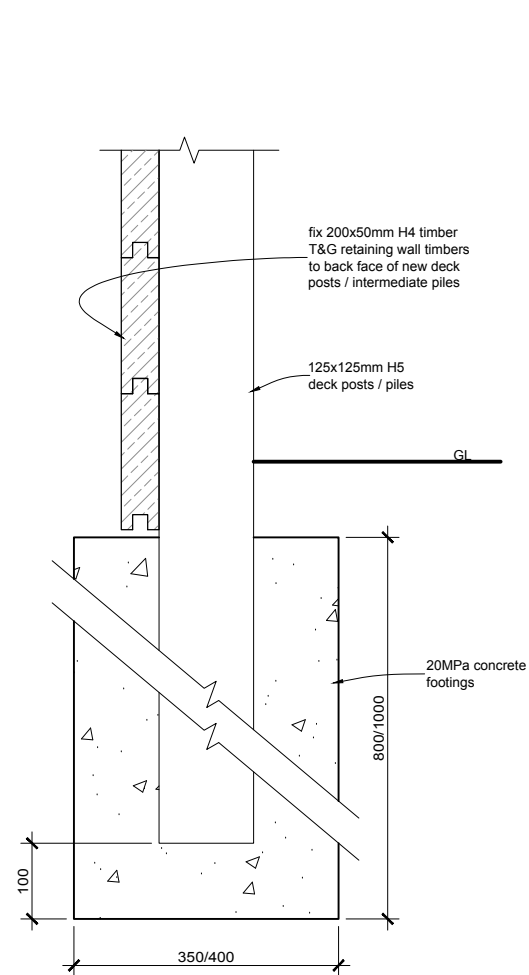
1 deck detail
SCALE 1:10 @ A3



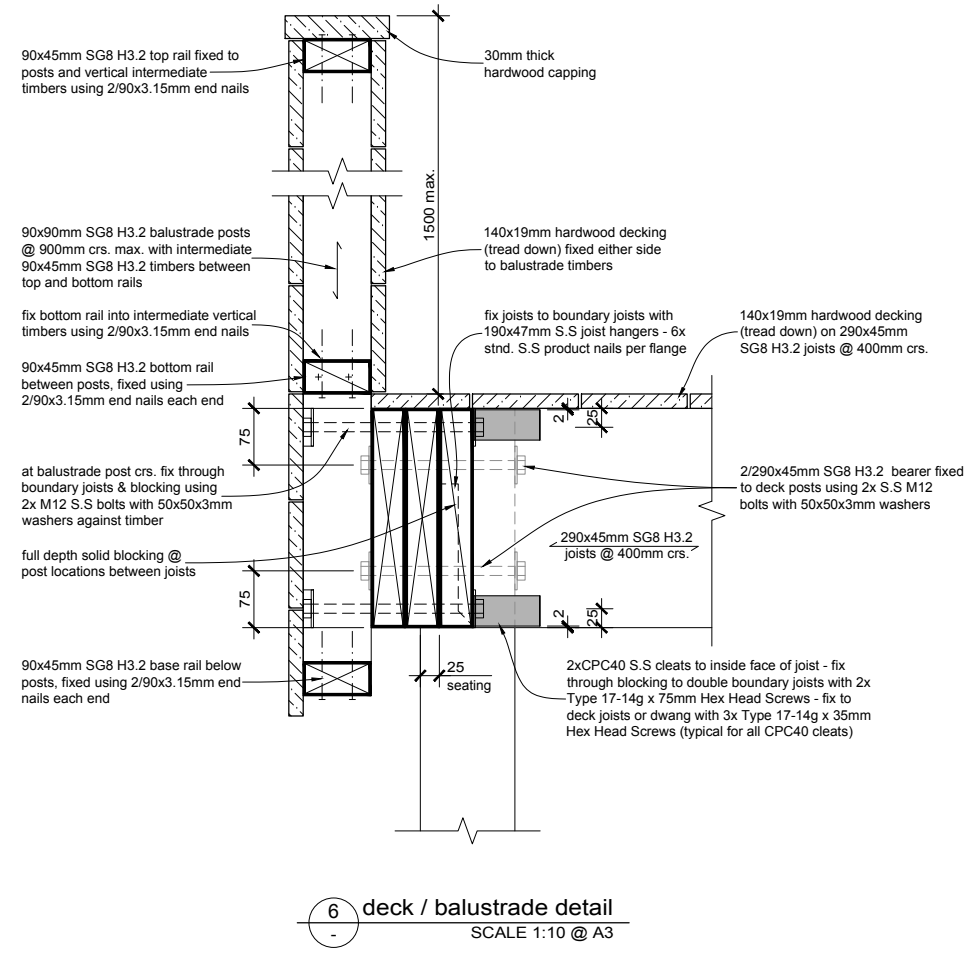
2 deck detail
SCALE 1:10 @ A3



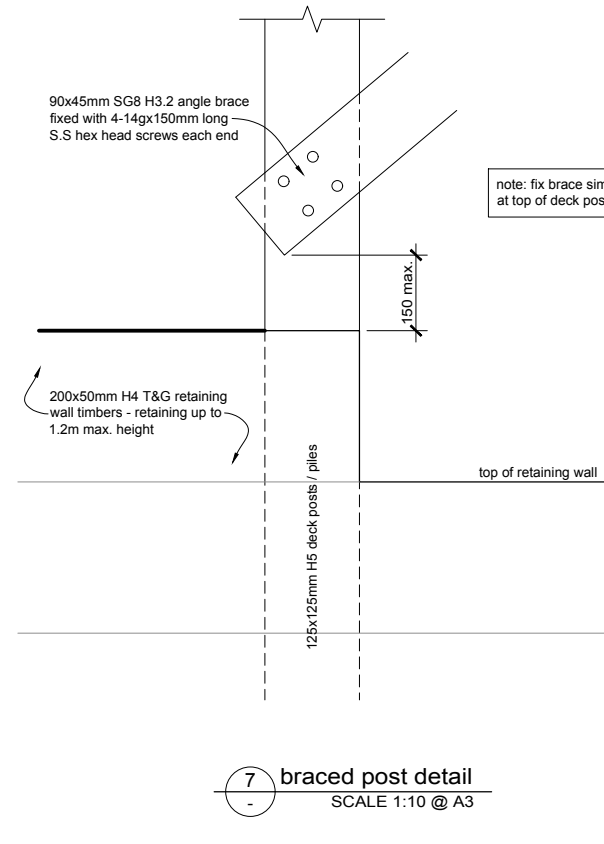
3 deck detail
SCALE 1:10 @ A3



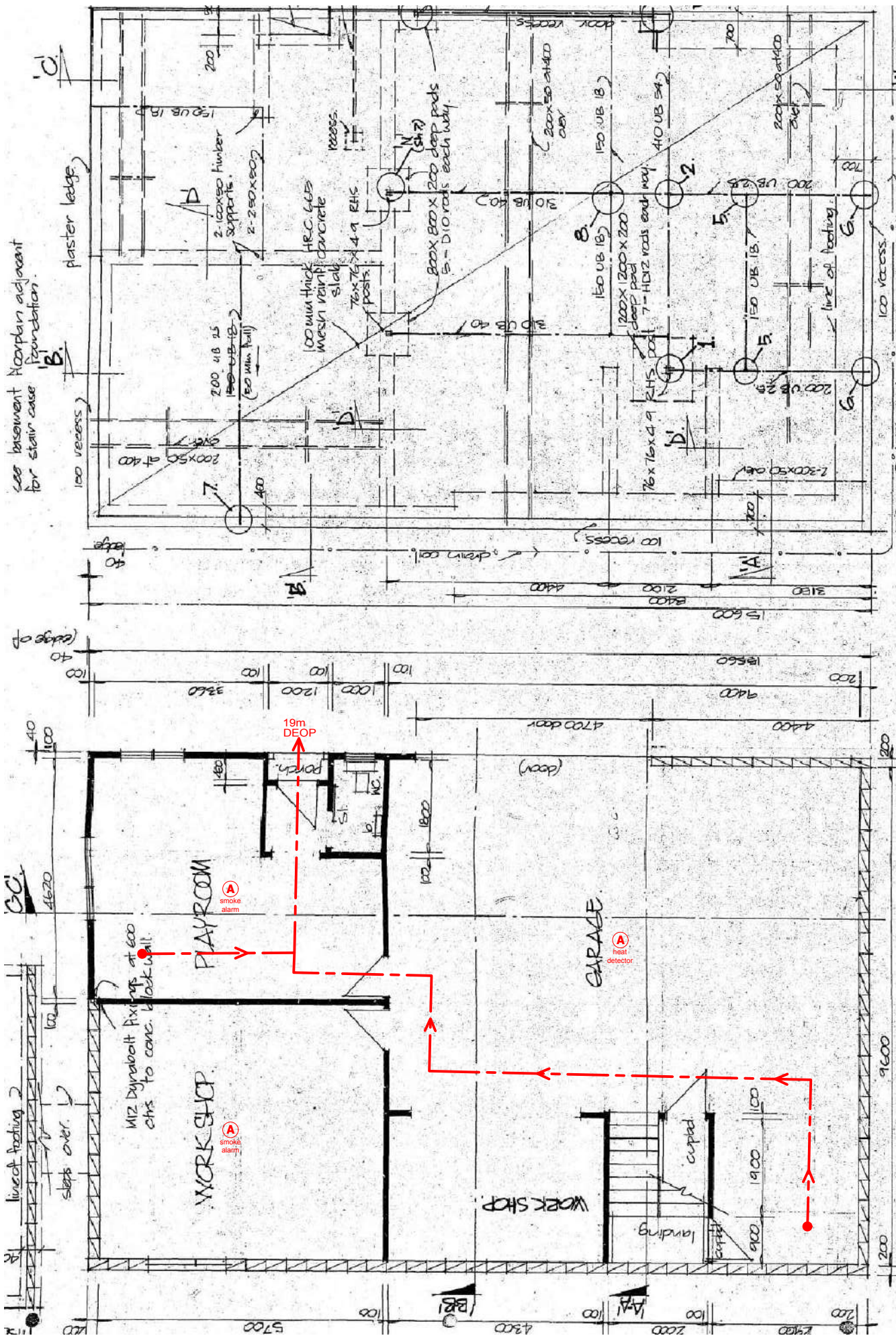
5 pile / post footing detail
SCALE 1:10 @ A3



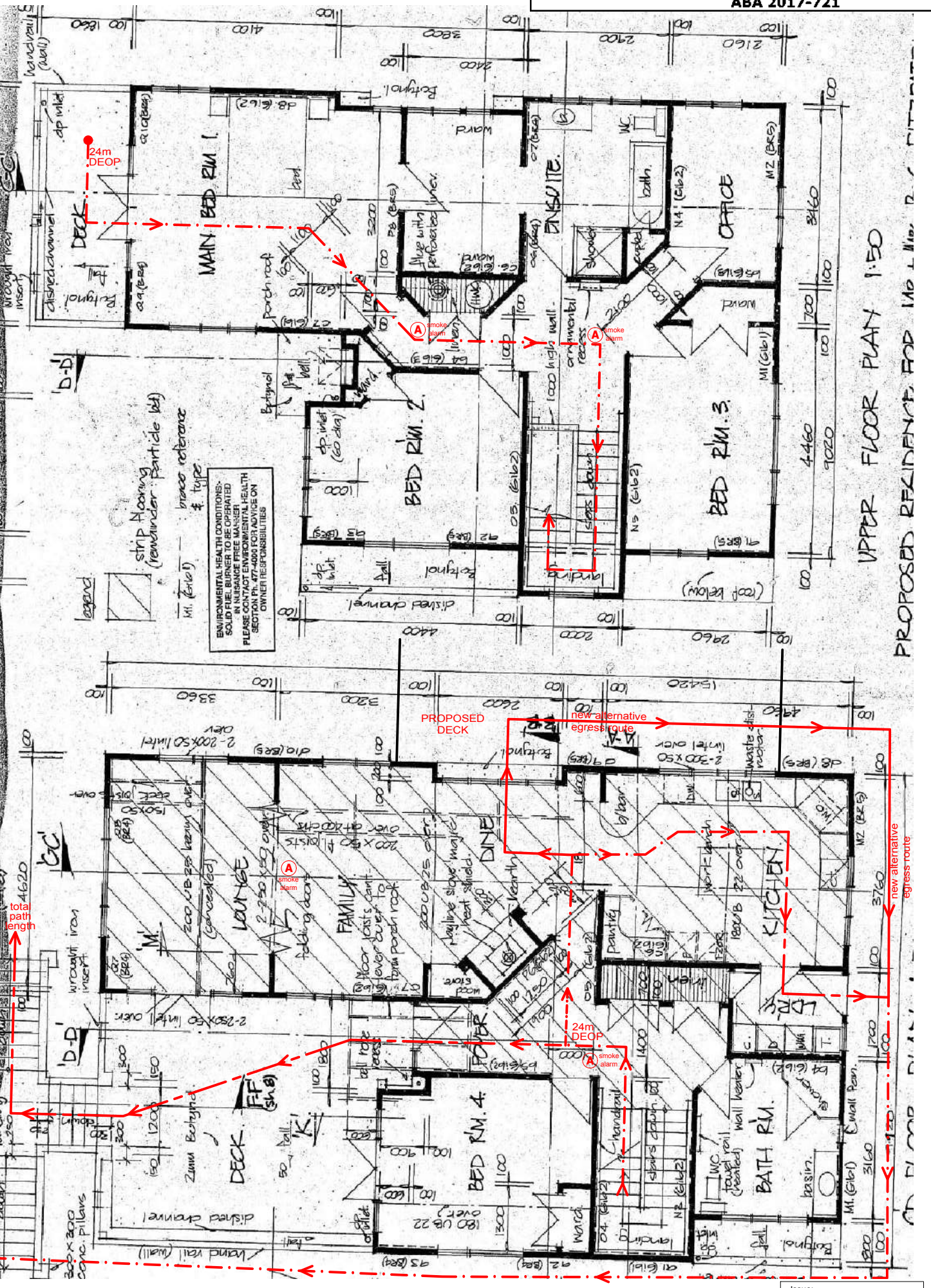
6 deck / balustrade detail
SCALE 1:10 @ A3



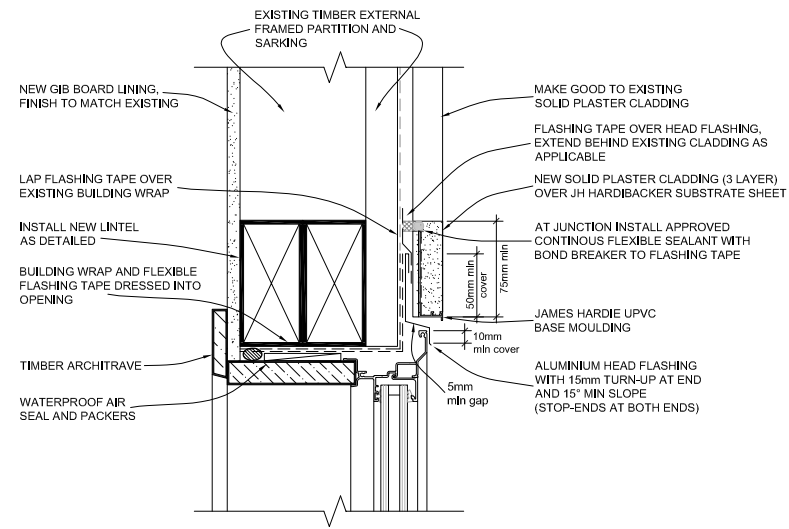
7 braced post detail
SCALE 1:10 @ A3



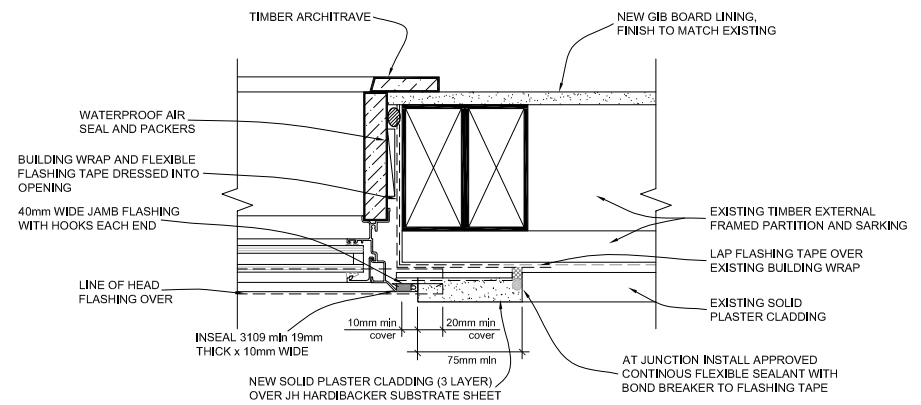
FOUNDATION PLAN 1:50.
PROPOSED RESIDENCE FOR MR & MRS B.G. FITZPATRICK
AT 97 KAIKORAI VALLEY ROAD, DUNEDIN
Drawn: C. G. Sargeant NZCO (Arch) AMNZFAD June 1993.



UPPER FLOOR PLAN 1:50
PROPOSED REFINEMENT FOR MR & MRS B.G. FITZPATRICK



1 HEAD DETAIL
SCALE 1:6 @ A3



2 JAMB DETAIL
SCALE 1:6 @ A3

Sheet Title
DOOR HEAD & JAMB DETAILS

BUILDING CONSENT - ABA-2019-186
(Section 51, Building Act 2004)
Form 5

The building

Street address of building: 99 Kaikorai Valley Road Dunedin

Legal description of land where building is located: LOT 2 DP 355930

Building Name: N/A

Location of building within site/block number:

Level/unit Number:

The owner

Name of owner: R D Heatley and Lucas and Lucas Trustees Limited

Contact person: R D Heatley and Lucas and Lucas Trustees Limited

Mailing address: 99 Kaikorai Valley Road, Dunedin 9011

Street address/registered office:

Mobile: 027 247 7679

Landline: 03 477 7980

Email address: rhytheatley@xtra.co.nz

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

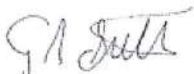
Amendment to ABA-2017-721 - Change Door to Stacker System and Amend Balustrade

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

A compliance schedule is not required for the building.

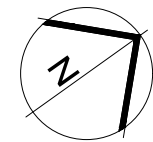


Grant Sutton
Authorised Officer
On behalf of Dunedin City Council

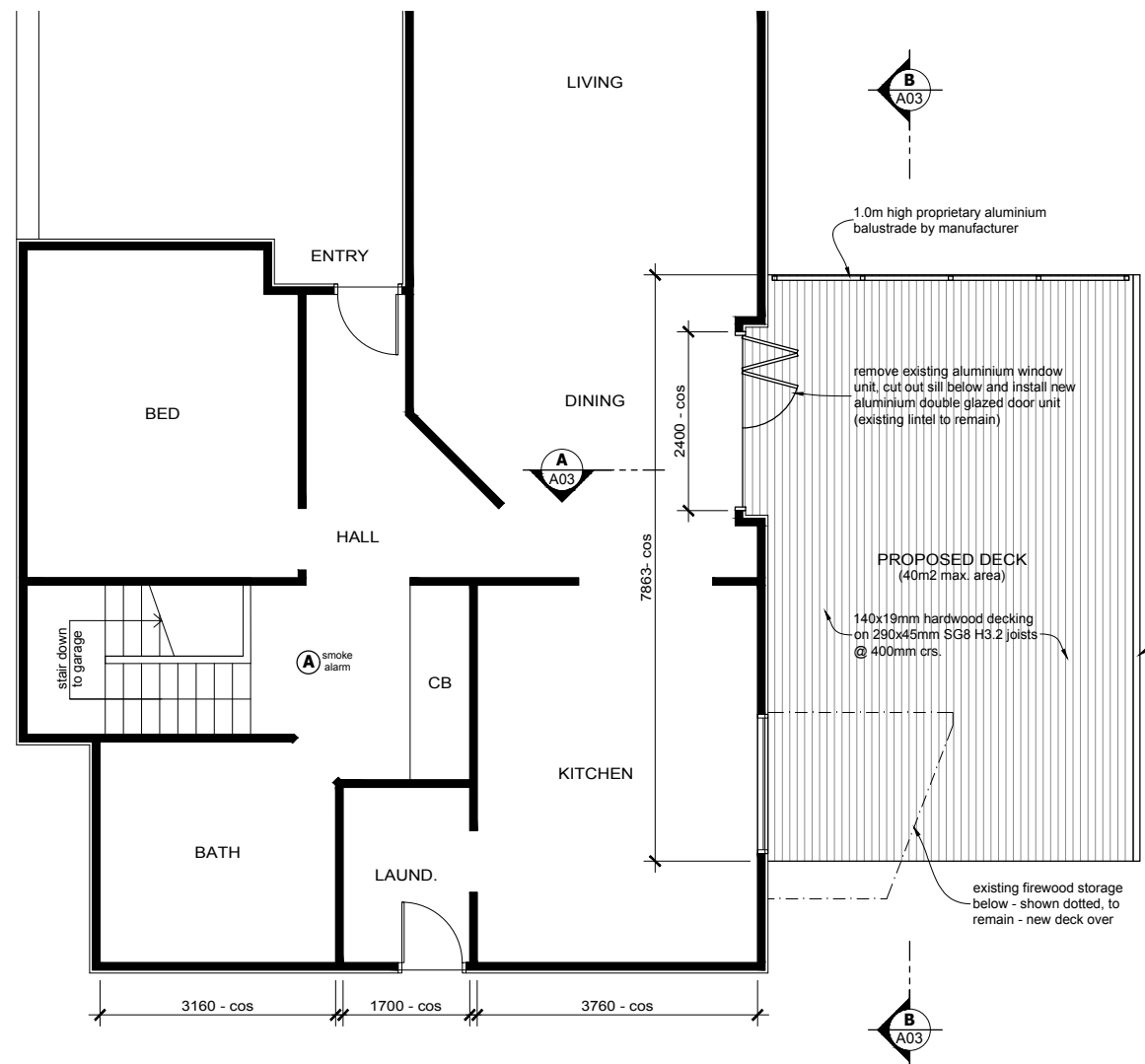
Date: 8 March 2019

DUNEDIN CITY COUNCIL
 Plans and Specifications approved in accordance
 with the NZ Building Code. To be retained on
 works and produced on request.

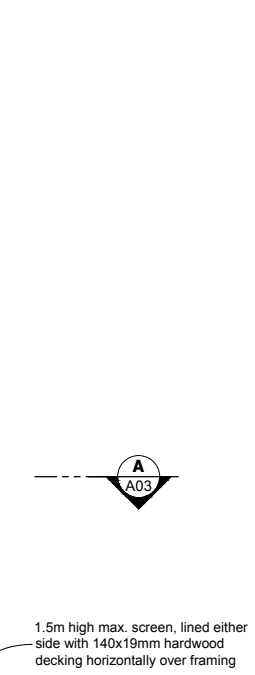
Date: 05/03/2019 Building: C Edmunds



| FIRE DESIGN SUMMARY | |
|---|--|
| <p>The purpose of this summary is to illustrate compliance with: Code Clauses C1 through to C 6 as applicable using The Appropriate Acceptable Solutions. This summary doesn't address any matter beyond these code clauses and building act requirements.</p> <p>The Purpose group is SH(Sleeping Single Home)</p> <p>The Risk group is SH</p> <p>The applicable acceptable solution is CAS1,</p> <p>The Importance level is level 2.</p> <p>1 General 99 Kaikorai Valley Road, Dunedin</p> <p>The proposed deck is positioned at first floor level and forms a carport over the existing driveway area - to allow access to the garage of the existing dwelling, whilst allowing parking beneath.</p> <p>The deck / carport is self-supporting, with no structural connection to the existing dwelling.</p> <p>The dead-end open path length, taken into consideration the new deck is well within the 25m maximum distance allowed.</p> <p>The existing egress from the building through the front door is not impeded by the new deck / carport as it is located alongside, such occupants do not have to pass under the deck to exit the building.</p> | <p>Part 5: Control of external fire spread</p> <p>5.1 Fire resistance ratings</p> <p>Non sprinkler protected buildings, FRR 30/30/30, a).... Where part of the external wall is less than 1.0m and less than 90° from the relevant boundary.</p> <ul style="list-style-type: none"> - The deck / carport is located a minimum of 450mm from the existing north-east side boundary of the property. <p>Part 5.5: Carports and similar construction</p> <p>100% unprotected area... 2 sides open under same ownership roof plan area no more than 40m², no part of roof closer than 0.3m to relevant boundary.</p> <ul style="list-style-type: none"> - "Carports or similar construction" - note, refer to MBIE - Determination 2017/002 - "Regarding the requirement for fire resistance of a slatted timber deck over a carparking area....." - 2 sides open, existing ground levels remain - same ownership - less than 40m² area - 450mm min. to relevant boundary <p>The risk of fire outbreak from occupying a deck area is no greater than the risk of fire outbreak from a motor vehicle parked in the same location. Acceptable solution effective 1 January 2017.</p> |

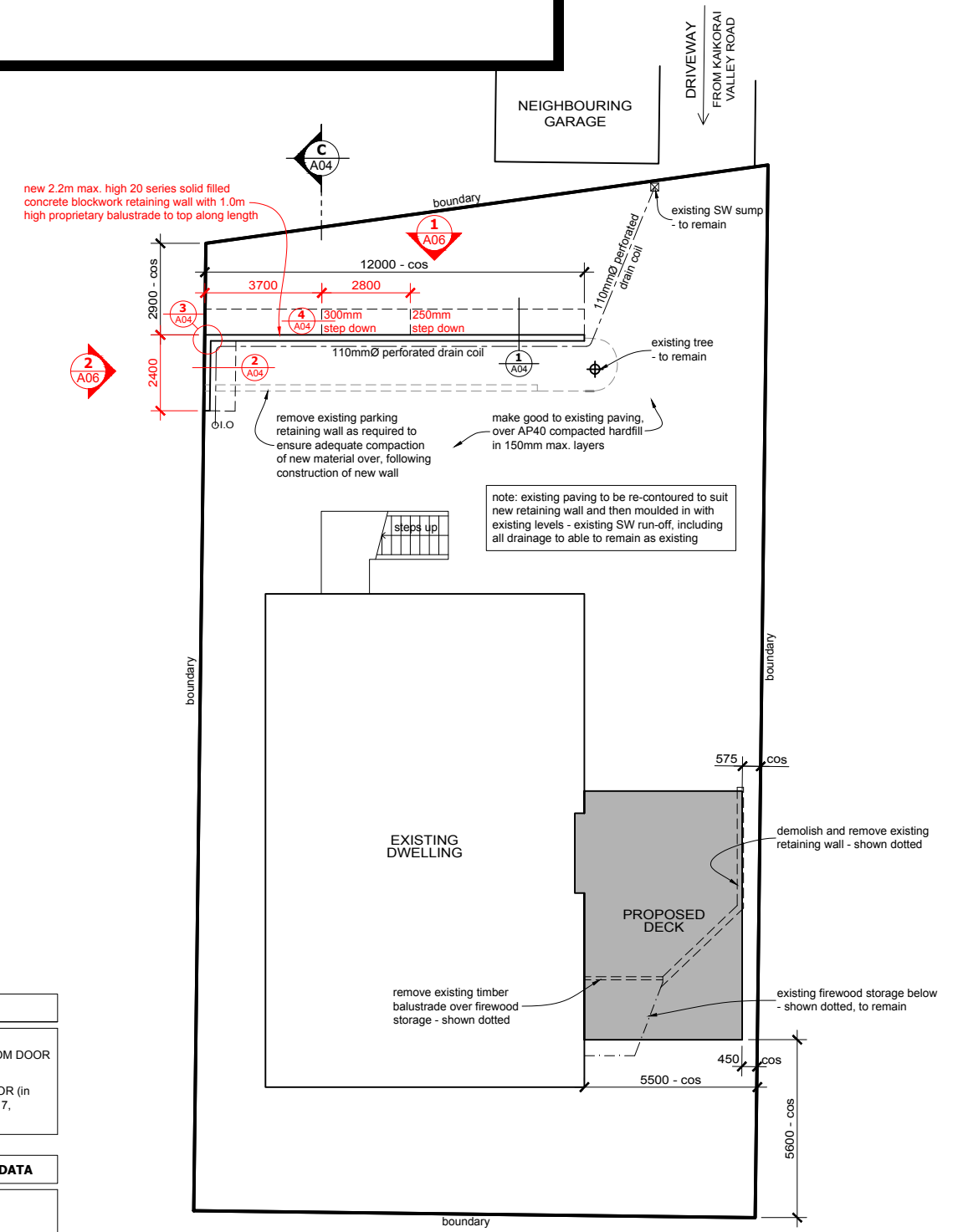


proposed part upper floor plan
 SCALE 1:100 @ A3



| SMOKE ALARMS | |
|--|--|
| MIN REQUIRED: | |
| - WITHIN 3 METRES OF EVERY BEDROOM DOOR | |
| - INTERCONNECTED INSTALLATION | |
| A - ALL SMOKE ALARMS & HEAT DETECTOR (in Garage) TO COMPLY WITH EITHER UL217, ULCS531, AS3786 OR BS5446 PT. 1. | |

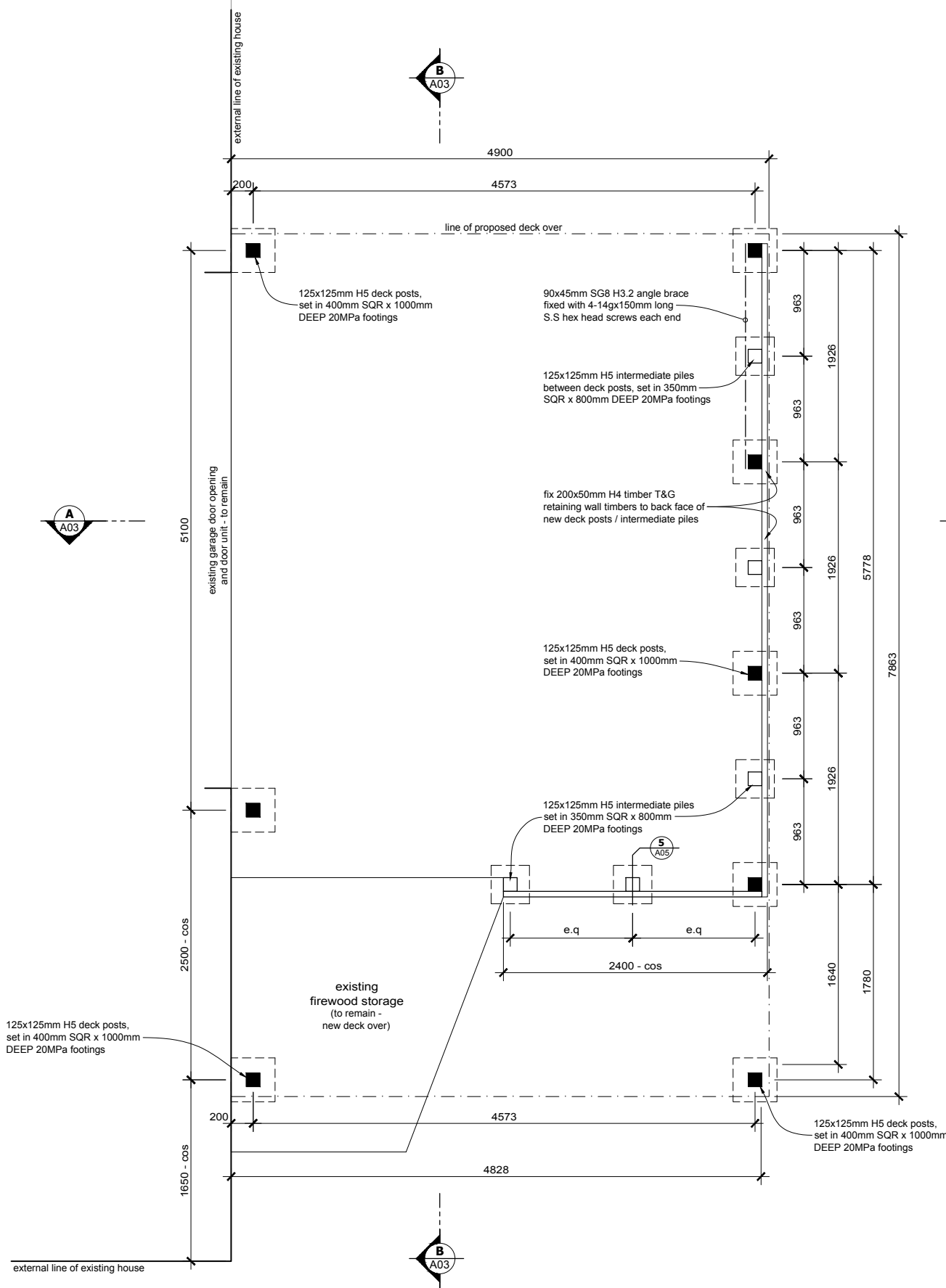
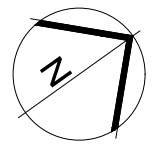
| COMPLIANCE INFORMATION - SITE DATA | |
|------------------------------------|---------------------------|
| WIND REGION A | WIND ZONE HIGH |
| TOPOGRAPHICAL CLASS T1 | EARTHQUAKE ZONE ZONE 1 |
| EXPOSURE ZONE ZONE C | |



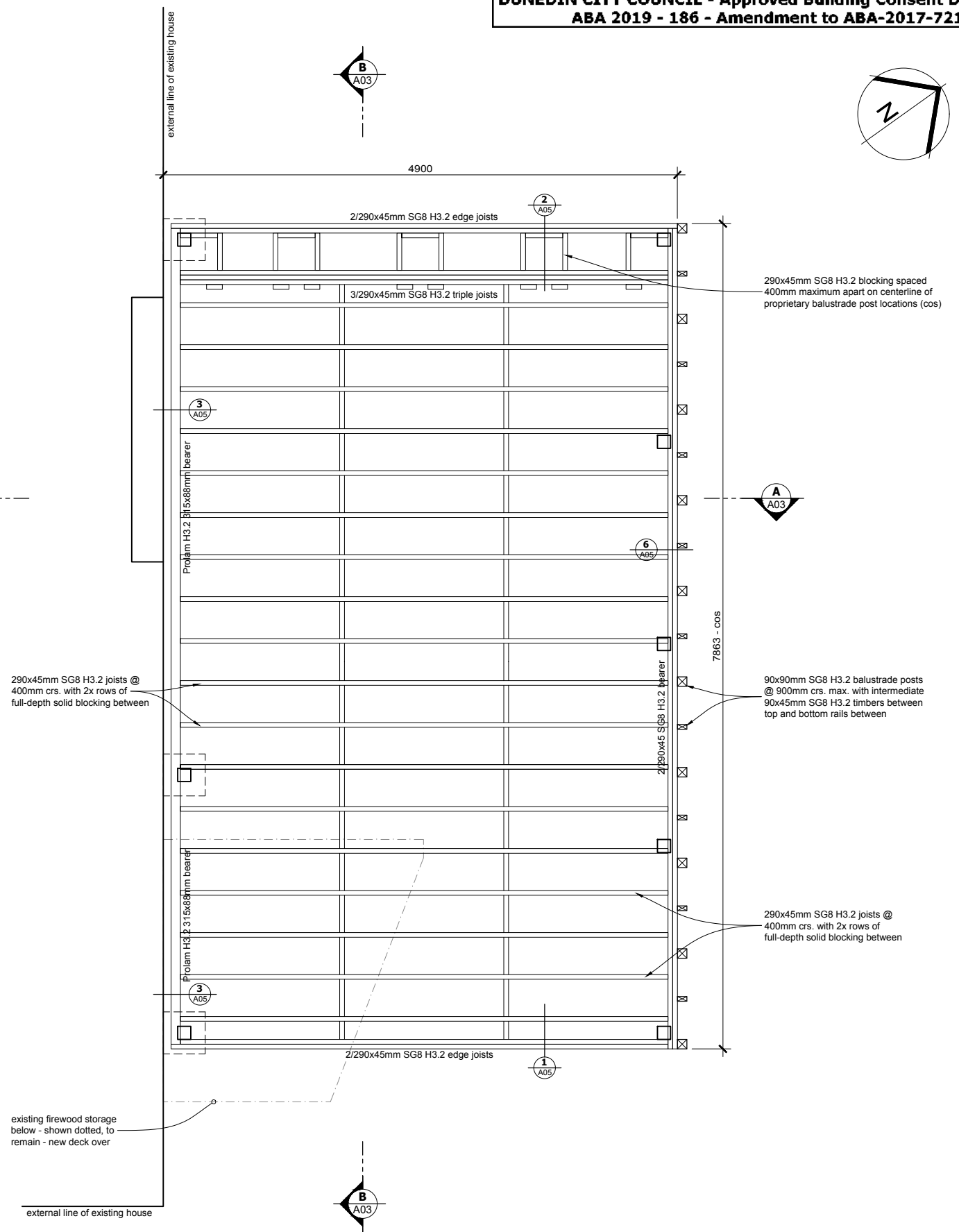
site plan
 SCALE 1:200 @ A3

LEGAL DESCRIPTION
 LOT 2 DP 355930
 CT: 228177
 Valuation No. 26970-63102
 Site Area: 577m2

