

DISCLAIMER

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Dunedin City Council – Land Information Memorandum

Property Address: 58 Skibo Street Dunedin

Prepared for: Kate Emily Davis

Prepared on: 01-Jul-2026

Property Details:

Property ID	5037684
Address	58 Skibo Street Dunedin
Parcels	LOT 1 DP 6185

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 01-Jul-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.
Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Private sewer service (drain in common)

This property is connected to the Dunedin City Council's foul sewer via a private drain-in-common. The property owner(s) serviced by the drain-in-common are responsible for its maintenance.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **26th September 1994**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Urban Stormwater Catchment

This property is located within an urban stormwater catchment that has been modelled in a study to determine the potential effects of land use and climate change that may occur over the next 50 years. This indicates that some areas of the catchment might be subject to a potential flooding risk or surface water ponding during particular rainfall events.

These effects are outlined in the Integrated Catchment Management Plans (ICMPs) that are available on the Council website. The ICMPs show the areas in the catchment that have been modelled which might be susceptible to a higher risk of flooding. The ICMPs contain maps that indicate a potential worst case scenario for a 1 in 100 year rainfall event. However, there are a series of maps also available that show modelling results from a range of other scenarios.

While the maps have been produced to help Council manage the reticulation networks, they are not sufficiently detailed to specifically account for individual properties which may be affected by local factors not included in the models.

For further information please contact 3 Waters Services at Dunedin City Council.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property.

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2037684
Address	58 Skibo Street Dunedin
Valuation Number	27370-70500
Latest Valuation Details	
Capital Value	\$620,000
Land Value	\$250,000
Value of Improvements	\$370,000
Area (Hectares)	0.0703HA
Units of Use	1
Current Rates	
Current Rating Year Starting	01-Jul-2026
Dunedin City Council Rates	\$0.00
Rates Outstanding for Year	\$0.00

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	/CCC	-	Refused
	Lapsed	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2002-298437](#) Building Consent - Heater - Siesta Inbuilt

Lodgement Date 05-Nov-2002
Decision Granted
Decision Date 05-Nov-2002
Current Status **CCC Issued**
Previous Number ABA22969
(Applications before 2007)

[ABA-1998-342673](#) Building Consent - Alter Dwelling - WC /Laundry/ Entry P & D

Lodgement Date 02-Mar-1998
Decision Granted
Decision Date 13-Mar-1998
Current Status **CCC Issued**
Previous Number ABA980501
(Applications before 2007)

[ABA-2015-633](#) Building Consent - Erect Retaining Wall Adjacent to Existing Wall

Lodgement Date 24-Apr-2015
Decision Granted
Decision Date 15-May-2015
Current Status **CCC Issued**
Previous Number
(Applications before 2007)

[ABA-2016-737](#) Building Consent - Alter Dwelling - Remove Wall between Kitchen and Living Rooms and Replace with Beam, Alter Kitchen including Installation of Insulation to External Walls

Lodgement Date 02-May-2016
Decision Granted
Decision Date 30-May-2016
Current Status **CCC Issued**
Previous Number
(Applications before 2007)

[ABA-2018-773](#) Building Consent - Add Deck to Dwelling, Install Sliding Doors

Lodgement Date 26-Apr-2018
Decision Granted
Decision Date 02-Jul-2018
Current Status **CCC Issued**
Previous Number
(Applications before 2007)

Building and Drainage Permits

[H-1926-11467](#) AAB19260854

gazette 34 - 33 ft building line restriction. The permit was lodged on 27-May-1926.

[H-1960-55200](#) AAB19601332

5394 - Erect Dwelling (Paris). The permit was lodged on 23-Nov-1960.

[H-1971-73584](#) AAB19711022

4855 - Add Bedroom and Extend Lounge (Paris). The permit was lodged on 08-Oct-1971.

[H-1974-78866](#) AAB19741200

97 - Erect Carport (Paris). The permit was lodged on 07-Oct-1974.

[H-1961-183354](#) AAD19611433

G4204 - Connect Drainage to Existing Drains in Common (Paris). The permit was lodged on 28-Mar-1961.

[H-1961-183355](#) AAD19611434

G4738 - Plumbing for New Dwelling, No Plan (Paris). The permit was lodged on 04-Aug-1961.

[H-1976-207362](#) AAD19761700

J7022 - Boiler Tube from Carport (Paris). The permit was lodged on 07-Oct-1976.

