

## DISCLAIMER

Statement of Passing Over: This information has been supplied by the vendor or the vendor's agents and TRG Dunedin (powered by ownly Ltd licensed REAA 208) is merely passing over this information as supplied to us. We cannot guarantee its accuracy as we have not checked, audited, or reviewed the information and all intending purchasers are advised to conduct their own due diligence investigation into this information. Where you have been supplied with a Council Property File or a LIM Report, please note there may be matters relating to pre-1992 consents or permits in this file which may need further investigation in order to determine their relevance. To the maximum extent permitted by law we do not accept any responsibility to any party for the accuracy or use of the information herein.



## Dunedin City Council – Land Information Memorandum

Property Address: 35B Calder Avenue Dunedin

Prepared for: Patricia Lynette Williamson and Richard John Dawson.

Prepared on: 04-Jun-2026

### Property Details:

<b>Property ID</b>	5012026
<b>Address</b>	35B Calder Avenue Dunedin
<b>Parcels</b>	FLAT B DP 171, LOT 5 BLK III DP 171, LOT 4 BLK III DP 171 on LOT 1 BLK III DP 171

### Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 04-Jun-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

## Contents

Dunedin City Council – Land Information Memorandum .....	1
Property Address: 35B Calder Avenue Dunedin.....	1
Prepared for: Patricia Lynette Williamson and Richard John Dawson.....	1
Prepared on: 04-Jun-2026 .....	1
Property Details:.....	1
Disclaimer: .....	1
s44A(2)(a) Information identifying any special feature or characteristics of the land .....	4
District Plan Hazard Information.....	4
Other Natural Hazard Information.....	4
Flood Hazards .....	4
Land Stability Hazards .....	4
Coastal Hazards .....	4
Seismic Hazards .....	4
Other Natural Hazards.....	4
Otago Regional Council Hazard Information.....	4
Contaminated Site, Hazardous Substances and Dangerous Goods .....	4
Contaminated Site Information.....	4
Historic Dangerous Goods Licence(s) .....	4
Hazardous Substances.....	4
s44A(2)(b) Information on private and public stormwater and sewerage drains.....	5
Drainage .....	5
Foul Sewer and Waste Water .....	5
Public Sewer Sheets.....	5
Dunedin City Council Private Drainage plans incomplete .....	5
s44A(2)(bb) Information Council holds regarding drinking water supply to the land .....	5
Water Supply .....	5
s44A(2)(c) Information relating to any rates owing in relation to the land .....	6
Rates Details .....	6
Rates Assessment Details .....	6
s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land .....	7
(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and.....	7
(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004 .....	7
Building and Drainage Consents.....	7
Building and Drainage Permits .....	7
Earthquake Prone Building .....	7
Building Notices.....	8
Resource Consents .....	8
Consent Notices.....	8
Alcohol Licensing .....	8
Health Licensing.....	8
s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006 .....	8
s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use .....	9

District Plan .....	9
District Plan Map .....	9
s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation.....	9
s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004 .....	9
Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.	10
Building Information.....	10
Independent Building Report(s) .....	10
Drainage .....	10
Minimum Floor Levels .....	10
Planning.....	10
Resource Consents within 50m of 35B Calder Avenue Dunedin.....	10
3 Waters .....	12
Information Regarding Watercourses .....	12
Transport .....	12
Glossary of Terms and Abbreviations.....	14
Consent, Permit, Licence & Complaint types .....	14
Terms used in Permits & Consents.....	14
General terms.....	15
Appendices .....	16

## s44A(2)(a) Information identifying any special feature or characteristics of the land

### District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

### Other Natural Hazard Information

#### Flood Hazards

No information.

#### Land Stability Hazards

No information.

#### Coastal Hazards

No information.

#### Seismic Hazards

No information.

#### Other Natural Hazards

No information.

### Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

### Contaminated Site, Hazardous Substances and Dangerous Goods

#### Contaminated Site Information

No information.

#### Historic Dangerous Goods Licence(s)

No information.

#### Hazardous Substances

No information.

#### **WARNING – Change in legislation and management of hazardous substances**

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

## s44A(2)(b) Information on private and public stormwater and sewerage drains

### Drainage

Drainage plans on file are indicative only.  
Obtaining your own independent review may be required before commencing drainage works.

### Foul Sewer and Waste Water

#### **Stormwater/Sewer Separation - Compliant**

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **30<sup>th</sup> July 1997**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

#### **Drainage Reticulation Plans**

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

### Public Sewer Sheets

**WARNING.** Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

### Dunedin City Council Private Drainage plans incomplete

**WARNING.** The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

## s44A(2)(bb) Information Council holds regarding drinking water supply to the land

### Water Supply

**Urban water supply area – Connected**

This property is connected to the Dunedin City Council’s urban (on-demand) water supply. Indicative water pressures are available to view at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure), and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

**Terms and conditions of supply**

All new and existing connections to the Dunedin City Council’s water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at [www.dunedin.govt.nz/water-bylaw](http://www.dunedin.govt.nz/water-bylaw).

**Water pressure**

Indicative network water pressure to the property is shown on maps available at [www.dunedin.govt.nz/water-pressure](http://www.dunedin.govt.nz/water-pressure). Specific detail is available on request.

**Water reticulation maps**

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property.

**s44A(2)(c) Information relating to any rates owing in relation to the land**

**Rates Details**

**Rates Assessment Details**

<b>Rate Account</b>	2012026
Address	35B Calder Avenue Dunedin
Valuation Number	26760-11000-B
<b>Latest Valuation Details</b>	
Capital Value	\$420,000
Land Value	\$210,000
Value of Improvements	\$210,000
Area (Hectares)	
Units of Use	1
<b>Current Rates</b>	
Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$3,343.71
<b>Rates Outstanding for Year</b>	\$0.00

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

### Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
Archived	/CCC	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
Refused		-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect
Lapsed		-	

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2007-316418](#) Building Consent - Alter Dwelling - Install Sliding Door in place of Window & Door.

Lodgement Date	25-Jun-2007
Decision	Granted
Decision Date	28-Jul-2007
Current Status	<b>CCC Issued</b>
Previous Number	
<i>(Applications before 2007)</i>	

### Building and Drainage Permits

[H-1964-62377](#) AAB19641554 10625 - Front Fence, No Plan (Page). The permit was lodged on 01-Jan-1964.

[H-1974-79204](#) AAB19741686 - Dwelling Demolished, No Plan,. The permit was lodged on 01-Jan-1974.

[H-1974-79205](#) AAB19741687 9804 - Erect two Flats (McDonald and Roughan). The permit was lodged on 20-Aug-1974.

[H-1914-128954](#) AAD19141034 A6358 - Drainage to Board Drain in Common (Bruce). The permit was lodged on 07-Jul-1914.

[H-1914-128955](#) AAD19141035 A6374 - Plumbing, No Plan (Bruce). The permit was lodged on 09-Jul-1914.

[H-1974-203006](#) AAD19740329 J4424 - Plumbing and Drainage New Flats Seal Old Drains for Demolished Dwelling (McDonald and Roughen). The permit was lodged on 19-Nov-1974.

### Earthquake Prone Building

The following information is recorded for this property:

<b>Earthquake Prone Status</b>	Not yet profiled
<b>Assessment Due Date</b>	
<b>Extension Granted</b>	
<b>Extension Description</b>	

**Assessment Status**

**Assessment Result (%)**

**Earthquake Rating Category**

**EPB Notice Issued**

If Earthquake Prone status is set to EPB Methodology, it has been assessed under the Building Amendment Act 2016. This status will remain in place under the Building Amendment Act 2016.

Otherwise, the building was identified as potentially earthquake prone under the Dunedin City Council Earthquake prone buildings policy. This work predates the Building (earthquake-prone buildings) Amendment Act 2016. New or additional information may be requested to establish whether or not the building is deemed earthquake prone under the current legislation.

Information regarding managing earthquake-prone buildings is available on the Ministry of Business, Innovation and Employment's web site <https://www.building.govt.nz/managing-buildings/managing-earthquake-prone-buildings/>

For further information refer to the Dunedin City Council Earthquake Prone Buildings information on the website: <https://www.dunedin.govt.nz/services/building-services/earthquake-prone-buildings>

**Building Notices**

No Building Notices

**Resource Consents**

There are no resource consents for this property.

**Consent Notices**

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

**Alcohol Licensing**

There are no records of any Alcohol Licences for this property.

**Health Licensing**

There are no records of any Health Licences for this property.

**s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006**

No information.

## s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

### District Plan

**The information on district plan requirements is correct at the date this LIM is issued.** Note that the Dunedin City Second Generation District Plan (“The 2GP”) is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

### SECOND GENERATION DISTRICT PLAN INFORMATION

#### Zoning

- General Residential 2 (refer Section 15, Residential)

#### Scheduled Items

- Nil

#### Overlay Zones

- Nil

#### Mapped Areas

- Wastewater Constraint Mapped Area
  - Name: North East Valley

#### District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

## s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

## s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

## Building Information

### Independent Building Report(s)

An Independent Building Report was submitted to Council on **12-Oct-2004**.

### Drainage

#### Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

### Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any building consent, or to enquire about information referred to in this section, please contact Building Services Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

## Planning

### Resource Consents within 50m of 35B Calder Avenue Dunedin

#### [5011989 19 Dalmeny Street Dunedin](#)

[RMA-1988-352388](#) Resource Management Act (Historical Data) DISPENSATION 892 DWELLING ADDITION (CARPORT) Ownr:COCHRANE (Non-Notified - Non Complying). The outcome was Granted on 13/10/1988.

#### [5011998 30 Calder Avenue Dunedin](#)

[RMA-1971-353953](#) Resource Management Act (Historical Data) ACCESS TO NON-CON.IND.BLDG OVER RES.LAND Ownr:DOM.BLDGS LTD / App: DOMINION BUILDINGS RUTHERFORD ETC BOX 696 (Notified - Non Complying). The outcome was Granted on 23/08/1971.

#### [5012020 46 Baldwin Street Dunedin](#)

[LUC-2017-411](#) Land Use Consent land use consent for a commercial residential activity and associated signage. The outcome was Granted on 15/09/2017.

[LUC-2008-367](#) Land Use Consent new stair to replace existing entry ramp and steps. The outcome was Granted on 23/07/2008.

#### [5012027 41 Calder Avenue Dunedin](#)

[RMA-1984-351553](#) Resource Management Act (Historical Data) DWG ADDN Ownr:SCOTT / App: KELLEY Designer: KELLEY (Non-Notified - Non Complying). The outcome was Granted on 02/10/1984.

#### [5012033 30 Baldwin Street Dunedin](#)

[LUC-2014-298](#) Land Use Consent construct deck/carport. The outcome was Granted on 18/07/2014.

#### [5012123 31 Baldwin Street Dunedin](#)

[RMA-1998-361857](#) Resource Management Act (Historical Data) ALTER SLEEPOUT TO RESIDENTIAL UNIT EFTPOS Hazards Comments: (Notified - Non Complying). The outcome was Consent Order Issued by Environment Court on 17/12/1998.

[5012127 41 Baldwin Street Dunedin](#)

[RMA-2005-368990](#) Resource Management Act (Historical Data) EXTEND DWELLING INTO SIDE YARD (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/05/2005.

[5113668 47 Baldwin Street Dunedin](#)

[LUC-2007-596](#) Land Use Consent land use arising from subdivision. The outcome was Granted on 04/12/2007.

[5113758 41 Baldwin Street Dunedin](#)

[RMA-2005-368990](#) Resource Management Act (Historical Data) EXTEND DWELLING INTO SIDE YARD (Non-Notified - Restricted Discretionary). The outcome was Granted on 18/05/2005.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

### **Accuracy of Boundaries**

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

### **Access to Site**

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

### **Heritage New Zealand Pouhere Taonga Act 2014**

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: [infodeepsouth@heritage.org.nz](mailto:infodeepsouth@heritage.org.nz); 03 477 9871.

### **Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011**

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012.

The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at [www.mfe.govt.nz](http://www.mfe.govt.nz).) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

### 3 Waters

#### Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website [www.dunedin.govt.nz](http://www.dunedin.govt.nz).

### Transport

**DCC Transport has carried out a desktop inspection of this property and found the following:**

#### Vehicle crossing - shared vehicle access.

It appears that the vehicle access to this property is via a shared driveway. Please consult with your Lawyer to find out if this is registered under your property title and/or there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

**Non-compliant vehicle crossing – no stormwater run-off, property is lower than road.**

It appears there are no stormwater provisions in place for this vehicle crossing, which may result in the property taking water from the road, footpath, or neighbouring properties as a secondary flow path. To meet current Council standards the stormwater run-off would be required to be captured at the boundary and managed in a way where it does not cause a nuisance to neighbouring properties, including the road corridor. For example: a strip drain, with sump or a sump and piped to the kerb and channel. Council accepts this situation but accepts no liability and the maintenance is the responsibility of the property owner. This may be required to be upgraded in the future.

