

DISCLAIMER

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Dunedin City Council – Land Information Memorandum

Property Address: 6 Kohi Place Port Chalmers

Prepared for: Tristan Maximilien Sansiquet and Amandine Jeannine Monique Sabadel.

Prepared on: 15-Apr-2026

Property Details:

Property ID	5057152
Address	6 Kohi Place Port Chalmers
Parcels	LOT 6 DP 10276

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 15-Apr-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **5th August 1994**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Urban Stormwater Catchment

This property is located within an urban stormwater catchment that has been modelled in a study to determine the potential effects of land use and climate change that may occur over the next 50 years. This indicates that some areas of the catchment might be subject to a potential flooding risk or surface water ponding during particular rainfall events.

These effects are outlined in the Integrated Catchment Management Plans (ICMPs) that are available on the Council website. The ICMPs show the areas in the catchment that have been modelled which might be susceptible to a higher risk of flooding. The ICMPs contain maps that indicate a potential worst case scenario for a 1 in 100 year rainfall event. However, there are a series of maps also available that show modelling results from a range of other scenarios.

While the maps have been produced to help Council manage the reticulation networks, they are not sufficiently detailed to specifically account for individual properties which may be affected by local factors not included in the models.

For further information please contact 3 Waters Services at Dunedin City Council.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2057152
Address	6 Kohi Place Port Chalmers
Valuation Number	26640-10009
Latest Valuation Details	
Capital Value	\$570,000
Land Value	\$235,000
Value of Improvements	\$335,000
Area (Hectares)	0.0544HA
Units of Use	1
Current Rates	
Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$3,866.80
Rates Outstanding for Year	\$966.70

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	/CCC	-	
	Refused	-	
	Lapsed	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2004-305236](#) Building Consent - Convert Basement Garage into Bedroom/Storeroom

Lodgement Date 18-Aug-2004
Decision Granted
Decision Date 27-Aug-2004
Current Status **CCC Issued**
Previous Number ABA42480
(Applications before 2007)

[ABA-2008-701](#) Building Consent - Install Logaire Minos Ash Hearth Heater

Lodgement Date 07-Apr-2008
Decision Granted
Decision Date 11-Apr-2008
Current Status **CCC Issued**
Previous Number
(Applications before 2007)

[ABA-2020-2385](#) Building Consent - Alter Dwelling - Convert Basement Store to Enlarged Bathroom and Relocate Laundry

Lodgement Date 03-Nov-2020
Decision Granted
Decision Date 09-Dec-2020
Current Status **CCC Issued**
Previous Number
(Applications before 2007)

Building and Drainage Permits

[H-1985-270413](#) AAP19850129

C040451 - Alter Laundry and Workshop (Innes). The permit was lodged on 21-May-1985.

[H-1968-268630](#) AAP19680042

A065117 - Erect New Dwelling (Mackie). The permit was lodged on 11-Nov-1968.

[H-1968-268631](#) AAP19680043

445 - Plumbing and Drainage for New Dwelling (Mackie). The permit was lodged on 23-Dec-1968.

[H-1978-269600](#) AAP19780052

137589 - Build Retaining Wall (Heineman). The permit was lodged on 18-Apr-1978.

[H-1988-270761](#) AAP19880111

G040765 - Install Yunca Heater (Innes). The permit was lodged on 10-May-1988.

[H-1989-270861](#) AAP19890102

G047370 - Add to Dwelling (Innes). The permit was lodged on 01-Aug-1989.

[H-1985-270447](#) AAP19850178

31 - Plumbing and Drainage, No Plan (Innes). The permit was lodged on 21-May-1985.

[H-1987-270590](#) AAP19870024

D040777 - Install Atlas Destructor Heater (Innes). The permit was lodged on 14-Aug-1987.

[H-1987-270630](#) AAP19870090

223 - Plumbing and Drainage, No Plan (Innes). The permit was lodged on 18-Sep-1987.

Building Notices

Approved discretionary exemption from building consent under schedule 1, clause 2 of the Building Act 2004

Please note the Council will not inspect the completed building work specified in the exemption in regards to compliance with the New Zealand Building Code/Act, or to assess the quality of work.

It is the owner's responsibility to ensure the proposed building work is completed in accordance with the approved exemption.

All plans, documentation and reports submitted to the Council are public record and may be disclosed on request.

Please refer to the Ministry of Business Innovation and Employment website for information about discretionary building work exemptions: <https://www.building.govt.nz/projects-and-consents/planning-a-successful-build/scope-and-design/check-if-you-need-consents/building-consent-exemptions-for-low-risk-work/schedule-1-guidance/part-1-exempted-building-work/2-territorial-and-regional-authority-discretionary-exemptions/>

An exemption (under PT1CLAUSE2) was submitted to Council on 16-Aug-2017

Install Insulmax existing wall insulation into exterior walls

Resource Consents

There are no resource consents for this property.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan ("The 2GP") is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- Township and Settlement (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Nil

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Seepage

A seepage incident has been lodged on this property.

Seepage Incident 54236 – 05/02/2004 – Completed.

Foul Sewer and Waste Water

Restrictions near Council infrastructure

There is Dunedin City Council water infrastructure located within the boundaries of this property, as shown on the attached reticulation plans.

Relevant deposited plans, certificates of title and memoranda of transfer at Land Information New Zealand (www.linz.govt.nz) should be reviewed for information relating to any existing registered easements. However, as the Local Government Act 2002 (LGA) provides statutory rights for public infrastructure, easements are not always registered.

No building or structure shall be constructed within 2.5 metres of any Council-owned underground infrastructure, or as specified on any registered easement, without the written approval of the Council.

Infrastructure shall not be damaged or otherwise interfered with. Prior to commencing any works within the subject property, all Council-owned structures, mains and service pipes, and associated fittings are to be located on-site and, if necessary, protected.

The Council can enter the land to inspect, alter, renew, repair or clean its infrastructure under the LGA. For planned works, reasonable notice will be given.

Within new land subdivisions the Council requires an easement in gross over public water supply infrastructure. The easement in gross must be a minimum of 3 metres wide, centred on the as-built position, and made in accordance with the Dunedin Code of Subdivision and Development 2010: Section 6.3.10.3 (Water).

Planting near infrastructure should be avoided, particularly large trees or other species whose roots could cause damage.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 6 Kohi Place Port Chalmers

[5057148 8 Kohi Place Port Chalmers](#)

[RMA-2004-367794](#) Resource Management Act (Historical Data) LIFT ADDITION ONTO DWELLING ON UNDERSIZED RURAL ALLOT-M ENT (Non-Notified - Non Complying). The outcome was Granted on 28/05/2004.

[5057151 4 Kohi Place Port Chalmers](#)

[RMA-1998-361774](#) Resource Management Act (Historical Data) Yard Encroachment by proposed new Deck (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 06/05/1998.

[5057155 7 Kohi Place Port Chalmers](#)

[RMA-2005-369583](#) Resource Management Act (Historical Data) LAND USE CONSENT TO ADD A DECK AND CONSERVATORY TO A DWELLING (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 16/11/2005.

[5057333 PT TOWN BELT SO 14726 TN OF PORT CHALMERS Macandrew Road Careys Bay](#)

[LUC-2009-508](#) Land Use Consent construction of noise monitor enclosure at Port Chalmers Cemetery. The outcome was Granted on 09/12/2009.

[5068362 100 Blueskin Road Port Chalmers](#)

[LUC-2015-147](#) Land Use Consent works around significant tree T206. The outcome was Granted on 31/03/2015.

[RMA-2003-367129](#) Resource Management Act (Historical Data) Construct a viewing platform and access at Lady Thorn Dell (Non-Notified - Restricted Discretionary). The outcome was Granted on 06/11/2003.

[5108925 LOT 3 Dunedin - Tranzrail \(N/R\) Dunedin](#)

[LUC-2021-88](#) Land Use Consent To undertake additional earthworks in association with the construction of the shared pathway route from St Leonards to Port Chalmers. The outcome was Granted on 11/05/2021.

[LUC-2018-371](#) Land Use Consent alterations to the Otago Harbour Wall, earthworks (including earthworks in a coastal habitat) and construction of a boardwalk (to the extent that is not within the coastal marine area) associated with the shared cycling and pedestrian path. The outcome was Granted on 21/09/2018.

[LUC-2017-14](#) Land Use Consent construction of the St Leonards to Port Chalmers Shared Pathway at Various Sites along the St Leonards to Port Chalmers Shared Pathway Route. The outcome was Granted on 11/04/2017.

[LUC-2013-99](#) Land Use Consent mural on retaining wall. The outcome was Granted on 02/04/2013.

[SUB-2011-61](#) Subdivision Consent amalgamation subdivision - subdivide railway land at Burnside into an industrial lot and a balance lot. The outcome was Granted on 15/07/2011.

[RMA-2006-370524](#) Resource Management Act (Historical Data) construct and operate a self-service fuel facility. The outcome was Granted on 29/10/2007.

[RMA-2004-368439](#) Resource Management Act (Historical Data) CREATE A THREE LOT INDUSTRIAL 1 SUBDIVISION (Non-Notified - Restricted Discretionary). The outcome was Granted on 02/12/2004.

[RMA-2001-365039](#) Resource Management Act (Historical Data) REPLACEMENT OF ADVERTISING HOARDINGS ON THE RAILWAY EMBANKMENT ADJACENT TO THE OVERBRIDGE AT KING EDWARD STREET, ON THE EAST SIDE OF THE ROAD AND NORTH SIDE OF THE RAILWAY LINE (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365038](#) Resource Management Act (Historical Data) REPLACEMENT OF ADVERTISING HOARDINGS ON THE RAILWAY EMBANKMENT ADJACENT TO THE OVERBRIDGE AT KING EDWARD STREET, ON THE WEST SIDE OF THE ROAD AND NORTH SIDE OF THE RAILWAY LINE (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365036](#) Resource Management Act (Historical Data) REPLACEMENT OF THE ADVERTISING HOARDINGS ON THE NORTH SIDE OF THE RAIL OVERBRIDGE ON ANDERSONS BAY ROAD (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365035](#) Resource Management Act (Historical Data) MODIFICATION TO THE ADVERTISING HOARDINGS AT THE SOUTH END OF THE RAIL YARD AREA ON THE EAST SIDE OF ANDERSONS BAY ROAD (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2001-365034](#) Resource Management Act (Historical Data) REPLACEMENT OF THE ADVERTISING HOARDINGS ON RAILWAY LAND AT THE SOUTH END OF CUMBERLAND ST, DUNEDIN (ON THE EAST SIDE OF THE ROAD ADJACENT TO THE JUNCTION WITH ANDERSONS BAY ROAD) (Non-Notified - Non Complying). The outcome was Granted on 11/10/2001.

[RMA-2002-366126](#) Resource Management Act (Historical Data) CERTIFICATE OF COMPLIANCE FOR THE ERECTION, OPERATION AND MAINTENANCE OF A REPLACEMENT SULPHURIC ACID CONVERTER (Other). The outcome was Granted on 04/12/2002.

[RMA-1999-362972](#) Resource Management Act (Historical Data) PAINT MURAL ON BOTH SIDES OF CONCRETE UNDERPASS ABUTMENTS OF THE WILKIE ROAD/NEVILLE STREET OVERBRIDGE (Non-Notified - Restricted Discretionary). The outcome was Granted on 20/08/1999.

[RMA-1997-361305](#) Resource Management Act (Historical Data) VARIATION TO SUBDIVISION CONSENT AND EXTENSION OF TIME FOR SUBDIVISION OF LOT 1 DP 25158 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 13/10/1997.

[RMA-1991-350984](#) Resource Management Act (Historical Data) Report Ownr:RAILWAYS (Non-Notified - Non Complying). The outcome was Granted on 24/05/1991.

[RMA-1993-355755](#) Resource Management Act (Historical Data) Subdivision for disposal of surplus railway land App: WORKS CONSULTANCY (Non-Notified - Non Complying). The outcome was Granted on 25/06/1993.

[5111553 15 Church Street Port Chalmers](#)

[LUC-2015-147](#) Land Use Consent works around significant tree T206. The outcome was Granted on 31/03/2015.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Environmental Health

This property is in the vicinity of Port Otago. As with most properties in Port Chalmers, noise from Port operations may at times be audible. Some areas of Port Chalmers and Careys Bay are within the Port Noise Zone and may be subject to the Port Mitigation Plan. The applicant should contact Port Otago for further information.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Shared private driveway – vehicle access to this property is over adjoining property boundary.

Access to this property appears to be via a private driveway over the adjoining property boundary. The maintenance of the private driveway/s is the property owners/users responsibility. Please consult with your Lawyer to find out if this is registered under your property title and/or there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

Non-compliant vehicle crossing – property lower than road/no stormwater run-off.

It appears there are no stormwater provisions in place for this vehicle crossing and with this property being lower than the road, the property may take water from the road as a secondary flow path. To meet current Council standards the stormwater run-off would be required to be captured at the boundary and managed in a way where it does not cause a nuisance to neighbouring properties and prevent water entering your property via the driveway. For example: a strip drain with sump or a sump and piped to the kerb and channel. Council accepts this situation but accepts no liability and the maintenance is the responsibility of the property owner. This may be required to be upgraded in the future.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

MH Manhole
PL Plumbing
PLB Plumbing
PTE Private
SIS Sewer in section
WC Water course
WT Water table
SW Stormwater

General terms

RDMS Records and Document Management System

Appendices



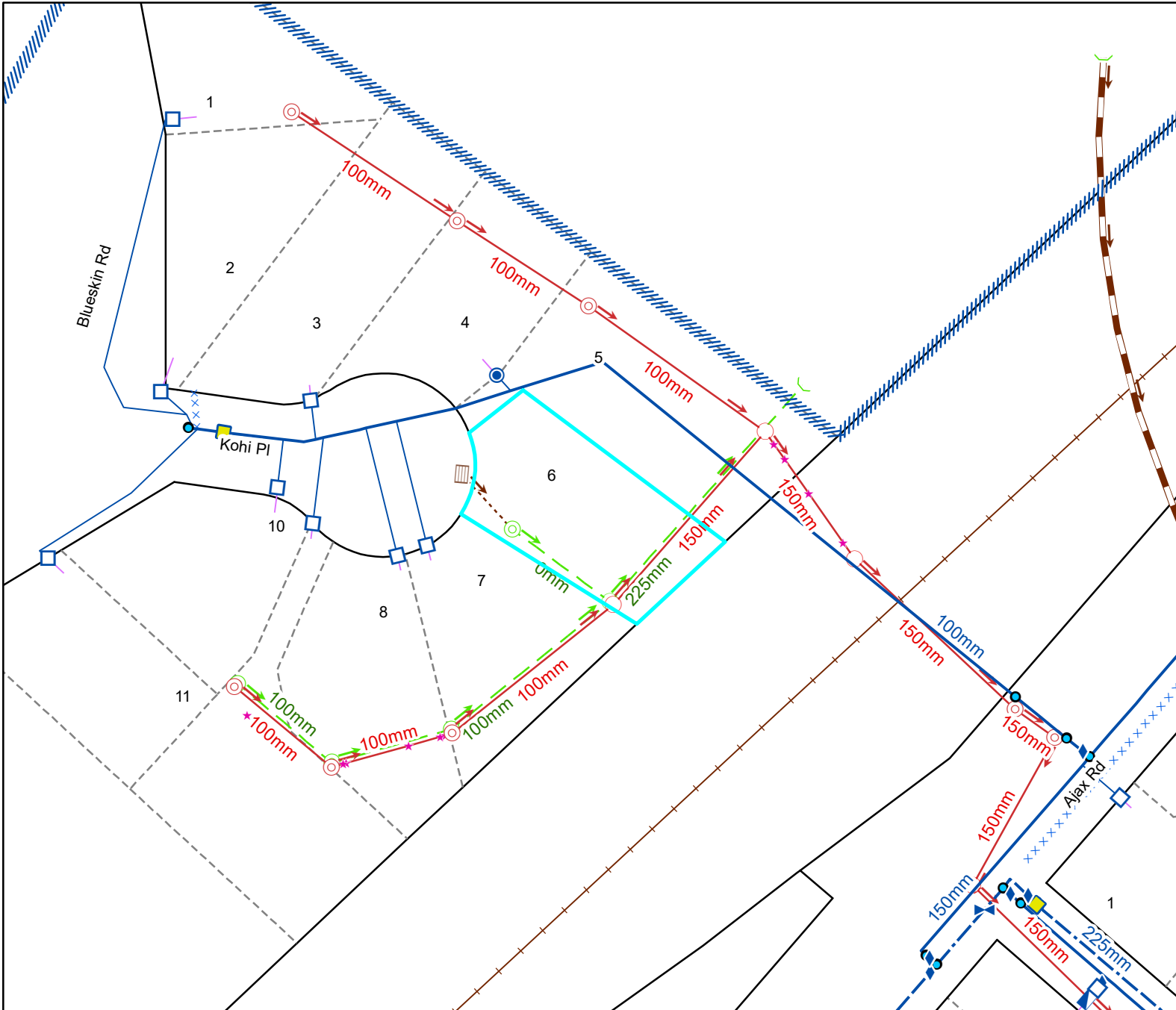
Photographic Map

Scale at A4:
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 9/04/2026
 8:03:06 PM



PARCEL LINES CAN VARY FROM
 LEGAL PARCEL BOUNDARIES
 This map is for illustration purposes only
 and is not accurate to surveying, engineering
 or orthographic standards. Every effort
 has been made to ensure correctness and
 timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys
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 2013 Urban and rural photography Jan/Feb 2013.
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 2006/2007 Urban photography March 2007,
 copyright NZAM. Rural photography March
 2006, copyright Terralink International Ltd.



Legend

Water Supply	
	Manifold Box
	Water Meter
	Toby
	Meter without manifold box
	Retic Flow Meter
	Combination Meter
	Manifold Box With Restrictor
	Water Valve - Zone
	Non Return Valve
	Water Valve - Gate
	Water Valve - Sluice
	Water Hydrant
	Water Backflow Preventor - RPZ
	Water Non-Return Valve
	Water Pump Station
	Water Bore
	Water Treatment Plant
	Water Storage Tank
	Supply Main
	Trunk Main
	Disused
	Reticulation
	Scour
	Water Service Lateral
	Water Fire Service Lateral
	Water Critical Service Lateral
	Water Zone Boundary
	Water Reservoir
	Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage	
	Standard Manhole
	Valve Chamber (pressurised)
	Boundary Kit
	Non-Return Valve
	Pump Station Domestic
	Drop Manhole
	Inspection Manhole
	Inspection Opening
	Lamphole
	Outlet
	Pump Station
	Treatment Plant
	Vent
	Foul Sewer Node
	Foul Drains in Common (public)
	Sewer
	Trunk Sewer
	Vent Line
	Rising Main
	Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater	
	SW Bubble-up Tank
	SW Drop Manhole
	SW Insp Chamber and Grating Inlet
	SW Inspection Manhole
	SW Inspection Opening
	SW Lamphole
	SW Mudtank Inlet
	SW Outlet
	SW Pipe Inlet
	SW Pressure Manhole
	SW Standard Manhole
	SW Stormwater Node
	Roading Bubble-Up Tank
	Roading Mudtank
	Stormwater Main
	Stormwater Trunk Main
	DCC Open Channel
	Piped WC
	Open WC
	Culvert
	Stormwater Mudtank Pipe
	Redundant Stormwater Main
	SW Sump
	SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General		Cadastral	
	DCC Water & Waste Structure		Parcel
	Hydro		Road/Rail
	Railway Centreline		Motorway Parcels
			Strata
			Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
1:750
9/04/2026
8:03:13 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

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2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.

52'

LOT 6
D.P. 10276
PT. CHALMERS.

GARAGE UNDER.

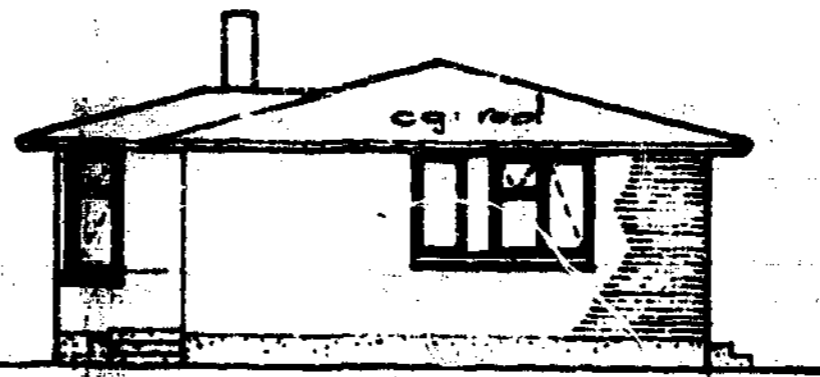
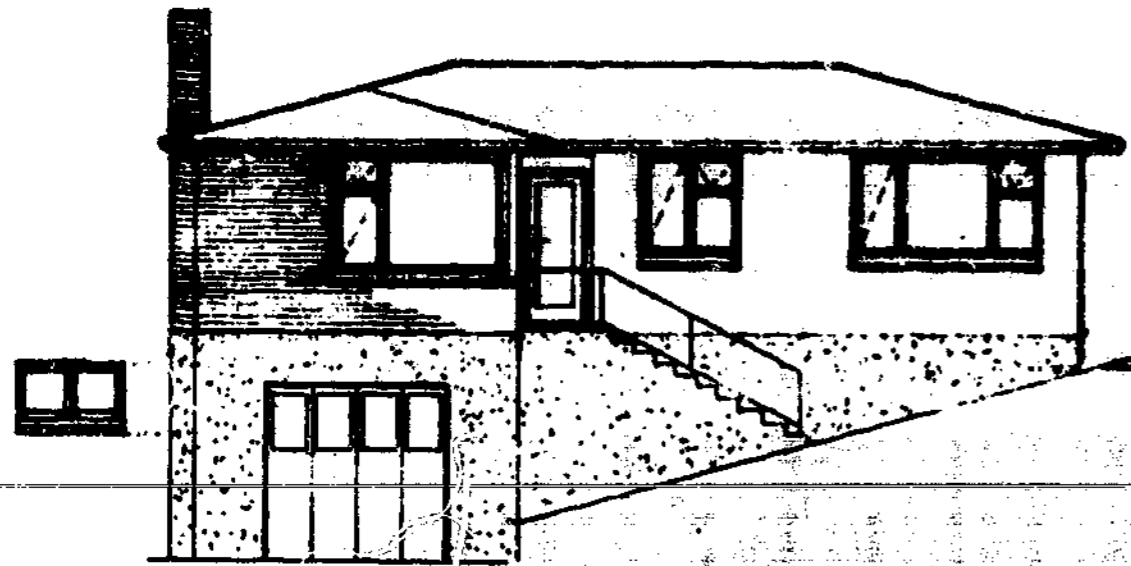
12'

37'

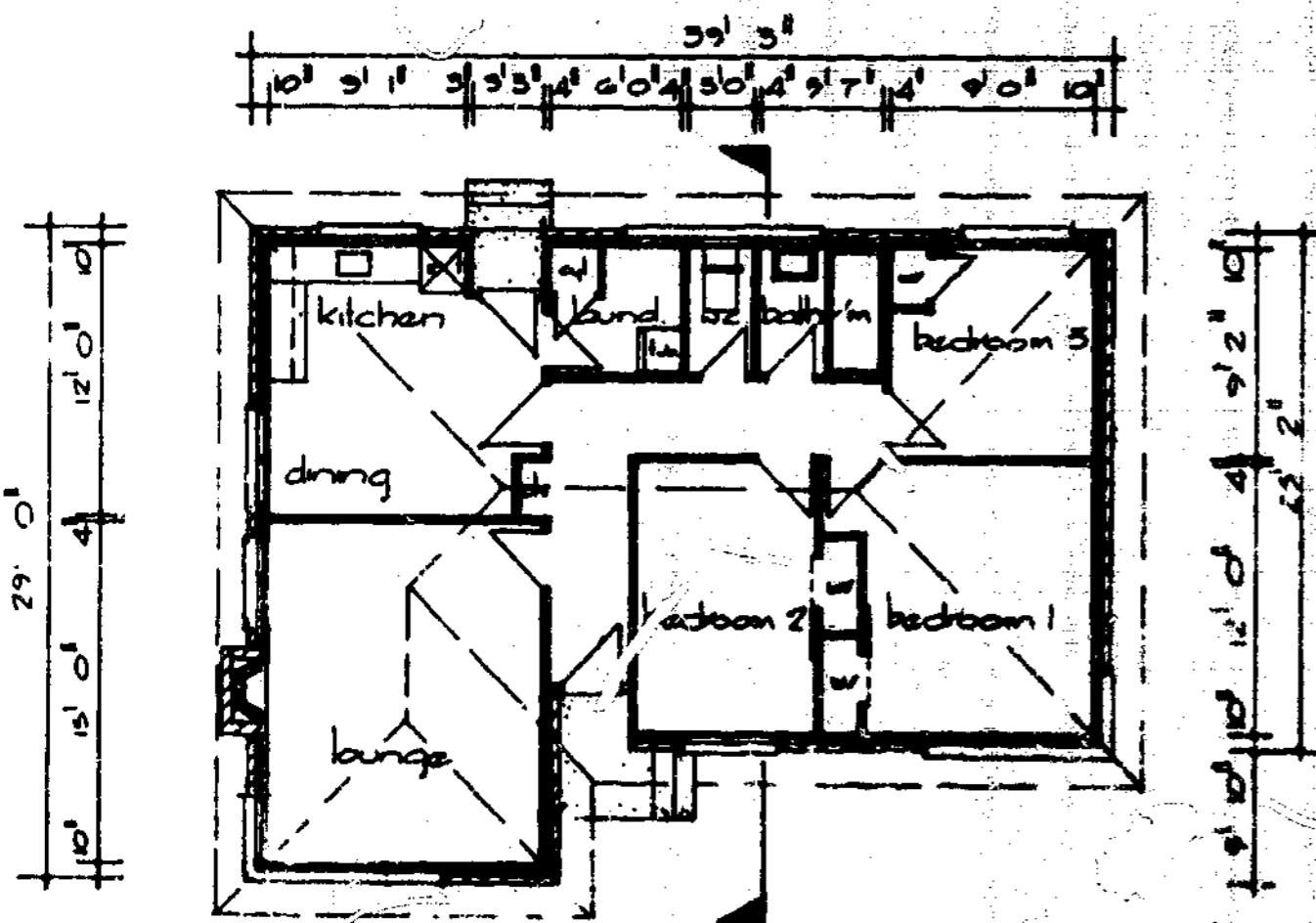
KOHU PLACE

38'

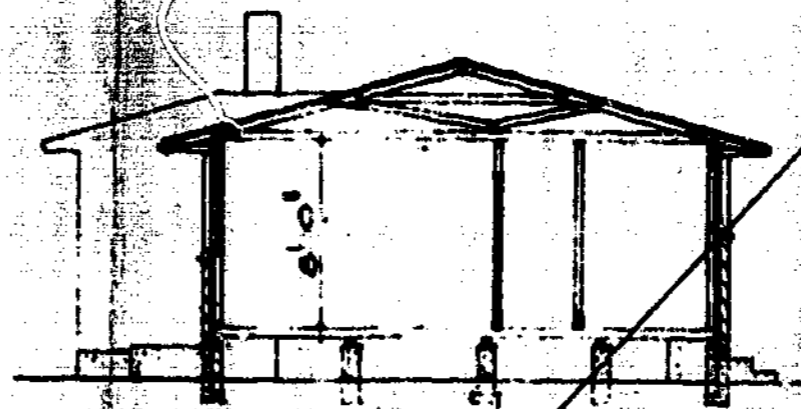




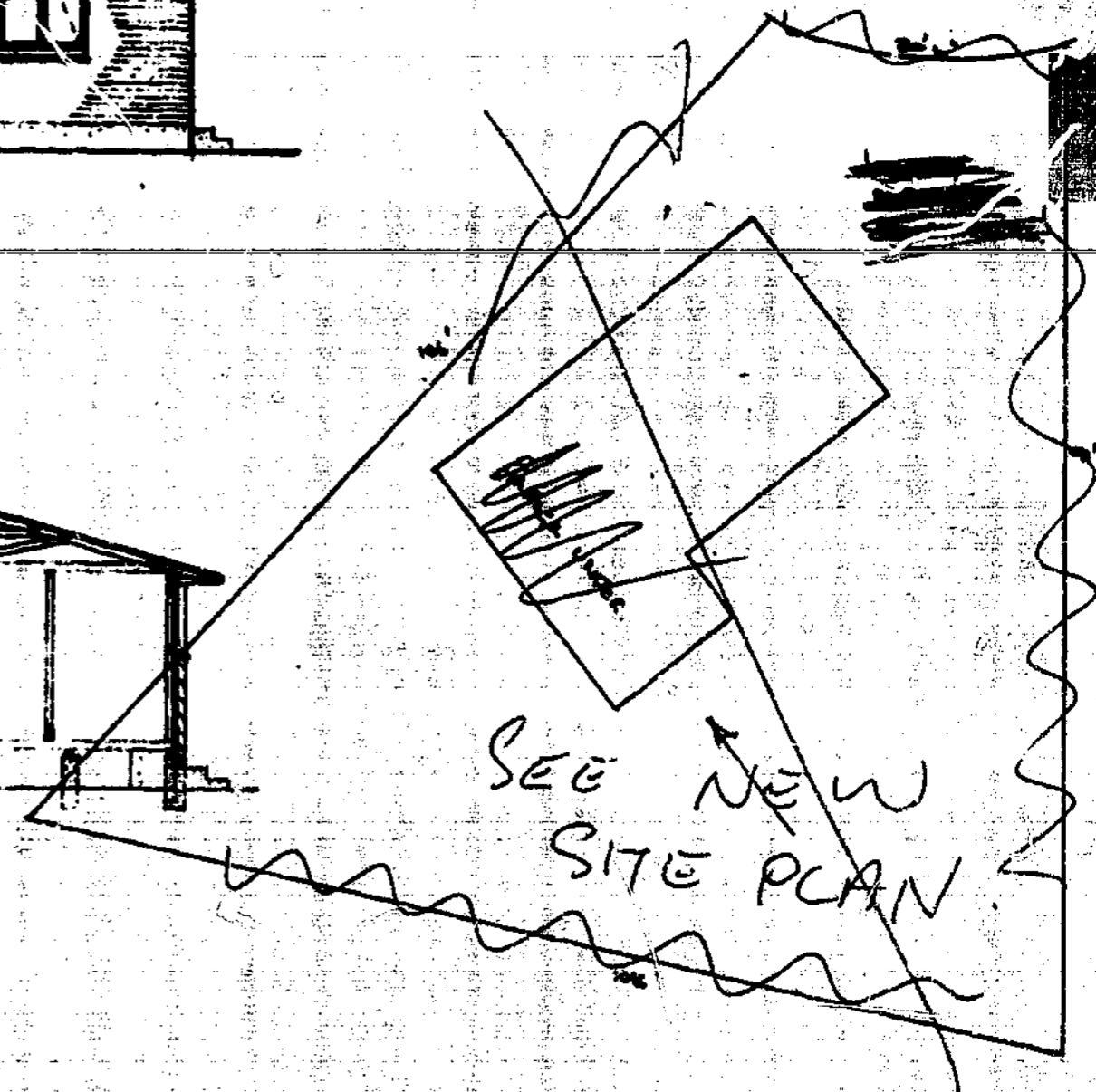
ELEVATION



FLOOR PLAN
scale 1/16" = 1' 0"



SECTION
scale 1/8" = 1'



SITE PLAN
scale 1/16" = 1' 0"

STONE CONSTRUCTION Ltd
PLAN No 56A

PROPOSED RESIDENCE for M^{rs} MACKIE.