[H-1990-229993](#) AAD19902094

L7414 - Repair Drains in Common (Various). The permit was lodged on 13-Aug-1990.

[H-1946-162368](#) AAD19461092

E2299 - Lay Stormwater and Foul Drains in Common (Aitken). The permit was lodged on 09-Sep-1946.

[H-1981-214227](#) AAD19811377 K3270 - Repair Foul Drain in Common, No Plan (Various Owners). The permit was lodged on 11-Sep-1981.

Building Notices

No Building Notices

Resource Consents

There are no resource consents for this property.

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

This property is subject to the Operative Dunedin City Second Generation District Plan 2026 (2GP), which became fully operative on 17 June 2026. The 2GP, including planning maps, is available on the Dunedin City Council website <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> and at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 1 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Nil

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Independent Building Report(s)

An Independent Building Report was submitted to Council on **31-Oct-1997**.

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any building consent, or to enquire about information referred to in this section, please contact Building Services Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 58 Skibo Street Dunedin

[5037688 52 Skibo Street Dunedin](#)

[LUC-2010-300](#) Land Use Consent additions to existing dwelling. The outcome was Granted on 11/08/2010.
[RMA-1992-355320](#) Resource Management Act (Historical Data) erect carport in front yard (Non-Notified - Non Complying). The outcome was Granted on 07/09/1992.

[5037689 50 Skibo Street Dunedin](#)

[RMA-1998-362396](#) Resource Management Act (Historical Data) CONSTRUCTION OF GARAGES THAT INFRINGES FRONT AND SIDE YARD REQUIREMENTS. Hazards Comments: (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 27/10/1998.

[5037711 9 Embo Street Dunedin](#)

[LUC-2016-125](#) Land Use Consent land use consent to construct a retaining wall and fence along the front boundary on the site. The outcome was Granted on 05/05/2016.

[5037715 13A Embo Street Dunedin](#)

[LUC-2014-554](#) Land Use Consent construct a garage. The outcome was Granted on 25/11/2014.

[5069280 7 Dornoch Street Dunedin](#)

[RMA-1993-357838](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment Ownr:WILLIAM HENRY MIDSON / App: A.D. Hosken PO Box 1083 (Non-Notified - Non Complying). The outcome was Granted on 25/03/1993.

[RMA-1993-355668](#) Resource Management Act (Historical Data) Ownr:W H MIDSON / App: W H MIDSON (Non-Notified - Non Complying). The outcome was Granted on 05/01/1995.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property.

The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Encroachment on road reserve – privately owned vegetation over footpath.

It appears that the hedge at this property's frontage is encroaching on the footpath. Private vegetation is required to be maintained so that it does not interfere with footpath users or extend over your property boundary. Council accepts this situation but accepts no liability. Maintenance is the responsibility of the property owner. The Council may require this to be addressed in the future.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

