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Dunedin City Council – Land Information Memorandum

Property Address: 62 Montague Street Dunedin

Prepared for: Scott Cameron Haines and Amber Rose Haines

Prepared on: 09-Jun-2026

Property Details:

Property ID	5012211
Address	62 Montague Street Dunedin
Parcels	LOT 2 DP 6154

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 09-Jun-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.
Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **15th July 1997**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council’s urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council’s water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property.

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2012211
Address	62 Montague Street Dunedin
Valuation Number	26760-26700
Latest Valuation Details	
Capital Value	\$460,000
Land Value	\$280,000
Value of Improvements	\$180,000
Area (Hectares)	0.075HA
Units of Use	1

Current Rates

Current Rating Year Starting 01-Jul-2025
Dunedin City Council Rates \$3,497.56

Rates Outstanding for Year \$271.71

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key: BC - Building Consent Issued
CCC - Code Compliance Certificate Issued
Archived - In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
/CCC
Refused
Lapsed - Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2004-305197](#) Building Consent - Remove Walls Between Kitchen/Dining

Lodgement Date 12-Aug-2004
Decision Granted
Decision Date 16-Aug-2004
Current Status **CCC Issued**
Previous Number ABA42440

(Applications before 2007)

[ABA-1995-334026](#) Building Consent - Heater-Jotul No.3/Wetback

Lodgement Date 05-Dec-1995
Decision Granted
Decision Date 05-Dec-1995
Current Status **CCC Issued**
Previous Number ABA955540

(Applications before 2007)

[ABA-2009-1744](#) Building Consent - Alterations to Bathroom - Install WC & Shower & Reposition

Hand Basin

Lodgement Date	09-Sep-2009
Decision	Granted
Decision Date	10-Sep-2009
Current Status	CCC Issued
Previous Number	
<i>(Applications before 2007)</i>	

[ABA-2012-1007](#) Building Consent - Erect Retaining Wall

Lodgement Date	25-May-2012
Decision	Granted
Decision Date	21-Jun-2012
Current Status	CCC Issued
Previous Number	
<i>(Applications before 2007)</i>	

Building and Drainage Permits

[H-1945-26557](#) AAB19450040

Gazette 82 Pg 1743 - 33ft building line restriction. The permit was lodged on 14-Nov-1945.

[H-1947-29202](#) AAB19470077

4634 - Erect Dwelling (Philpott). The permit was lodged on 22-Apr-1947.

[H-1949-32676](#) AAB19490172

8831 - Erect Hen-house (Philpott). The permit was lodged on 14-Dec-1949.

[H-1950-34864](#) AAB19500144

10213 - Add to Hen-house (Philpott). The permit was lodged on 22-Nov-1950.

[H-1989-104166](#) AAB19890127

5922 - Add Conservatory (MacAndrew). The permit was lodged on 08-Feb-1989.

[H-1915-131351](#) AAD19151212

A7794 - Plumbing and Drainage to Private Drain in Common with 62 and 64 Montague Street (Kerr). The permit was lodged on 30-Jan-1915.

[H-1947-163114](#) AAD19470671

E4100 - Plumbing New Dwelling, No Plan (Philpott). The permit was lodged on 23-Dec-1947.

[H-1948-164395](#) AAD19480728

E4233 - Foul and Stormwater Drainage New Dwelling (Philpott). The permit was lodged on 13-Feb-1948.

Building Notices

Notice To Fix

The following is a list of Notices To Fix for this property.

Notice Number	NTF-2009-73
Status	No Further Action Required
Description	The removal of existing bath room fixtures and installation of new bathroom fixtures, including wall linings with out building consent in accordance with section 40 of the Building Act 2004. Sanitary plumbing work installed by non licenced person is an offence under The Plumbers, Gasfitters and Drainlayers Act 1976.

Resource Consents

There are no resource consents for this property.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan (“The 2GP”) is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 1 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Nil

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Seepage

A seepage incident has been lodged on this property.

Seepage Incident 105021 – 11/01/2012 - Completed

Contact Building Compliance Team for further details.

Seepage 105021

Complaint:

11/01/2012 - 62 Montague Street Dunedin has had a problem before which was attended by DCC, water was coming from 66 Montague Street. Last time it was clear water, this time appears to be grey water- said it smells and looks like what you get from a washing machine or after the dishes. Water is coming through a bank and causing instability in the bank.

Action:

10/01/2012 - Met with property owners on site to discuss their water complaint. Dye tested drain in common at No 64, positive result for dye. Nos 62,64 & 66 Montague Street are all responsible for repairs to drain in common. Contacted property owner at no 64 to advise them that they need to get the repairs carried out urgently. **Completed.**

Foul Sewer and Waste Water

Restrictions near Council infrastructure

There is Dunedin City Council water infrastructure located within the boundaries of this property, as shown on the attached reticulation plans.

Relevant deposited plans, certificates of title and memoranda of transfer at Land Information New Zealand (www.linz.govt.nz) should be reviewed for information relating to any existing registered easements. However, as the Local Government Act 2002 (LGA) provides statutory rights for public infrastructure, easements are not always registered.

No building or structure shall be constructed within 2.5 metres of any Council-owned underground infrastructure, or as specified on any registered easement, without the written approval of the Council.

Infrastructure shall not be damaged or otherwise interfered with. Prior to commencing any works within the subject property, all Council-owned structures, mains and service pipes, and associated fittings are to be located on-site and, if necessary, protected.

The Council can enter the land to inspect, alter, renew, repair or clean its infrastructure under the LGA. For planned works, reasonable notice will be given.

Within new land subdivisions the Council requires an easement in gross over public water supply infrastructure. The easement in gross must be a minimum of 3 metres wide, centred on the as-built position, and made in accordance with the Dunedin Code of Subdivision and Development 2010: Section 6.3.10.3 (Water).

Planting near infrastructure should be avoided, particularly large trees or other species whose roots could cause damage.

Knowledge of Watercourses

A watercourse is a channel through which water flows or collects. It may be natural, modified or artificial, or be piped or open. Watercourses are the responsibility of the property owner from the point of boundary entry to the point of boundary exit. Not all watercourses are recorded or known to the Dunedin City Council. Therefore it is recommended that the applicant inspect the local site of interest to determine whether there are any watercourses located within the boundary of the particular property. For further information in respect of any watercourse it is recommended the applicant read the Watercourse Information Sheet, available at www.dunedin.govt.nz/watercourseinfo

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings.

For guidance when establishing minimum floor levels please refer to :

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:
<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any building consent, or to enquire about information referred to in this section, please contact Building Services Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 62 Montague Street Dunedin

[5012209 56 Montague Street Dunedin](#)

[SUB-2007-114](#) Subdivision Consent adjust site boundaries to facilitate access. The outcome was Granted on 16/07/2007.

[5111957 40 Cardigan Street Dunedin](#)

[LUC-2024-234](#) Land Use Consent To establish a dwelling and undertake earthworks associated with retaining wall. The outcome was Granted on 07/08/2024.

[RMA-2006-370272](#) Resource Management Act (Historical Data) VARIATION TO RMA20050438 TO RECONSIDER RESERVES CONTRIBUTION (Other). The outcome was Granted on 04/07/2006.

[RMA-2005-369051](#) Resource Management Act (Historical Data) SUBDIVISION CREATING 22 RESIDENTIAL ALLOTMENTS (Non-Notified - Non Complying). The outcome was Granted on 18/08/2005.

[RMA-1991-357485](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - SP 1190 (Non-Notified - Non Complying). T

[5111959 39 Cardigan Street Dunedin](#)

[RMA-2006-370272](#) Resource Management Act (Historical Data) VARIATION TO RMA20050438 TO RECONSIDER RESERVES CONTRIBUTION (Other). The outcome was Granted on 04/07/2006.

[RMA-2005-369051](#) Resource Management Act (Historical Data) SUBDIVISION CREATING 22 RESIDENTIAL ALLOTMENTS (Non-Notified - Non Complying). The outcome was Granted on 18/08/2005.

[RMA-1991-357485](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - SP 1190 (Non-Notified - Non Complying).

[5111960 37 Cardigan Street Dunedin](#)

[LUC-2009-316](#) Land Use Consent construct a retaining wall. The outcome was Granted on 14/08/2009.

[RMA-2006-370272](#) Resource Management Act (Historical Data) VARIATION TO RMA20050438 TO RECONSIDER RESERVES CONTRIBUTION (Other). The outcome was Granted on 04/07/2006.

[RMA-2005-369051](#) Resource Management Act (Historical Data) SUBDIVISION CREATING 22 RESIDENTIAL ALLOTMENTS (Non-Notified - Non Complying). The outcome was Granted on 18/08/2005.

[RMA-1991-357485](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - SP 1190 (Non-Notified - Non Complying).

[5111962 33 Cardigan Street Dunedin](#)

[RMA-2006-370272](#) Resource Management Act (Historical Data) VARIATION TO RMA20050438 TO RECONSIDER RESERVES CONTRIBUTION (Other). The outcome was Granted on 04/07/2006.

[RMA-2005-369051](#) Resource Management Act (Historical Data) SUBDIVISION CREATING 22 RESIDENTIAL ALLOTMENTS (Non-Notified - Non Complying). The outcome was Granted on 18/08/2005.

[RMA-1991-357485](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - SP 1190 (Non-Notified - Non Complying).

[5113351 190A Evans Street Dunedin](#)

[RMA-2003-367029](#) Resource Management Act (Historical Data) CONSENT TO SUBDIVIDE CERTIFICATE OF TITLE OT16D/642 TO CREATE THREE ADDITIONAL RESIDENTIAL ALLOTMENTS (ESSENTIALLY A REPLACEMENT OF RMA960059) (Non-Notified - Restricted Discretionary). This consent has since Lapsed.

[RMA-2006-370117](#) Resource Management Act (Historical Data) four lot subdivision of Certificate of Title OT16D/642 (Non-Notified - Restricted Discretionary). The outcome was Granted on 19/05/2006.

[RMA-2005-369681](#) Resource Management Act (Historical Data) 3 LOT SUBDIVISION OF CERTIFICATE OF TITLE OT16D/642 (SUPERSEDED BY RMA20060321) (Non-Notified - Restricted Discretionary). This consent has since Lapsed.

[RMA-2002-365775](#) Resource Management Act (Historical Data) REMOVE TREES (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 16/07/2002.

[RMA-1996-359293](#) Resource Management Act (Historical Data) subdivision consent to create three new allotments and balance land of 3.2789ha from Certificate of Title OT5B/533 (Non-Notified - Unrestricted Discretionary). This consent has since Lapsed.

[RMA-1995-357176](#) Resource Management Act (Historical Data) SUBDIVISION INVOLVING TRANSFER OF 151M2 LOT FROM CERTIFICATE OF TITLE OT422/5 TO CERTIFICATE OF TITLE OT5B/533 (Non-Notified - Non Complying). The outcome was Granted on 23/03/1995.

[5114103 35 Cardigan Street Dunedin](#)

[SUB-2007-114](#) Subdivision Consent adjust site boundaries to facilitate access. The outcome was Granted on 16/07/2007.

[RMA-2006-370272](#) Resource Management Act (Historical Data) VARIATION TO RMA20050438 TO RECONSIDER RESERVES CONTRIBUTION (Other). The outcome was Granted on 04/07/2006.

[RMA-2005-369051](#) Resource Management Act (Historical Data) SUBDIVISION CREATING 22 RESIDENTIAL ALLOTMENTS (Non-Notified - Non Complying). The outcome was Granted on 18/08/2005.

[RMA-1991-357485](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - SP 1190 (Non-Notified - Non Complying).

[5114104 33A Cardigan Street Dunedin](#)

[LUC-2009-187](#) Land Use Consent Construction of a retaining wall. The outcome was Granted on 16/06/2009.

[SUB-2007-114](#) Subdivision Consent adjust site boundaries to facilitate access. The outcome was Granted on 16/07/2007.

[RMA-2006-370272](#) Resource Management Act (Historical Data) VARIATION TO RMA20050438 TO RECONSIDER RESERVES CONTRIBUTION (Other). The outcome was Granted on 04/07/2006.

[RMA-2005-369051](#) Resource Management Act (Historical Data) SUBDIVISION CREATING 22 RESIDENTIAL ALLOTMENTS (Non-Notified - Non Complying). The outcome was Granted on 18/08/2005.

[RMA-1991-357485](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment - SP 1190 (Non-Notified - Non Complying).

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner.

Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Other Water Information

Restrictions near Council infrastructure

There is Dunedin City Council water infrastructure located within the boundaries of this property, as shown on the attached reticulation plans.

Relevant deposited plans, certificates of title and memoranda of transfer at Land Information New Zealand (www.linz.govt.nz) should be reviewed for information relating to any existing registered easements. However, as the Local Government Act 2002 (LGA) provides statutory rights for public infrastructure, easements are not always registered.

No building or structure shall be constructed within 2.5 metres of any Council-owned underground infrastructure, or as specified on any registered easement, without the written approval of the Council.

Infrastructure shall not be damaged or otherwise interfered with. Prior to commencing any works within the subject property, all Council-owned structures, mains and service pipes, and associated fittings are to be located on-site and, if necessary, protected.

The Council can enter the land to inspect, alter, renew, repair or clean its infrastructure under the LGA. For planned works, reasonable notice will be given.

Within new land subdivisions the Council requires an easement in gross over public water supply infrastructure. The easement in gross must be a minimum of 3 metres wide, centred on the as-built position, and made in accordance with the Dunedin Code of Subdivision and Development 2010: Section 6.3.10.3 (Water).

Planting near infrastructure should be avoided, particularly large trees or other species whose roots could cause damage.

Environmental Health

Noise complaints have been received by Environmental Health regarding this property in the past. Should the property be purchased for rental purposes then noise control is considered the landlords responsibility and in the event of any such offences could be liable to a fine.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Vehicle crossing - no vehicle access

This property appears to have no vehicle access, pedestrian access only.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

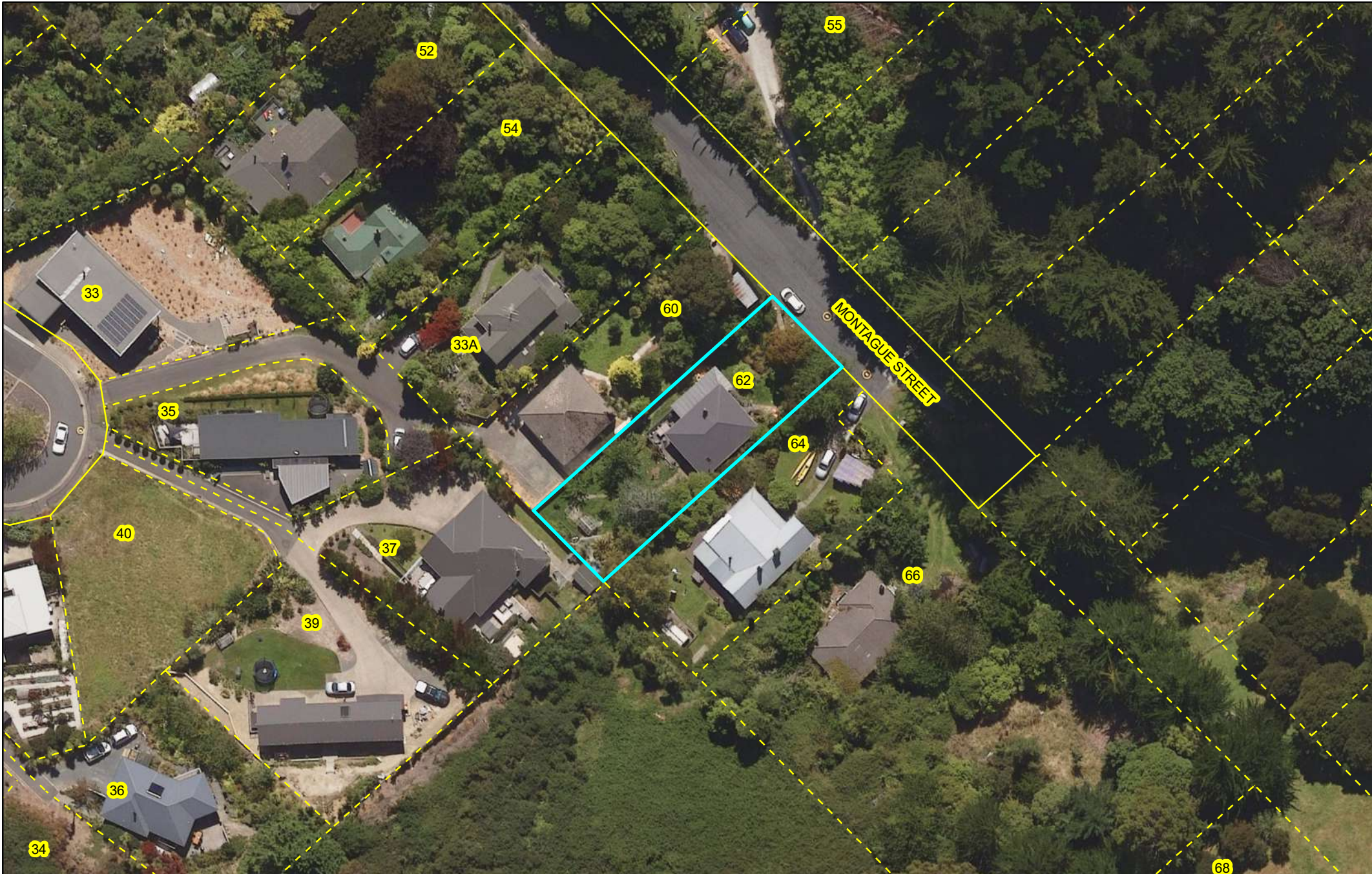
ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