SITE PLAN & PROPOSED PART UPPER FLOOR PLAN

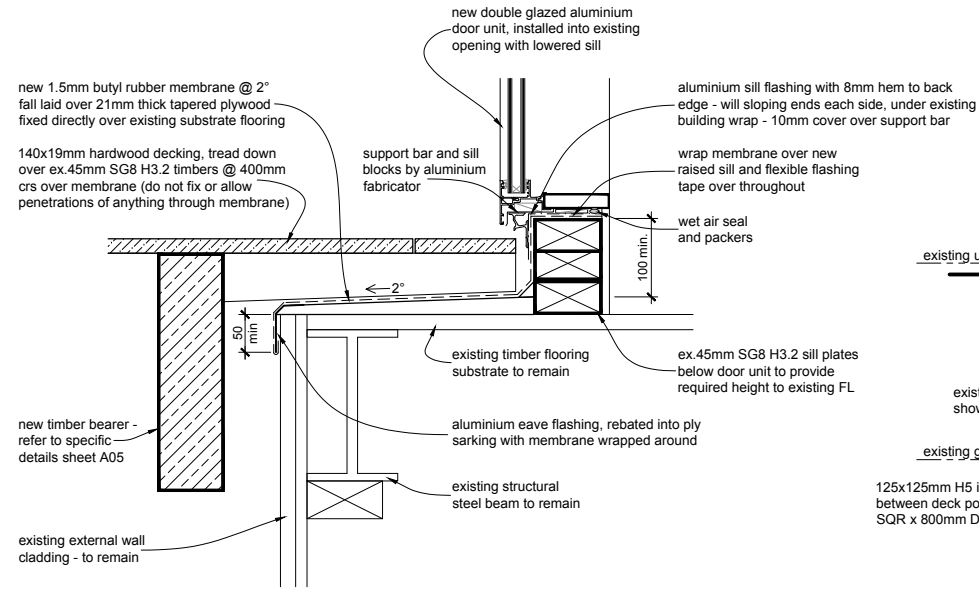


proposed deck foundation plan
 SCALE 1:50 @ A3

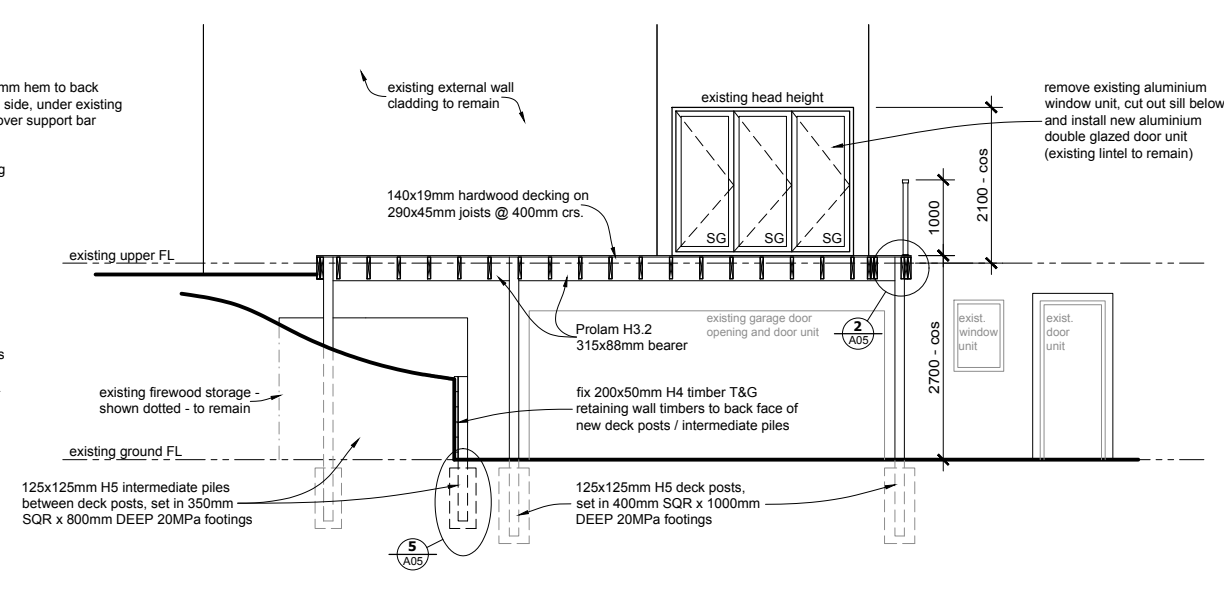


proposed deck framing plan
 SCALE 1:50 @ A3

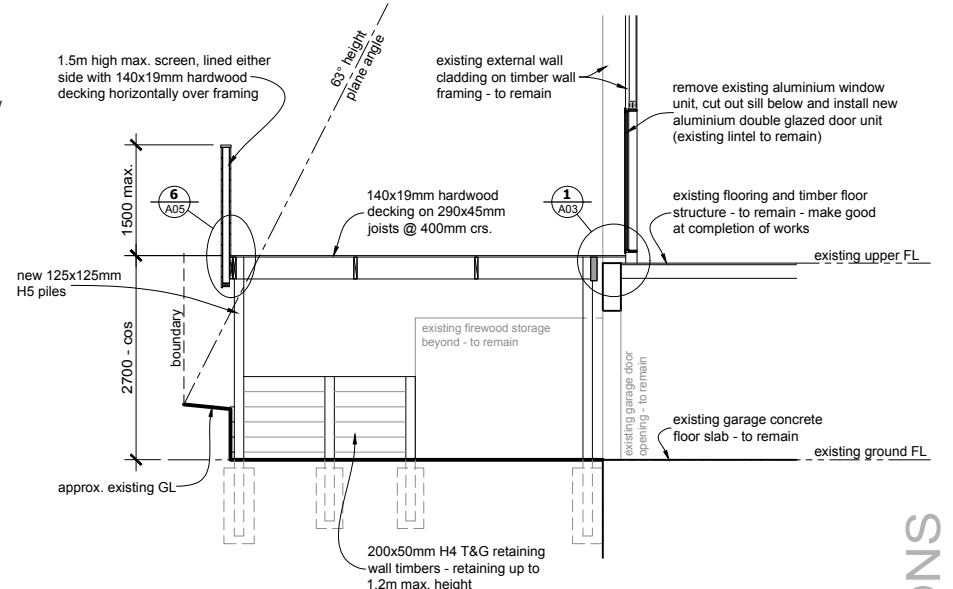
PROPOSED DECK FOUNDATION & FRAMING PLANS



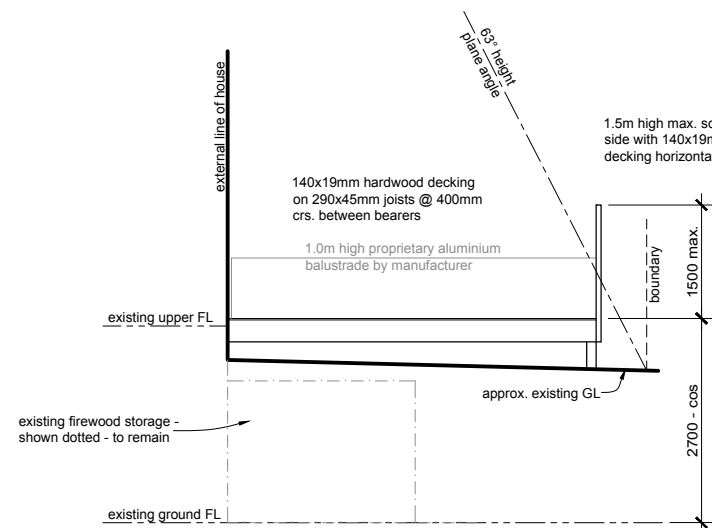
1 deck / door sill detail
 SCALE 1:10 @ A3



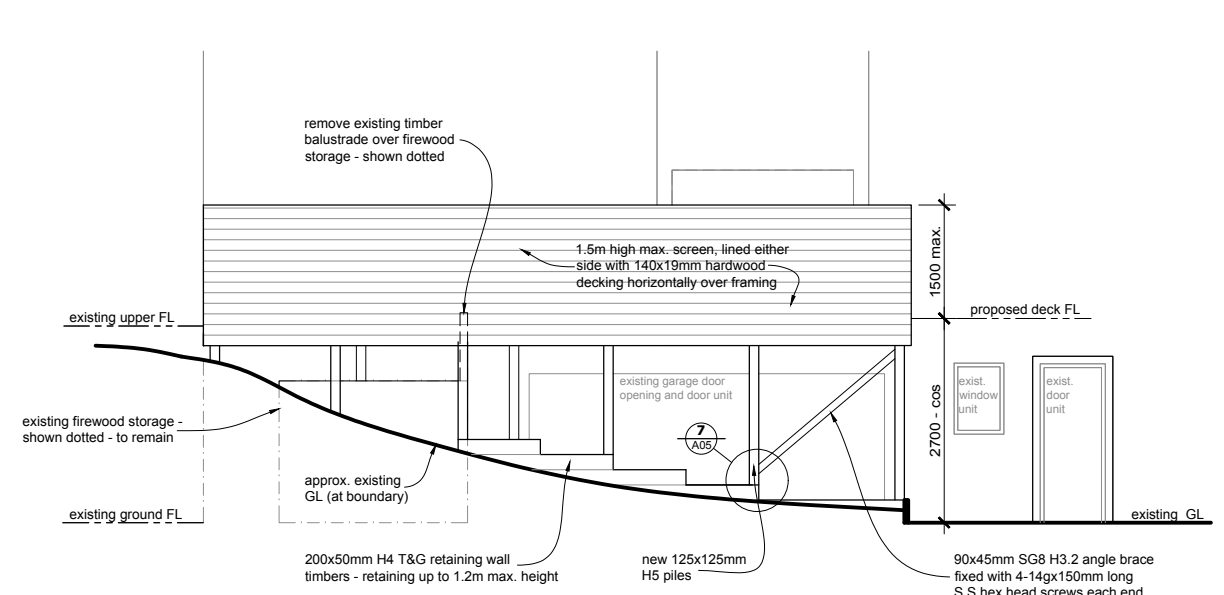
A longitudinal section
 SCALE 1:100 @ A3



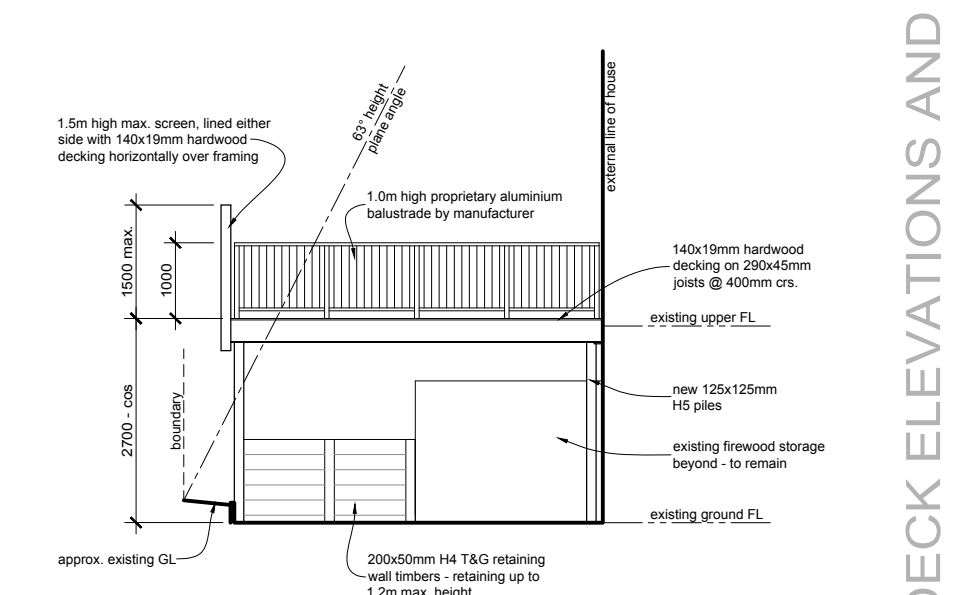
B cross section
 SCALE 1:100 @ A3



south-east elevation
 SCALE 1:100 @ A3

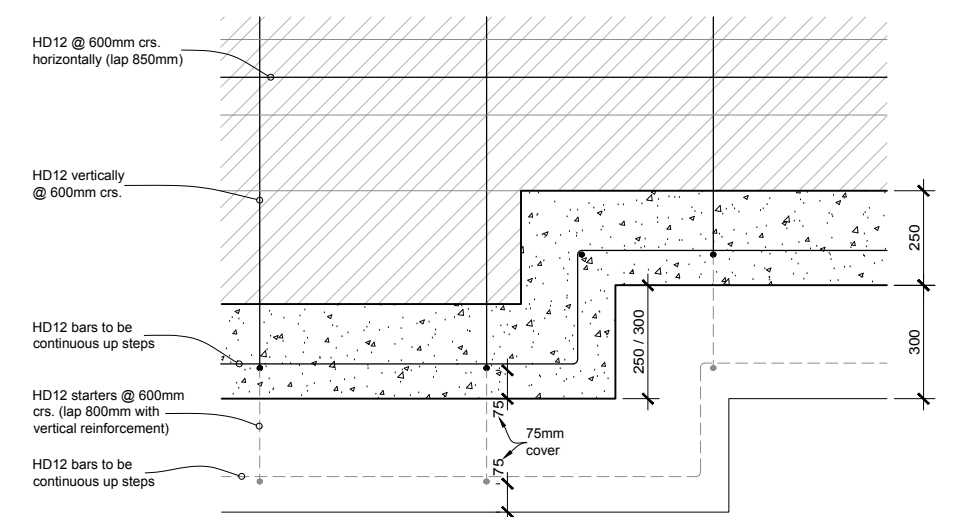
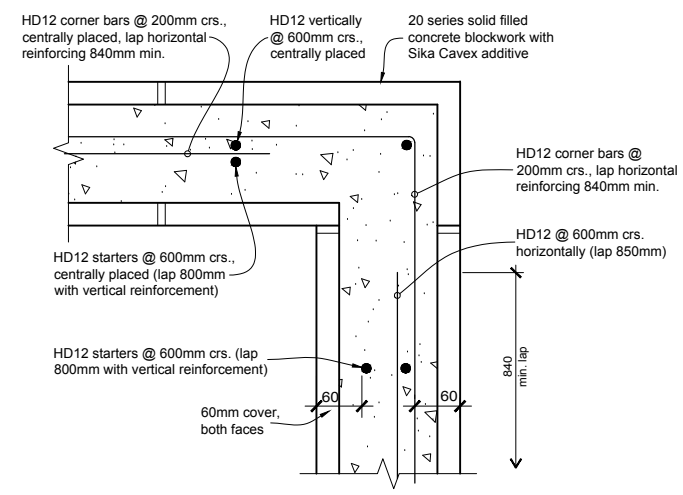
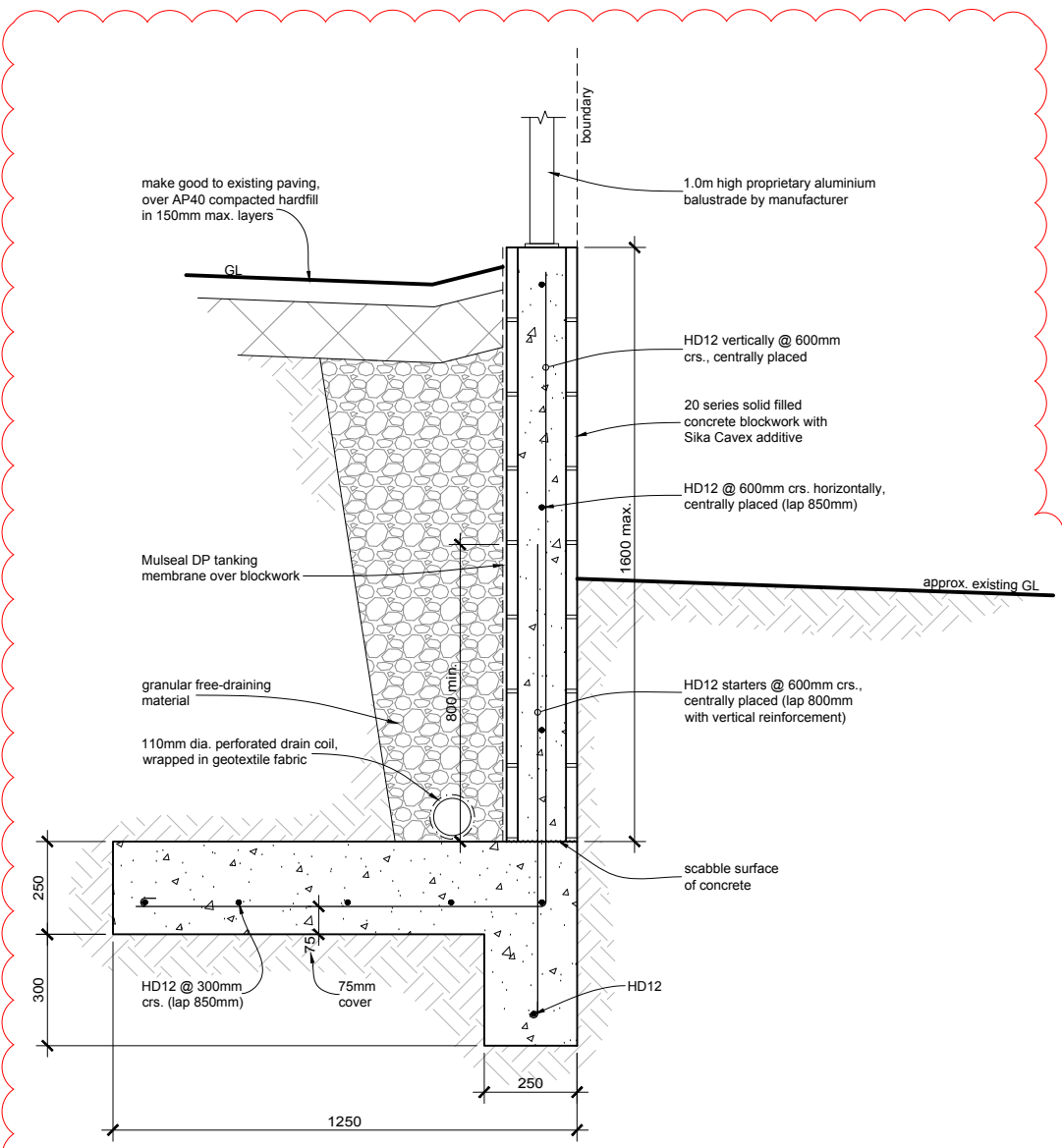
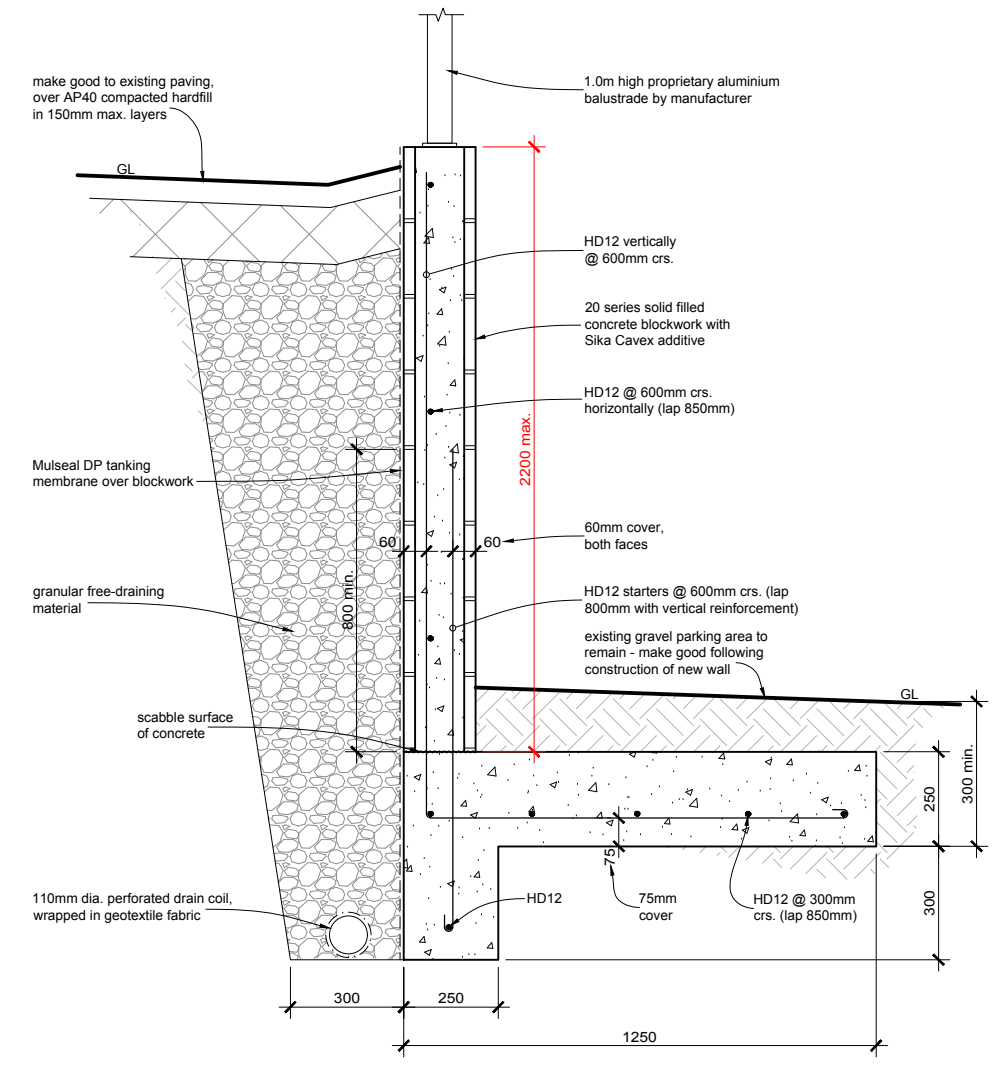
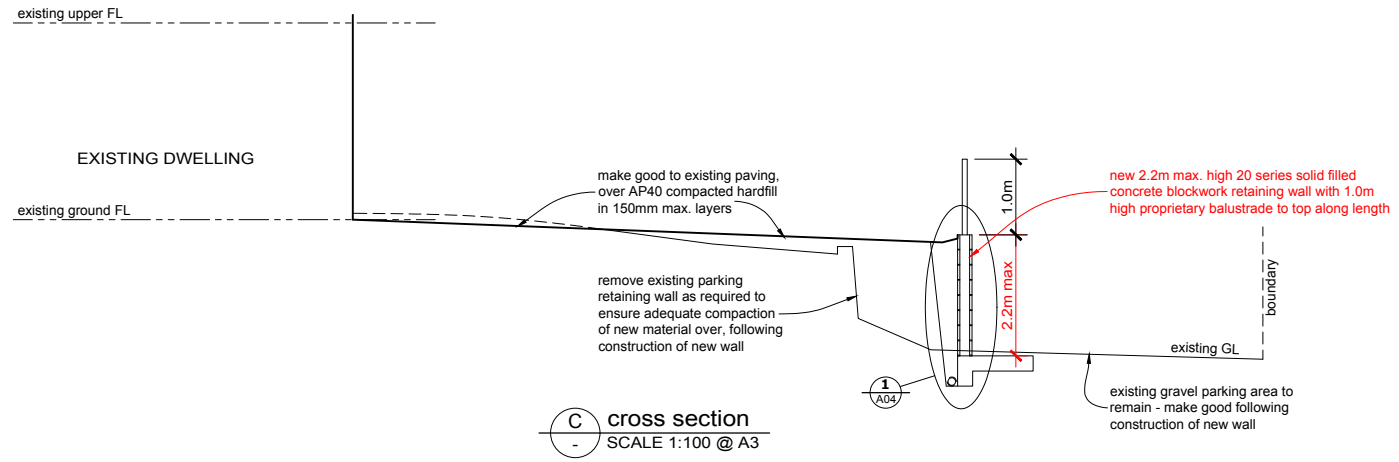


north-east elevation
 SCALE 1:100 @ A3

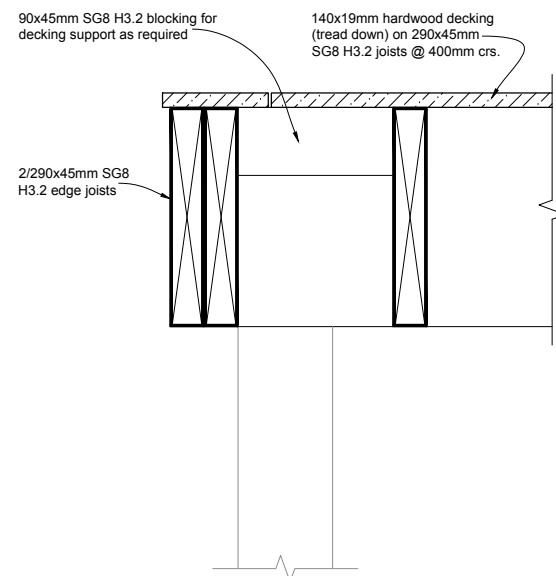


north-west elevation
 SCALE 1:100 @ A3

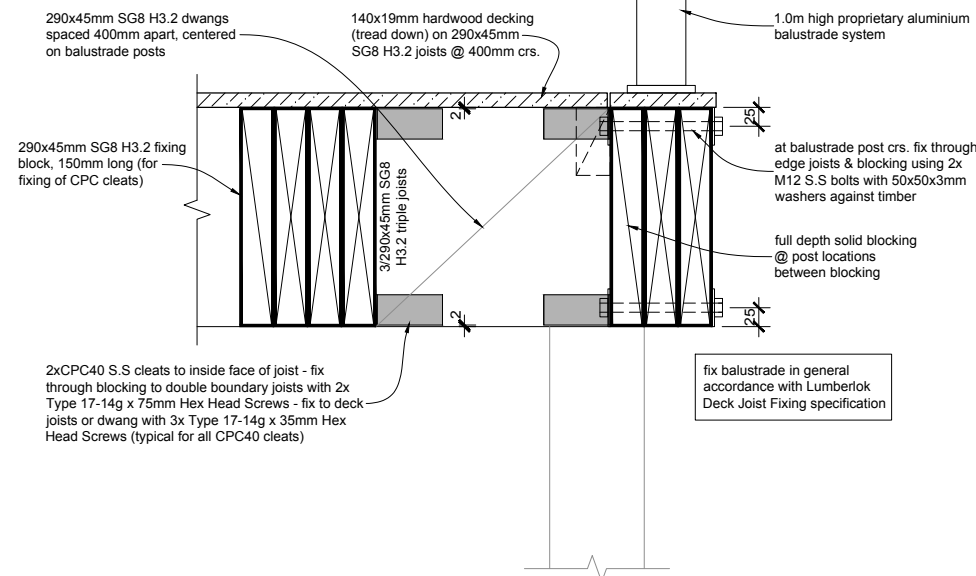
PROPOSED DECK ELEVATIONS AND SECTIONS



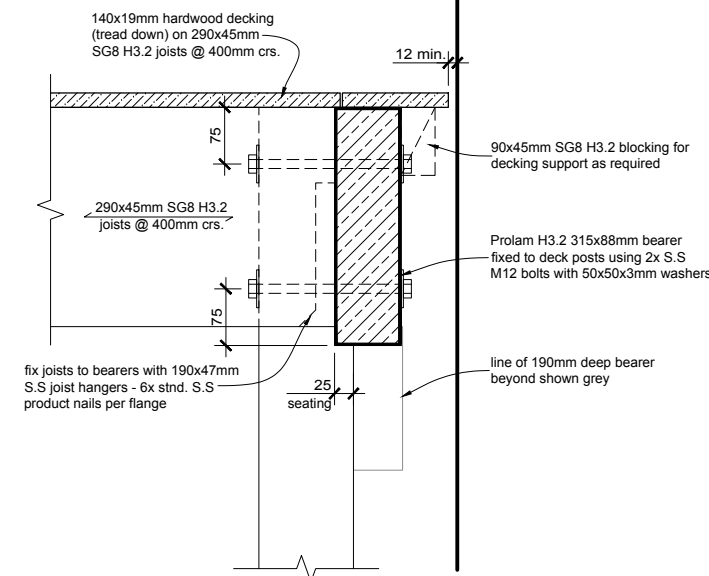
RETAINING WALL SECTION AND DETAILS



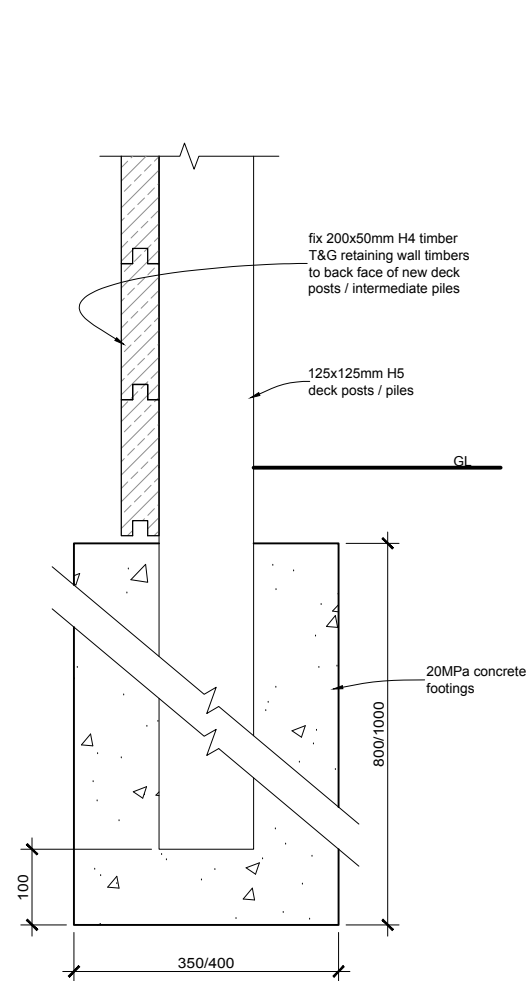
1 deck detail
 SCALE 1:10 @ A3



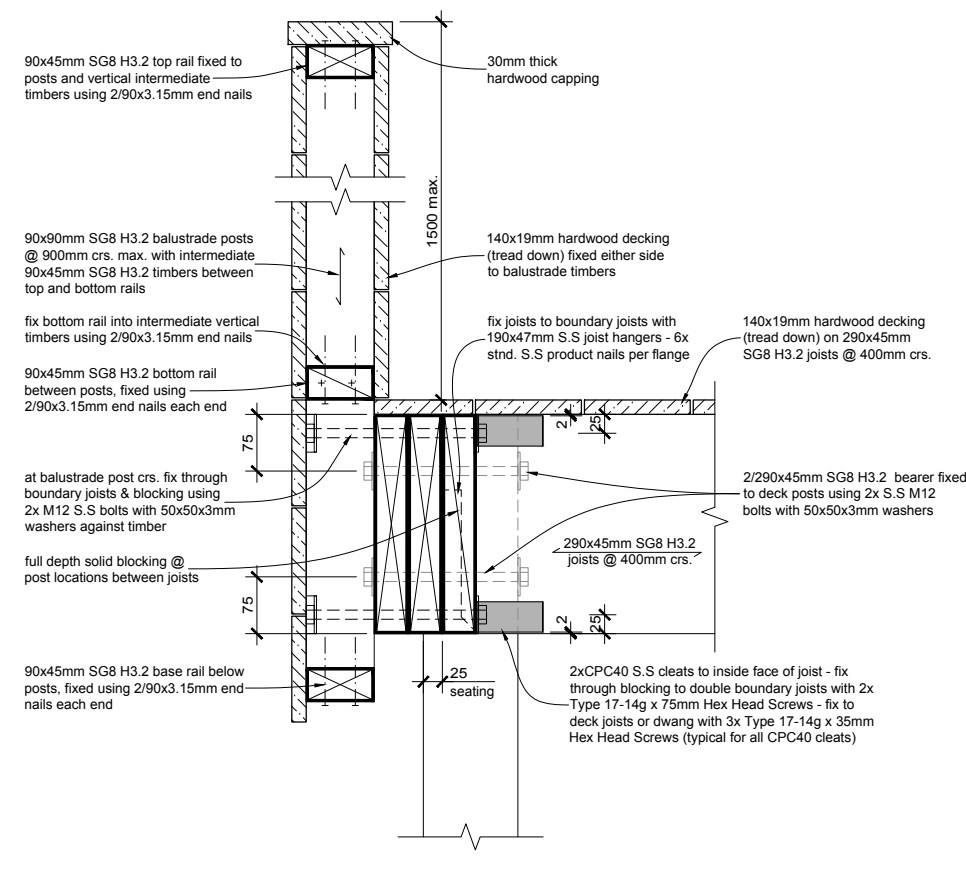
2 deck detail
 SCALE 1:10 @ A3



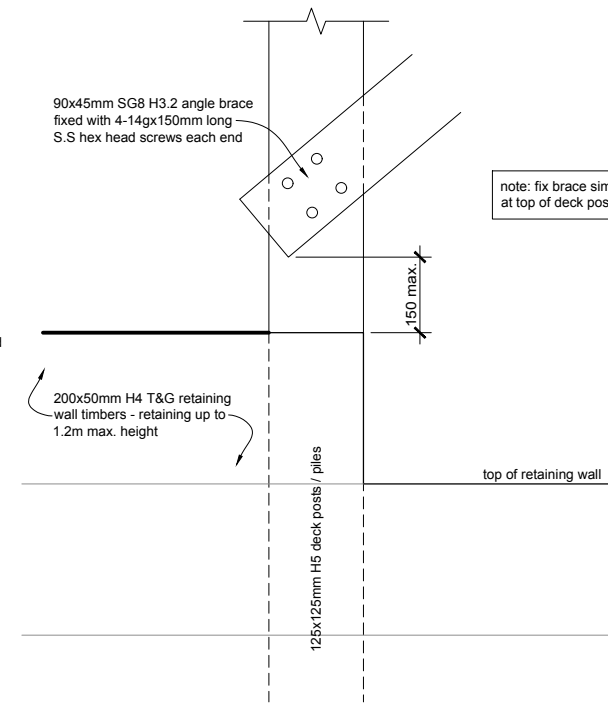
3 deck detail
 SCALE 1:10 @ A3



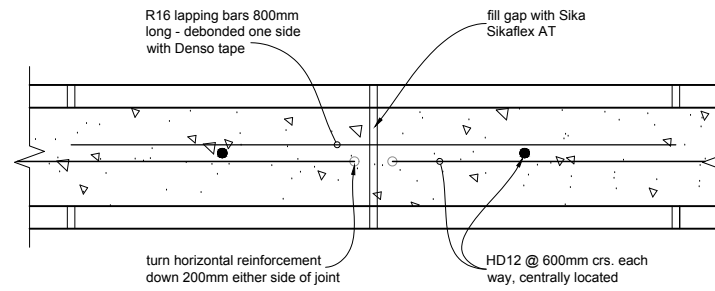
5 pile / post footing detail
 SCALE 1:10 @ A3



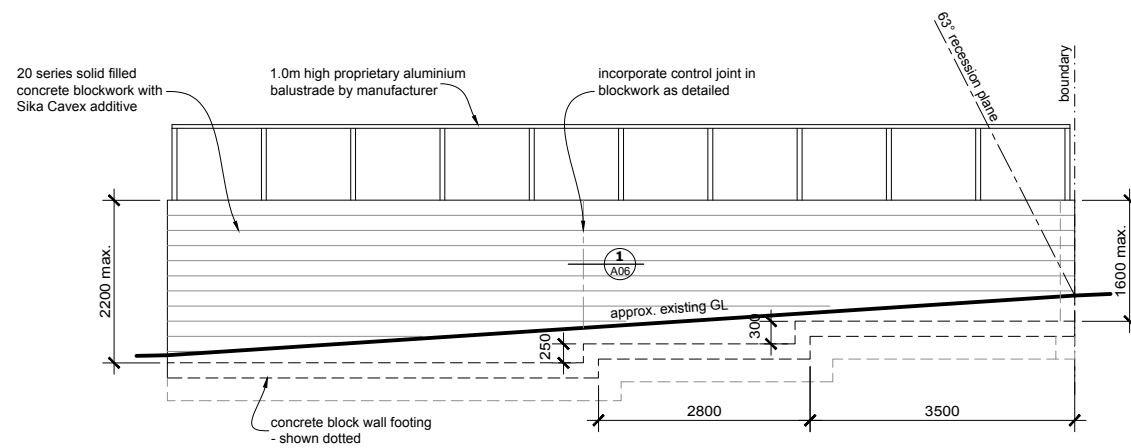
6 deck / balustrade detail
 SCALE 1:10 @ A3



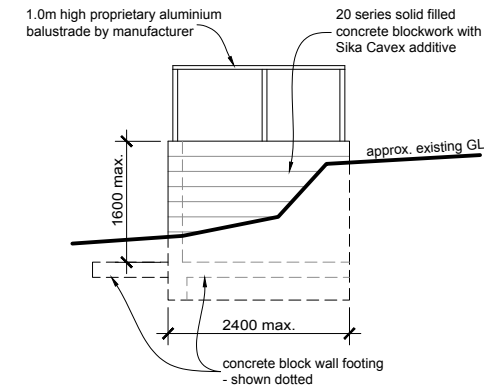
7 braced post detail
 SCALE 1:10 @ A3



1 control joint detail
 SCALE 1:10 @ A3



1 retaining wall elevation
 SCALE 1:100 @ A3



2 retaining wall elevation
 SCALE 1:100 @ A3

RETAINING WALL ELEVATIONS

Building Consent - ABA-2022-2460

(Section 51, Building Act 2004)

Form 5

The building

Street address of building: 99 Kaikorai Valley Road Dunedin

Legal description of land where building is located: LOT 2 DP 355930

Building name: N/A

Location of building within site/block number: N/A

Level/unit number: N/A

Owner

Name of owner: R D Heatley and W J Mason

Contact person: R D Heatley and W J Mason

Mailing address: C/O Spotted Ink Limited, CMB 14083, Warrington 9449

Street address/registered office:

Mobile: 027 247 7679

Landline: 03 477 7980

Email address: buildme@bmdunedin.co.nz

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Alter Dwelling - Reclad Exterior Walls, Alter Roof One, Two and Three and Install Channel Drain. Install new Woodsman Brunner MKII heater.

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Agents authorised by the building consent authority for the purposes of the Building Act 2004 section 90(1) are entitled at all times during normal working hours or while building work is being done, to inspect land and buildings.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Record of required site inspections - Building Act 2004 section 90(2)

Project Consideration PCON-2023-267



Team Leader Processing (Building Consents)
On behalf of Dunedin City Council

Date of issue: 18 October 2023



Legend

| Water Supply | | Water Non-Return Valve | |
|--------------|--------------------------------|------------------------|--------------------------------|
| | Manifold Box | | Water Non-Return Valve |
| | Water Meter | | Water Pump Station |
| | Toby | | Water Bore |
| | Meter without manifold box | | Water Treatment Plant |
| | Retic Flow Meter | | Water Storage Tank |
| | Combination Meter | | Supply Main |
| | Manifold Box With Restrictor | | Trunk Main |
| | Water Valve - Zone | | Disused |
| | Non Return Valve | | Reticulation |
| | Water Valve - Gate | | Rider |
| | Water Valve - Sluice | | Scour |
| | Water Hydrant | | Water Service Lateral |
| | Water Backflow Preventor - RPZ | | Water Fire Service Lateral |
| | | | Water Critical Service Lateral |
| | | | Water Zone Boundary |
| | | | Water Reservoir |
| | | | Redundant Water Main |

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

| Foul Sewerage | | Pump Station | |
|---------------|-----------------------------|--------------|--------------------------------|
| | Standard Manhole | | Pump Station |
| | Valve Chamber (pressurised) | | Treatment Plant |
| | Boundary Kit | | Vent |
| | Non-Return Valve | | Foul Sewer Node |
| | Pump Station Domestic | | Foul Drains in Common (public) |
| | Drop Manhole | | Sewer |
| | Inspection Manhole | | Trunk Sewer |
| | Inspection Opening | | Vent Line |
| | Lamphole | | Rising Main |
| | Outlet | | Redundant Foul Sewer Pipe |

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

| Stormwater | | Roading Bubble-Up Tank | |
|------------|-----------------------------------|------------------------|---------------------------|
| | SW Bubble-up Tank | | Roading Bubble-Up Tank |
| | SW Drop Manhole | | Roading Mudtank |
| | SW Insp Chamber and Grating Inlet | | Stormwater Main |
| | SW Inspection Manhole | | Stormwater Trunk Main |
| | SW Inspection Opening | | DCC Open Channel |
| | SW Lamphole | | Piped WC |
| | SW Mudtank Inlet | | Open WC |
| | SW Outlet | | Culvert |
| | SW Pipe Inlet | | Stormwater Mudtank Pipe |
| | SW Pressure Manhole | | Redundant Stormwater Main |
| | SW Standard Manhole | | SW Sump |
| | SW Stormwater Node | | SW Pump Station |

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

| General | | Cadastral | |
|---------|-----------------------------|-----------|--------------------------|
| | DCC Water & Waste Structure | | Parcel |
| | Railway Centreline | | Road/Rail |
| | | | Hydro |
| | | | Motorway Parcels |
| | | | Strata |
| | | | Easment (where recorded) |

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>

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Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of this information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A3:
1:500

8/12/2022
9:43:15 AM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES. This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

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2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.