**Property boundary borders unformed legal road (paper road) – Guthrie Street.**

This properties boundary borders an unformed legal road owned by Council. The applicant is reminded of the general obligations as an adjoining property owner regarding public access as outlined in the Local Government Act 1974, adjoining landholders have no rights of occupation or ownership of unformed legal roads. It is the property owner(s)/purchaser(s) responsibility to ensure that no private assets such as buildings, fences or plantings are located within or encroaching onto the unformed legal road. DCC have no legal obligation to form, improve, or maintain any unformed legal road.

**Encroachment on road reserve – privately owned vegetation over footpath**

It appears that the vegetation at this property's frontage on 35B Calder Avenue is encroaching on the footpath. Private vegetation is required to be maintained so that it does not interfere with footpath users or extend over your property boundary. Council accepts this situation but accepts no liability. Maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

**Private stormwater lateral.**

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

## Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

### Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

### Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

MH Manhole  
PL Plumbing  
PLB Plumbing  
PTE Private  
SIS Sewer in section  
WC Water course  
WT Water table  
SW Stormwater

### General terms

RDMS Records and Document Management System

## Appendices



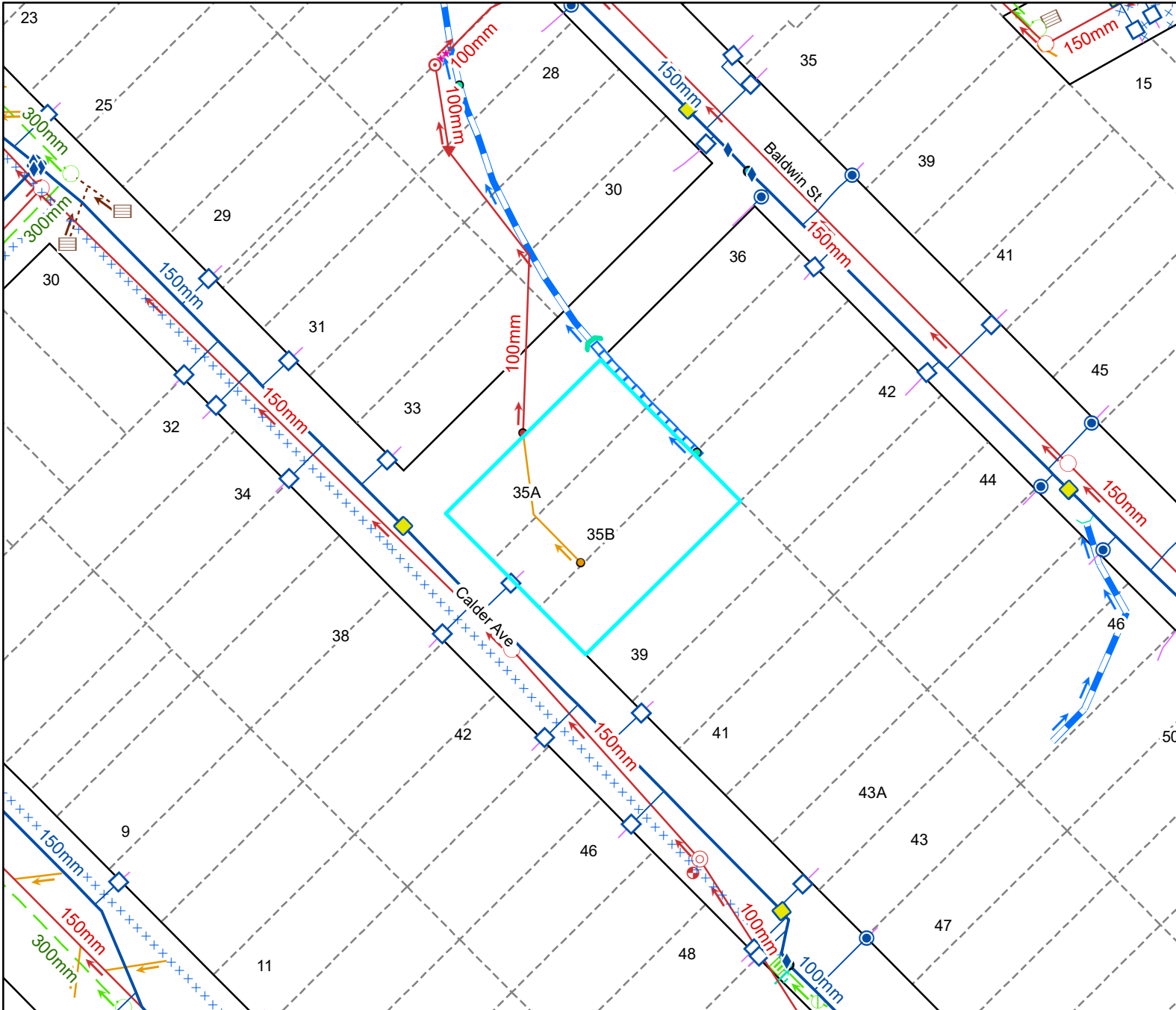
# Photographic Map

Scale at A4:  
 1:750  
 27/05/2026  
 8:01:55 PM



PARCEL LINES CAN VARY FROM  
 LEGAL PARCEL BOUNDARIES  
 This map is for illustration purposes only  
 and is not accurate to surveying, engineering  
 or orthographic standards. Every effort  
 has been made to ensure correctness and  
 timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys  
 Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ  
 2013 Urban and rural photography Jan/Feb 2013.  
 Copyright DCC. CC BY 3.0 NZ.  
 2006/2007 Urban photography March 2007,  
 copyright NZAM. Rural photography March  
 2006, copyright Terralink International Ltd.



### Legend

- |  |                                   |                  |                                |
|--|-----------------------------------|------------------|--------------------------------|
| <b>Water Supply</b>  |                                   | NR▶              | Water Non-Return Valve         |
| ◻  | Manifold Box                      | ⊛                | Water Pump Station             |
| ⊙  | Water Meter                       | ▲                | Water Bore                     |
| ⊙  | Toby                              | ■                | Water Treatment Plant          |
| ⊙  | Meter without manifold box        | ⊙                | Water Storage Tank             |
| ⊙  | Retic Flow Meter                  | —                | Supply Main                    |
| ⊙  | Combination Meter                 | —                | Trunk Main                     |
| ⊙  | Manifold Box With Restrictor      | —                | Disused                        |
| ⊙  | Water Valve - Zone                | —                | Reticulation                   |
| NR▶  | Non Return Valve                  | —                | Scour                          |
| ◊  | Water Valve - Gate                | —                | Water Service Lateral          |
| ◊  | Water Valve - Sluice              | —                | Water Fire Service Lateral     |
| ■  | Water Hydrant                     | —                | Water Critical Service Lateral |
| ▶  | Water Backflow Preventor - RPZ    | —                | Water Zone Boundary            |
|  |                                   | —                | Water Reservoir                |
|  |                                   | ⊗                | Redundant Water Main           |
| <b>NOTE:</b><br>Private water services have the same symbols as those above, however they are coloured pink.           |                                   |                  |                                |
| <b>Foul Sewerage</b>   |                                   | ⊛                | Pump Station                   |
| ○  | Standard Manhole                  | ■                | Treatment Plant                |
| ⊙  | Valve Chamber (pressurised)       | ⊙                | Vent                           |
| ◻  | Boundary Kit                      | ●                | Foul Sewer Node                |
| NR▶  | Non-Return Valve                  | —                | Foul Drains in Common (public) |
| ⊙  | Pump Station Domestic             | —                | Sewer                          |
| ⊙  | Drop Manhole                      | —                | Trunk Sewer                    |
| ⊙  | Inspection Manhole                | —                | Vent Line                      |
| ⊙  | Inspection Opening                | —                | Rising Main                    |
| ⊙  | Lamphole                          | —                | Redundant Foul Sewer Pipe      |
| ⊙  | Outlet                            |                  |                                |
| <b>NOTE:</b><br>Private foul drains have the same symbols as those above, however they are coloured orange.            |                                   |                  |                                |
| <b>Stormwater</b>  |                                   | ⊙                | Roading Bubble-Up Tank         |
| ⊙  | SW Bubble-up Tank                 | ⊙                | Roading Mudtank                |
| ⊙  | SW Drop Manhole                   | —                | Stormwater Main                |
| ⊙  | SW Insp Chamber and Grating Inlet | —                | Stormwater Trunk Main          |
| ⊙  | SW Inspection Manhole             | —                | DCC Open Channel               |
| ⊙  | SW Inspection Opening             | —                | Piped WC                       |
| ⊙  | SW Lamphole                       | —                | Open WC                        |
| ⊙  | SW Mudtank Inlet                  | —                | Culvert                        |
| ⊙  | SW Outlet                         | —                | Stormwater Mudtank Pipe        |
| ⊙  | SW Pipe Inlet                     | —                | Redundant Stormwater Main      |
| ⊙  | SW Pressure Manhole               | ⊙                | SW Sump                        |
| ⊙  | SW Standard Manhole               | ⊙                | SW Pump Station                |
| ⊙  | SW Stormwater Node                |                  |                                |
| <b>NOTE:</b><br>Private stormwater drains have the same symbols as those above, however they are coloured light green. |                                   |                  |                                |
| <b>General</b>   |                                   | <b>Cadastral</b> |                                |
| —  | DCC Water & Waste Structure       | —                | Parcel                         |
| —  | Railway Centreline                | —                | Road/Rail                      |
|  |                                   | —                | Motorway Parcels               |
|  |                                   | —                | Strata                         |
|  |                                   | —                | Easment (where recorded)       |



# Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:  
1:750  
27/05/2026  
8:02:03 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES  
This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ.  
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.  
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>

DUNEDIN DRAINAGE AND SEWERAGE BOARD

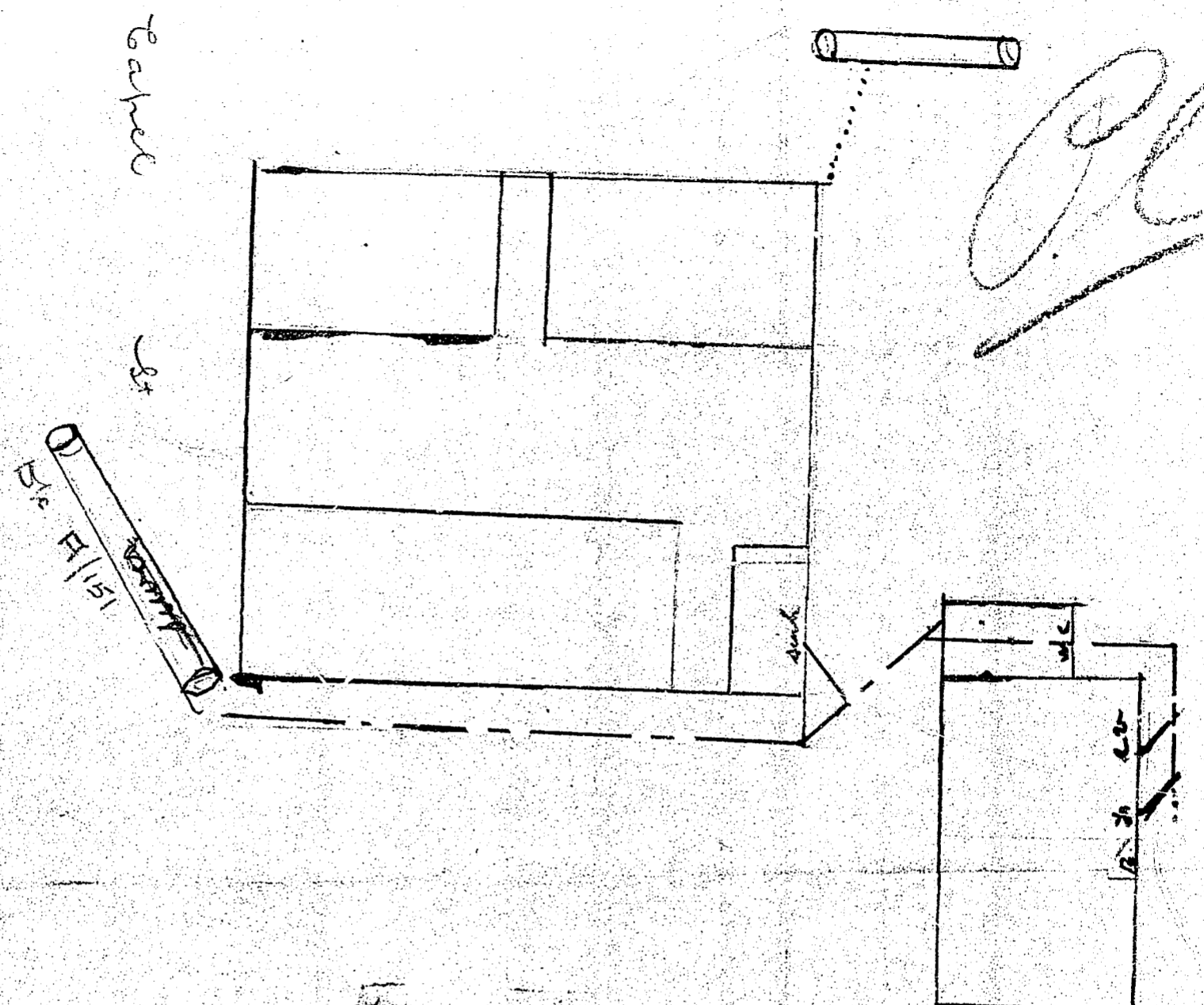
APPLICATION No. A/6258

DATE 7/7/14

# HOUSE CONNECTION PLAN.

SCALE: 1/4 in. to a Foot.