MH Manhole
PL Plumbing
PLB Plumbing
PTE Private
SIS Sewer in section
WC Water course
WT Water table
SW Stormwater

General terms

RDMS Records and Document Management System

Appendices



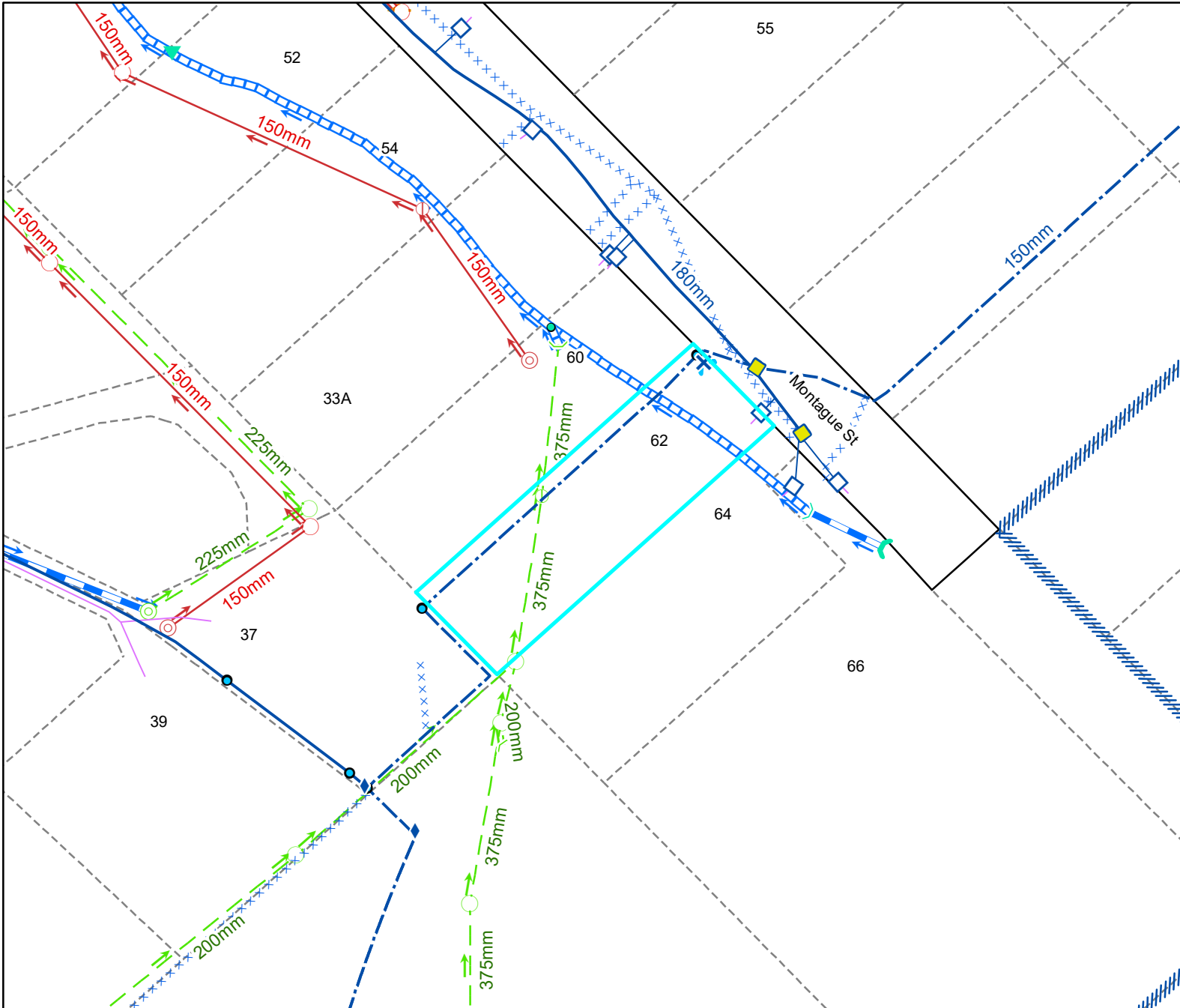
Photographic Map

Scale at A4:
 1:750
 3/06/2026
 8:03:21 PM



PARCEL LINES CAN VARY FROM
 LEGAL PARCEL BOUNDARIES
 This map is for illustration purposes only
 and is not accurate to surveying, engineering
 or orthographic standards. Every effort
 has been made to ensure correctness and
 timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys
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 2013 Urban and rural photography Jan/Feb 2013.
 Copyright DCC. CC BY 3.0 NZ.
 2006/2007 Urban photography March 2007,
 copyright NZAM. Rural photography March
 2006, copyright Terralink International Ltd.



Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Scour
	Water Valve - Sluice		Water Service Lateral
	Water Hydrant		Water Fire Service Lateral
	Water Backflow Preventor - RPZ		Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel		Road/Rail
	Railway Centreline		Hydro		Motorway Parcels
			Strata		Easment (where recorded)



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
1:750
3/06/2026
8:03:28 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>

DUNEDIN DRAINAGE AND SEWERAGE BOARD

HOUSE CONNECTION PLAN.

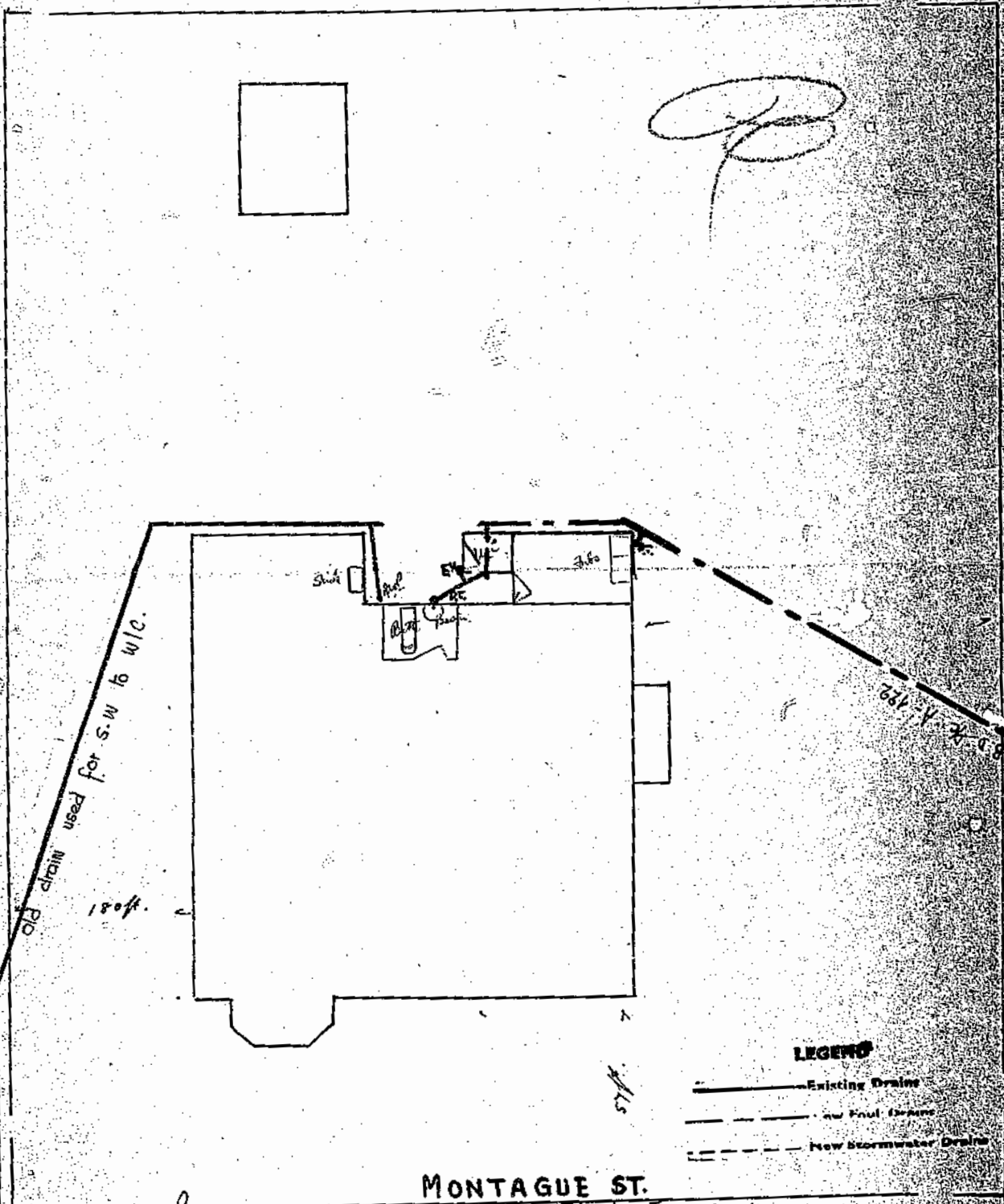
APPLICATION No. A/7794

DATE 30/1/15

SCALE: 1 in to a Foot

NEW SEWAGE DRAINS: RED
STORM WATER: DOTTED BLACK
OLD DRAINS: FULL BLACK

Binding margin to be left blank

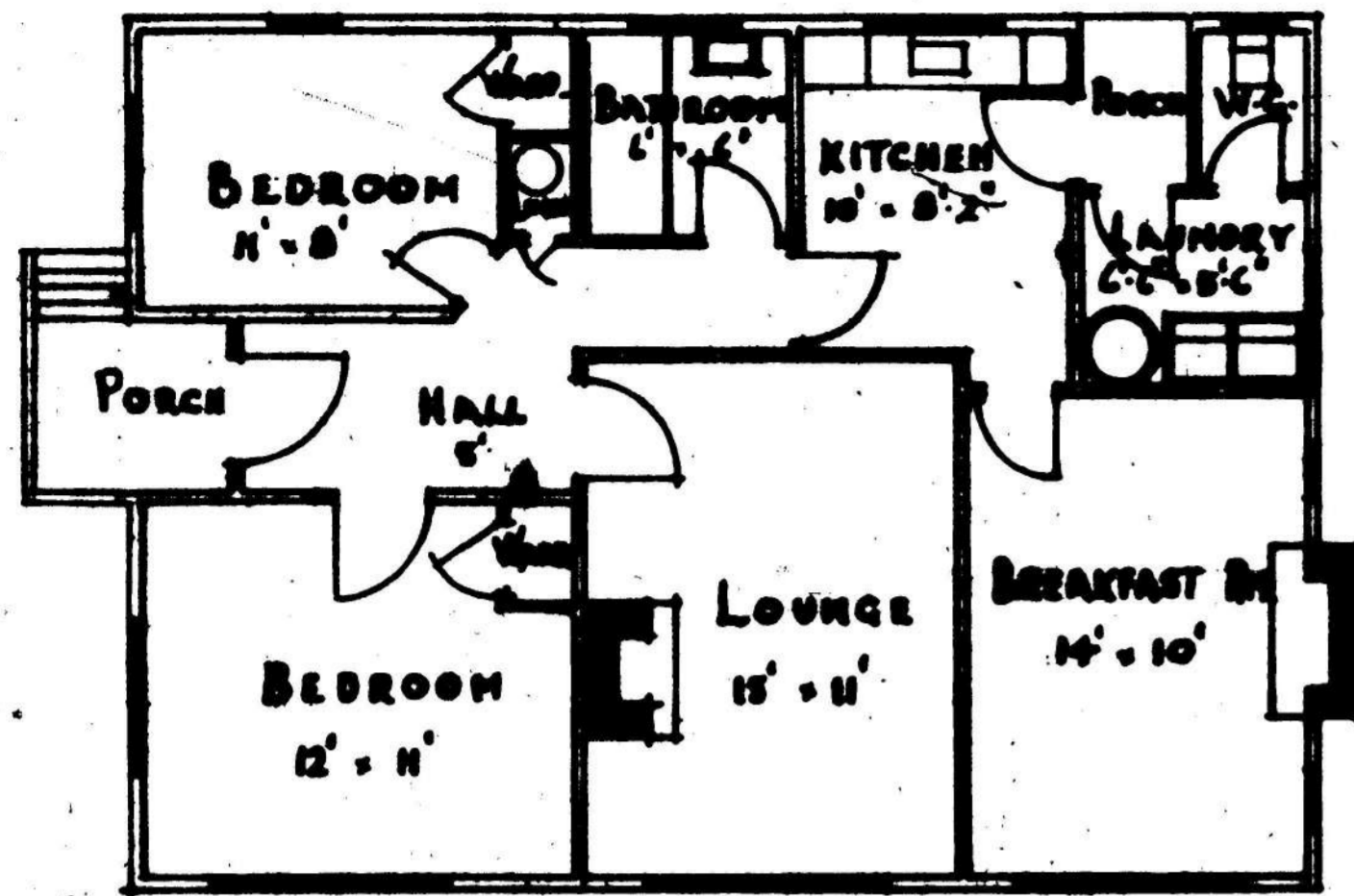


MONTAGUE ST.

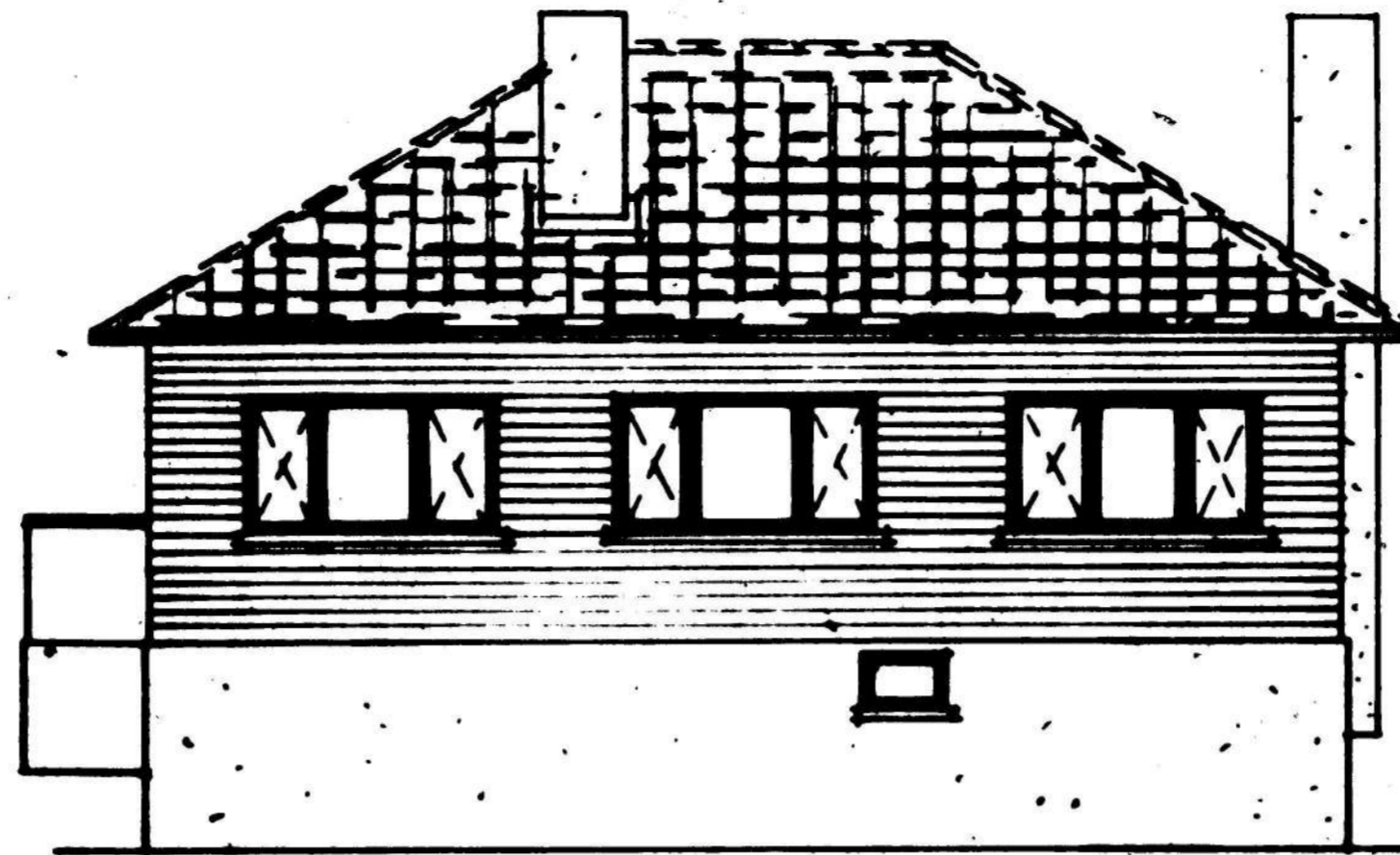
Owner J. Kerr
 Street 38 Montague St
 Locality N.E. Valley