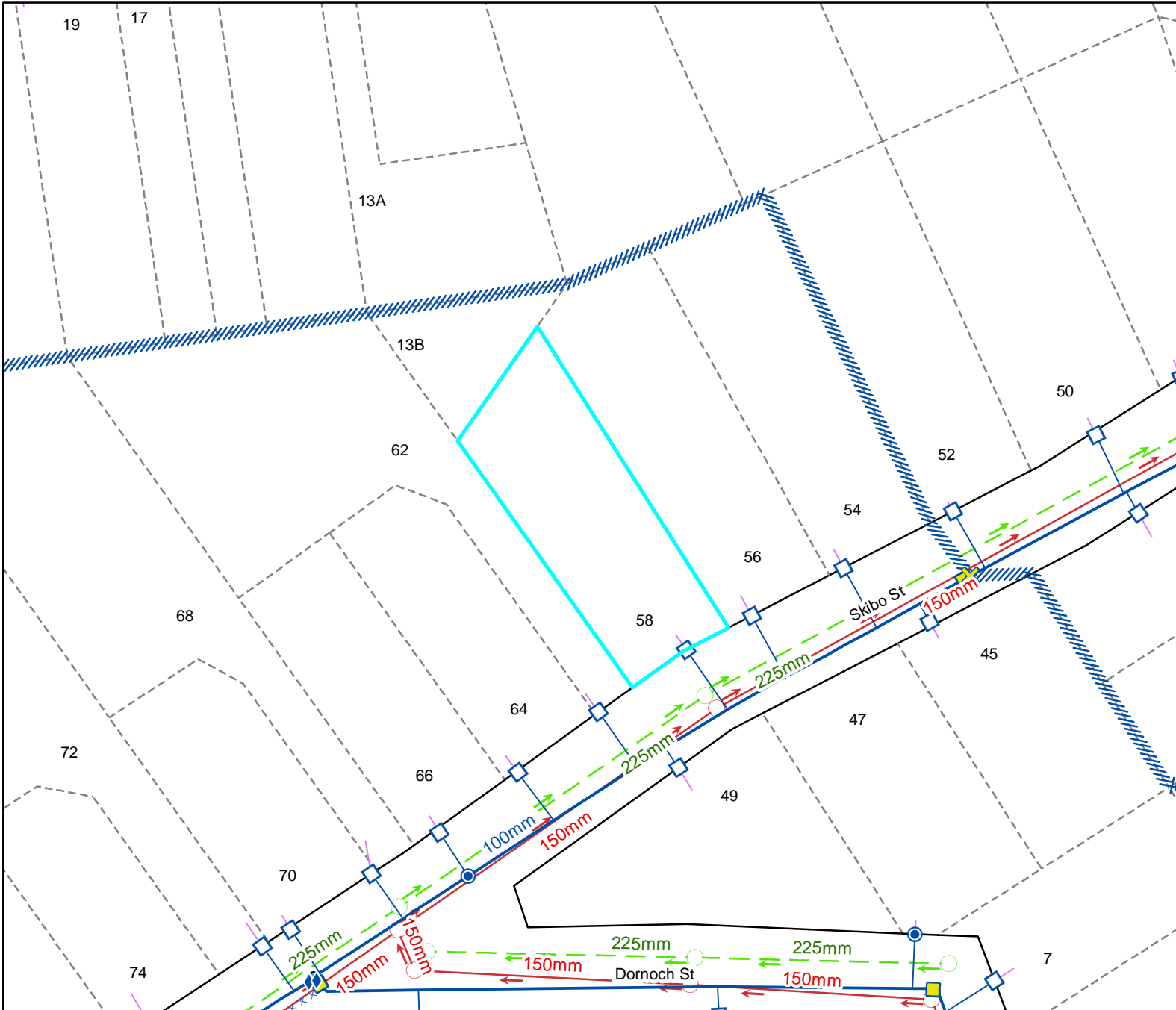
ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

MH Manhole
PL Plumbing
PLB Plumbing
PTE Private
SIS Sewer in section
WC Water course
WT Water table
SW Stormwater

General terms

RDMS Records and Document Management System

Appendices



Legend

Water Supply

	Manifold Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Toby		Water Bore
	Meter without manifold box		Water Treatment Plant
	Retic Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Manifold Box With Restrictor		Trunk Main
	Water Valve - Zone		Disused
	Non Return Valve		Reticulation
	Water Valve - Gate		Scour
	Water Valve - Sluice		Water Service Lateral
	Water Hydrant		Water Fire Service Lateral
	Water Backflow Preventor - RPZ		Water Critical Service Lateral
			Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE:
Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe

NOTE:
Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station

NOTE:
Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	DCC Water & Waste Structure		Parcel
	Railway Centreline		Road/Rail
			Hydro
			Motorway Parcels
			Strata
			Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
1:750
26/06/2026
8:02:08 PM



PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

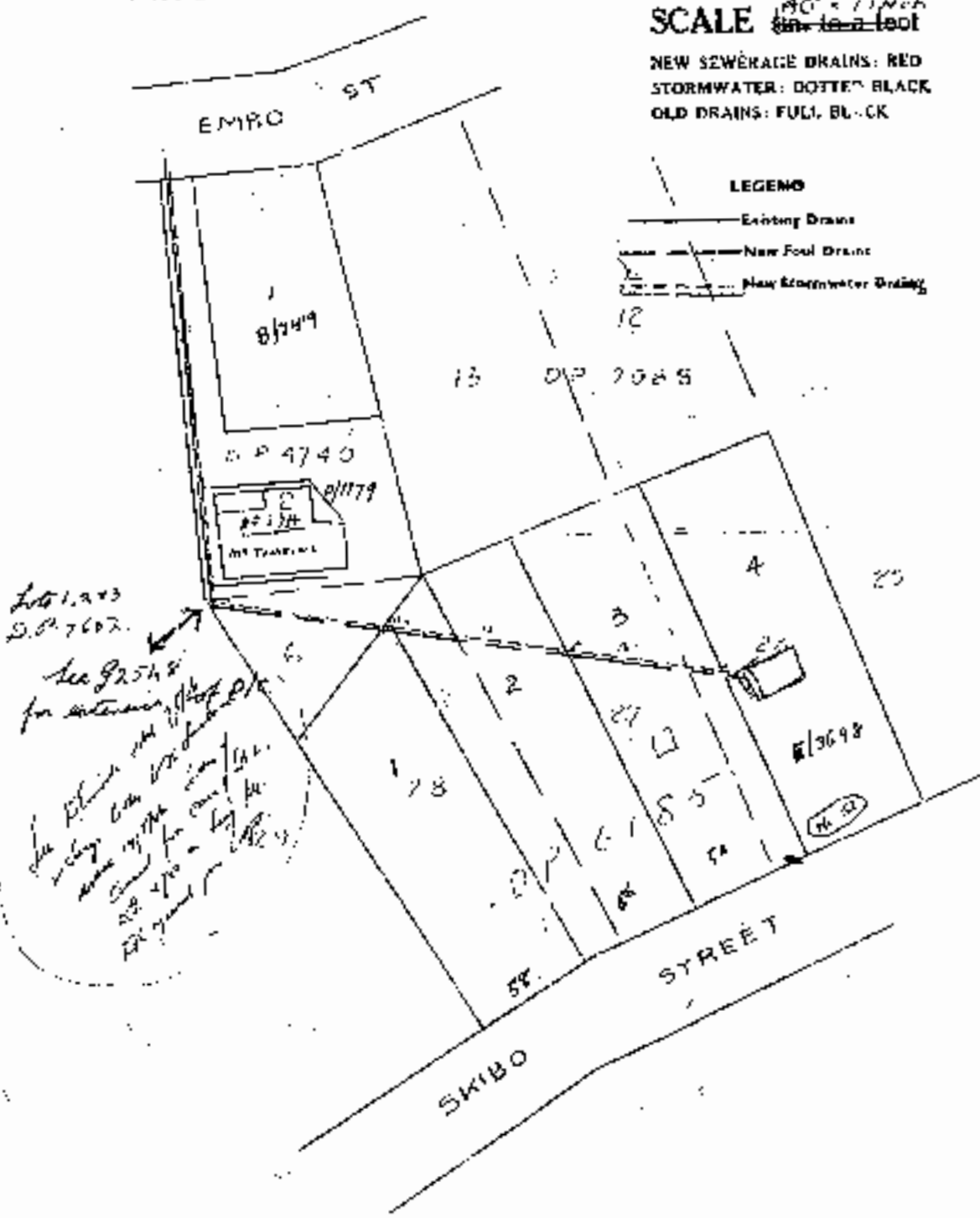
2018-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ.
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.

DUNEDIN DRAINAGE AND SEWERAGE BOARD

House Connection Plan

APPLICATION NO. **DE/2297**
 DATE _____
 SCALE $10' = 1''$ ~~1/2" = 1 foot~~
 NEW SEWERAGE DRAINS: RED
 STORMWATER: DOTTED BLACK
 OLD DRAINS: FULL BLACK

Binding Margin to be left Blank



Owner Edward Young Gibson Block 3. Christchurch East
 Street Schick Section 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100 Plan 3512
 Locality Howe Ailment _____
 Signature of Drainer W. R. Gibson & Co.
Bill Gibson