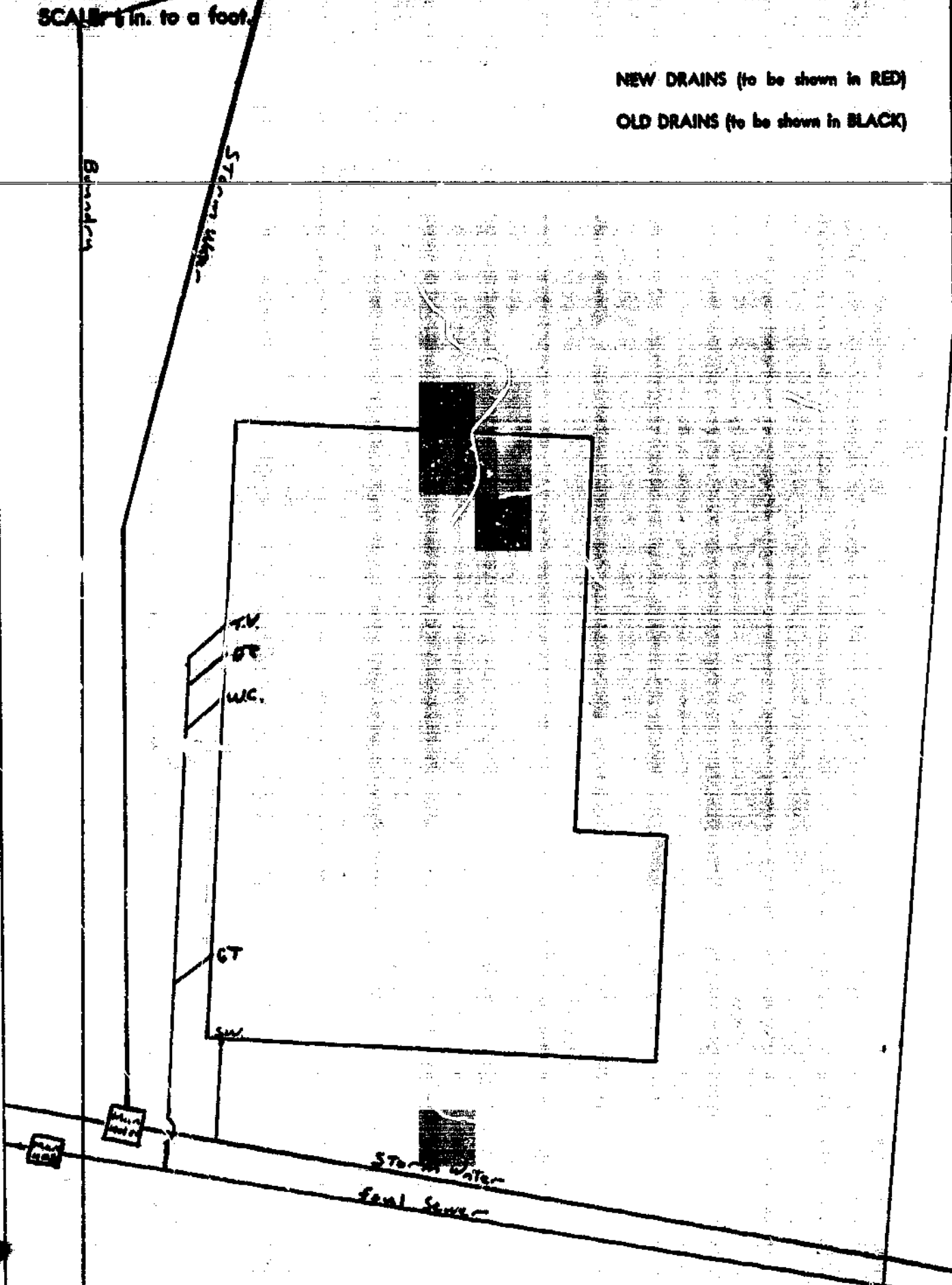
PORT CHALMERS BOROUGH COUNCIL DRAINAGE CONNECTION PLAN

SCALE 1 in. to a foot.

NEW DRAINS (to be shown in RED)

OLD DRAINS (to be shown in BLACK)

Binding Margin to be left Blank.



Owner Alister MACKIE

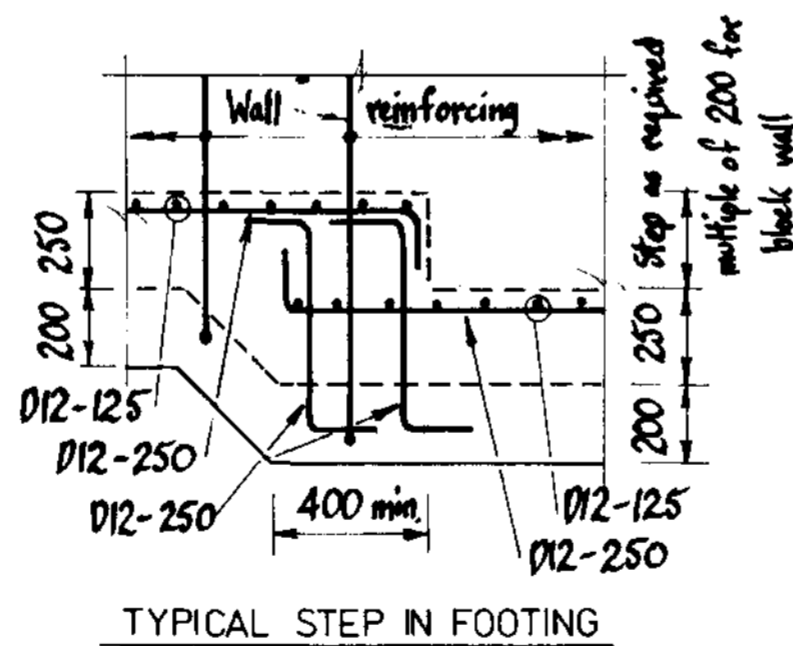
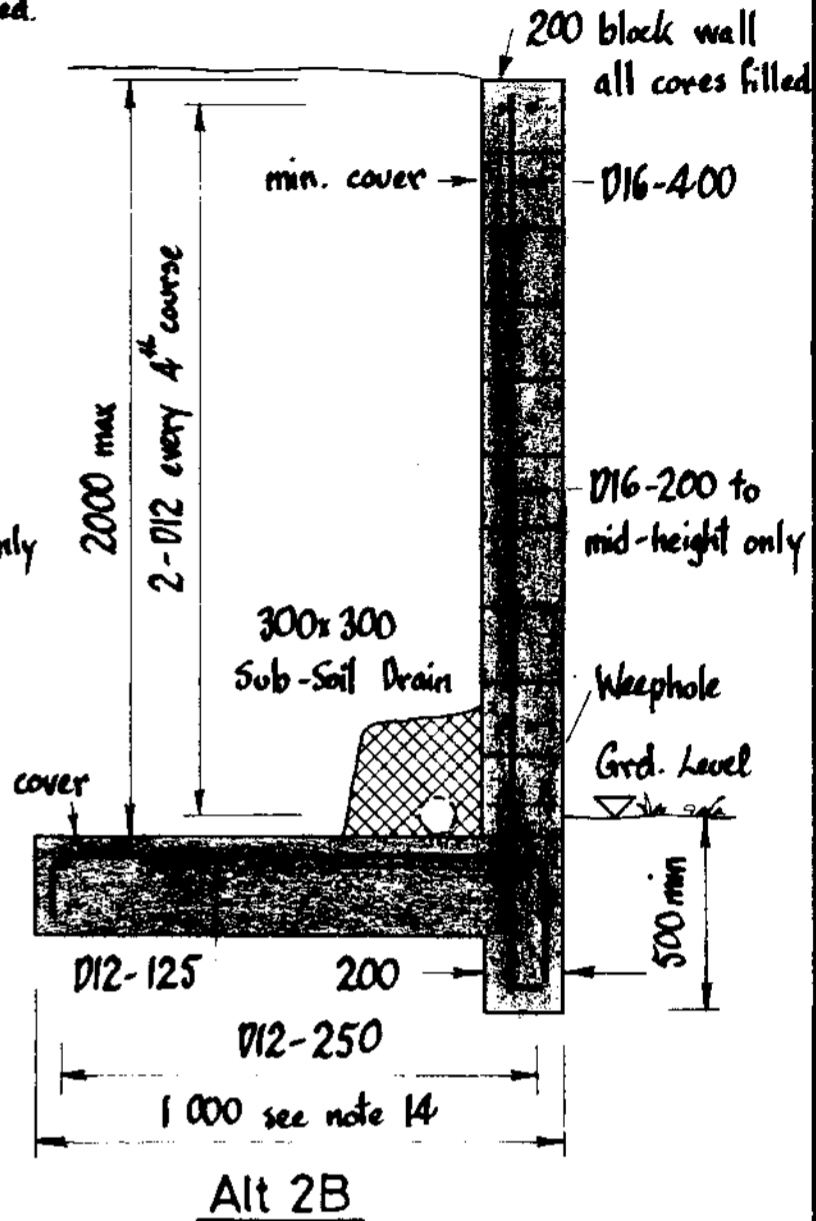
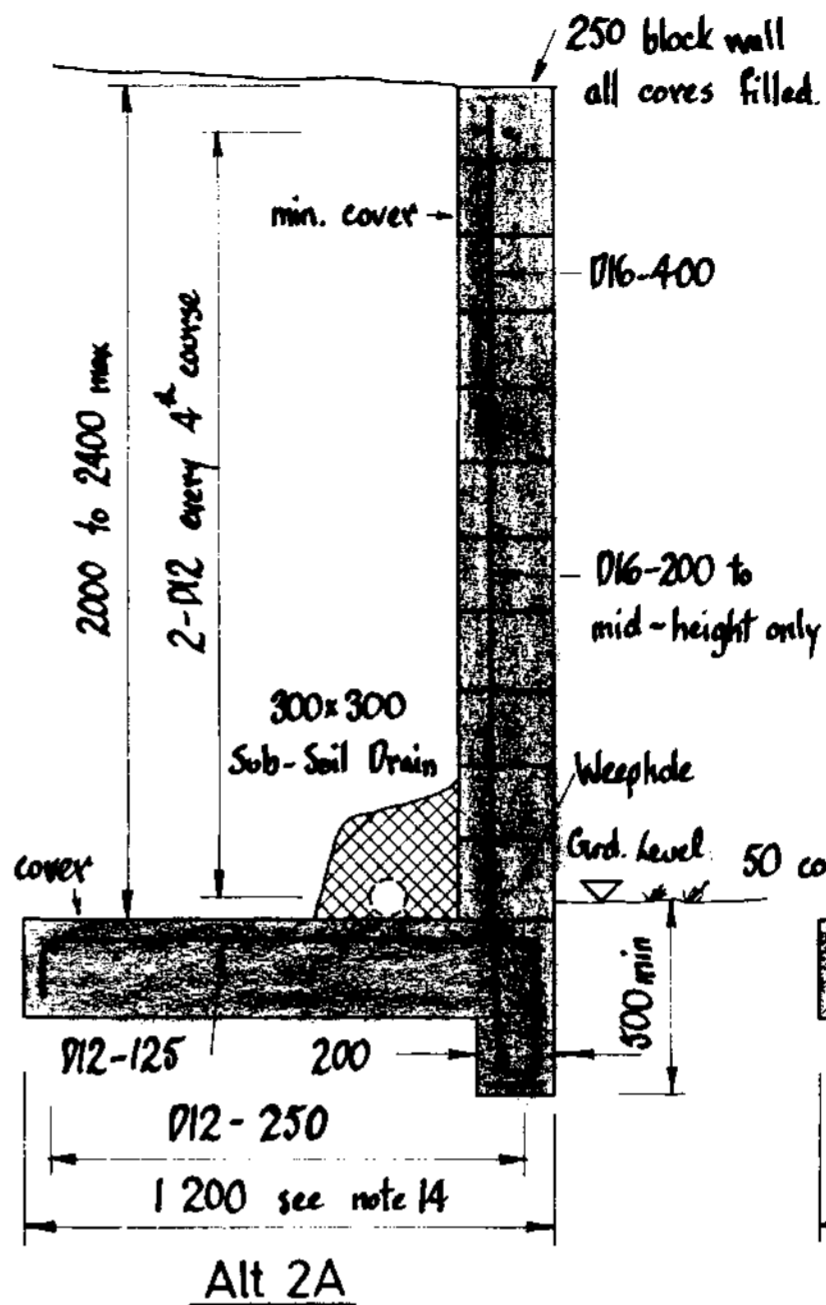
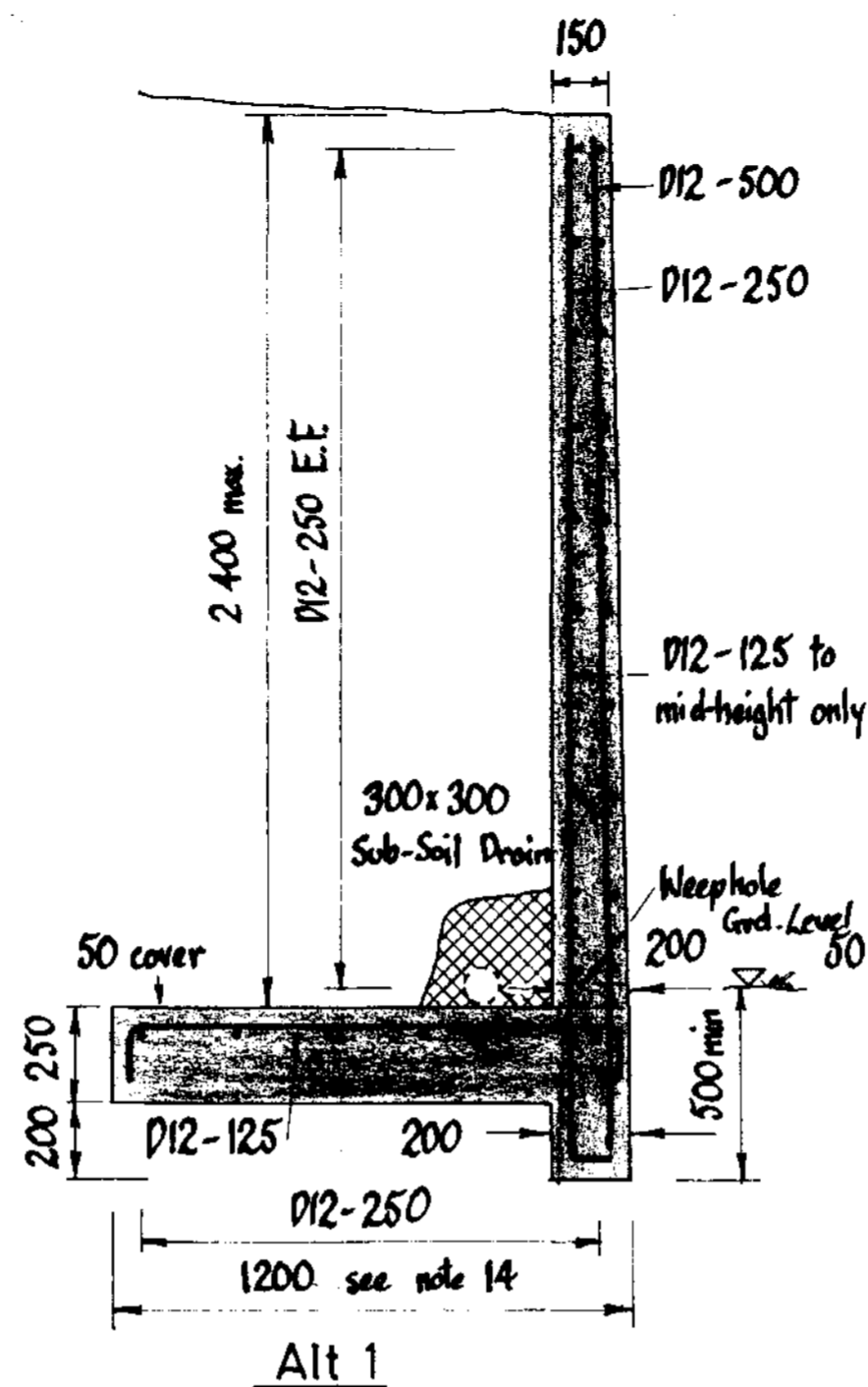
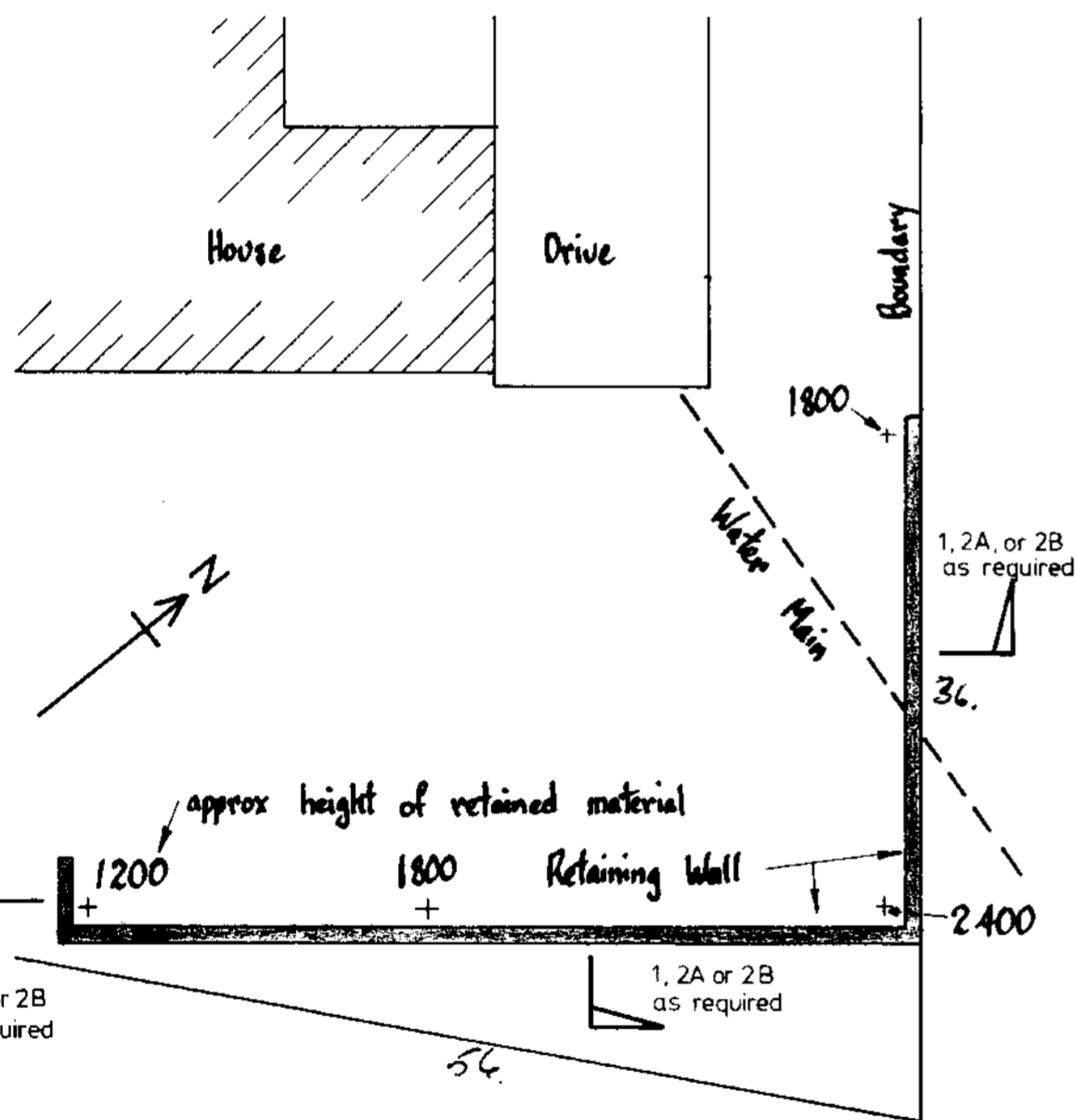
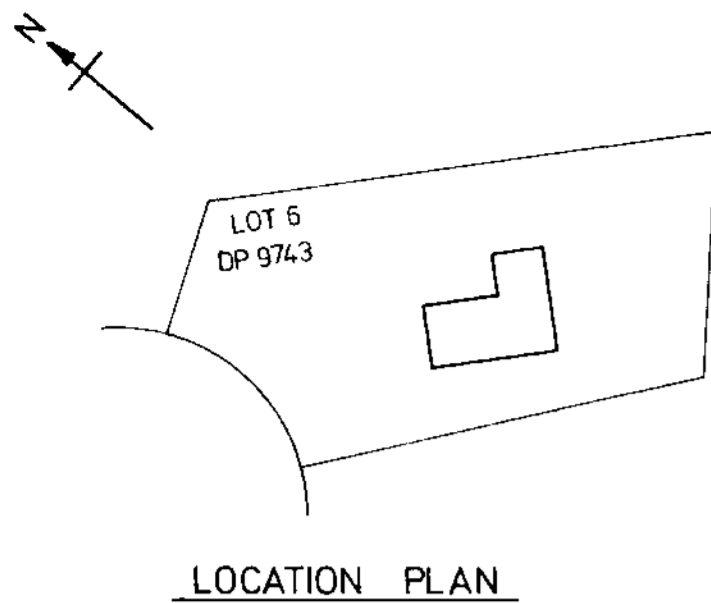
Street

Section No. 6

Signature of Drafter [Signature]

Date 6-4-69

[Signature]



NOTES

- Concrete crushing strength at 28 days $F_c = 20$ MPa.
- D12 denotes 12 mm Deformed 275 grade reinforcing bar, D16 similar.
- Lap reinforcing bars as required minimum 450 mm for D12, 600 for D16.
- Minimum covers to reinforcing bar :- Cast against ground 75 mm. Cast against formwork 50 mm.
- Note location of reinforcing in relation to backfill. Check carefully.
- Form step in footing as required. Ensure each section of base is level. Steps should be multiples of block module height for a block wall.
- Determine location of water main. Confirm exact details with the Engineer and P.C.B.C.
- Cores of blocks with reinforcing must be filled with concrete. $F_c = 20$ MPa.
- Form vertical control joints in block wall at 5000 spacing maximum.
- Ensure safety of excavation. Base should be firm before placing concrete.
- Form drain in back fill at base of wall. Minimum 300x300 of granular material or 100 pipe in granular backfill. Form weepholes in wall 75 diameter at 3000 spacing maximum. Ensure free drainage from weepholes on outer face of wall.
- Leave wall for 7 days before backfilling. Use selected material in backfill. Compact thoroughly.
- As an alternative to concrete or block wall use 1200 thick crib wall at batter of 1 horizontal to 4 vertical. Place on 150 thick concrete base reinforced with 665 mesh. Provide 200x200 concrete key on underside of base.

14. Width of base can be reduced where height of retained material is lower. Ensure width of base is a minimum of half the wall height.

CONTRACTORS MUST VERIFY ALL DIMENSIONS AT THE JOB BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS

REVISION	BY	DATE

RETAINING WALL
6 KOHI PLACE, PORT CHALMERS.
FOR MR A. HEINEMAN

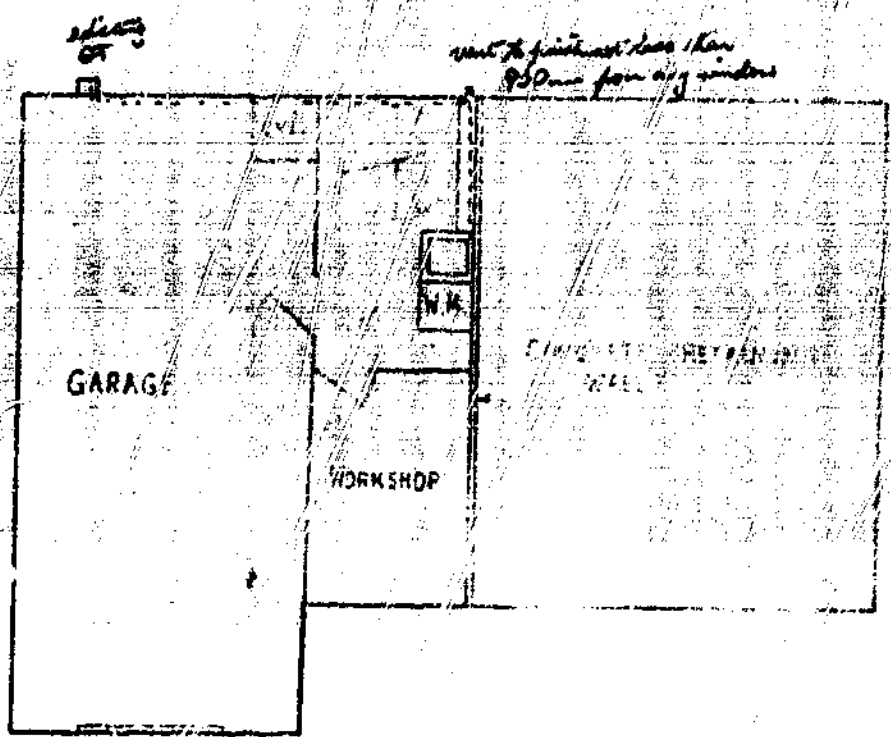
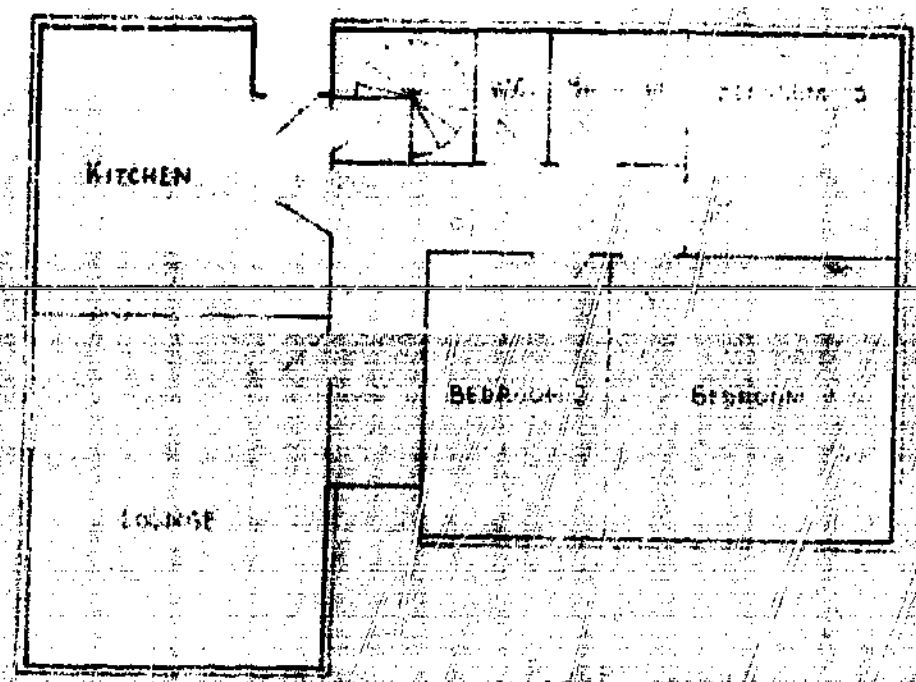
BRICKELL MOSS
RANKINE & HILL
CONSULTING ENGINEERS
WELLINGTON LOWER HUTT
AUCKLAND DUNEDIN

PLANS, SECTIONS and DETAILS.

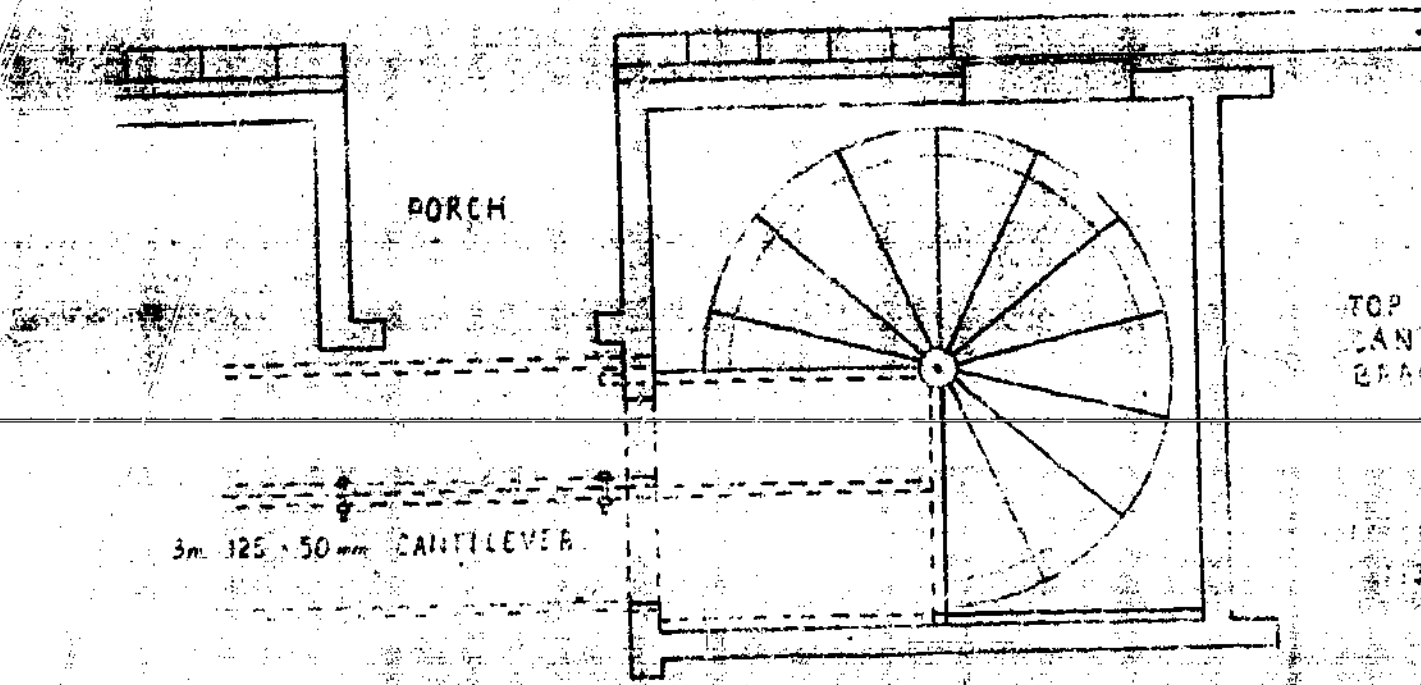
SCALE 1:10; 1:20	DATE NOV. 1977
DRAWN BY [Signature]	TRACED
CHECKED BY [Signature]	APP'D
DWG No. 79 078	

PROPOSED ALTERATION.

CONVERT EXISTING LAUNDRY TO
 LEVEL OF BASEMENT AREA INTO
 LAUNDRY AND WORKSHOP.



MORT CHALMERS
 BOROUGH COUNCIL
 APPROVED
 subject to compliance
 with Building Bylaws
 (including NZS 3604).
 These plans and
 specifications are to be
 kept on the site until
 the work is complete.
 Building Inspector
 21/5/85



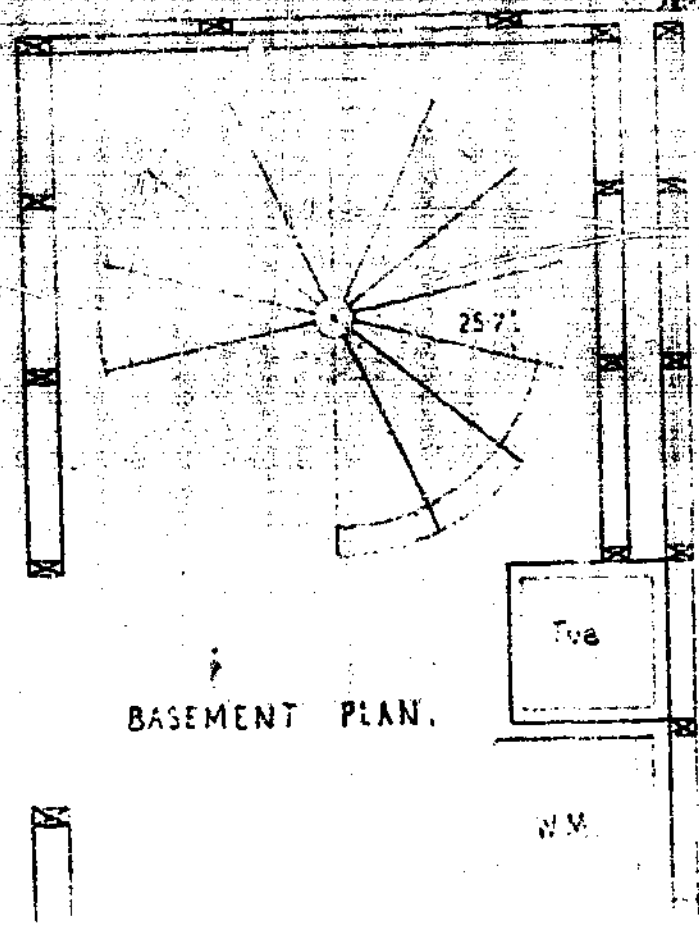
PORCH

3m 125 x 50 mm CANTILEVER

FLOOR PLAN

TOP LANDING SUPPORTED BY
CANTILEVER AND POLE
BRACKETS

BY WAREFIELD DISTRICT COUNCIL
50 x 50 BORON TREATED
15 mm G-B BOARD
FLAT ON CONCRETE
VINYL TUCKO TILES



BASEMENT PLAN

CONCRETE FOUNDATION

PORT CHALMERS
BOROUGH COUNCIL

APPROVED

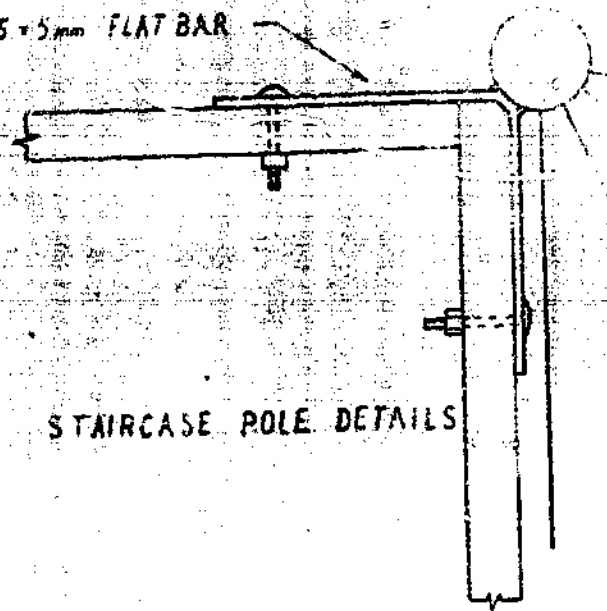
subject to compliance
with Building Bylaws
(including NZS 3604)

These plans and
specifications are to be
kept on the site until
the work is complete.