Block I. Arkish
 Section 28-97-26-6-01
 Allotment

Signature of Drainer S. Dyer



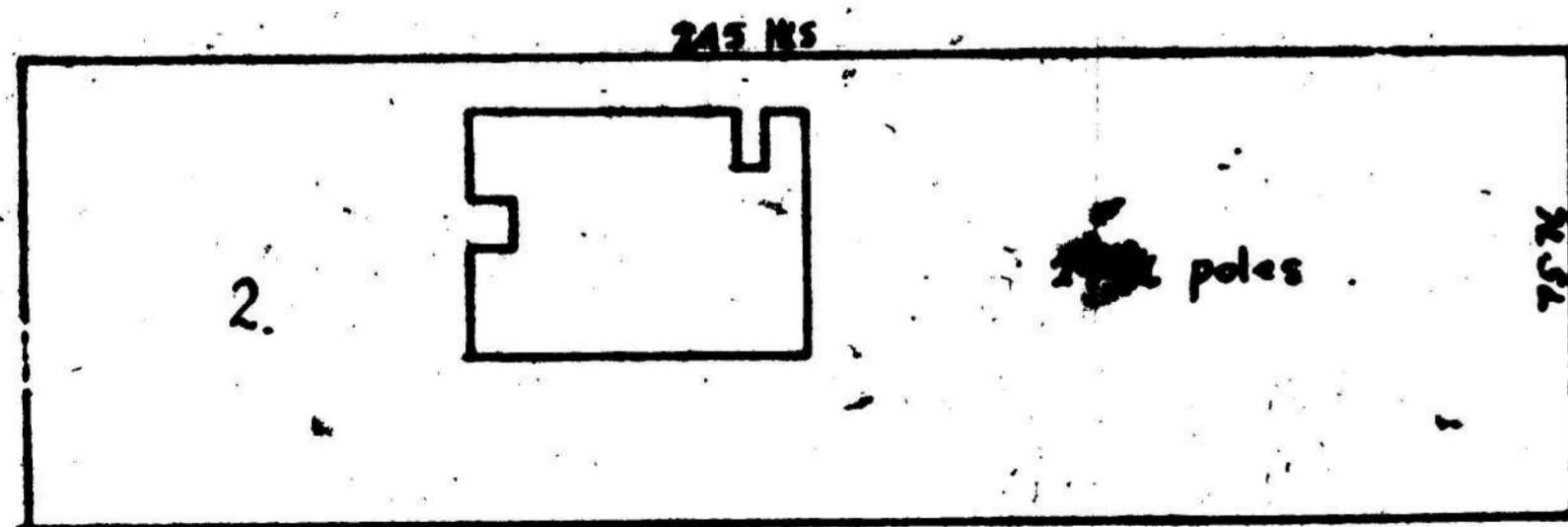
PLAN



ELEVATION



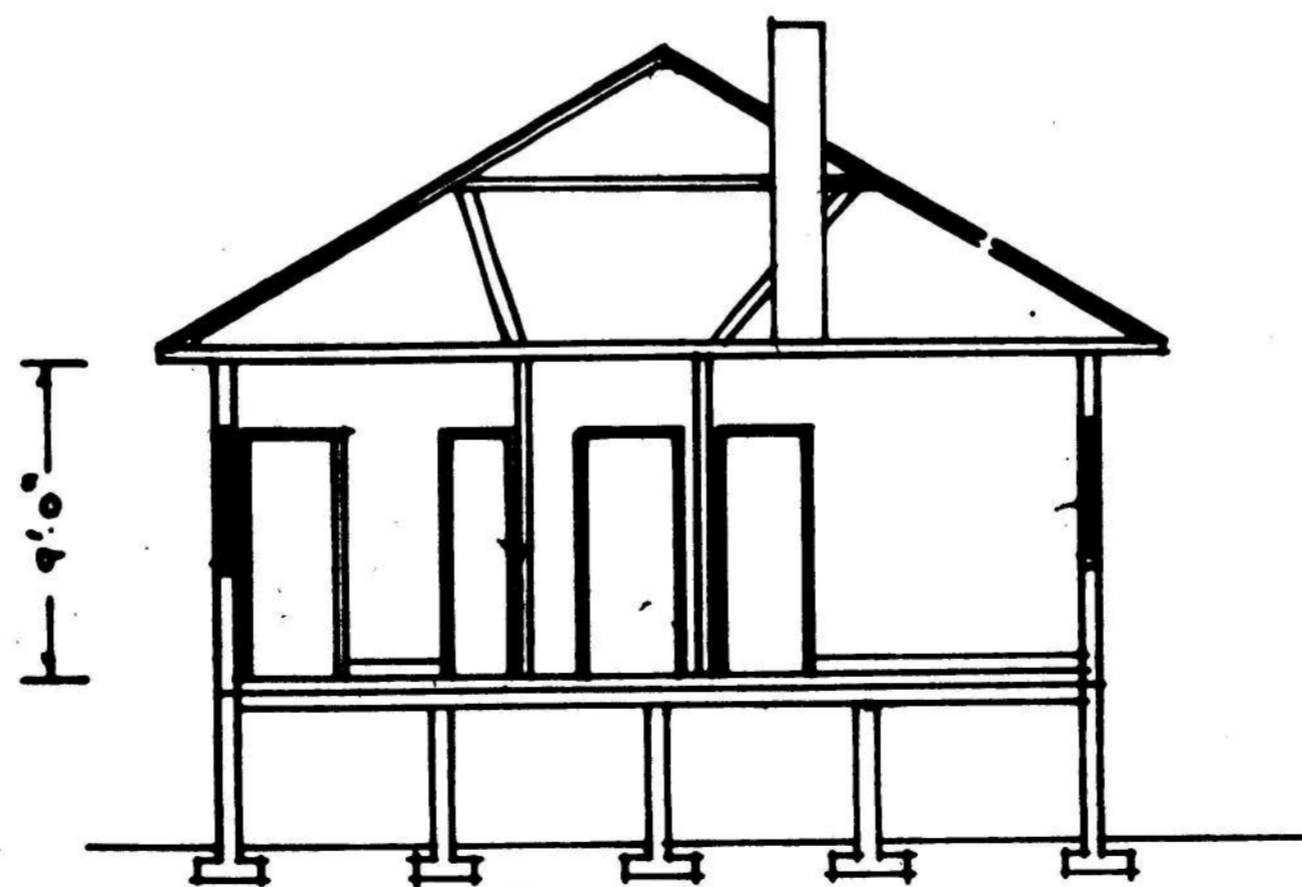
ELEVATION



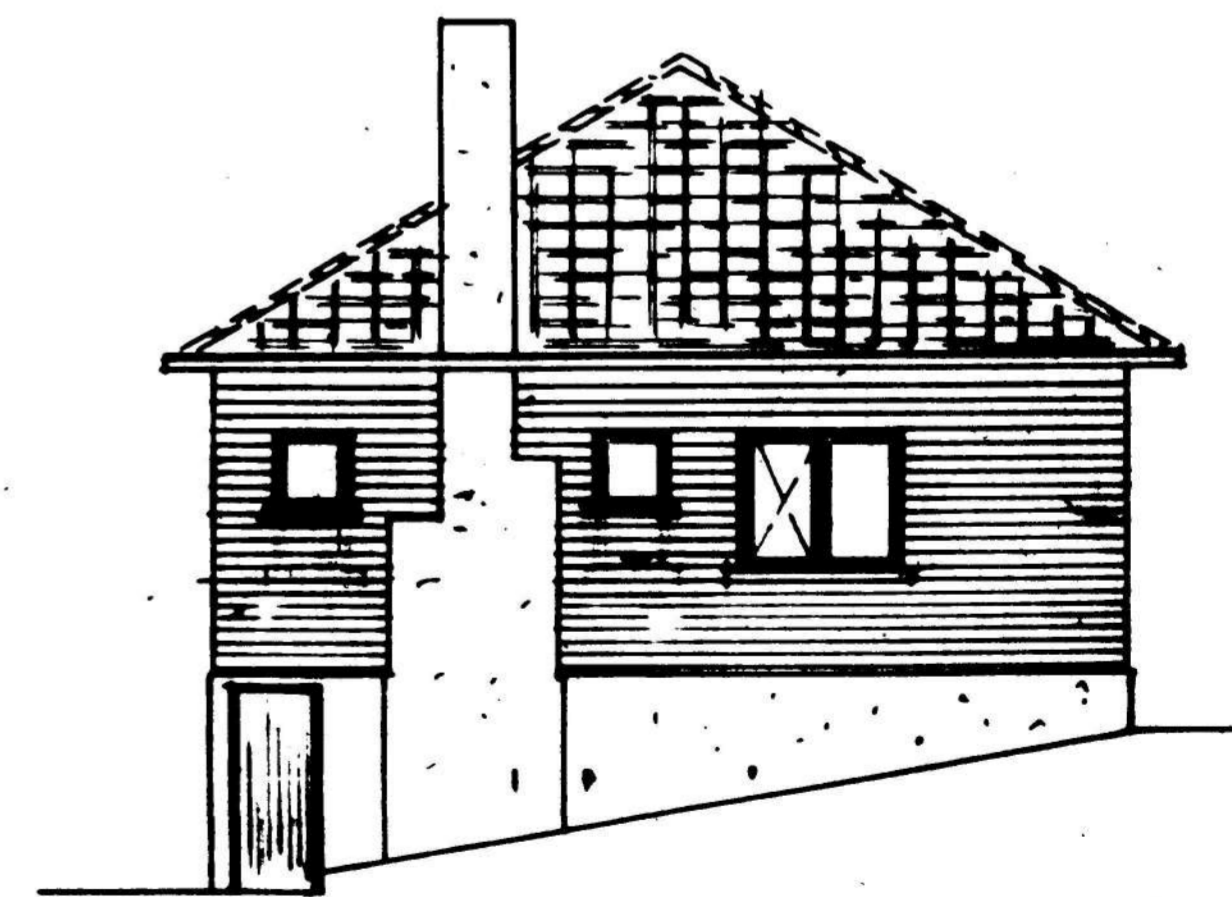
LOT 2, Subdiv. LOTS 26, 27, D.P. 179 TOWNSHIP OF DALKEITH
PT. SECS. 32, NORTH EAST VALLEY S.D.

SITE PLAN

Scale 1" = 32' 0"



SECTION

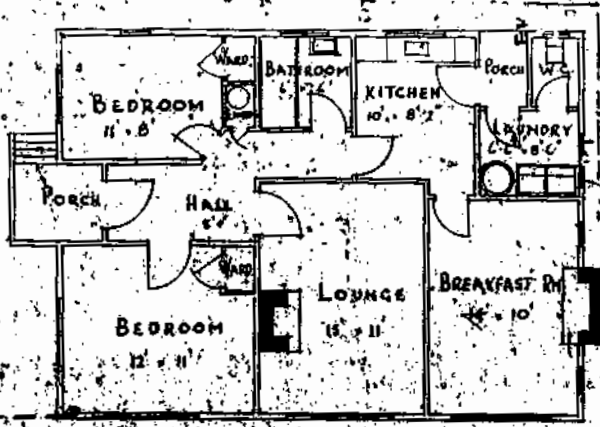


ELEVATION

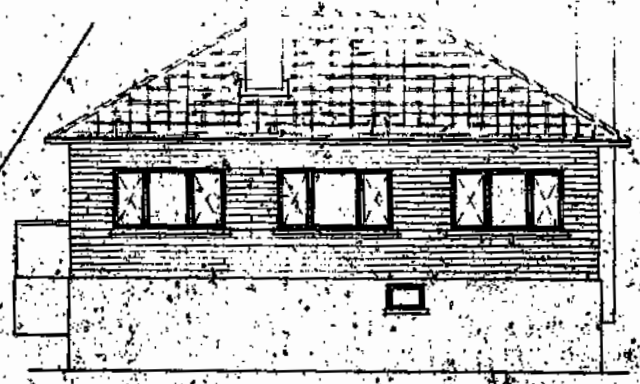
PROPOSED RESIDENCE for GILBERT & EDWIN PHILPOTT Esq.

*E. S. Harkness
410 Main North St
London*

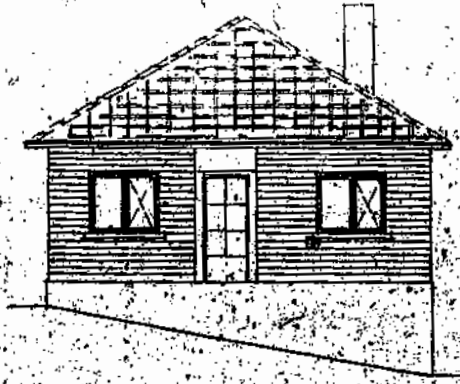
E/4237



PLAN



ELEVATION



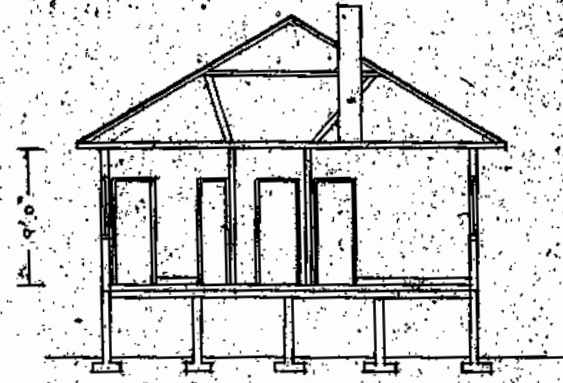
ELEVATION



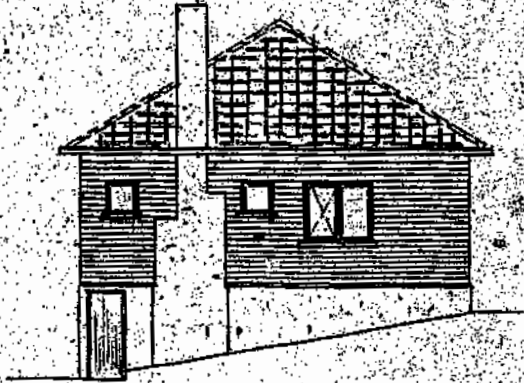
SITE PLAN

Scale 1" = 32'

Lot 2, Subdiv Lots 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, Township of Dalkeith, Pt. Secs. 32, North East Valley S.D.



SECTION



ELEVATION

PROPOSED RESIDENCE for GILBERT EDWIN PHILPOTT Esq.