PROPOSED
DRAIN



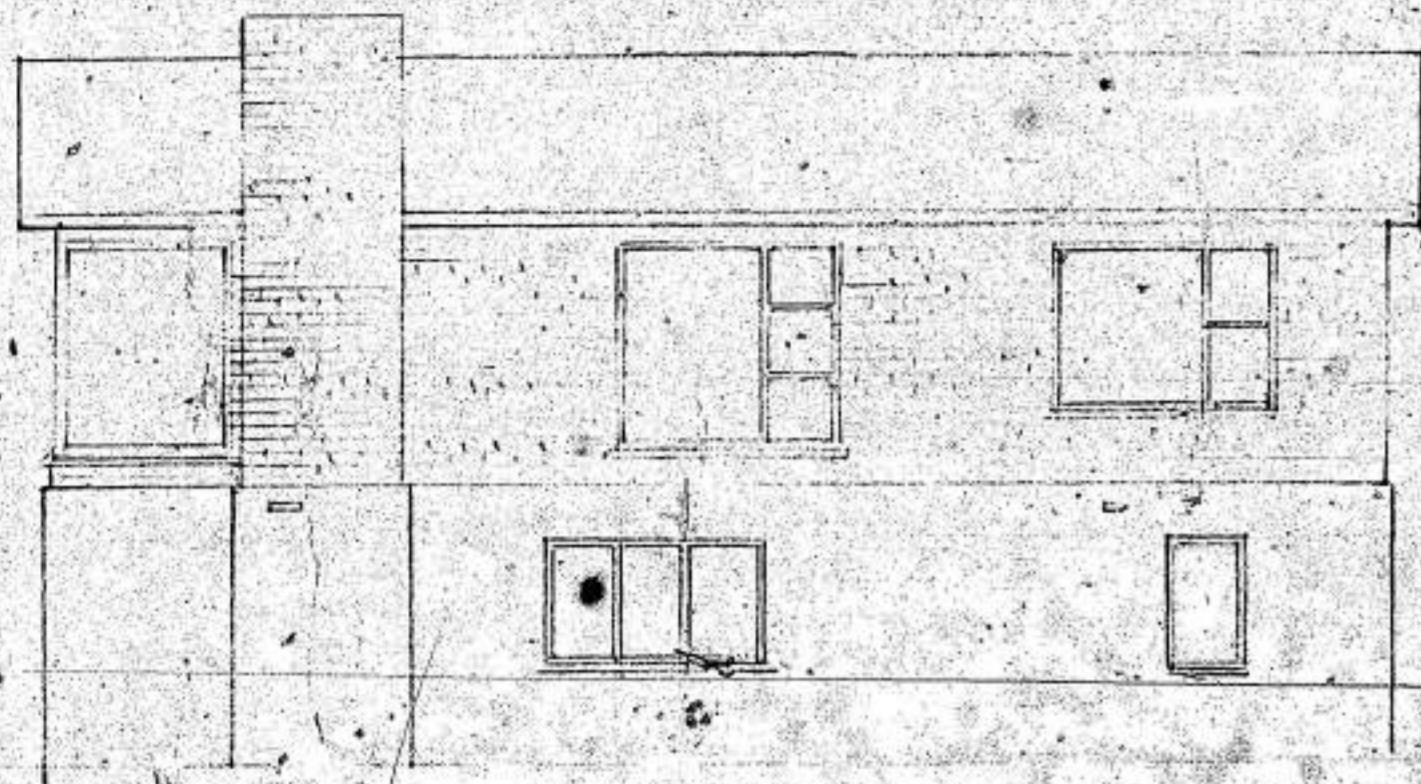
LOT 4
SECTION 20-28
PLANKS C
BLOCK 2
PROPOSED
DRAIN