Sheet Index - Working Drawings

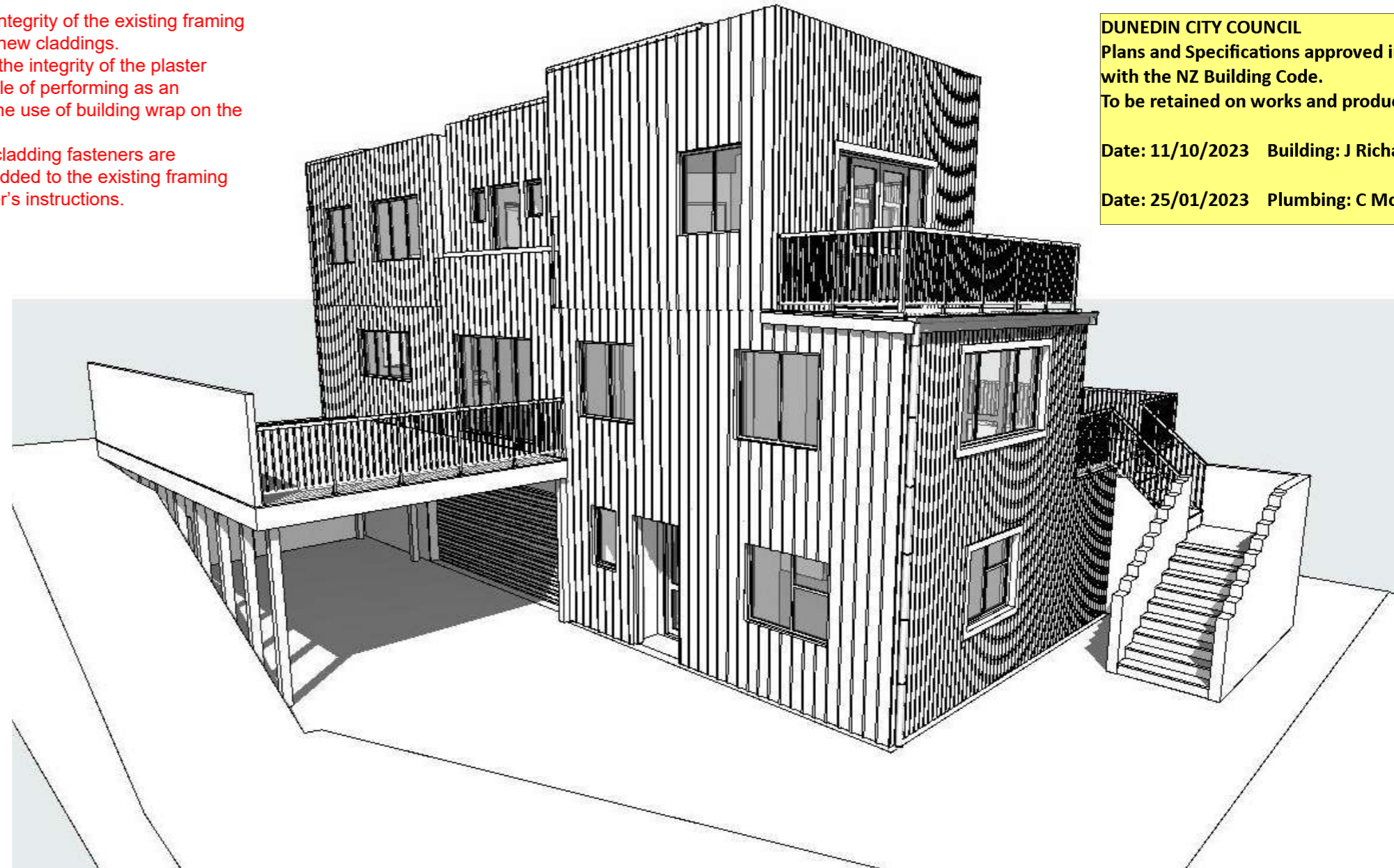
| Layout ID | Layout Name |
|-----------|---|
| | Cover Page |
| A101 | Site Plan |
| A201 | Basement Floor Plan |
| A202 | Demolition & Proposed Mid & First Floor Plans |
| A203 | Roof Plan |
| A301 | Existing Elevations |
| A302 | Proposed Elevations |
| A303 | Proposed Elevations |
| A601 | Timber Shiplap Cladding Details |
| A602 | Vertical 5Rib Cladding Details |
| A603 | Corner Cladding Details |
| A604 | First Floor Deck Membrane Details |
| A605 | Entry Deck Membrane Details |
| A606 | Cladding Details |
| A607 | Parapet & Roof Details |
| A608 | Membrane Roof Details |
| A609 | Membrane Roof Details |
| A610 | Roof Junction Details |
| A611 | Membrane Deck & Roof Junction Details |
| A612 | Base of Cladding Details |
| A613 | Roof Junction Details 2 |
| A614 | GIB Bracing |
| A615 | GIB Bracing Elements |
| A801 | Exterior 3D Views |

It is the responsibility of the owner or their agent to:

- ensure the integrity of the existing framing to support the new claddings.
- ensure that the integrity of the plaster remains capable of performing as an alternative to the use of building wrap on the walls.
- ensure the cladding fasteners are correctly embedded to the existing framing as per engineer's instructions.

DUNEDIN CITY COUNCIL
Plans and Specifications approved in accordance with the NZ Building Code.
To be retained on works and produced on request.

Date: 11/10/2023 Building: J Richards
Date: 25/01/2023 Plumbing: C McCormack



DCC CITY PLANNING
THESE PLANS ARE APPROVED
This development is permitted under the District Plan

Signed: nfpetrie
Date: 12/10/2023



DOMESTIC SMOKE ALARM
Smoke alarms complying with the NZBC clause F7 are required in this building.

In granting this building consent the Council is satisfied that the proposed building works comply with the Building Code. Please note, that the council has not reviewed and makes no statement as to whether any other building work (other than those for which this consent is granted) either existing or proposed, referred to or shown on the application, plan, diagram or specification, comply with the Building Code or has been legally established.

IMPORTANT INFORMATION
For freestanding heating appliance inspections, the ceiling plate shall be detached and safe access provided to the ceiling space.

If a wetback system is installed, safe access must be provided to the hot water cylinder and tempering device.

Cladding Alterations for:
Rhys Heatley
At: 99 Kaikorai Valley Road Glenross Dunedin 9011
Lot 2 DP 355930

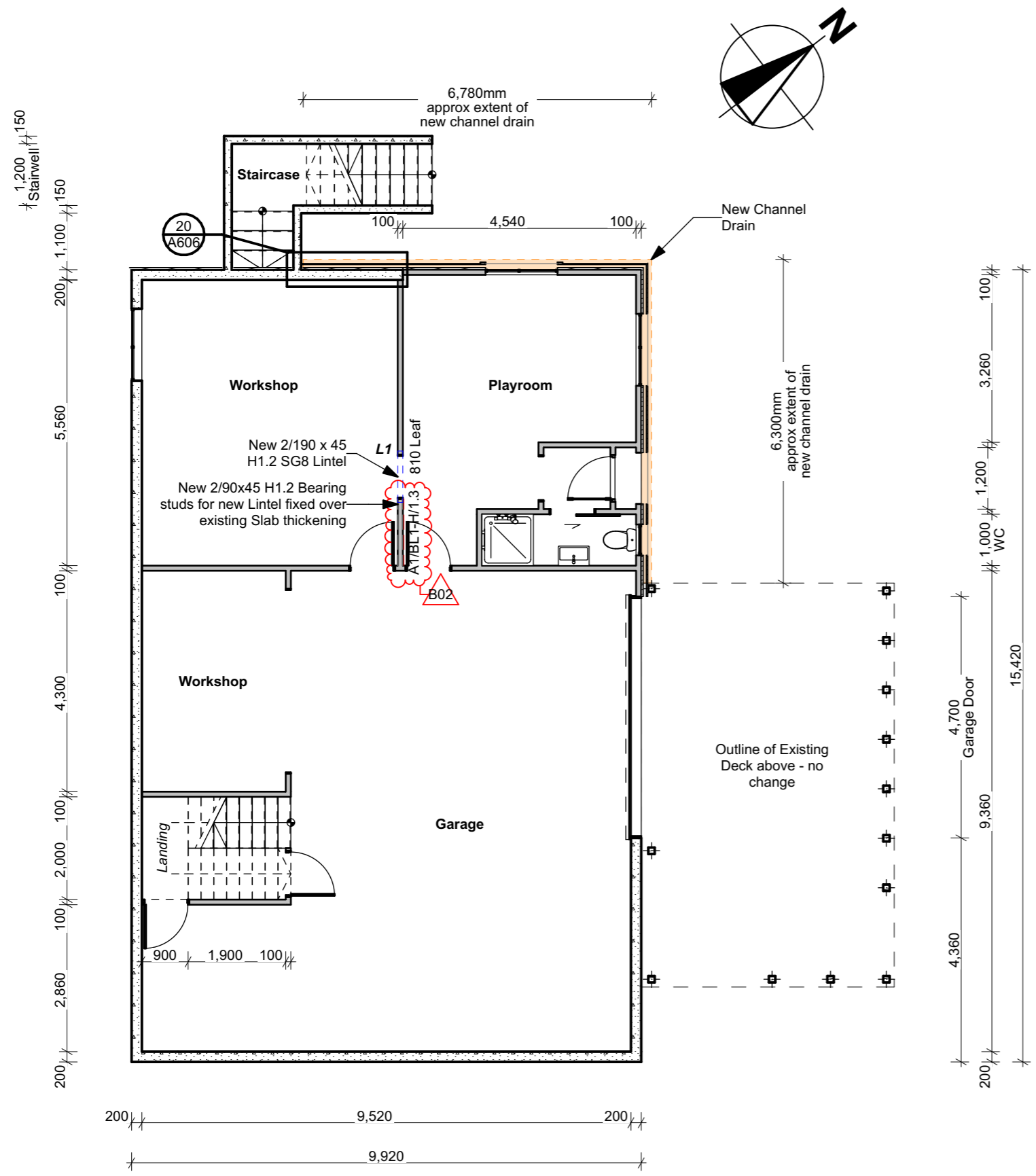


Copyright of spotted ink spatial design.
Check and confirm all dimensions on site. Do not scale off these drawings. All work shall comply with the New Zealand Building Code. This plan is to be read in conjunction with accompanying specifications.

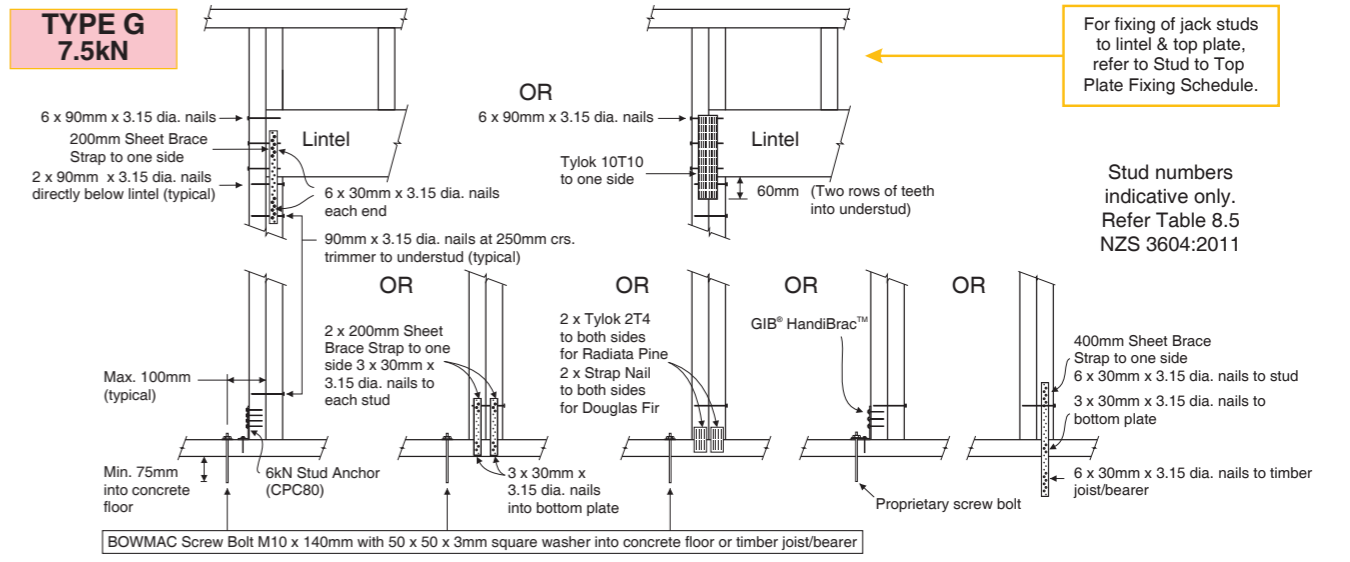
Plan to be read in
with Structural Engineers PS1

Existing wall framing studs at 400mm crs.

L1: New 2/190 x 45 H1.2 SG8 Lintel to be installed within existing wall framing. Lintel to be fixed as per Lumberlok Fixing Options Type G



**TYPE G
7.5kN**



For fixing of jack studs to lintel & top plate, refer to Stud to Top Plate Fixing Schedule.

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

Lintel-Fixing-Schedule

1:1

Total House area: 375.58m²
Roof area: 112.98m²

Note: Unless otherwise noted, all existing external doors & windows are to remain in place during construction. No change to existing window support (i.e WANZ Bars).

Legend:
BL1 - H 10 or 13mm GIB Braceline® to one side only with all fixings & fastenings as per Manufacturers specification

| RevID | ChID | Revision | Date |
|-------|------|-------------------------------|------------|
| 01 | A03 | Revised Stud Size & Treatment | 28/07/2023 |
| | A11 | Existing Window support | |
| 02 | B02 | Revised Braced Wall | 7/08/2023 |
| | | | |
| | | | |

To
 Roof area: 112.98m² 13.1.1

Smoke Alarms
 Smoke Alarms (S)
 - Shall be in accordance with NZBC clause F7/AS1.3.1.
 - May be battery powered & shall be located at top of stairs, in every sleeping space, or within 3.0m of every sleeping space door.

Membrane Note:
 Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

01 Existing Door Note:
 Allow to remove, store safely, and re-instate existing external door joinery after dressing new Dek-MASTER membrane to sill and up framing as per Detail 35 Sheet A604.

Note:
 Unless otherwise noted, all existing external doors & windows are to remain in place during construction. No change to existing window support (i.e WANZ Bars).

Membrane Note:
 Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

Note:
 Existing wall framing studs at 400mm crs.

Balustrade Note:
 New 1.0m minimum high balustrade to be installed to existing deck for protection of fall as per NZBC F4/AS1

Refer to Sheet A605 for construction details, and elevations for reference markers

Note:
 New balustrade omitted for clarity

Existing Dished channel to remain - no change

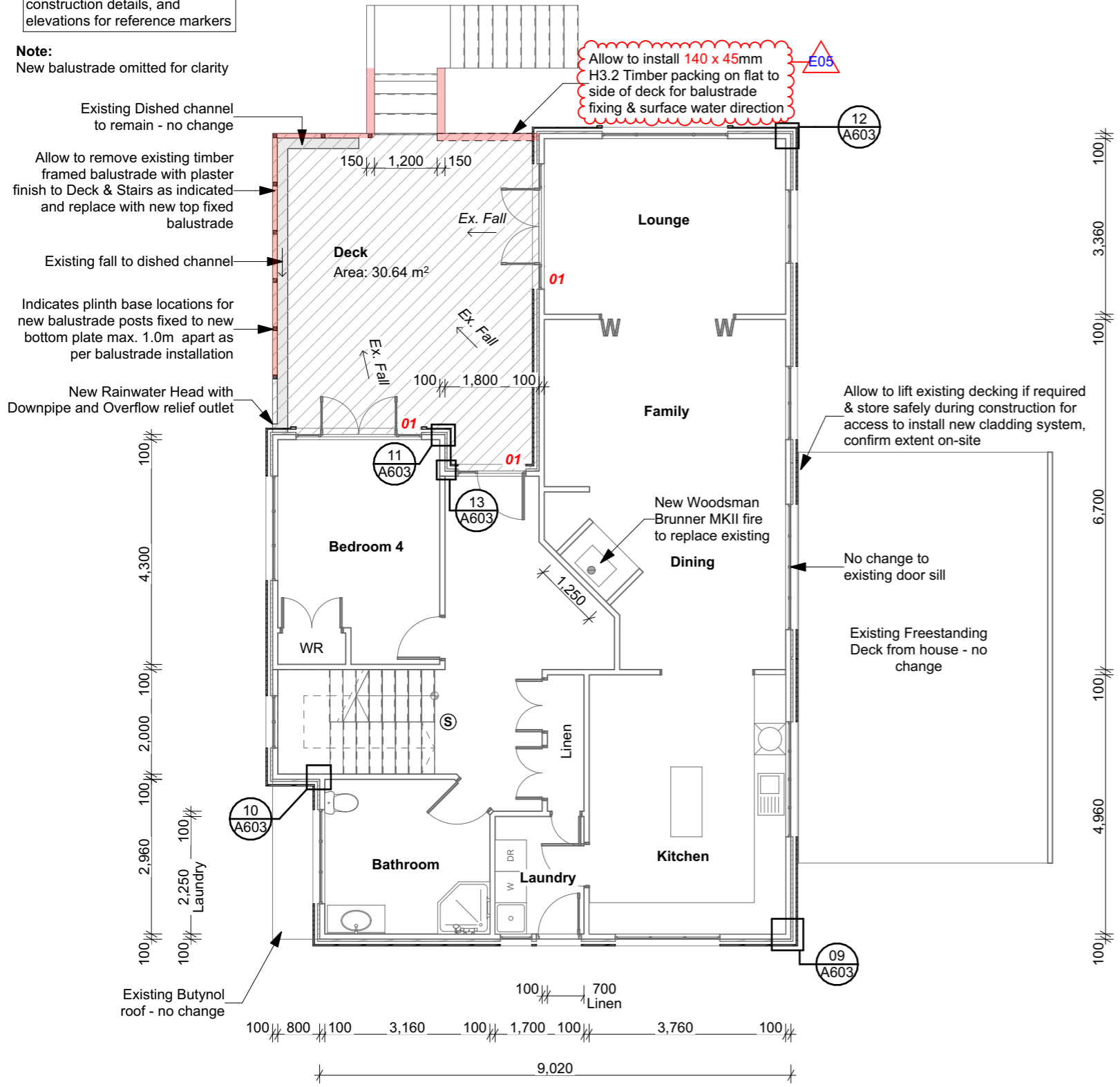
Allow to remove existing timber framed balustrade with plaster finish to Deck & Stairs as indicated and replace with new top fixed balustrade

Existing fall to dished channel

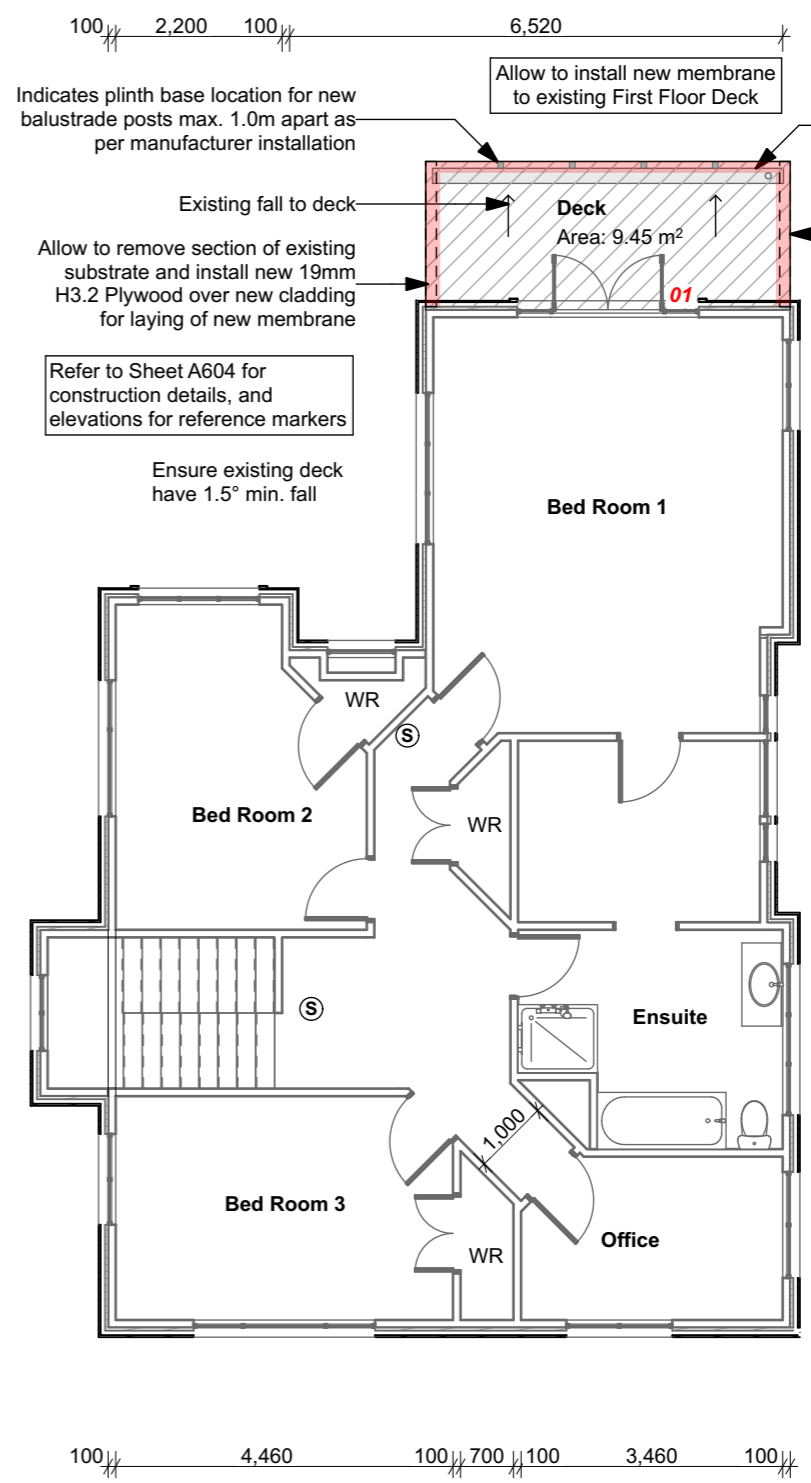
Indicates plinth base locations for new balustrade posts fixed to new bottom plate max. 1.0m apart as per balustrade installation

New Rainwater Head with Downpipe and Overflow relief outlet

Allow to install 140 x 45mm H3.2 Timber packing on flat to side of deck for balustrade fixing & surface water direction



Mid Floor



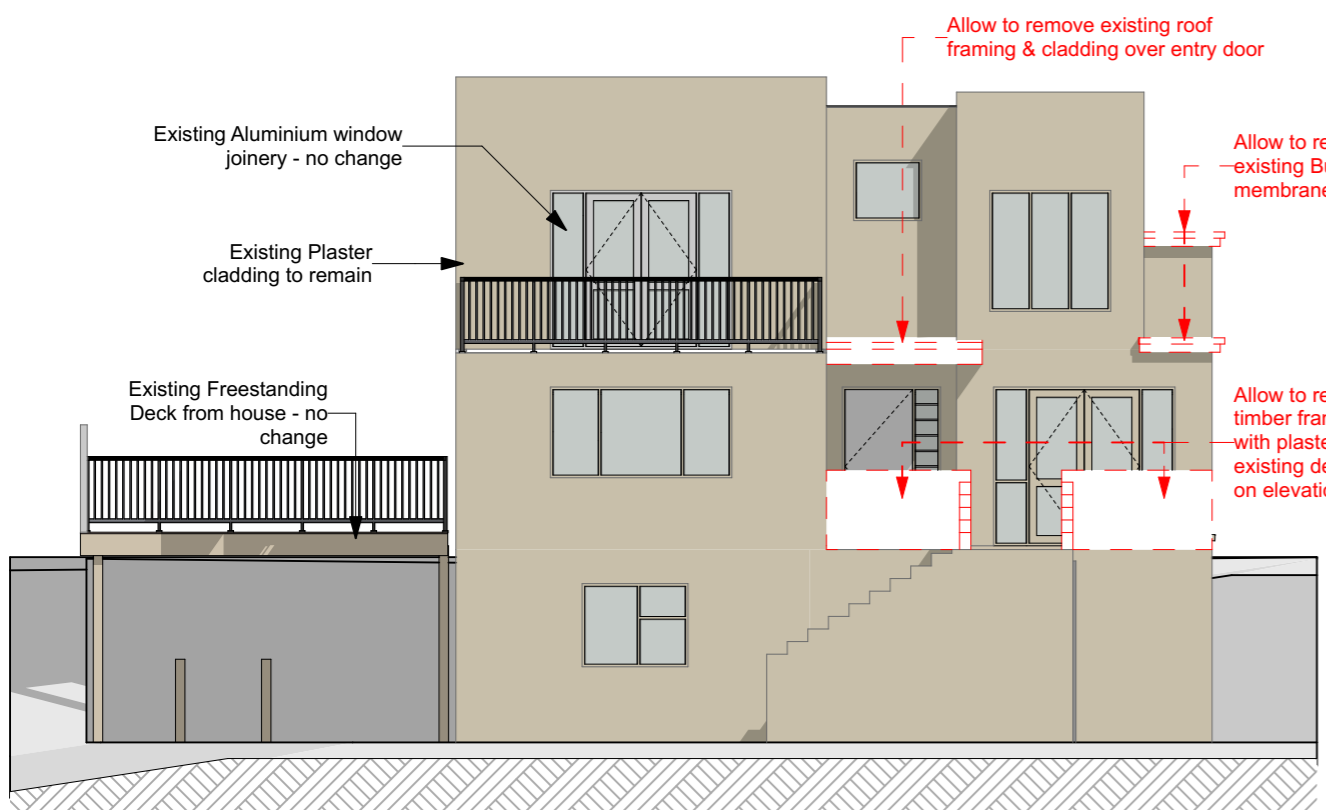
First Floor

| RevID | ChID | Revision | Date |
|-------|------|-----------------------------|------------|
| 01 | A11 | Existing Window support | 28/07/2023 |
| | A25 | Deck Door Sill Detail | |
| 02 | B13 | Existing Butynol Roof Shown | 7/08/2023 |
| 03 | E05 | Revised Balustrade Fixing | 27/09/2023 |

Membrane Note:
 Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

Note:
 Unless otherwise noted, all existing external doors & windows are to remain in place during construction. No change to existing window support (i.e WANZ Bars).

A11



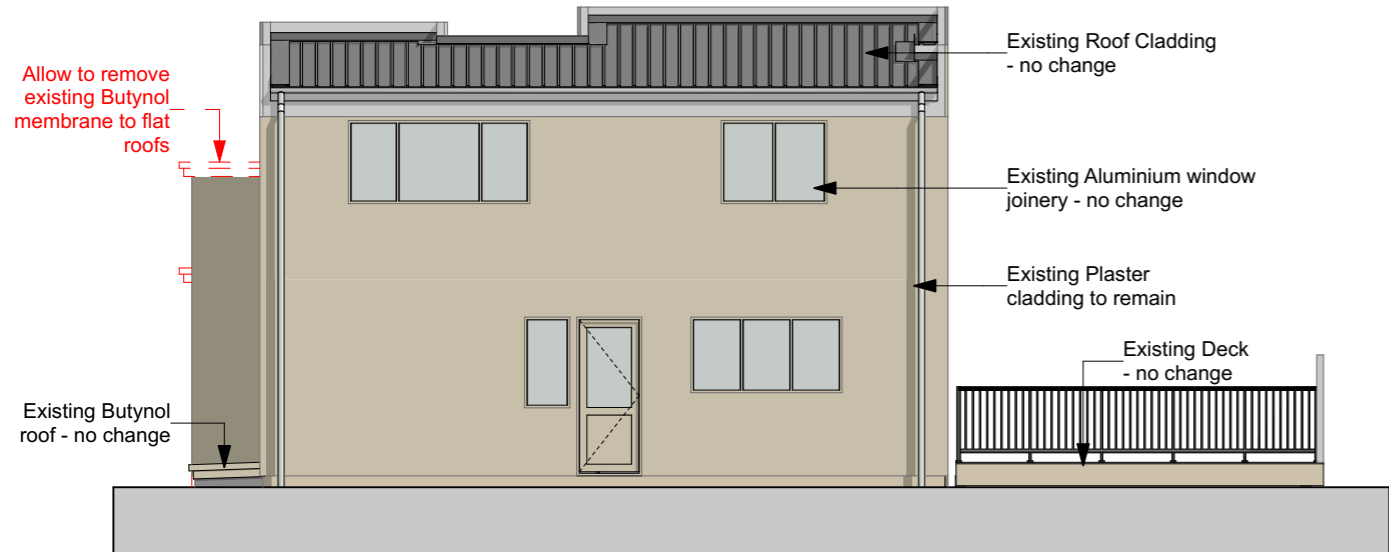
North Elevation

1:100



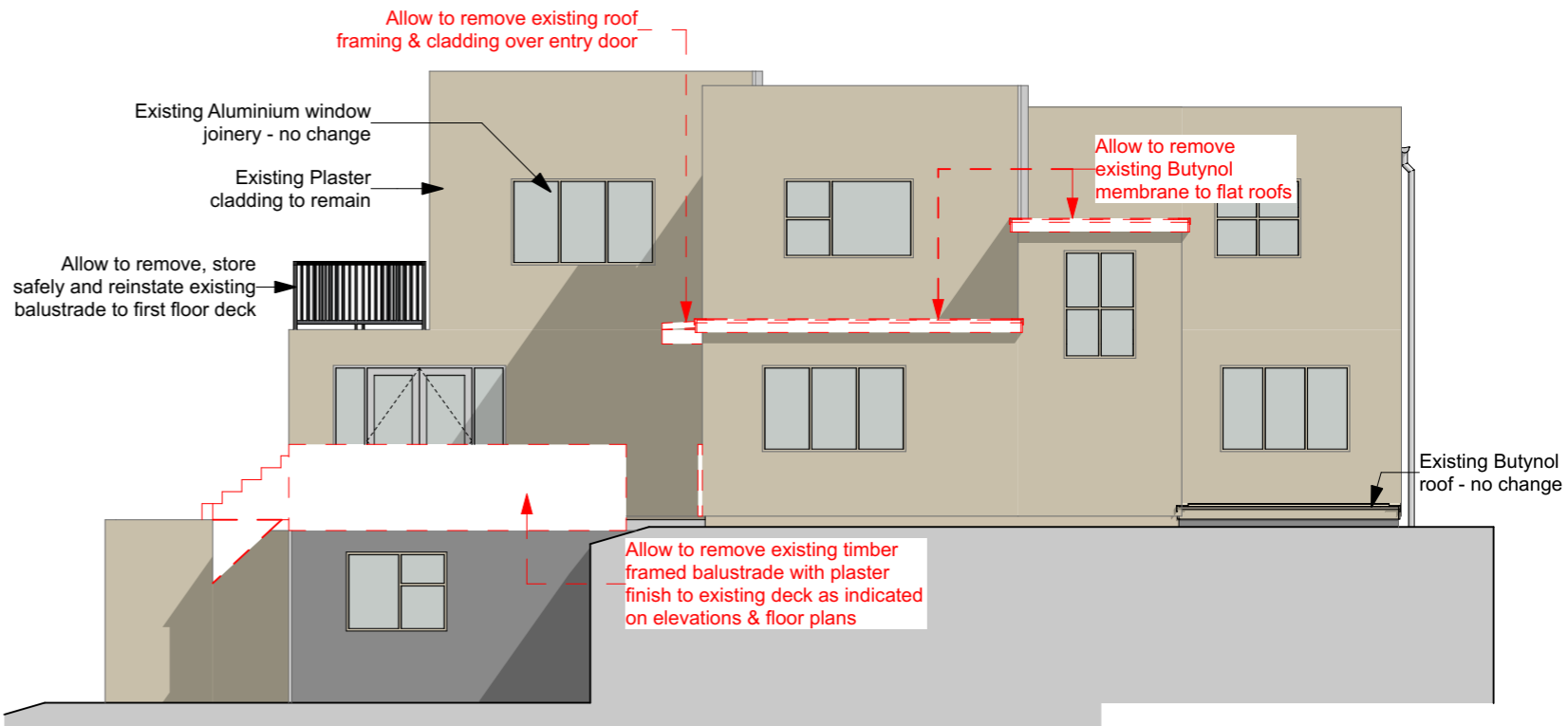
East Elevation

1:100



South Elevation

1:100



West Elevation

1:100

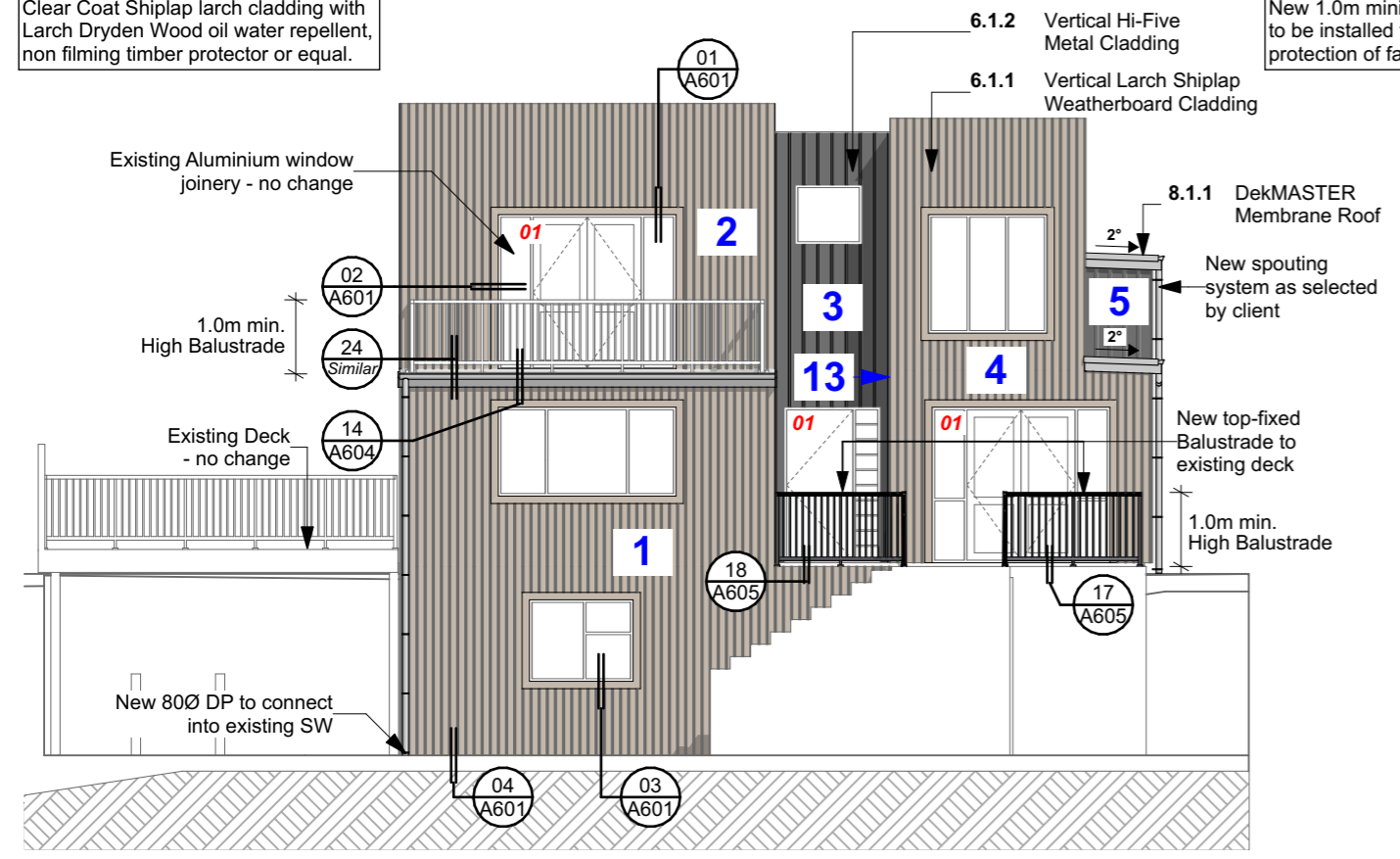
| RevID | ChID | Revision | Date |
|-------|------|-------------------------|------------|
| 01 | A11 | Existing Window support | 28/07/2023 |
| | | | |
| | | | |
| | | | |
| | | | |

Shiplap Cladding Note:
Clear Coat Shiplap larch cladding with Larch Dryden Wood oil water repellent, non filming timber protector or equal.

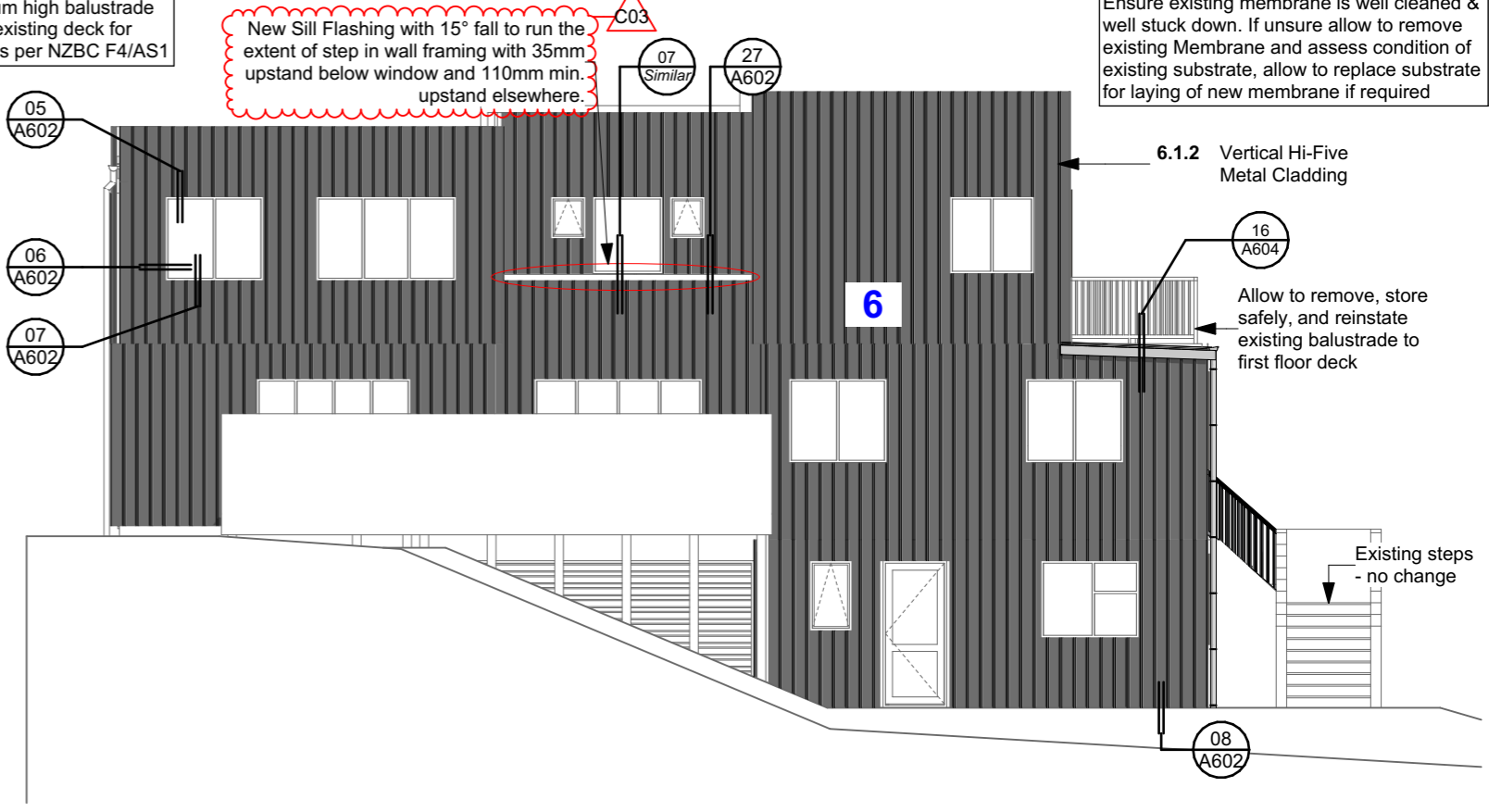
Balustrade Note:
New 1.0m minimum high balustrade to be installed to existing deck for protection of fall as per NZBC F4/AS1

New Sill Flashing with 15° fall to run the extent of step in wall framing with 35mm upstand below window and 110mm min. upstand elsewhere.

Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required



North Elevation 1:100



East Elevation 1:100

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 1 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 14 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 2 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Very high risk | 6 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 6 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Very high risk | 4 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | High risk | 2 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Very high risk | 6 |
| Total Risk Score: | | 19 |

01 Existing Door Note:
Allow to remove, store safely, and re-instate existing external door joinery after dressing new Dek-MASTER membrane to sill and up framing as per Detail 35 Sheet A604.