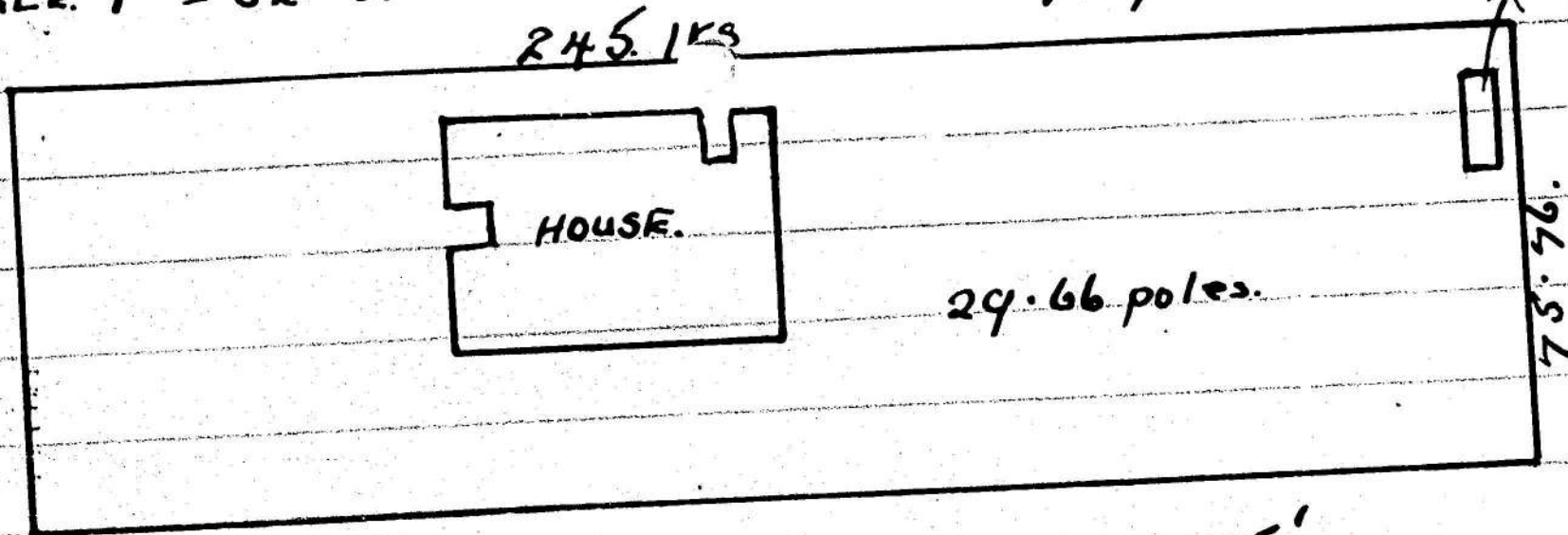
*By E. Philpott Esq.
1111 11th St. N.E.
Edmonton*

SITE PLAN.

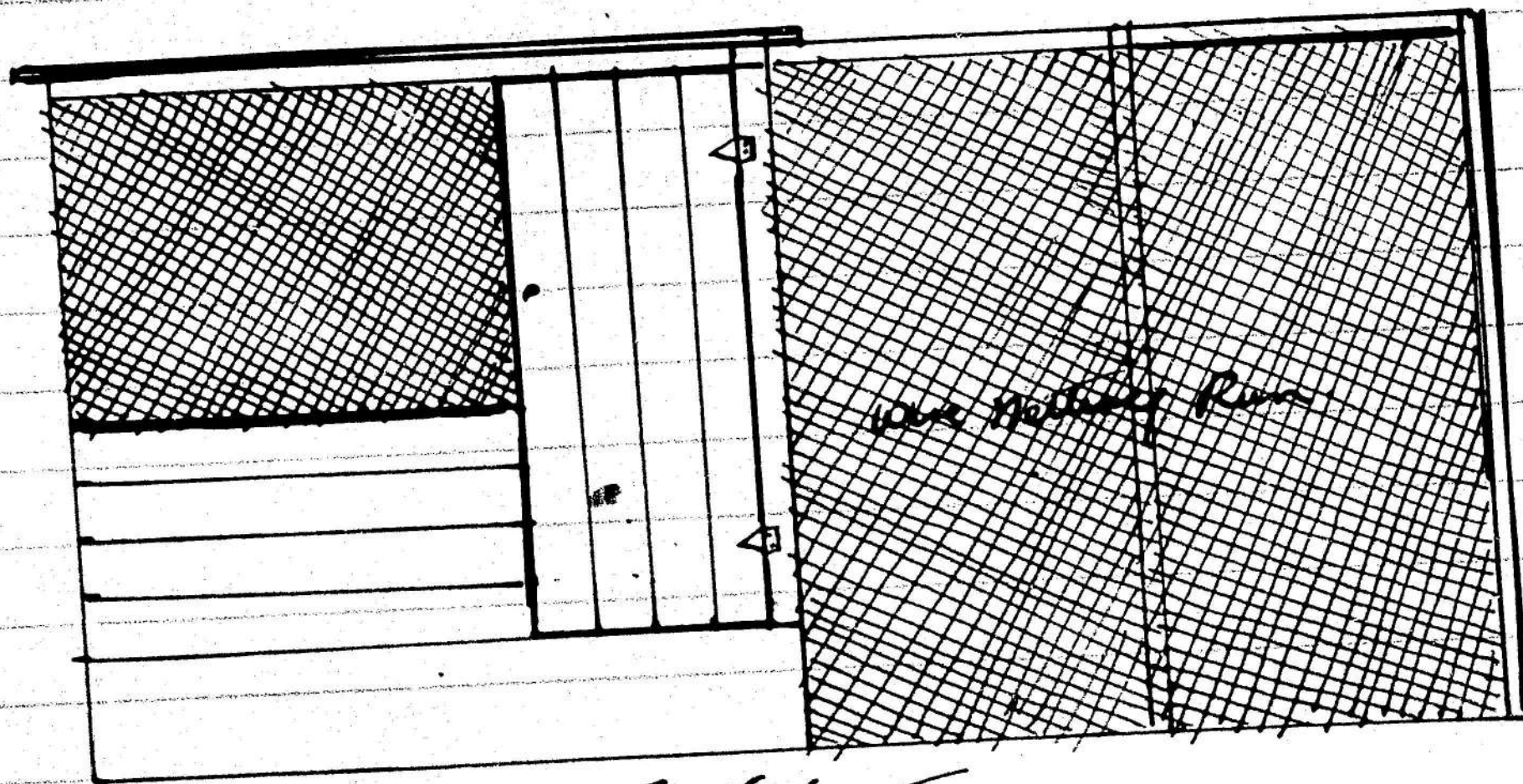
SCALE 1" = 32'-0"

Proposed Fowlhouse

MONTAGUE ST.



Nearest dwelling to Fowlhouse approx 35'



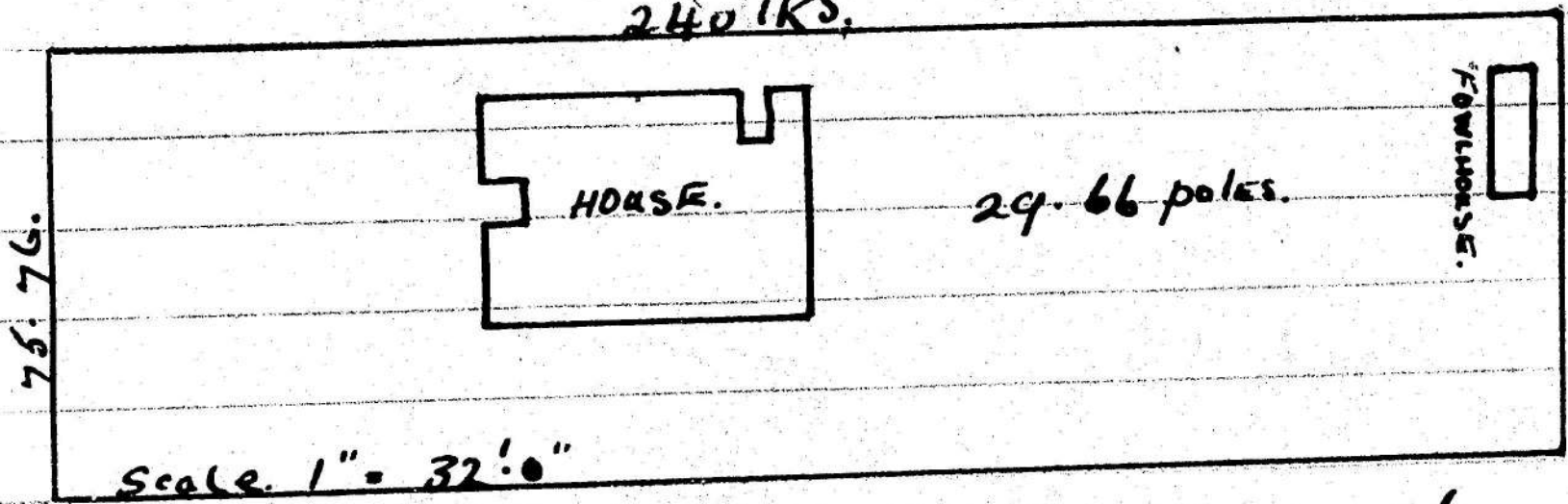
Scale 1/2" = 1'-0" Front Elevation.

F. H. Schuppert

8431

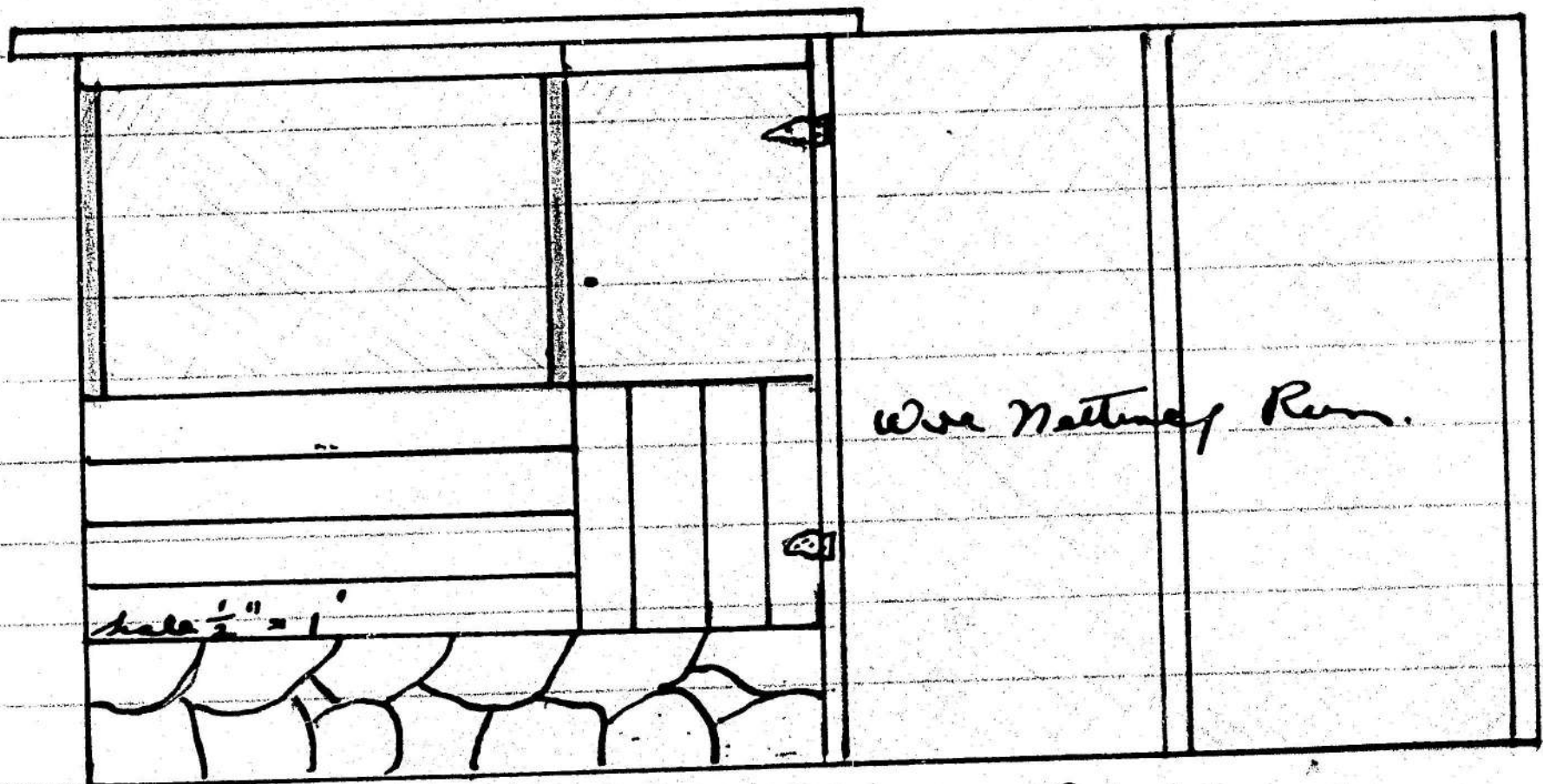
Plan of section.

240 LKS.



Scale 1" = 32'0"

Nearest dwelling to fowlhouse approx 35'

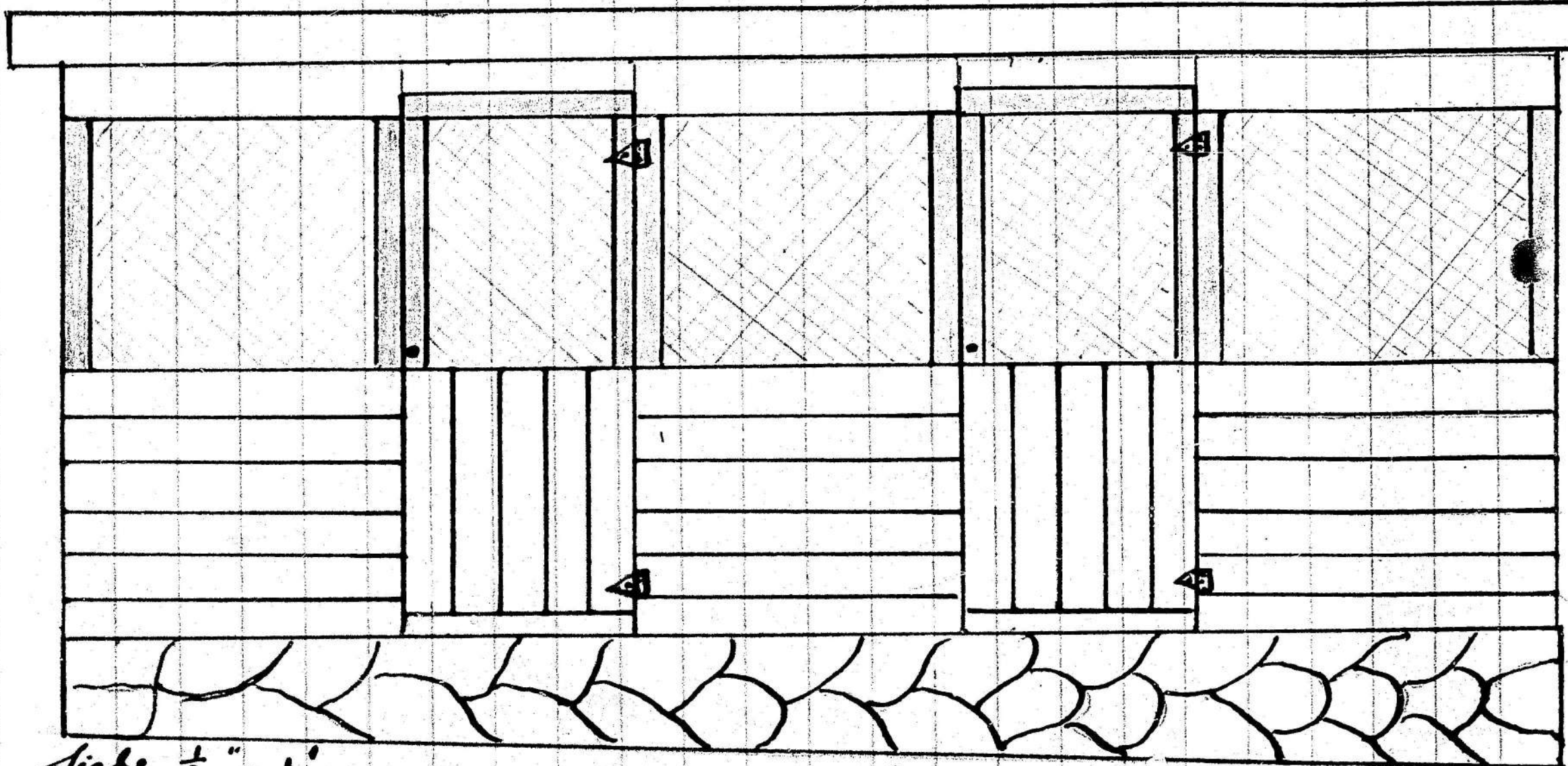


Front Elevation of existing Fowlhouse

J. E. Millpott.

10713

Front Elevation of Proposed Addition



Scale 1/2" = 1'

J. E. Millpott.

The proposed alterations to the existing Fowlhouse consist of removing the wire netting run and adding 10' on to the house. This will be in wood and the frame work will be of 3 x 2 Pines spaced 18" apart, the outside being covered in with 1/2" timber and netting. The roof will have a fall of 6" sarked and covered with malthair.

Foundations will be of walling stone.