PROPOSED
DRIVE

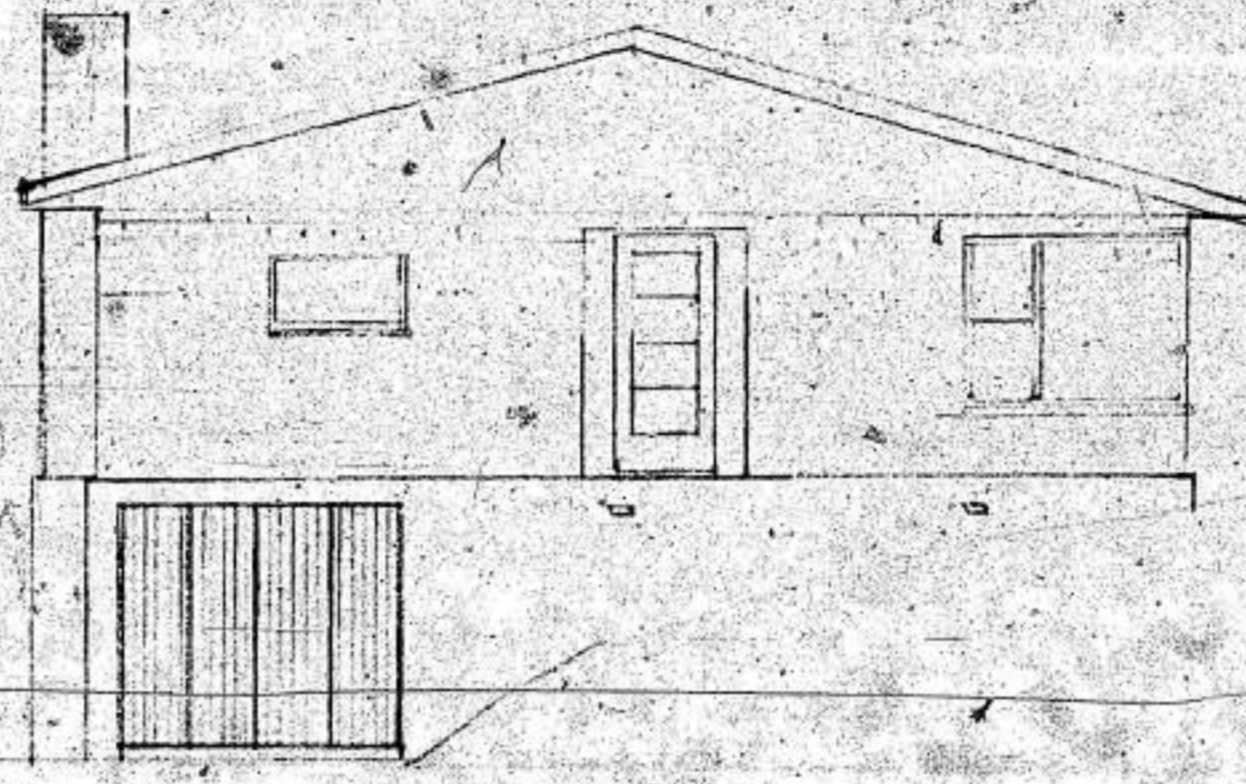
PROPOSED
DRIVE



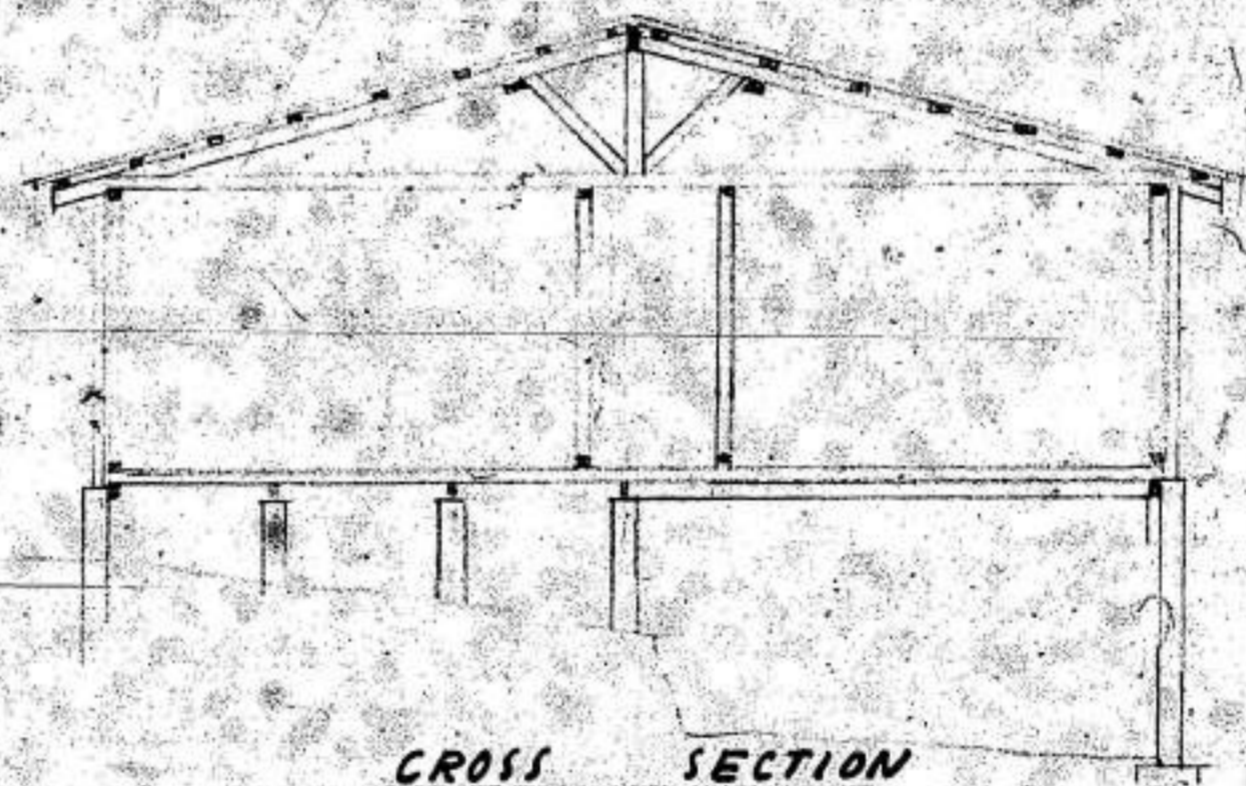
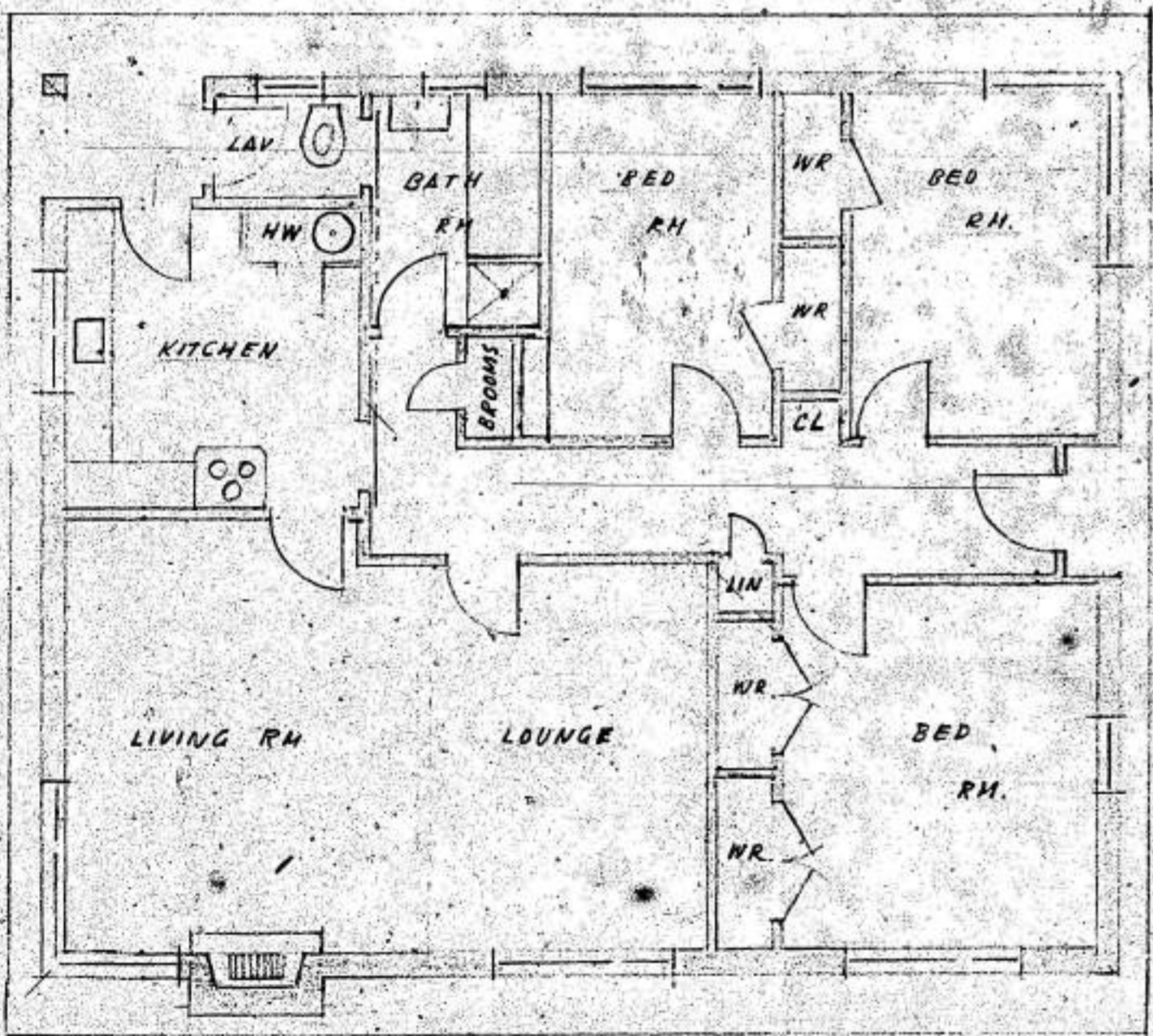
HOUSE
FACE
MRS. TESCHNER



ELEVATION



ELEVATION



CROSS SECTION

X - X

LOT 1. DP. 6185
 CORSTORPHINE ESTATE
 PT. SECT. 14
 OCEAN BEACH S.D.



5394

SKIBO

STREET.

PROPOSED RESIDENCE FOR ALLAN T. PARIS ESQ SKIBO ST DUNEDIN

R. C. FENTON

BUILDER

J.M.
 24/9/60.