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 3 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 4 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 5 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Medium risk | 1 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 10 |

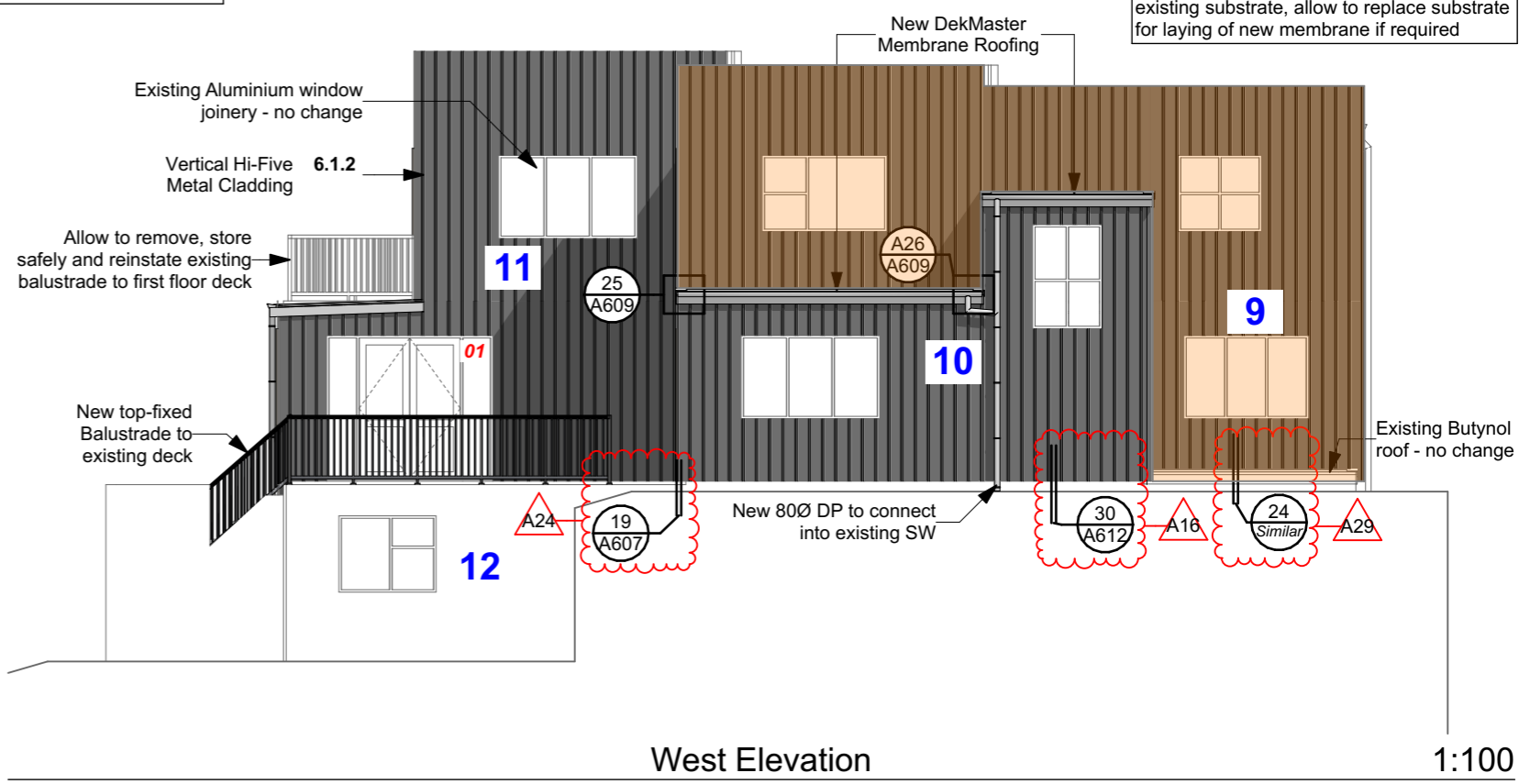
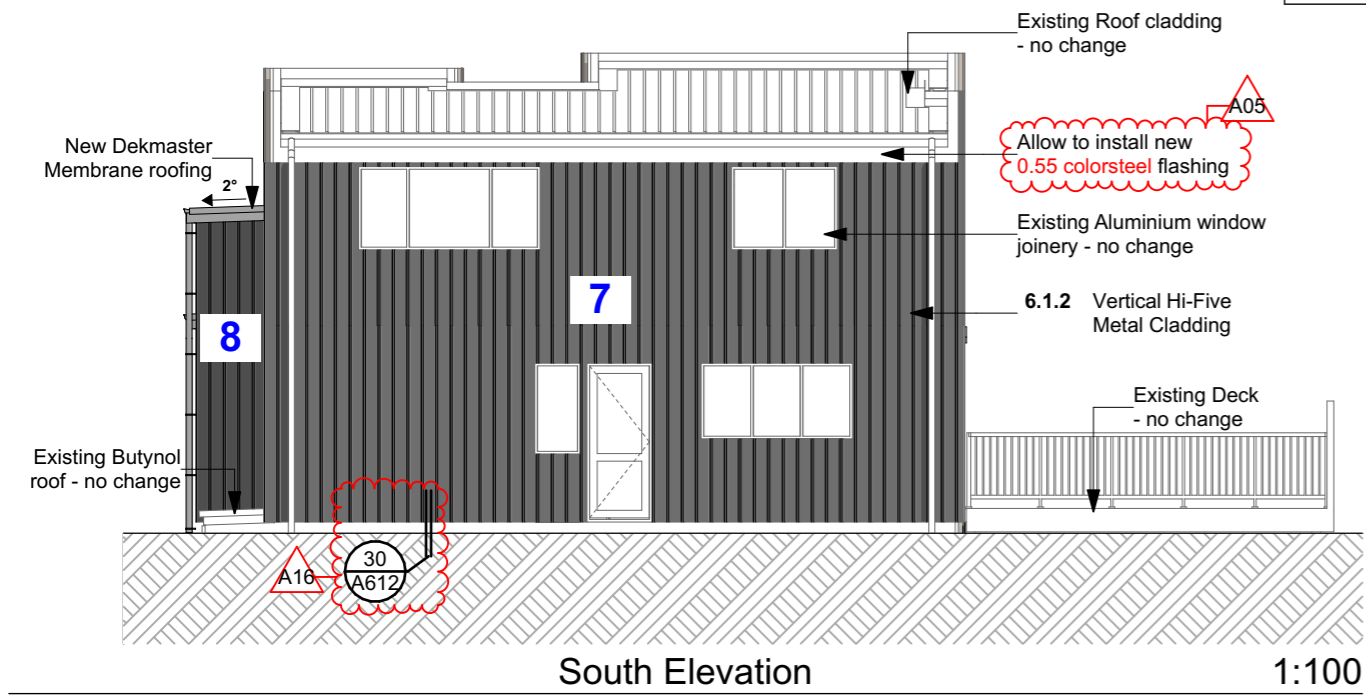
| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 13 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

- It is the responsibility of the owner or their agent to:
- ensure the integrity of the existing framing to support the new claddings.
 - ensure that the integrity of the plaster remains capable of performing as an alternative to the use of building wrap on the walls.
 - ensure the cladding fasteners are correctly embedded to the existing framing as per engineer's instructions.

| RevID | ChID | Revision | Date |
|-------|------|---------------------------------|------------|
| 01 | A12 | Inter-storey Junction Detail | 28/07/2023 |
| | A13 | Stopend to Sill flashing | |
| | A14 | Revised Membrane Upstand | |
| | A24 | Revised Detail Marker locations | |
| | A25 | Deck Door Sill Detail | |
| 02 | A35 | Shiplap Cladding Coating | 24/08/2023 |
| | C03 | Revised Flashing Upstand | |

Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

Balustrade Note:
New 1.0m minimum high balustrade to be installed to existing deck for protection of fall as per NZBC F4/AS1



| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 7 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 13 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 8 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Medium risk | 1 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 10 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 9 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 10 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Medium risk | 1 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 11 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 11 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 12 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 9 |

01 Existing Door Note:
Allow to remove, store safely, and re-instate existing external door joinery after dressing new Dek-MASTER membrane to sill and up framing as per Detail 35 Sheet A604.

- It is the responsibility of the owner or their agent to:
- ensure the integrity of the existing framing to support the new claddings.
 - ensure that the integrity of the plaster remains capable of performing as an alternative to the use of building wrap on the walls.
 - ensure the cladding fasteners are correctly embedded to the existing framing as per engineer's instructions.

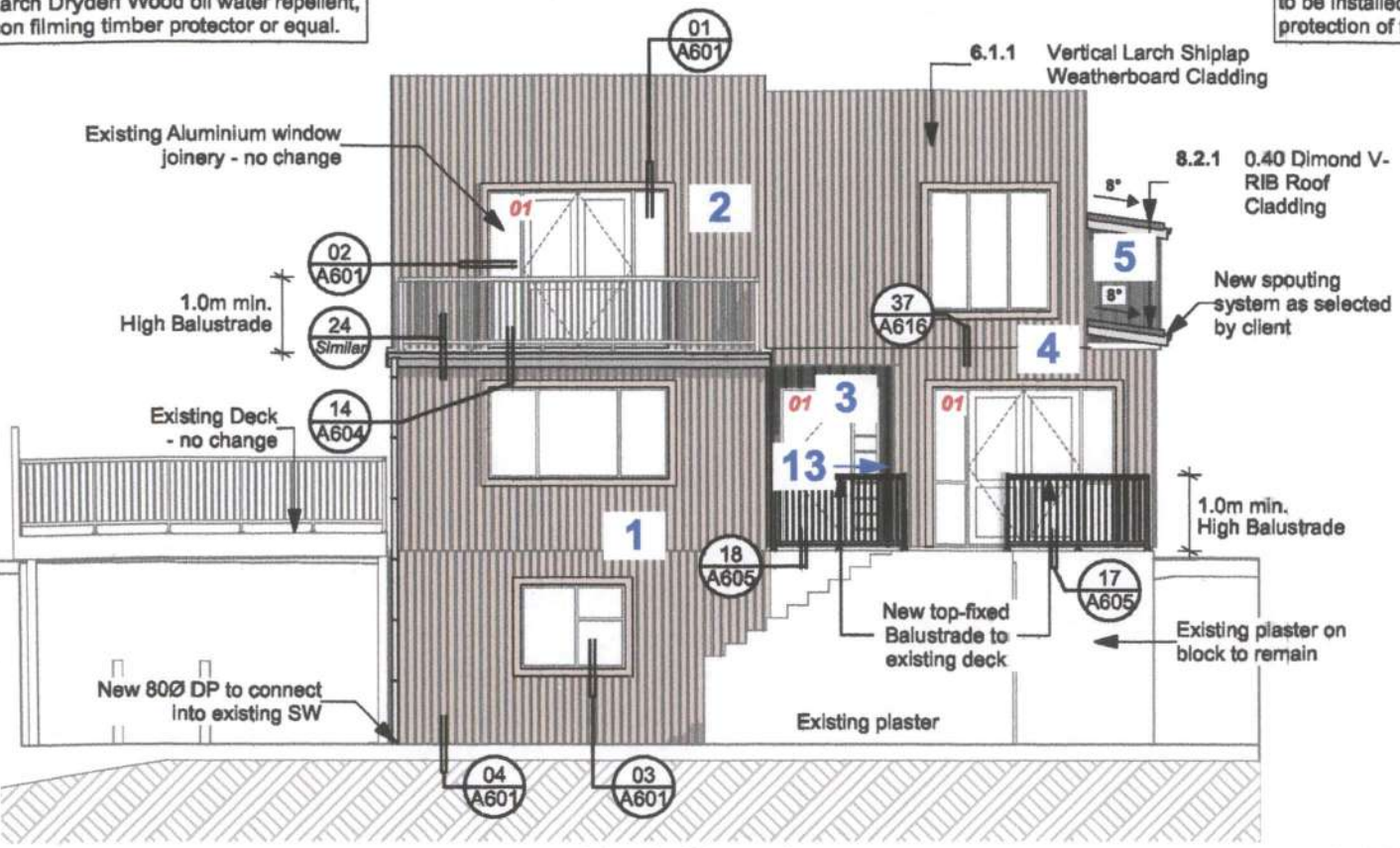
| RevID | ChID | Revision | Date |
|-------|------|---------------------------------------|------------|
| 01 | A05 | Revised Wall & Roof Flashing Material | 28/07/2023 |
| | A16 | Base of Cladding to Ground | |
| | A24 | Revised Detail Marker locations | |
| | A25 | Deck Door Sill Detail | |
| | A29 | New Cladding to Existing Butynol | |

Shiplap Cladding Note:
Clear Coat Shiplap larch cladding with Larch Dryden Wood oil water repellent, non film forming timber protector or equal.

Balustrade Note:
New 1.0m minimum high balustrade to be installed to existing deck for protection of fall as per NZBC F4/AS1

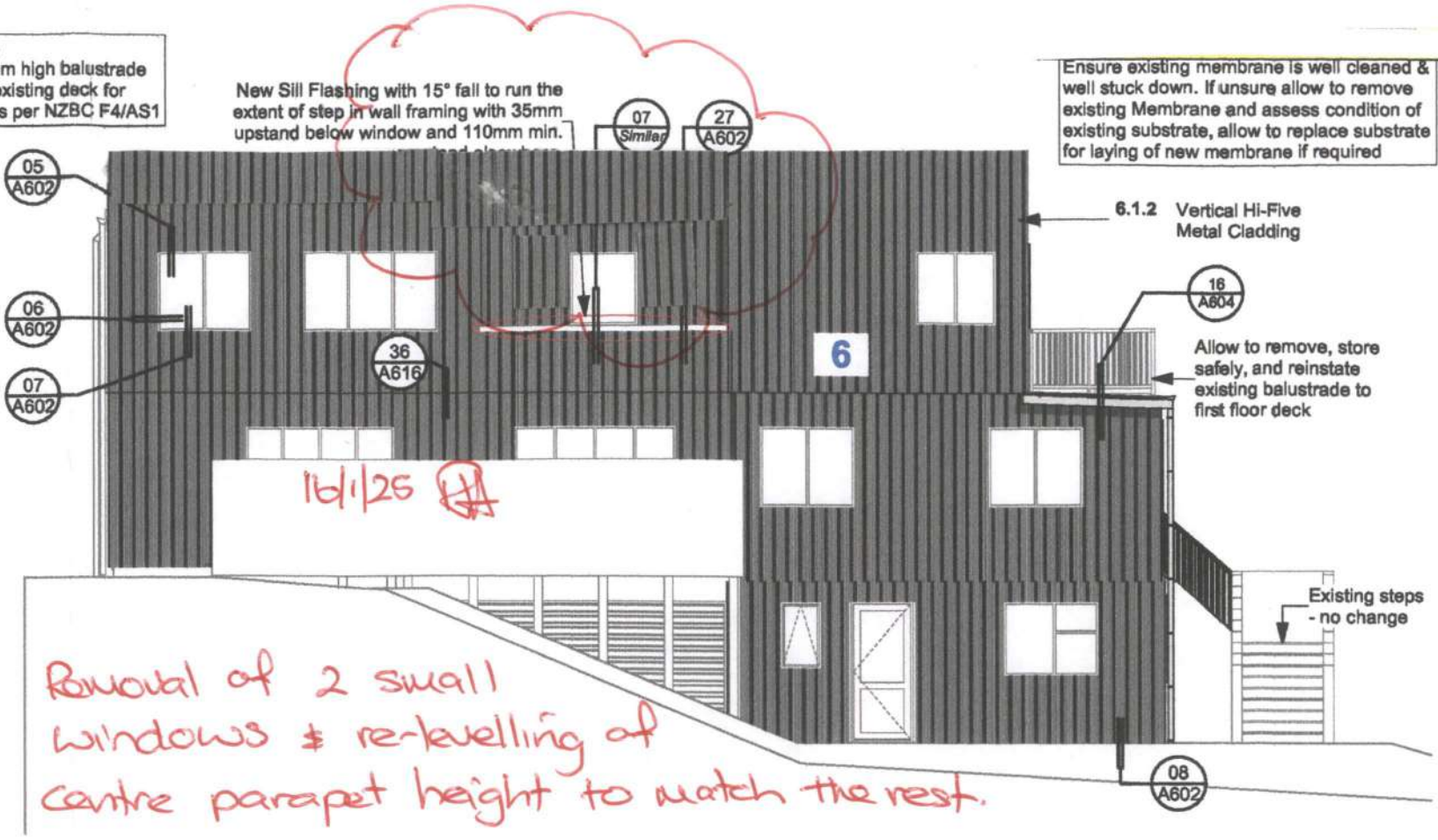
New Sill Flashing with 15° fall to run the extent of step in wall framing with 35mm upstand below window and 110mm min.

Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required



North Elevation

1:100



East Elevation

1:100

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 1 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 14 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 2 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Very high risk | 6 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 6 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Very high risk | 4 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | High risk | 2 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Very high risk | 6 |
| Total Risk Score: | | 19 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|---------------|------------|
| Elevation 3 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Low risk | 0 |
| Eaves width | Medium risk | 1 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 7 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 4 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 5 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Medium risk | 1 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 10 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|---------------|------------|
| Elevation 13 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Low risk | 0 |
| Eaves width | Medium risk | 1 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 7 |

01 Existing Door Note:
Allow to remove, store safely, and re-instate existing external door joinery after dressing new Dek-MASTER membrane to sill and up framing as per Detail 35 Sheet A604.

Renovation Note:
Structural integrity of building must be maintained during works. Allow to prop roof structure during works. Any damaged members shall be made good.

Main contractor confirm on site existing timber framing is untreated pine. Treat existing members remaining with suitable brush on treatment. Any decayed / damaged members to be replaced. Refer to Leaky Homes Document in Project Appendix.

As Built Plan Approved | Dunedin City Council
Building Consent: ABA- 2022-2460
SJC
Date: 16-1-25

| RevID | ChID | Revision | Date |
|-------|------|--------------------------------|------------|
| 01 | 01-6 | Shiplap Cladding Coating | 28/07/2023 |
| 02 | 02-1 | Revised Flashing Upstand | 24/08/2023 |
| 03 | 03-1 | First Floor Wall Construction | 16/10/2024 |
| | 03-2 | Small Roof Construction | |
| | 03-3 | Inter-Storey Junction Flashing | |
| 04 | 04-1 | Revised Risk Matrix | 3/12/2024 |
| 05 | 05-1 | Revised Flashing | 9/12/2024 |
| G | G-1 | Remove Plaster | 4/02/2025 |

Building Consent - ABA-2024-1765

(Section 51, Building Act 2004)

Form 5

The building

Street address of building: 99 Kaikorai Valley Road Dunedin

Legal description of land where building is located: LOT 2 DP 355930

Building name: N/A

Location of building within site/block number: N/A

Level/unit number: N/A

Owner

Name of owner: R D Heatley and W J Mason

Contact person: R D Heatley and W J Mason

Mailing address: C/O Spotted Ink Limited, CMD 14083, Warrington 9016

Street address/registered office:

Mobile: 027 247 7679

Landline: 03 477 7980

Email address: rhyshatley@xtra.co.nz

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Amendment to ABA-2022-2460 - Revise Roof Framing and Cladding to Small Roofs, Alter Wall Framing and Revise Cladding to Part Wall

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Agents authorised by the building consent authority for the purposes of the Building Act 2004 section 90(1) are entitled at all times during normal working hours or while building work is being done, to inspect land and buildings.

Compliance Schedule

A compliance schedule is not required for the building.



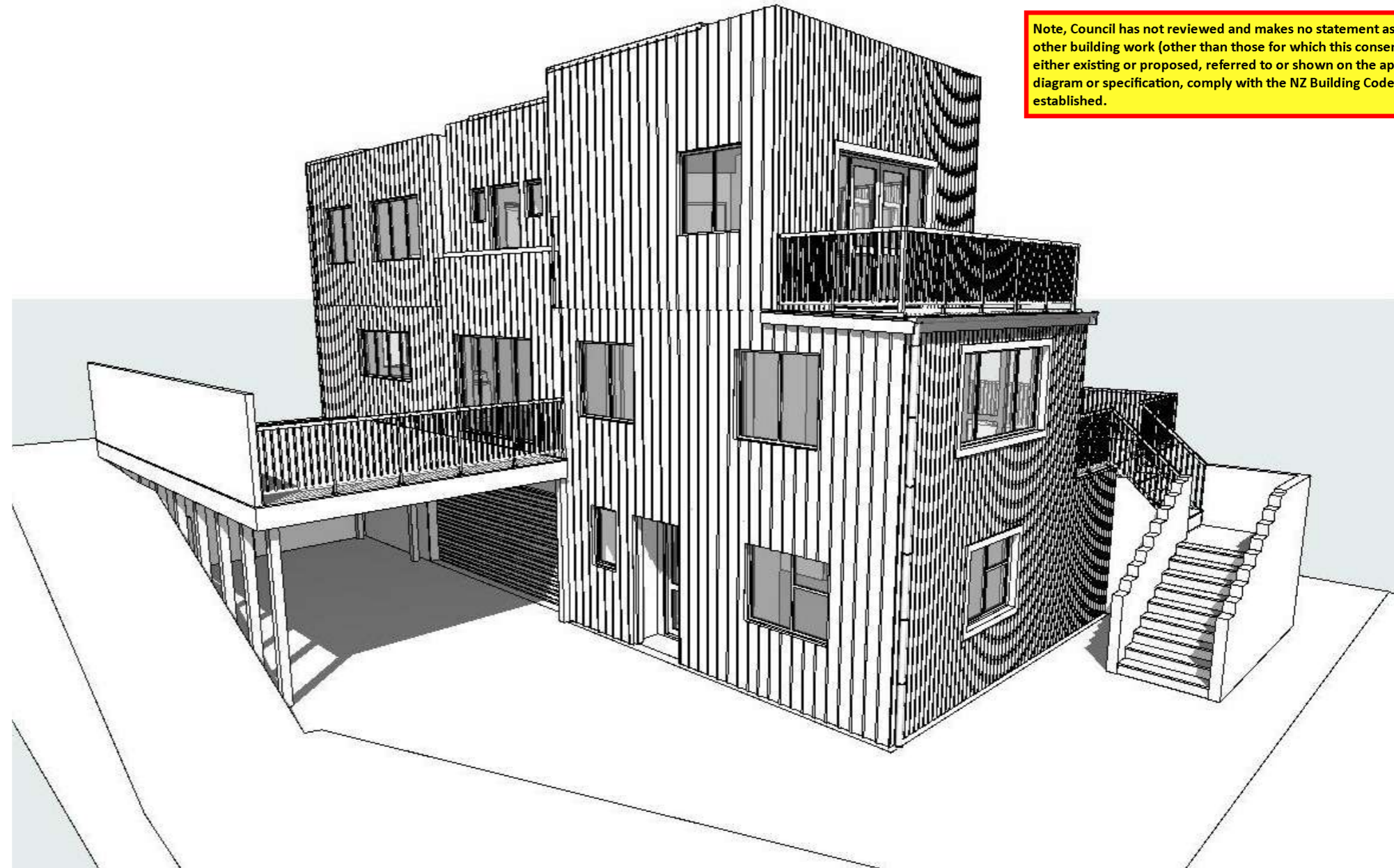
Team Leader Processing (Building Consents)
On behalf of Dunedin City Council

Date of issue: 7 January 2025

Sheet Index - Working Drawings

| Layout ID | Layout Name |
|-----------|---|
| | Cover Page |
| A101 | Site Plan |
| A201 | Basement Floor Plan |
| A202 | Demolition & Proposed Mid & First Floor Plans |
| A203 | Proposed First Floor Plan and Section (AMENDMENT) |
| A301 | Existing Elevations |
| A302 | Proposed Elevations |
| A303 | Proposed Elevations |
| A601 | Timber Shiplap Cladding Details |
| A602 | Vertical 5Rib Cladding Details |
| A603 | Corner Cladding Details |
| A604 | First Floor Deck Membrane Details |
| A605 | Entry Deck Membrane Details |
| A606 | Cladding Details |
| A607 | Parapet & Roof Details |
| A608 | Roof Details |
| A609 | Roof Details |
| A610 | Roof Junction Details |
| A611 | Membrane Deck & Roof Junction Details |
| A612 | Base of Cladding Details |
| A613 | Roof Junction Details 2 |
| A614 | GIB Bracing |
| A615 | GIB Bracing Elements |
| A616 | Additional Detail Sheet (AMENDMENT) |
| A617 | Additional Details |
| A701 | Lumberlok Top Plate Connections & Lintel Fixing |
| A801 | Exterior 3D Views |

Note, Council has not reviewed and makes no statement as to whether any other building work (other than those for which this consent is granted) either existing or proposed, referred to or shown on the application, plan, diagram or specification, comply with the NZ Building Code or has been legally established.



Cladding Alterations for:
Rhys Heatley
At: 99 Kaikorai Valley Road Glenross Dunedin 9011
Lot 2 DP 355930



Copyright of spotted ink spatial design.
Check and confirm all dimensions on site. Do not scale off these drawings. All work shall comply with the New Zealand Building Code. This plan is to be read in conjunction with accompanying specifications.

Channel Drain Note:
Channel Drain to be installed as per E2/AS1 Section 7.3.2.1 & Figure 17B. Maximum length between outlets is 3.7m as per E2/AS1 Section 7.3.2.1

Legal description: Lot 2, DP 355930
Site area: 577m²
Property location: 99 Kaikorai Valley Road

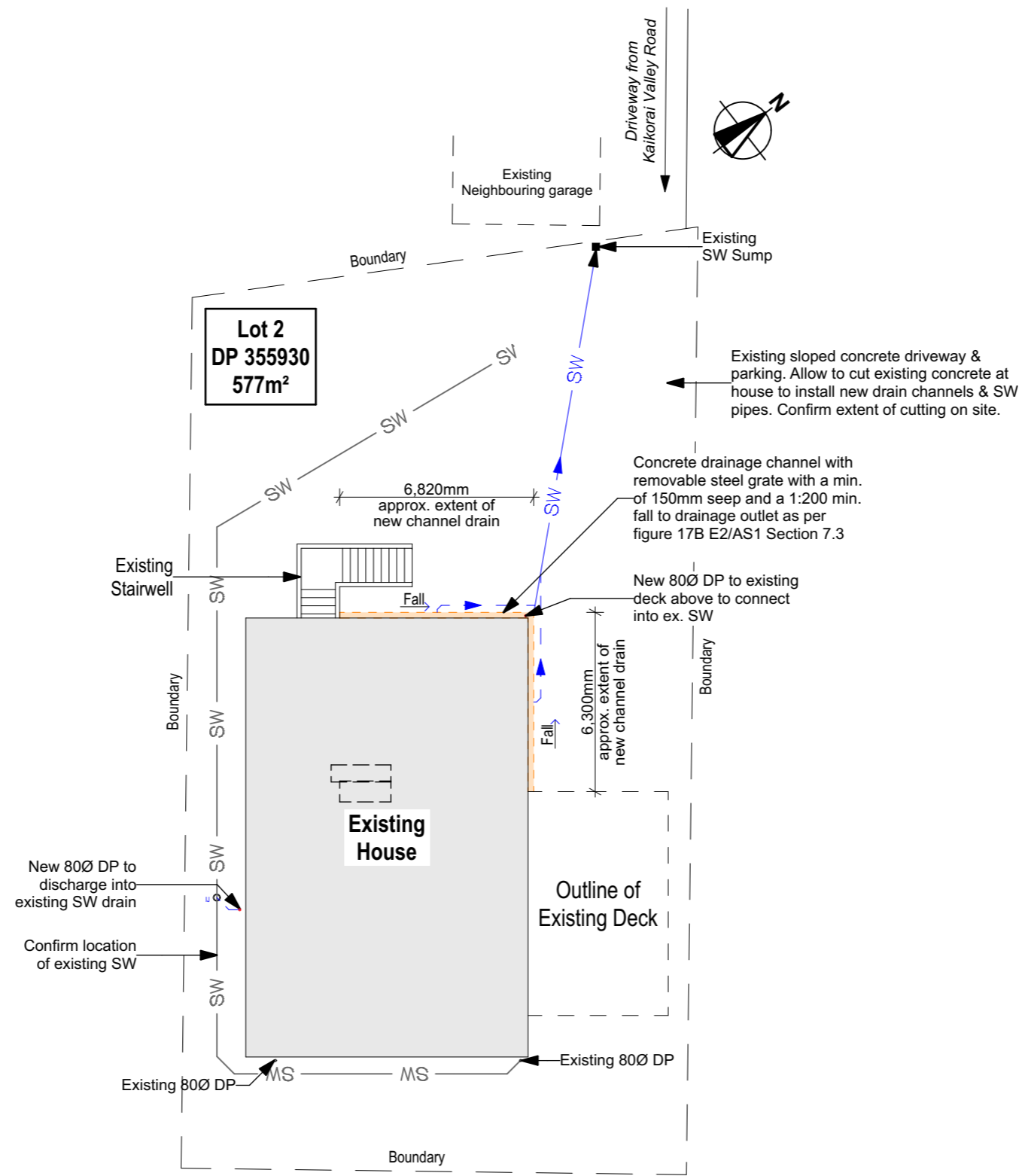
Areas
Total House area: 375.58m²
Roof area: 112.98m²
New Roof area: 1.2m²

Building
Total House area: 375.58m²
Roof area: 112.98m²
Impermeable area: 409.92m²

Roof Total 114.2m²
DP
Ø80mm DP serving 85m² max roof area.
Gutter
Gutters to have 4000mm² min. cross-sectional area min. servicing 75m² max

Zones:
Earthquake zone: Zone 1
Corrosion Zone: Zone C
Climate Zone: 5
Wind Region: A
Wind Zone: High, as per Structural Engineer Wind Speed calculations, refer to Project Appendix
Snow Zone: N5

Note:
ALL DIMENSIONS SHOWN MEASURED TO SUBFLOOR EDGE, UNLESS SPECIFIED OTHERWISE.



| RevID | ChID | Revision | Date |
|-------|------|-------------------------|------------|
| 01 | F2 | Small Roof Construction | 16/10/2024 |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

spotted ink
SPATIAL DESIGN
16 Park Road, Warrington
ph 021 775565

Copyright of spotted ink spatial design. Check and confirm all dimensions on site. Do not scale off these drawings. All work shall comply with the New Zealand Building Code. This plan is to be read in conjunction with accompanying specification

Client:
Rhys Heatley
99 Kaikorai Valley Road Glenross Dunedin 9011
Lot 2 DP 355930

Site Plan

| | |
|---------------------|--------------------|
| Scale: 1:200@A3 | Sheet No: A101 |
| date: 17/10/2024 | Job No: 2022-19 |

Membrane Note:
 Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

Refer to Sheet A605 for construction details, and elevations for reference markers

Note:
 New balustrade omitted for clarity

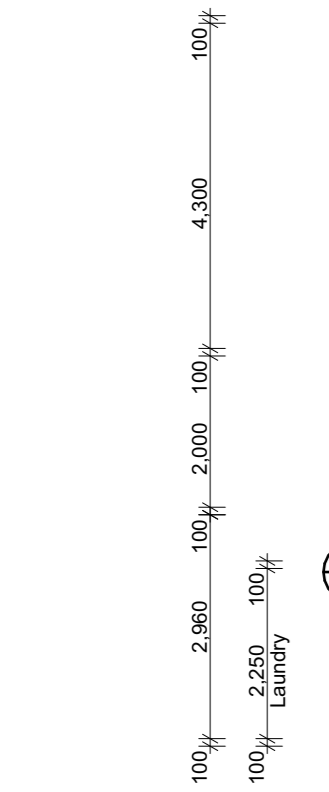
Existing Dished channel to remain - no change

Allow to remove existing timber framed balustrade with plaster finish to Deck & Stairs as indicated and replace with new top fixed balustrade

Existing fall to dished channel

Indicates plinth base locations for new balustrade posts fixed to new bottom plate max. 1.0m apart as per balustrade installation

New Rainwater Head with Downpipe and Overflow relief outlet



01 Existing Door Note:
 Allow to remove, store safely, and re-instate existing external door joinery after dressing new Dek-MASTER membrane to sill and up framing as per Detail 35 Sheet A604.

Note:
 Unless otherwise noted, all existing external doors & windows are to remain in place during construction. No change to existing window support (i.e WANZ Bars).

Membrane Note:
 Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

Note:
 Existing wall framing studs at 400mm crs.

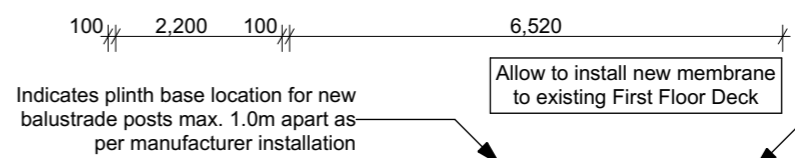
Balustrade Note:
 New 1.0m minimum high balustrade to be installed to existing deck for protection of fall as per NZBC F4/AS1

13.1.1 Smoke Alarms
 Smoke Alarms (S)
 - Shall be in accordance with NZBC clause F7/AS1.3.1.
 - May be battery powered & shall be located at top of stairs, in every sleeping space, or within 3.0m of every sleeping space door.

Legend:
PL: 2/90x45 H1.2 SG8 Studs at each load point



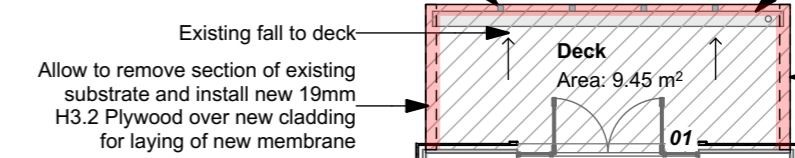
Ensure existing deck have 1.5° min. fall



Note:
 Allow to remove, store safely and reinstate existing balustrade to first floor deck

Allow to pack out Existing dished channel to create continuous fall to new gutter

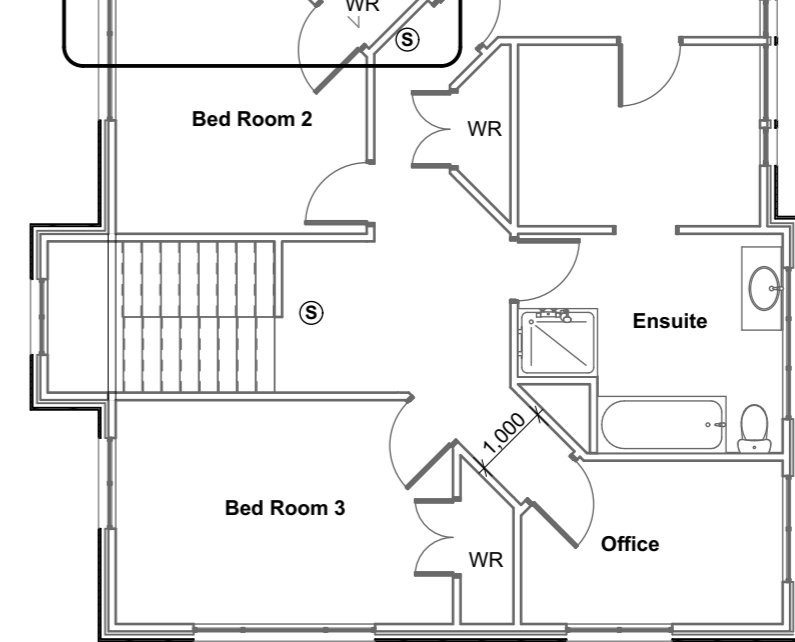
Allow to install 140 x 45mm H3.2 Timber packing on flat to short sides of deck for balustrade fixing & surface water direction



Indicates plinth base location for new balustrade posts max. 1.0m apart as per manufacturer installation

Allow to remove section of existing substrate and install new 19mm H3.2 Plywood over new cladding for laying of new membrane

Allow to cut back section of existing cantilevered floor joists
 Allow to remove section of existing external wall framing
 Allow to remove existing non-loadbearing internal wall framing



Existing fall to deck

Refer to Sheet A604 for construction details, and elevations for reference markers

Allow to lift existing decking if required & store safely during construction for access to install new cladding system, confirm extent on-site

No change to existing door sill

Existing Freestanding Deck from house - no change

Existing Butynol roof - no change

Allow to install new membrane to existing First Floor Deck

Allow to remove section of existing cantilevered floor joists

Allow to remove section of existing external wall framing

Allow to remove existing non-loadbearing internal wall framing

Allow to cut back section of existing cantilevered floor joists

Allow to remove section of existing external wall framing

Allow to remove existing non-loadbearing internal wall framing

| RevID | ChID | Revision | Date |
|-------|------|-------------------------------|------------|
| 01 | A11 | Existing Window support | 28/07/2023 |
| | A25 | Deck Door Sill Detail | |
| 02 | B13 | Existing Butynol Roof Shown | 7/08/2023 |
| 03 | E05 | Revised Balustrade Fixing | 27/09/2023 |
| 04 | F1 | First Floor Wall Construction | 16/10/2024 |
| | F2 | Small Roof Construction | |

Notes

- 04 Wall Framing**
4.1.1 140 x 45 H1.2 SG8 Wall Framing @ 600 crs. as per NZS3604
 140 x 45 H1.2 SG8, studs at 600mm crs with dwangs at 800mm crs. max.
4.3.1 90 x 45 H1.2 SG8 Top Plate
 Fixed with Bowmac Stud-lok SL170 (blue) or EQ.
- 05 Internal Linings and Ceilings**
5.1.1 10 GIB Standard Walls
 10mm Standard GIB Board interior linings unless otherwise noted. Refer to bracing plan for bracing panels.

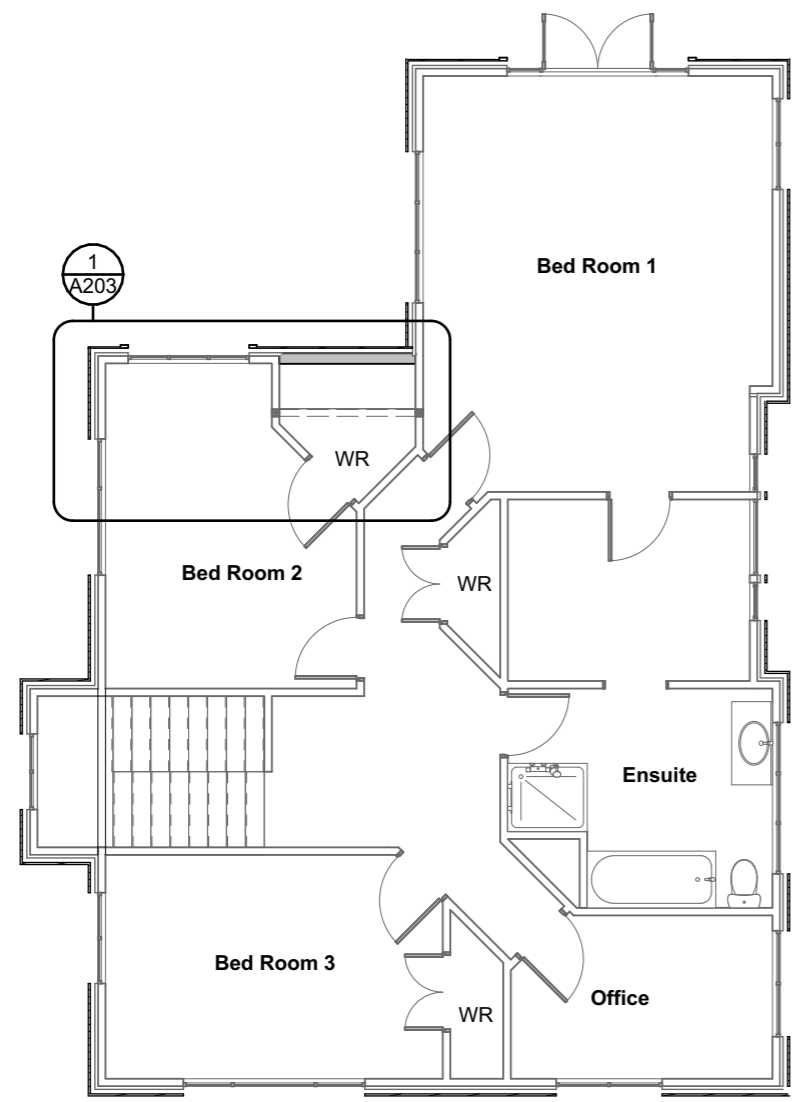
- 06 Claddings**
6.1.1 Vertical Larch Shiplap Weatherboard Cladding
 Vertical Larch Shiplap Weatherboards over 50mmx50mm H3.2 timber cavity battens @ 600 crs. max
- 07 Roof Framing**
7.1.1 2/190x45 H1.2 SG8 Lintel
 New 2/190x45 H1.2 SG8 Lintel for support of existing wall framing. Lumberlok Fixing Type G

- 7.1.2** 140x45 H1.2 SG8 Rafters @ 900mm crs.
 140x45 H1.2 SG8 Rafters @ 900mm crs. fixed with Lumberlok JH47x90 Joist Hangers at each end.
- 7.1.3** 90 x 45 H1.2 SG8 Ceiling Joists @ 600mm crs.
 90 x 45 H1.2 SG8 Ceiling Joists @ 600mm crs. fixed to New wall framing and lintel with Lumberlok JH47x90 Joist Hangers
- 08 Roofing and Battens**
8.2.1 0.40 Dimond V-RIB Roof Cladding
 0.40 Dimond Colorcote Zinacore V-RIB

- 09 Soffits**
9.2.1 4.5 Hardiflex Soffits
 4.5 Hardiflex soffit lining with jointers fixed to 90 x 45 H1.2 framing on their flat at 900
- Roofing
 Roof Pitch: 8 & 3.5°
 Fascia/Barge: H3.2 Pre-primed with paint finish as selected by client
 Spouting: Dimond Box 125, with brackets at 900mm crs.
 Downpipes: uPVC 80Ø
 Roofing fixed with "C2" fixing pattern as per NZBC E2/AS1 Table 11.