NEW SEWAGE DRAINS: RED  
STORM WATER: DOTTED BLACK  
OLD DRAINS: FULL BLACK



Binding margin to be left blank.

### LEGEND

- Existing Drains
- - - New Foul Drains
- · · New Stormwater Drains

Owner Mr Robert Bruce.

Block 7. Sturgesdale

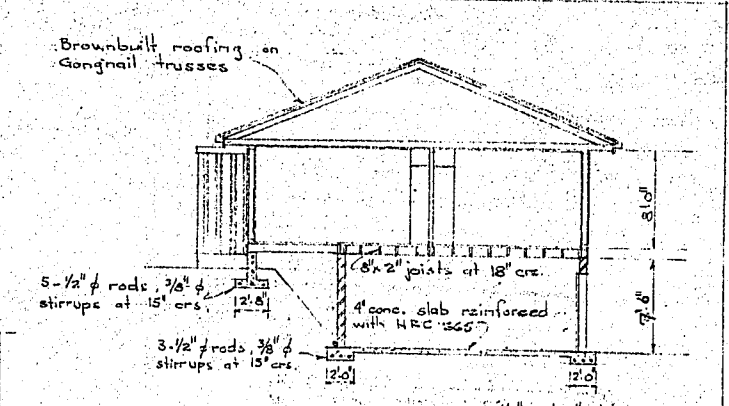
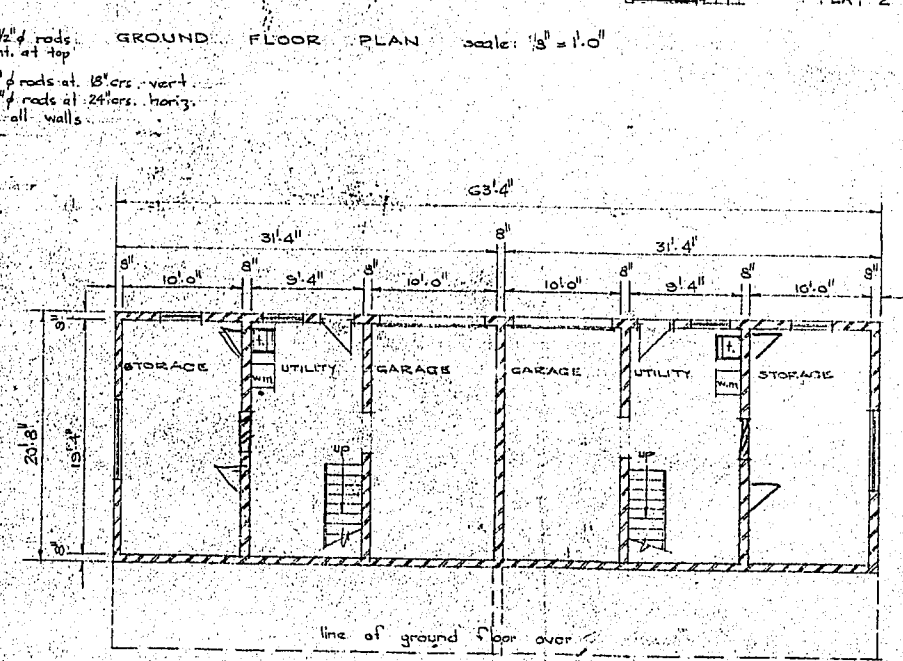
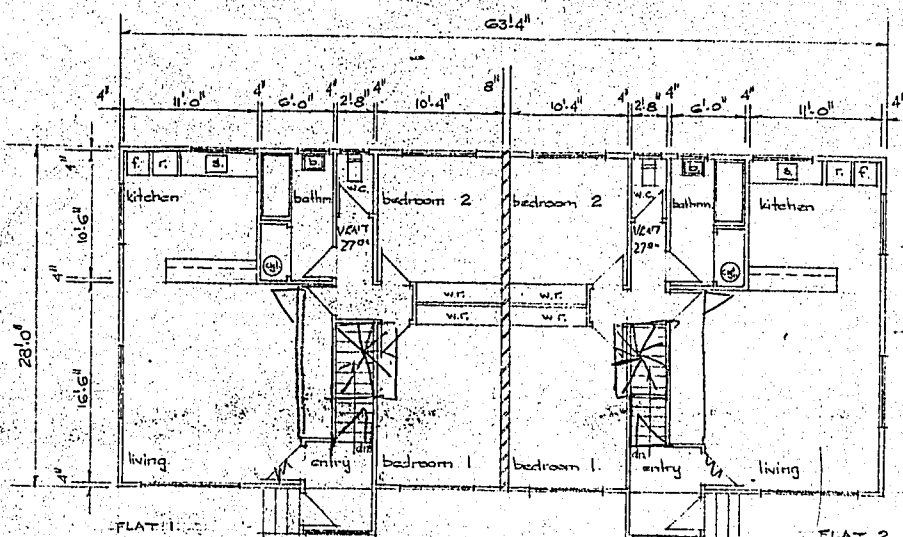
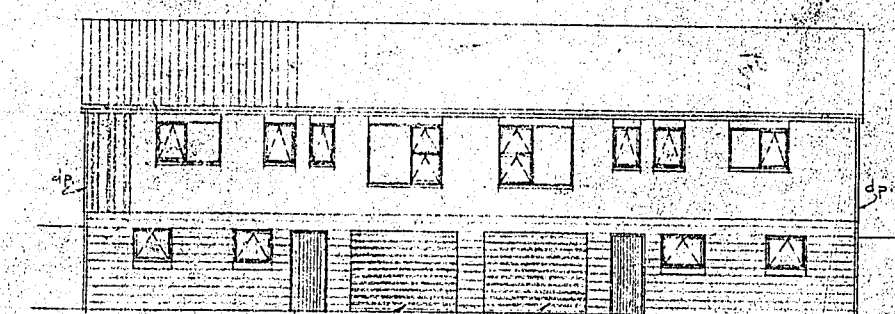
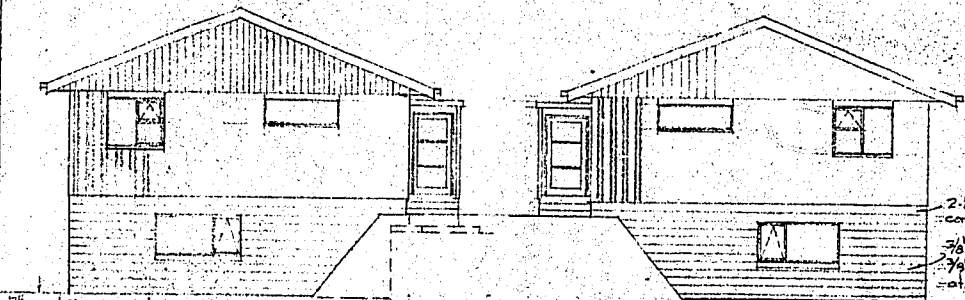
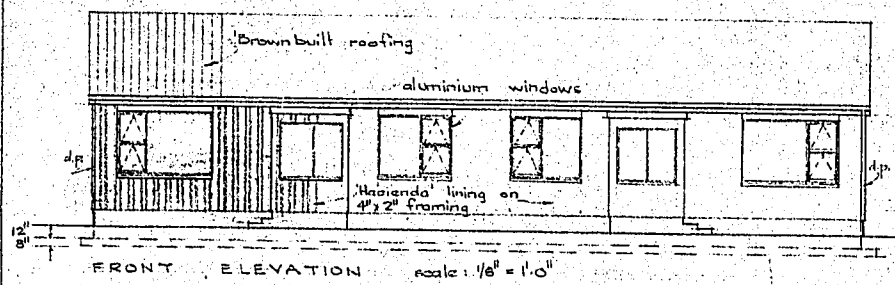
Street Calder Street.

Section 7.4.5

Locality Sumner Dale N.E. Valley.

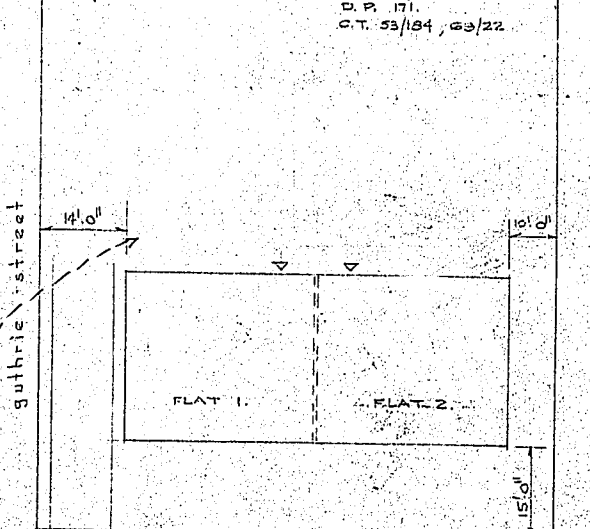
Allotment

Signature of Drainer James Caskey



This permit is issued subject to the additional conditions shown on the back hereof.

**CITY PLANNING DEPARTMENT**  
 Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown hereon, and contained in the specification attached hereto, and subject to  
 Residential 1  
 12/6/74  
 [Signature]  
 for City Planning Officer



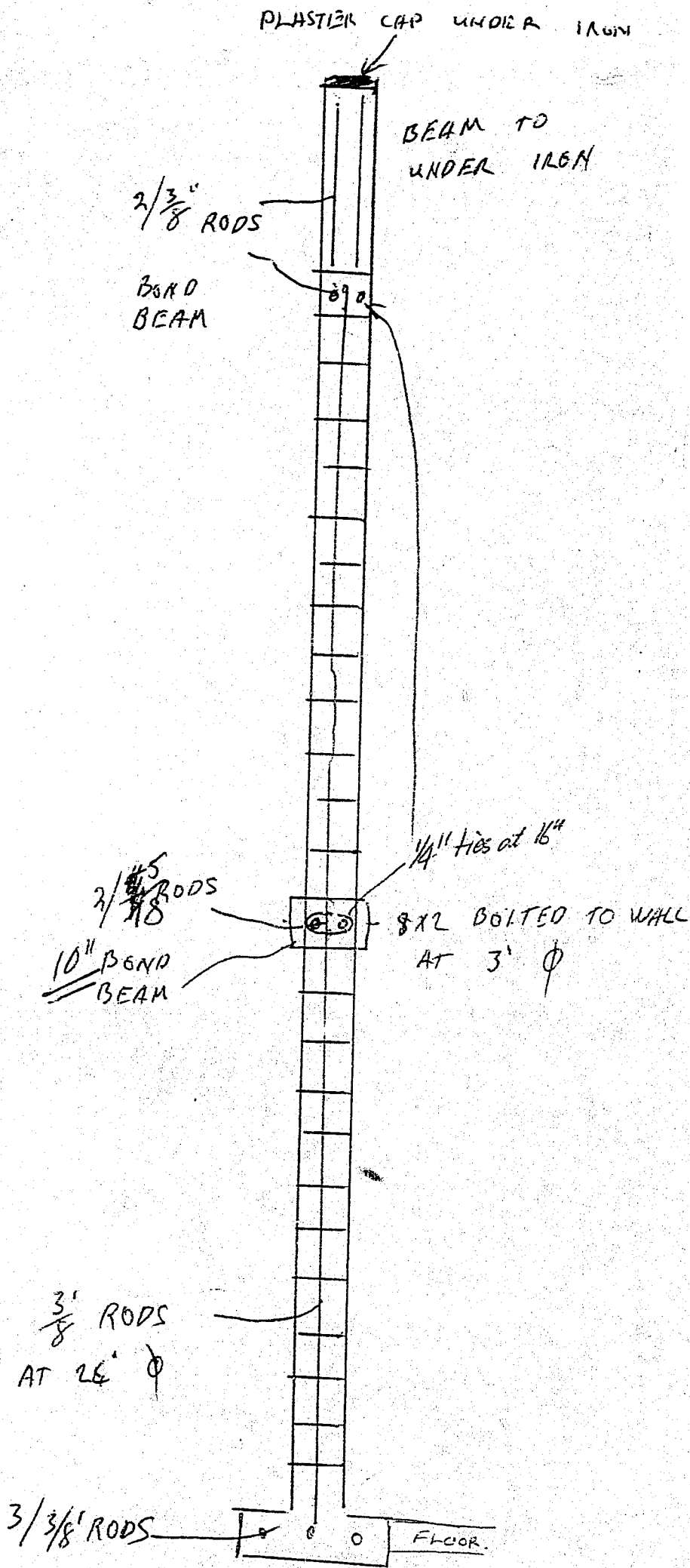
9804

**CITY ENGINEER'S OFFICE**  
 Required level at Street Boundary: Any entrance or fence shall be at a level of 4' above base of Kerb.  
 constructed to the same grade as the adjoining street.  
 Vehicle Crossing Fee/Deposit \$31.50 for 9' BK  
 Special Conditions: May have and maintain vehicle entrance over unformed Guthrie St at Council's Pleasure.  
 For City Engineer Date 14/8/74  
 NOTE: This endorsement overrides any levels or conditions shown on the plan.