J. E. Millpott

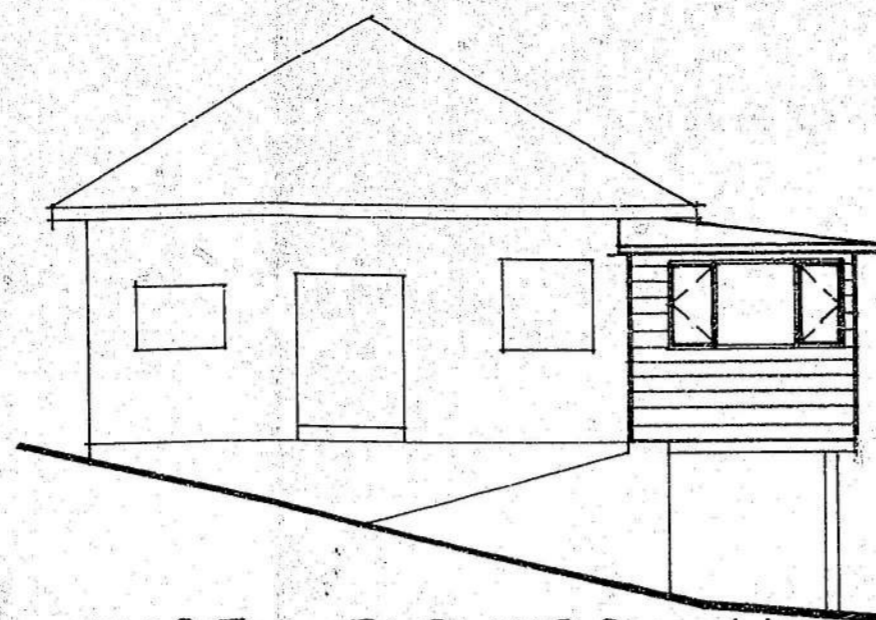
MONTAGUE ST

Boundary 15-24

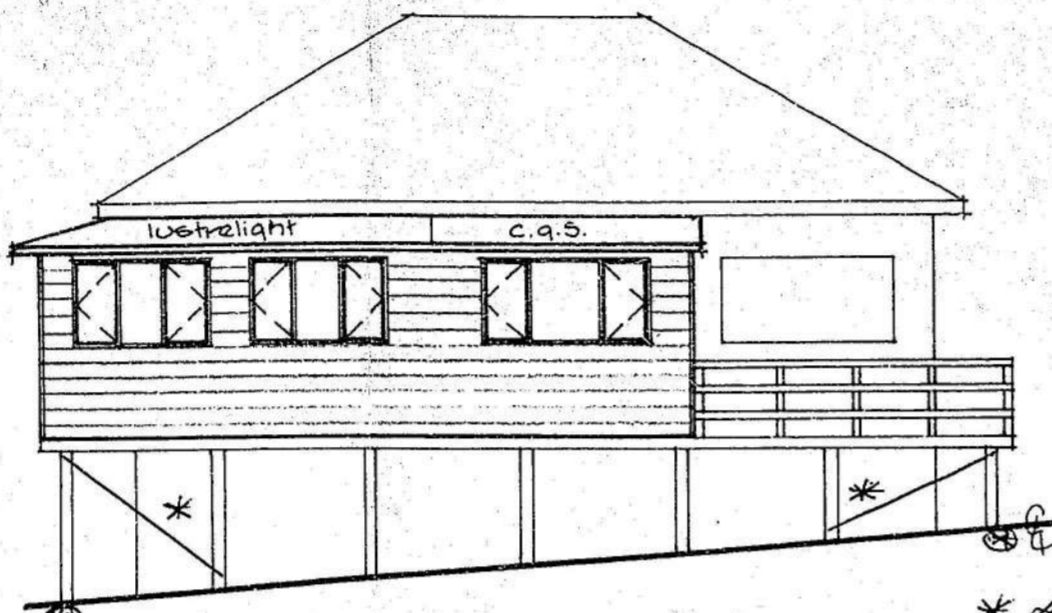
Lot 2
DP 6154
Township of Dalkaith
Pt. Sec 32
North East Valley S.D.

connect to existing
stormwater drain
gap.

Corner piles
NZS 3604:1984
Fig. 14.
Take down 900 mm
into concrete.



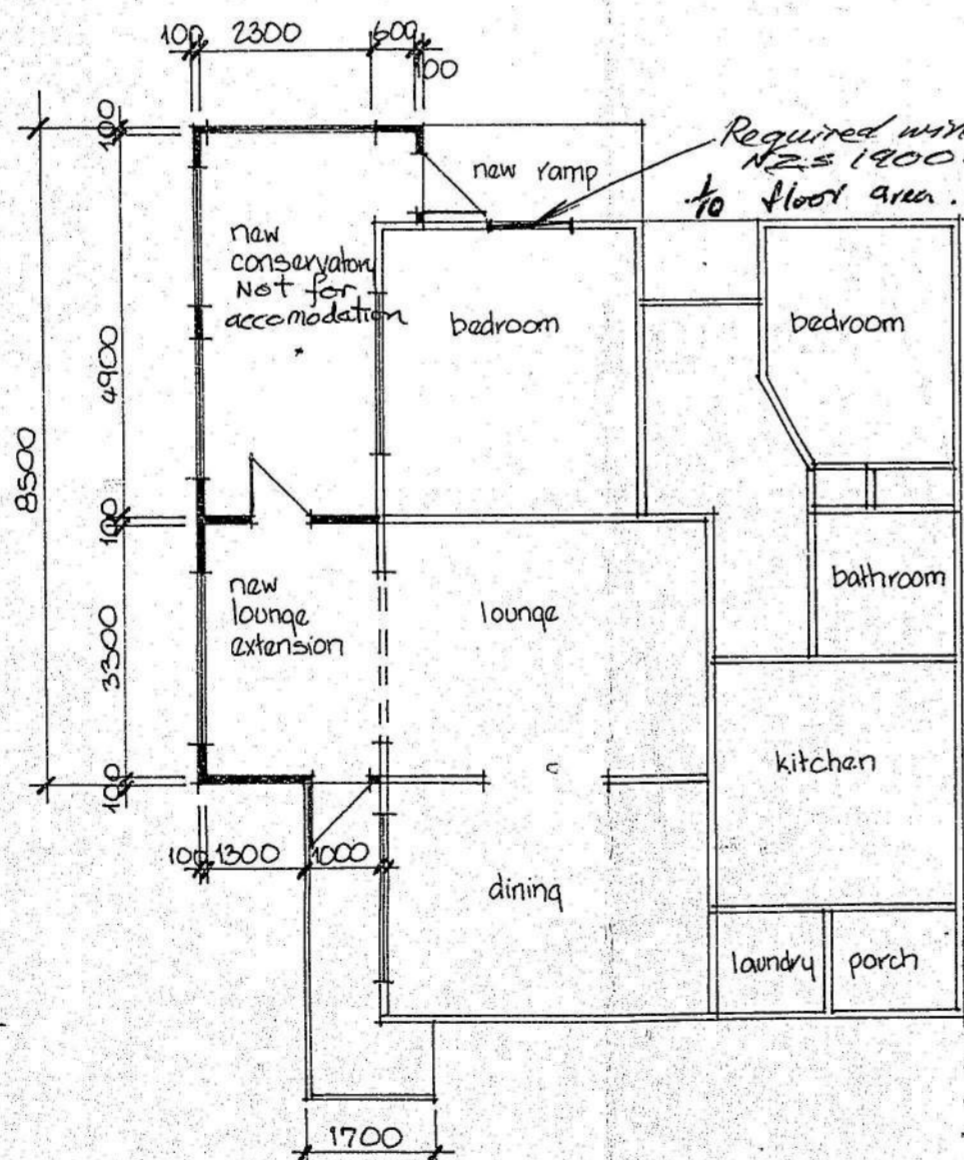
NORTH ELEVATION 1:100



WEST ELEVATION 1:100

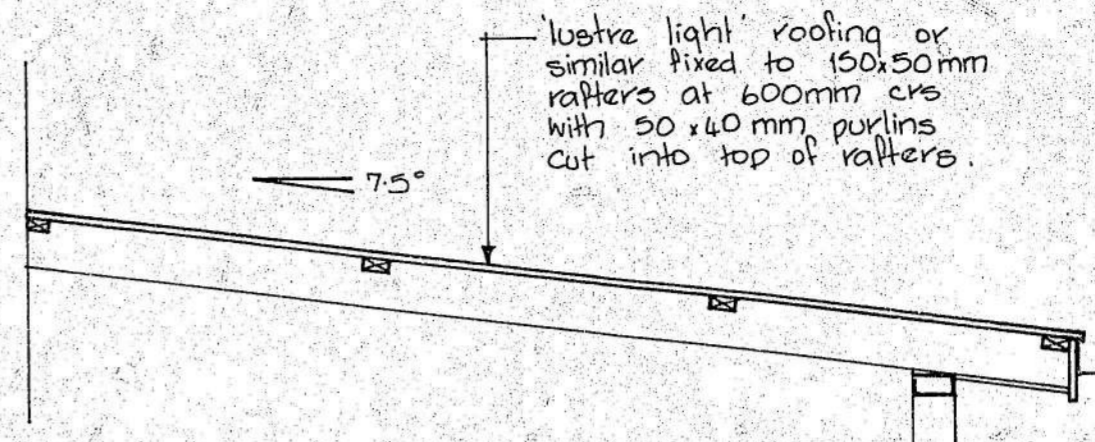
* Approved sub-floor
braced piles as
per NZS 3604:1984
4-9-1

Required window
NZS 1900:4-7
to floor area 1/2 to open.



FLOOR PLAN 1:100

SITE PLAN 1:200



CONSERVATORY ROOF DETAIL 1:20

'lostra light' roofing or
similar fixed to 150x50mm
rafters at 600mm crs
with 50x40mm purlins
cut into top of rafters.

c.g.s. roofing on building
paper and hatching on
50x40mm purlins on flat
at 900mm crs, on 100x
50mm rafters at 600mm crs.
Insulate with R2.2 ceiling
batts.

pinex ceiling panels
fixed to 75x25mm
ceiling battens at
600mm crs fixed
to 100x50mm
ceiling joists at
600mm crs.

Fit rafters and
joists to existing
building with Pryda
purpose made nail
plates.

p.v.c. spouting and
downpipe fixed to
2x 200x50mm
pascia. line soffit
with 6mm hardboard.

remove existing
window and wall
below, make good
to provide new
opening.
remove existing
weatherboards
and fit 12mm
qib. bd.

100mm timber framing
lined with 12mm qib.
bd, exterior cladding
to be weatherboards
to match existing.
Insulate with R2.0
wall batts.

150x100mm
bearer bolt
fixed to
foundation.

20mm particle bd
flooring on 125x50mm
floor joists at 450mm crs.
lay under floor foil insul.
over floor joists
according to manufacturers
instructions. dished 100mm

150x100 bearers on
150mm ø timber posts
at 2m crs set in
300x300x300mm
concrete.

A separate application to the Drainage Board for plumbing and/or
drainage work is required. Such work shall comply fully with the
Plumbers, Gasfitters and Drainlayers Act 1976, Plumbers, Gasfitters
and Drainlayers Regulations 1977, Drainage and Plumbing Regulations
1978, and the Board's By-laws.
Stormwater to be discharged to street channel

existing s/w drain
1/2/89

SECTION 1:20

DUNEDIN CITY COUNCIL
Copy of Approved Plan
and/or Specification
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR,
DATE 8/2/89
FOR CITY ENGINEER

5922

CITY PLANNING DEPARTMENT
Pursuant to the provisions of the District Scheme, these
plans and specifications are approved, provided that
no change shall be made to the details shown hereon,
and contained in the specification attached hereto,
and subject to
Res A
Signed [Signature] 1/2/89
for City Planning Officer

PROPOSED EXTENSIONS TO THE EXISTING RESIDENCE OF
J & K MACANDREW, 62 MONTAGUE ST, DUNEDIN.

CODE COMPLIANCE CERTIFICATE



Section 43(3), Building Act 1991

ISSUED BY:

DUNEDIN CITY COUNCIL

50 THE OCTAGON, BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	474-3525	CCC No:	ABA 955540	Reference No:	5012211
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT	PROJECT LOCATION
All <input checked="" type="checkbox"/> Stage Noof an intendedstages New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: HEATER Intended Life: Indefinite, not less than 50 years <input type="checkbox"/> Specified as <u>5</u> years Demolition <input type="checkbox"/>	Name: MACANDREW, KATHRYN WINIFRED Street Address: 62 MONTAGUE STREET Mailing Address: 62 MONTAGUE STREET, DUNEDIN <hr/> LEGAL DESCRIPTION Property Number: 2012211 Valuation Roll No: 26760 26700 Legal Description: LOT 2 DP 6154

This is:

- A final code compliance issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name: [Signature]

Position: AUTHORISED OFFICER

Date: 13/12/1995

BUILDING CONSENT

Section 35, Building Act 1991

ISSUED BY:



50 THE OCTAGON BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	474-3525	Consent No:	ABA 955540	Reference No:	5012211
---------------	----------	-------------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT

PROJECT

Name: MACANDREW, JAMES CAMPBELL

Mailing Address:
62 MONTAGUE ST, DUNEDIN

PROJECT LOCATION

Street Address:
62 MONTAGUE STREET, DUNEDIN

LEGAL DESCRIPTION

Property Number: 5012211
Rating Roll No: 26760 26700
Legal Description:
LOT 2 DP 6154

COUNCIL CHARGES

The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:

Total: \$

ALL FEES ARE GST INCLUSIVE

All
Stage No of an intendedstages

New Building
Alteration

Intended Use(s) in detail:

HEATER

Intended Life:

Indefinite, not less than 50 years
Specified as 5 years

Demolition

Estimated Value: \$2000

Signed for and on behalf of the Council:

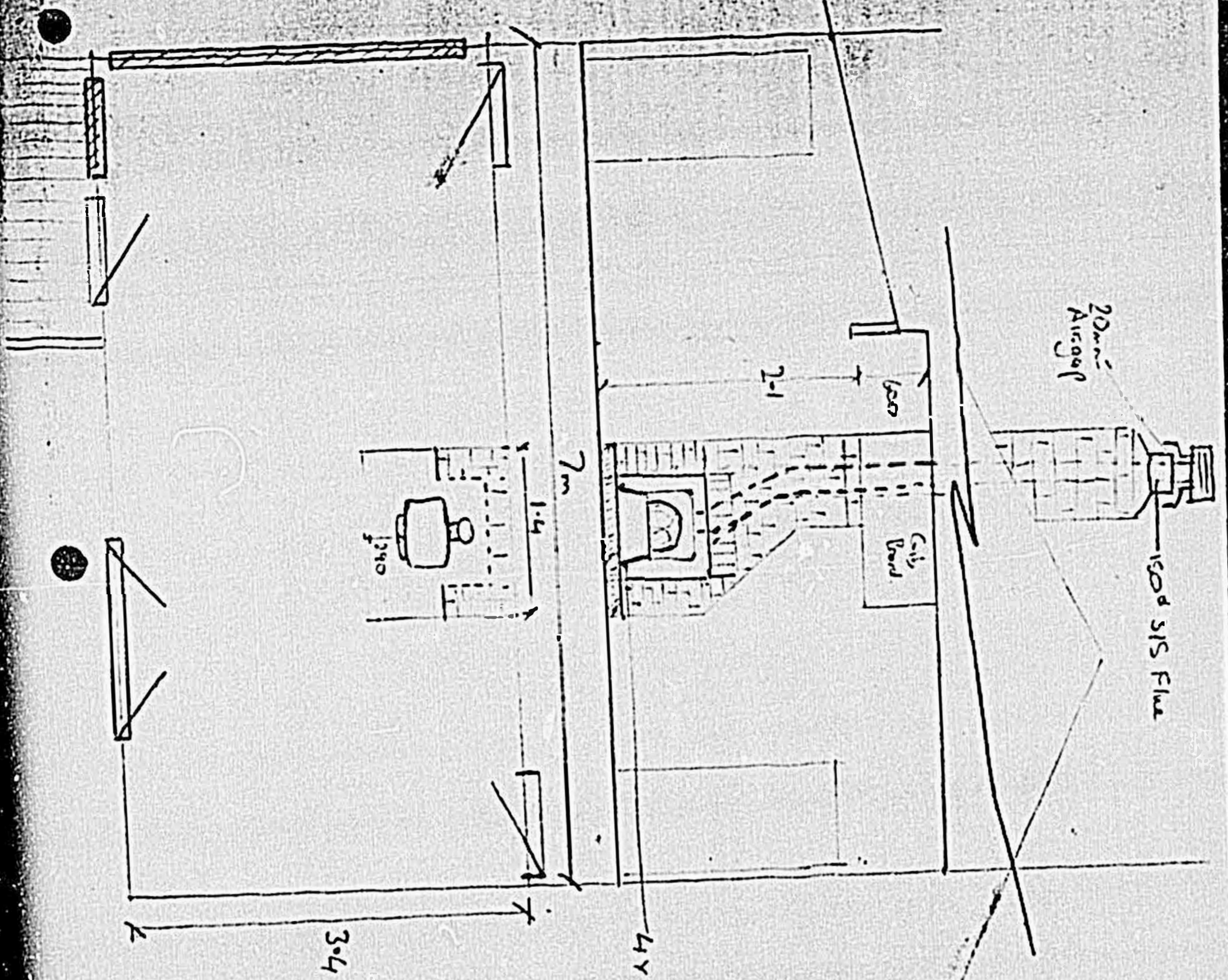
Name: *[Signature]*

Position: AUTHORISED OFFICER

Date: 07/12/1995

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."