A.R.L.
Building Inspector

21/5/85

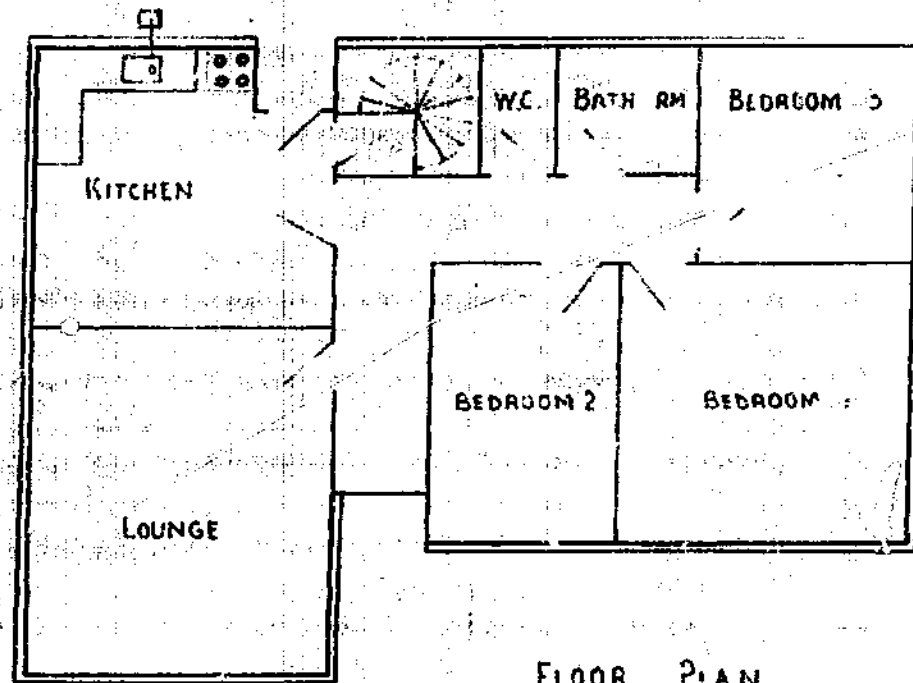
75 x 5 mm FLAT BAR



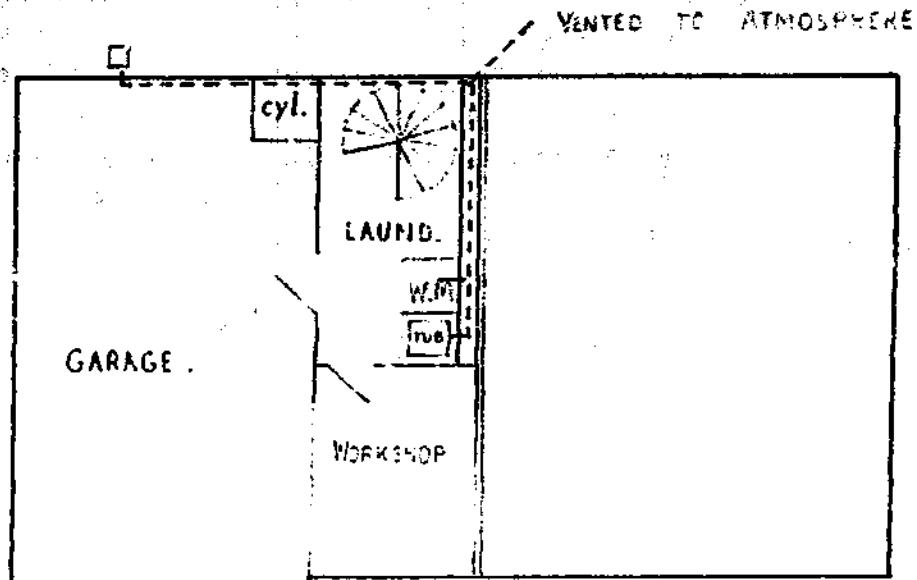
STAIRCASE POLE DETAILS

PROPOSED ALTERATION

1. CONVERT EXISTING LAUNDRY TO SPIRAL STAIRWELL.
2. DEVELOP BASEMENT AREA INTO LAUNDRY AND WORKSHOP.



FLOOR PLAN



BASEMENT PLAN

WASHING MACHINE & TUB W/ST
 PIPED TO EXISTING ~~KITCHEN~~ SINK
~~WASH~~ Gully trap.

DATE : 15.5.25
 LOT 6 DR 15.76

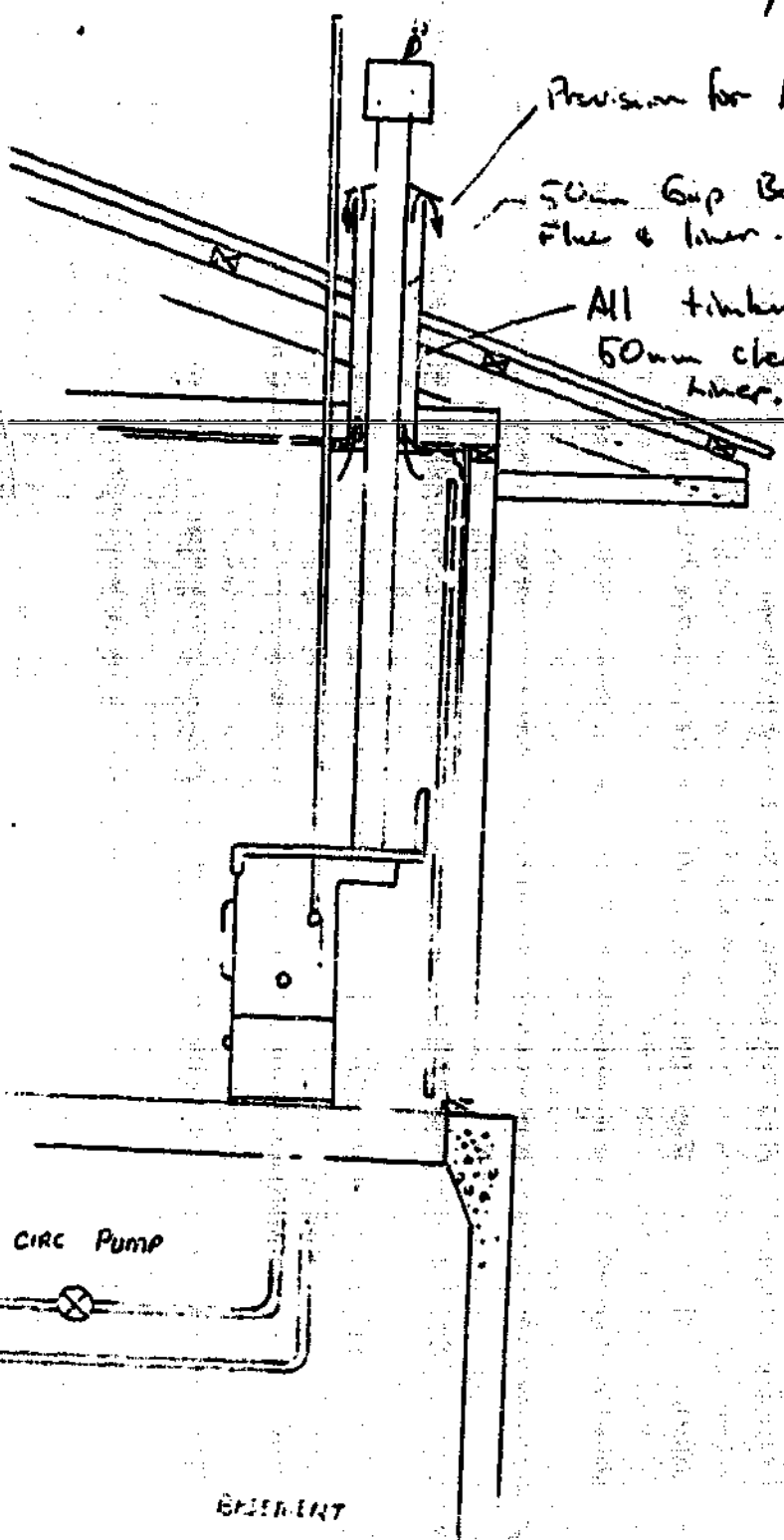
Height of top of flue as
Per NZS 7411/1985

VENT

Provision for Air flow.

50mm Gap Between
Flue & liner.

All timber to be
50mm clear of
liner.



PORT CHARMERS
BOROUGH COUNCIL

APPROVED

subject to compliance
with Building bylaws
(including NZS 3604).

These plans and
specifications are to be
kept on the site until
the work is complete.

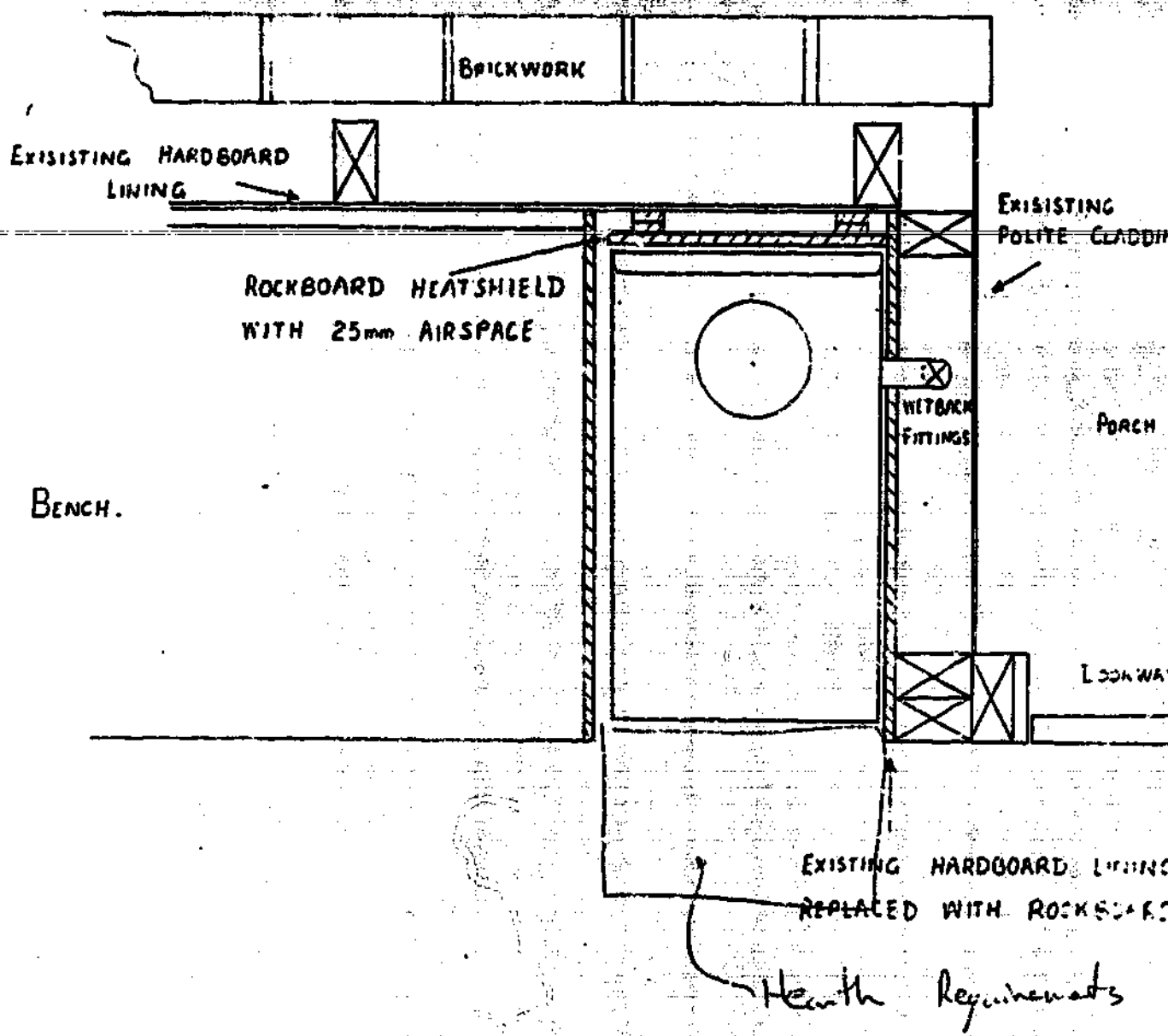
[Signature]
Building Inspector

14 8 87

CIRC PUMP

STANDARD HOT WATER
CYLINDER

GREEN LINT



PORT CHAMBERS
BOROUGH COUNCIL

APPROVED

subject to compliance
with Building By-laws
(including NZS 3604).

These plans and
specifications are to
be kept on the site until
the work is complete.

[Signature]
Building Inspector

H. 3 87

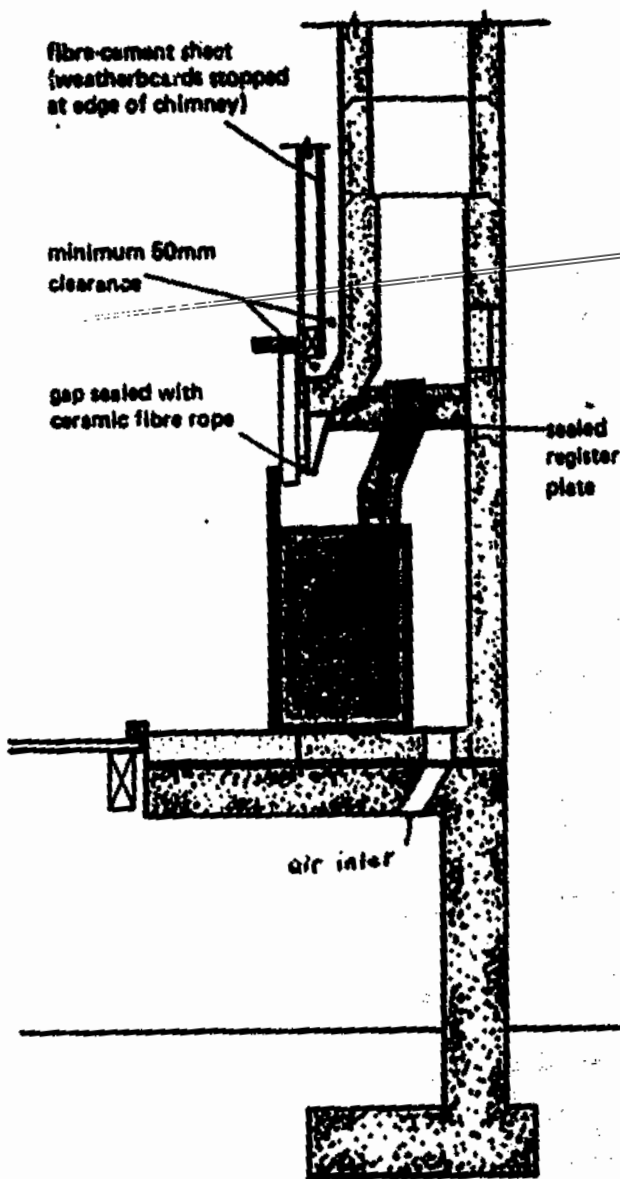


Figure 5: Short Flue Type – areas of critical importance (schematic only)

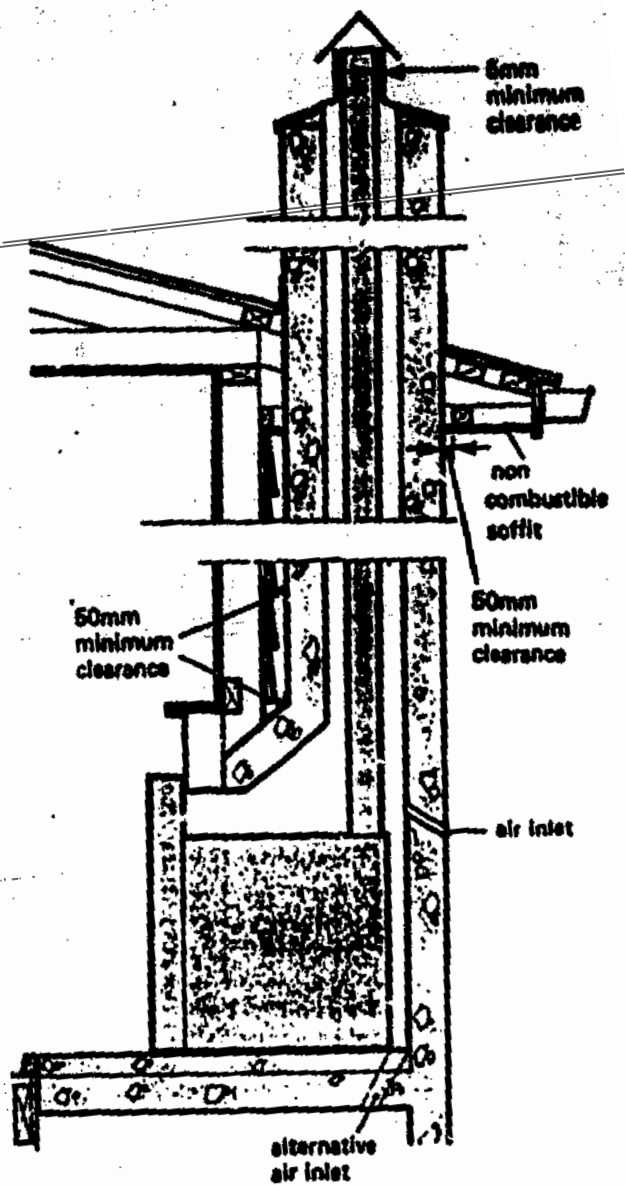
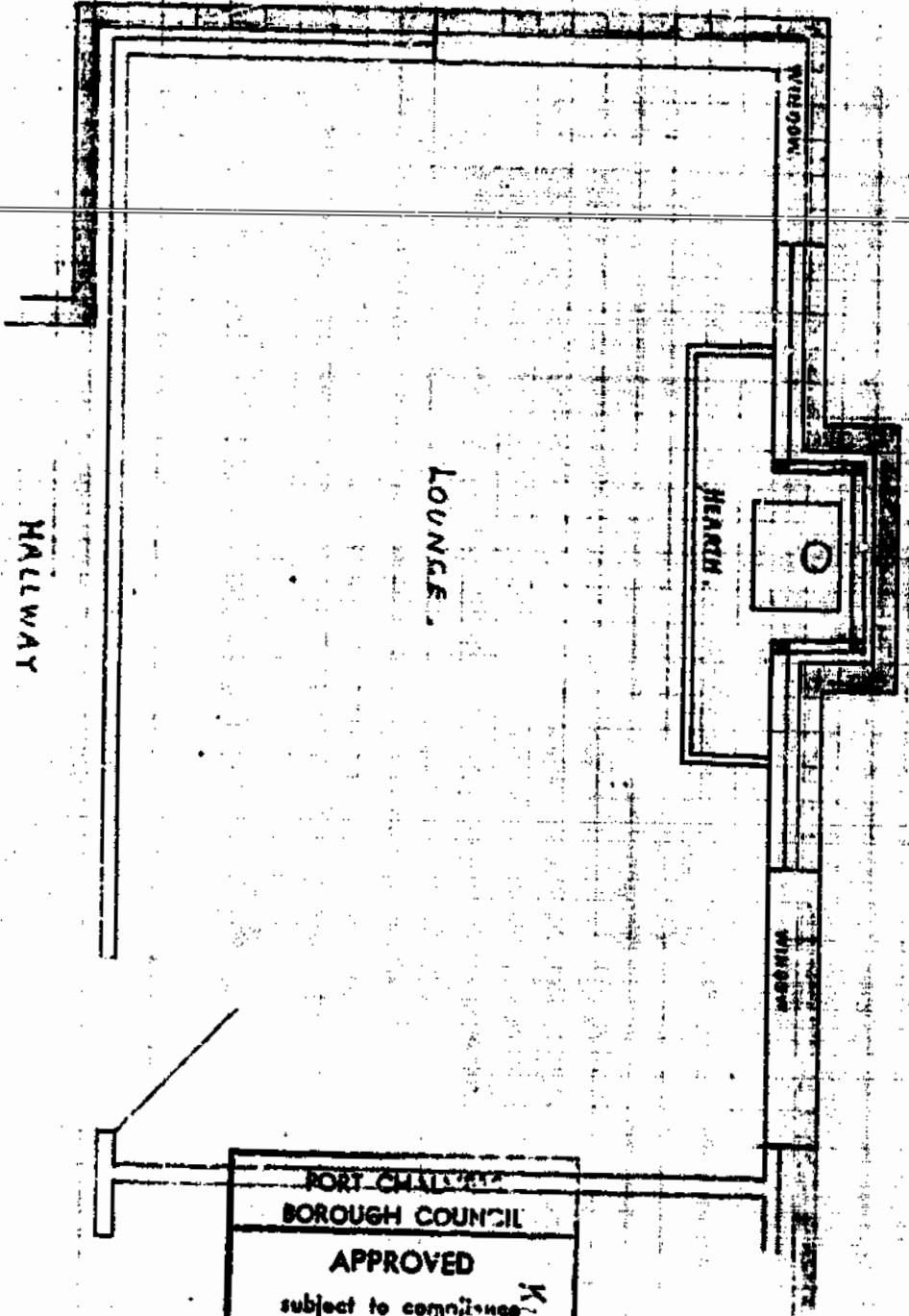
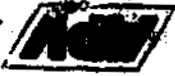


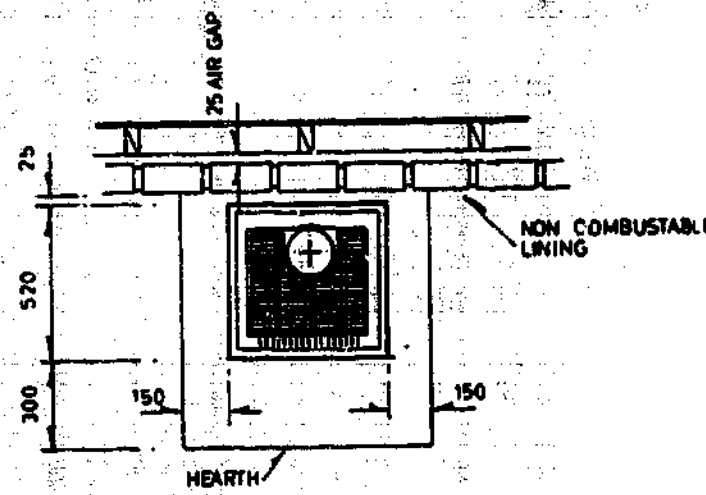
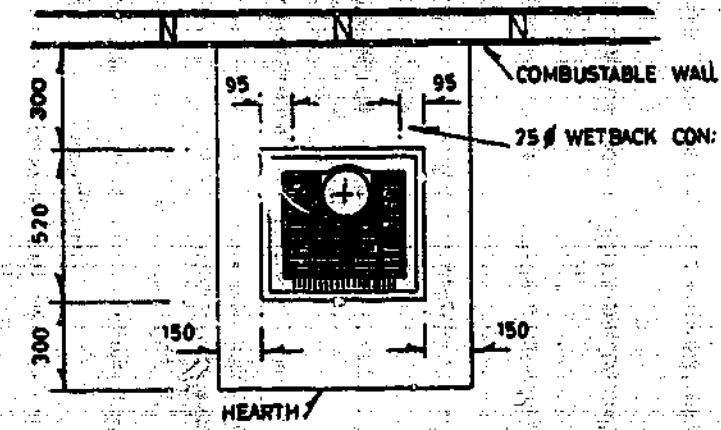
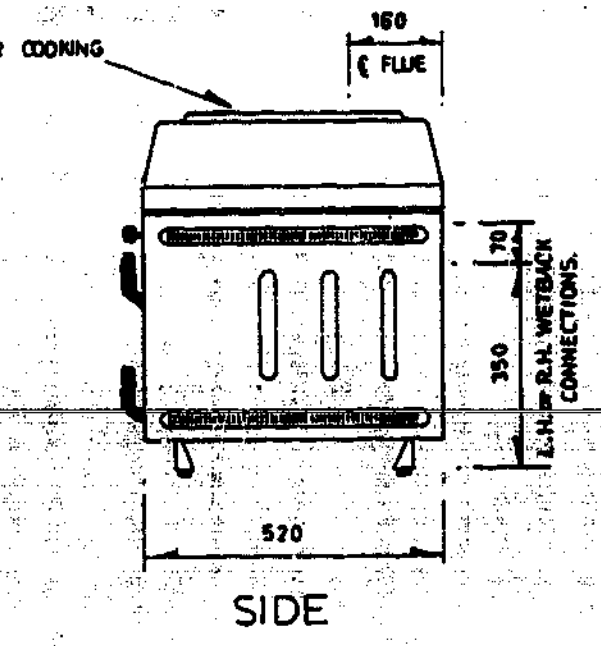
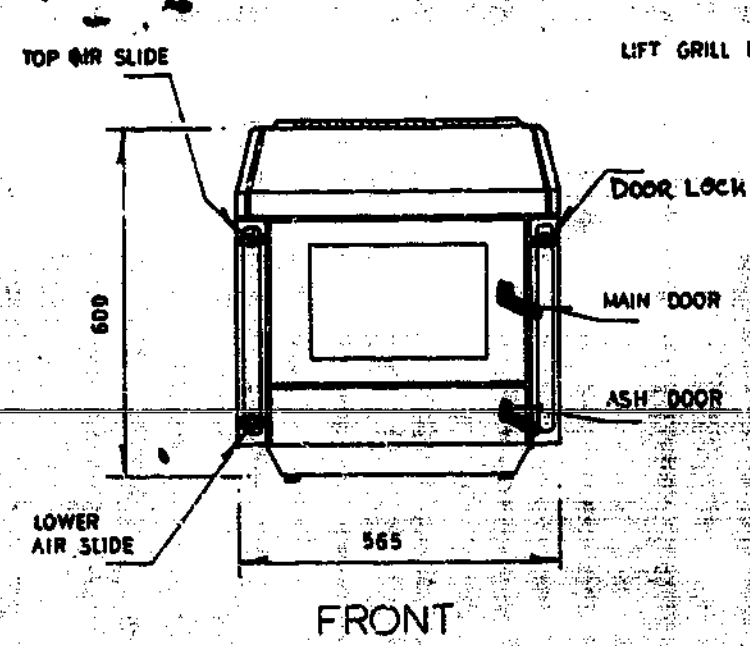
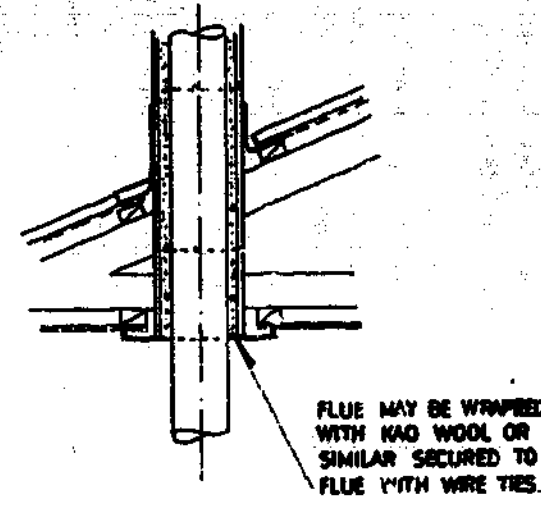
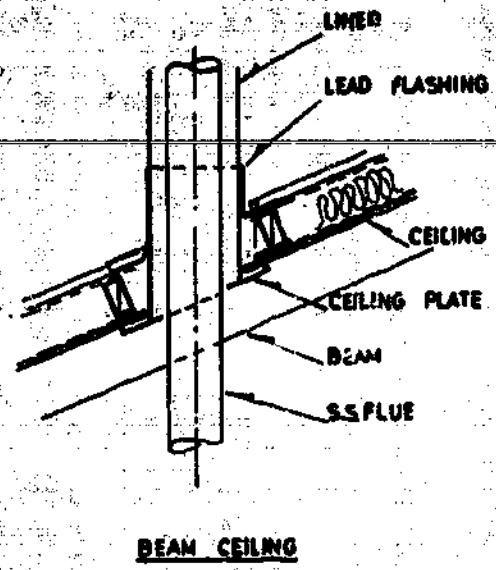
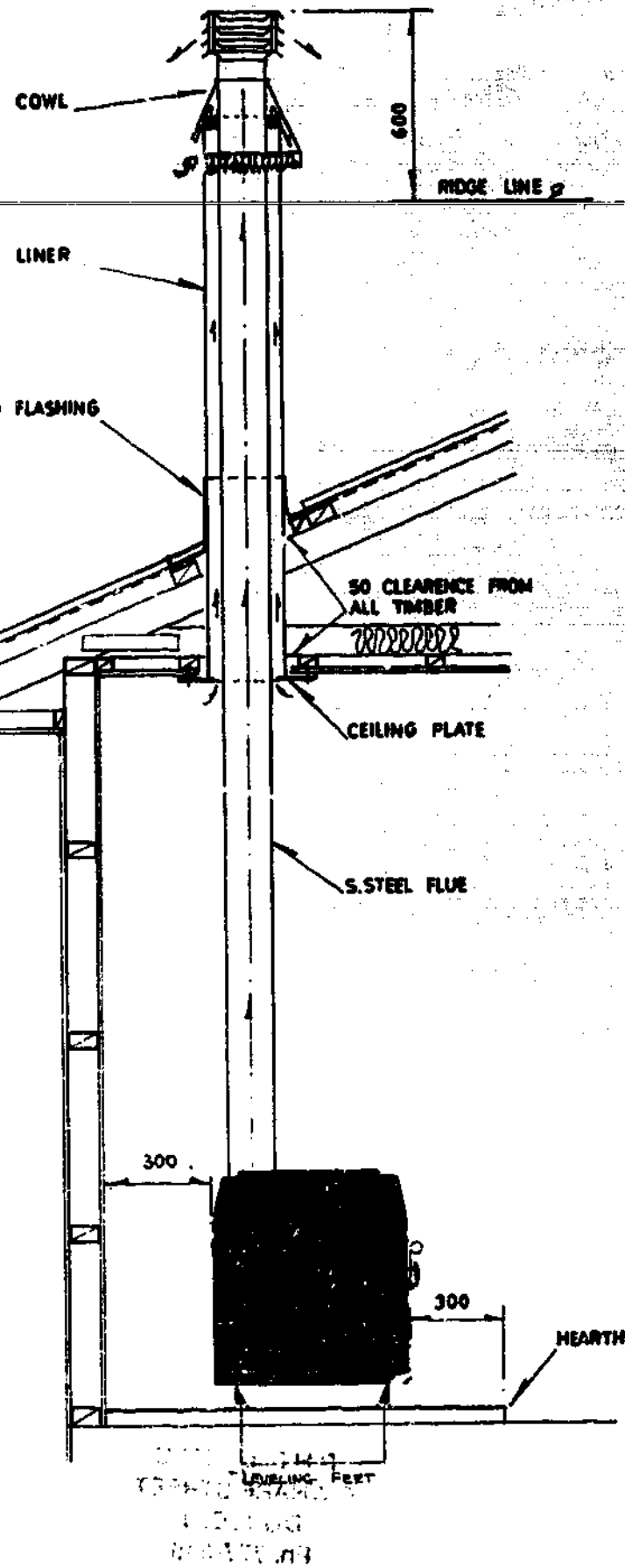
Figure 6: Continuous Flue Type – areas of critical importance (schematic only)

Wooden mantelshelf – maximum projection 50mm if less than 500mm above top of fireplace opening.