**DUNEDIN DRAINAGE & SEWERAGE BOARD**  
 A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainer, respectively and shall comply fully with the Board's By-laws and the D. & S. P. Regs., 1959.  
 Stormwater to be discharged to Street Channel  
 Sewerage to be discharged to [Signature]  
 15/8/74  
 [Signature]

**DUNEDIN CITY CORPORATION**  
 COPY OF APPROVED PLAN OR SPECIFICATION TO BE RETAINED ON WORKS AND PRODUCED ON REQUEST OF BUILDING INSPECTOR.  
 DATE 20.8.74  
 [Signature] CITY ENGINEER

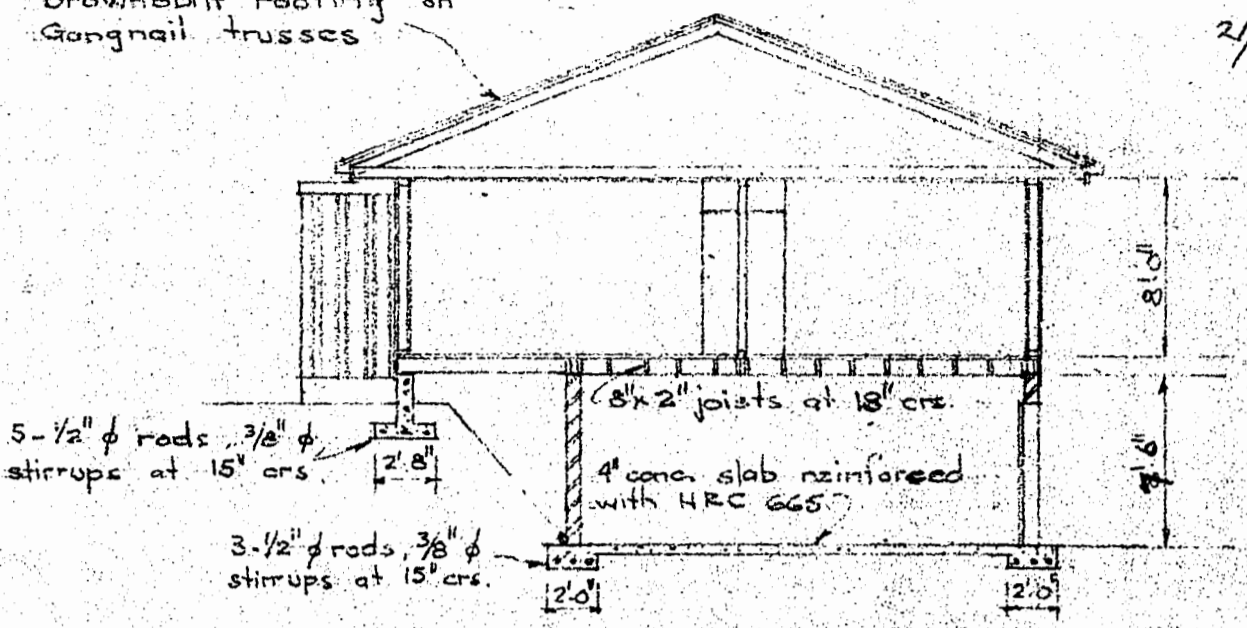
Proposed Flats for Messrs. McDonald and Roughan



9804

J/4/24  
A.M.  
2/11/74

Brownbuilt roofing on  
Gangnail trusses



CROSS SECTION scale: 1/8" = 1'-0"

**CITY PLANNING DEPARTMENT**  
 Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown hereon, and contained in the specification attached hereto, and subject to

12/6/74  
*[Signature]*  
 Signed for City Planning Officer

PIPED WATERCOURSE  
 LOTS 1, 4 & 5  
 C.T. 53/184, 63/22

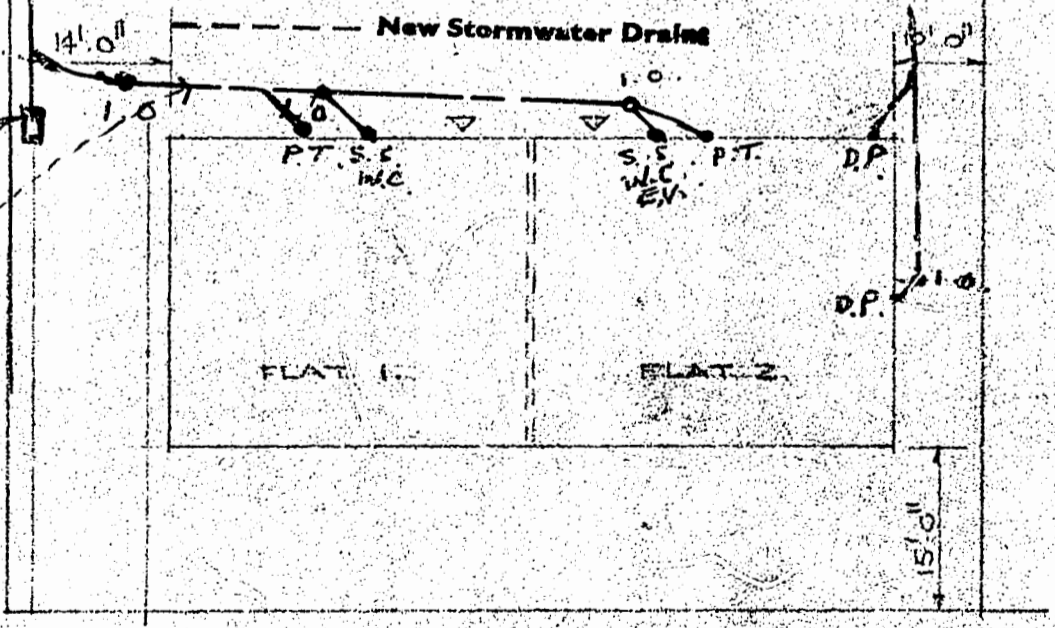
OK  
*[Signature]*

OPEN SECTION WATERCOURSE

**LEGEND**

- Existing Drains
- - - New Foul Drains
- - - New Stormwater Drains

APPROX POSITION OF BD. COVER D/C 151

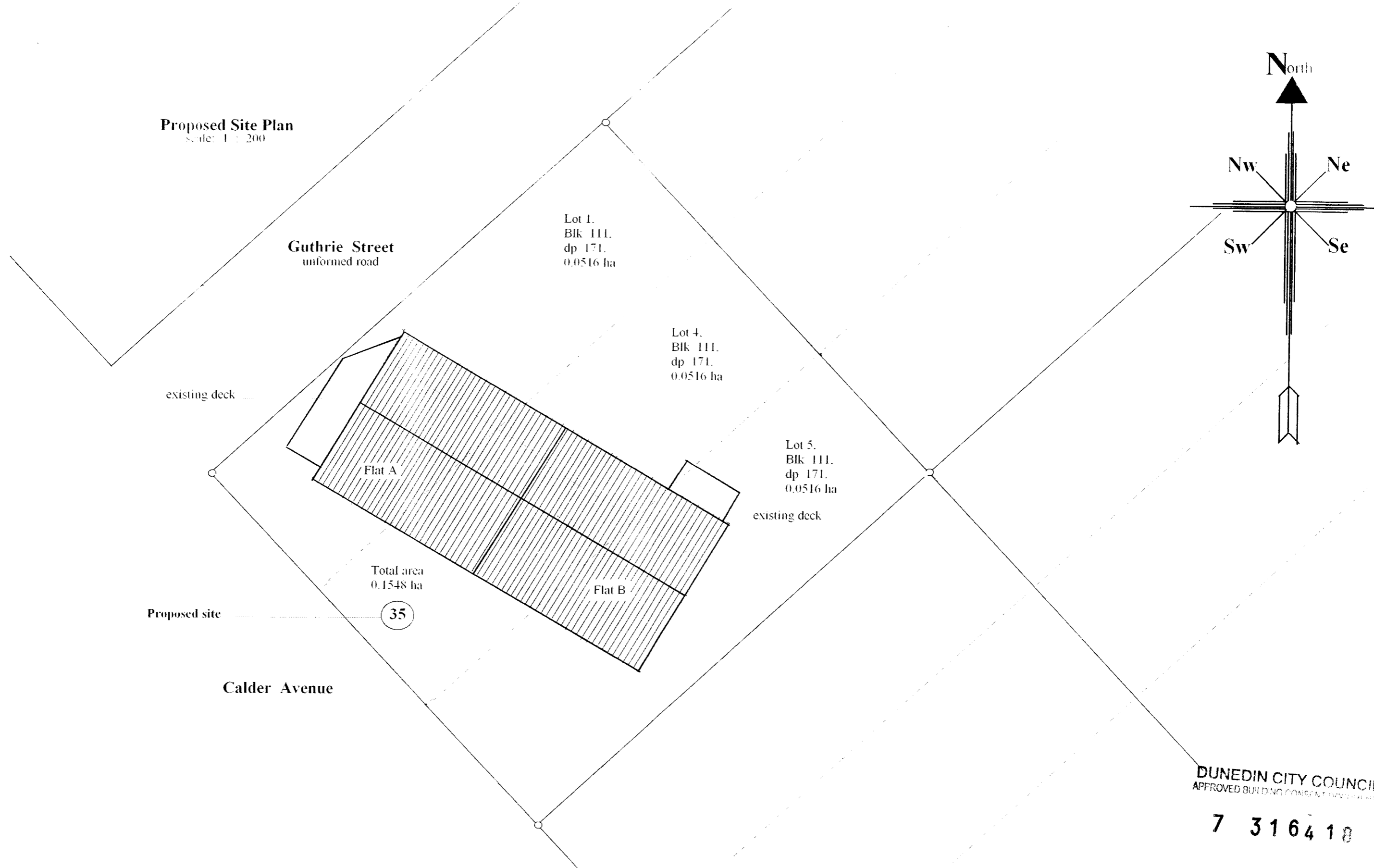
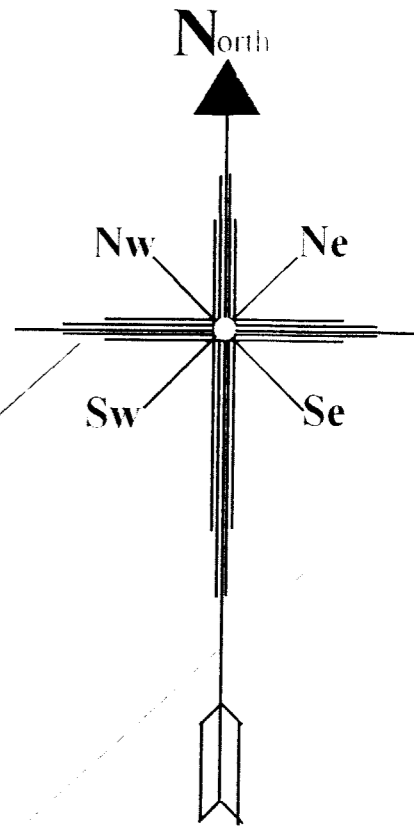


calder avenue  
 SITE PLAN scale: 1/16" = 1'-0"