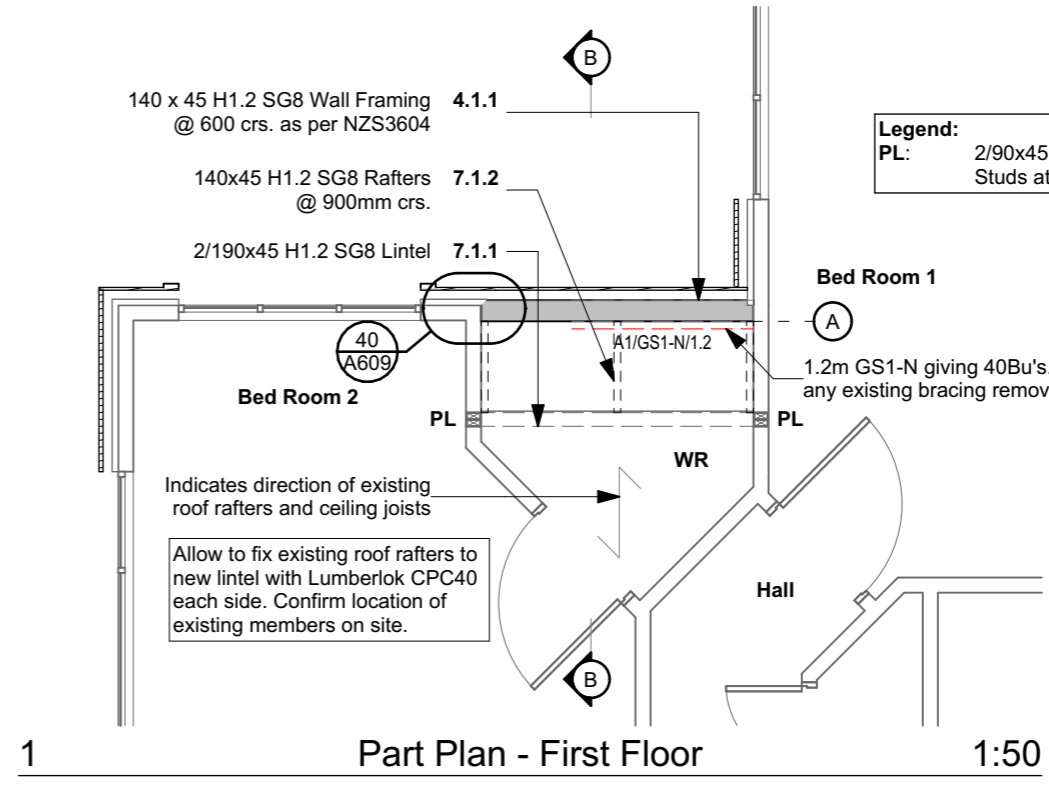
- 10 Insulation**
10.1.1 Roof: Pink Batts R7.0
 Single layer of Pink Batts R7.0 over ceiling joists installed to new formed ceiling
- crs, with 40 x 2.8 hardiflex nails or fastfix fasteners. Refer to James Hardie Eave and Soffit Installation Manual for details.

GS1-N GIB® Standard plasterboard one side.

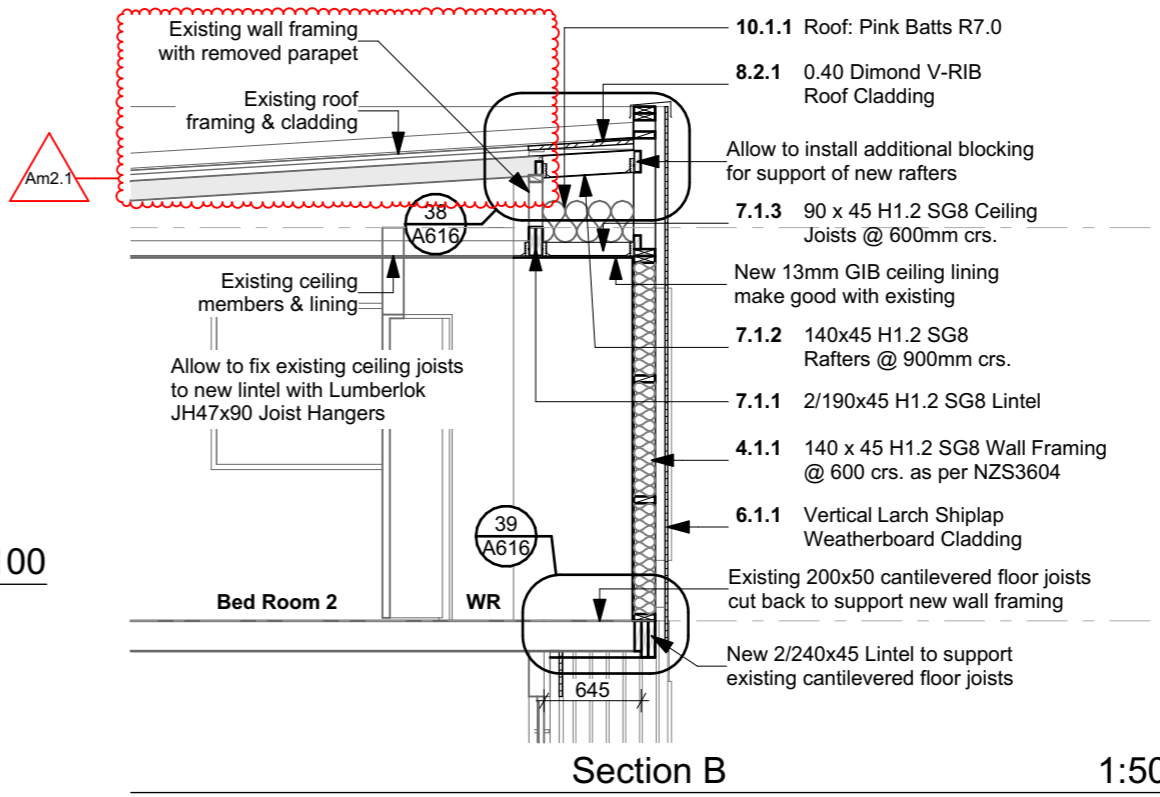


Note:
Refer to Notes on Part Plan

1 Proposed First Floor Plan 1:100



1 Part Plan - First Floor 1:50



Section B 1:50

| RevID | ChID | Revision | Date |
|-------|-------|-----------------------|------------|
| 01 | | | 16/10/2024 |
| 02 | Am2 | Lintel Fixing | 3/12/2024 |
| | Am21 | Ceiling Insulation | |
| | Am3 | Top Plate Connections | |
| | Am4 | Replaced Bracing | |
| 03 | Am7 | Floor Joist Span | 9/12/2024 |
| | Am2.1 | Rafters New & Old | |

spotted ink
SPATIAL DESIGN
 16 Park Road, Warrington
 ph 021 775565

Copyright of spotted ink spatial design. Check and confirm all dimensions on site. Do not scale off these drawings. All work shall comply with the New Zealand Building Code. This plan is to be read in conjunction with accompanying specification

Client:
Rhys Heatley
 99 Kaikorai Valley Road Glenross Dunedin 9011

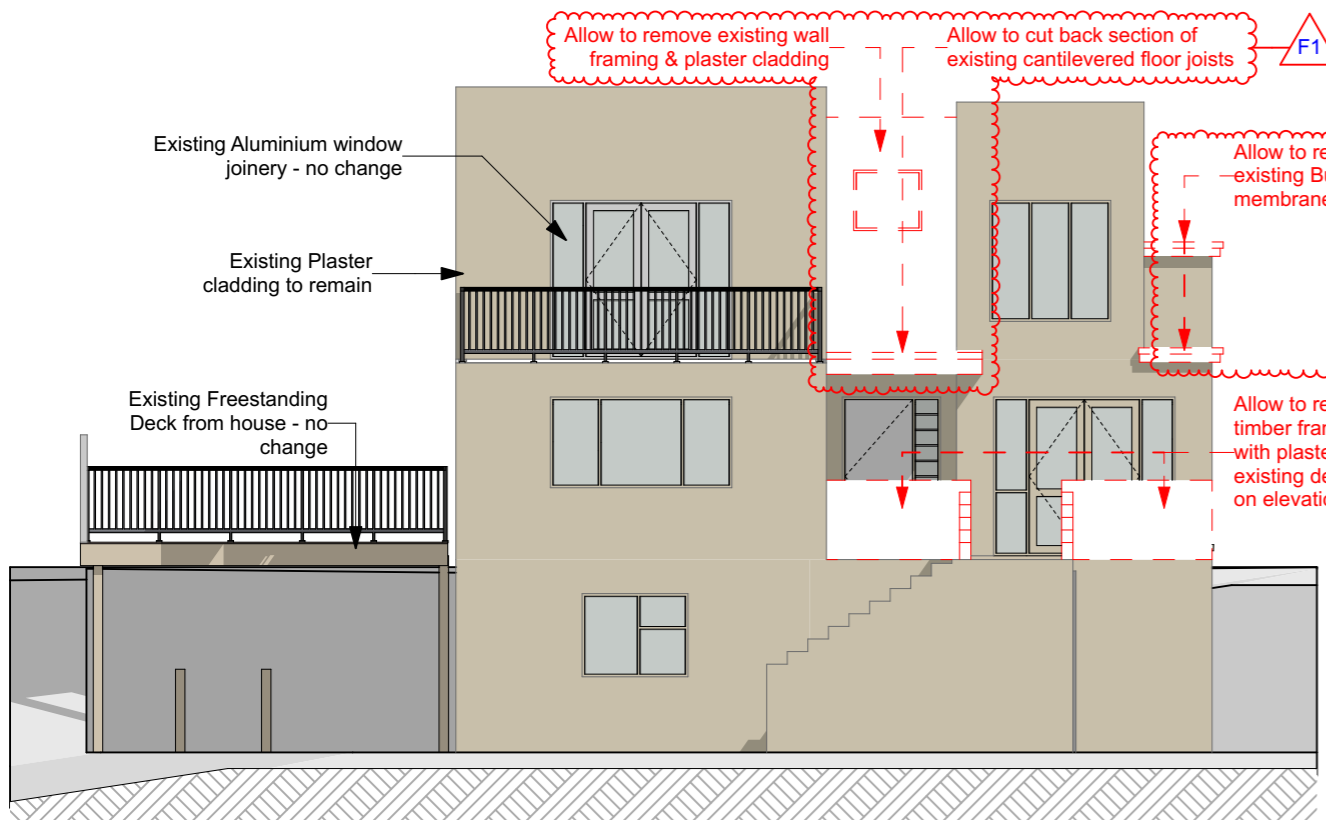
Lot 2 DP 355930

Proposed First Floor Plan and Section (AMENDMENT)

| | |
|-----------------------------|------------------------------------|
| Scale: 1:50, 1:100@A3 | Sheet No: A203 |
| date: 9/12/2024 | drawn: DB Job No: 2022-19 |

Membrane Note:
 Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

Note:
 Unless otherwise noted, all existing external doors & windows are to remain in place during construction. No change to existing window support (i.e WANZ Bars).



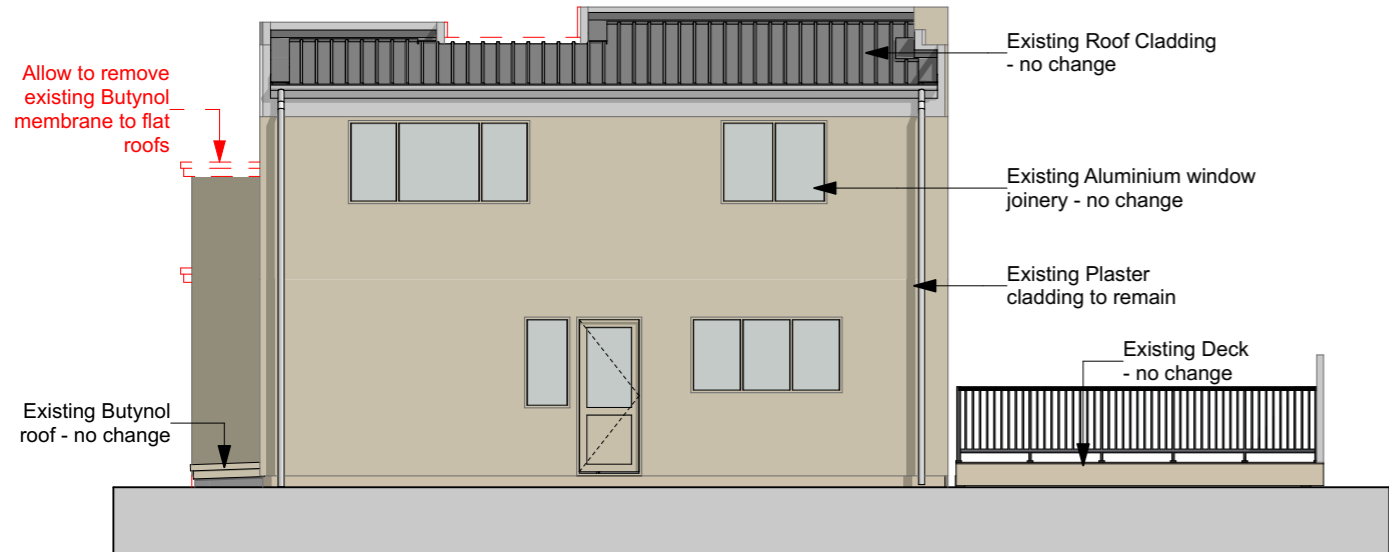
North Elevation

1:100



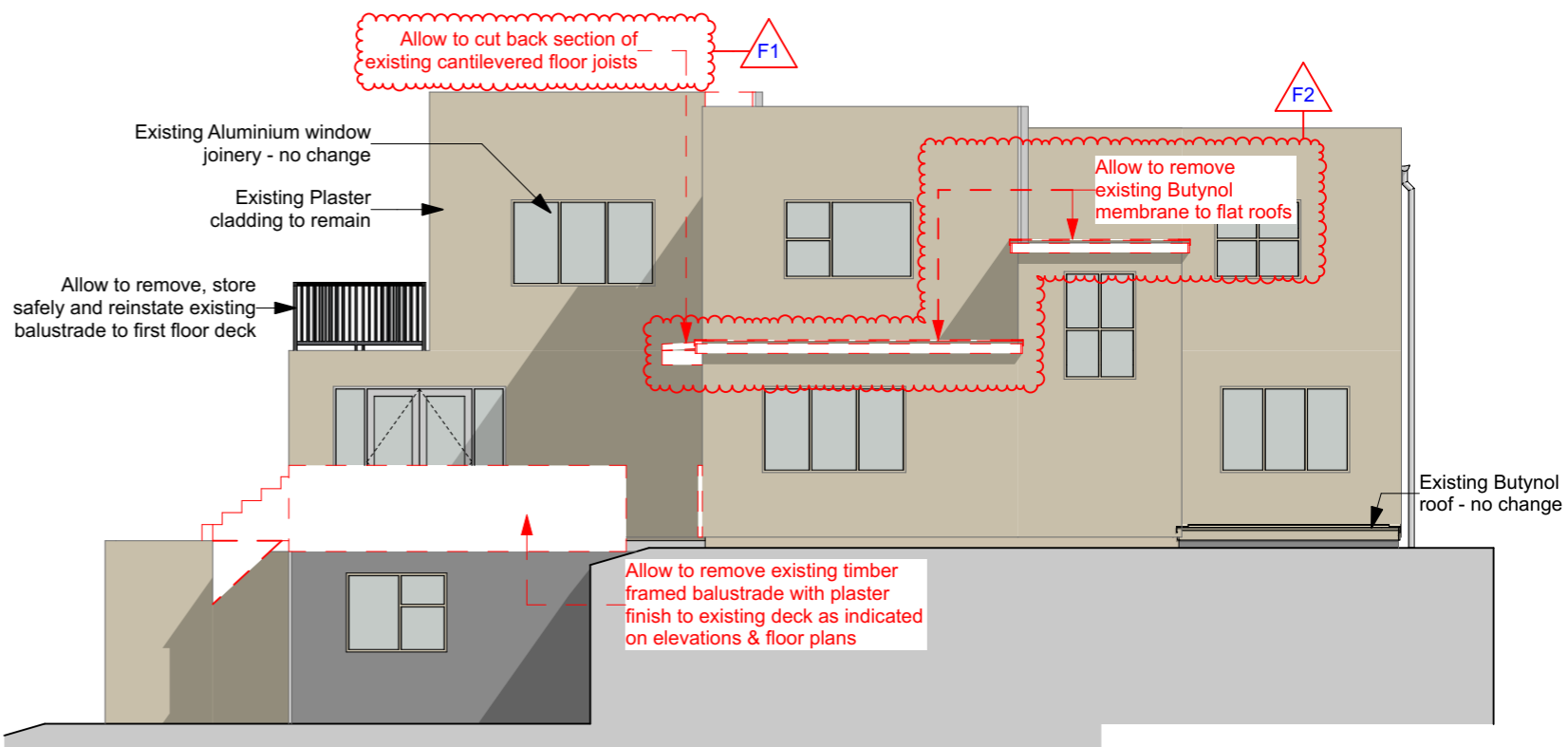
East Elevation

1:100



South Elevation

1:100



West Elevation

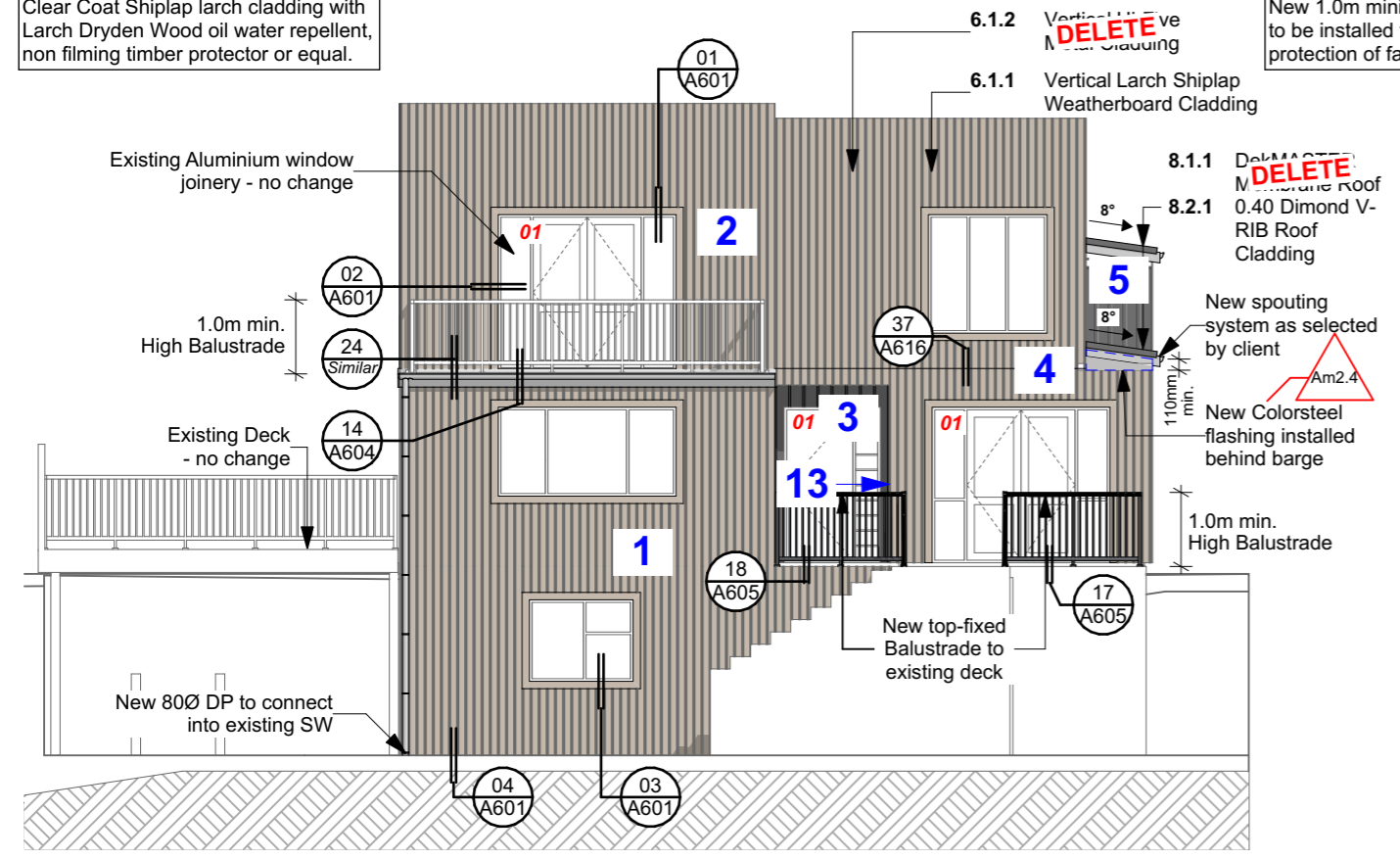
1:100

| RevID | ChID | Revision | Date |
|-------|------|-------------------------------|------------|
| 01 | A11 | Existing Window support | 28/07/2023 |
| 02 | F1 | First Floor Wall Construction | 16/10/2024 |
| | F2 | Small Roof Construction | |
| | | | |
| | | | |

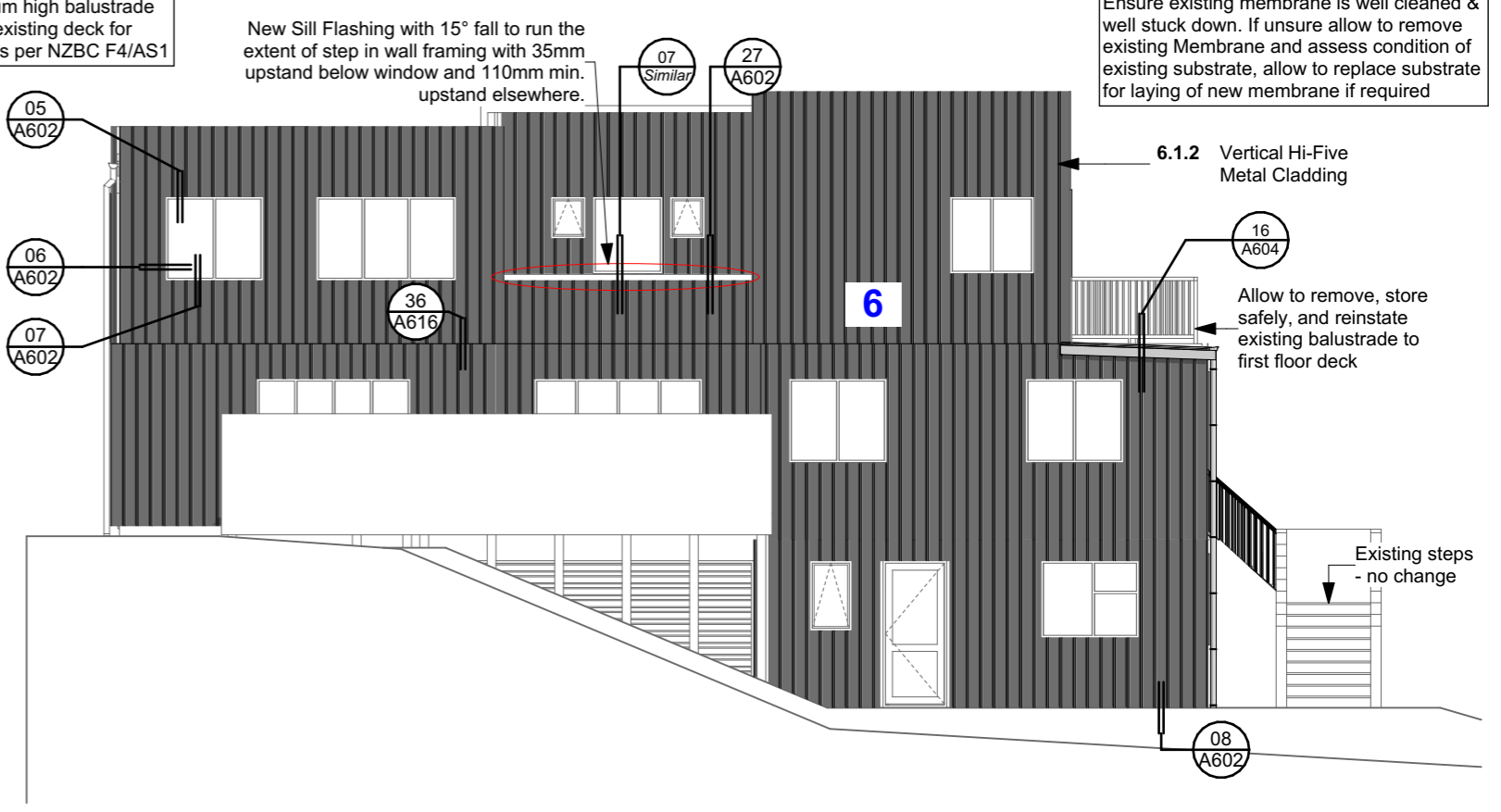
Shiplap Cladding Note:
Clear Coat Shiplap larch cladding with Larch Dryden Wood oil water repellent, non filming timber protector or equal.

Balustrade Note:
New 1.0m minimum high balustrade to be installed to existing deck for protection of fall as per NZBC F4/AS1

Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required



North Elevation 1:100



East Elevation 1:100

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 1 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 14 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 2 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Very high risk | 6 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 6 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Very high risk | 4 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | High risk | 2 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Very high risk | 6 |
| Total Risk Score: | | 19 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|---------------|------------|
| Elevation 3 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Low risk | 0 |
| Eaves width | Medium risk | 1 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 7 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 4 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 5 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Medium risk | 1 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 10 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|---------------|------------|
| Elevation 13 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Low risk | 0 |
| Eaves width | Medium risk | 1 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 7 |

01 Existing Door Note:
Allow to remove, store safely, and re-instate existing external door joinery after dressing new Dek-MASTER membrane to sill and up framing as per Detail 35 Sheet A604.

It is the responsibility of the owner or their agent to:

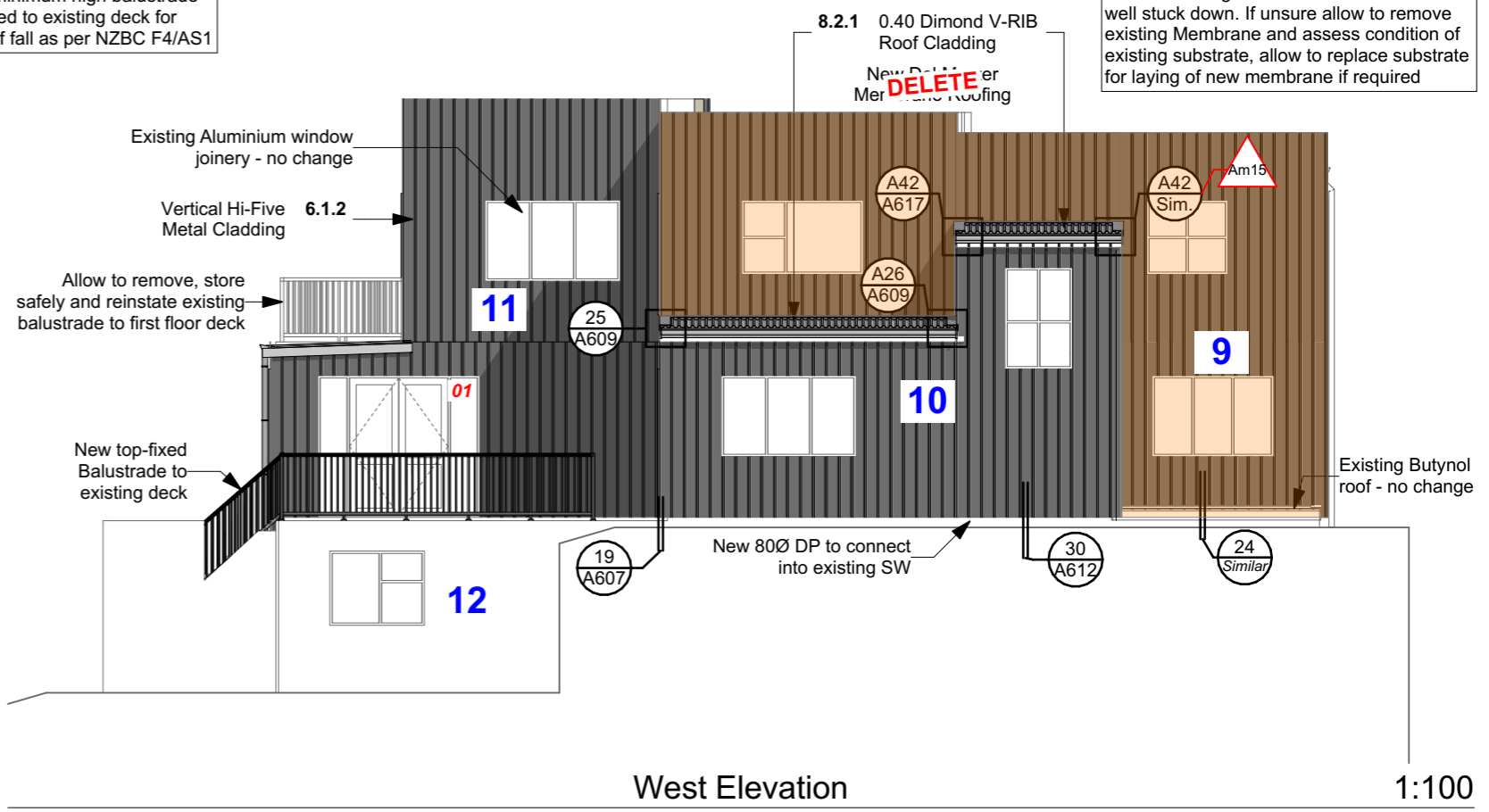
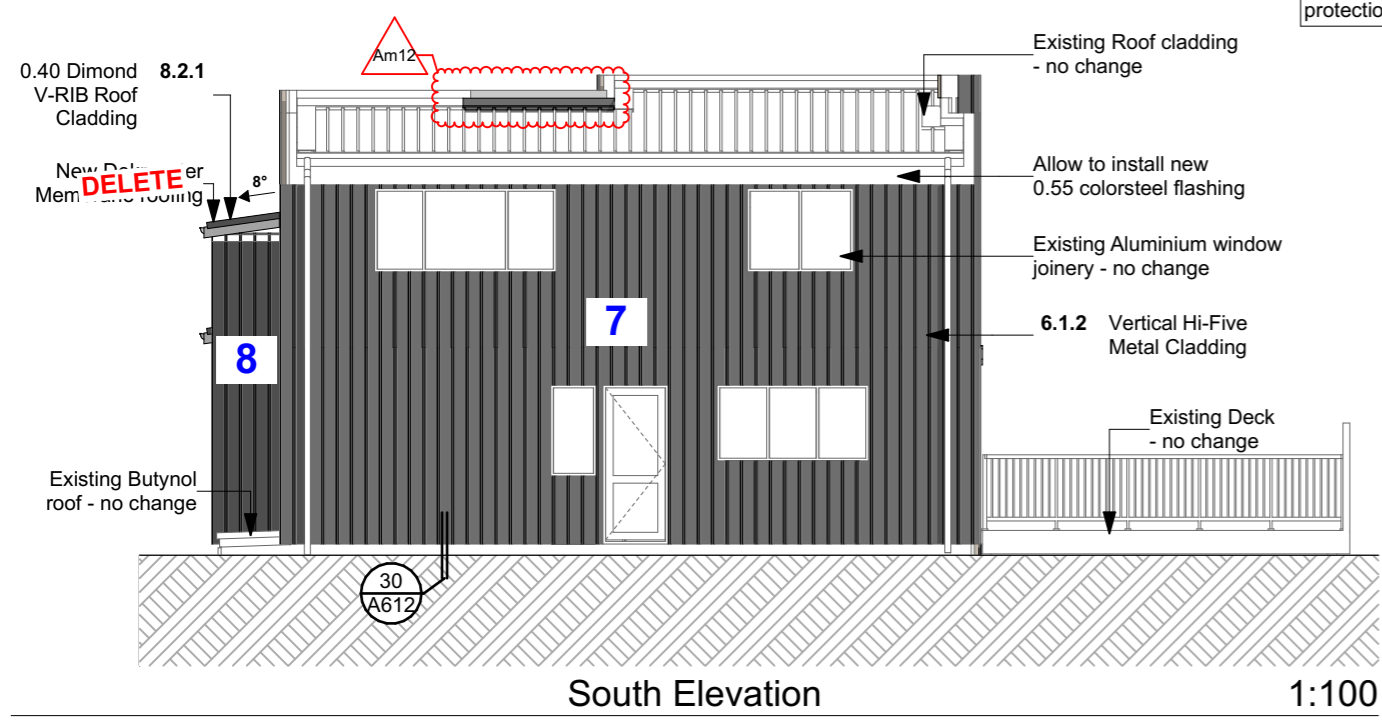
- ensure the integrity of the existing framing to support the new claddings.
- ensure that the integrity of the plaster remains capable of performing as an alternative to the use of building wrap on the walls.
- ensure the cladding fasteners are correctly embedded to the existing framing as per engineer's instructions.

Original Approved Building Consent (ABA-2022-2460) Note.

| RevID | ChID | Revision | Date |
|-------|-------|--------------------------------|------------|
| 01 | A25 | Deck Door Sill Detail | 28/07/2023 |
| | A35 | Shiplap Cladding Coating | |
| 02 | C03 | Revised Flashing Upstand | 24/08/2023 |
| | F1 | First Floor Wall Construction | |
| 03 | F2 | Small Roof Construction | 16/10/2024 |
| | F3 | Inter-Storey Junction Flashing | |
| 04 | Am9 | Revised Risk Matrix | 3/12/2024 |
| 05 | Am2.4 | Revised Flashing | 9/12/2024 |

Balustrade Note:
New 1.0m minimum high balustrade to be installed to existing deck for protection of fall as per NZBC F4/AS1

Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required



| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 7 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 13 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 8 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Medium risk | 1 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 10 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 9 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 10 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Medium risk | 1 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 11 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 11 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 12 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 9 |

01 Existing Door Note:
Allow to remove, store safely, and re-instate existing external door joinery after dressing new Dek-MASTER membrane to sill and up framing as per Detail 35 Sheet A604.

It is the responsibility of the owner or their agent to:

- ensure the integrity of the existing framing to support the new claddings.
- ensure that the integrity of the plaster remains capable of performing as an alternative to the use of building wrap on the walls.
- ensure the cladding fasteners are correctly embedded to the existing framing as per engineer's instructions.

Original Approved Building Consent (ABA-2022-2460) Note.

| RevID | ChID | Revision | Date |
|-------|------|----------------------------------|------------|
| 01 | A25 | Deck Door Sill Detail | 28/07/2023 |
| | A29 | New Cladding to Existing Butynol | |
| 02 | F2 | Small Roof Construction | 16/10/2024 |
| | F3 | Inter-Storey Junction Flashing | |
| 03 | Am12 | Revised New Roof | 3/12/2024 |
| | Am15 | Barge Junction to Wall Cladding | |

Building Consent - ABA-2025-101

(Section 51, Building Act 2004)

Form 5

The building

Street address of building: 99 Kaikorai Valley Road Dunedin

Legal description of land where building is located: LOT 2 DP 355930

Building name: N/A

Location of building within site/block number: N/A

Level/unit number: N/A

Owner

Name of owner: R D Heatley and W J Mason

Contact person: R D Heatley and W J Mason

Mailing address: C/O Spotted Ink Limited, CMD 14083, Warrington 9016

Street address/registered office:

Mobile: 027 247 7679

Landline: 03 477 7980

Email address: rhyshatley@xtra.co.nz

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Amendment to ABA-2022-2460 - Replace Plaster Cladding

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Agents authorised by the building consent authority for the purposes of the Building Act 2004 section 90(1) are entitled at all times during normal working hours or while building work is being done, to inspect land and buildings.

Compliance Schedule

A compliance schedule is not required for the building.

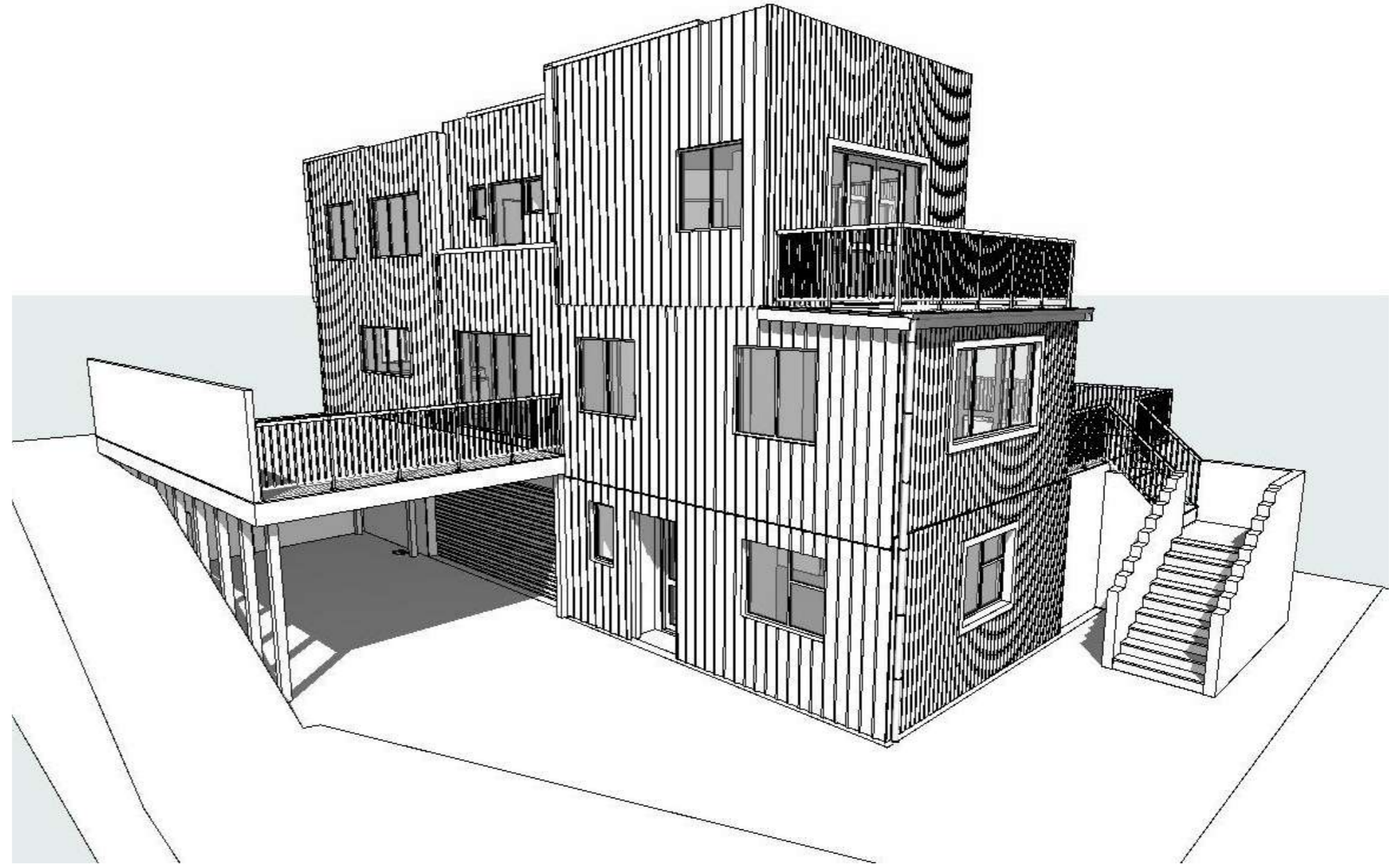


Team Leader Processing (Building Consents)
On behalf of Dunedin City Council

Date of issue: 17 March 2025

Sheet List

| # | Name | Revision |
|------|---|----------|
| | Cover Page | G |
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| A201 | Basement Floor Plan | G |
| A202 | Demolition & Proposed Mid & First Floor Plans | G |
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| A206 | Bracing Calculations | G |
| A301 | Existing Elevations | G |
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| A303 | Proposed Elevations | G |
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| A602 | Vertical 5Rib Cladding Details | G |
| A603 | Corner Cladding Details | G |
| A604 | First Floor Deck Membrane Details | G |
| A605 | Entry Deck Membrane Details | G |
| A606 | Cladding Details | G |
| A607 | Parapet & Roof Details | G |
| A608 | Roof Details | G |
| A609 | Roof Details | G |
| A610 | Roof Junction Details | G |
| A611 | Membrane Deck & Roof Junction Details | G |
| A612 | Base of Cladding Details | G |
| A613 | Roof Junction Details 2 | G |
| A614 | GIB Bracing | 02 |
| A615 | GIB Bracing Elements | 02 |
| A616 | Additional Detail Sheet (AMENDMENT) | G |
| A617 | Additional Details | G |
| A618 | Wet Area Details | G |
| A701 | Lumberlok Top Plate Connections & Lintel Fixing | 07 |
| A702 | James Hardie HomeRAB Bracing | G |
| A703 | James Hardie HomeRAB Bracing & Roof Penetration | G |



Note, Council has not reviewed and makes no statement as to whether any other building work (other than those for which this consent is granted) either existing or proposed, referred to or shown on the application, plan, diagram or specification, comply with the NZ Building Code or has been legally established.