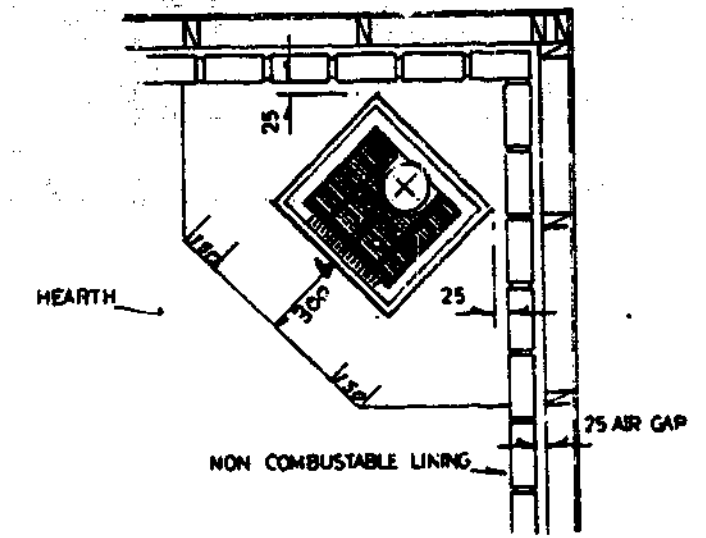
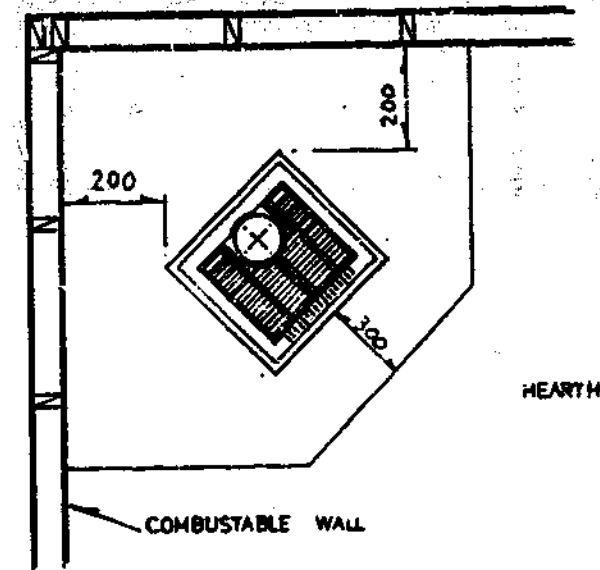


PORT CHARLES
 BOROUGH COUNCIL
APPROVED
 subject to compliance
 with Building Bylaws
 (including NZS 3604)
 These plans and
 specifications are to be
 kept on file with
 the works department.
 Building Inspector
 10.5.88

TYPICAL FLUE INSTALLATION



HEATER POSITION



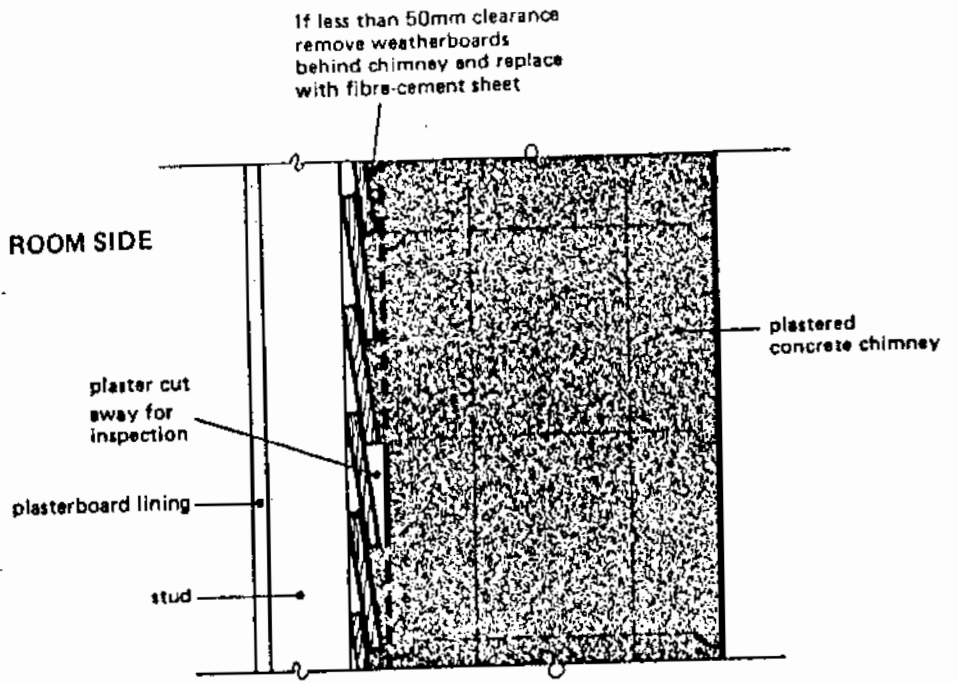


Figure 3: Inspection of wall cladding clearance

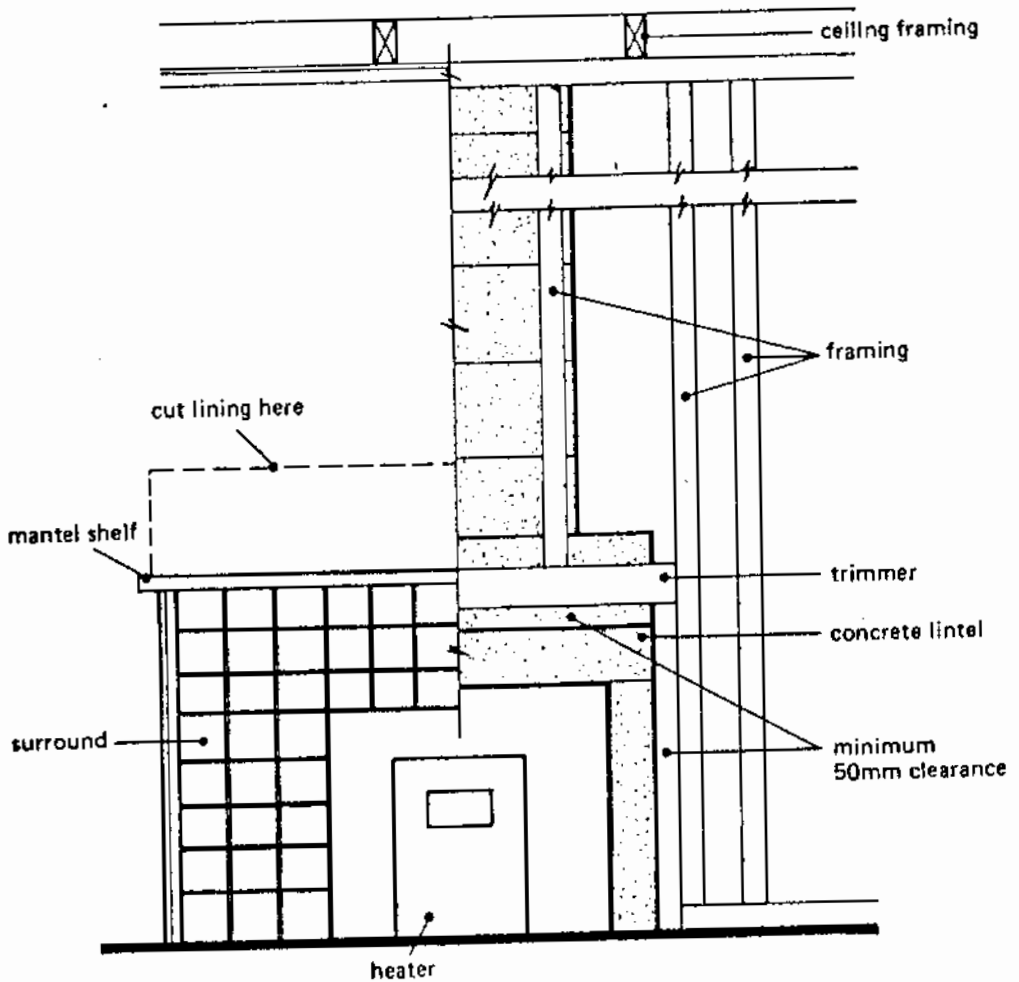
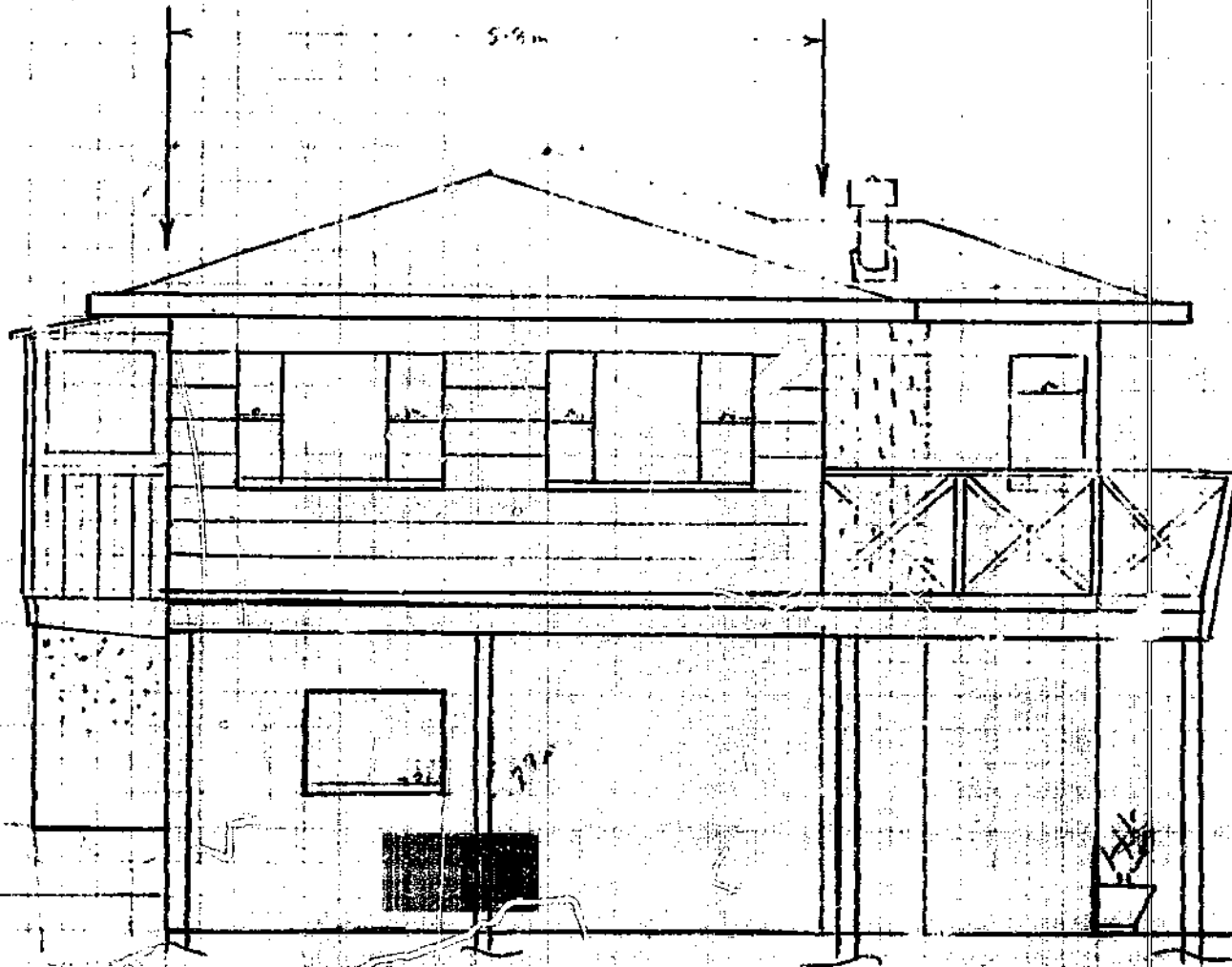


Figure 4: Cutaway view of chimney and fireplace (schematic only)



PORT CHALMERS
BOROUGH COUNCIL

APPROVED

subject to compliance
with Building Bylaws
(including NZS 3604).

These plans and
specifications are to be
kept on the site until
the work is complete.

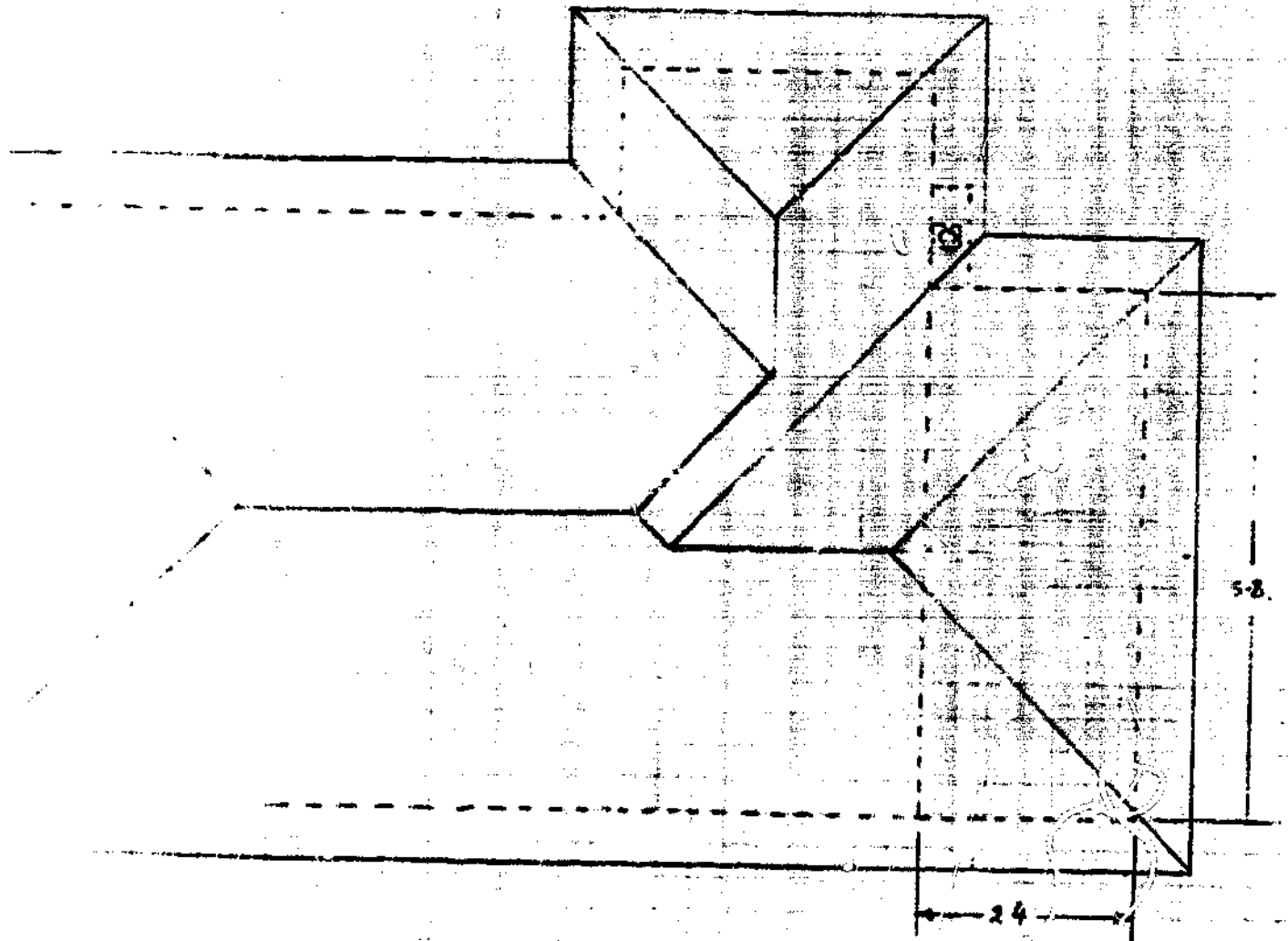
Building Inspector

11/9/89

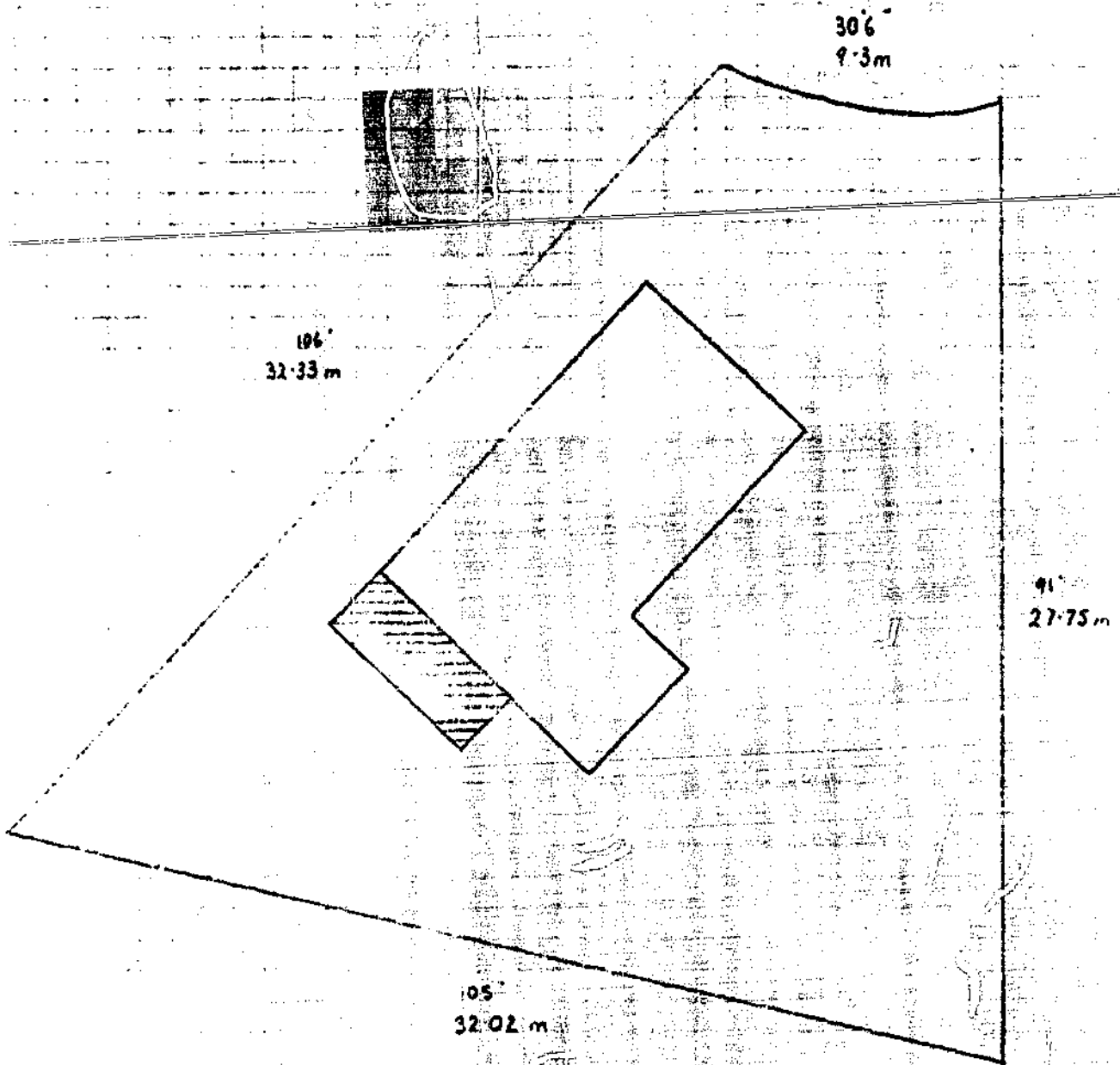


APV Engineering Ltd

END VIEW OF INTERSECTION



SITE PLAN.



insulate
Ceiling

200x50 lintels over

Windows
2200 x 900

doubling studs
1x100x17
1700 - 1300

CLADDING
LARCH WEATHER

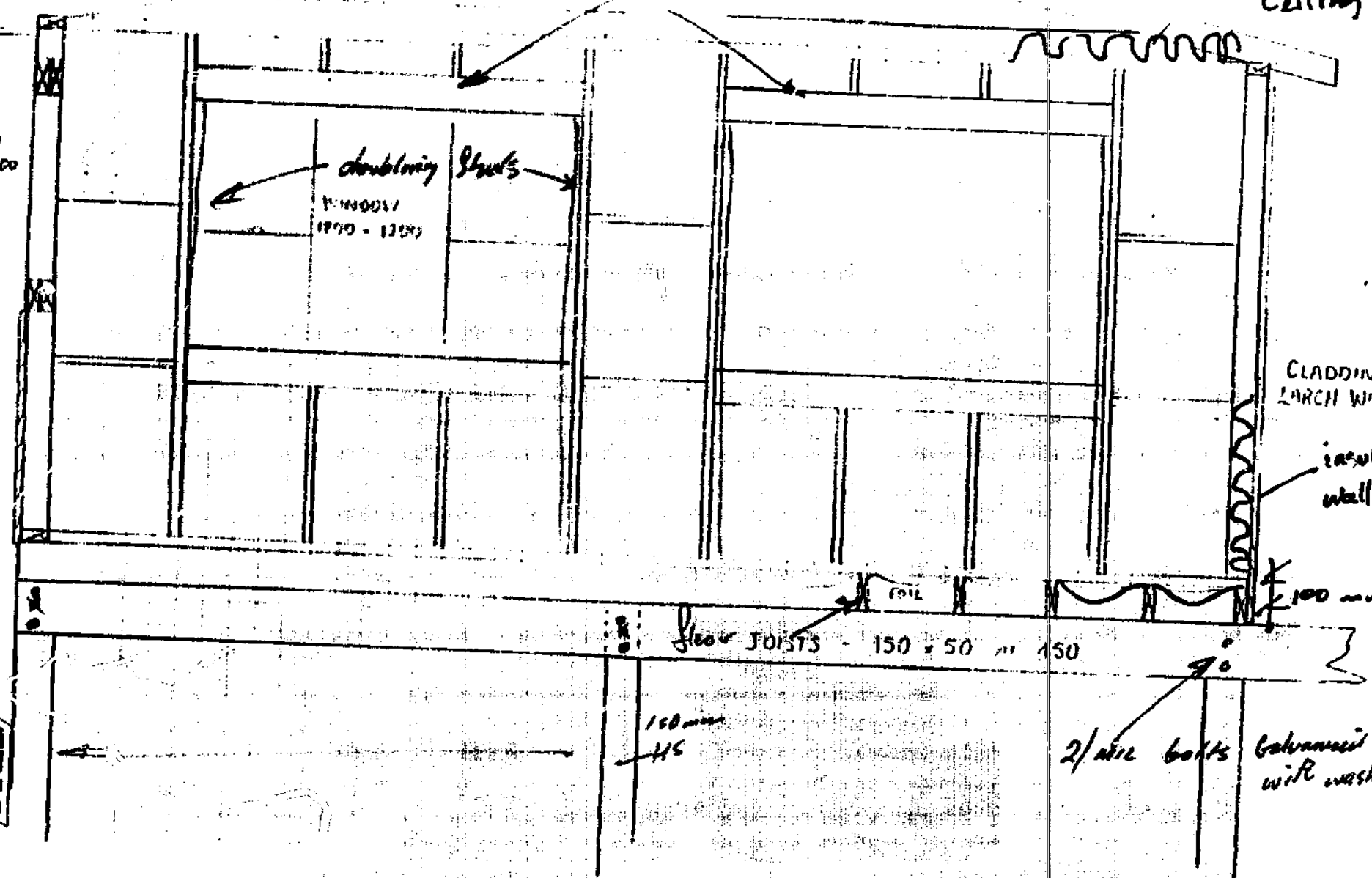
insulate
walls

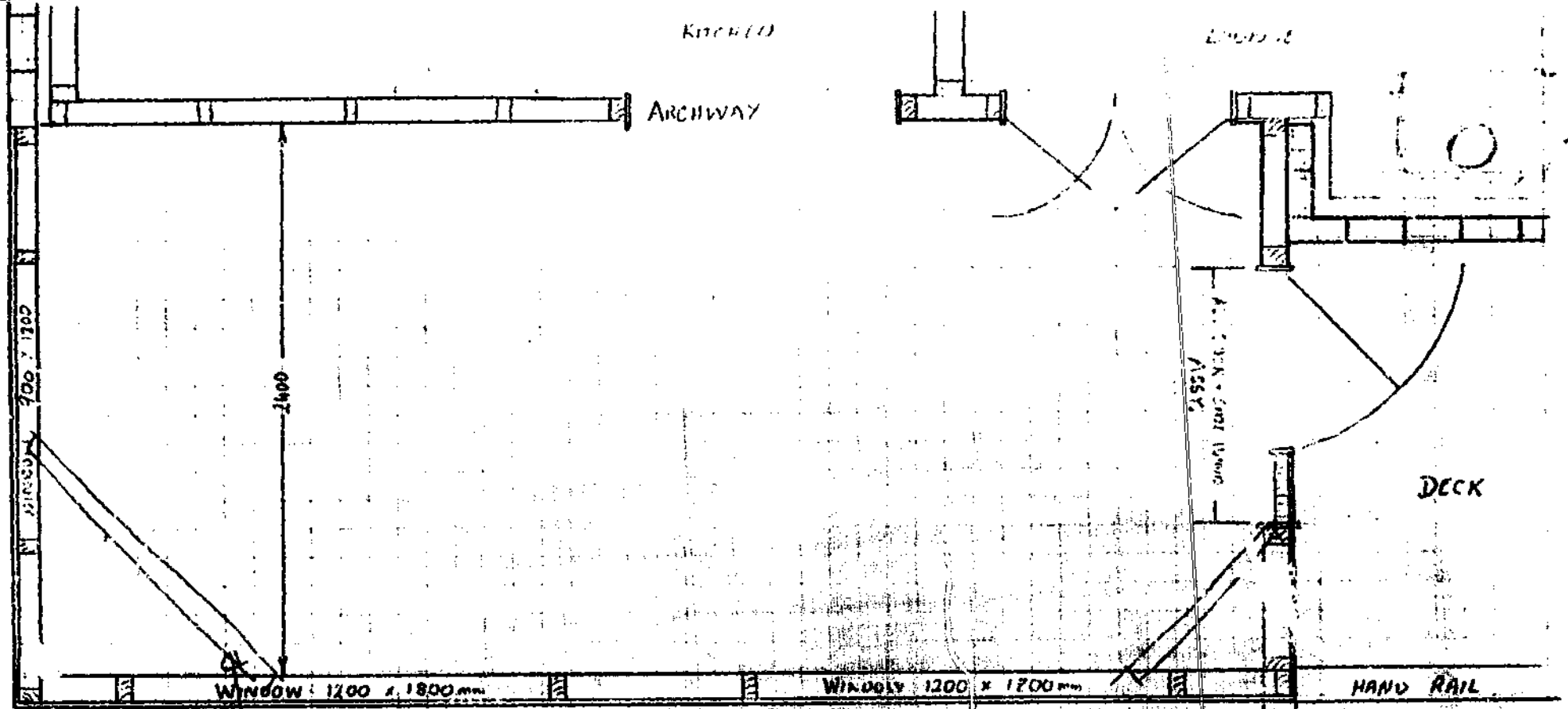
floor JOISTS - 150 x 50 @ 150

150mm
HS

2/size bolts galvanneal
with washers

90°

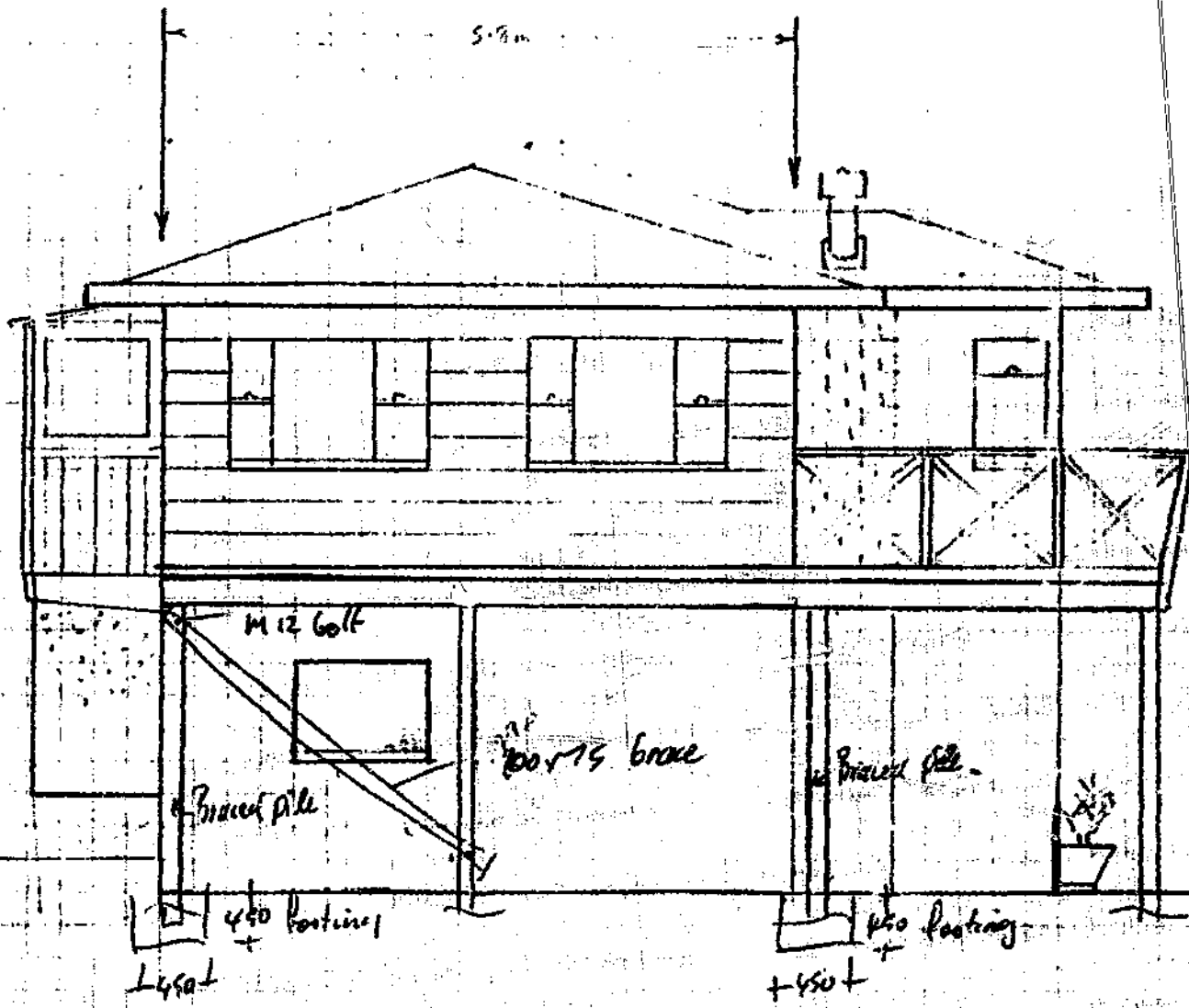


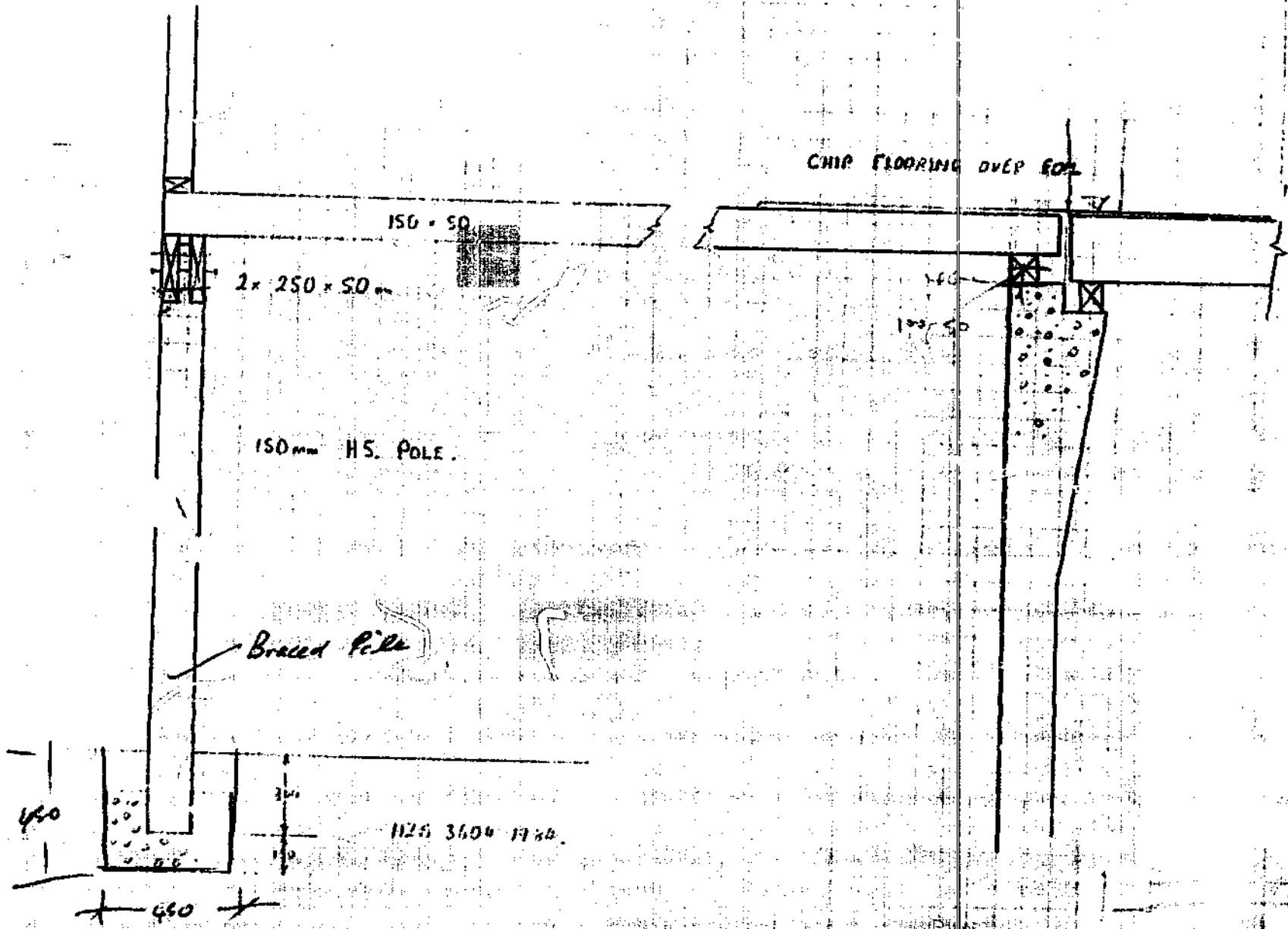


Dragon ties connected to 5800 mm
 Top plates in accordance with RS 8000 2784 -
 Class 6.3.3.4.