DUNEDIN CITY COUNCIL

Installation of Wetback Heaters

All work involved in installing the wetback and water pipework must be carried out by a Craftsman plumber.

Work shall comply with the Building Regulations 1992 Clause G 12

Officer *[Signature]* Date 5/12/95

DUNEDIN CITY COUNCIL

City Council Approved Plan -
on Specification

TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.

DATE 5/12/95

[Signature]

BUILDING INSPECTOR

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

Telephone No:	477-4000	CCC No:	ABA 42440	Reference No:	5012211
---------------	----------	---------	-----------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

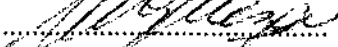
PROJECT LOCATION	PROJECT
<p>Name and Mailing Address:</p> <p>POUTU, JACQUALENE KAREPA C/O ARTHUR STONE BUILDER 3 BRANDON STREET DUNEDIN 9001</p>	<p>All <input checked="" type="checkbox"/></p> <p>Stage Noof an intendedstages</p> <p>New Building <input type="checkbox"/></p> <p>Alteration <input checked="" type="checkbox"/></p>
LEGAL DESCRIPTION	<p>Intended Use(s) in detail: REMOVE WALLS BETWEEN KITCHEN/DINING</p> <p>Intended Life:</p> <p>Indefinite, not less than 50 years <input checked="" type="checkbox"/></p> <p>Specified as years <input type="checkbox"/></p> <p>Demolition <input type="checkbox"/></p>
<p>Property Number: 5012211 Valuation Roll No: 26760 26700</p> <p>Street Address: 62 MONTAGUE STREET, DUNEDIN 9001</p> <p>Legal Description: LOT 2 DP 6154</p>	

This is:

- A final code compliance issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name:.....

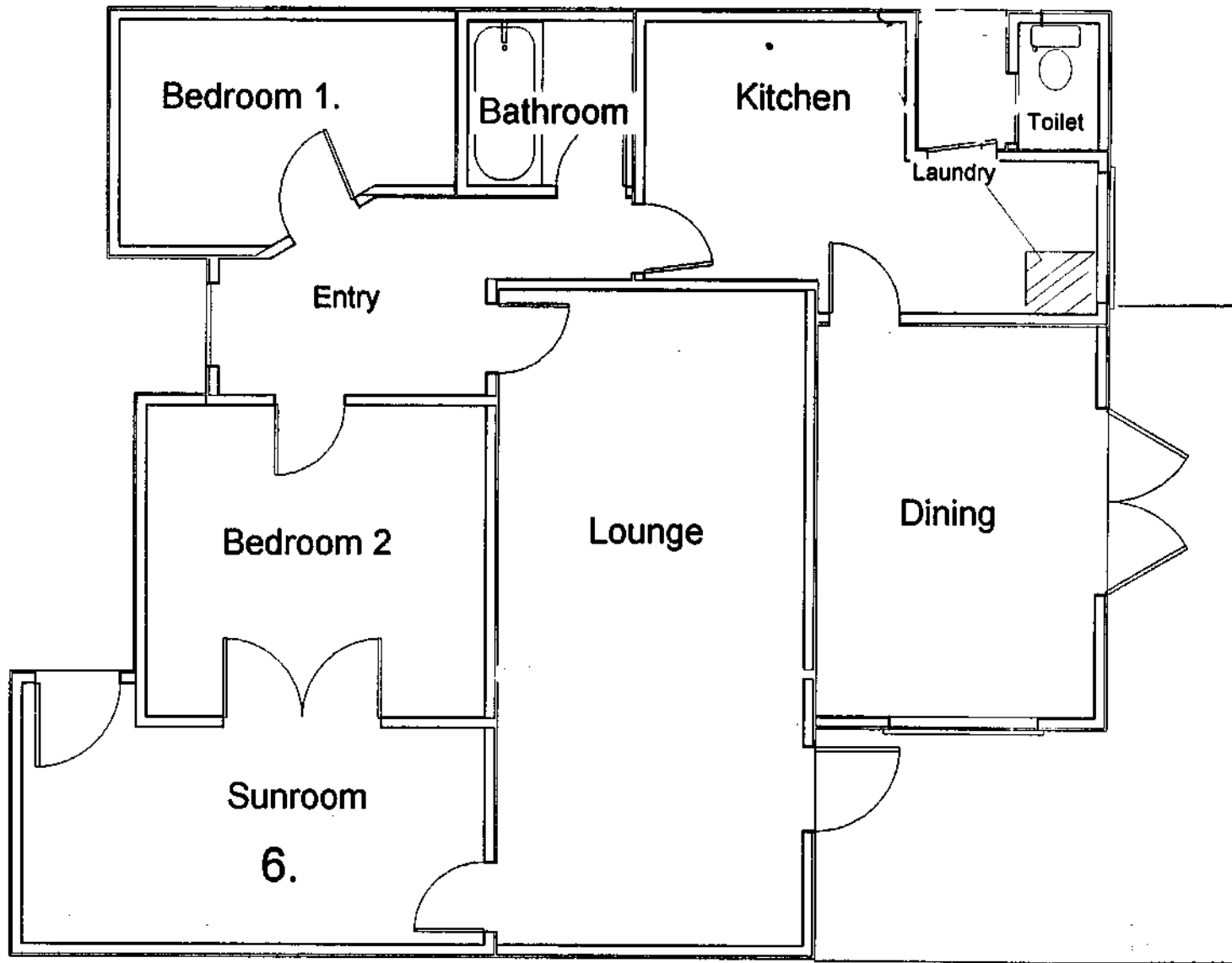
Position: AUTHORISED OFFICER

Date: 15/10/2004

42440

M
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S
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e
t



Scale: All measurements to be checked on site

Existing Floor Plan of the Poutu Residence at
62 Montague Street, NEV, Dunedin

Scope of Work

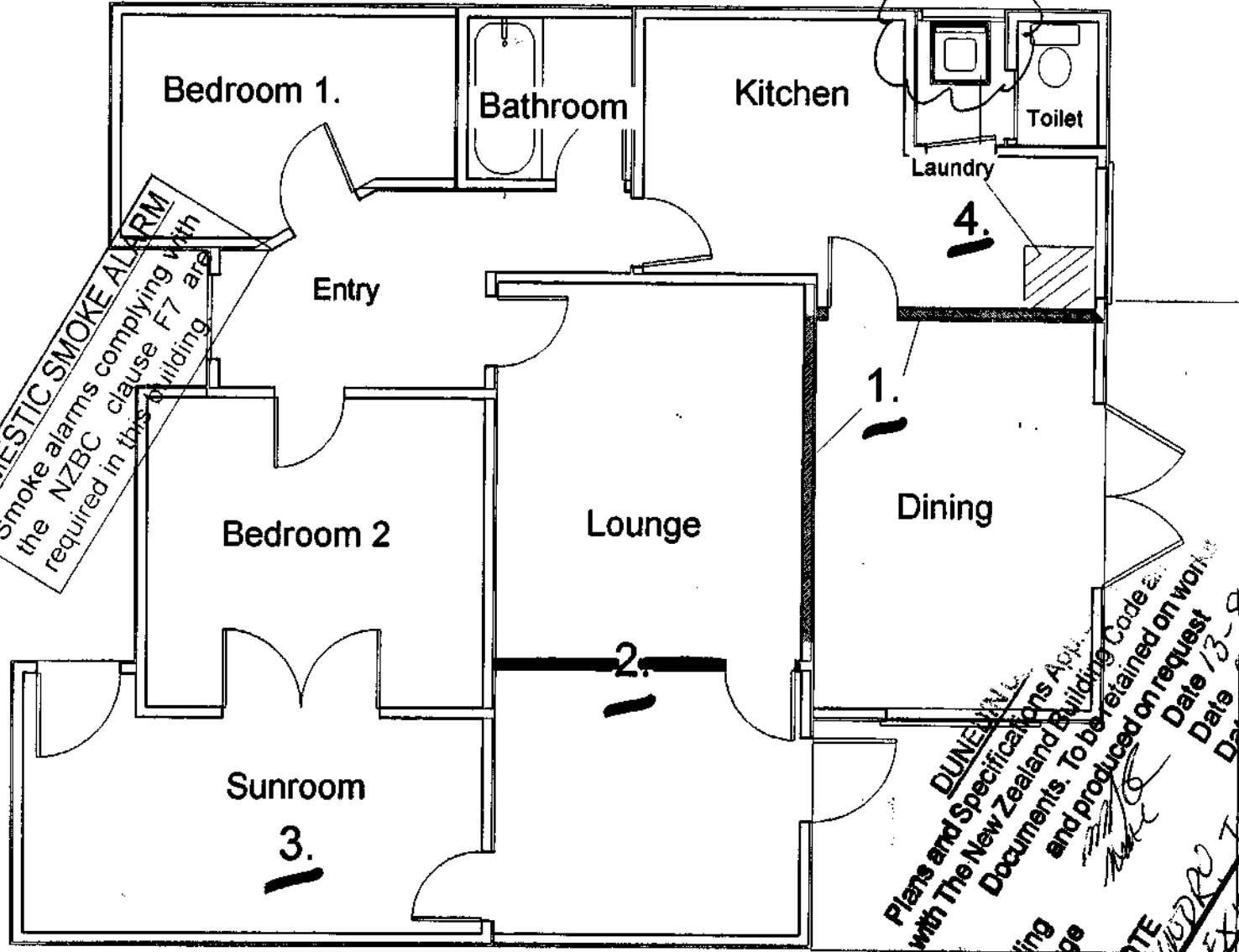
1. Remove the 2 walls from between the existing kitchen/laundry and dining room and the dining room and lounge. Supply and install new 300X50(x2) Douglas Fir beams and make good all areas and leave ready to paint.

2. Construct a new wall to form a new bedroom. Re-use an existing door. 100X50 Framing and MDF trim to suit. Gib Stop and leave ready to paint.

3. Remove the existing clearlite roofing and fit new corrugated iron over the verandah/sunroom area - includes supplying and installing batts & building paper. Line ceiling area in gib, stop for paint finish.

4. Move existing Laundry to back entry area. Block off door and make good to match existing.

M o n t a g u e S t r e e t



42440

Scale: All measurements to be checked on site

Proposed Floor Plan of the Poutu Residence at 62 Montague Street, NEV, Dunedin

DUNEDIN
 Plans and Specifications App.
 with The New Zealand Building Code
 and produced on request
 Date 13-8-07
 Date 16-8-07
 NOTE
 LAUNDRY TUB TO BE EXPOSED AT
 TO EXPOSED AT



CODE COMPLIANCE CERTIFICATE

DUCCBA 111.07.07.0

Section 95, Building Act 2004

CCC NO:	ABA-2009-1744	Telephone No:	03 477 4000
APPLICANT		PROJECT	
N J Lester 62 Montague Street Dunedin 9010		Work Type: Alterations/Repairs	
PROJECT LOCATION		Intended Use/Description of Work: Alterations to Bathroom - Install WC & Shower & Reposition Hand Basin	
62 Montague Street Dunedin		Intended Life: Indefinite, not less than 50 years.	
LEGAL DESCRIPTION		This CCC also applies to the following Amended Consents:	
Legal Description: LOT 2 DP 6154 Valuation Roll No: 26760-26700 Building Name: N/A		N/A	

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

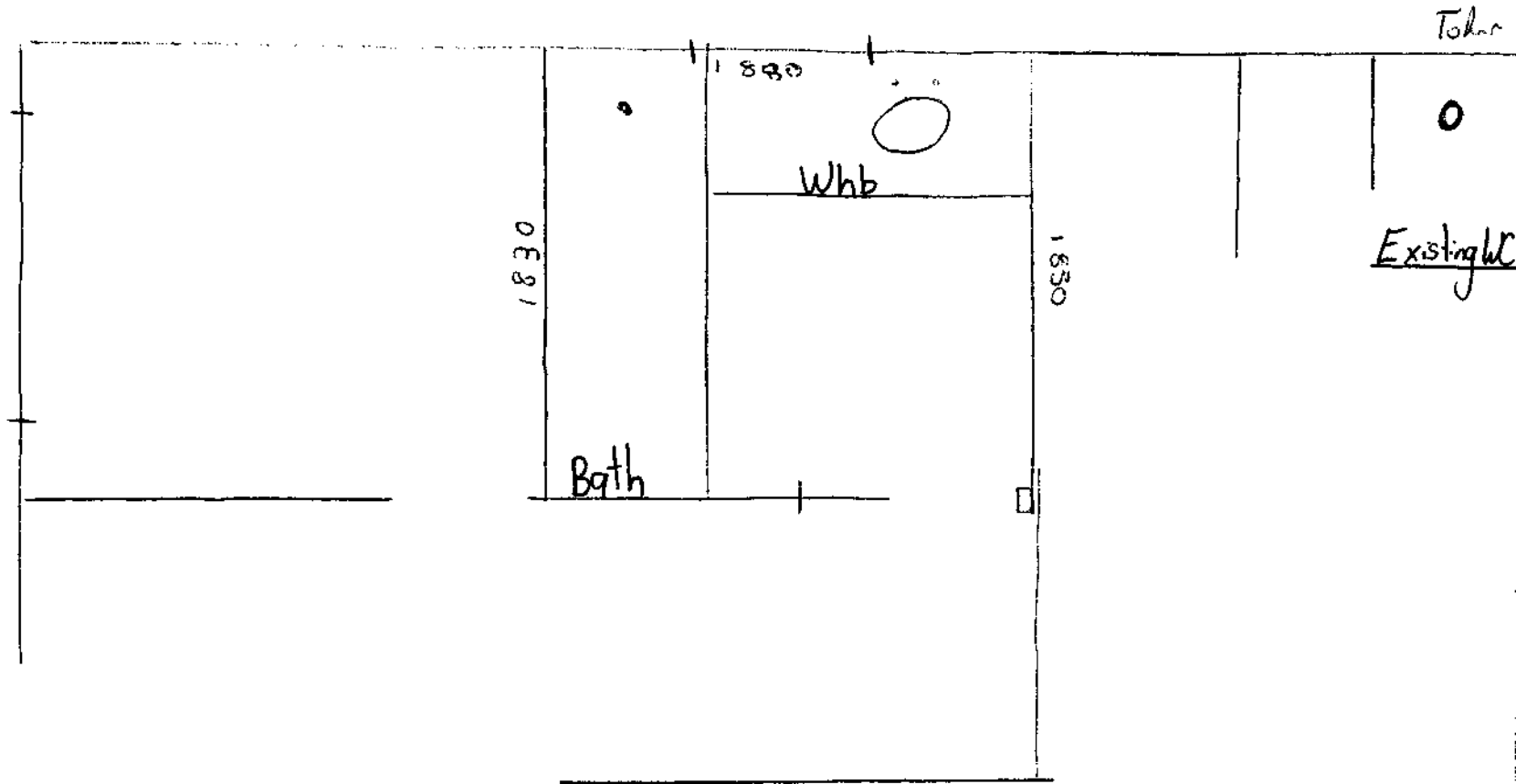
Compliance Schedule attached

Signed for and on behalf of the Council:

TEAM LEADER INSPECTIONS

Date: 2 December 2011

Existing bathroom layout



2009 11 11
2009 11 11

62 m. 62 Montague Street

CIVIL DEFENSE COUNCIL

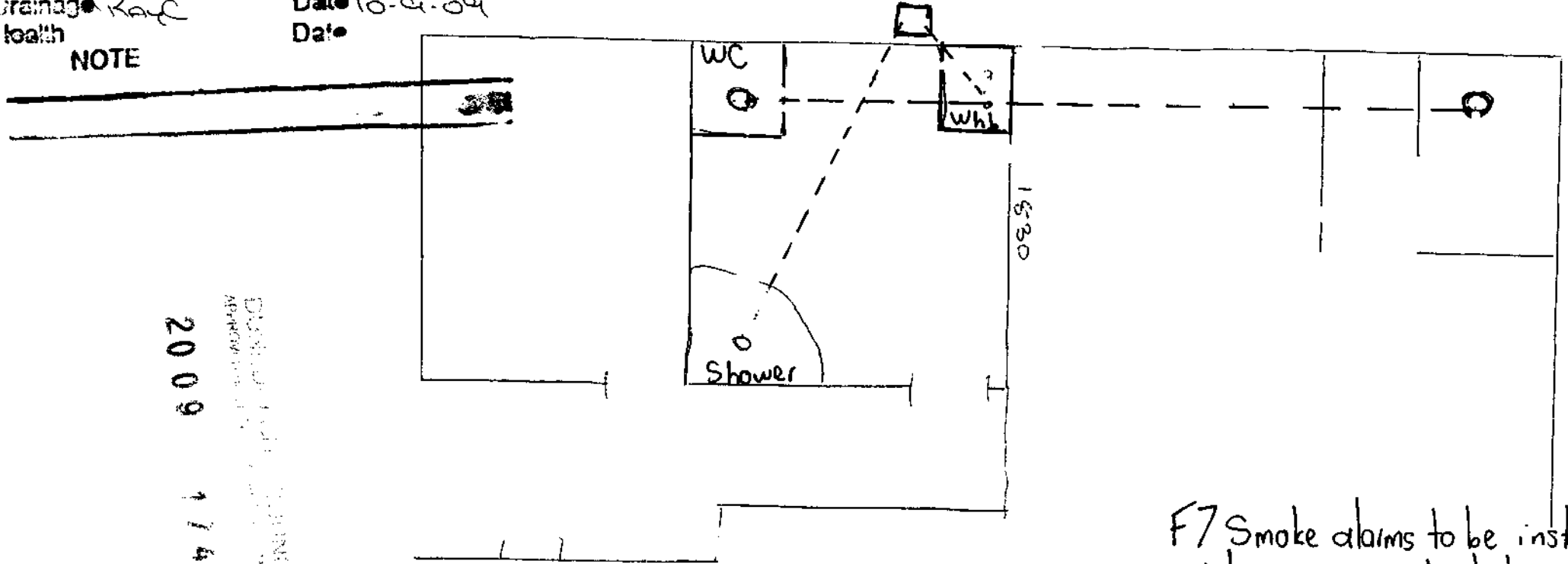
Plans and Specifications Approved in accordance with the Resource Management and Building Code and Approved Documents. To be retained on works and produced on request

New bathroom fixture layout
Only bathroom in dwelling

Building
Drainage
Health

Date
Date 10-2-09
Date

NOTE



2009 1144
 APPROVED BY
 DISTRICT ENGINEER

F7 Smoke alarms to be installed
water services buteline
as per G12 NZBC
Tempering device required G12 NZBC
40mm waste pipes to connect
to existing gully trap

Plumbing and Drainage
To comply with approved
documents. E1/AS1, G12/AS1,
G13/AS1 & 2

Walls & ceilings to be painted
floor to be varnished to G & sealed

WC soil pipe to existing
WC connections

62 Montaque Street

CODE COMPLIANCE CERTIFICATE

DCCBCA-F4-07-v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2012-1007	Telephone No:	03 477 4000
APPLICANT		PROJECT	
L A Cumming 62 Montague Street Dunedin 9010		Work Type: New Construction	
PROJECT LOCATION		Intended Use/Description of Work: Erect Retaining Wall	
62 Montague Street Dunedin		Intended Life: Indefinite, not less than 50 years.	
LEGAL DESCRIPTION		This CCC also applies to the following Amended Consents:	
Legal Description: LOT 2 DP 6154 Valuation Roll No: 26760-26700 Building Name: N/A		N/A	

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:



Team Leader Inspections

Date: 5 May 2014

As Built Plan

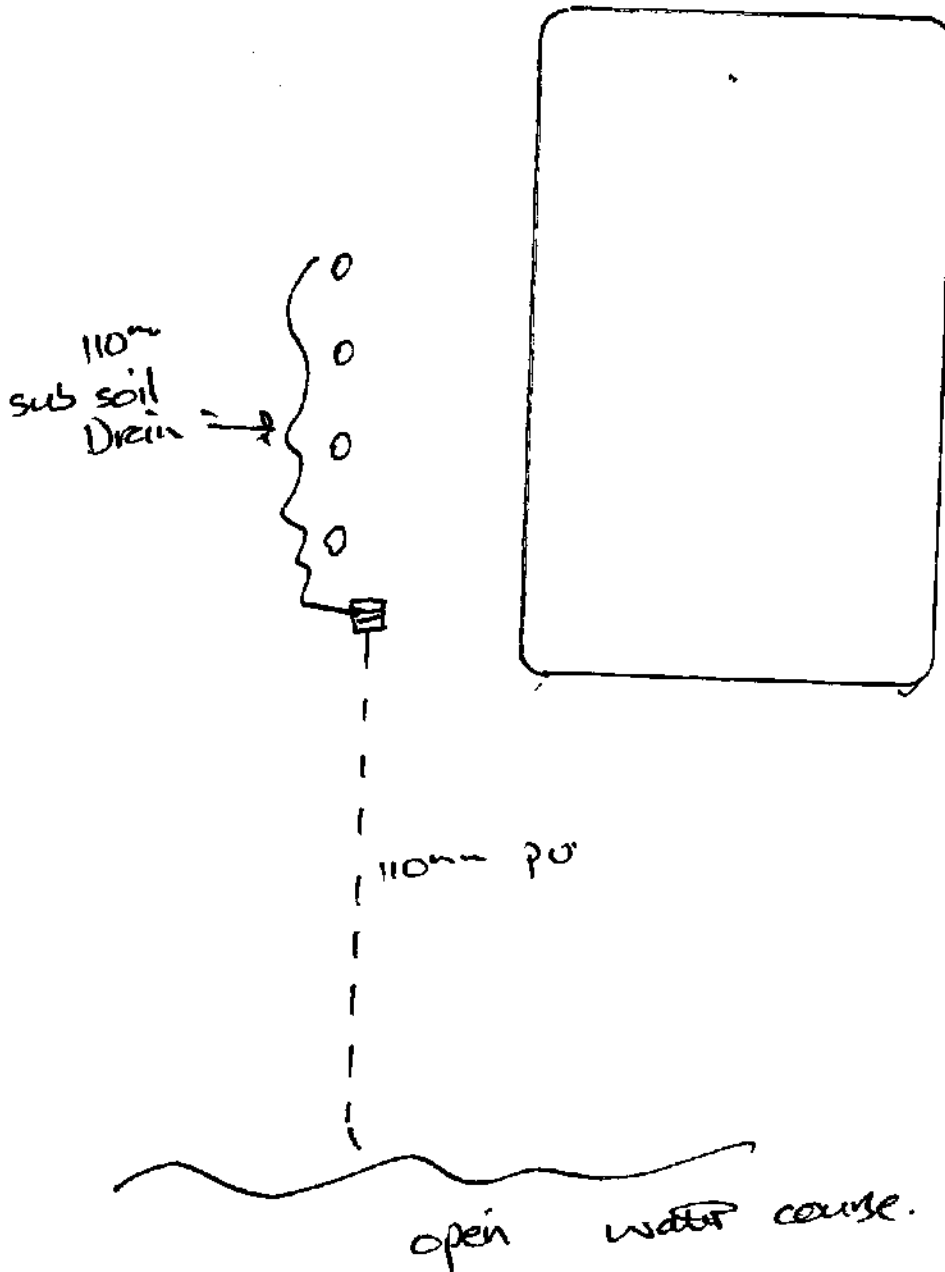
Received by: Jim

Date: 17-1-13

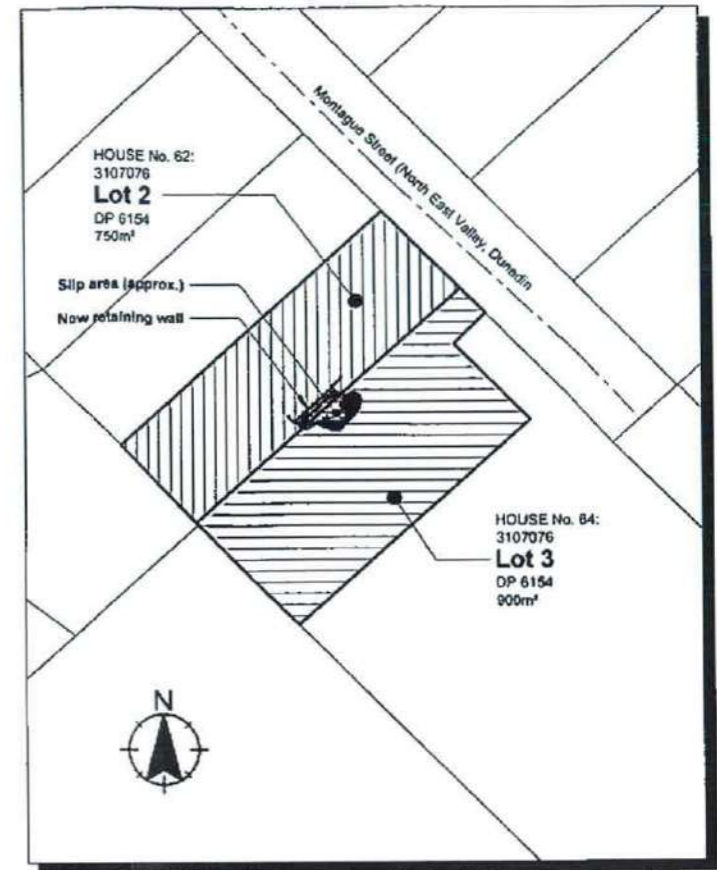
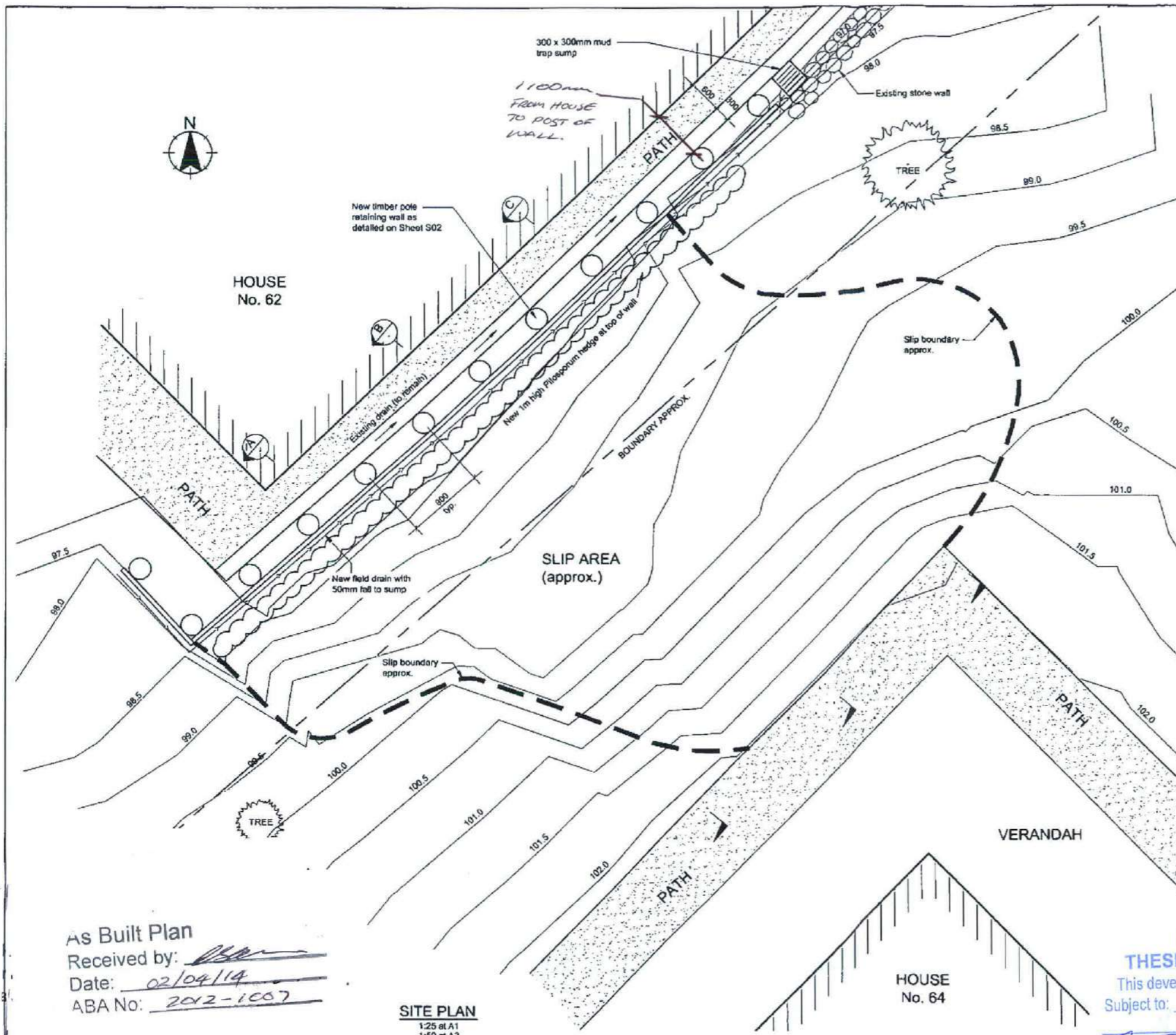
ABA No: ~~12-1007~~

ABA 12-1004

As Built SW Drainage.



62 Montague Street.



LOCATION PLAN
1:500 at A1
1:1000 at A3

- NOTES:**
1. Contractor to check all dimensions on site and to locate all underground services prior to excavation.
 2. Contractor to notify engineer for pole hole inspection 48 hrs prior to plating poles.
 3. All work to comply with NZ Building Code, NZ Health and Safety Act DCC, building consent conditions and regulations.
 4. Backfill to be free draining granular hard fill (no fines) and compacted in layers of 200mm.
 5. These drawings are to be read in conjunction with the specification.