Cladding Alterations for:
Rhys Heatley
At: 99 Kaikorai Valley Road Glenross Dunedin 9011
Lot 2 DP 355930



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Check and confirm all dimensions on site. Do not scale off these drawings. All work shall comply with the New Zealand Building Code. This plan is to be read in conjunction with accompanying specifications.

Channel Drain Note:
Channel Drain to be installed as per E2/AS1 Section 7.3.2.1 & Figure 17B. Maximum length between outlets is 3.7m as per E2/AS1 Section 7.3.2.1

Areas

| | |
|-------------------|----------------------|
| Total House area: | 375.58m ² |
| Roof area: | 112.98m ² |
| New Roof area: | 1.2m ² |

Roof Total 114.2m²

DP
Ø80mm DP serving 85m² max roof area.
Gutter
Gutters to have 4000mm² min. cross-sectional area min. servicing 75m² max

Renovation Note:
Structural integrity of building must be maintained during works. Allow to prop roof structure during works. Any damaged members shall be made good.

Allow to disconnect and cap any unused plumbing & drainage services and make good.

Legal description: Lot 2, DP 355930
Site area: 577m²
Property location: 99 Kaikorai Valley Road

Building

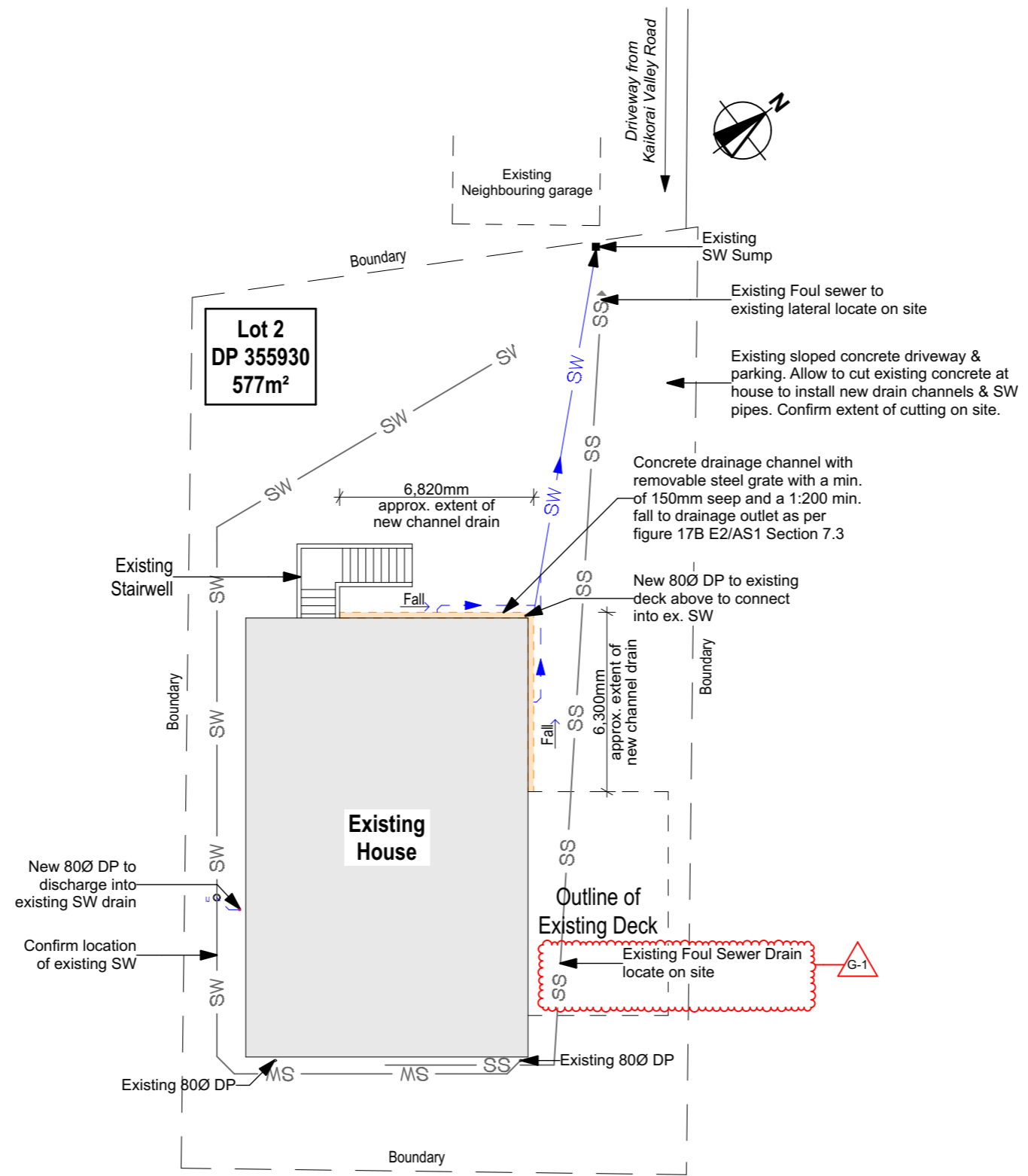
| | |
|-------------------|----------------------|
| Total House area: | 375.58m ² |
| Roof area: | 112.98m ² |

Impermeable area: 409.92m²

Zones:

| | |
|------------------|---|
| Earthquake zone: | Zone 1 |
| Corrosion Zone: | Zone C |
| Climate Zone | 5 |
| Wind Region: | A |
| Wind Zone: | High, as per Structural Engineer Wind Speed calculations, refer to Project Appendix |
| Snow Zone: | N5 |

Note:
ALL DIMENSIONS SHOWN MEASURED TO SUBFLOOR EDGE, UNLESS SPECIFIED OTHERWISE.



| RevID | ChID | Revision | Date |
|-------|------|-------------------------|------------|
| 01 | 01-1 | Small Roof Construction | 16/10/2024 |
| G | G-1 | Plumbing Works | 4/02/2025 |
| | | | |
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Client:
Rhys Heatley
99 Kaikorai Valley Road Glenross Dunedin 9011
Lot 2 DP 355930

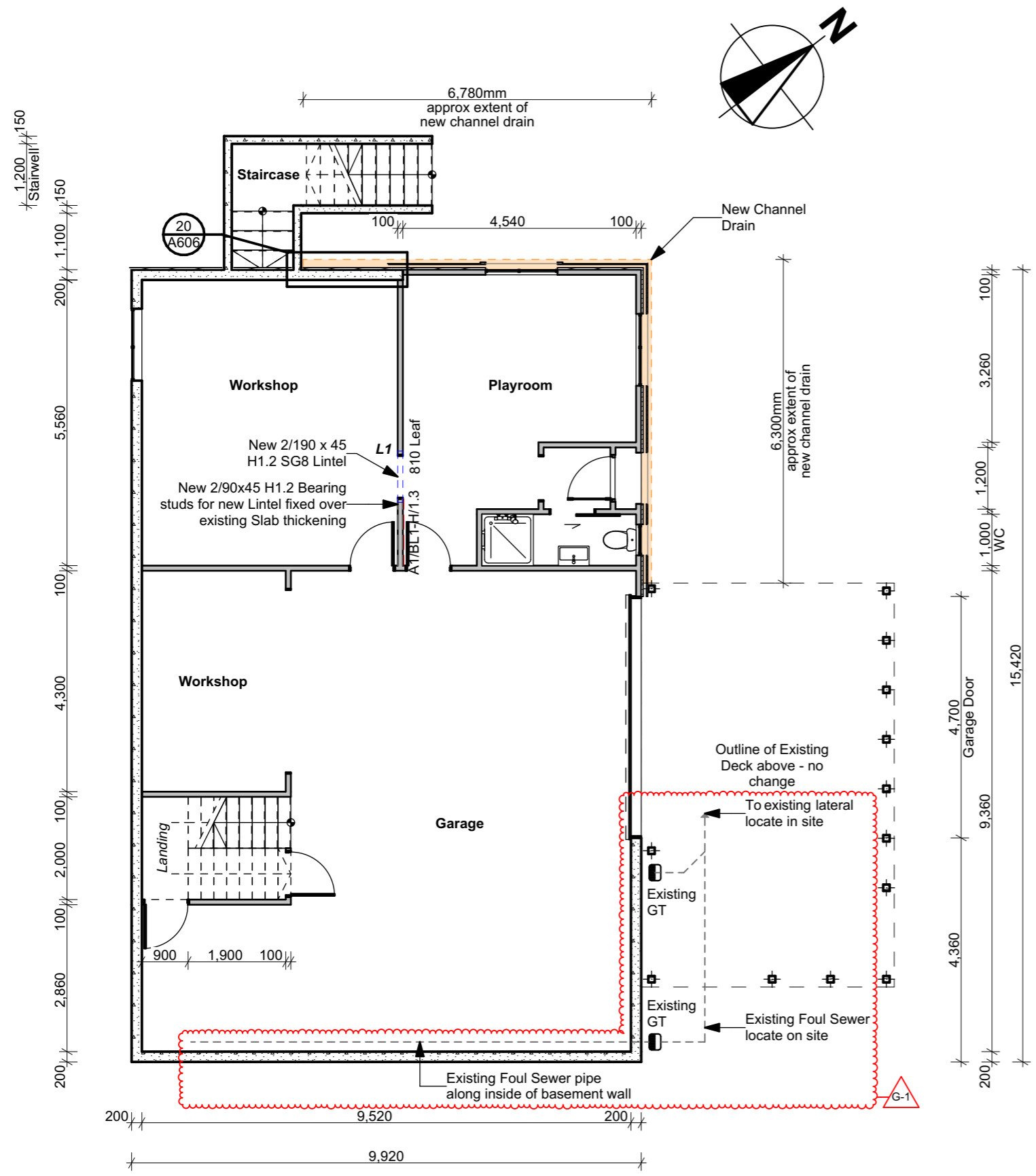
Site Plan

| | |
|-----------|-----------|
| Scale: | Sheet No: |
| 1:200@A3 | A101 |
| date: | drawn: |
| 4/02/2025 | DB |
| | Job No: |
| | 2022-19 |

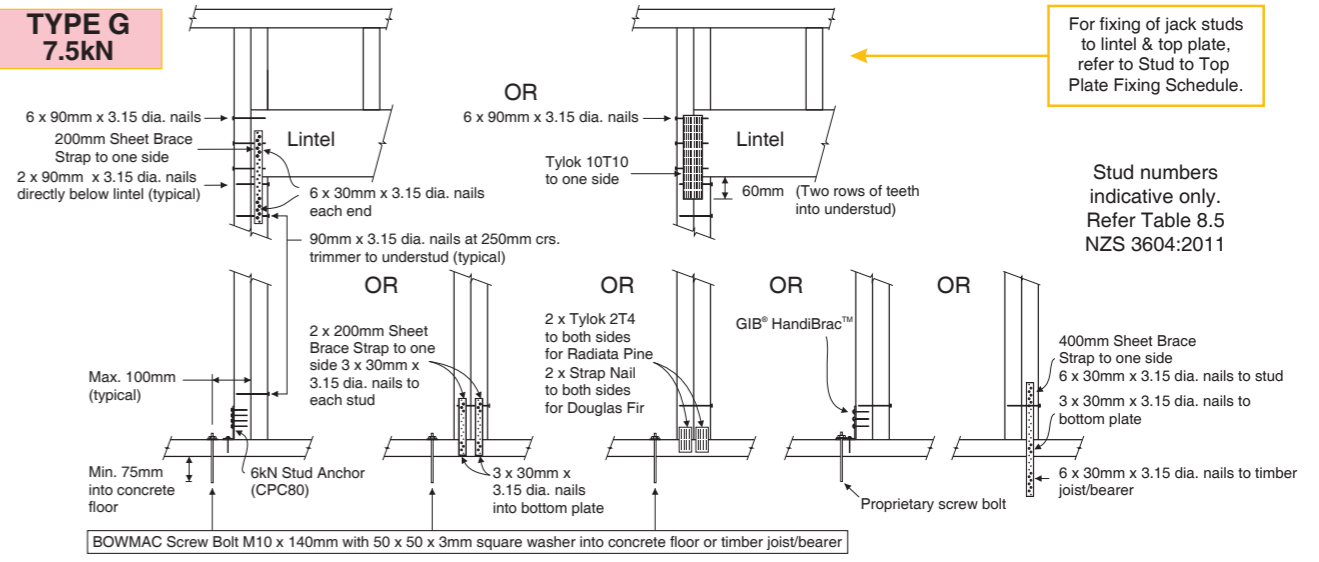
Plan to be read in conjunction
with Structural Engineers PS1

Note:
Existing wall framing
studs at 400mm crs.

L1: New 2/190 x 45 H1.2 SG8 Lintel
to be installed within existing wall
framing. Lintel to be fixed as per
Lumberlok Fixing Options Type G



**TYPE G
7.5kN**



Lintel-Fixing-Schedule

1:1

Total House area: 375.58m²
Roof area: 112.98m²

Note:
Unless otherwise noted, all existing
external doors & windows are to
remain in place during construction.

Legend:
BL1 - H 10 or 13mm GIB Braceline® to one
side only with all fixings & fastenings
as per Manufacturers specification

Renovation Note:
Structural integrity of building must be maintained during
works. Allow to prop roof structure during works. Any
damaged members shall be made good.

Main contractor confirm on site existing timber framing is
untreated pine. Treat existing members remaining with
suitable brush on treatment. Any decayed / damaged
members to be replaced. Refer to Leaky Homes
Document in Project Appendix.

| RevID | ChID | Revision | Date |
|-------|------|-------------------------------|------------|
| 01 | 01-1 | Revised Stud Size & Treatment | 28/07/2023 |
| | 01-2 | Existing Window support | |
| 02 | 02-1 | Revised Braced Wall | 7/08/2023 |
| G | G-1 | Plumbing Works | 4/02/2025 |

Membrane Note:
 Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

01 Existing Door Note:
 Allow to remove, store safely, and re-instate existing external door joinery after dressing new Dek-MASTER membrane to sill and up framing as per Detail 35 Sheet A604.

Note:
 Unless otherwise noted, all existing external doors & windows are to remain in place during construction. No change to existing window support (i.e WANZ Bars).

Membrane Note:
 Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

Note:
 Existing wall framing studs at 400mm crs.

Balustrade Note:
 New 1.0m minimum high balustrade to be installed to existing deck for protection of fall as per NZBC F4/AS1

13.1.1 Smoke Alarms
 Smoke Alarms (S)
 - Shall be in accordance with NZBC clause F7/AS1.3.1.
 - May be battery powered & shall be located at top of stairs, in every sleeping space, or within 3.0m of every sleeping space door.

Note:
 Allow to remove, store safely and reinstate existing balustrade to first floor deck

Allow to pack out Existing dished channel to create continuous fall to new gutter

Allow to install 140 x 45mm H3.2 Timber packing on flat to short sides of deck for balustrade fixing & surface water direction

Refer to Sheet A605 for construction details, and elevations for reference markers

Note:
 New balustrade omitted for clarity

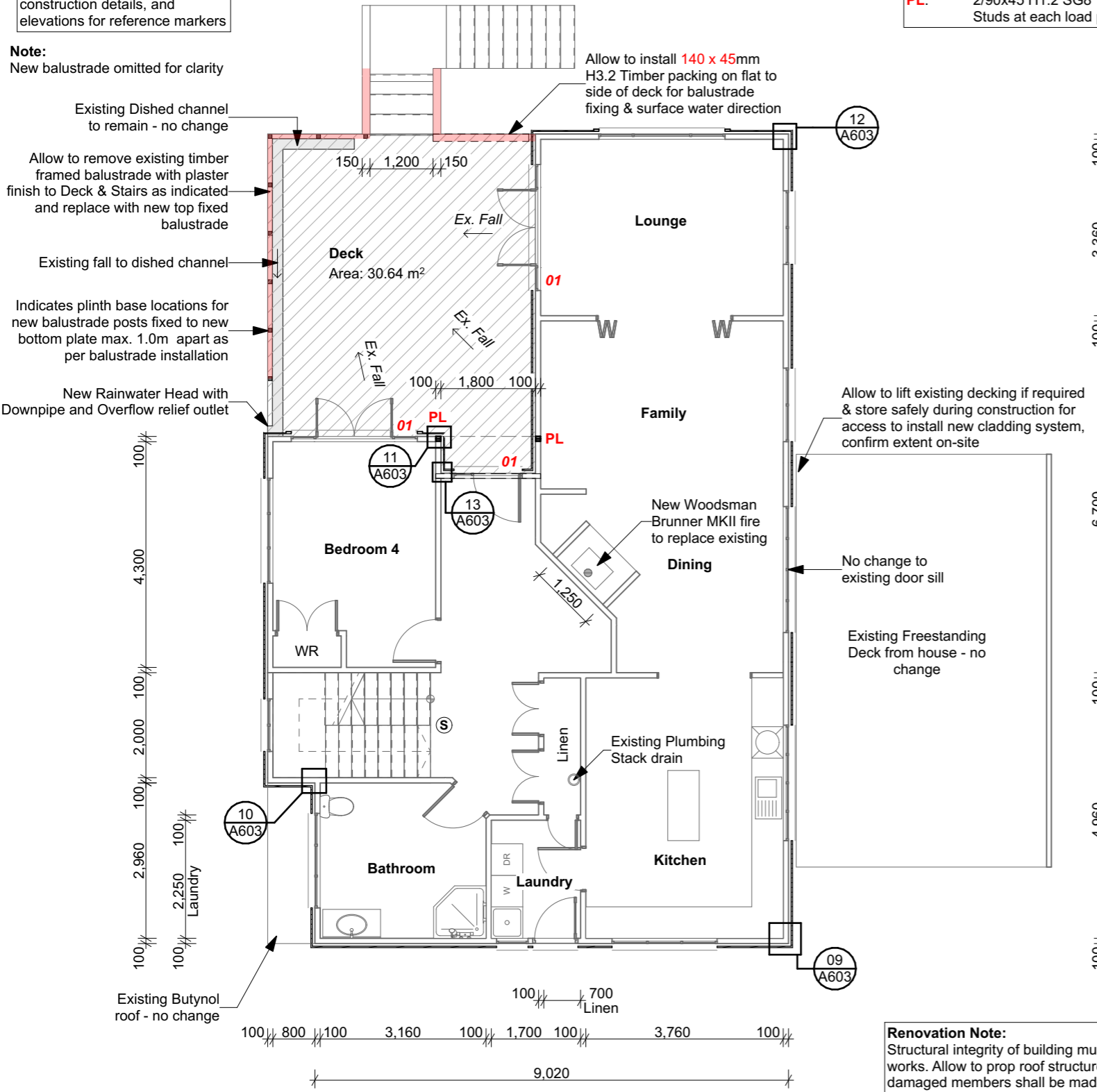
Existing Dished channel to remain - no change

Allow to remove existing timber framed balustrade with plaster finish to Deck & Stairs as indicated and replace with new top fixed balustrade

Existing fall to dished channel

Indicates plinth base locations for new balustrade posts fixed to new bottom plate max. 1.0m apart as per balustrade installation

New Rainwater Head with Downpipe and Overflow relief outlet

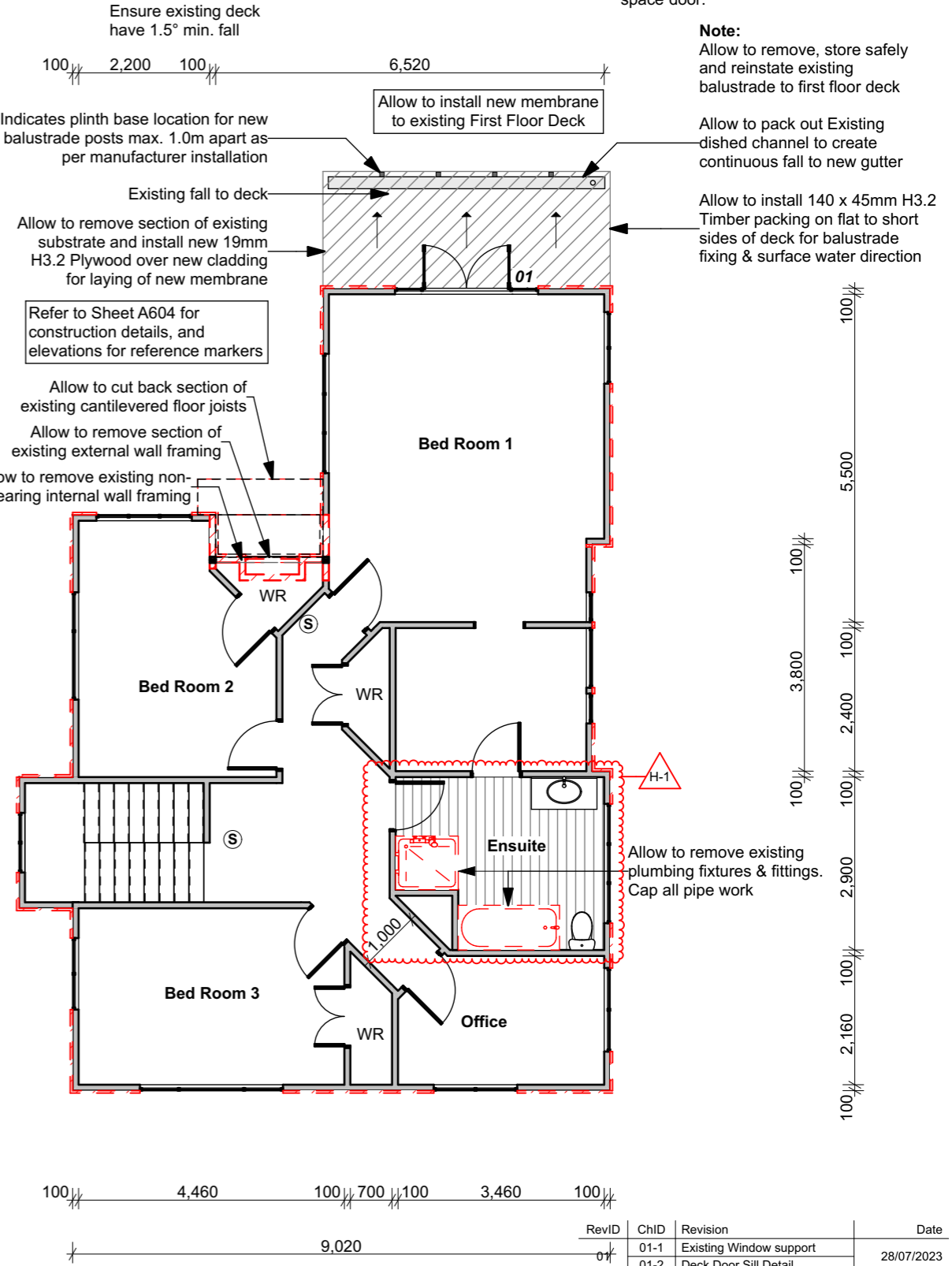


Proposed Mid Floor

Legend:
 PL: 2/90x45 H1.2 SG8 Studs at each load point

Renovation Note:
 Structural integrity of building must be maintained during works. Allow to prop roof structure during works. Any damaged members shall be made good.

Main contractor confirm on site existing timber framing is untreated pine. Treat existing members remaining with suitable brush on treatment. Any decayed / damaged members to be replaced. Refer to Leaky Homes Document in Project Appendix.



Existing First Floor

| RevID | ChID | Revision | Date |
|-------|------|-------------------------------|------------|
| 01 | 01-1 | Existing Window support | 28/07/2023 |
| | 01-2 | Deck Door Sill Detail | |
| 02 | 02-1 | Existing Butynol Roof Shown | 7/08/2023 |
| 03 | 03-1 | Revised Balustrade Fixing | 27/09/2023 |
| 04 | 04-1 | First Floor Wall Construction | 16/10/2024 |
| | 04-2 | Small Roof Construction | |
| G | G-1 | Plumbing Works | 4/02/2025 |
| H | H-1 | Wall & Floor Finishes | 7/03/2025 |

GS1-N GIB® Standard plasterboard one side.

Notes

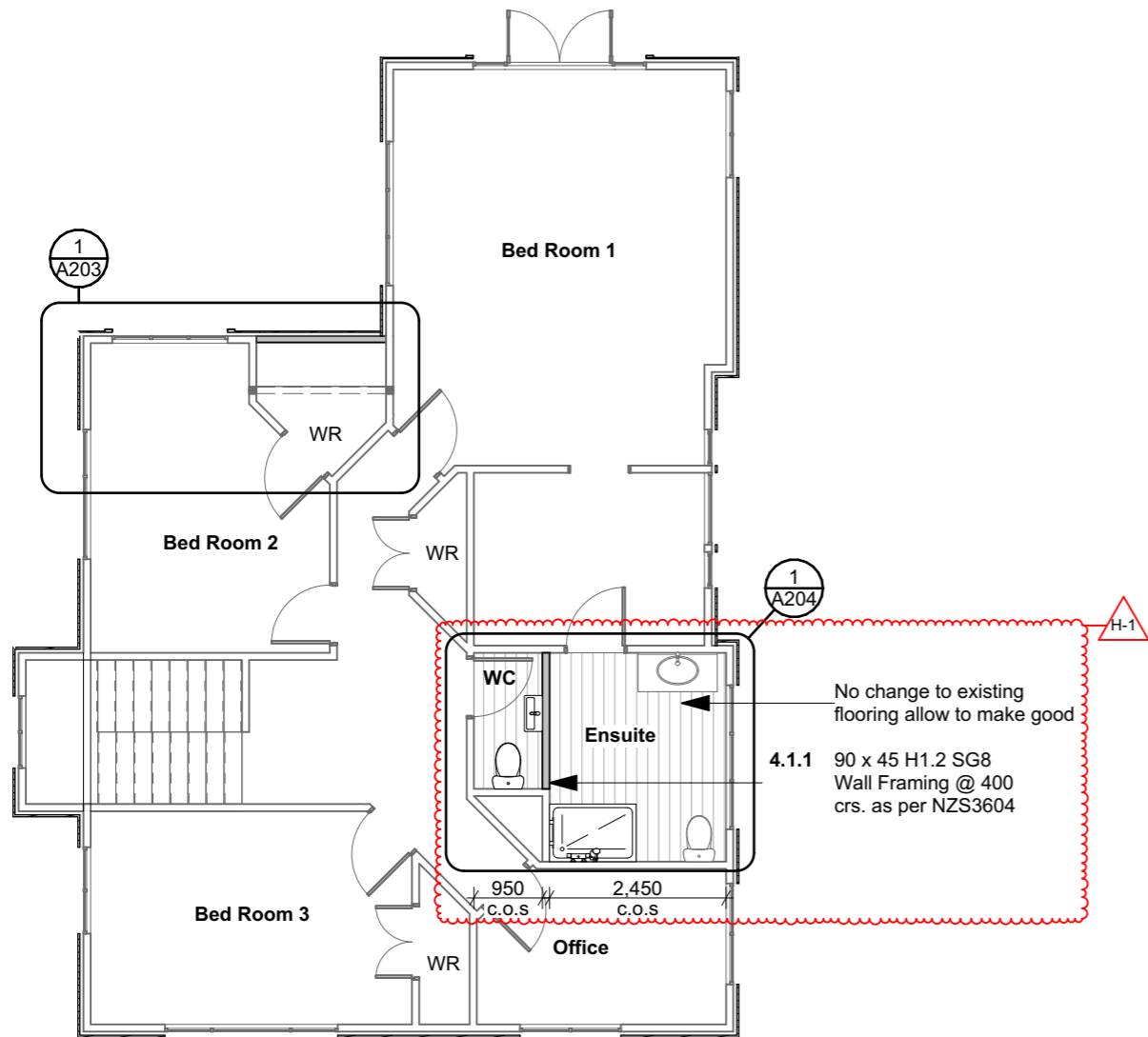
- 04 Wall Framing**
- 4.1.1 90 x 45 H1.2 SG8 Wall Framing @ 400 crs. as per NZS3604
- 4.3.1 90 x 45 H1.2 SG8 Top Plate
- Fixed with Bowmac Stud-lok SL170 (blue) or EQ.
- 05 Internal Linings and Ceilings**
- 5.1.1 10 GIB Standard Walls
- 10mm Standard GIB Board interior linings unless otherwise noted. Refer to bracing

- 5.1.3 plan for bracing panels.
- 10mm GIB Aqualine
- 10mm GIB Aqualine to new Ensuite & WC wall fraiming
- 06 Claddings**
- 6.1.1 Vertical Larch Shiplap Weatherboard Cladding
- Vertical Larch Shiplap Weatherboards over 50mmx50mm H3.2 timber cavity battens @ 400 crs. max.
- 07 Roof Framing**
- 7.1.1 2/190x45 H1.2 SG8 Lintel

- New 2/190x45 H1.2 SG8 Lintel for support of existing wall framing. Lumberlok Fixing Type G
- 7.1.2 140x45 H1.2 SG8 Rafters @ 900mm crs.
- 140x45 H1.2 SG8 Rafters @ 900mm crs. fixed with Lumberlok JH47x90 Joist Hangers at each end.
- 7.1.3 90 x 45 H1.2 SG8 Ceiling Joists @ 600mm crs.
- 90 x 45 H1.2 SG8 Ceiling Joists @ 600mm crs. fixed to New wall framing and lintel with Lumberlok JH47x90 Joist Hangers
- 08 Roofing and Battens**

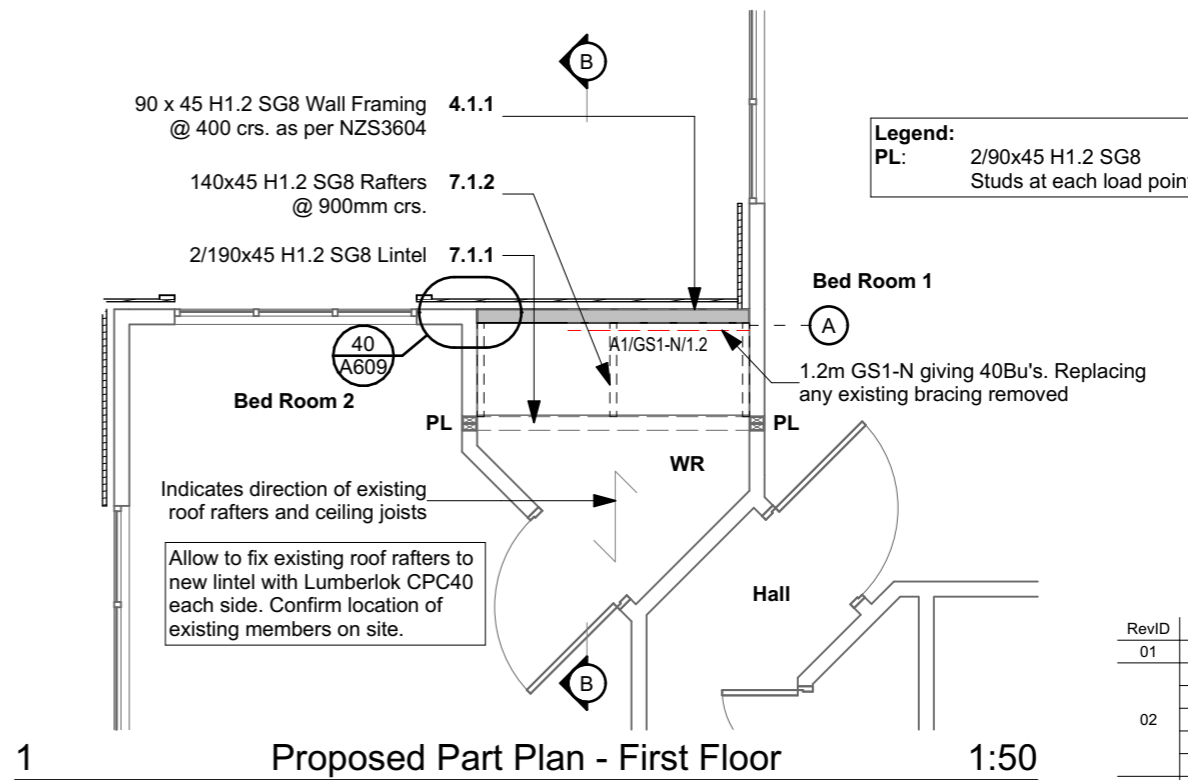
- 8.2.1 0.40 Dimond V-RIB Roof Cladding
- 0.40 Dimond Colorcote Zinacore V-RIB Roofing
- Roof Pitch: 8 & 3.5°
- Fascia/Barge: H3.2 Pre-primed with paint finish as selected by client
- Spouting: Dimond Box 125, with brackets at 900mm crs.
- Downpipes: uPVC 80Ø
- Roofing fixed with "C2" fixing pattern as per NZBC E2/AS1 Table 11.
- 09 Soffits**
- 9.2.1 4.5 Hardiflex Soffits

- 4.5 Hardiflex soffit lining with jointers fixed to 90 x 45 H1.2 framing on their flat at 900 crs, with 40 x 2.8 hardiflex nails or fastfix fasteners. Refer to James Hardie Eave and Soffit Installation Manual for details.
- 10 Insulation**
- 10.1.1 Roof: Pink Batts R7.0
- Single layer of Pink Batts R7.0 over ceiling joists installed to new formed ceiling

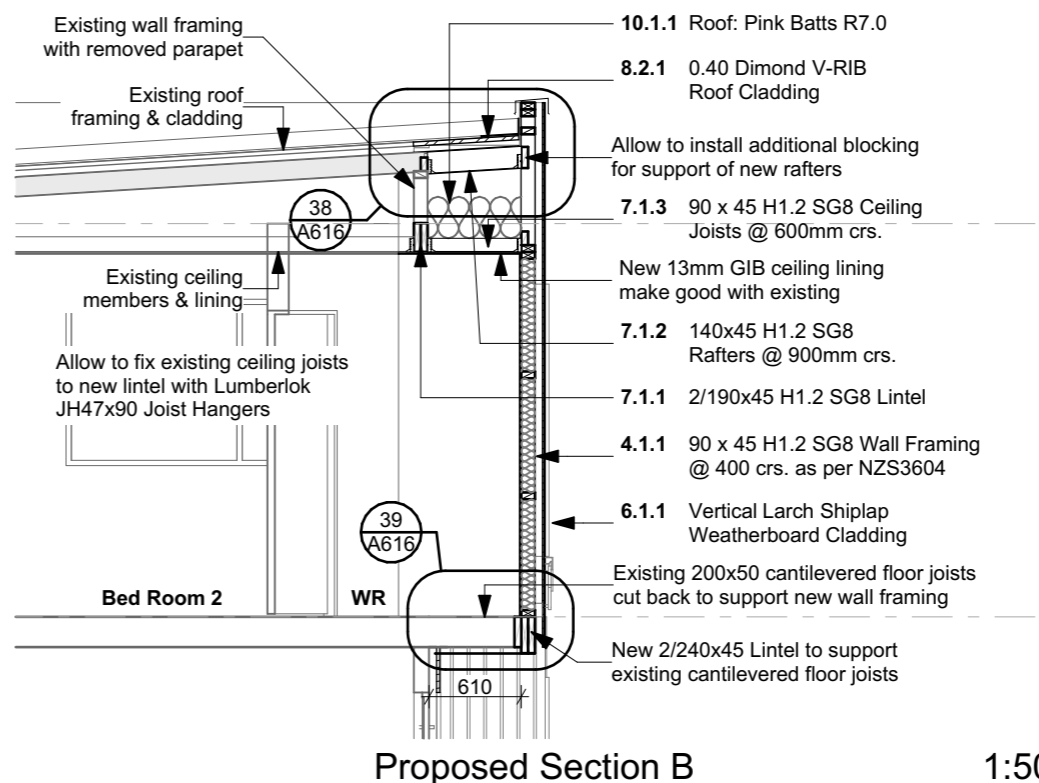


Note:
Refer to Notes on Part Plan

Proposed First Floor Plan 1:100



1 Proposed Part Plan - First Floor 1:50



Proposed Section B 1:50

| RevID | ChID | Revision | Date |
|-------|------|--------------------------|------------|
| 01 | | Lintel Fixing | 16/10/2024 |
| 02 | 02-1 | Ceiling Insulation | 3/12/2024 |
| | 02-2 | Top Plate Connections | |
| | 02-3 | Replaced Bracing | |
| | 02-4 | Floor Joist Span | |
| 03 | 03-1 | Rafters New & Old | 9/12/2024 |
| G | G-1 | Plumbing Works | 4/02/2025 |
| | G-2 | First Floor Wall Framing | |
| H | H-1 | Wall & Floor Finishes | 7/03/2025 |

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Client:
Rhys Heatley
99 Kaikorai Valley Road Glenross Dunedin 9011

Lot 2 DP 355930

Proposed First Floor Plan and Section (AMENDMENT)

| | |
|-----------------------------|------------------------------------|
| Scale: 1:50, 1:100@A3 | Sheet No: A203 |
| date: 7/03/2025 | drawn: DB Job No: 2022-19 |

Plumbing Notes:

Low flow fixtures to be installed when possible
 All pipework to be sized by plumbing contractor and in accordance with Table 4 G12/AS1
 Confirm location of all pipework on site before construction starts.

Materials for Hot & Cold water: as per G12/AS1 Table 1: Polybutylene to AS/NZ2642: Parts 1,2,3

All new plumbing, drainage, fixtures & fittings & tiling are meet or exceed the durability requirements of B2/AS1 Table 1

Hot water:

- Existing Hot water system

- Ensure all existing hot water pipes are insulated with 13-25mm thick closed cell elastomeric thermal lagging if not allow to install.

- Safe water tempertaure to be a maximum of 50° for all of building as per G12/AS1 Section 6.14.1 (b)

Shower:

New Proprietary system as selected by client over existing timber floor.

Allow to install PIR in switch plate for fan on delayed run, on timer.

Wall & Ceiling finish:

Paint finish to walls where tiles are not installed.
 Paint finish to ceiling.
 Allow to apply Resene SpaceCote Flat Kitchen & Bathroom or Equal.

Lighting:

All down lights shall be CA rated. Illuminance at floor level shall be no less than 20 lux as per G8/AS1

Existing sewer & Stormwater Lateral positions, Drainlayer to confirm position and depth on site before any work commences, to ensure correct falls can be achieved.