- EXTERNAL CLADDING - WEATHER BOARD (LARCH)
- LINING - GIB BOARD
- ALUMINIUM WINDOWS & DOOR
- REMOVAL OF EXISTING BRICKWORK







CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

Telephone No:	477-4000	CCC No:	ABA 42480	Reference No:	5057152
---------------	----------	---------	-----------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
Name and Mailing Address: REBERGEN, AALBERT LAMMERT C/O D RICHARDSON 777 MT CARGILL RD R D 2 WAITATI 9021	All <input checked="" type="checkbox"/> Stage Noof an intendedstages New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/>
LEGAL DESCRIPTION	Intended Use(s) in detail: CONVERT BASEMENT GARAGE INTO BEDROOM/STOREROOM Intended Life:
Property Number: 5057152 Valuation Roll No: 26640 10009 Street Address: 6 KOHI PLACE, PORT CHALMERS 9005 Legal Description: LOT 6 DP 10276	Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/>

This is:

- A final code compliance issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name:.....*[Signature]*.....

Position: AUTHORISED OFFICER


Date: 10/11/2004

DOMESTIC SMOKE ALARM
Smoke alarms complying with the NZBC clause F7 are required in this building.

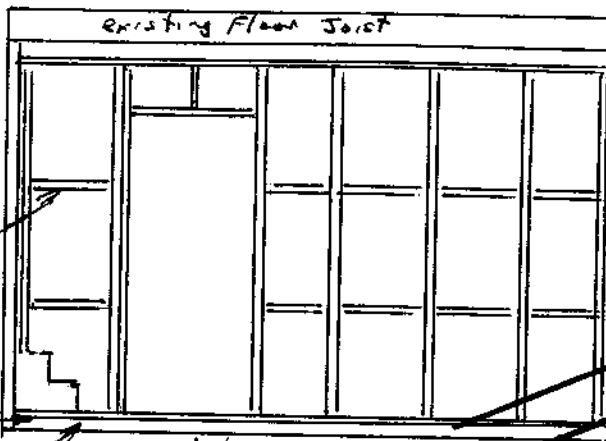
DCC CITY PLANNING

THESE PLANS ARE APPROVED

This development complies with the District Plan(s) subject to:

Signed  Dated 2/9/14

Existing ceiling lining removed; Batten to provide approx 24m height from floor to ceiling; Fibreglass insulation



50x50 Battens to conc. walls - provide 100mm cavity for Fibreglass insulation. 10mm Gib-Board lining to walls & ceilings

100x50 Framing

existing floor

20mm Particle Bd Floor
50x50 H3 Battens @ 600c/c;
Fibreglass Insulation

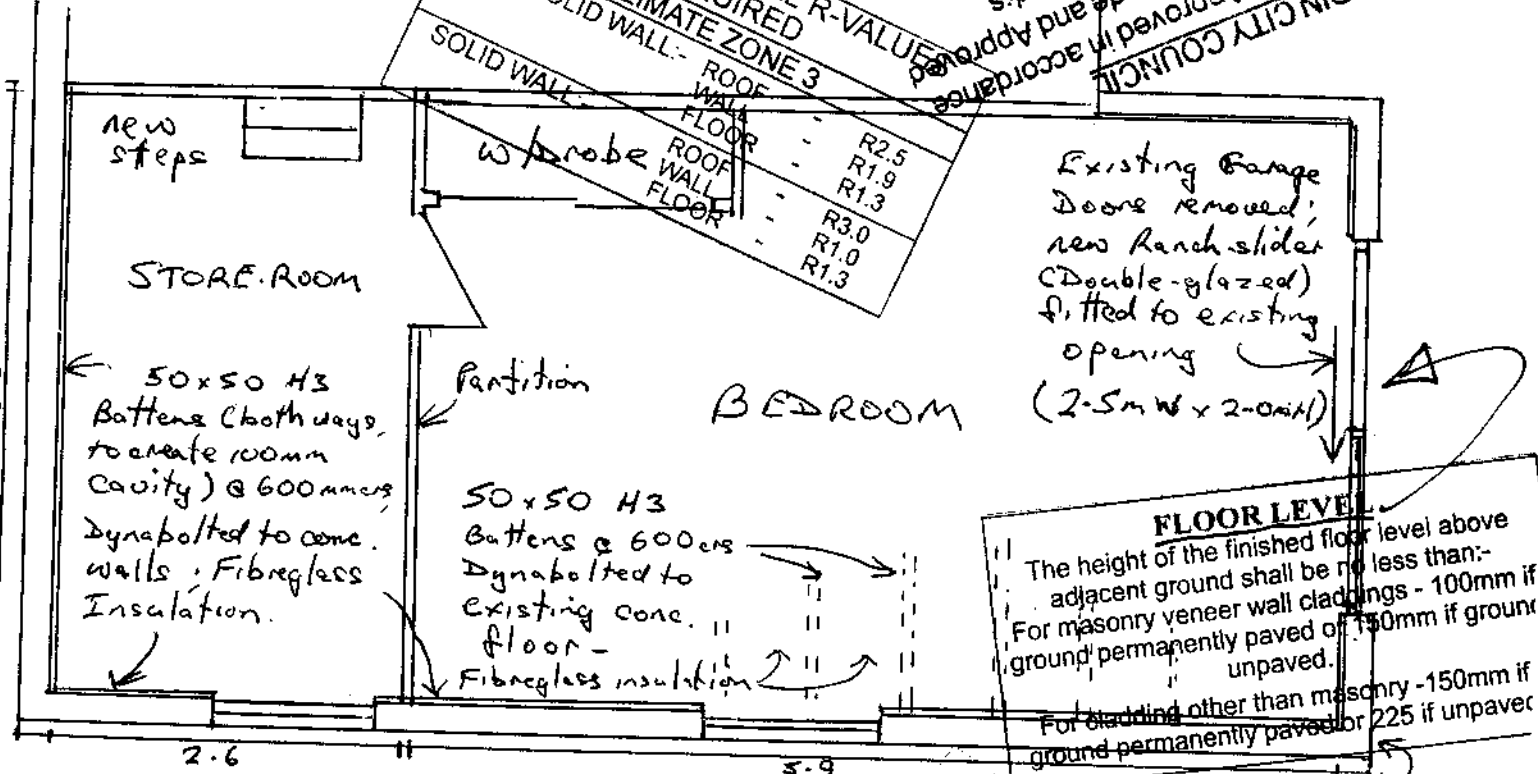
Steps:- Rise 160mm, Tread 180mm

CROSS SECTION

NOTE
Building
Drainage
Health

Plans and Specifications approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on request and produced on request
Date 23-8-07
Date 25-4-14
DUNEDIN CITY COUNCIL

MINIMUM THERMAL R-VALUE REQUIRED	
CLIMATE ZONE 3	
NON-SOLID WALL:-	ROOF
	WALL
	FLOOR
SOLID WALL:-	ROOF
	WALL
	FLOOR
	R2.5
	R1.9
	R1.3
	R3.0
	R1.0
	R1.3



Existing Garage Doors removed; new Ranch slider (Double-glazed) fitted to existing opening (2.5m W x 2.0m H)

FLOOR LEVEL
The height of the finished floor level above adjacent ground shall be no less than:-
For masonry veneer wall claddings - 100mm if ground permanently paved or 150mm if unpaved.
For cladding other than masonry - 150mm if ground permanently paved or 225 if unpaved

FLOOR PLAN

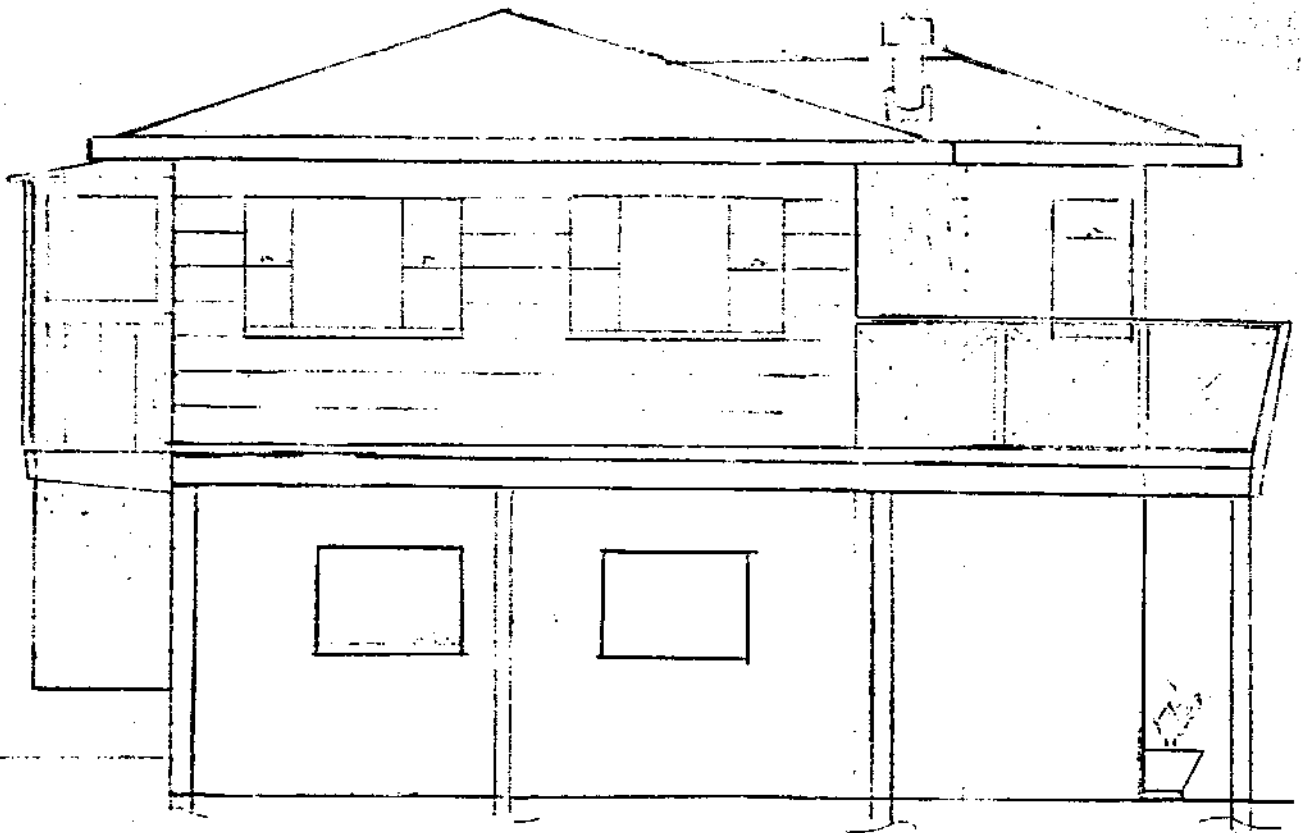
Glazing
Shall comply with NZS 4223:1999 parts 1 to 3

Concrete Foundation Wall

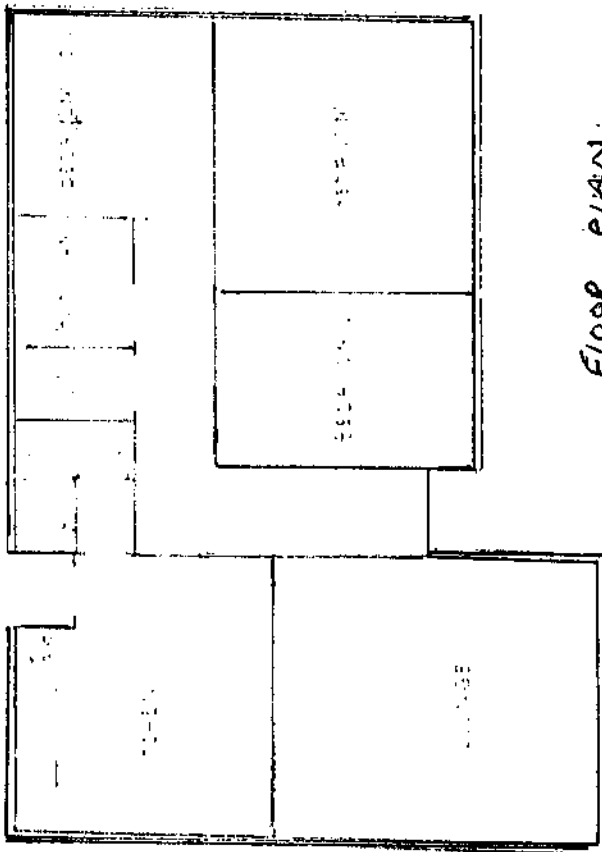
CONVERT BASEMENT GARAGE INTO
BEDROOM / STOREROOM
6 KOHI PLACE PORT CHALMERS

ABA 42480

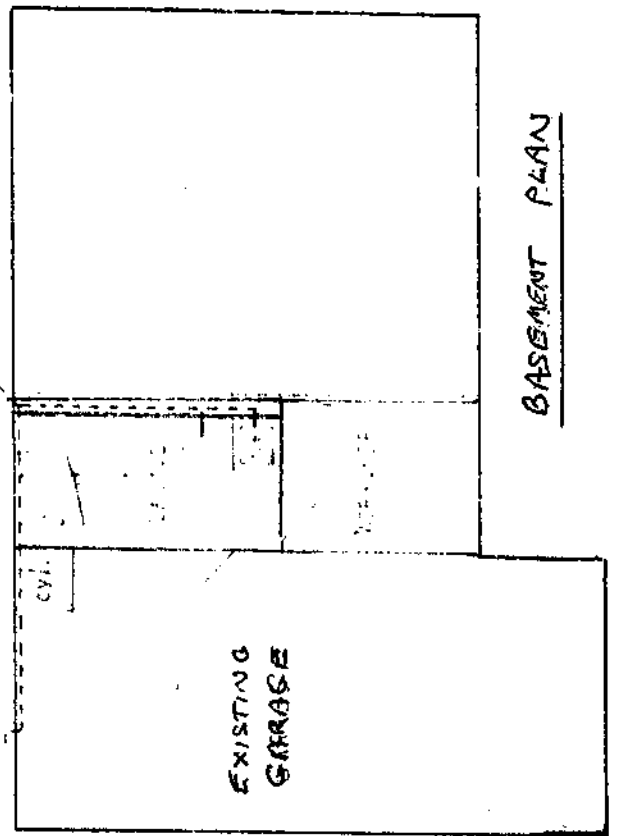
DER 16/8/04
Scale 1:50
Sheet 1 of 2



ELEVATION



FLOOR PLAN



BASEMENT PLAN

CONVERT BASEMENT GARAGE INTO
 BED ROOM / STOREROOM
 6 KOHI PLACE PORT CHALMERS

ABA 42480

DER 16/3/04
 Not to Scale
 Sheet 2 of 2



CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004


CCC NO:	ABA-2008-701	Telephone No:	03 477 4000
APPLICANT		PROJECT	
J F Spooner and C M Spooner 6 Kohi Place Port Chalmers Dunedin 9005		Work Type: Alterations/Repairs	
PROJECT LOCATION		Intended Use/Description of Work: Install Logaire Minos Ash Hearth Heater	
6 Kohi Place Port Chalmers		Intended Life: Indefinite, not less than 50 years.	
LEGAL DESCRIPTION		This CCC also applies to the following Amended Consents:	
Legal Description: LOT 6 DP 10276 Valuation Roll No: 26640-10009 Building Name: N/A			

The building consent authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:

Name: 

Position: AUTHORISED OFFICER

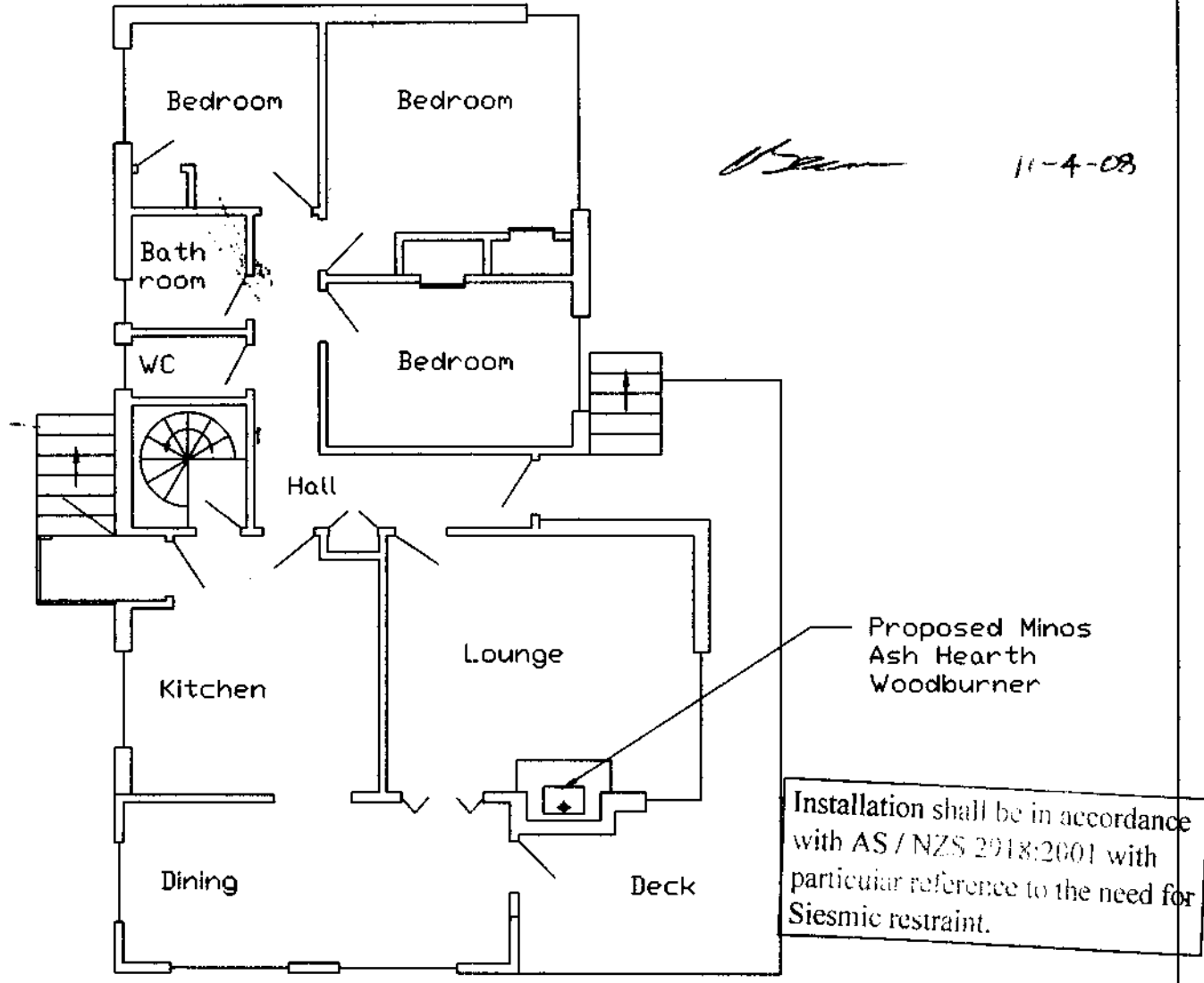
Date: 29 April 2008

FOR THE FINAL INSPECTION
OF YOUR HEATING APPLIANCE
PLEASE ENSURE THAT ACCESS
IS AVAILABLE TO THE CEILING
SPACE IF REQUIRED AND THAT
THE CEILING PLATE IS LEFT
UNATTACHED

2008 . 701

W. Spooner

11-4-08



Installation shall be in accordance
with AS / NZS 2018:2001 with
particular reference to the need for
Siesmic restraint.

DOMESTIC SMOKE ALARM
Smoke alarms complying with
the NZBC clause F7 are
required in this building.

FLOOR PLAN

Scale: 1:100

WOODBURNER INSTALLATION-LOCATION PLAN
For: JF & CM SPOONER
6 KOHI PL, PORT CHALMERS,
DUNEDIN



LOGAIRE®

specifications

Minos

Ash Hearth

Floor Protector Construction (Hearth)

For minimum Floor protector dimensions refer to following data. The floor protector must extend at least 300mm beyond the door opening of the heater and 200mm to each side of the door opening. (Floor protector specification (AS/NZS2918: 2001) minimum floor protector only eg. Ceramic tile glued to a heat sensitive floor.) A provision has been made at the base of the rear legs for seismic restraint by bolting through the two holes through the hearth and floor.

Clearance Requirements

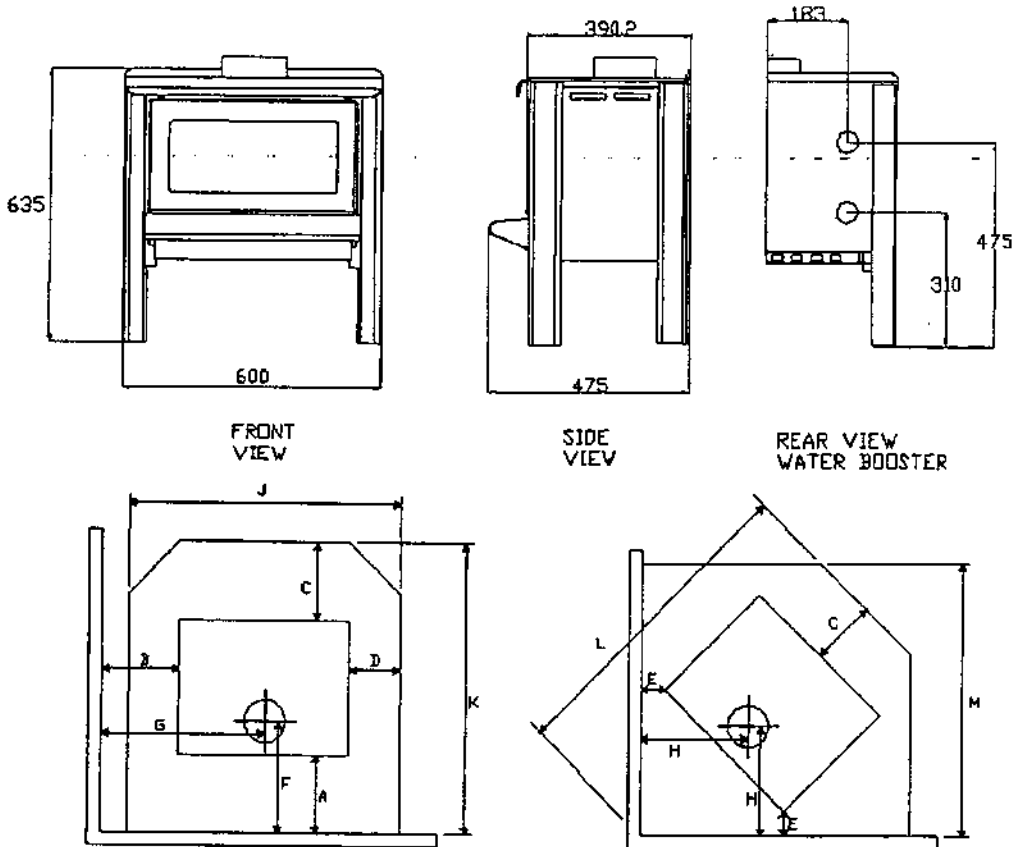
The Minos Ash Hearth has been tested to the Australian/New Zealand Standard AS/NZS 2918:2001 and all installations must be in accordance with the minimum clearances to combustibles indicated in these instructions.

The minimum clearances to combustibles may be reduced if the combustible walls are shielded with an approved non-combustible material. Details of suitable shielding materials and appropriate clearance reduction factors are present in Section 3 of AS/NZS 2918:2001.

Minimum clearances to combustibles in millimetres AS/NZS 2918:2001

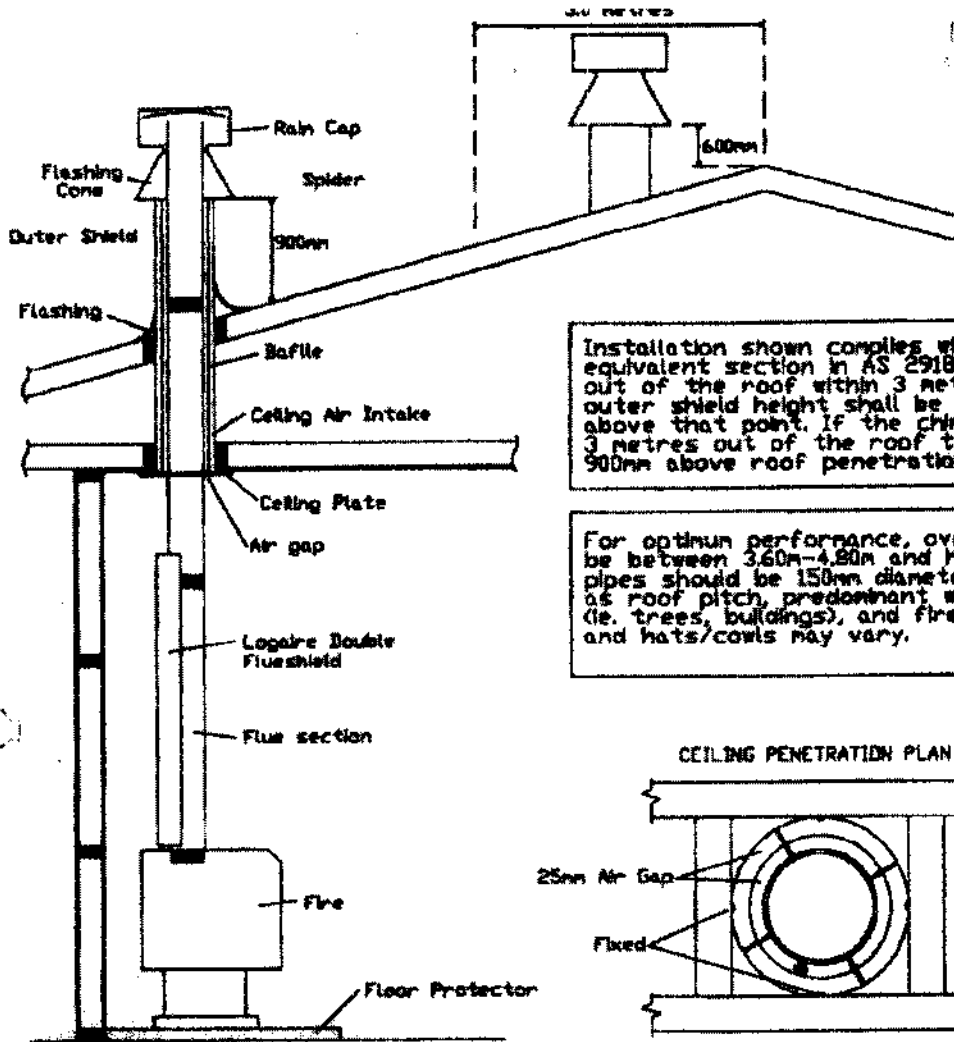
NEW ZEALAND	A	B*	C	D	E	F	G	H	J	K	L	M
Without flue shield	275	195	300	113	50	440	495	385	825	975	1075	900
* With Logaire Double flue shield	100	195	300	113	50	265	495	385	825	800	1075	900

* Note : Only a vented Logaire double flue shield has been approved for use with the Minos.
All specifications are subject to change or variation without notification.