*[Signature]*



**Proposed Site Plan**  
Scale: 1 : 200



**DUNEDIN CITY COUNCIL**  
APPROVED BUILDING CONSENT

**7 316418**

**Proposed Alterations to Dwelling  
for Patricia Williamson**

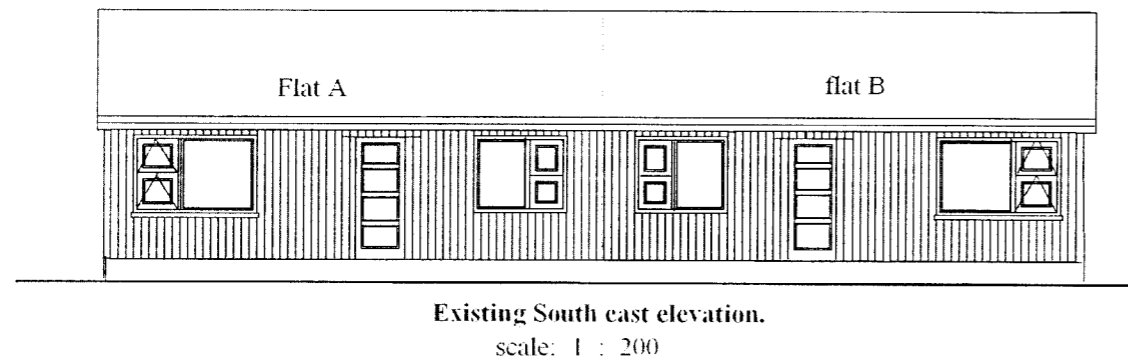
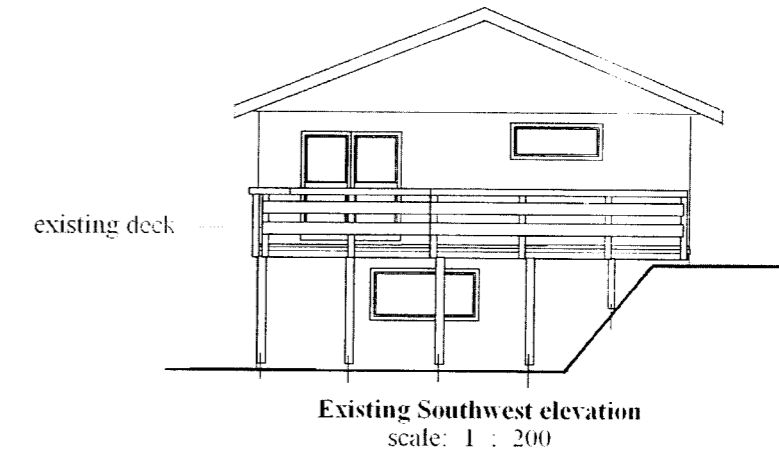
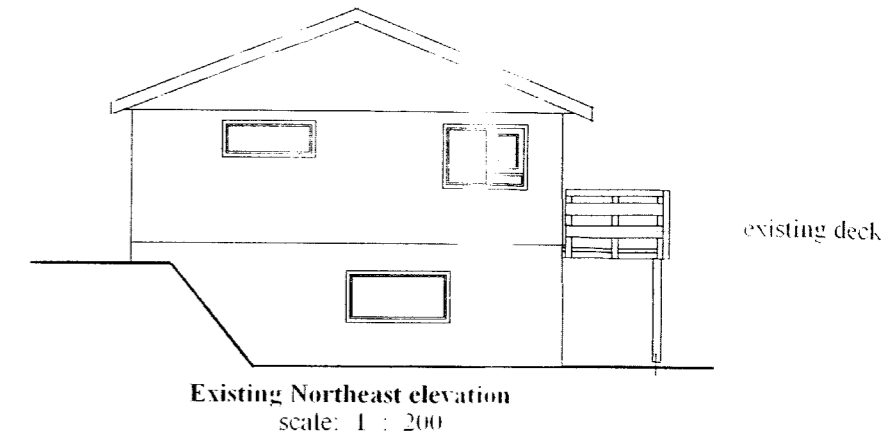
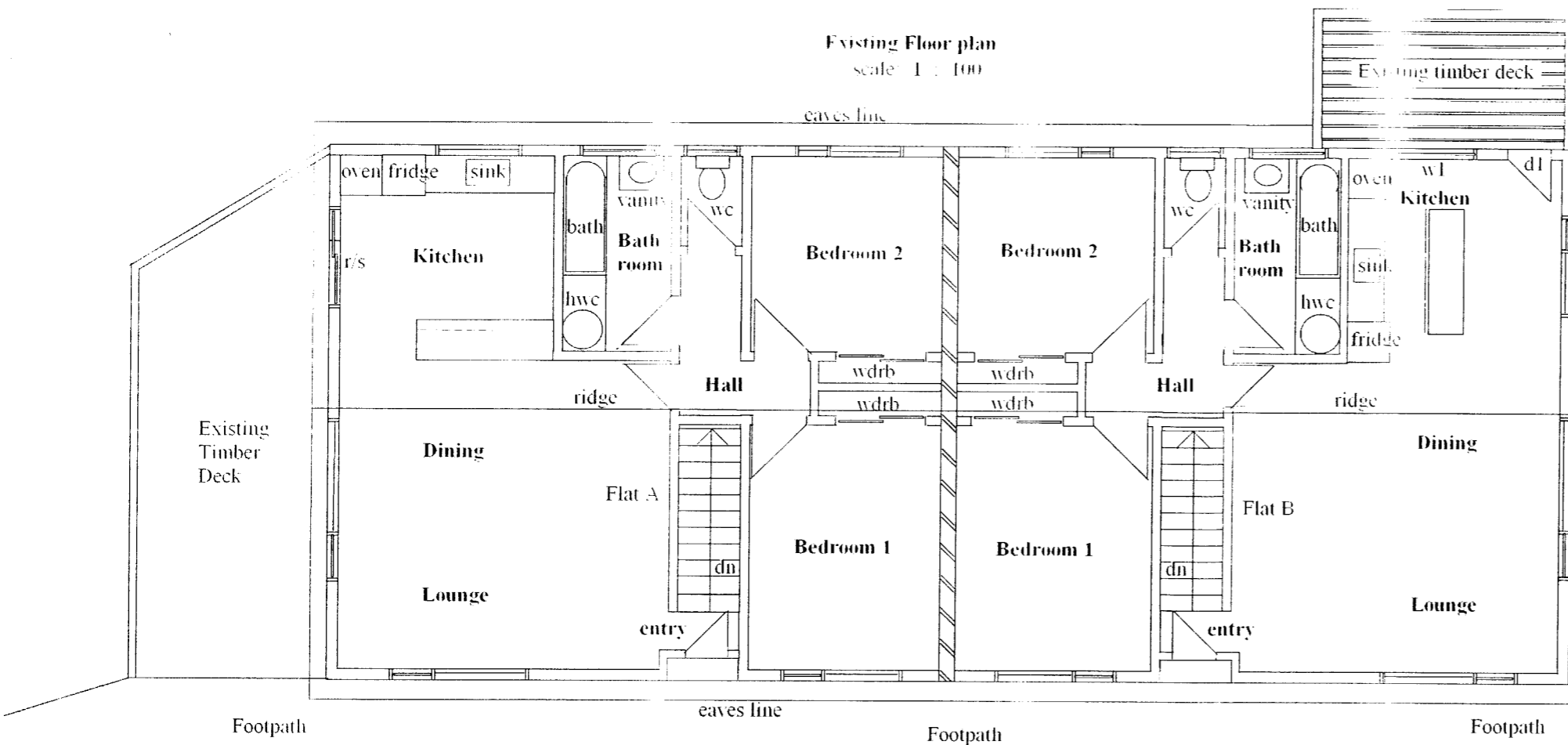
At 35b Calder Avenue, Dunedin  
Roll No: 6760/110/00 Prop Id: 5012026  
Legal Description: lots: 5, 4 & 1, Dp: 171,  
BLK: 111, Flat b, C/T  
Areas:- 1548 m2.

Do not scale off drawings. All dimensions shall be checked and verified on site by the owner and the contractor prior to commencing any work.  
Also the owner and the contractor shall ensure that all the sub-contractors check and verify their dimensions prior to commencing any work what so ever.

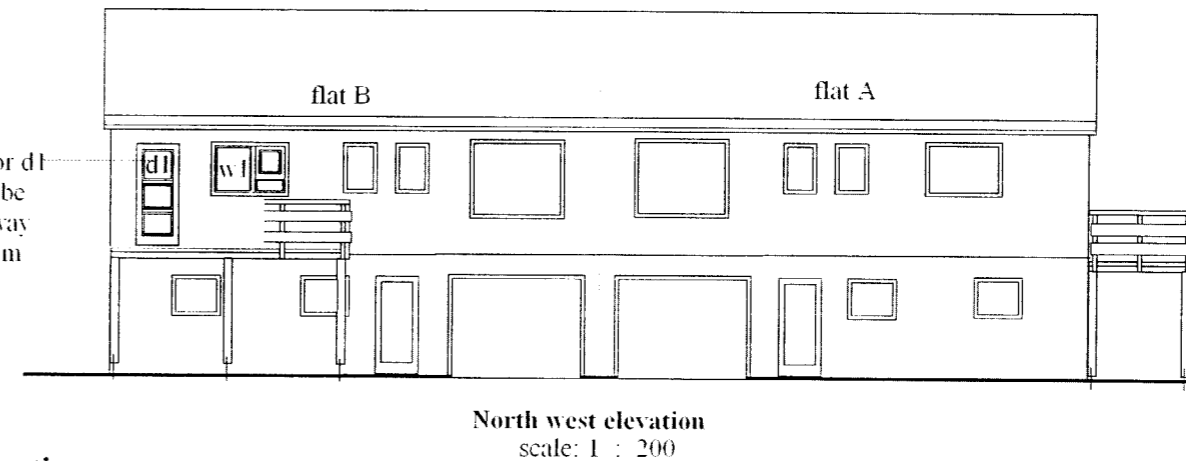
Date:- June 2007  
Scales:- as shown

Drawn	REK
Designed	REK
Checked	
Revision	
Cad Ref	
Job no	
Amendment plan no:	

Sheet no:- 2 of 3



Existing single door dl and window w1 to be removed to make way for a new aluminium ranch sliding door.



Existing floorplan and elevations

DUNEDIN CITY COUNCIL  
APPROVED BUILDING CONSENT DOCUMENT

7-316418

**Proposed Alterations to Dwelling  
for Patricia Williamson**

At 35b Calder Avenue, Dunedin  
Roll No: 6760/110/00 Prop Id: 5012026  
Legal Description: lots: 5, 4 & 1, Dp: 171,  
BLK: 111, Flat b, C/T  
Areas:- 1548 m2.

Do not scale off drawings. All dimensions shall be checked and verified on site by the owner and the contractor prior to commencing any work.  
Also the owner and the contractor shall ensure that all the sub-contractors check and verify their dimensions prior to commencing any work what so ever.

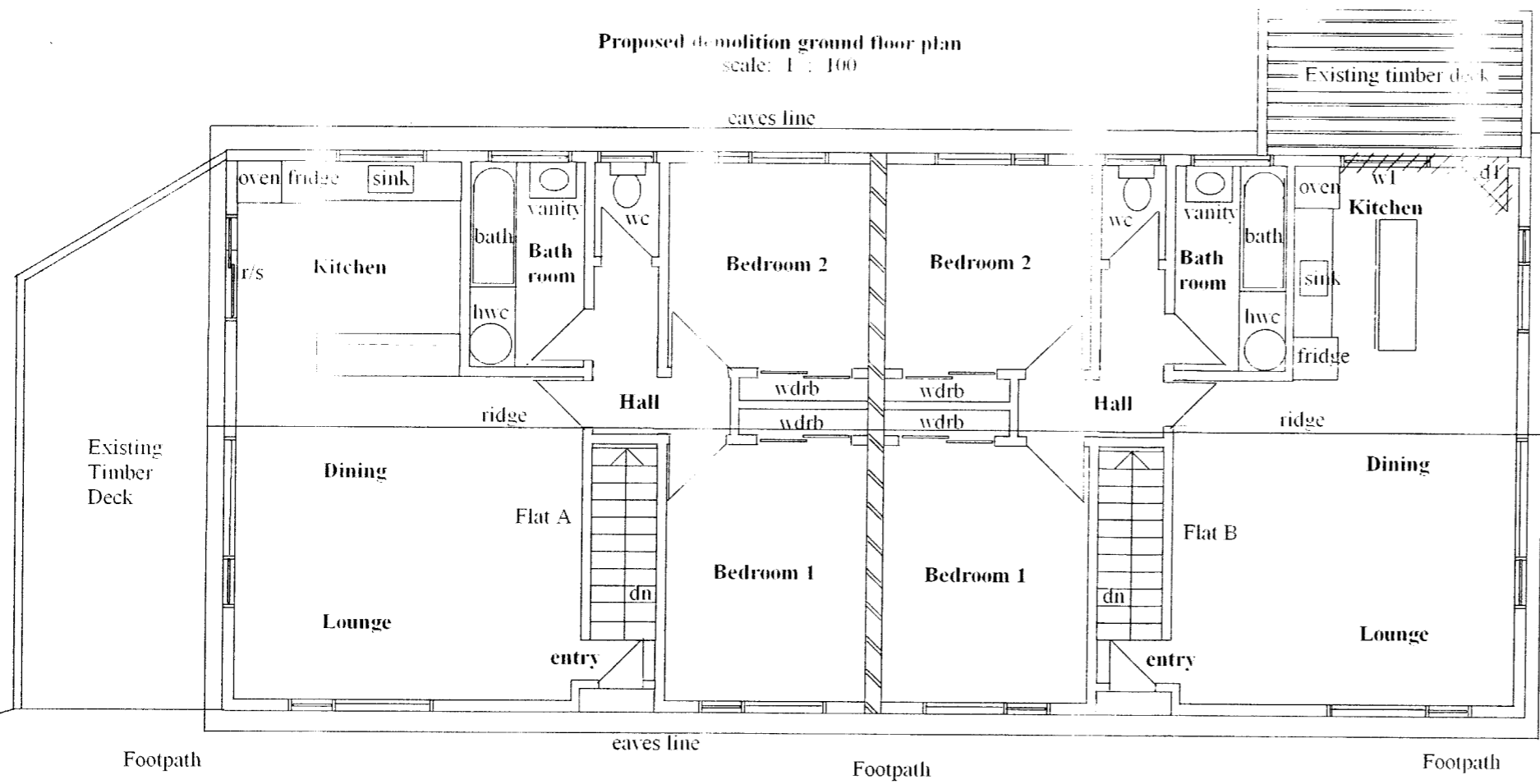
Date:- June 2007  
Scales:- as shown

Drawn REK  
Designed REK  
Checked  
Revision  
Cad Ref  
Job no  
Amendment plan no:

Sheet no:- 3 of 3

7 316410

**Proposed demolition ground floor plan**  
scale: 1 : 100

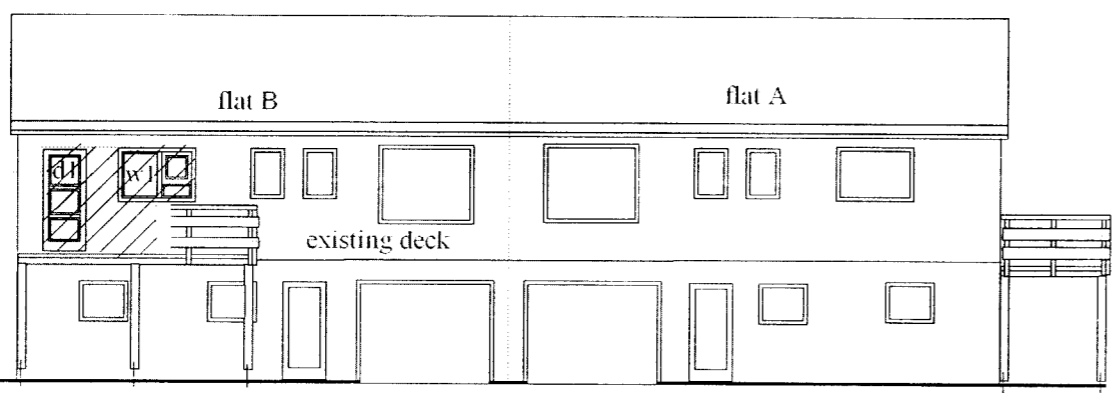


allow to remove d1 and w1 and reframe up the new opening to take a new aluminium ranch slider door. allow to install 2/250 x 50's msg 8 boron treated oregon lintel over the new ranch slider supported by 2/100x50 boron msg 8 intermediate oregon jack studs and fixed into 2/100x50 boron treated msg8 oregon trim studs one each side of the opening. Allow to make good to the exterior cladding around the new ranch slider as well as the interior linings stop up for a paint finish/paper. Also make good to the flooring where the framing under the existing window is removed.

**DUNEDIN CITY COUNCIL**  
Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request  
Building *JTOM* Date *28.7.07*  
Drainage Date  
Health Date

**NOTE**

allow to remove d1 and w1 and make good to the wall cladding and prepare the opening to take a new ranch sliding aluminium door. for clarity only part of the balustrade is shown.



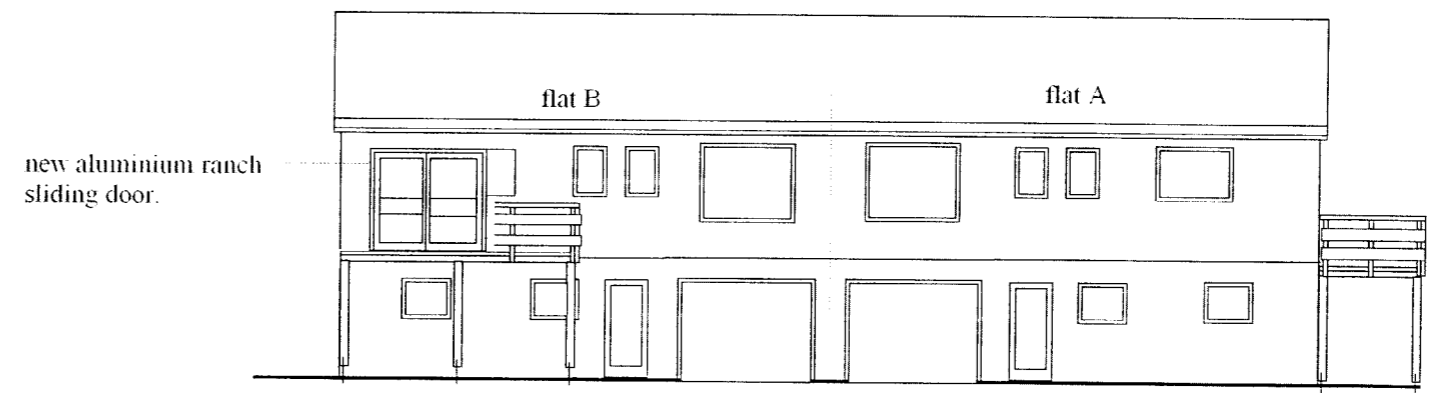
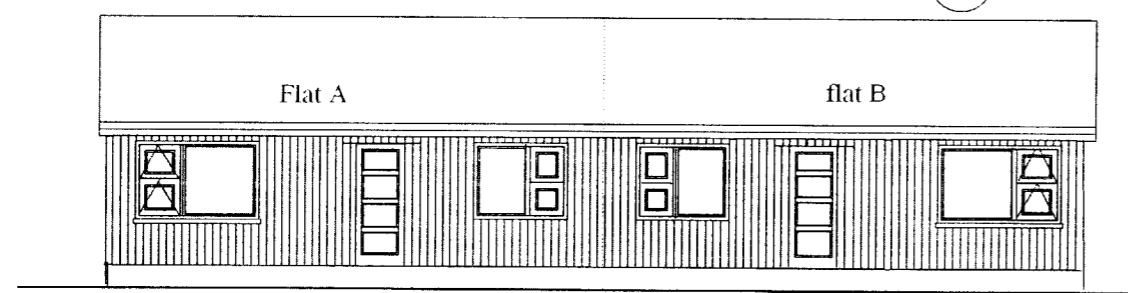
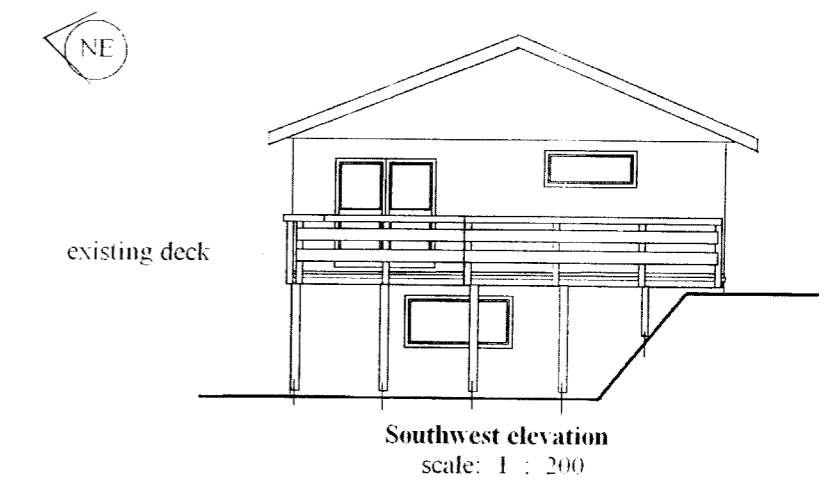
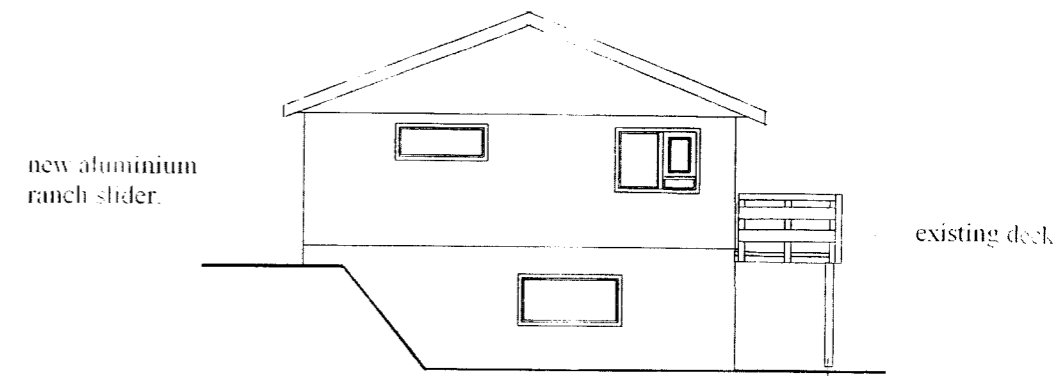
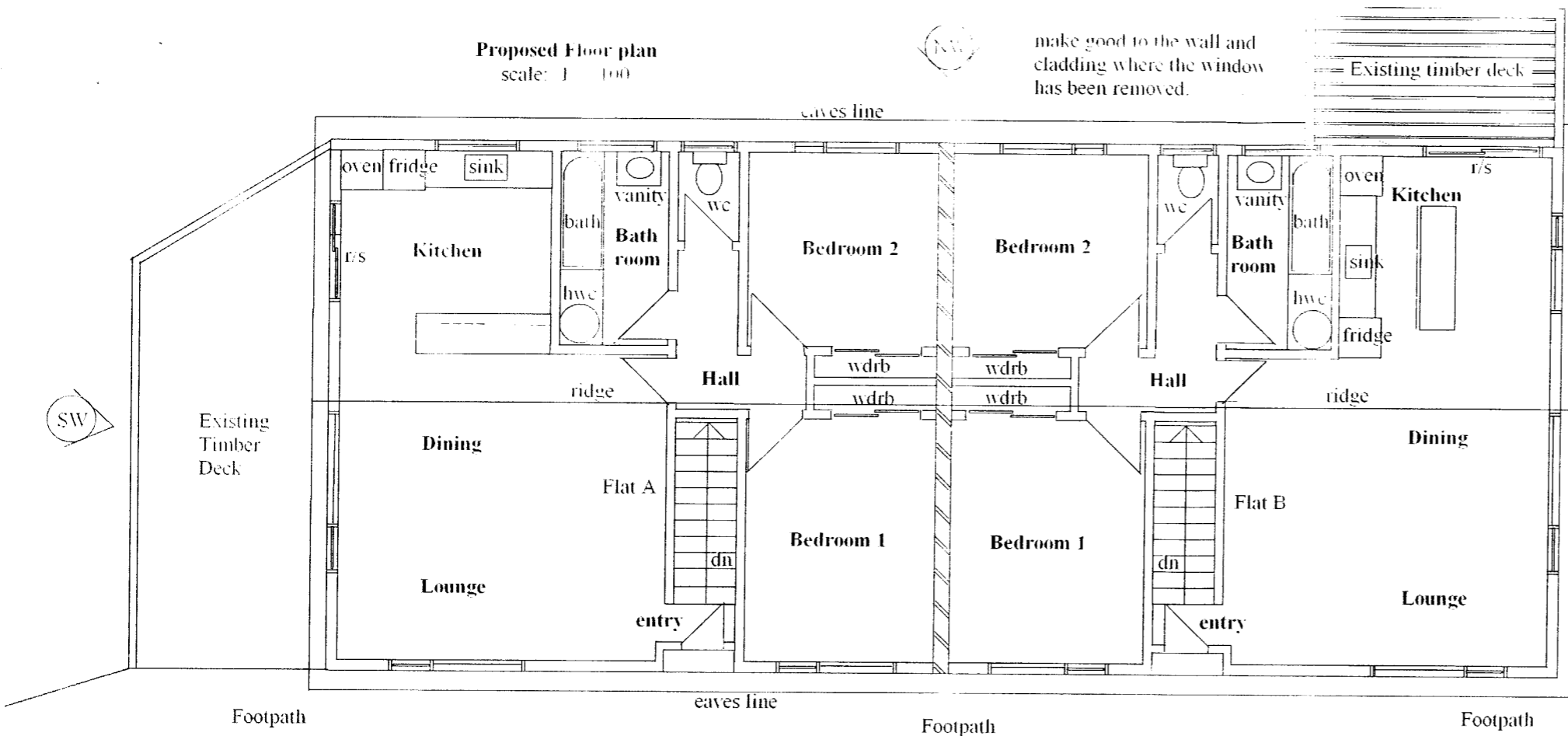
**North east elevation**  
scale: 1 : 200

**Proposed Alterations to Dwelling for Patricia Williamson**

At 35b Calder Avenue, North End, Dunedin  
Roll No: 26760/110/00 Prop Id: 5012026  
Legal Description: lot 5, 4, & 1. Dp: 171, BLK: 111 C/T  
Areas:- 1548 m2.

Do not scale off drawings. All dimensions shall be checked and verified on site by the owner and the contractor prior to commencing any work. Also the owner and the contractor shall ensure that all the sub-contractors check and verify their dimensions prior to commencing any work what so ever.