Corrosion zone in

As Built Plan
Received by: [Signature]
Date: 02/04/14
ABA No: 2012-1007

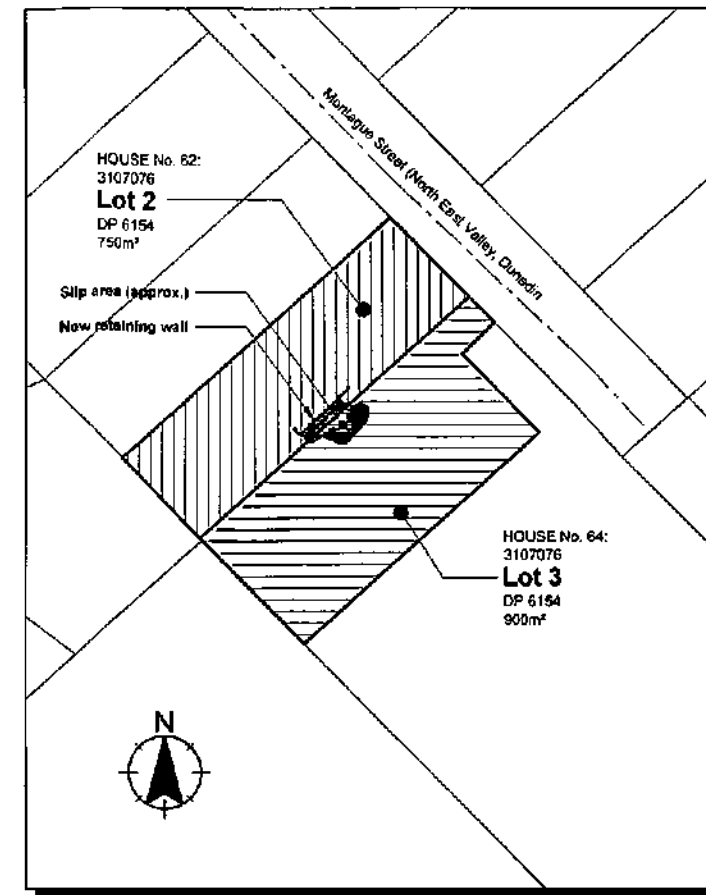
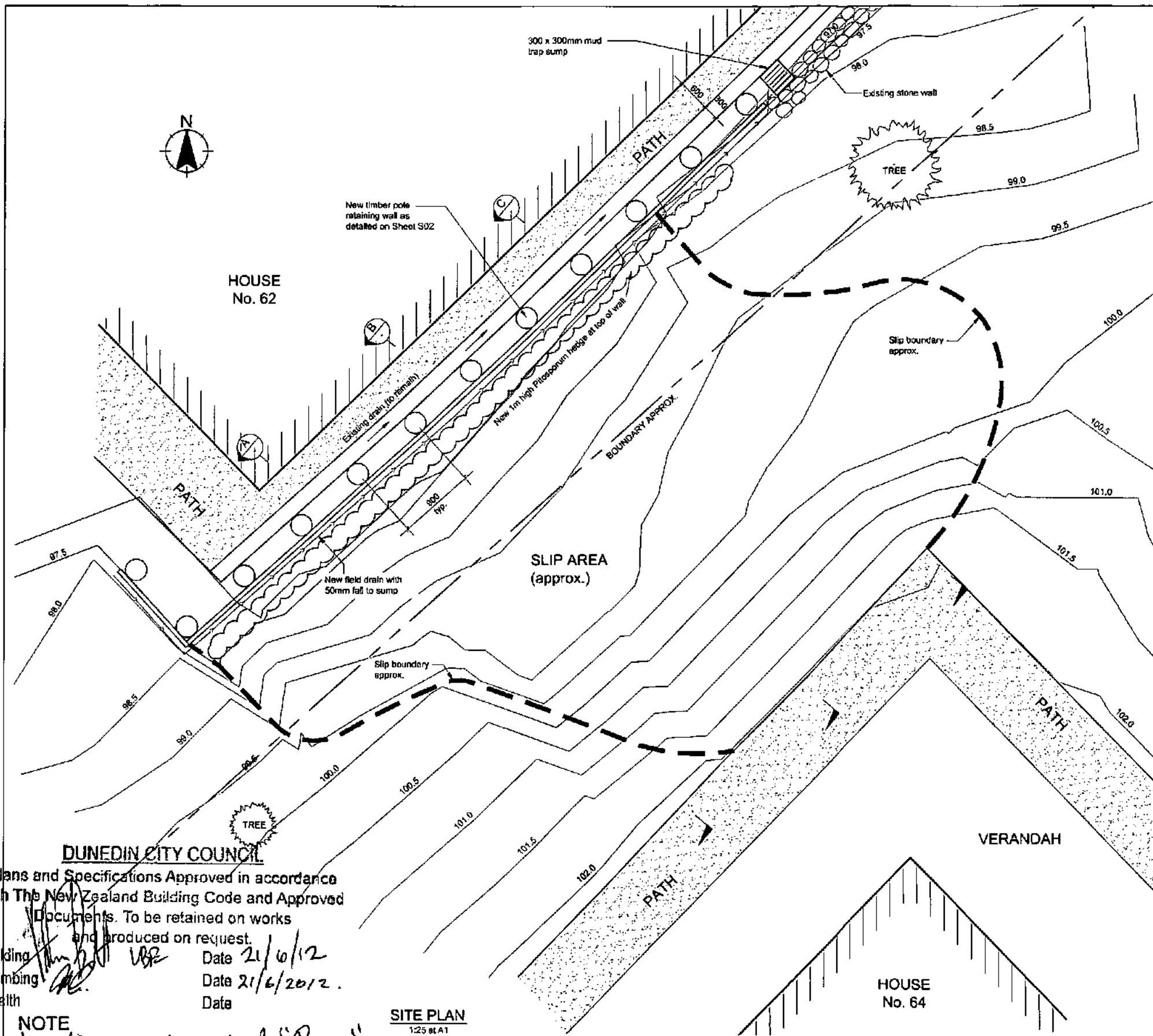
SITE PLAN
1:25 at A1
1:50 at A3

DCC CITY PLANNING
THESE PLANS ARE APPROVED
This development complies with the District Plan
Subject to: _____

[Signature] 3-4-2014
Signed Dated

ISSUED FOR CONSTRUCTION
15/05/2012

A Hedge added at top of wall Revision: B.W. 25-05-12 App Date: 05/12 Approved: BRW 05/12	<table border="1"> <tr><td>Surveyed</td><td>BMW</td><td>04/12</td></tr> <tr><td>Designed</td><td>BRW</td><td>04/12</td></tr> <tr><td>Drawn</td><td>BMW / JS</td><td>04/12</td></tr> <tr><td>Reviewed</td><td>RW</td><td>05/12</td></tr> <tr><td>Approved</td><td>BRW</td><td>05/12</td></tr> </table>	Surveyed	BMW	04/12	Designed	BRW	04/12	Drawn	BMW / JS	04/12	Reviewed	RW	05/12	Approved	BRW	05/12	<p>CPG New Zealand Ltd 1st Floor, John Wickste House 265-269 Princes Street Dunedin 9054 Phone 03 477 7133 Fax 03 477 4233 dunedin@cpnglobal.com</p>	Client NGAIRE GREEN	Project Title NEW TIMBER POLE RETAINING WALL 62-64 MONTAGUE STREET	Sheet Title LOCATION PLAN AND SITE PLAN	Scale (A1 Original) SCALE AS NOTED Project No: 705713 Sheet: S01 Revision: A
Surveyed	BMW	04/12																			
Designed	BRW	04/12																			
Drawn	BMW / JS	04/12																			
Reviewed	RW	05/12																			
Approved	BRW	05/12																			



LOCATION PLAN
1:500 at A1
1:1000 at A3

NOTES:

1. Contractor to check all dimensions on site and to locate all underground services prior to excavation.
2. Contractor to notify engineer for pole hole inspection 48 hrs prior to placing poles.
3. All work to comply with NZ Building Code, NZ Health and Safety Act DCC, building consent conditions and regulations.
4. Backfill to be free draining granular hard fill (no fines) and compacted in layers of 200mm.
5. These drawings are to be read in conjunction with the specification.

Corrosion zone

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENTS

2012 - 1007

ISSUED FOR
CONSTRUCTION
15/05/2012

DUNEDIN CITY COUNCIL
Plans and Specifications Approved in accordance
with The New Zealand Building Code and Approved
Documents. To be retained on works
and produced on request.

Building Date 21/6/12
Plumbing Date 21/6/2012
Health Date

NOTE
Indications approved by applicant "Barter"
100mm PVC Stormwater to Water
Course from Sump

SITE PLAN
1:25 at A1
1:50 at A3

Surveyed	BRW	04/12
Designed	BRW	04/12
Drawn	BRW / JS	04/12
Reviewed	RW	05/12
Approved	BRW	06/12



CPG New Zealand Ltd
1st Floor, John Widdie House
285 - 289 Pines Street
Dunedin 9054
Phone 03 477 7133
Fax 03 477 4258
dunedin@cpg.co.nz

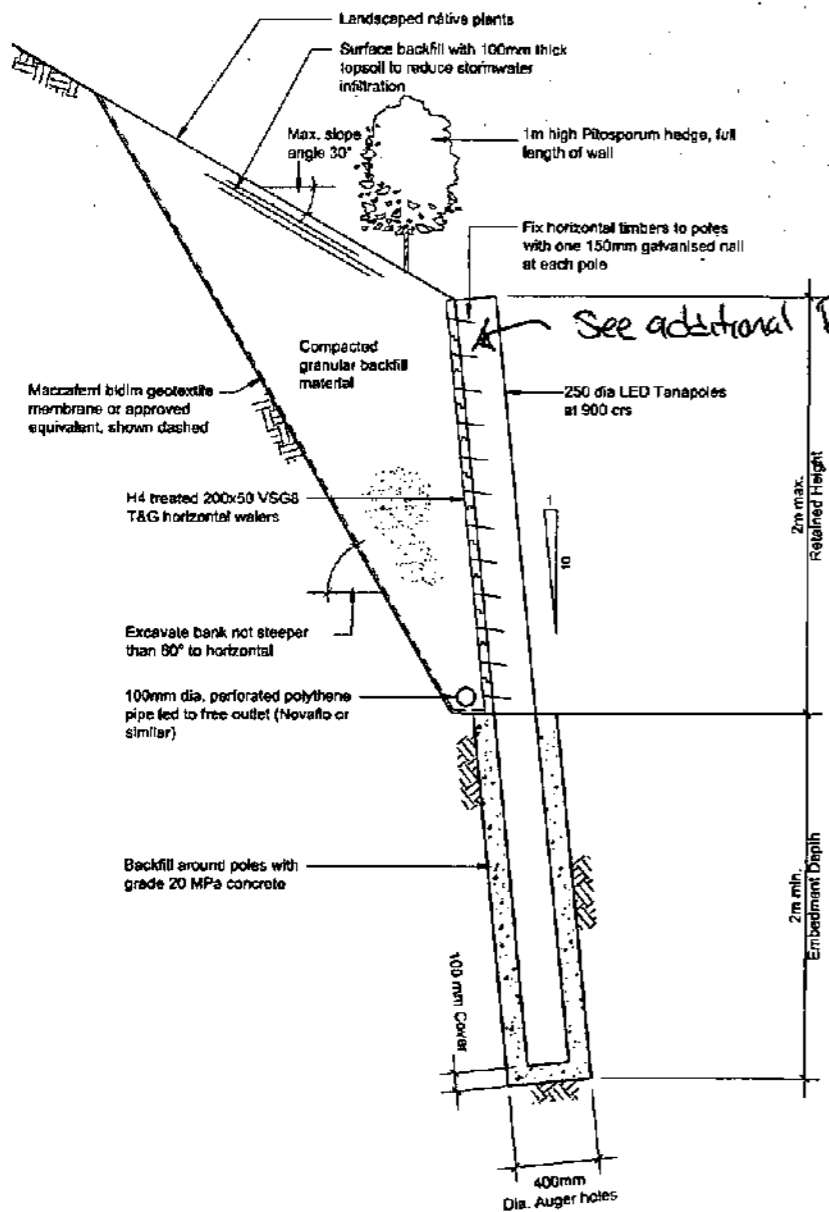
Client
NGAIRE GREEN

Project Title
NEW TIMBER POLE
RETAINING WALL
62-64 MONTAGUE STREET

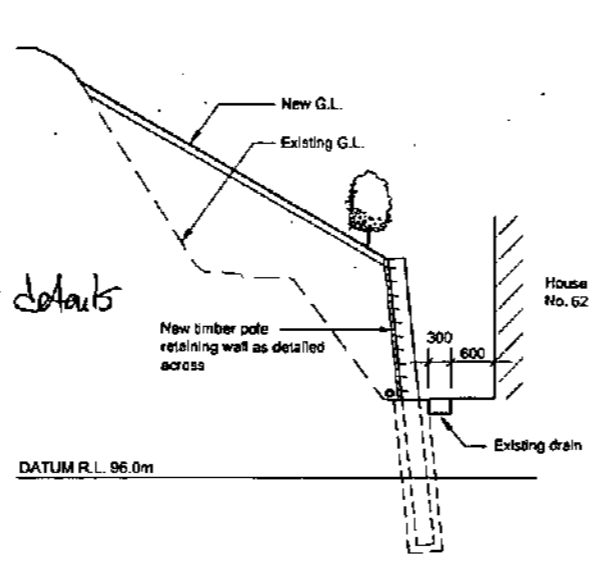
Sheet Title
LOCATION PLAN AND
SITE PLAN

Scale (A1 Original)
SCALE AS NOTED

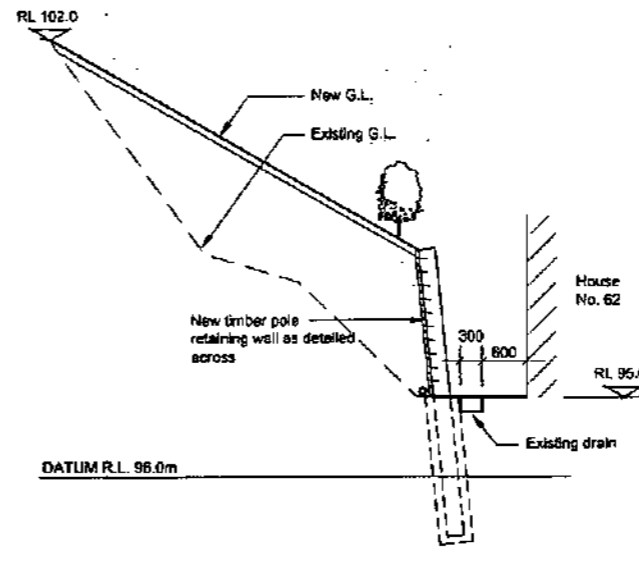
Project No	Sheet	Revision
705713	S01	A



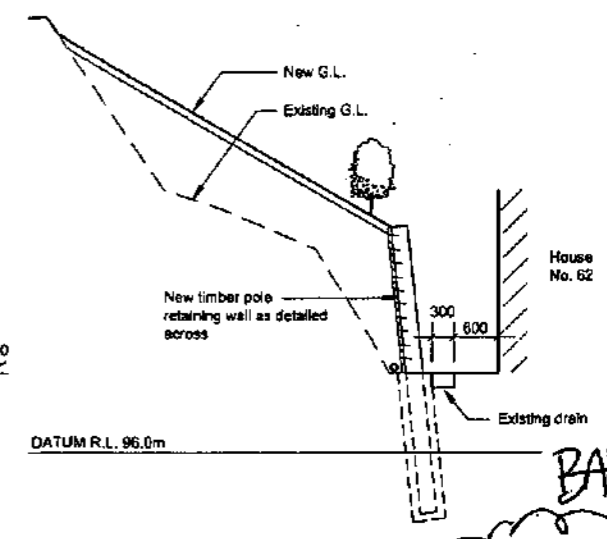
TYPICAL TIMBER POLE RETAINING WALL DETAIL



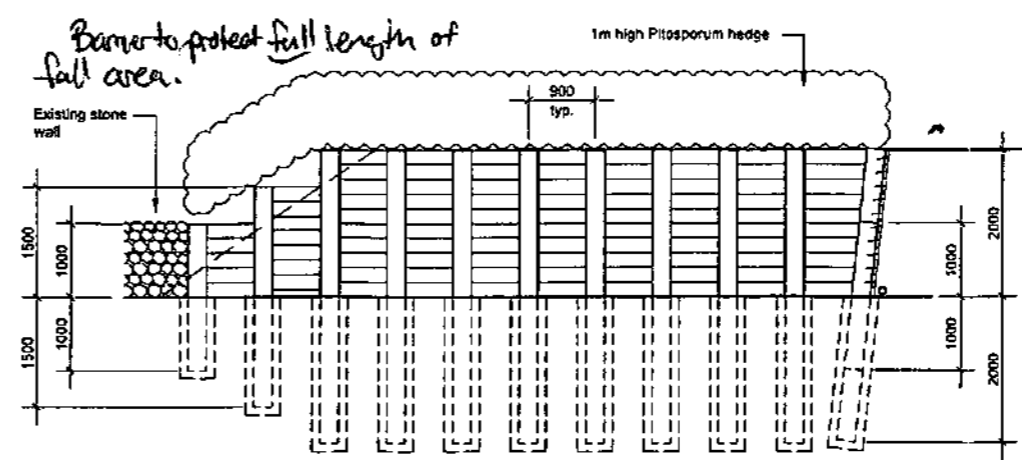
SECTION A
1:50 at A1
1:100 at A3
P01



SECTION B
1:50 at A1
1:100 at A3
P01



SECTION C
1:50 at A1
1:100 at A3
P01



NORTHWEST
TIMBER POLE RETAINING WALL ELEVATION

Note: Viewed from house side of wall

BARRIER.

MUST LEAVE IN PLACE UNTIL HEDGES IS FULLY GROWN & NO GAPS

BACKFILL VOLUME ESTIMATE 30m³

H4 TAN 100x50 POST FIXED ONTO TIMBER POLES @ 900c 3 WIRES & PLASTIC NETTING ATTACHED TO THE BACK

THESE PLANS ARE APPROVED
This development complies with the District Plan(s)
subject to: Whishing up rights
(S10 of the RMA)
2016/12
Signed: _____ Dated: _____

ISSUED FOR CONSTRUCTION
15/05/2012

<p>Surveyed BMW 04/12 Designed BRW 04/12 Drawn BMW / JS 04/12 Reviewed RW 05/12 Approved BRW 05/12</p> <p>Revision: A Hedge added to sections and elev. B.W. 26-05-12</p>	<p>CPG New Zealand Ltd 1st Floor, John Weir House 265 - 289 Princes Street Dunedin 9054 Phone 03 477 7133 Fax 03 477 4938 dunedin@nz.cpg-global.com</p>	<p>Client NGAIRE GREEN</p>	<p>Project Title NEW TIMBER POLE RETAINING WALL 62-64 MONTAGUE STREET</p>	<p>Sheet Title TIMBER POLE RETAINING WALL SECTIONS AND TYPICAL DETAIL</p>	<p>Scale (A1 Original) SCALE AS NOTED</p> <p>Project No: 705713 Sheet: S02 Revision: A</p>
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