Handwritten signature and date: 11-4-05

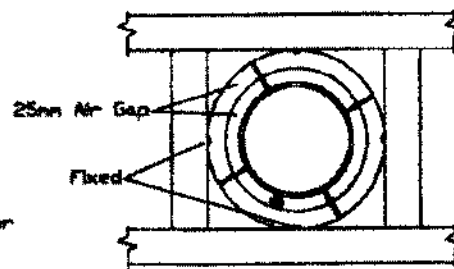
2008 . 701



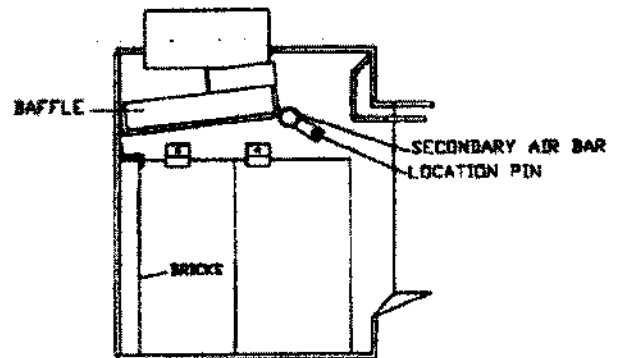
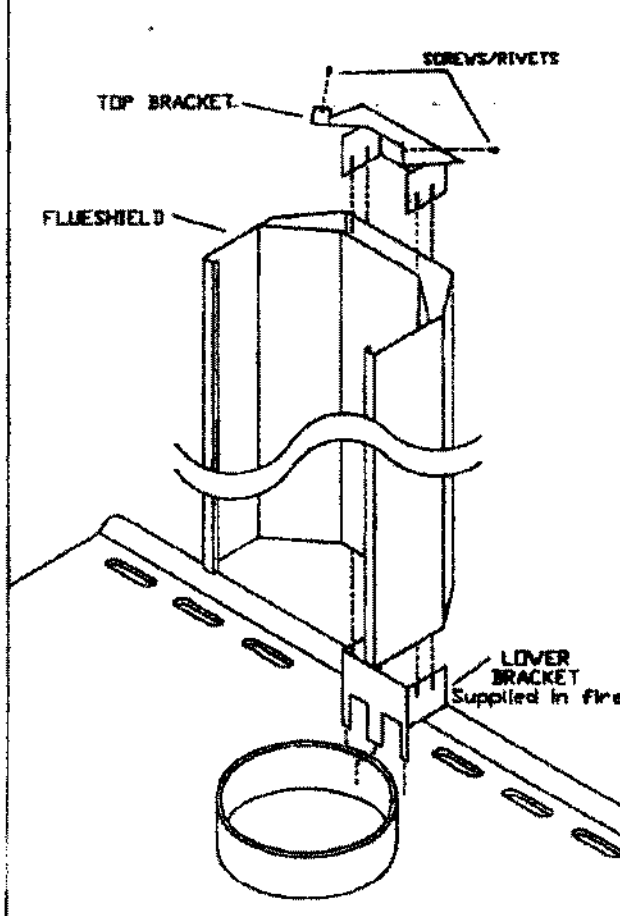
Installation shown complies with NZS 7421, or the equivalent section in AS 2918. If a chimney exits out of the roof within 3 metres of the ridge, the outer shield height shall be no less than 600mm above that point. If the chimney exits further than 3 metres out of the roof then it should project 900mm above roof penetration.

For optimum performance, overall flue length should be between 3.60m-4.80m and have no bends. Flue pipes should be 150mm diameter. Due to factors such as roof pitch, predominant winds, nearby obstructions (i.e. trees, buildings), and fire placement, flue lengths and hats/cowls may vary.

CEILING PENETRATION PLAN



LOGAIRE DOUBLE FLUESHIELD ASSEMBLY



ATTENTION

The Air Bar may need to be fitted into position. Please ensure the tab on the Air Bar is located to the Location pin in the left hand side of the firebox. Insert Split Pin and pry end of pin apart. To remove the Air Bar, simply remove the Split pin and remove the Air Bar.

Code Compliance Certificate Form 7

Section 95, Building Act 2004

T M Sansiquet and A J M Sabadel
C/O Richard Carmody
28 Derwent Street
Dunedin 9010

The building

Street address of building: 6 Kohi Place Port Chalmers

Legal description of land where building is located: LOT 6 DP 10276

Building Name: n/a

Location of building within site/block number:

Level/unit Number:

Current, lawfully established, use: Housing

Number of occupants: 3

Year first constructed: 1968

The owner

Name of owner: T M Sansiquet and A J M Sabadel

Contact person: T M Sansiquet and A J M Sabadel

Mailing address: C/O Richard Carmody, 28 Derwent Street, Dunedin 9010

Street address/registered office:

Mobile: 022 175 7012

Landline:

Email address: tristan.sansiquet@gmail.com

First point of contact for communications with the building consent authority: As above

Building work

Building Consent Number:

ABA-2020-2385 - Alter Dwelling - Convert Basement Store to Enlarged Bathroom and Relocate Laundry

This CCC also applies to the following amended consents: n/a

Issued by: Dunedin City Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that-

(a) The building work complies with the building consent



Team Leader Inspections
On behalf of Dunedin City Council

Date: 22 September 2022

BUILDING CONSENT - ABA-2020-2385

(Section 51, Building Act 2004)
Form 5

The building

Street address of building: 6 Kohi Place Port Chalmers

Legal description of land where building is located: LOT 6 DP 10276

Building Name: N/A

Location of building within site/block number: N/A

Level/unit Number: N/A

The owner

Name of owner: T M Sansiquet and A J M Sabadel

Contact person: T M Sansiquet and A J M Sabadel

Mailing address: C/O Eco Workshop Limited, 31E Stafford Street, Dunedin 9016

Street address/registered office:

Mobile: 022 175 7012

Landline:

Email address: tristan.sansiquet@gmail.com

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Alter Dwelling - Convert Basement Store to Enlarged Bathroom and Relocate Laundry

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

A compliance schedule is not required for the building.

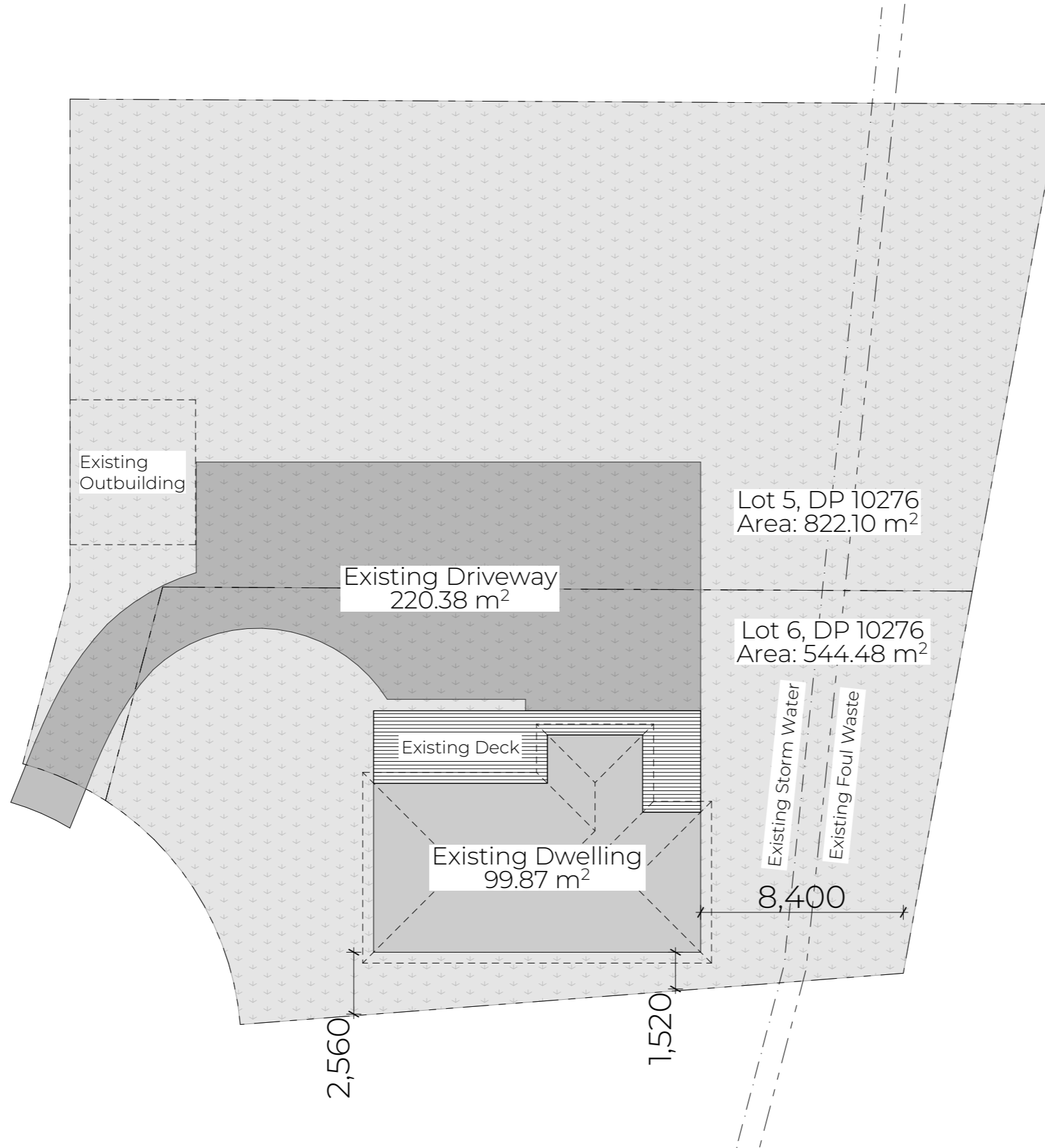
Attachments

Copies of the following documents are attached to this building consent:
Record of required site inspections (section 90(2) of the Building Act 2004)



Grant Sutton
Authorised Officer
On behalf of Dunedin City Council

Date: 10 December 2020



NOTES:

Site information:
 Legal description:
 Lot 5 & 6 dp 10276
 Site area: 544m²
 Property location: Dunedin
 6 Kohi Place, Port Chalmers, Dunedin
 Otago 9023

Building:
 Year First Constructed: Circa 1960
 Dwelling area: 146m²
 Total dwelling area: 146m²

Garage area: TBC m²
 Deck area: 35m² approx.
 Roof area: 120.97m²

Total site coverage: 18.34% (Lot 6 only)
 Total impermeable area: 23.43% (Lot 5 & 6)

Site specifications:
 Wind zone: Very High
 Exposure zone: Zone D
 Earthquake zone: Zone 1
 Snow load: N5
 Altitude: <50m
 Zoning: Township and Settlement
 Soil bearing: TBC

F5 - work site barriers:
 Barriers are not necessary for domestic dwellings up to 2 storeys above ground level unless specific hazard existing. If the work-site is not completely enclosed, and unauthorized entry by children is likely, specific hazards are to be fenced only when workers are absent from the immediate vicinity. Where a specific hazard exists allow for a barrier to table 1 F5/AS1

The Copyright of these plans shall remain with Eco Workshop 2020 Ltd.
 Eco Workshop 2020 Ltd accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings. Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Eco Workshop Ltd of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
	#Description	SL	3/12/2020
STATUS:		#Status	

ECOWORKSHOP AD NZ Professional Member
 ARCHITECTURAL STUDIO

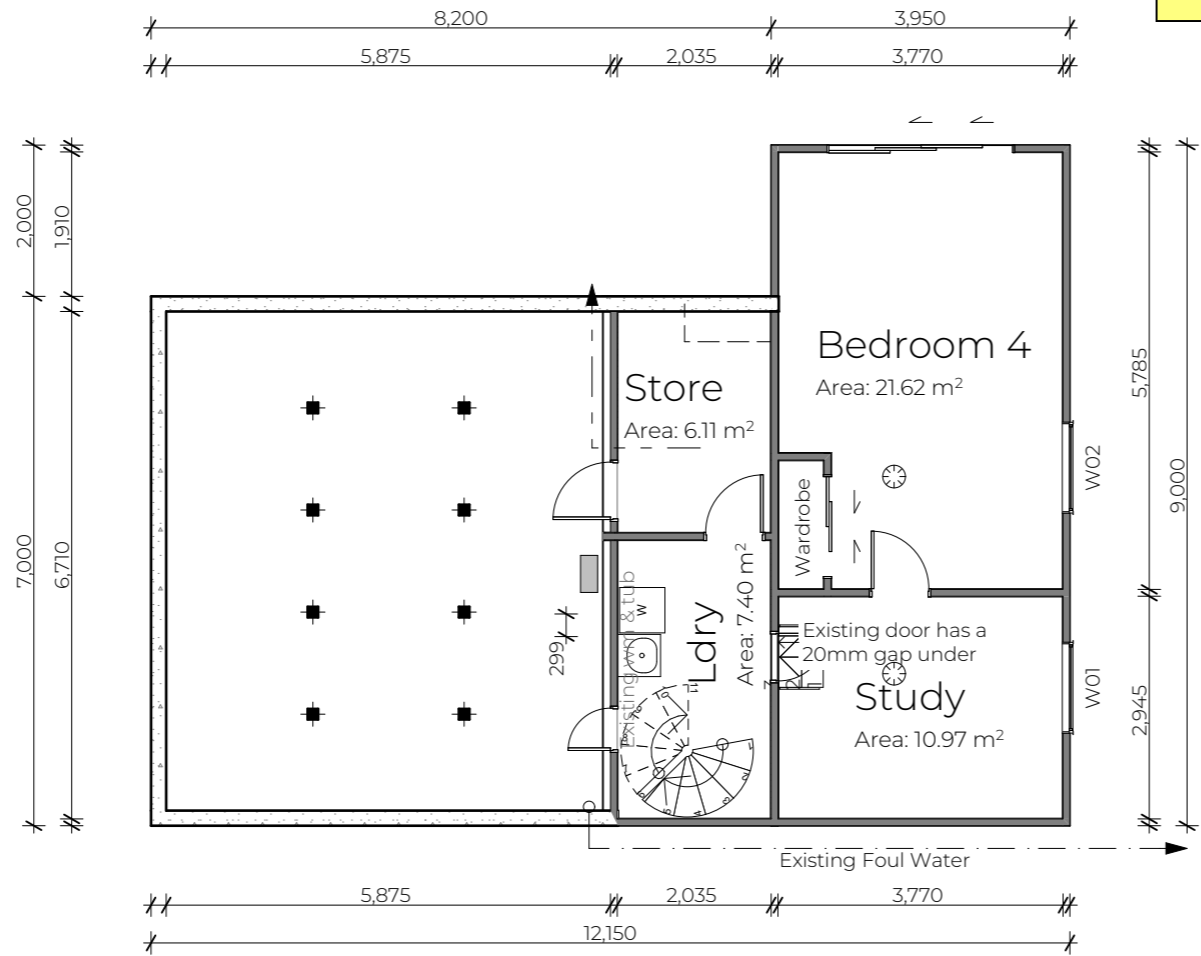
31E STAFFORD STREET
 DUNEDIN CENTRAL 9016
 PH: 03 455 1505
 email: admin@ecoworkshop.co.nz
 www.ecoworkshop.co.nz

CLIENT:
 T. Sansiquet & A. Sabadel

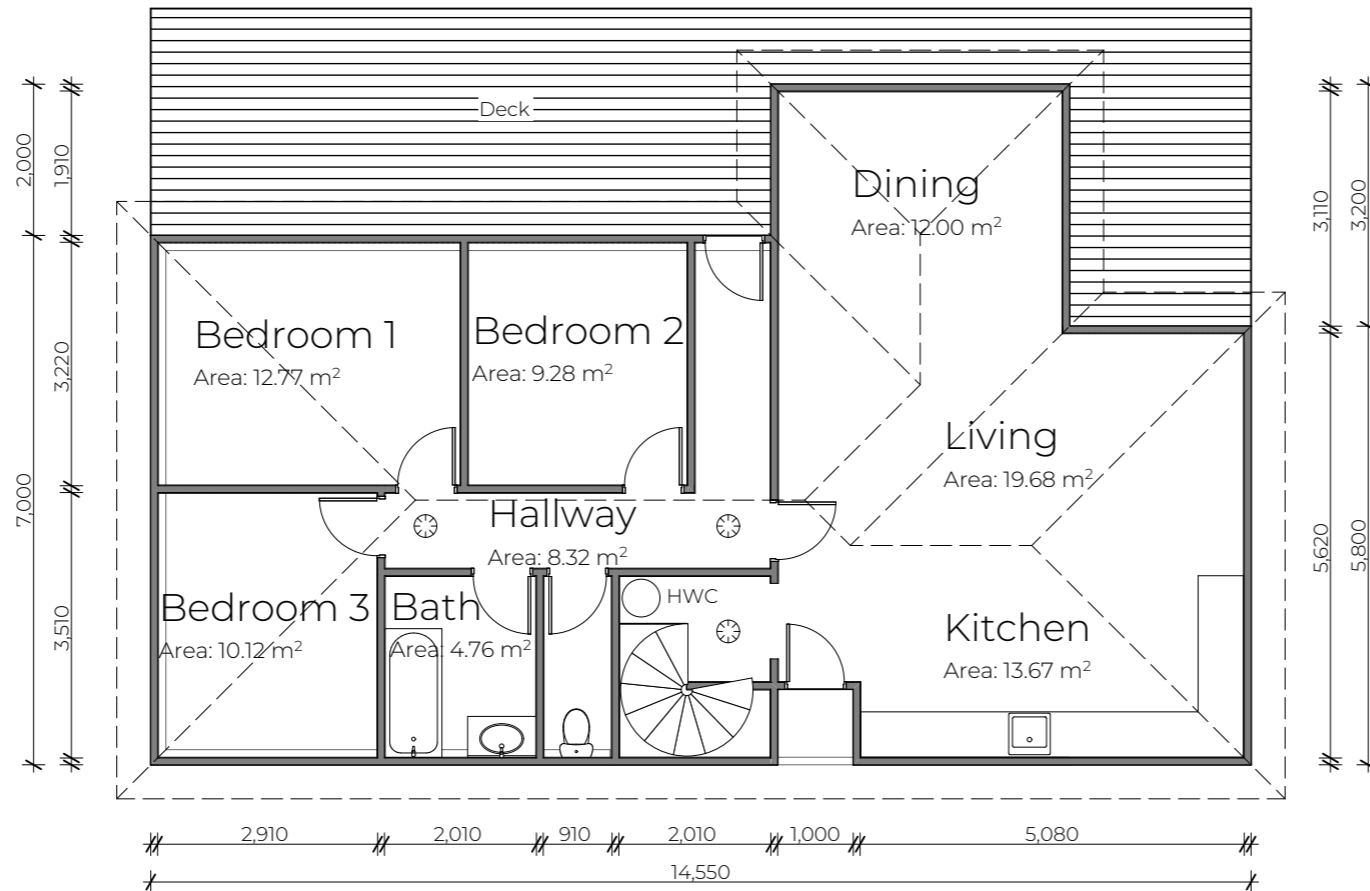
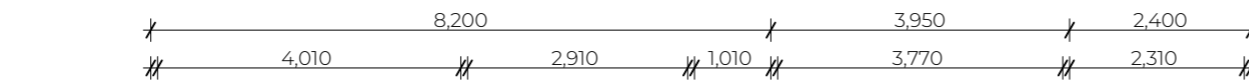
SITE: 6 Kohi Place,
 Port Chalmers,
 Dunedin 9023

TITLE:
 Existing Site Plan

SCALE AT A3: 1:200	DATE: 31/08/2020	DRAWN: SL	CHECKED: BW
JOB No: 20051	PAGE No: 101	REVISION: -	



Basement Plan 1:100



First Floor 1:100

NOTES:

- Smoke alarms:** ☼
- Smoke alarms shall be located on the escape routes on all levels within the household unit.
 - On levels containing sleeping spaces, the smoke alarms shall be located either:
 - In every sleeping space, or
 - Within 3.0m of every sleeping space door, in this case the alarms must be audible to the sleeping occupants on the other side of closed doors.
 - The smoke alarms shall be 9V battery powered with a hush facility

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REV	DESCRIPTION	BY	DATE
	#Description	SL	9/12/2020
STATUS:		#Status	

ECOWORKSHOP AD NZ
ARCHITECTURAL STUDIO Professional Member

31E STAFFORD STREET
DUNEDIN CENTRAL 9016
PH: 03 455 1505
email: admin@ecoworkshop.co.nz
www.ecoworkshop.co.nz

CLIENT:
T. Sansiquet & A. Sabadel

SITE: 6 Kohi Place,
Port Chalmers,
Dunedin 9023

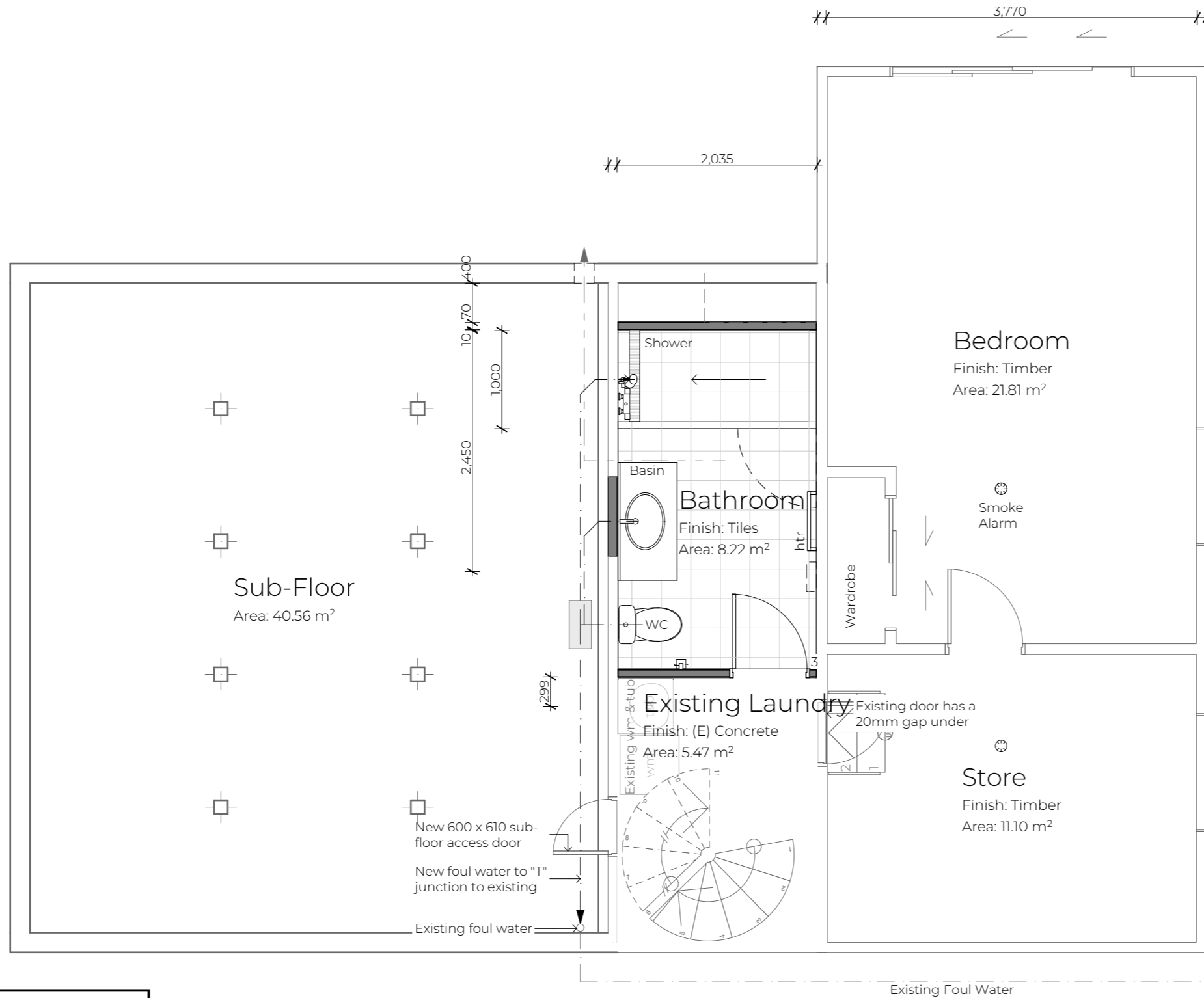
TITLE:
Existing Plans

SCALE AT A3: 1:100	DATE: 31/08/2020	DRAWN: SL	CHECKED: BW
JOB No: 20051	PAGE No: 102	REVISION: -	



NOTES:

DUNEDIN CITY COUNCIL
Plans and Specifications approved in accordance
with the NZ Building Code.
To be retained on works and produced on request.
Date: 09/12/2020 Building: M McLay
Date: 09/12/2020 Plumbing: D Anfield



The Copyright of these plans shall remain with Eco Workshop 2020 Ltd.
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REV	DESCRIPTION	BY	DATE
	#Description	SL	9/12/2020
STATUS:		#Status	

LEGEND	
Ref	Reference
Mat	Material
Fin	Finish
Col	Colour
Ply 1	V-grooved 12mm ply
Gib 1	10mm Gib aqualine
Gib 2	13mm Gib aqualine
Paint 1	Paint system - wet areas
Conc	Concrete foundation
Ura	Resene Uracryl
N/A	Not applicable
TBC	To be confirmed

Room name	Schedule of finishes									
	Walls				Floor			Ceiling		
	Ref	Mat	Fin	Col	Mat	Fin	Col	Mat	Fin	Col
Bathroom	North	Gib 1	Tiled	Tbc	Conc	Tiled	Tbc	Gib 2	Paint 1	Tbc
	East	Gib 1	Tiled	Tbc						
	South	Gib 1	Tiled	Tbc						
	West	Gib 1	Tiled	Tbc						
Laundry	North	Gib 1	Paint 1	Tbc	Conc	Ura	N/A	Existing	Existing	Existing
	East	Gib 1	Paint 1	Tbc						
	South	Gib 1	Paint 1	Tbc						
	West	Gib 1	Paint 1	Tbc						

ECOWORKSHOP AD NZ
ARCHITECTURAL STUDIO Professional Member

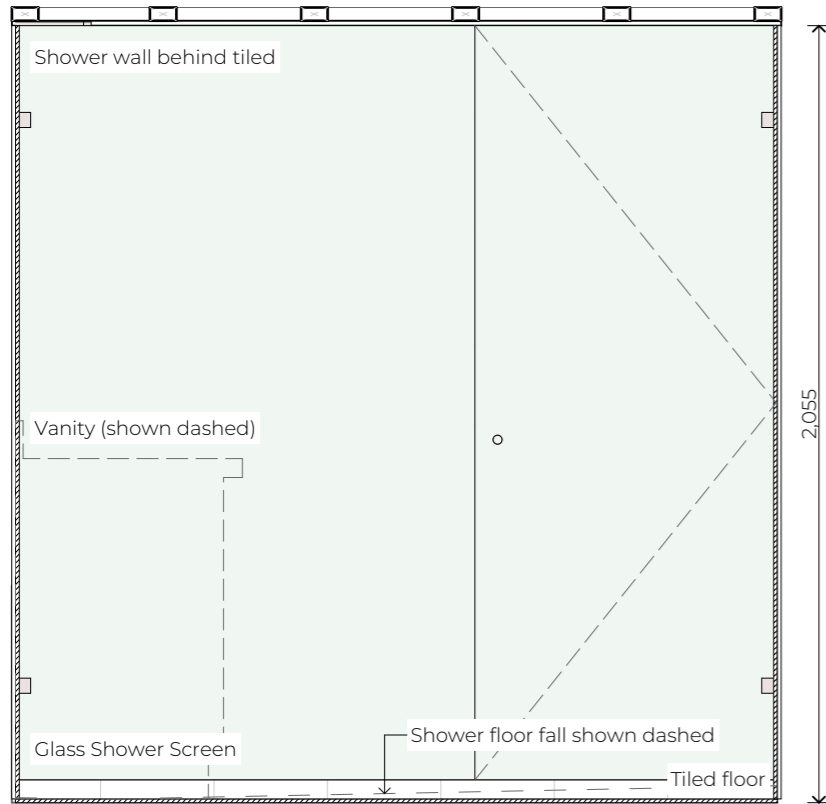
31E STAFFORD STREET
DUNEDIN CENTRAL 9016
PH: 03 455 1505
email: admin@ecoworkshop.co.nz
www.ecoworkshop.co.nz

CLIENT:
T. Sansiquet & A. Sabadel

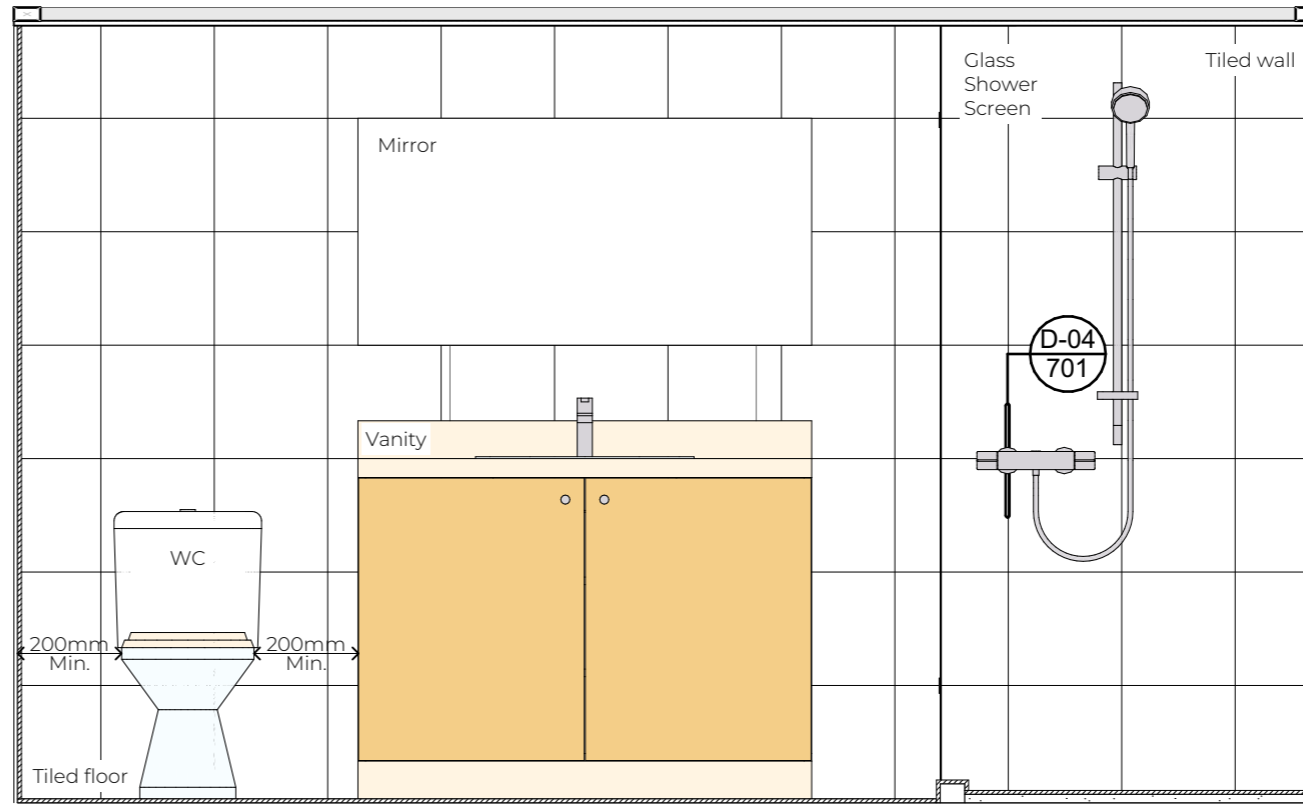
SITE: 6 Kohi Place,
Port Chalmers,
Dunedin 9023

TITLE:
Proposed Floor Plan

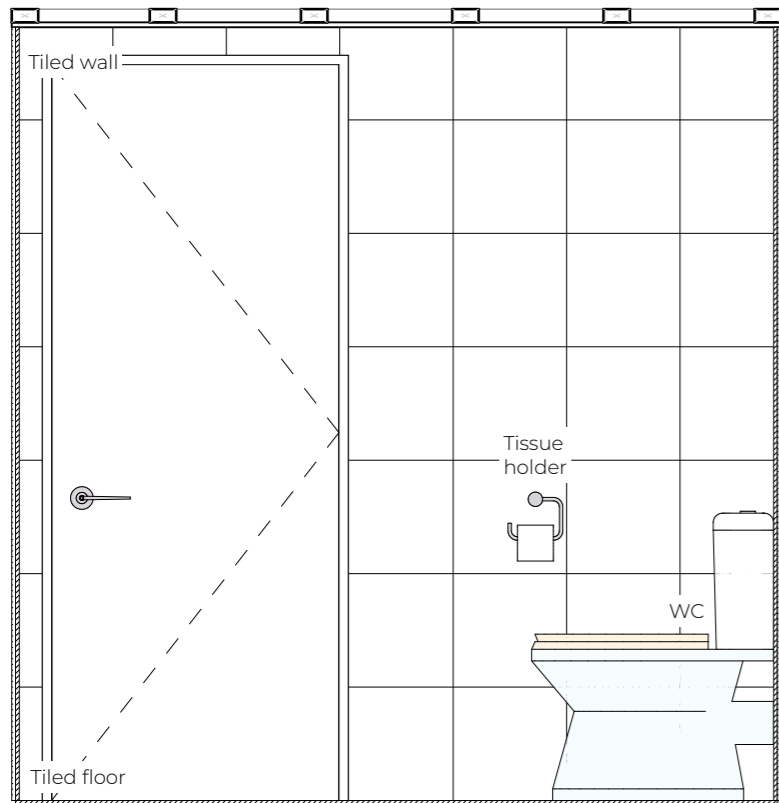
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JOB No: 20051	PAGE No: 301	REVISION: -	