Date:- June 2007 Drawn **REK**  
Scales:- as shown Designed **REK**  
Checked  
Revision  
Cad Ref  
Job no  
Amendment plan no:  
Sheet no:- 4 of 8



**Proposed floorplan and elevations**

**Proposed Alterations to Dwelling  
for Patricia Williamson**

At 35b Calder Avenue, North End, Dunedin  
Roll No: 26760/110/00 Prop Id: 5012026  
Legal Description: lot: 5, 4, & 1. Dp: 171,  
BLK: 111 C/T  
Areas:- 1548 m2.

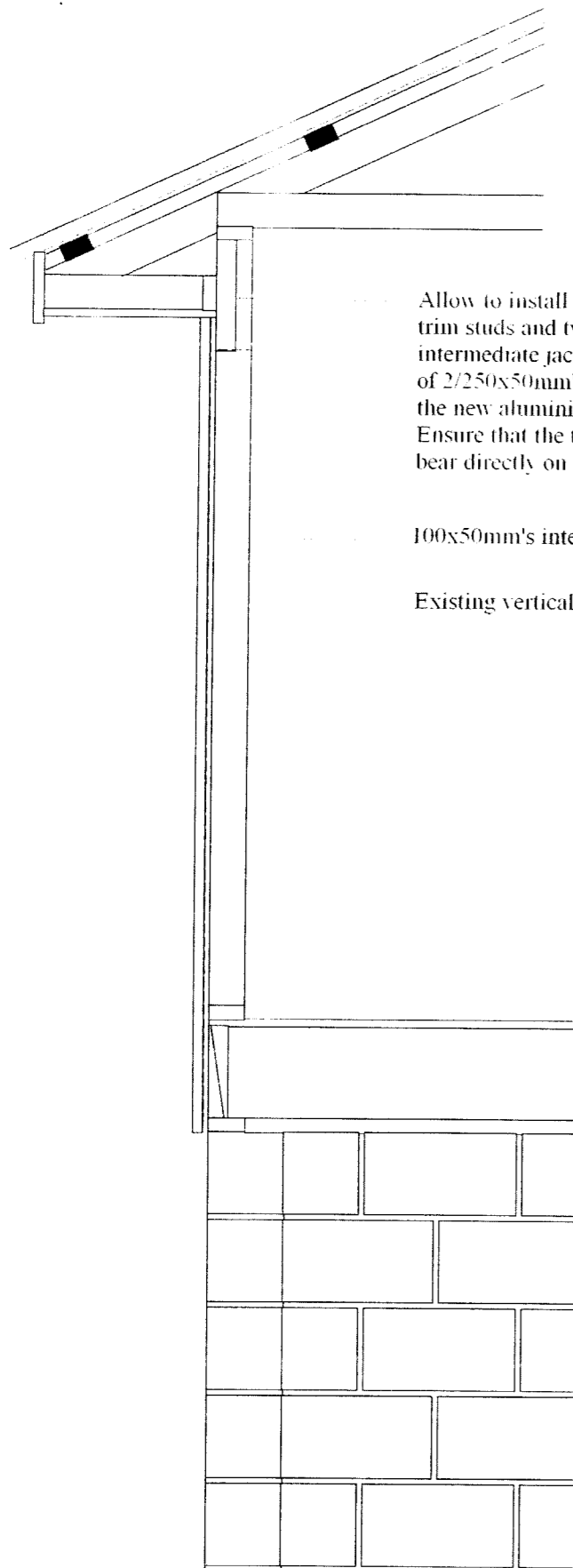
Do not scale off drawings. All dimensions shall be checked and verified on site by the owner and the contractor prior to commencing any work. Also the owner and the contractor shall ensure that all the sub-contractors check and verify their dimensions prior to commencing any work what so ever.

Date:- June 2007  
Scales:- as shown

Drawn REK  
Designed REK  
Checked  
Revision  
Cad Ref  
Job no  
Amendment plan no:

APPROVED BUILDING CONSULTANT

**7-316418**

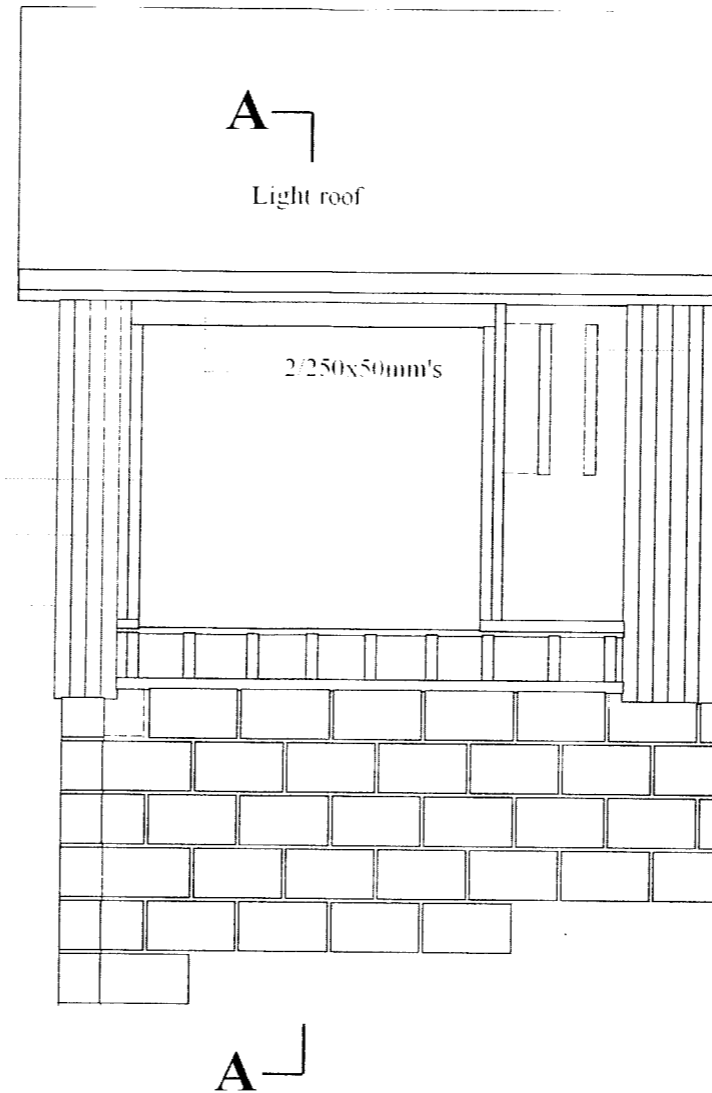


Allow to install two boron msg8 100x50mm's trim studs and two boron msg8 100x50mm's intermediate jack studs to support the lintel of 2/250x50mm's boron msg8 to the head of the new aluminium ranch slider being installed. Ensure that the trim studs and intermediate studs bear directly on to double joists under the floor.

100x50mm's intermediate jack studs.

Existing vertical shiplap cladding

**Cross-section A - A**  
 scale: 1 : 20



A

Light roof

2/250x50mm's

A

**Elevation showing new ranch slider trim framing**  
 scale: 1 : 50

Allow to frame in the opening left by the w1 aluminium window being removed.

**Proposed Alterations to Dwelling  
 for Patricia Williamson**

At 35b Calder Avenue, North End, Dunedin  
 Roll No: 26760/110/00 Prop Id: 5012026  
 Legal Description: lot: 5, 4, & 1. Dp: 171,  
 BLK: 111 C/T  
 Areas:- 1548 m2.

Do not scale off drawings. All dimensions shall be checked and verified on site by the owner and the contractor prior to commencing any work. Also the owner and the contractor shall ensure that all the sub-contractors check and verify their dimensions prior to commencing any work what so ever.

Date:- June 2007

Scales:- as shown

Drawn REK

Designed REK

Checked

Revision

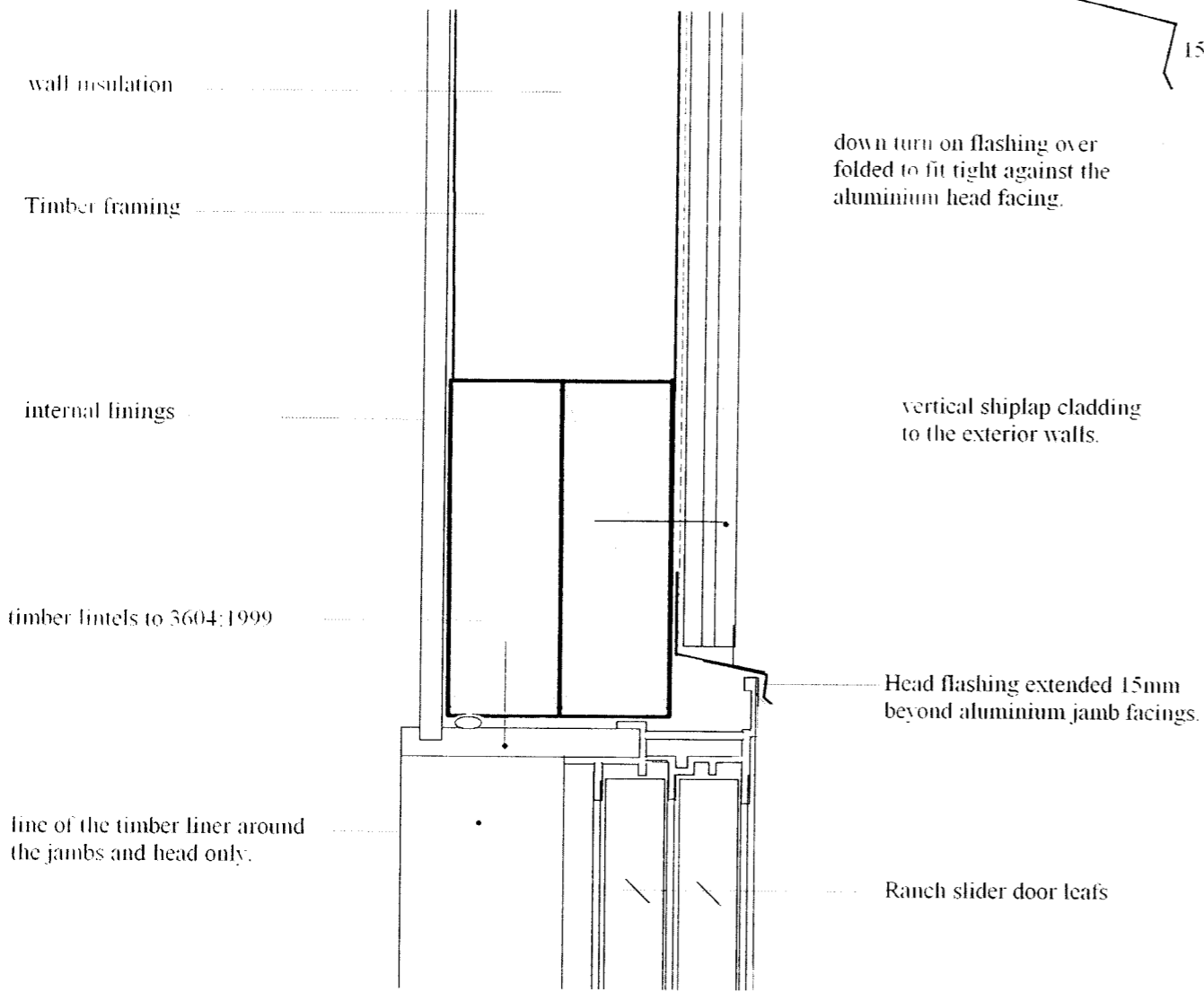
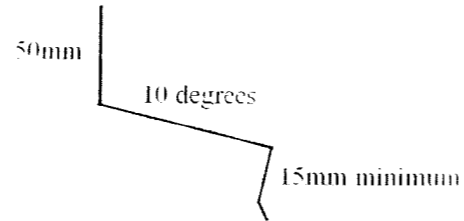
Cad Ref