Inspection opening to be raised to ground level on sewer lateral drain. Opening shall be provided with airtight removable caps and protected by a suitable cover and surround in such a manner that no traffic or structural loads can be transmitted to the drain connection to the drain as per NZ/AS3500 Part 2. clause 4.6.6.6

Trafficable surfaces (where required): 100mmØ - sealed access point to extend within 100mm of the finished drive surface. A trafficable surface cover is to be installed.

Electrical Notes:

All electrical information/layout to be organised by client with contractors (electrician & carpenter) during construction

NZ/AS3500.2 Sanitary Plumbing Materials

Applicable to 3500.2 as modified by NZ building code material and manufacturing standard (sub set of)

| Material: | Manufacturing Standard: |
|-----------------------|--|
| Air Admittance Valves | ASSE1050 or ASSE1051, EN12380, AS/NZS49376 |
| Copper Pipe | NZS3501 |
| Copper Fittings | AS1589 |
| PVC Pipe and fittings | AS/NZS1260 |
| Plastic Fittings | AS2887 |
| Elastomeric Rings | AS/NZS4130 or AS1646 |
| Plastic Traps | AS2887 |
| Copper Traps | AS1589 |

Materials for Hot and Cold Water supply system including HWC

| Material: | Manufacturing Standard: |
|---|--|
| Copper | NZS3501 |
| Polybutylene | AS/NZS2642: Parts 1, 2 and 3 |
| Cold Water expansion valves | NZS4608 or BS6283 or AS1357 part 1 |
| Temperature/pressure relief valves | NZS4608 or BS6283 or AS1357 part 1 |
| Non-return valve | NZS4608 or AS1357 part 1 |
| Temperature control device (Thermostat) | NZS6214 or AS1308 |
| Electric Storage Heater | NZS4606 parts 1,2&3 or AS1056 part 1 |
| Pipe Insulation Material | NZS4305 (ensure all pipes are lagged outside insulated area) |

Insulation of Unplasticized PVC Pipe Systems

To be in accordance with: NZS7634 amendment 1 & AS/NZS2032 amendment 1

Note:

Where possible, allow to lay all new plumbing drains to match direction of existing floor joists to avoid penetration. Where pipes penetrate existing joists, allow to install Lumberlok Floor Joist Stiffener to manufacturer Specifications.

Plumbing & Drainage:

Fixtures:

| Ensuite | rating | trap & waste |
|---------|--------|----------------------------|
| WC | 4 | = DN100 trap / DN100 waste |
| Shower | 2 | = DN40 trap / DN65 waste |
| Basin | 1 | = DN40 trap / DN65 waste |

All Plumbing & Drainage to comply with:

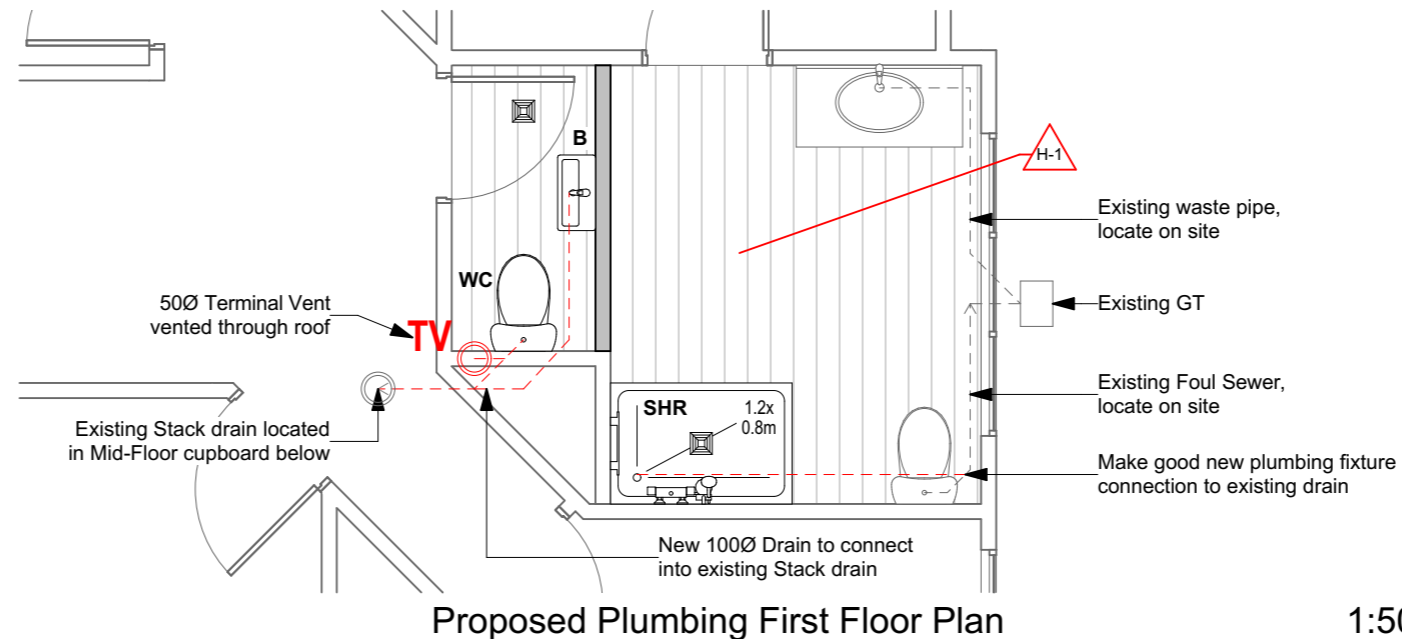
Water supplies G12/AS1
 Sanitary Plumbing NZ/AS3500 P2
 Sanitary Drainage NZ/AS3500 P2

All sanitary drainage to AS/NZS 3500 Part 2.2

| | | |
|-------------------|-----------|------|
| Sub slab drainage | | |
| All 65mmØ | min fall: | 1:40 |
| All 100mmØ | min fall: | 1:60 |

Waste sizes and discharge units

| | |
|---|---------------|
| Part table 2. discharge pipes are to be the same sizes as the traps | |
| Terminal Vent | 50mmØ |
| Other Vents | Sizes to suit |



| RevID | ChID | Revision | Date |
|-------|------|-----------------------|-----------|
| G | G-1 | Plumbing Works | 4/02/2025 |
| H | H-1 | Wall & Floor Finishes | 7/03/2025 |
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Client: **Rhys Heatley**

99 Kaikorai Valley Road Glenross Dunedin 9011

Lot 2 DP 355930

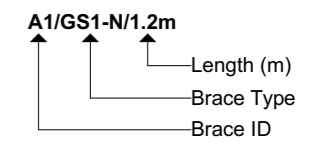
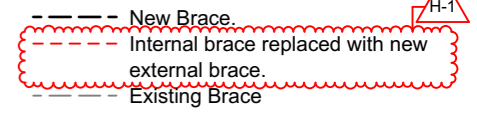
Proposed First Floor Plumbing Plan

| | |
|--------------------|------------------------------------|
| Scale: 1:50@A3 | Sheet No: A204 |
| date: 7/03/2025 | drawn: DB Job No: 2022-19 |

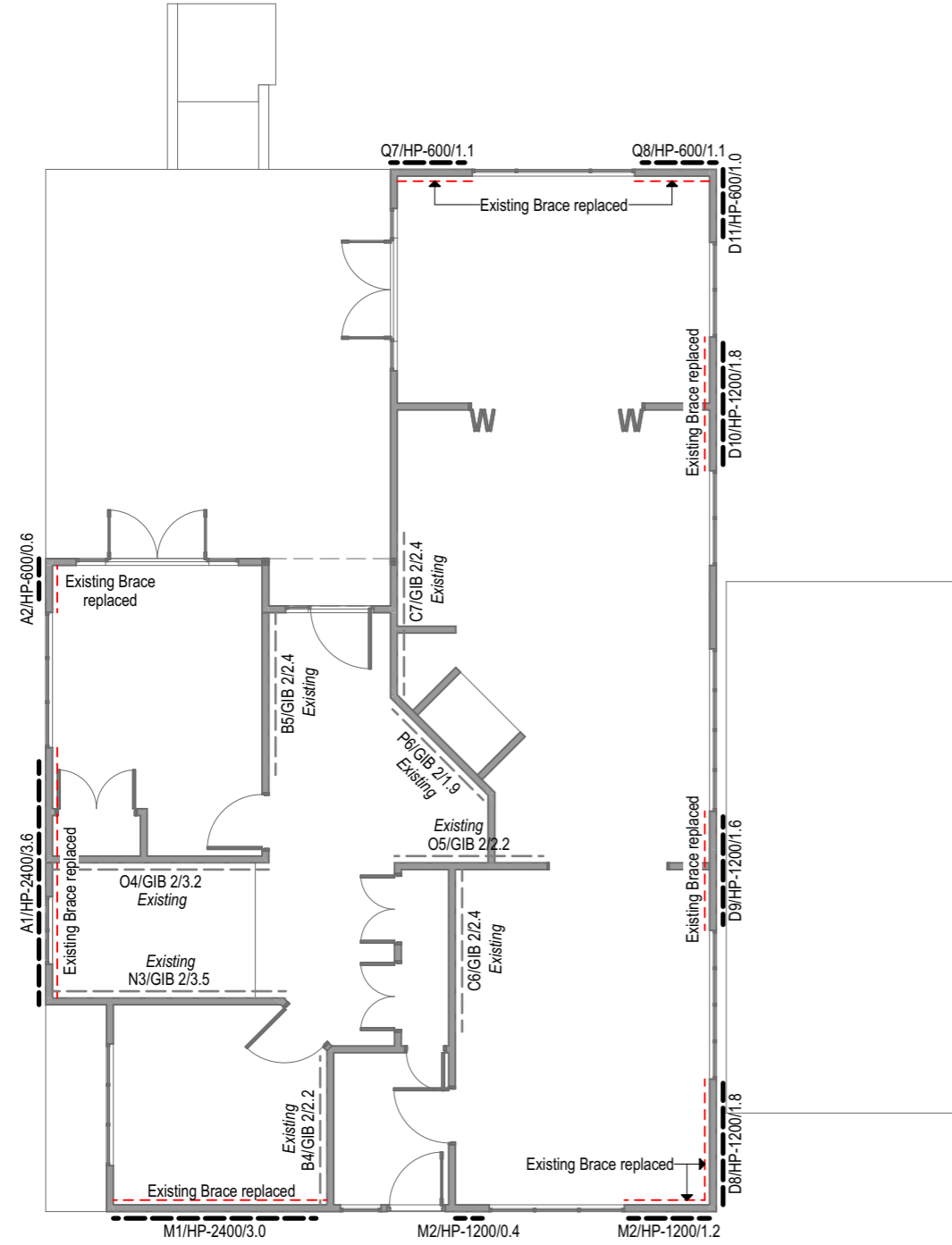
Bracing Assessment:

| | Original Demand | Original | Proposed | Achieved / Fail |
|---------------------|-----------------|-------------|-----------|-----------------|
| MID-FLOOR: | | | | |
| Wind Along: | 950BU's | 1,631BU's | 1,966BU's | Achieved |
| Wind Across: | 1,340BU's | 1,427.5BU's | 1,620BU's | Achieved |
| Earthquake Along: | 500BU's | 1,399BU's | 1,605BU's | Achieved |
| Earthquake Across: | 500BU's | 1,148BU's | 1,345BU's | Achieved |
| FIRST-FLOOR: | | | | |
| Wind Along: | 260BU's | 1,120BU's | 1,235BU's | Achieved |
| Wind Across: | 272BU's | 1,740BU's | 1,905BU's | Achieved |
| Earthquake Along: | 500BU's | 938BU's | 1,088BU's | Achieved |
| Earthquake Across: | 500BU's | 1,424BU's | 1,681BU's | Achieved |

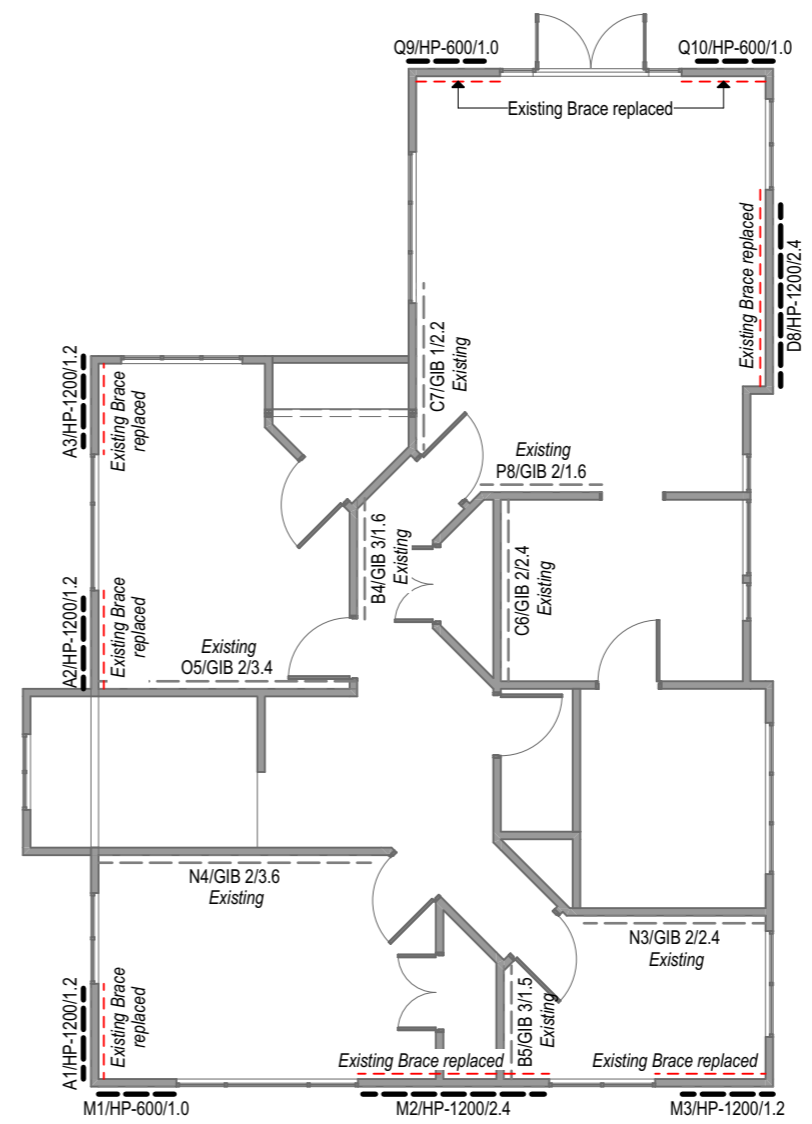
- GIB 1 Original Bracing elements
- GIB 2 Refer ABA-93-2647
- GIB 3
- BR4
- BR5
- HP HomeRAB Pre-Cladding Vertically fixed to exterior side with hold downs. Refer to Project Appendix.



Bracing Notes:
Original Bracing calculations based on ABA-93-2647 Building Consent. Bracing will continue to comply beyond the extent required by the Building Act Section 112 (b) (ii). All bracing elements added related to B1 shall be better than existing.
Verify on site Internal braces, based on ABA-93-2647 consent.
Any existing replaced braces not used in assessment, no modification required on site. To remain as is.
Refer to GIB Ezybrace Calculations for BU's Achieved.



Proposed Bracing Mid Floor 1:100



Proposed Bracing First Floor 1:100

| RevID | ChID | Revision | Date |
|-------|------|------------------|-----------|
| G | G-1 | Building Bracing | 4/02/2025 |
| H | H-1 | Revised Bracing | 7/03/2025 |
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Lot 2 DP 355930

Mid & First-Floor Bracing Plans

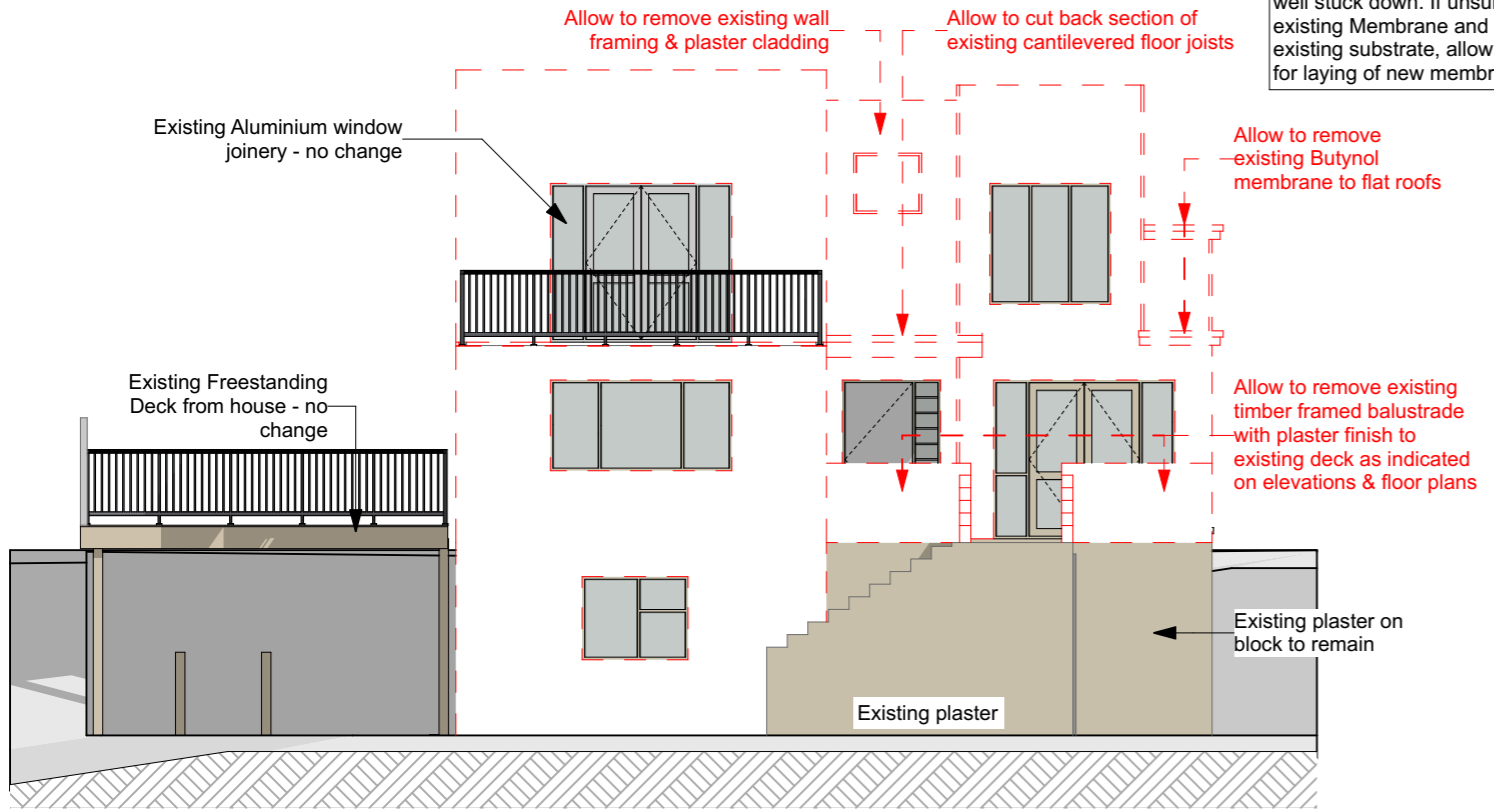
| | |
|--------------------|--------------------|
| Scale: 1:100@A3 | Sheet No: A205 |
| date: 7/03/2025 | Job No: 2022-19 |

NOTE: All existing plaster cladding to be removed

Membrane Note:
 Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

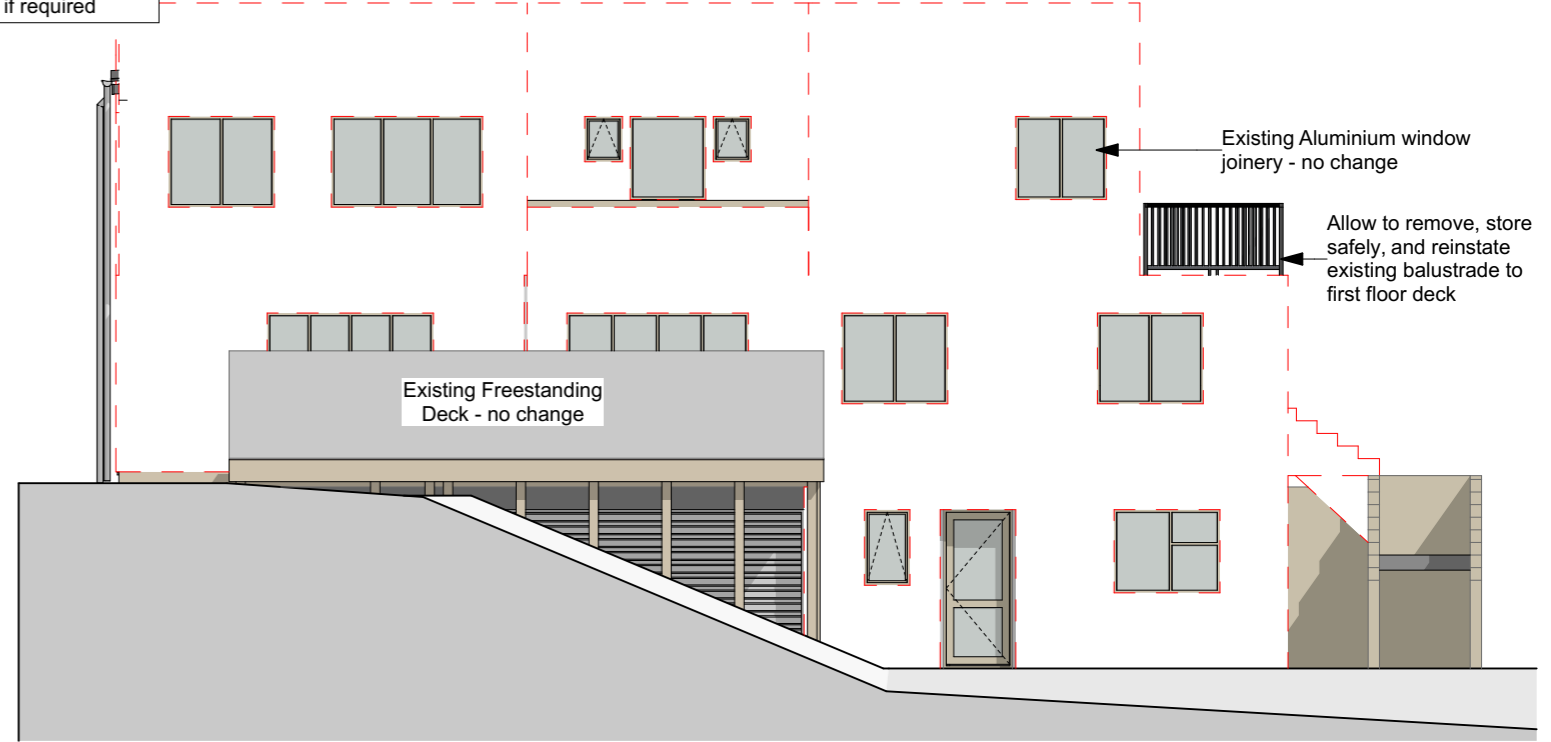
Note:
 Unless otherwise noted, all existing external doors & windows are to remain in place during construction.

Renovation Note:
 Structural integrity of building must be maintained during works. Allow to prop roof structure during works. Any damaged members shall be made good.



North Elevation

1:100



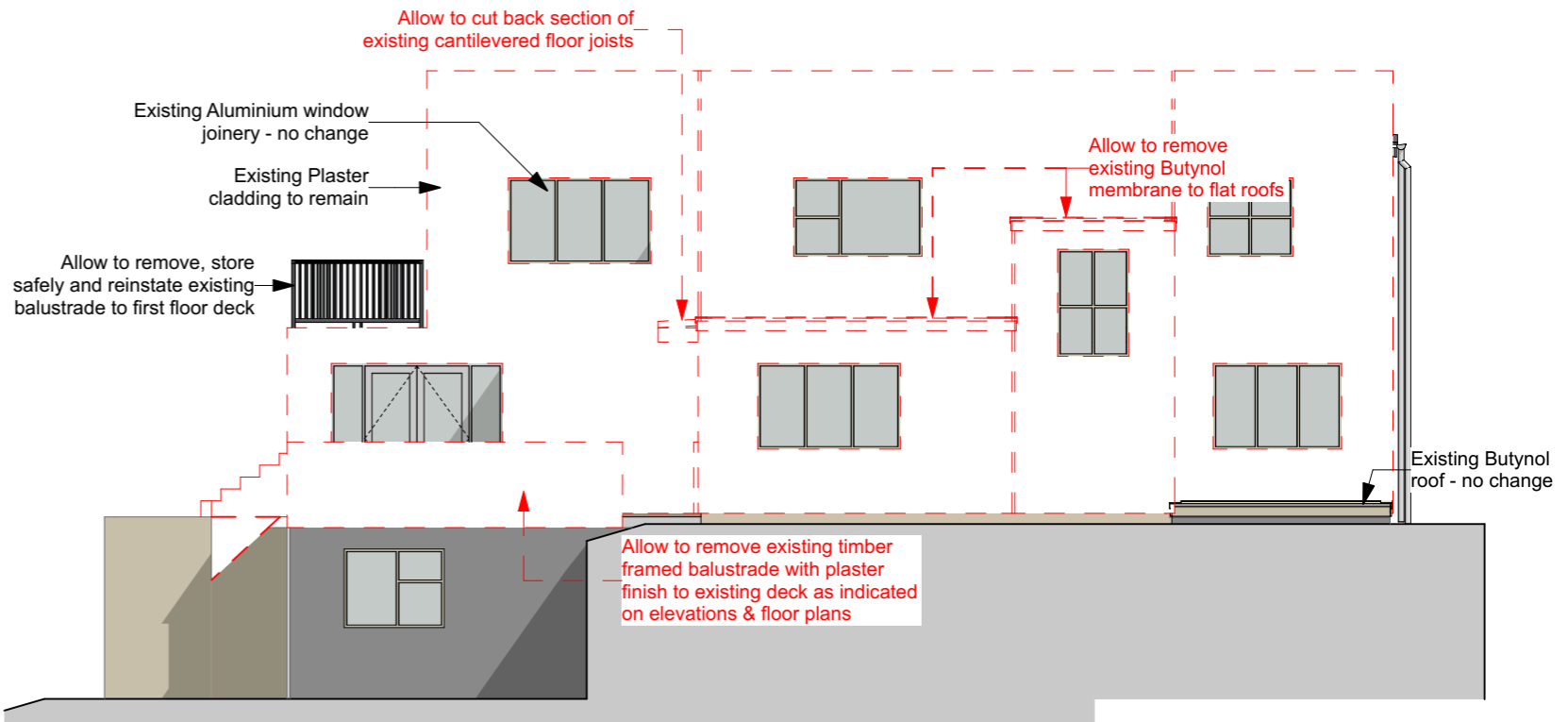
East Elevation

1:100



South Elevation

1:100



West Elevation

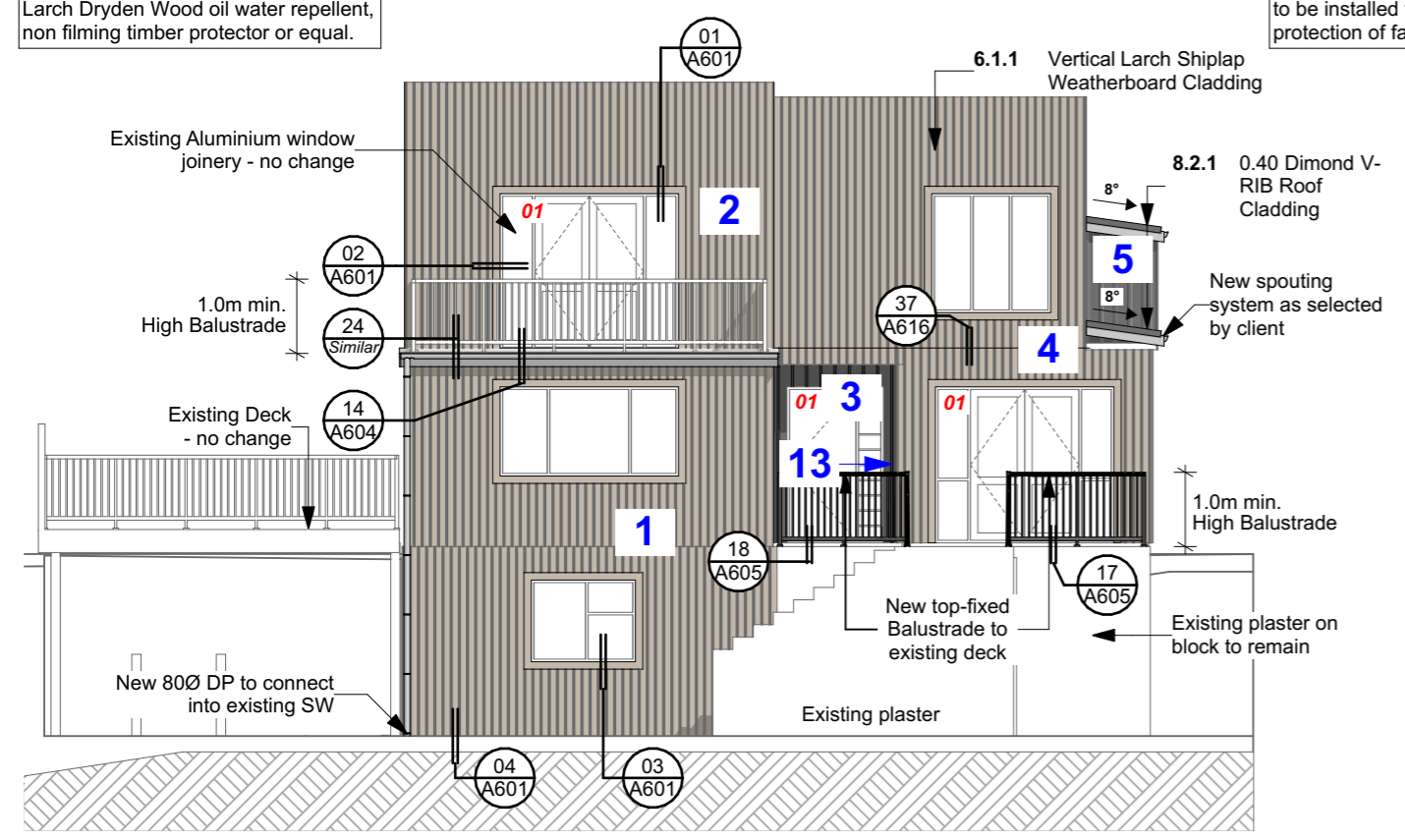
1:100

| RevID | ChID | Revision | Date |
|-------|------|-------------------------------|------------|
| 01 | 01-1 | Existing Window support | 28/07/2023 |
| 02 | 02-1 | First Floor Wall Construction | 16/10/2024 |
| | 02-2 | Small Roof Construction | |
| G | G-1 | Remove Plaster | 4/02/2025 |

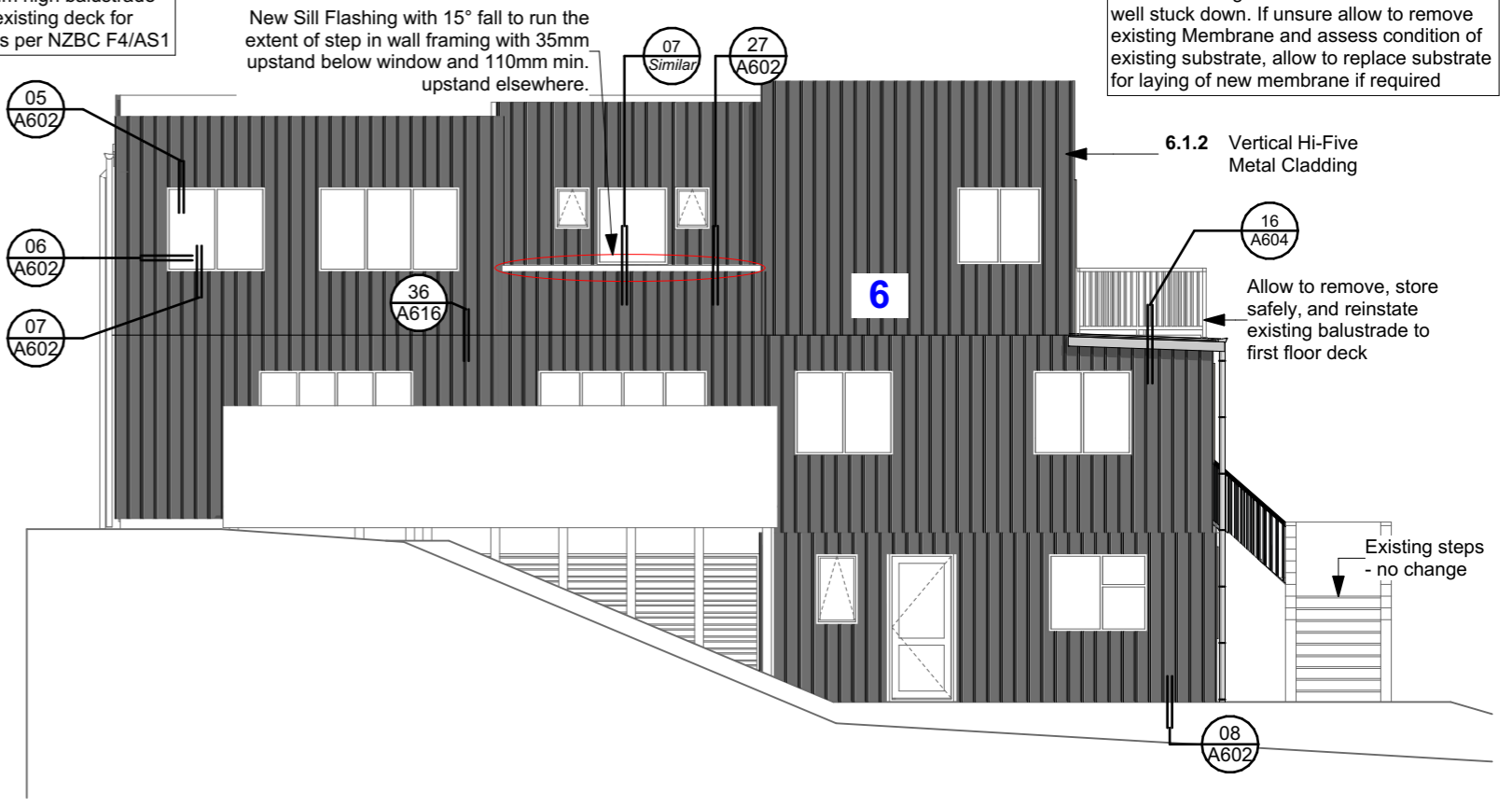
Shiplap Cladding Note:
Clear Coat Shiplap larch cladding with Larch Dryden Wood oil water repellent, non filming timber protector or equal.

Balustrade Note:
New 1.0m minimum high balustrade to be installed to existing deck for protection of fall as per NZBC F4/AS1

Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required



North Elevation 1:100



East Elevation 1:100

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 1 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 14 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 2 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Very high risk | 6 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 6 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Very high risk | 4 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | High risk | 2 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Very high risk | 6 |
| Total Risk Score: | | 19 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|---------------|------------|
| Elevation 3 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Low risk | 0 |
| Eaves width | Medium risk | 1 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 7 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 4 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 5 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Medium risk | 1 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 10 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|---------------|------------|
| Elevation 13 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Low risk | 0 |
| Eaves width | Medium risk | 1 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 7 |

01 Existing Door Note:
Allow to remove, store safely, and re-instate existing external door joinery after dressing new Dek-MASTER membrane to sill and up framing as per Detail 35 Sheet A604.

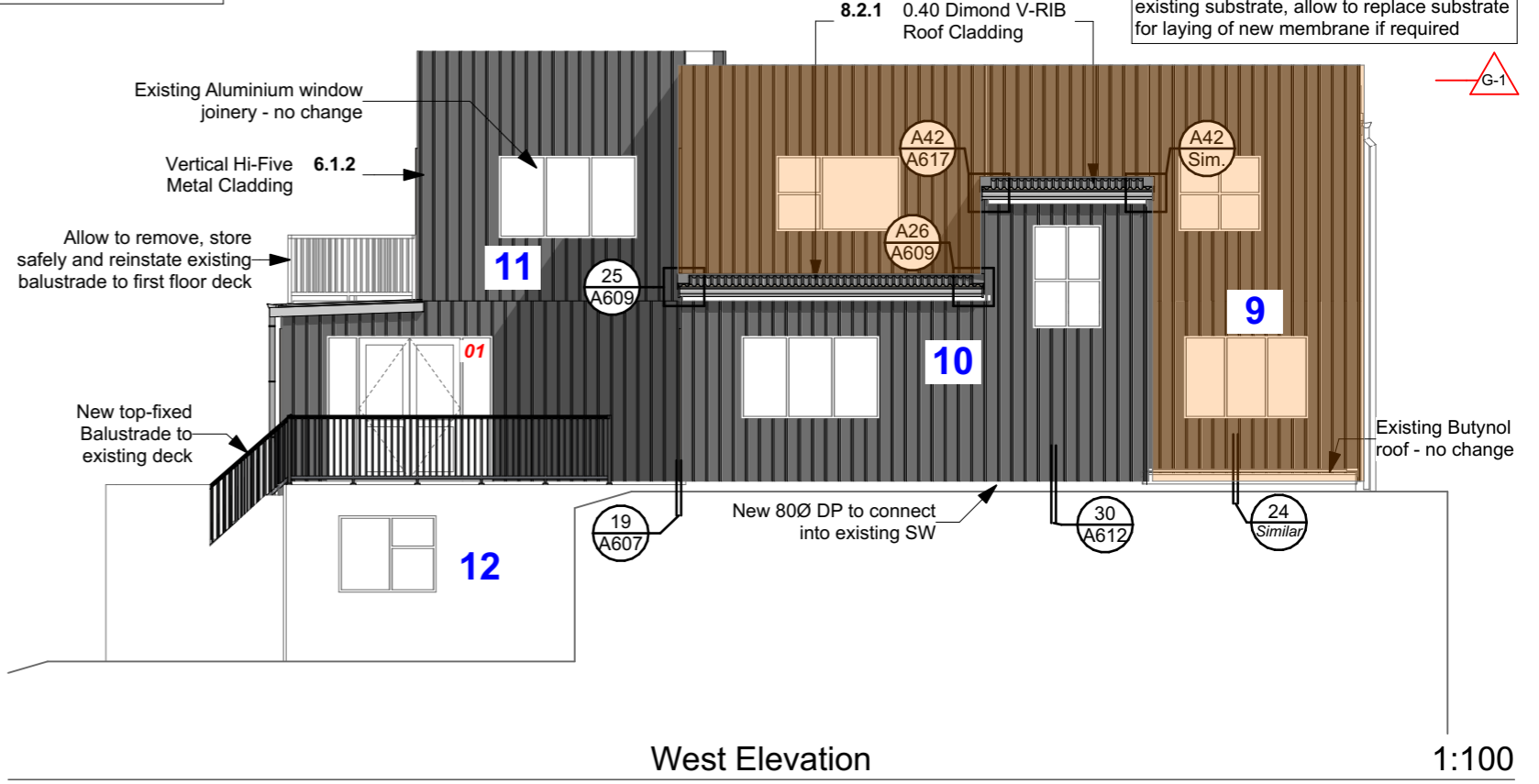
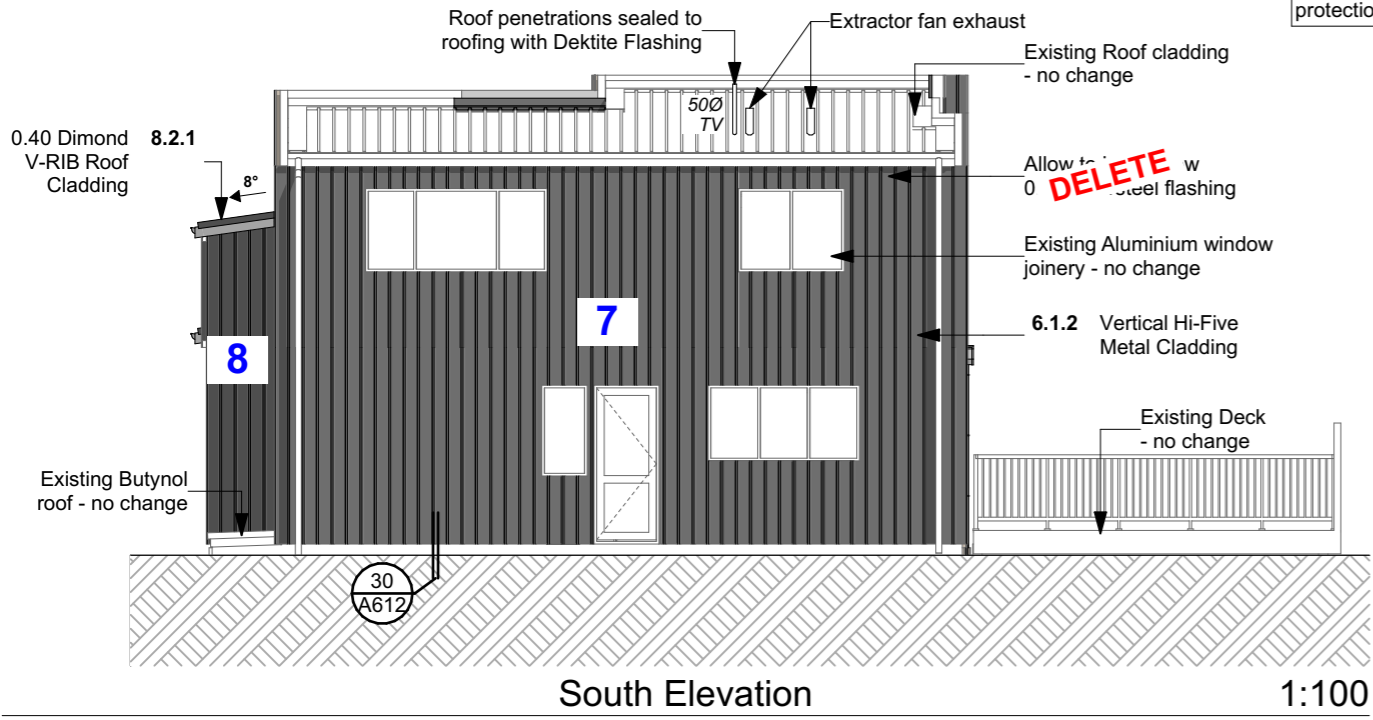
Renovation Note:
Structural integrity of building must be maintained during works. Allow to prop roof structure during works. Any damaged members shall be made good.