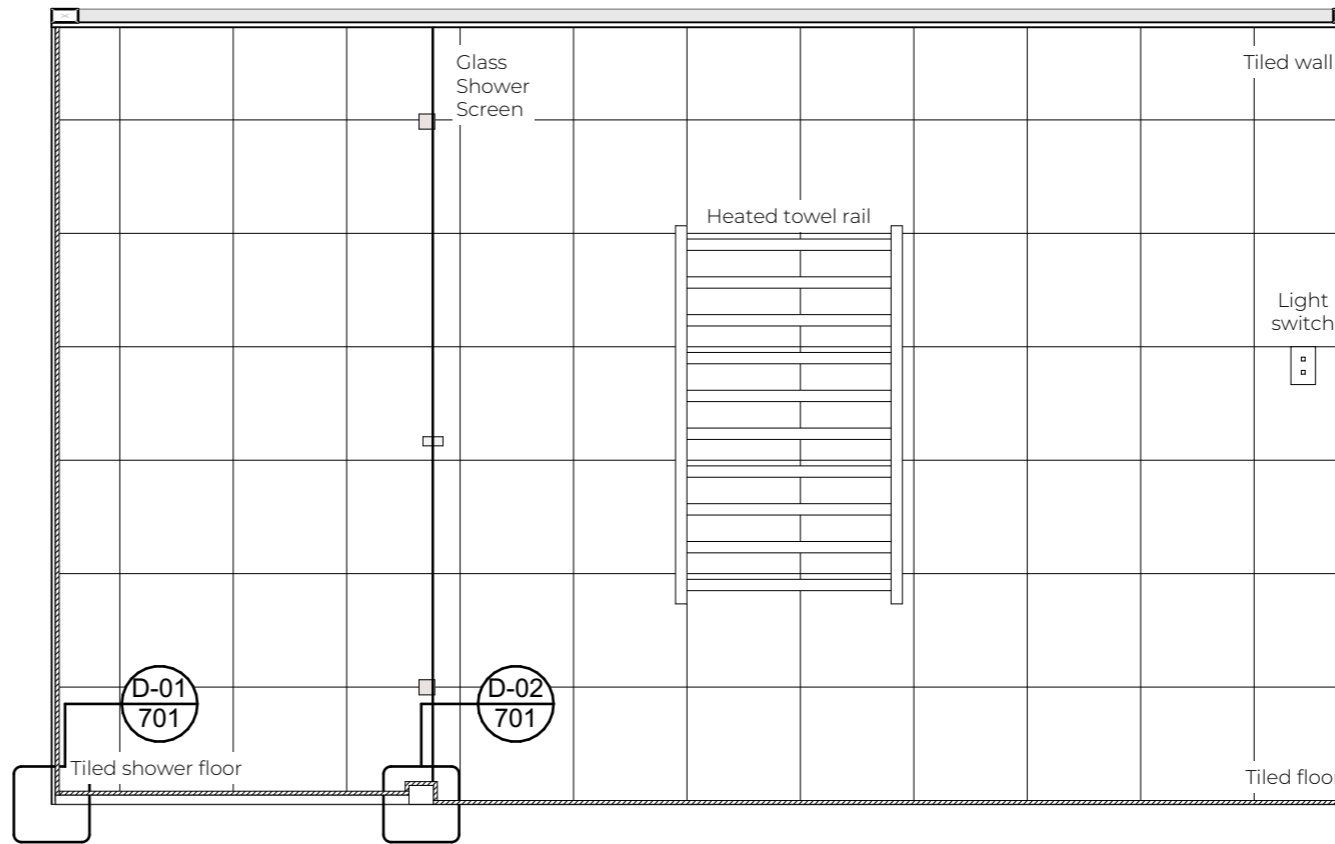
Northeast 1:20



Northwest 1:20



Southwest 1:20



Southeast 1:20

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REV	DESCRIPTION	BY	DATE
	#Description	SL	3/12/2020
STATUS:		#Status	

ECOWORKSHOP AD NZ
ARCHITECTURAL STUDIO Professional Member

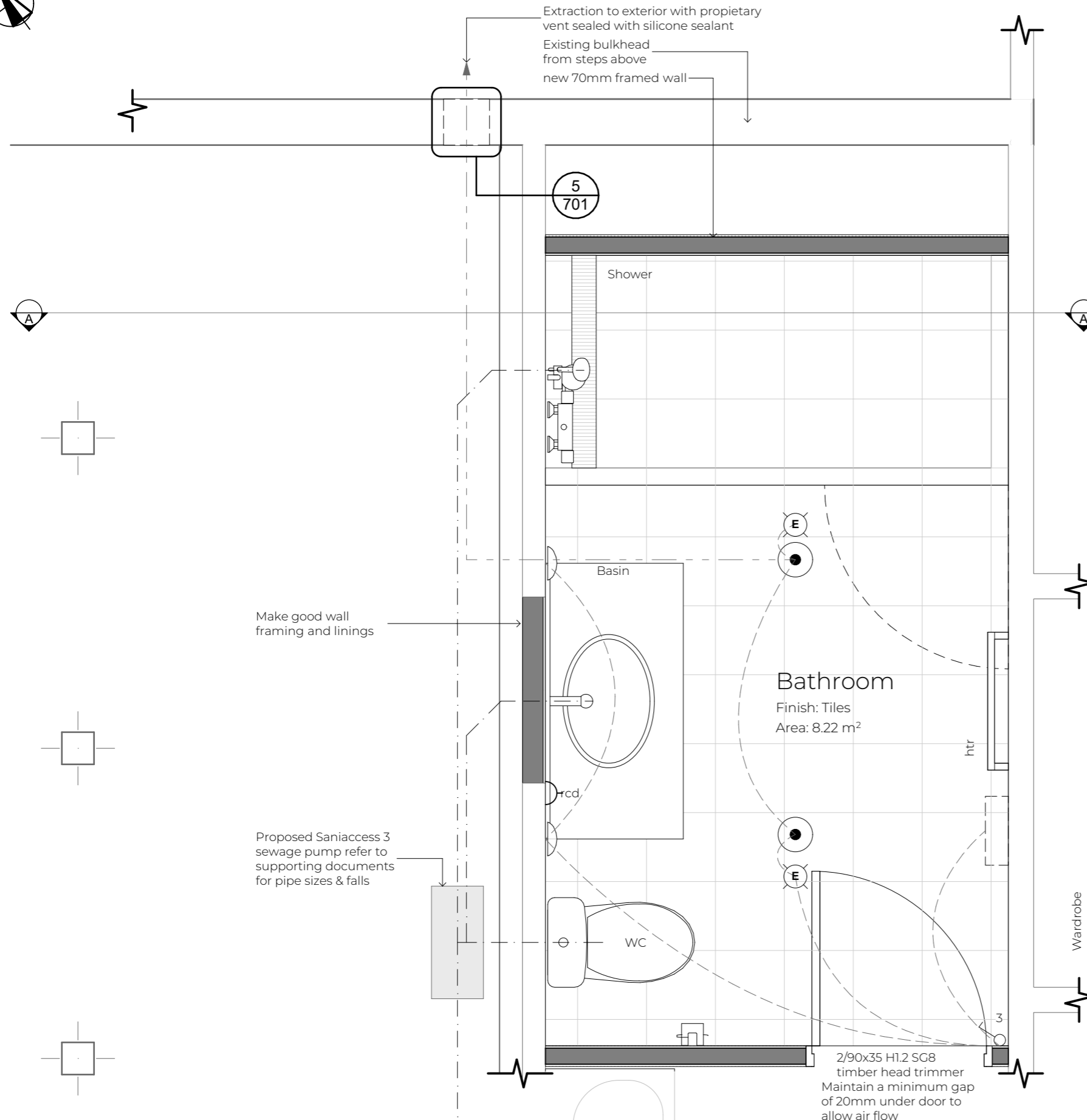
31E STAFFORD STREET
DUNEDIN CENTRAL 9016
PH: 03 455 1505
email: admin@ecoworkshop.co.nz
www.ecoworkshop.co.nz

CLIENT:
T. Sansiquet & A. Sabadel

SITE: 6 Kahi Place,
Port Chalmers,
Dunedin 9023

TITLE:
Internal elevations

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:20	31/08/2020	SL	BW
JOB No: 20051	PAGE No: 401	REVISION: -	



Total Fixture Load = 20

Mechanical Ventilation:

- Kitchen, bathroom and laundry to have mechanical ventilation ducted to the exterior as per G4 clause 1.2.5.
- 25 l/s for shower/bath
- 50 l/s for cooktop

Plumbing and Drainage

All plumbing in accordance with NZS/AS3500.2 Foul Water. New pipework to be uPVC.

Waste Water Gradients:

- Up to DN80 uPVC =1:40
- Over DN80 uPVC =1:60

Water supply pipe sizing:

Mains Pressure:
15mm Dia polybutylene pipe to fixing
15mm Dia polybutylene pipe to tempering valve.
NOTE: All pipes are to be polybutylene and manufactured to the standards set in AS/NZS1260

Hot water tempering:

Ensure hot water supply is tempered to 55°

Water supply insulation:

Closed cell foam polymer insulation or fibre glass insulation which is performed to the shape of the pipe and not less than 13mm thick, is acceptable material for preventing pipes less than or equal to 40mm diameter from freezing. Any insulation materials that can absorb moisture shall be protected in water proof membrane.

Glazing:

- Install glazing in accordance with NZS 4223.
- All glazing within 1500mm of FFL in wet areas, & all shower screens/doors, shall be grade a safety glass in accordance with NZS 4223.3

New Framing (non-load bearing wall):

70x45 H1.2 SG8 timber studs at 600 crs, with 2 rows of dwangs, or, 1350 crs. max.

Stud Fixing:

- 4/75x3.05 skewed power driven nails, or
- 4/75x3.15 skewed hand driven nails.

Dwangs to Stud:

- 2/75x3.05 skewed power driven nails, or
- 2/75x3.15 skewed hand driven nails

Bottom Plate to Floor:

Hilti XP72 power actuated nails at 400 crs.

DPC

Provide DPC between timber and concrete elements

- Electrical:**
- All sockets to be installed 300mm above floor level, unless specifically noted otherwise
 - All light switches to be installed 1150mm above floor level, unless specifically noted otherwise
- Floor surfaces:**
- All floor surfaces on accessible routes & any vinyl surface shall comply with NZBC clause D1, section 2.1, such that they shall have a coefficient of friction μ , of not less than 0.4 when tested in accordance with AS/NZS 3661.1.
- Joints between fixtures and wall linings:**
- Where baths, basins, tubs or sinks abut impervious linings, the joint between fixture and lining shall be sealed to prevent water penetration to concealed spaces or behind linings

The Copyright of these plans shall remain with Eco Workshop 2020 Ltd.
Eco Workshop 2020 Ltd accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings. Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Eco Workshop Ltd of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
	#Description	SL	9/12/2020

STATUS: #Status

Electrical Legend		No.
	Power Outlet with RCD	1
	Multiple light switch	1
	Recessed downlight (fixed)	2
	Extractor fan	2
	Wall mount heater	1
	Heated towel rail	1
	Wall mount light fitting	2

ECOWORKSHOP ARCHITECTURAL STUDIO

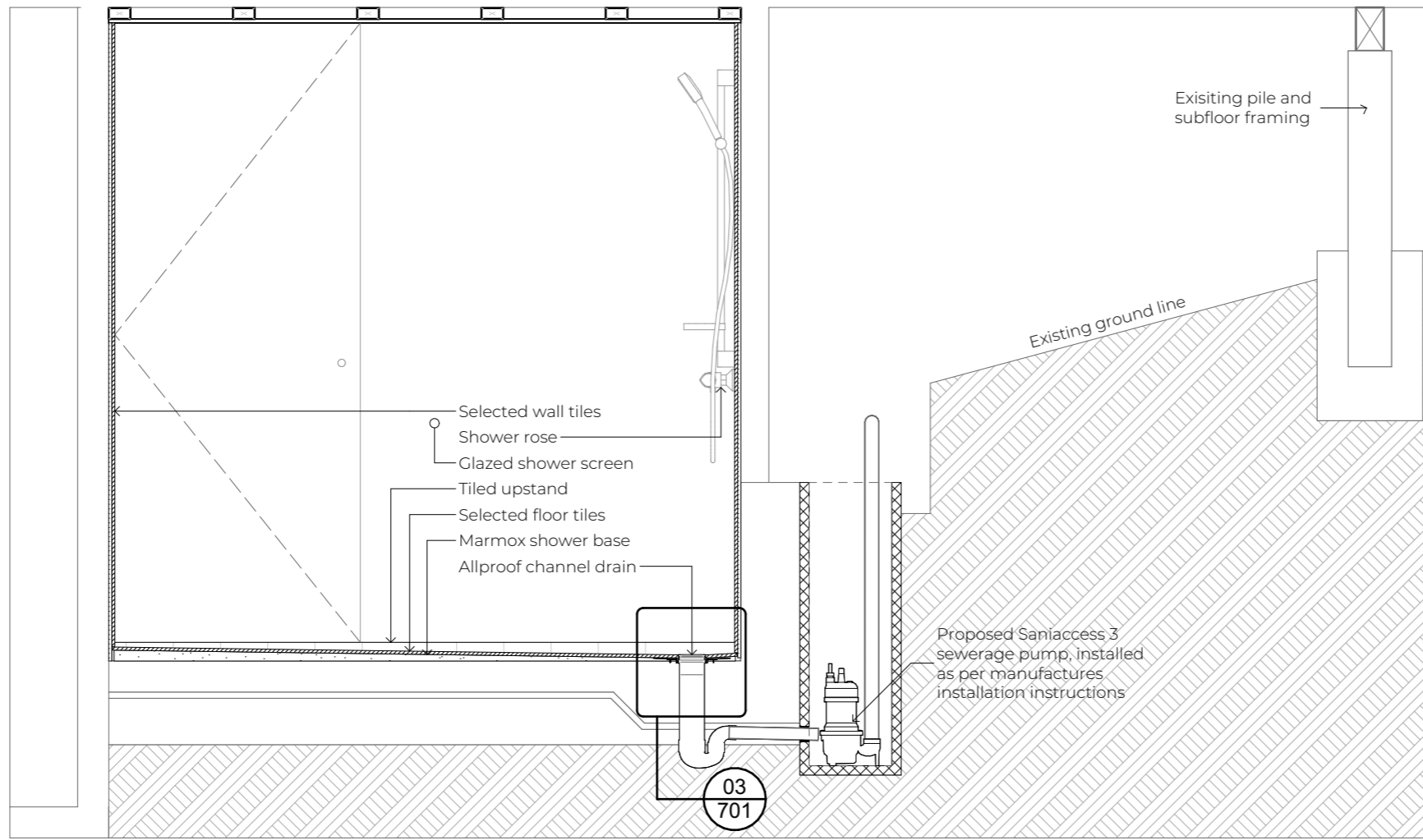
31E STAFFORD STREET
DUNEDIN CENTRAL 9016
PH: 03 455 1505
email: admin@ecoworkshop.co.nz
www.ecoworkshop.co.nz

CLIENT:
T. Sansiquet & A. Sabadel

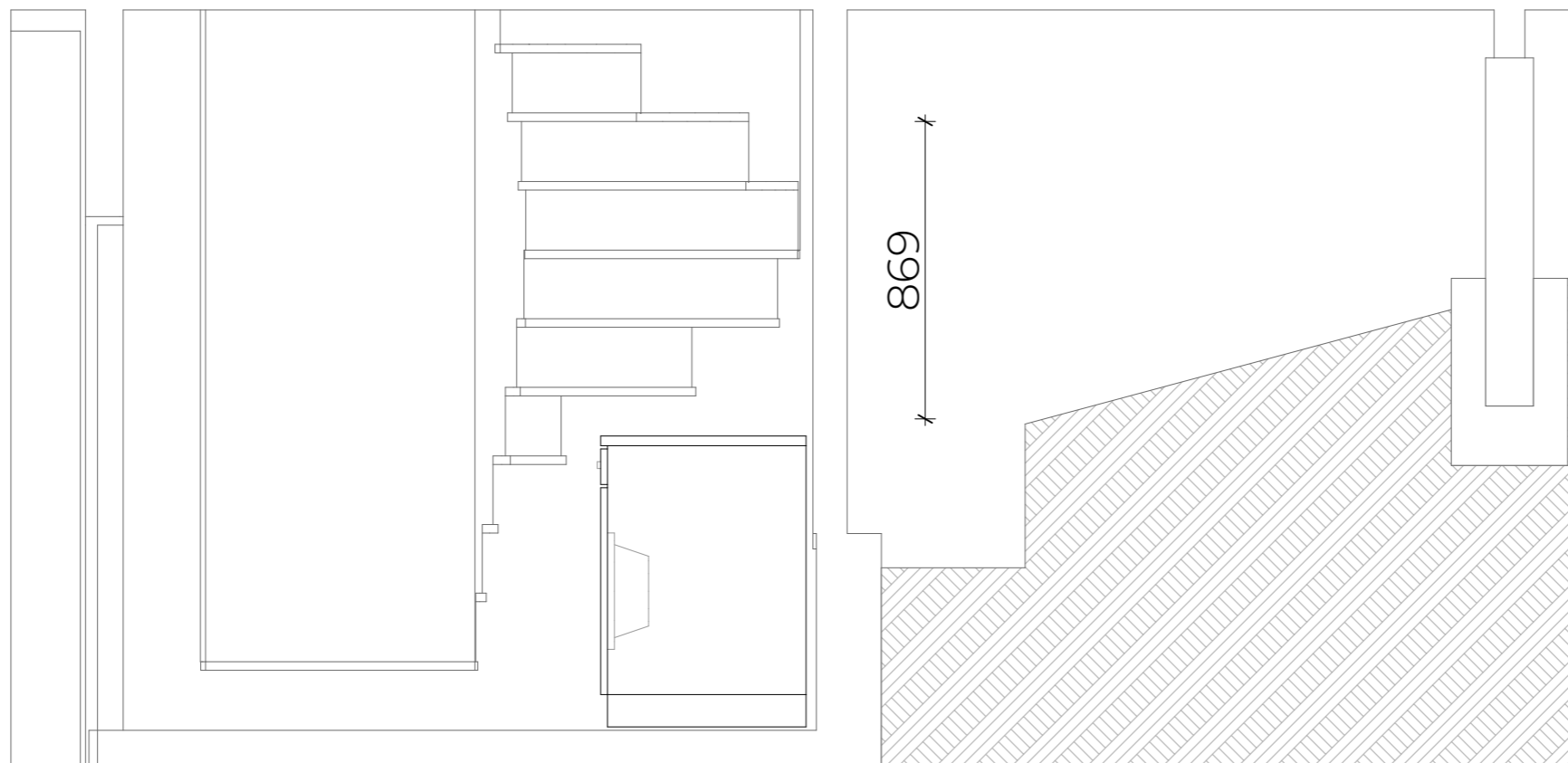
SITE: 6 Kohi Place,
Port Chalmers,
Dunedin 9023

TITLE: **Proposed Bathroom layout**

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:20	31/08/2020	SL	BW
JOB No:	PAGE No:	REVISION:	
20051	501	-	



1 Section A-A
501 1:20



2 Section B-B
#LayID 1:20

**DUNEDIN CITY COUNCIL - Approved Building Consent Document
ABA-2020-2385**

NOTES:

The Copyright of these plans shall remain with Eco Workshop 2020 Ltd.
Eco Workshop 2020 Ltd accepts no responsibility for any work undertaken that is not in strictly accordance with these drawings. Contractor shall check and verify all dimensions, setouts, and levels on site, prior to commencing contract, and shall immediately notify Eco Workshop Ltd of any discrepancies or errors.

REV	DESCRIPTION	BY	DATE
	#Description	SL	3/12/2020
STATUS:		#Status	

ECOWORKSHOP AD NZ
ARCHITECTURAL STUDIO Professional Member

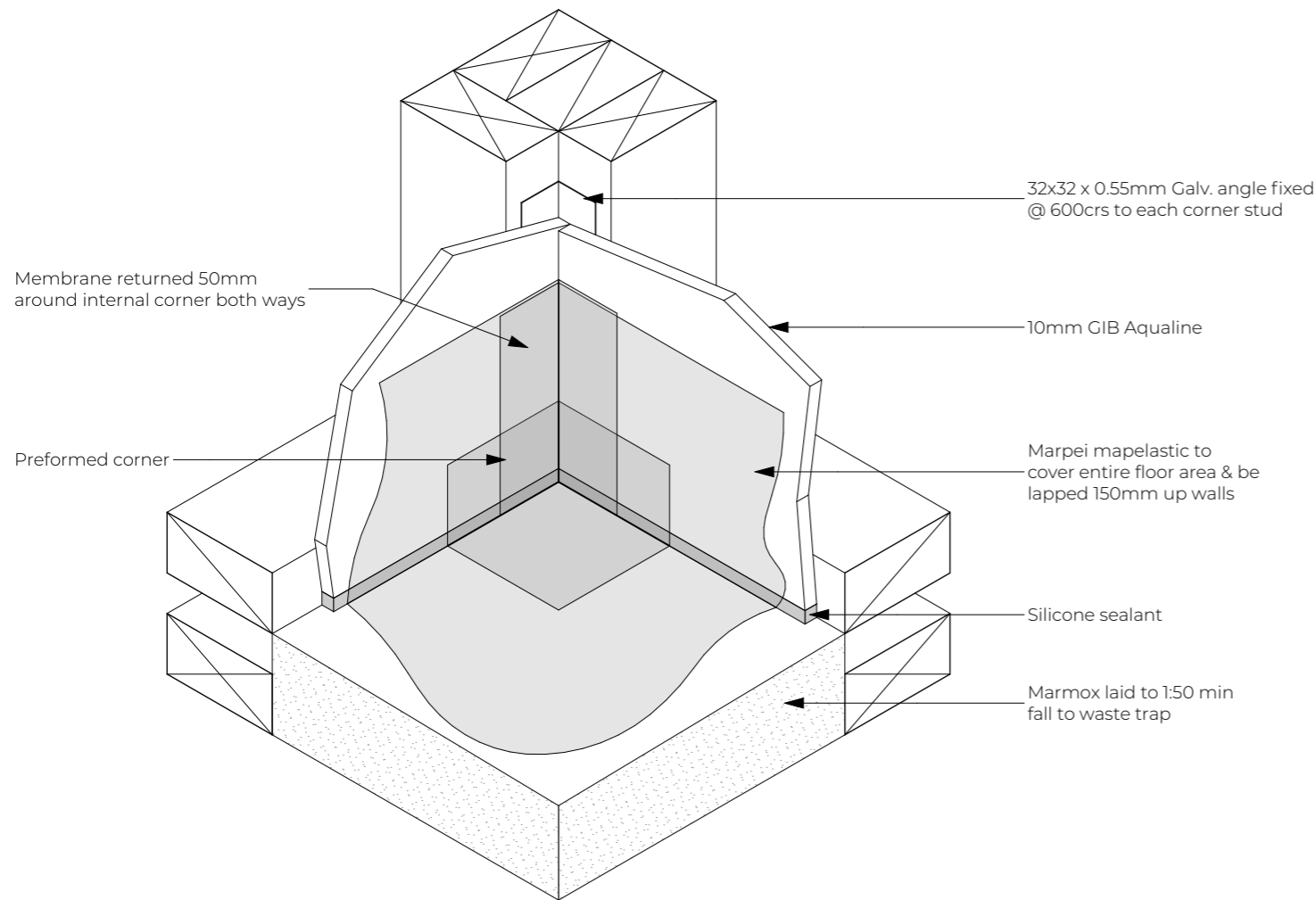
31E STAFFORD STREET
DUNEDIN CENTRAL 9016
PH: 03 455 1505
email: admin@ecoworkshop.co.nz
www.ecoworkshop.co.nz

CLIENT:
T. Sansiquet & A. Sabadel

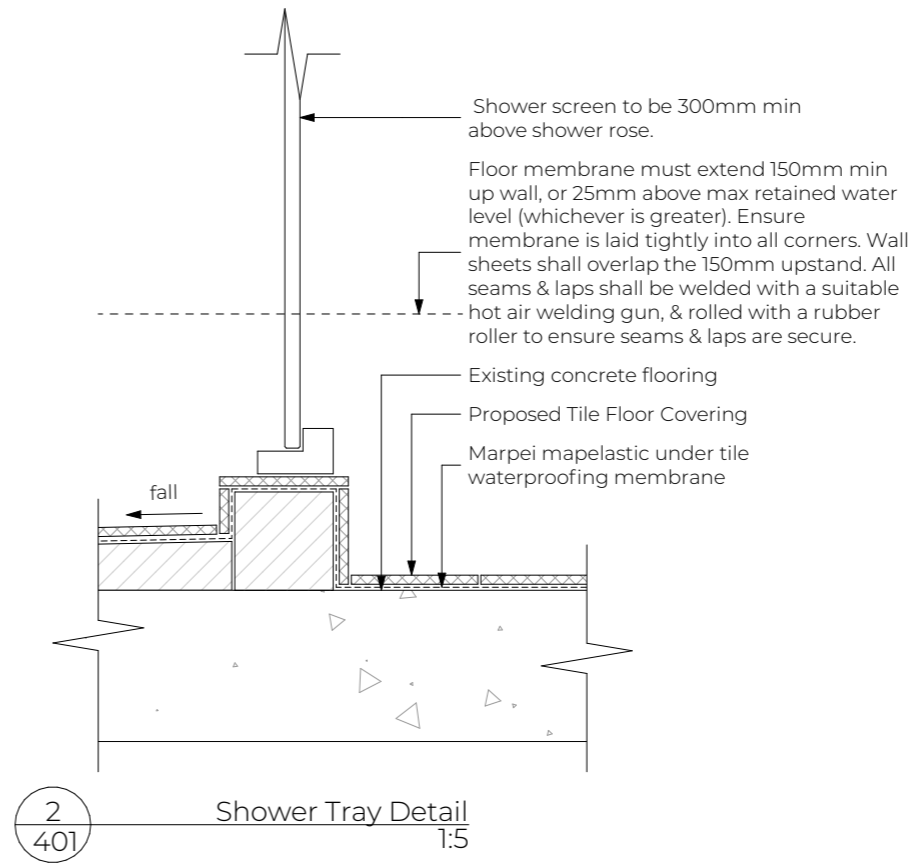
SITE: 6 Kohi Place,
Port Chalmers,
Dunedin 9023

TITLE:
Section A-A

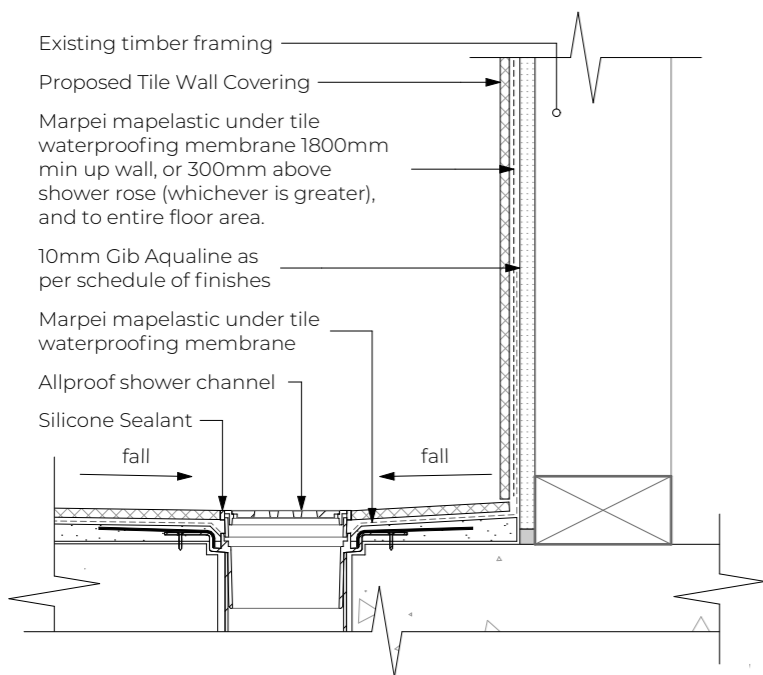
SCALE AT A3: 1:20	DATE: 31/08/2020	DRAWN: SL	CHECKED: BW
JOB No: 20051	PAGE No: 601	REVISION: -	



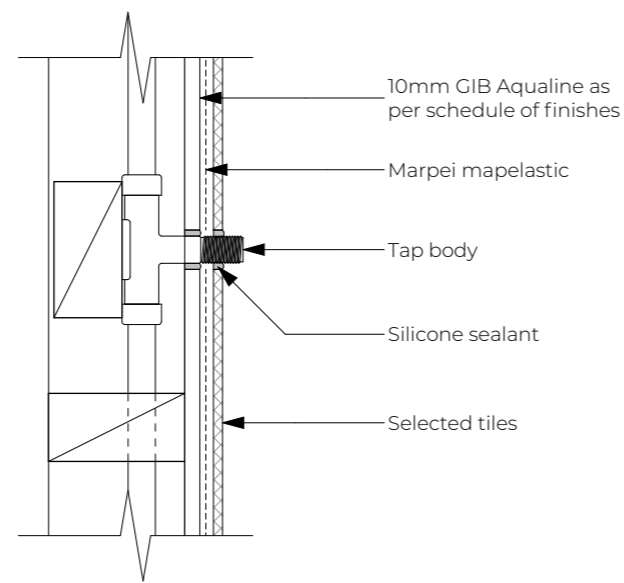
1
401 Shower Tray Detail
1:5



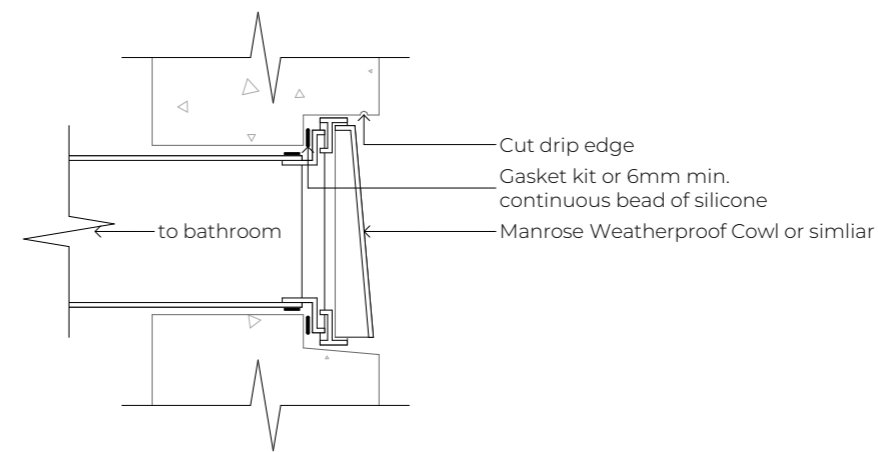
2
401 Shower Tray Detail
1:5



3
601 Shower Tray Detail
1:5



4
401 Shower Tray Detail
1:5



5
501 Vent Penetration Detail (1)
1:5

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REV	DESCRIPTION	BY	DATE
	#Description	SL	3/12/2020
STATUS:		#Status	

ECOWORKSHOP AD NZ
ARCHITECTURAL STUDIO Professional Member

31E STAFFORD STREET
DUNEDIN CENTRAL 9016
PH: 03 455 1505
email: admin@ecoworkshop.co.nz
www.ecoworkshop.co.nz

CLIENT:
T. Sansiquet & A. Sabadel

SITE: 6 Kohi Place,
Port Chalmers,
Dunedin 9023

TITLE:
Bathroom Details

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:5	31/08/2020	SL	BW
JOB No:	PAGE No:	REVISION:	
20051	701	-	

PORT CHALMERS BOROUGH COUNCIL DRAINAGE CONNECTION PLAN

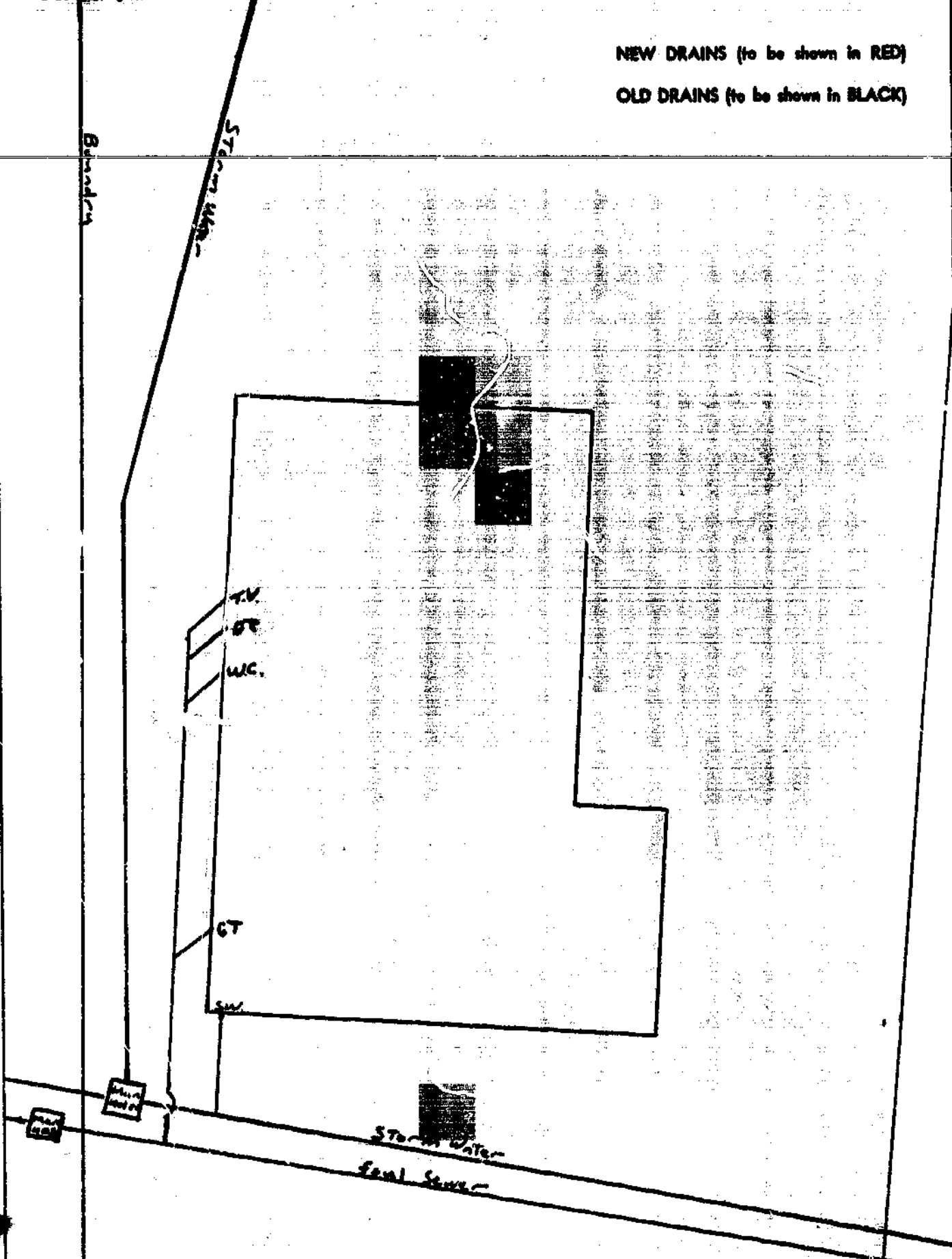
COPY OF PRIVATE DRAINAGE PLAN

SCALE 1 in. to a foot.