Job no

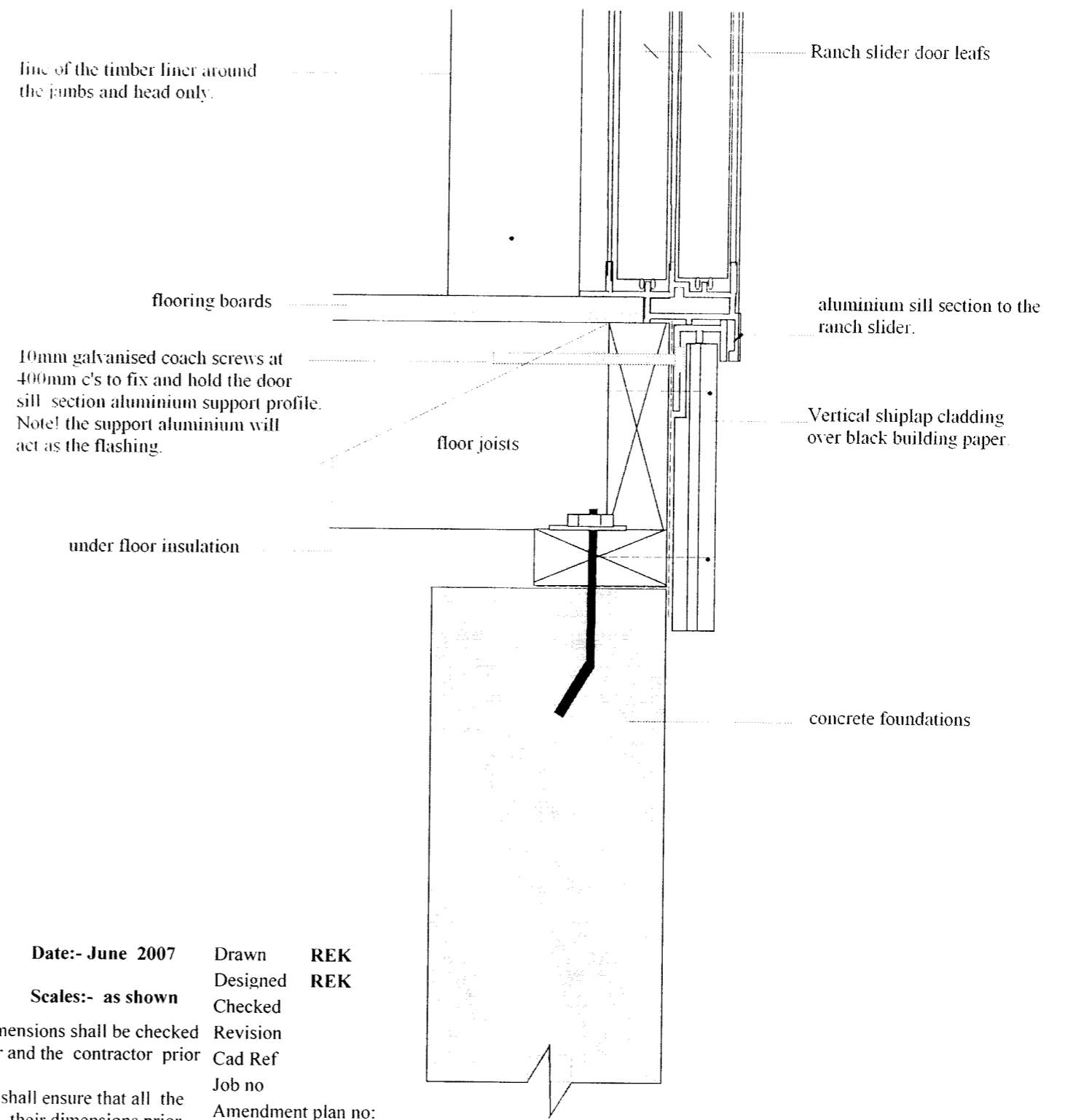
Amendment plan no:

Sheet no:- 6 of 8

**Head flashing details for Aluminium ranch slider door with vertical shiplap cladding**



**sill flashing details for Aluminium ranch slider door with vertical shiplap cladding**



**Proposed Alterations to Dwelling  
 for Patricia Williamson**

At 35b Calder Avenue, North End, Dunedin  
 Roll No: 26760/110/00 Prop Id: 5012026  
 Legal Description: lot: 5, 4, & 1. Dp: 171,  
 BLK: 111 C/T  
 Areas:- 1548 m2.

Do not scale off drawings. All dimensions shall be checked and verified on site by the owner and the contractor prior to commencing any work. Also the owner and the contractor shall ensure that all the sub-contractors check and verify their dimensions prior to commencing any work what so ever.

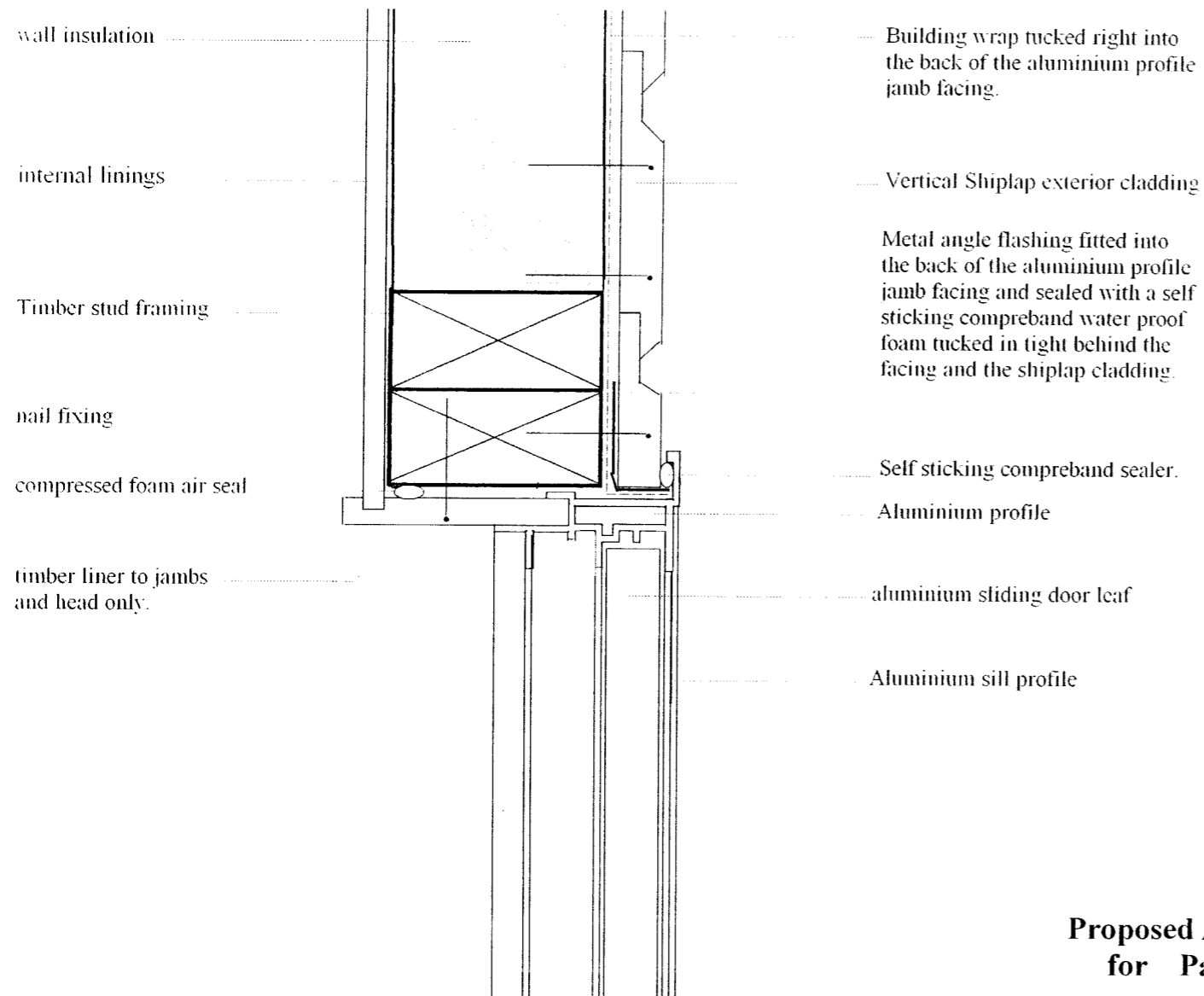
Date:- June 2007

Scales:- as shown

Drawn REK  
 Designed REK  
 Checked  
 Revision  
 Cad Ref  
 Job no  
 Amendment plan no:

Sheet no:- 7 of 8

**Jamb flashing details for Aluminium sliding doors with shiplap cladding**



**Proposed Alterations to Dwelling  
for Patricia Williamson**

Date:- June 2007

Drawn **REK**

Scales:- as shown

Designed **REK**

Checked

Revision

Cad Ref

Job no

Amendment plan no:

Sheet no:- 8 of 8

At 35b Calder Avenue, North End, Dunedin  
Roll No: 26760/110/00 Prop Id: 5012026  
Legal Description: lot: 5, 4, & 1. Dp: 171,  
BLK: 111 C/T  
Areas:- 1548 m2.

Do not scale off drawings. All dimensions shall be checked and verified on site by the owner and the contractor prior to commencing any work. Also the owner and the contractor shall ensure that all the sub-contractors check and verify their dimensions prior to commencing any work what so ever.

**Reference:**

**Enquiries To:** Colin Pickering

**Direct Phone:** 474-3809

12 October 2004

Buswells Building Consultants  
178 Balmacewan Road  
**DUNEDIN**

Dear Sir

**REQUEST TO FILE REPORT ON BUILDING WORK CONSTRUCTED OR  
ALTERED WITHOUT A BUILDING PERMIT OR BUILDING CONSENT**

**PROPERTY ADDRESS: 35B CALDER AVENUE, NEV, DUNEDIN**

**PROPERTY NUMBER: 5012026**

I advise that your report on the above property has been received by Council and will be placed on the Development Services property file for the property, **as verification that the building is not dangerous or insanitary in terms of Section 64 of the Building Act 1991**. No action will be taken at this time in regard to the offence that building work has been carried out without a current building consent or permit.

**IMPORTANT TO NOTE**

1. The accuracy of the content of the report has not been validated by the Council.
2. The Council has not inspected the building works referred to in the report.
3. The Council has not considered the report in any way in regard to compliance with the Building Code, or to assess the quality of work.
4. The filing of the report **does not** in any way replace the required building consent or permit.

Yours faithfully

Colin Pickering  
**CHIEF BUILDING CONTROL OFFICER**

8 October 2004

5 01 2026  
268381

Manager Building Control  
Dunedin City Council  
P.O. Box 5045  
Dunedin

Dear Sir,

**Re: 35 B Calder Avenue, North East Valley, Dunedin**

I inspected the above property on 8 October 2004.

Following a request from Mr T McGregor, the owner of the property, I report as follows;

The property is one of 2 units built in 1974. The units are constructed of concrete footings and floor slab with concrete block perimeter walls and has timber framing with timber weatherboard cladding at the main floor. The roof cladding is painted galvanised corrugated iron.

An alteration has been carried out to the property, by a previous owner, without the required Building Permit.



A timber deck measuring 3.800 metres x 2.350 metres has been added to the rear of the dwelling and is accessed from the kitchen area.

The deck appears to be around 15 to 20 years old and is located well clear of all boundaries.

The deck is constructed of 3/100 x 100 mm Tanalith treated timber posts set into concrete footings and supporting a 200 x 50 mm perimeter bearer, bolt fixed to the posts. A 150 x 50 mm bearer has been dyna-bolt fixed to the concrete block perimeter wall at 600 mm centres. The joists are 200 x 50 mm at 600 mm centres and support ex 100 x 40 mm timber decking nail fixed to the joists.

The handrail consists of 5 horizontal 100 x 25 mm rails nail fixed to the perimeter posts and to 100 x 50 mm posts at the ends of the deck and attached to the exterior wall of the house. The top rail is 100 x 25 mm nail fixed to the posts. There is an aluminium framed glazed screen inside the handrail at the end of the deck to provide a wind shelter.

This report is provided as verification that the alterations to the building are not dangerous or insanitary in terms of Section 64 of the Building Act 1991.

I have advised Mr McGregor this report will be submitted to you for your perusal and following your acceptance, will be placed on the Development Services file for that address.

Yours faithfully,



**K R BUSWELL** NZCB, RMBOINZ, RMNZIBS, IQP  
REGISTERED BUILDING SURVEYOR & BUILDING CONSULTANT

cc: Mr T McGregor, 35B Calder Avenue, North East Valley, Dunedin.  
Mr A Devereux, O'Neill & Deveruex, Fax No 479 0201.

# Investigation: Drainage / Seepage

## Customer Copy

<b>Investigation reference</b>	INV261079721
<b>SEEP Number</b>	879146
<b>Investigation Date</b>	2026-05-25T09:44:19.9612022+12:00
<b>Inspector</b>	Shayne Rolfe

## INVESTIGATION DETAILS

### Affected Properties

<b>Property ID</b>	5012026
<b>Property Address</b>	35B Calder Avenue Dunedin

## SITE INVESTIGATION NOTES

<b>Followup Investigation</b>	No
<b>Investigation Type</b>	Town Supply / Stormwater
<b>Identification of Issue</b>	<ul style="list-style-type: none"><li>Defective private roading catchment</li></ul>
<b>Method of Confirmation</b>	<ul style="list-style-type: none"><li>Visual observation</li></ul>
<b>Source Property</b>	
<b>Is Property for Sale</b>	No
<b>Engage Third Party</b>	No
<b>Is Owner Home</b>	No
<b>Visit Neighbouring Properties</b>	No
<b>Notify Owner</b>	No
<b>Investigation Findings</b>	Visited the site and their appears to be a defective driveway crossing directly above the property and have requested roading to investigate

DOCUMENTATION RECEIVED ONSITE - N/A

## ON SITE DISCUSSIONS

<b>On site Discussions</b>	No
----------------------------	----

# INSPECTOR DETAILS

**Investigation Date**

06/05/2026

**Compliance Officer**

Shayne Rolfe

# INVESTIGATION OUTCOME

**Outcome of Investigation**

Investigation Complete

**Investigation Complete**

Passed to Transport to Resolve