Main contractor confirm on site existing timber framing is untreated pine. Treat existing members remaining with suitable brush on treatment. Any decayed / damaged members to be replaced. Refer to Leaky Homes Document in Project Appendix.

| RevID | ChID | Revision | Date |
|-------|------|--------------------------------|------------|
| 01 | 01-6 | Shiplap Cladding Coating | 28/07/2023 |
| 02 | 02-1 | Revised Flashing Upstand | 24/08/2023 |
| 03 | 03-1 | First Floor Wall Construction | 16/10/2024 |
| | 03-2 | Small Roof Construction | |
| | 03-3 | Inter-Storey Junction Flashing | |
| 04 | 04-1 | Revised Risk Matrix | 3/12/2024 |
| 05 | 05-1 | Revised Flashing | 9/12/2024 |
| G | G-1 | Remove Plaster | 4/02/2025 |

Ensure existing membrane is well cleaned & well stuck down. If unsure allow to remove existing Membrane and assess condition of existing substrate, allow to replace substrate for laying of new membrane if required

Balustrade Note:
New 1.0m minimum high balustrade to be installed to existing deck for protection of fall as per NZBC F4/AS1



| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 7 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 13 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 8 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Medium risk | 1 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 10 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 9 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 10 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Medium risk | 1 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 11 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 11 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | High risk | 2 |
| Roof/wall intersection design | Very high risk | 5 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | High risk | 4 |
| Total Risk Score: | | 18 |

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| Elevation 12 | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | High risk | 3 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Low risk | 0 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 9 |

01 Existing Door Note:
Allow to remove, store safely, and re-instate existing external door joinery after dressing new Dek-MASTER membrane to sill and up framing as per Detail 35 Sheet A604.

Renovation Note:
Structural integrity of building must be maintained during works. Allow to prop roof structure during works. Any damaged members shall be made good.

Main contractor confirm on site existing timber framing is untreated pine. Treat existing members remaining with suitable brush on treatment. Any decayed / damaged members to be replaced. Refer to Leaky Homes Document in Project Appendix.

| RevID | ChID | Revision | Date |
|-------|------|----------------------------------|------------|
| 01 | 01-5 | New Cladding to Existing Butynol | 28/07/2023 |
| 02 | 02-1 | Small Roof Construction | 16/10/2024 |
| | 02-2 | Inter-Storey Junction Flashing | |
| 03 | 03-1 | Revised New Roof | 3/12/2024 |
| | 03-2 | Barge Junction to Wall Cladding | |
| G | G-1 | Remove Plaster | 4/02/2025 |

Reference: RMA2005-0633; 5019642; 148383
Enquiries to: Tim Vial
Direct Phone: 474 3396

3 August 2005

Vivienne Smith
C/- D G Hatfield & Associates
P.O. Box 235
DUNEDIN

Attention: G W Bates

Dear Geoff

RESOURCE CONSENT APPLICATION: RMA2005-0633
97 KAIKORAI VALLEY ROAD,
DUNEDIN

Your application for resource consent to subdivide 97 Kaikorai Valley Road, Dunedin, into two residential allotments was processed on a non-notified basis in accordance with Sections 93 and 94 of the Resource Management Act 1991. Council's Senior Planner – Consents considered the application under delegated authority on 3 August 2005.

I advise that the Council has **granted** consent (with conditions) to the application. The full text of this decision commences on page 4 of this document. The consent must be given effect to within five years from the date of this decision, in accordance with section 125 of the Resource Management Act.

BACKGROUND TO THE APPLICATION

Resource consent was granted on 11 April 2003 to subdivide this 1011m² property into two residential allotments, respectively a front site comprising 425m² (Lot 1), and a rear site comprising 586m² (Lot 2) [RMA20030236]. This resource consent was not given effect to within two years and has lapsed.

DESCRIPTION OF ACTIVITY

Resource consent is sought to subdivide this 1011m² property into two residential allotments, respectively a front site comprising 425m² (Lot 1), and a rear site comprising 586m² (Lot 2). While Proposed Lot 2 does not have road frontage to Kaikorai Valley Road, it will have right of way access over Lot 1. The proposed right of way coincides with an existing sealed driveway that has a formed width of 3.0 metres. Similarly, easements for services are provided over the existing driveway.

Both lots contain an existing dwelling. Lot 1 also contains an existing garage and shed.

The new internal boundary coincides with an existing fence that is located behind the garage on Proposed Lot 1. The garage on Proposed Lot 1 will be located within the required 2.0m rear yard after subdivision. Land-use consent was granted for this non-compliance in 2003 (see RMA 2003-0237).

REASONS FOR APPLICATION

Dunedin City District Plan

The subject property is located within the **Residential 1** zone of the Dunedin City District Plan.

Subdivision within the Residential 1 zone is a **discretionary (restricted)** activity provided that the subdivision complies with Rules 18.5.3 – 18.5.6, 18.5.9 -18.5.11 (as applicable), and provided that the resulting allotments comply with the minimum site area and frontage requirements for this zone (being 500m² and 3.5m frontage respectively) [Rule 18.5.1(iii)]. In this respect, Proposed Lots 1 & 2 fail to comply with the minimum site area and frontage requirements respectively.

Therefore, the proposed subdivision is a **non-complying activity** under Rule 18.5.2.

PLANNING ASSESSMENT

Affected Persons

No written approval of any party is considered to be necessary. Both lots are fully developed for residential purposes. The proposed subdivision does not physically alter the existing buildings or give any expectation of a change. The only change would be a different ownership for the existing two houses. The ownership status is not considered to be a relevant matter for requiring written approvals. In any case, it is considered the actual effects of the proposed subdivision are confined to the subject site and do not affect any party other than the applicants.

Effects on the Environment

The following assessment of effects on the environment has been carried out in accordance with Section 104(1) of the Resource Management Act 1991. It addresses those assessment matters listed in Sections 18.6.1, and 20.6 of the District Plan considered relevant to the proposed activity, and is carried out on the basis that the environment is generally characterised by a mix of well established medium-density residential activity, with houses typically single or two storey surrounded by established lawns and gardens, and by light industrial activity.

1. Sustainability (Assessment Matter 18.6.1 (b))

The Sustainability Section provides the overall framework for the District Plan. The objectives and policies of the Sustainability Section seek to enhance the amenity values of Dunedin, ensure that the level of infrastructure services provided is appropriate to the potential density and intensity of development anticipated in an area, and provide a comprehensive planning framework to manage the effects of the use and development of resources.

Specifically, a system of residential zones is used to distinguish various areas and neighbourhoods that have similar characteristics. Zoning provides a degree of certainty for people as to the amenity to be expected in a particular area and avoids the mixing of incompatible activities. The Residential 1 Zone covers a large proportion of the suburban residential zone. Sites are reasonably uniform in shape and size and the typical development is a single or two-storey house surrounded by lawns and gardens.

The proposed subdivision affects land that is zoned for residential activity under the District Plan. It is considered that the effects of the subdivision are anticipated by the zoning of the site even though the site area of Proposed Lot 1 is less than the minimum prescribed for a front site. The overall density of residential development anticipated for the zone is not compromised by the proposal as both lots are fully developed for residential purposes and the proposed subdivision does not physically alter the existing buildings or give any expectation of a change.

2. Transportation (Assessment Matters 18.6.1(c) and (m), 20.6)

Council's Technical Engineer, Transportation Planning, visited the site at the time of the original application for subdivision and advised that:

- *The Right of Way is over an existing 3.0 metre wide sealed driveway. The vehicle crossing and hard surfacing is adequate;*
- *Kaikorai Valley Road is classed as a regional road in the District Plan road hierarchy. On-site manoeuvring shall be provided to ensure that no vehicle is required to reverse onto or off a regional road. While manoeuvring is provided for Proposed Lot 2, there is inadequate manoeuvring area available for Proposed Lot 1. However, this is an existing situation, the use of the driveway is not increasing with this application and the physical constraints of the site do not allow any expansion of the manoeuvring area. Based on this, we can not request that a manoeuvring area be available on-site for Proposed Lot 1;*
- *The visibility is adequate in both directions when exiting the site;*
- *One car park is required on Proposed Lot 1. The garage and sealed area should provide sufficient parking for the site;*
- *Two parks are required on Proposed Lot 2. The paved driveway and parking area should provide sufficient parking for this site.*

Transportation Planning considered the effects of the proposal to be no more than minor and required no conditions on any resource consent issued.

Further, Council considers that adequate access is available to Proposed Lot 2, pursuant to an easement of right of way running with the land and appurtenant to this allotment, and that the effects on the environment of not providing legal frontage to Kaikorai Valley Road are no more than minor.

3. Infrastructure (Assessment Matters 18.6.1 (d), (e), (j) (n), (o), and (p))

Council's Water and Waste Business Unit considered the original application for subdivision and advised that the proposed lots have existing dwellings that are fully and independently served for wastewater, storm-water and water supply.

4. Reserves Network

The effect of the proposal on the city reserve network has been assessed as part of this proposal. Pursuant to Section 407(1) of the Resource Management Act 1991, Council can require reserve contributions on subdivisions in accordance with Section 285 of the Local Government Act 1974. This section of the Local Government Act 1974 requires 130m² of reserves for each additional allotment intended to be used solely or principally for a residential purpose, or a total contribution (whether in money or land or both) not exceeding 7.5% of the value of the additional lots.

In this case it was considered inappropriate to impose a financial contribution condition, as the proposed subdivision formalises an existing situation on the subject site.

CONSENT DECISION

*That pursuant to Section 34A(1) and 104B and after having regard to Part II matters and Sections 104 and 104D of the Resource Management Act 1991, the Dunedin City Council grants consent for a **non-complying activity** to subdivide 97 Kaikorai Valley Road, Dunedin, being the site legally described as Part Lot 8 Deposited Plan 1444 (Certificate of Title 16D/77), into two residential allotments subject to the following conditions imposed under section 108 and 220 of the Act:*

- (1) That the proposed activity shall be given effect to generally in accordance with Plan. 5821/2 prepared by D G Hatfield and Associates, titled 'Plan of Proposed Subdivision of Pt Lot 8, DP1444', and the details submitted with application RMA2005-0633, received by Council on 11 July 2005, except where modified by the following conditions of consent:*
- (2) Prior to certification of the survey plan pursuant to sections 223 and 224(c) of the Resource Management Act 1991, the applicant shall ensure the following:*
 - i. That the proposed right of way easement shall be shown on the survey plan in a Memorandum of Easements;*
 - ii. That easements for the right to convey water, power and telephone and all private drainage shall be reserved in the Memorandum of Easements;*
 - iii. That if a requirement for any easements for other services is incurred during the survey then those easements shall be granted or reserved and included in a Memorandum of Easements.*

ADVICE NOTES

- (1) In addition to the conditions of a resource consent, the Resource Management Act 1991 establishes through Sections 16 and 17, a duty for all persons to avoid unreasonable noise and to avoid, remedy or mitigate adverse effects created from an activity they undertake. A similar responsibility exists under the Health Act 1956.*
- (2) That a formal agreement should be drawn up between all owners to clarify their responsibilities regarding the maintenance of the Right of Way.*

DURATION OF CONSENT

This consent shall expire after a period of 5 years from the date of this decision unless the consent has been given effect to during this time. This period may be extended on application to Council pursuant to Section 125 of the Resource Management Act 1991.

REASONS

Effects

In accordance with section 104(1)(a) of the Resource Management Act 1991, the actual and potential adverse effects associated with the proposed activity have been assessed and are

outlined above. It is considered that the environmental effects of the proposed activity will be no more than minor.

District Plan – Objectives and Policies

In accordance with section 104(1)(b) of the Resource Management Act 1991, the Objectives and Policies of the Dunedin City District Plan were taken into account in assessing the application. The proposal is considered to be consistent with the objectives and policies of Section 4 (Sustainability); Section 8 (Residential); Section 18 (Subdivision) and Section 20 (Transportation). Of particular note are:

- **Objective 4.2.1 and Policy 4.3.1:** Which promote the enhancement of the amenity values of Dunedin.
- **Objective 8.2.1 and Policies 8.3.1 and 8.2.2:** Which require the adverse effects of activities and subdivision on the amenity values and character of residential areas to be avoided, remedied or mitigated.
- **Objectives 18.2.1, 18.2.2 and 18.2.6 and Policies 18.3.1 and 18.3.7:** That seek to ensure that the adverse effects of subdivision activities on the City's natural resources and infrastructure are avoided, remedied or mitigated and that subdivision activity takes place in a coordinated and sustainable manner throughout the City.
- **Objective 20.2.2 and Policy 20.3.4** seek to ensure that land use activities are undertaken in a manner, which avoids, remedies, or mitigates adverse effects on the transportation network.

The proposed activity is considered consistent with the objectives and policies of the Sustainability, Residential, Subdivision and Transportation Sections of the Dunedin City District Plan, with the assessment matters set out in sections 18.6.1, and 20.6, and with the anticipated environmental results of sections 18.7, and 20.7, for the reasons outlined under the heading 'Effects on the Environment' above.

Section 104D

Section 104D of the Resource Management Act specifies that a resource consent for a non-complying activity must not be granted unless the proposal can meet one of two limbs. The limbs of section 104D require either that the adverse effects on the environment will be no more than minor, or that the application is for an activity which will not be contrary to the Objectives and Policies of either the relevant plan or the relevant proposed plan. In this instance, Proposed Lots 1 & 2 fail to comply with the minimum site area and frontage requirements respectively. In my opinion, the effects of these departures from the Residential 1 performance standards will be no more than minor, as there are existing dwellings on both allotments. Therefore, Council can exercise its discretion under Section 104D to grant consent subject to the recommended conditions.

Other Matters

Recent case law has suggested that for Council to grant consent to a non-complying activity, the application needs to be a 'true exception' that does not threaten the integrity or consistent administration of the District Plan. The word 'true' is used in the sense of genuine or real so as to distinguish it from simply points of difference [Dunedin Ratepayers and Household Association v Dunedin City Council, C39/2004].

This subdivision is a non-complying activity, as Proposed Lots 1 & 2 fail to comply with the minimum site area and frontage requirements respectively.

However, the overall density of residential development anticipated in this zone is not compromised by the proposal as both lots are fully developed for residential purposes. Further, the proposed subdivision does not physically alter the existing buildings or give any expectation of a change. Therefore, I consider that granting consent to this subdivision will not threaten the integrity or consistent administration of the District Plan. In my opinion, the circumstances of the application warrant the granting of consent to this non-complying subdivision.

Part II Matters

The proposed activity has also been assessed in terms of Part II matters of the Resource Management Act 1991. For the reasons outlined above, the proposed activity is considered to be not contrary to section 5(2)(c); "Avoiding, remedying, or mitigating any adverse effects of activities on the environment", section 7(c) "The maintenance and enhancement of amenity values" and section 7(f) "The maintenance and enhancement of the quality of the environment."

COMPLIANCE WITH CONDITIONS

It is the applicant's responsibility to comply with any conditions imposed on this resource consent prior to and during (as applicable) exercising the resource consent. Failure to comply with the conditions may result in prosecution, the penalties for which are outlined in section 339 of the Resource Management Act 1991.

RIGHTS OF APPEAL

In accordance with section 357 of the Resource Management Act 1991, the consent holder may object to this decision or any condition within 15 working days of the decision being received, by applying in writing to the Dunedin City Council at the following address:

The Chief Executive
Dunedin City Council
P O Box 5045
DUNEDIN

Attn: Senior Planner – Enquiries 1st Floor

Yours faithfully



Tim Vial
PLANNER

19 July 2017

Rhys Heatley
99 Kaikorai Valley Road
Dunedin 9011

Dear Rhys

RESOURCE CONSENT APPLICATION: LUC-2017-185
99 KAIKORAI VALLEY ROAD
DUNEDIN

Your application for land use consent to erect a timber deck that breaches side yard setback and height plane angle requirements, and to install a retaining wall more than 1.5m high, was processed on a non-notified basis in accordance with Sections 95A to 95G of the Resource Management Act 1991. In considering Sections 95A to 95G, it was determined that any adverse effects would be no more than minor, all potentially affected parties have provided written approval to the application, and that there were no special circumstances in relation to the proposal. Therefore, public notification of the application was not required. The application was considered by a Senior Planner, under delegated authority, on 19 July 2017.

I advise that the Council has **granted** consent to the application. The decision is outlined below, and the decision certificate is attached to this letter.

DESCRIPTION OF ACTIVITY

The applicant seeks consent to construct a timber deck that breaches the side yard setback and height plane angle requirements of the district plan. In addition to this, the applicant also seeks consent to construct a replacement retaining wall up to 2.2m high within the required side yard setback.

The subject site is legally described as Lot 2 Deposited Plan 355930 and is held in Computer Freehold Register 228177.

REASONS FOR APPLICATION

Dunedin currently has two district plans: the Operative Dunedin City District Plan (the Operative Plan), and the Proposed Second Generation Dunedin City District Plan (the Proposed Plan). Until the Proposed Plan is made fully operative, both district plans need to be considered in determining the activity status and deciding what aspects of the activity require resource consent.

The activity status of the application is fixed by the provisions in place when the application was first lodged, pursuant to section 88A of the Resource Management Act 1991. However, it is the provisions of the Operative Plan in place at the time of the decision that must be had regard to when the application is assessed.

Operative District Plan

The subject site is zoned **Residential 1** in the Dunedin City District Plan. Kaikorai Valley Road is classified as a Regional Road in the Plan's Roding Hierarchy. A small portion of the site is subject to the Kaikorai Flood Hazard, but this portion is not relevant to the area of the proposal.

The deck does not comply with the following rules of the Residential 1 zone:

- Rule 8.7.2(i)(a), which requires a minimum yard of 2.0m. The proposed deck is to be located 450mm from the northeastern boundary of the site.
- Rule 8.7.2(ii), which requires a 63 degree height plane angle.

Due to these breaches, this part of the proposal is assessed as a **restricted discretionary** activity. The Council's discretion is restricted to the condition or conditions with which the activity fails to comply.

The proposed earthworks do not comply with Rule 17.7.3(i) Minimum Setback Distance, with respect to the distance of cut from the property boundary. The proposed retaining wall extends right up to the property boundary. As such, the this part of the proposal is assessed as a **restricted discretionary activity**, pursuant to Rule 17.7.5 (i).

The Council's discretion under this rule is restricted to:

- (a) Adverse effects on the amenity of neighbouring properties.

As the earthworks were not granted an earthworks permit prior to 1 July 2010 and do not form part of a project that was granted building consent on or after 1 July 2010, the Council's discretion will also extend to the following matters:

- (b) Design and engineering of retaining structures and earthworks.
- (c) Effects on the stability of land and buildings.
- (d) Effects on the surface flow of water and on flood risk.
- (e) Effects on underground utilities.

In assessing these effects, the Council will have regard to the matters in 17.8.1 and 17.8.2.

The proposed earthworks do not comply with either Rule 17.7.3(ii) Scale Thresholds or Rule 17.7.4(iii). In the residential zones, the maximum permitted ground level change is 1.5m. The proposed retaining wall is 2.2m high. As such, this element of the proposal is assessed as a **restricted discretionary activity**, pursuant to Rule 17.7.5 (ii).

The Council's discretion under this rule is restricted to:

- (a) Adverse effects on the amenity of neighbouring properties.
- (b) Effects on visual amenity and landscape.
- (c) Effects on any archaeological site and/or any cultural site.
- (d) Effects on the transportation network, caused by the transport of excavated material or fill.
- (e) Effects from the release of sediment beyond site boundaries, including transport of sediment by stormwater systems.
- (f) Cumulative effects relating to any of these matters.

As the earthworks were not granted an earthworks permit prior to 1 July 2010 and do not form part of a project that was granted building consent on or after 1 July 2010, the Council's discretion will also extend to the following matters:

- (g) Design and engineering of retaining structures and earthworks.
- (h) Effects on the stability of land and buildings.
- (i) Effects on the surface flow of water and on flood risk.
- (j) Effects on underground utilities.

In assessing these effects, the Council will have regard to the matters in 17.8.1 to 17.8.6.

Overall, in accordance with Rules 8.7.4 and 17.7.5(i), the proposal is a **restricted discretionary** activity.

Proposed District Plan

The subject site is General Residential in the proposed plan. It is also noted as being within an infrastructure constraint area.

The Proposed 2GP was notified on 26 September 2015, and some 2GP rules had immediate legal effect from this date. At the time of the issuing of this decision, the relevant rule provisions of the Proposed Plan have not been given effect or made operative. The relevant provisions are subject to submissions and could change as a consequence of the submission process. Accordingly, the Council need not have regard to the rule provisions of the Proposed Plan as part of the assessment of this application.

Planning Status

Overall having regard to both district plans, the proposal is considered to be a **restricted discretionary activity** in accordance with Operative Plan.

PLANNING ASSESSMENT

Affected Persons

The written approval of the person detailed in the table below has been obtained. In accordance with Section 104(3)(a)(ii) of the Resource Management Act, the Council cannot have regard to the effects of the activity on this person.

| Person | Owner | Occupier | Address | Obtained |
|---------------|--------------|-----------------|-------------------------|-----------------|
| A McKillop | ✓ | ✓ | 95 Kaikorai Valley Road | 26/4/17 |

No other persons are considered to be adversely affected by this proposal. The side yard with which the proposed deck will encroach is the boundary with 95 Kaikorai Valley Road.

Effects on the Environment

The following assessment of effects on the environment has been carried out in accordance with Section 104(1) of the Resource Management Act 1991. It addresses those assessment matters listed in Section 8.13 and 17.8 of the Dunedin City District Plan considered relevant to the proposed activity. The existing environment is characterised by suburban residential activity.

Any actual or potential effects on the environment of allowing this proposal to proceed will be no more than minor for the following reasons:

Operative Dunedin City District Plan

The Council can only consider the effects relating to the condition or conditions with which the proposal fails to comply. It is not considered necessary to apply the permitted baseline.

1 Bulk and Location, Amenity Values and Character and Design and Appearance (8.13.1, 8.13.3, 8.13.5 and 8.13.6)

The bulk and location of the structure will not cause any adverse effects on the wider environment surrounding the site. The effects are contained within the subject site and adjacent land and the written approval of the affected adjoining neighbours has been obtained. The proposal will not detract from the amenity

values of the zone, and will not adversely affect the character of the area. This is because the proposal is set back from the street frontage and the work is consistent with the receiving environment.

Overall, it is considered that any adverse effects of the proposal on bulk and location, amenity, character, design and appearance are considered to be no more than minor.

2 Effects on Stability and Sedimentation Effects (Assessment Matter 17.8.1 and 17.8.6)

The application was sent to Council's engineering consultants, MWH Stantec, for assessment. Consultant civil engineer Mr Jon Kemp has commented as follows:

Global Setting

The underlying geology consists of Caversham sandstone. The property consists of gentle slopes ranging from 15 degrees to less than 12 degrees.

Earthworks / Excavations / Retaining Structures

The proposed works include the removal of an existing retaining wall located approximately 575mm from the site boundary. The proposed deck is to be erected in this location and encroaching to 450mm from the property boundary. A new concrete block retaining wall up to 2.2m high with a balustrade is proposed to run along the southern property boundary for 2.4m.

Discussion

Whilst the proposed works are to be undertaken close of on the property boundary there are no adjacent structures that would be affected. There are no general potential instabilities of concern. The proposal will not create or exacerbate instabilities on this or adjacent properties.

Mr Kemp's advice is accepted, and subject to the inclusion of his proposed condition regarding the need for any retaining walls over 1.5m, or a surcharge / slope, including terracing, require design, specification and supervision by appropriately qualified person/s, and his advice regarding temporary stability, it is considered that any adverse effects associated with the retaining wall will be no more than minor.

3 Effects on Neighbours (Assessment Matter 17.8.2)

The proposed earthworks are associated with residential activity and are, therefore, anticipated within this zone. The earthworks will be contained within the subject site. The earthworks will result in cuts rather than elevated ground levels, thereby reducing the effect of the development on the neighbours rather than increasing the impact.

Overall, I consider that the development of the site is associated with residential activity and is to be expected within this zone. Provided conditions of consent are adhered to and advice notes followed, I consider that the effects on the neighbours will be no more than minor.

4 Cumulative Effects (8.13.13)

The effects of the existing activity in the area are presently not significant. The effects from this proposal are not expected to add to the existing effects such that the cumulative effects will be no more than minor. Future applications for activity in the area, beyond that permitted 'as-of-right' by the District Plan, will be assessed as and when they arise and the potential for cumulative effects considered again at that time.

Proposed District Plan

In this instance, there are no applicable assessment rules.

CONSENT DECISION

*That, pursuant to Sections 34A(1), 104 and 104C of the Resource Management Act 1991, and the provisions of the Dunedin City District Plan, the Dunedin City Council grants consent to a **discretionary (restricted)** activity being the construction of a deck that breaches yard setback and height plane angle requirements, and the construction of a replacement retaining wall adjacent to the site boundary, on the site at 99 Kaikorai Valley Road, legally described as Lot 2 Deposited Plan 355930 (Computer Freehold Register 228177), subject to the conditions imposed under Section 108 of the Act, as shown on the attached certificate.*

REASONS

Effects

In accordance with Section 104(1)(a) of the Resource Management Act 1991, the actual and potential adverse effects associated with the proposed activities have been assessed and outlined above. It is considered that the adverse effects on the environment arising from the proposal are no more than minor.

Objectives and Policies

In accordance with Section 104(1)(b) of the Resource Management Act 1991, the objectives and policies of the Dunedin City District Plan and the proposed 2GP were taken into account when assessing the application.

Operative District Plan

The proposal is considered to be consistent with the following objectives and policies:

- **Objective 4.2.1 and Policy 4.3.1 (Sustainability Section)** that seek to enhance and maintain the amenity values of the Dunedin area.
- **Objective 8.2.1 and Policy 8.3.1 (Residential Section)** that seek to ensure the adverse effects on the amenity values and character of residential areas are avoided remedied or mitigated.
- **Objective 17.2.3 and Policy 17.3.9 (Earthworks Section)** that seek to control the location and scale of earthworks and to ensure that earthworks are undertaken in a manner that is safe and in a manner that minimises adverse effects on the environment.

Proposed District Plan

The objectives and policies of the 2GP must be considered alongside the objectives and policies of the current district plan. The proposal is considered to be consistent with the following 2GP objectives and policies:

- **Objective 15.2.2 and Policy 15.2.2.1 (Residential Zones)**, which seek to ensure that residential activities, development, and subdivision activities provide high quality on-site amenity for residents
- **Objective 15.2.3 and Policy 15.2.3.1 (Residential Zones)**, which seek to ensure that activities in residential zones maintain a good level of amenity on surrounding residential properties and public spaces.
- **Objective 15.2.5 and Policies 15.2.5.1, 15.2.5.2 and 15.2.5.3 (Residential Zones)**, which seek to ensure that earthworks associated with permitted or approved land uses are enabled, while avoiding or mitigating adverse effects on visual amenity and character, the stability of land and buildings, and surrounding properties.

As the Proposed 2GP is not far through the submission and decision-making process, the objectives and policies of the Dunedin City District Plan have been given more consideration than those of the Proposed 2GP.

RIGHTS OF OBJECTION

In accordance with Section 357A of the Resource Management Act 1991, the consent holder may object to this decision or any condition within 15 working days of the decision being received, by applying in writing to the Dunedin City Council at the following address:

Senior Planner - Enquiries
Dunedin City Council
PO Box 5045
Moray Place
Dunedin 9058

MONITORING

Section 35(2)(d) of the RMA requires every council to monitor resource consents that have effect in its region or district. The scale and nature of the activity, the complexity and number of the conditions needed to address the environmental effects and whether the conditions have been complied with determines the number of monitoring inspections required. Given the nature of your intended works/activity, this consent will require one inspection.

The City Planning Department sets out the fixed fees charged for monitoring in its schedule of fees. The fee for your scheduled inspection will be included in the invoice for your application.

It should be noted that if additional inspections are required, beyond those scheduled at the time the consent is issued, then there is the ability to apply additional charges to cover the costs of these extra inspections. Often you can reduce the need for additional inspections by complying with the conditions of consent in a timely manner and by ensuring on-going compliance with those conditions. Please ensure that you read the conditions of your consent carefully to establish your obligations when exercising your consents.

Yours faithfully

James Coutts
Planner

Consent Type: Land Use Consent

Consent Number: LUC-2017-185

Pursuant to Sections 34A(1), 104 and 104C of the Resource Management Act 1991, and the provisions of the Dunedin City District Plan, the Dunedin City Council grants consent to construct a deck that breaches yard setback and height plane angle requirements, and construct a retaining wall, subject to the conditions below, imposed under Section 108 of the Act.

Location of Activity: 99 Kaikorai Valley Road, Dunedin

Legal Description: Lot 2 Deposited Plan 355930 (Computer Freehold Register 228177)

Lapse Date: 19 July 2022, unless the consent has been given effect to before this date.

Conditions:

- 1 *The proposed activity must be undertaken in general accordance with the site plan, elevations and the information provided with the resource consent application, received by the Council on 27 April 2017; except where modified by the following conditions.*
- 2 *Any walls retaining over 1.5m, or a surcharge / slope, including terracing, require design, specification and supervision by appropriately qualified person/s*
- 3 *The consent holder shall provide notice to the Resource Consent Monitoring team by email to rcmonitoring@dcc.govt.nz of the start date of the works. This notice shall be provided at least five (5) working days before the works are to commence*

Advice Notes:

- 1 In addition to the conditions of a resource consent, the Resource Management Act 1991 establishes through Sections 16 and 17 a duty for all persons to avoid unreasonable noise, and to avoid, remedy or mitigate any adverse effect created from an activity they undertake.
- 2 Resource consents are not personal property. This consent attaches to the land to which it relates, and consequently the ability to exercise this consent is not restricted to the party who applied and/or paid for the consent application.
- 3 The lapse period specified above may be extended on application to the Council pursuant to section 125 of the Resource Management Act 1991.
- 4 It is the responsibility of any party exercising this consent to comply with any conditions imposed on the resource consent prior to and during (as applicable) exercising the resource consent. Failure to comply with the conditions may result in prosecution, the penalties for which are outlined in section 339 of the Resource Management Act 1991.

- 5 This is a resource consent. Please contact the Council's Building Control Office, Development Services, about the building consent requirements for the work.
- 6 Temporary stability may be a concern on this project, and remains the responsibility of the developer.
- 7 No earthworks may be undertaken until building consent has been granted.

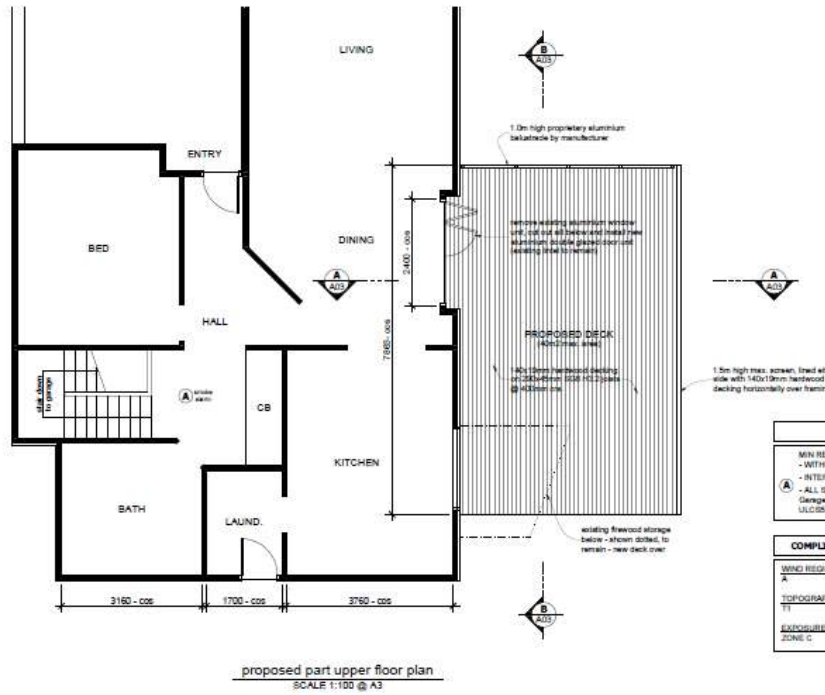
Issued at Dunedin this 19th of July 2017

James Coutts
Planner

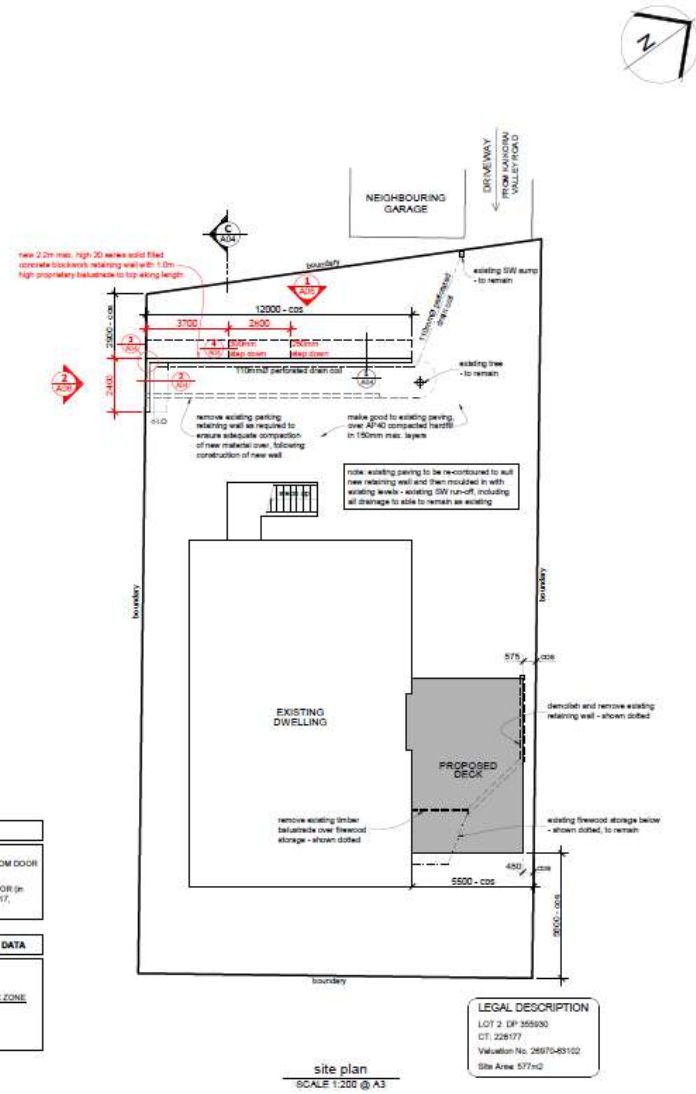
Appendix 1 - Approved plan for LUC-2017-185

[Scanned images - Not to Scale]

| FIRE DESIGN SUMMARY | |
|---|---|
| <p>The purpose of this summary is to illustrate compliance with Code Clauses C1 through to C 8 as applicable using The Appropriate Acceptable Solutions. This summary doesn't address any matter beyond these code clauses and building act requirements.</p> <p>The Purpose group is SH(Sleeping Single Home)</p> <p>The Risk group is SH</p> <p>The applicable acceptable solution is CAS1.</p> <p>The importance level is level 2.</p> | <p>Part 5: Control of external fire spread</p> <p>5.1 Fire resistance ratings</p> <p>Non-sprinkler protected buildings, FRR S0/S00, et... Where part of the external wall is less than 1.0m and less than 90° from the relevant boundary.</p> <p>- The deck / carport is located a minimum of 450mm from the existing north-west side boundary of the property.</p> |
| <p>1 General</p> <p>99 Kaikorai Valley Road, Dunedin</p> <p>The proposed deck is positioned at first floor level and forms a carport over the existing driveway area - to allow access to the garage of the existing dwelling, whilst allowing parking beneath.</p> <p>The deck / carport is self-supporting, with no structural connection to the existing dwelling.</p> <p>The deck-end open path length, taken into consideration the new deck is well within the 20m maximum distance allowed.</p> <p>The existing egress from the building through the front door is not impeded by the new deck / carport as it is located alongside, such occupants do not have to pass under the deck to exit the building.</p> | <p>Part 5.5: Carports and similar construction</p> <p>100% unprotected area, - 2 sides open, ... under same ownership - roof plan area no more than 40m², no part of roof closer than 0.3m to relevant boundary.</p> <p>- "Carports or similar construction"</p> <p>- note, refer to MSB - Determination 2017/002 - "Regarding the requirement for fire resistance of a slatted timber deck over a carporting area..."</p> <p>- 2 sides open, existing ground levels remain</p> <p>- same ownership</p> <p>- less than 40m² area</p> <p>- 450mm min. to relevant boundary</p> <p>The risk of fire outbreak from occupying a deck area is no greater than the risk of fire outbreak from a motor vehicle parked in the same location.</p> <p>Acceptable solution effective 1 January 2017.</p> |



| SMOKE ALARMS | |
|--|---------------------------|
| MIN REQUIRED | |
| - INTER 3 METRES OF EVERY BEDROOM DOOR | |
| - INTERCONNECTED INSTALLATION | |
| - ALL SMOKE ALARMS & HEAT DETECTOR (in Garage) TO COMPLY WITH EITHER UL217, UL2581, AIC3796 OR BS5446 PT. 1. | |
| COMPLIANCE INFORMATION - SITE DATA | |
| WIND REGION A | WIND ZONE HIGH |
| TOPOGRAPHICAL CLASS T1 | EARTHQUAKE ZONE ZONE 1 |
| EXPOSURE ZONE ZONE C | |



SITE PLAN & PROPOSED PART UPPER FLOOR PLAN

LEGAL DESCRIPTION
LOT 2 DP 355930
CT 228177
Valuation No. 26976-83102
Site Area 577m²

Issue BUILDING CONSENT