NEW DRAINS (to be shown in RED)

OLD DRAINS (to be shown in BLACK)

Binding Margin to be left Blank.



Owner Alister MACKIE

Street

Section No. 6

Signature of Drafter [Signature]

Date 6-4-69

[Signature]



INSULMAX®

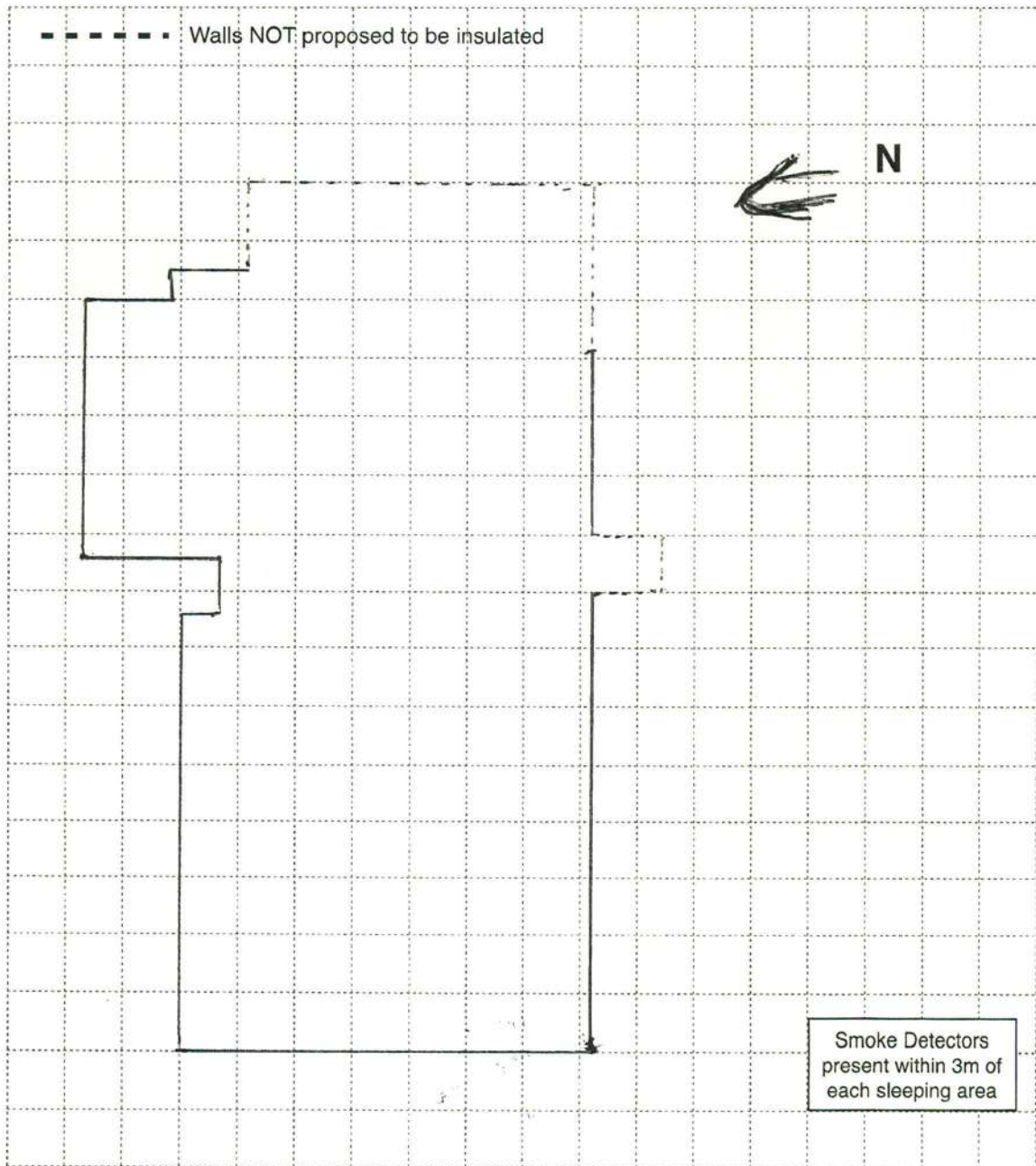
Wall Insulation System

SITE PLAN

Address 6 Kohi Place, Petchbunwong UPPER LEVEL

- Record maintenance / work items required prior to installation or prior to CCC application
- Record location of moisture readings if suspected leak from defect or visual signs of moisture ingress
- Record position of through wall flus
- **ALL EXTERNAL WALLS PROPOSED TO BE INSULATED UNLESS OTHERWISE INDICTED**

----- Walls NOT proposed to be insulated



Certificate of Conformity

This is to Certify **INSULMAX® Retrofit Wall Insulation Method**

Product Description

The INSULMAX® Retrofit Wall Insulation Method is a controlled design method for creating plans and specifications for a building consent to install INSULMAX® in the walls of existing buildings. INSULMAX® insulation is a soft, white blown mineral insulation material that achieves an R value of 2.5 – 2.8/100mm.

The controlled design method includes a prescribed method for assessing the existing building and identifying any work that must be done prior to the installation of Insulmax insulation, in order for the requirements of S112 of the building Act 2004 to be met. The report that is produced as a result of this evaluation must be provided to the BCA as part of the building consent application.

The INSULMAX® Retrofit Wall Insulation Method also provides a declaration on completion of the work that the "Work Required" identified on the INSULMAX® existing building assessment report has been undertaken and the building work has been completed in accordance with the building consent.

For clarity certification covers the controlled design method and the INSULMAX® insulation building material.

Complies with the Building Code of New Zealand:

When installed in accordance with the conditions of this certificate, the INSULMAX® insulation will comply with,

B1 Structure - B1.3.1, B1.3.2, B1.3.3 (a),

B2 Durability - B2.3.1 (a)

F2 Hazardous Building Materials - F2.3.1

The building work will comply with,

E2 External Moisture - E2.3.2

When installed in accordance with the conditions of this certificate, the INSULMAX® insulation will contribute to compliance with:

C3 Fire affecting areas beyond the fire source - C3.7 (a)

H1 Energy Efficiency - H1.3.1 (a, b), H1.3.2E

The existing building will continue to comply with the following Building Code clauses to at least the extent as before the installation of INSULMAX® insulation:

B1 Structure - B1.3.1

C2 Prevention of Fire Occurring - C2.2

E2 External Moisture - E2.3.2, E2.3.5

G9 Electricity - G9.3.1

H1 Energy Efficiency - H1.3.1

Subject to the following conditions and limitations:

1. All aspects of the INSULMAX® Retrofit Wall Insulation method must be carried out or supervised by a person certified by Insulmax NZ Ltd.
2. The INSULMAX® License Holder must provide a signed declaration (to be provided to the BCA as part of the building consent application), that all conditions of the CodeMark certificate have been met.
3. The INSULMAX® existing building assessment report must be signed by a person who has been certified by INSULMAX NZ Limited (to be provided to the BCA as part of the building consent application).
4. The agreement of the Building Owner to complete the "Work Required" identified on the INSULMAX® existing building assessment report must be obtained and provided to the BCA as part of the building consent application.



Date of Issue

27th May 2016

Certificate Number

AQ-060516-CMNZ (Rev 2 – May 17)



CODEMARK™

Product Use and Scope

This certificate covers the retrofitting of INSULMAX® wall insulation in all existing buildings subject to the completion of the Insulmax Existing Building Assessment.

Certificate Holder

Insulmax N.Z Ltd
43 Tunnel Beach Road
Blackhead
RD1
Dunedin, 9076
Ph: 03 487 8606
www.insulmax.co.nz



AsureQuality

JAS-ANZ

CodeMark Certification Body

AsureQuality, 11 Hull Road,
Mt Maunganui
New Zealand
Tel. 0508 00 11 22
www.asurequality.com



Insulmax N.Z Ltd will notify AsureQuality Ltd in accordance with Regulation 15 of the Building (Product Certification) Regulations 2008

This certificate is issued by an independent certification body accredited by the product certification accreditation body appointed by the Chief Executive of the Ministry of Business, Innovation and Employment (MBIE) under the Building Act 2004.

The MBIE does not in any way warrant, guarantee, or represent that the building method or product the subject of this certificate conforms with the New Zealand Building Code, nor accept any liability arising out of the use of the building method or product.

The MBIE disclaims, to the extent permitted by law, all liability (including negligence) for claims of losses, expenses, damages, and costs arising as a result of the use of the building method(s) or product(s) referred to in this certificate.

This certificate may only be reproduced in its entirety.



Existing Building Assessment

This assessment is only to be carried out by an Insulmax® licensed property assessor to assess whether the building is suitable to be installed with Insulmax® blown mineral fibre insulation in terms of NZ Building Code and S112 of the NZ Building act and should NOT be regarded as a building survey.

Name of owners : Tristan Sansiquet +1 Amandine Sabaden

Address : 6 Kohu Place, Port Chalmers

Lot / DP Number : Lot 6 DP 10276

BCA / TA : DCC Proof of : Ownership Rates

PRIOR TO THE INSTALLATION of Insulmax® the following work is required :

No work required Work required :

PRIOR TO THE APPLICATION FOR CCC and issue of Insulmax® Declaration of Completion the following work is required :

No work required Work required :

By signing below the owner agrees to the following :

- A. Owner agrees to undertake all work identified above
- ✓ B. All electrical wiring in the walls proposed to be installed with Insulmax® is TPS or work required is to upgrade to TPS before commencement of the Insulmax® installation
- ✓ C. The owner is not aware of any internal or external leaks
- ✓ D. Smoke detectors are present and functional within 3m of all sleeping areas or work required is that owner will install smoke detectors at time of CCC application.
- ✓ E. The Insulmax® representative has explained the results of the assessment and the owner accepts those findings and authorises the Insulmax® representative to act as their agent in respect to obtaining all necessary consents and related correspondence with the Building Consent Authority.

[Signature]
Owners name & signature

5/8/17
Date

Cowan Mitchell CMW
Licensed Building Assessor Name & Signature

5/8/17
Date

Existing Building Information

Property Site :

- | | | |
|---|--|---|
| <input type="checkbox"/> Flat section | <input type="checkbox"/> Exposed | <input checked="" type="checkbox"/> Urban |
| <input checked="" type="checkbox"/> Sloping section | <input checked="" type="checkbox"/> Semi Exposed | <input type="checkbox"/> Rural |
| <input type="checkbox"/> Steep section | <input type="checkbox"/> Sheltered | |

Approximate Year of Construction 1960's Number of Stories 2

Roof & Eaves:

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> Hip Gable | <input checked="" type="checkbox"/> Corrugated steel | <input type="checkbox"/> No eaves |
| <input type="checkbox"/> Double Gable | <input type="checkbox"/> Tile | <input checked="" type="checkbox"/> Modest eaves |
| <input type="checkbox"/> Skillion / Mono pitch | <input type="checkbox"/> Membrane | <input type="checkbox"/> Generous eaves |
| <input type="checkbox"/> Other..... | <input type="checkbox"/> Other | |

Foundation & Floor : Ring Perimeter

- Piles
- Slab
- Suspended timber floor

- | | | |
|--|---|--|
| Framing : <input checked="" type="checkbox"/> Likely Rimu | Joinery : <input checked="" type="checkbox"/> Timber | Lining : <input checked="" type="checkbox"/> Plasterboard |
| <input type="checkbox"/> Treated <i>pinus</i> | <input checked="" type="checkbox"/> Aluminium/steel | <input type="checkbox"/> Hardboard |
| <input type="checkbox"/> Untreated <i>pinus</i> | <input type="checkbox"/> uPVC | <input type="checkbox"/> Sarked |
| <input type="checkbox"/> No framing (double brick) | <input checked="" type="checkbox"/> Appears to be installed correctly | <input type="checkbox"/> Masonry |

Building paper : Not detected Detected (but unable to guarantee extent or condition)

Exterior Cladding:

- | | |
|--|--|
| <input type="checkbox"/> Timber | <input type="checkbox"/> EIFS |
| <input type="checkbox"/> Cement board | <input type="checkbox"/> Palisade (plastic) weatherboard |
| <input type="checkbox"/> Rendered Plaster | <input type="checkbox"/> Corrugated steel |
| <input checked="" type="checkbox"/> Masonry veneer (nominal 40mm cavity) | |
| <input type="checkbox"/> Masonry (double brick) | |

Install Information :

Cladding Type :

- Timber
- Cement board
- Rendered Plaster
- Masonry veneer
- Masonry (double brick)

- EIFS
- Palisade (plastic) weatherboard
- Corrugated steel

Installed via : Cladding / Internal lining

Internal lining only

Installation :

Framing timber and accessible cavities are located by various means including infra red detection and a small hole (down to 16mm) is made to access each cavity. The installation hole can be made in the exterior cladding (with the exception of palisade weather board, corrugated steel or EIFS claddings) or in the interior lining. The Insulmax® installation machinery is calibrated for the construction type and each cavity is filled with Insulmax® water resistant blown mineral fibre.

Finishing of Cladding :

Timber /Cement Board - holes filled with Turbo house filler, sand flush and holes sealed with exterior paint system.

Painted rendered plaster / masonry - holes filled with sand / cement mortar and holes sealed with exterior paint system

Unsealed masonry - holes filled with sand / cement mortar and exterior cladding sealed with appropriate Surfapore masonry surface sealer for concrete or clay based substrates.

See : <http://www.pacificnanotech.co.nz/surfapore-r.html>

Assessment of the Existing Building

in relation to S112 to determine that the installation of Insulmax® insulation will not reduce compliance of the existing building with respect to the following code clauses :

Structure B1.3.1

Do linings and claddings appear to have been fixed correctly and are suitable to withstand the slight pressure that they will experience during the installation process ? No Yes

Do not install Insulmax® in the affected wall area or mark on site plan and include in work prior to the installation Insulmax® - "Additional lining fixings are required prior to the installation of Insulmax®"

Prevention of Fire Occurring C2.2

Is a through wall flu located in the area proposed to be insulated ? Yes No

*Mark on site plan and **DO NOT** install in cavity containing a through wall flu or alternatively obtain written confirmation from flu installer that insulation may be installed around through wall flu*

Electricity G9.3.1

After removing a plug point on an exterior wall, wiring is observed to be TPS ? No Yes

Indicate in work required prior to the installation of Insulmax® that wiring requires upgrading to TPS in walls proposed to be insulated with Insulmax®

Energy Efficiency H1.3.1

Is Insulmax® insulation able to be installed so increasing the thermal resistance of the wall structure and limiting uncontrolled airflow No Yes

Indicate on site plan areas of wall that are not able to be insulated with Insulmax®

External Moisture E2.3.2 E2.3.5

- Paint finish of exterior cladding appears to be in an well maintained condition? No Yes
- Exterior cladding appears to have deterioration to a level that may allow water ingress? Yes No
- Joinery appears to be in good condition and not allowing water ingress ? No Yes
- Flashings are present and appear to be installed correctly ? No Yes
- All existing penetrations are sealed ? No Yes
- Join between different cladding types sealed ? No Yes
- Gutters and down pipes are present and appear to be functioning correctly ? No Yes
- Is water able to pool against exterior wall e.g. raised sealed deck ? Yes No
- Walls are free to air e.g no raised border bounded by exterior wall ? No Yes

Masonry Cladding :

- Masonry clad home underfloor vents are present and clear ? No Yes
- Window / masonry vertical joints are sealed ? No Yes

Itemise maintenance in work required section that is either required prior to the installation of Insulmax® for major maintenance areas or prior to the application of CCC for minor maintenance e.g itemised major maintenance may be - "prevent water from pooling against wall by removing deck from south wall as marked on site plan before the installation of Insulmax®"

- Surfeits appear to be sound with no water staining or bubbling paint which may indicate gutters or roof leaking into surfeits and possibly walls ? No Yes
- Areas of lining / cladding appear to be damp / soft / discoloured / mouldy or rotten suggesting the accumulation of water ? Yes No
- Underfloor space is excessively damp ? Yes No

Do not install Insulmax® until further investigations have been made to confirm that enclosed spaces have not accumulated moisture to a level that may cause fungal growth or the degradation of building elements i.e framing moisture levels must be below 18% and the source of the water ingress identified and remedied. Excessive underfloor moisture may be due to leaking "in wall" pipes or ground water. Work required would be to repair leaking pipes before the installation of Insulmax®. Results of the investigation to be noted in "work required prior to the installation of Insulmax®"

Declaration - Assessment of Existing Building

Based on this assessment of the existing building I am satisfied that the property is suitable for the installation of Insulmax® retrofit wall insulation.

In relation to S112, the ability of the existing building to comply with the applicable building code clauses including durability B2.3.1 (to the extent of the other clauses) will not be reduced by the installation of Insulmax® blown fibre existing wall insulation on the following provisions :

- Work itemised to be completed prior to the installation of Insulmax® is completed
- Insulmax® is installed according to the Insulmax® Installation Manual
- Repairation of exterior cladding is completed according to the Insulmax® Installation Manual
- Work itemised to be completed before the application of CCC / issue of Insulmax® declaration of completion certificate is completed

Conan MITCHELL *5/8/17*

.....
Name & Signature of Insulmax NZ Ltd. Certified Property Assessor

Date *5/8/17*

Declaration of Conformity to CodeMark Certification

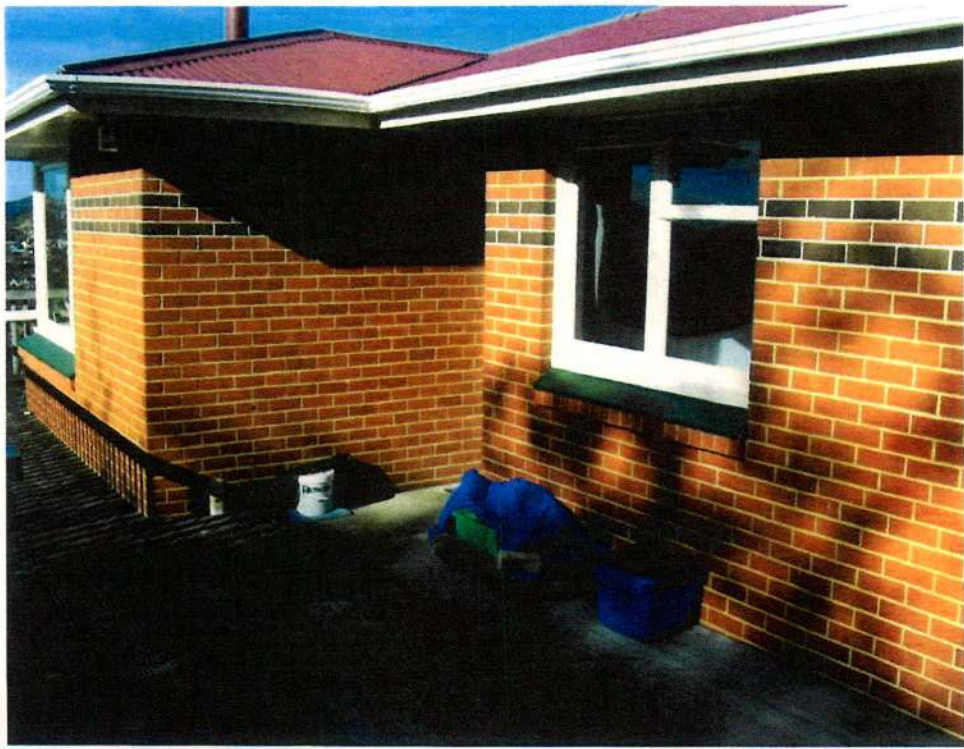
I declare that I am an Insulmax® license holder and that all conditions of the attached CodeMark Certificate number AQ 060516 CMNZ have been met and will continue to be met during this installation of Insulmax® retrofit wall insulation.



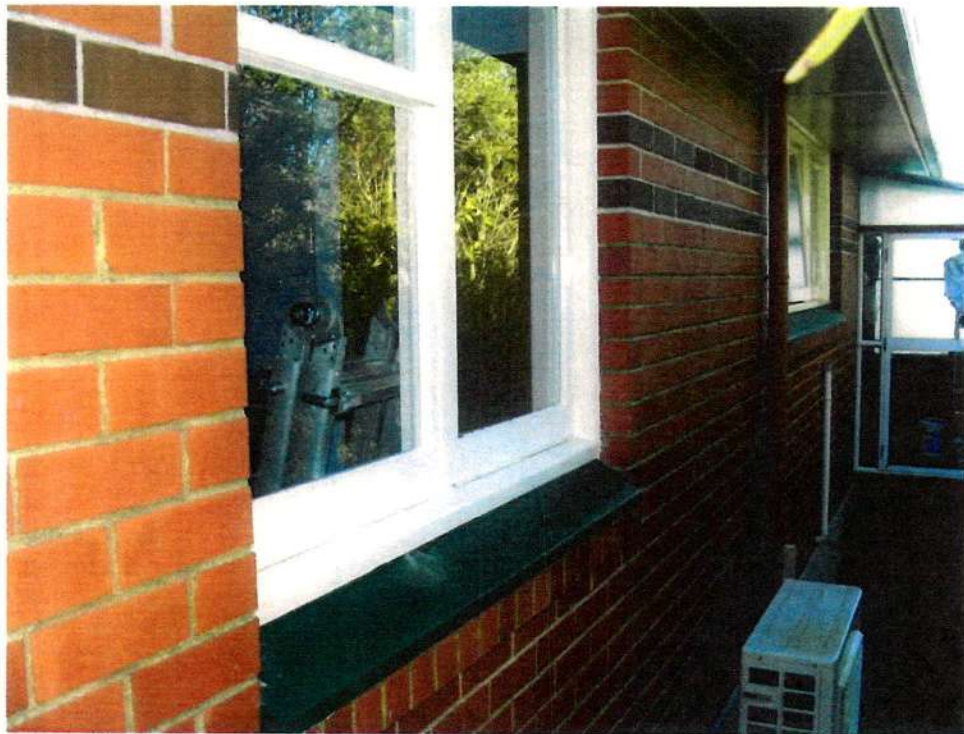
Phil Jackson

.....
Insulmax® Regional License Holder - Name & Signature





North Elevation



South Elevation

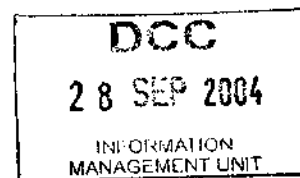


West Elevation



East Elevation

6 Kohi Place
Port Chalmers
03.4727659



to:
Mark Ratten
Dunedin City Council

25 September 2004

Re: Flooding of Kohi Place and number 6 Kohi Place

Dear Mark,

Thanks for getting back to me on Friday to discuss the flooding of Kohi Place. I've already spent half a day cleaning up the mess around the house and am somewhat disappointed and annoyed that DCC has not offered any assistance.

I have attached a letter that Susan and I have written to the other Kohi Place residents. The main reason for the letter is alerting them to the possible impact of a blocked drain on our home and property, and asking them not to dump rubbish in the drain.

Yesterday I had a chat with the owner of number 3 who told me that the owner of number 4 has observed people dumping stuff in the drain.

Please keep me posted about any progress in this matter.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Aalbert Rebergen'. The signature is written in a cursive style with a long horizontal stroke at the end.

Aalbert Rebergen

X

Residents of Kohi Place

25 September 2004

Re: Flooding of Kohi Place

Dear neighbours,

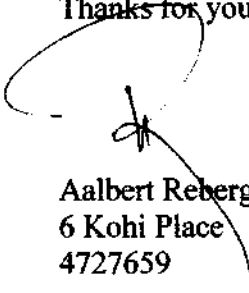
As most of you will know, our home got flooded last Thursday. This was the result of a combination of road/water works by DCC staff and a blocked drain at the lowest part of the street. The drain was blocked with a thick layer of concrete, preventing any water to go through the drain. As the lower part of the cul de sac filled up with water, it overflowed at its lowest point: in the middle of our property. From there it went under the house, flooding our garage, which is being changed into a bedroom. Because one of us was home, and because the carpenters were on site we managed to keep the damage to a minimum. However, things could have been very different and worse! It will still take us most of this weekend to clean up the mess in and outside the house.

Dunedin City Council is investigating who is responsible for flowing concrete into the drain, and Council staff have taken samples of the concrete. It may help them in their investigation if you are the culprit (and owe up), or if you know who is responsible (ring Mark Ratten at DCC). We certainly noticed white marks on the drain and a trail leading to it, a week or so ago.

The reason for us writing this letter to you is urging all of us to respect our little street and everything that goes with it, including keeping the drains open at all times! It is totally unacceptable that a drain is being used for the disposal of waste, including and especially items such as concrete. The results speak for themselves, and I hope we have learned a lesson from it. We know now that our house is in the firing line if and when the street floods and we will try to take measures that will prevent future flooding of the house. We hope you will do the same.

If you would like to discuss this further please call us at 4727659.

Thanks for your help!



Aalbert Rebergen & Susan Parsons
6 Kohi Place
4727659

Enquiries To: Jim Mears
Direct Phone: 474-3805

10 June 2005



Dear 

VEHICLE ENTRANCE – 6 KOHI PLACE

In response to your request, I advise that your proposal to have a vehicle entrance installed at the property under reference is approved. The conditions relating to this approval are:

1. The crossing shall be a three metre bevel kerb.
2. The footpath shall be graded and reformed to the normal footpath crossing standard – concrete.
3. The drive within the property shall be altered to meet the correct footway level.
4. The finished levels shall be as exists at the back of the public footway – either side of the entrance.
5. Any unused crossings to have the kerb upstand and the footpath reinstated to the correct levels.
6. The work shall be carried out in accordance with Councils Specification for construction of Vehicle Entrances.

Attached is a list of contractors approved to construct vehicle entrances. You should approach one or more of these for prices for the work.

Yours faithfully

Jim Mears
ASSET SUPERVISOR

encl



Ganesh Rout <ganesh@trgdunedin.co.nz>

Fwd: 6 Kohi Place - LIM query

1 message

Tristan Sansiquet <tristan.sansiquet@gmail.com>
To: ganesh@trgdunedin.co.nz

Tue, May 5, 2026 at 1:27 PM

----- Forwarded message -----

From: **Transport Network** <Transport.Network@dcc.govt.nz>
Date: Tue, May 5, 2026, 13:25
Subject: RE: 6 Kohi Place - LIM query
To: Tristan Sansiquet <tristan.sansiquet@gmail.com>

Hi Tristan

Thank you for sending through the photos.

The comment in the LIM issued on 15 April 2026 is as follows:

Non-compliant vehicle crossing – property lower than road/no stormwater run-off.

It appears there are no stormwater provisions in place for this vehicle crossing and with this property being lower than the road, the property may take water from the road as a secondary flow path. To meet current Council standards the stormwater run-off would be required to be captured at the boundary and managed in a way where it does not cause a nuisance to neighbouring properties and prevent water entering your property via the driveway. For example: a strip drain with sump or a sump and piped to the kerb and channel. Council accepts this situation but accepts no liability and the maintenance is the responsibility of the property owner. This may be required to be upgraded in the future.

The kerb and channel work that DCC carried out in recent years manages the stormwater from the carriageway, however water from the footpath (which is also part of the road reserve) may flow into the property since the driveway is lower than the footpath and there is no strip drain to capture water at the property boundary. The LIM comment is to make property owners and prospective buyers aware of the current vehicle crossing standards. The drainage at the lower portion of the driveway does not meet the current vehicle crossing standards, therefore this comment should remain on the LIM.

To clarify any concern, DCC accepts this situation and will not actively seek property owners to bring the vehicle crossing up to the current standard. However, if the property owner does upgrade the driveway in the future, we would request the strip drain to be completed at that time.

Kind regards

Natalie



If this message is not intended for you please delete it and notify us immediately; you are warned that any further use, dissemination, distribution or reproduction of this material by you is prohibited..

From: Tristan Sansiquet <tristan.sansiquet@gmail.com>
Sent: Tuesday, 5 May 2026 8:52 a.m.
To: Transport Network <Transport.Network@dcc.govt.nz>
Subject: Re: 6 Kohi Place - LIM query

Hi,

Most of the work has been completed by your services or DCC, not too sure as this was done without contacting us prior.

Here are some pictures of the new kurb with the channel to drain the water.



also the drain in the driveway:



Let me know if you need more information.

Kind regards,

Tristan

On Mon, May 4, 2026 at 10:01 AM Transport Network <Transport.Network@dcc.govt.nz> wrote:

Dear Tristan

We have received your correspondence, advising that the recent LIM on [6 Kohi Place](#) does not accurately reflect some work that you have had done at the property in recent years.

The LIM included two transport related comments: *Shared private driveway – vehicle access to this property is over adjoining property boundary* and *Non-compliant vehicle crossing – property lower than road/no stormwater run-off*.

Our LIM comments are made via desktop analysis, which means that occasionally we don't see recent changes that have happened to the property. If you could please advise what changes have been made to the property and provide photos of this, we can update the property record and can provide a letter advising prospective buyers that this has been addressed.

Many thanks

Natalie

Network Assets Team
Transport

P 03 477 4000 | E transport.network@dcc.govt.nz

Dunedin City Council, 50 The Octagon, Dunedin

PO Box 5045, Dunedin 9054

New Zealand

www.dunedin.govt.nz

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5 attachments



image001.png
1186K



image002.png
1237K



image003.png
13K



image004.png
13K



0.png
13K