PROPOSED RESIDENCE FOR ALLAN T. PARIS BUILDER.
R. S. RENTON

LOT 1. SPILLS
CONTAINING STATE
OF 1000. 12
ACRES. BRANCH 50.

SKIBO

STREET

DUNEDIN

JH.
20/9/60

ELEVATION

ELEVATION

CROSS SECTION
X-Y

LINE OF OVERHANG

32.0 CM

32.0 CM

40.0 CM

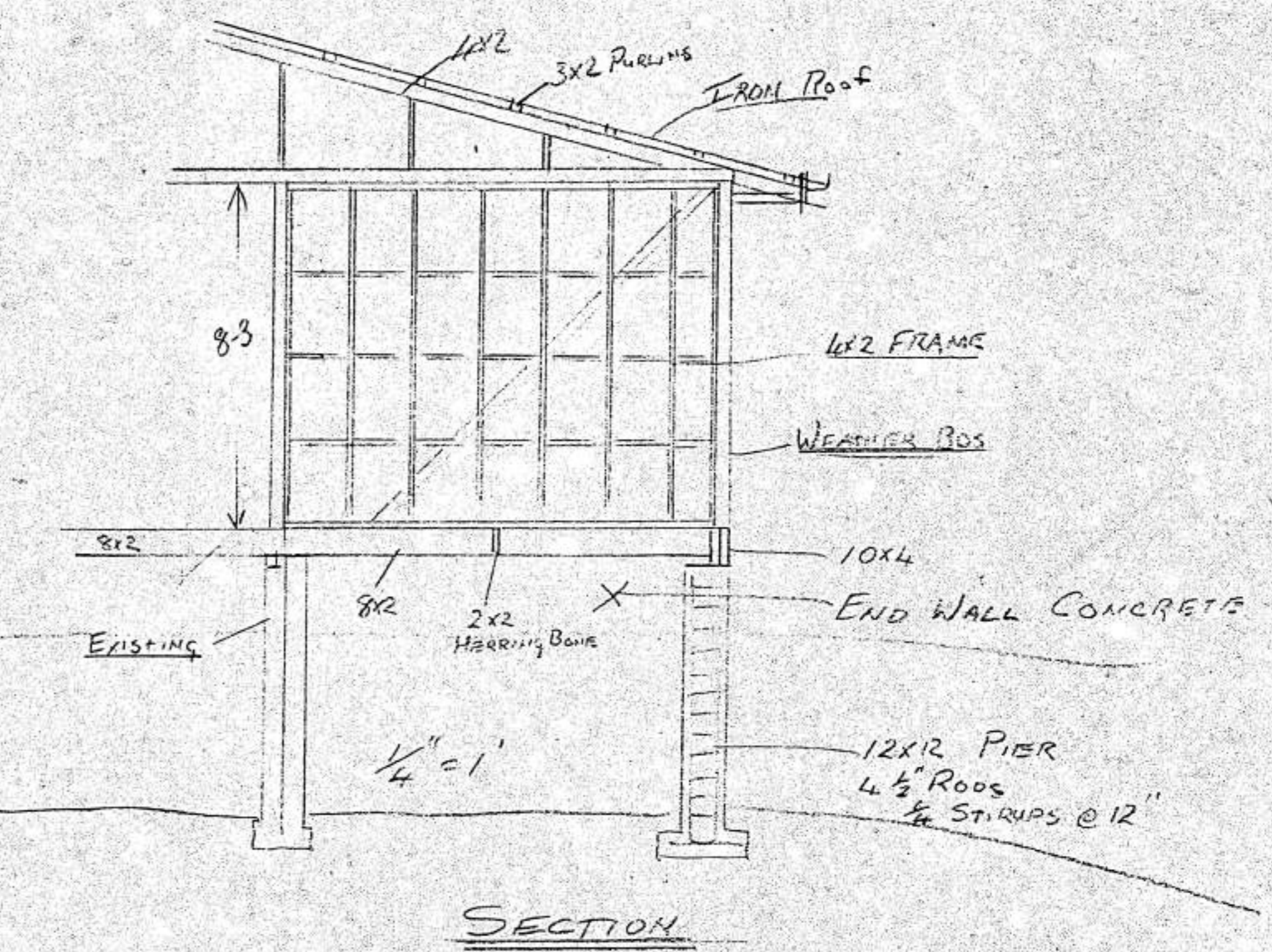
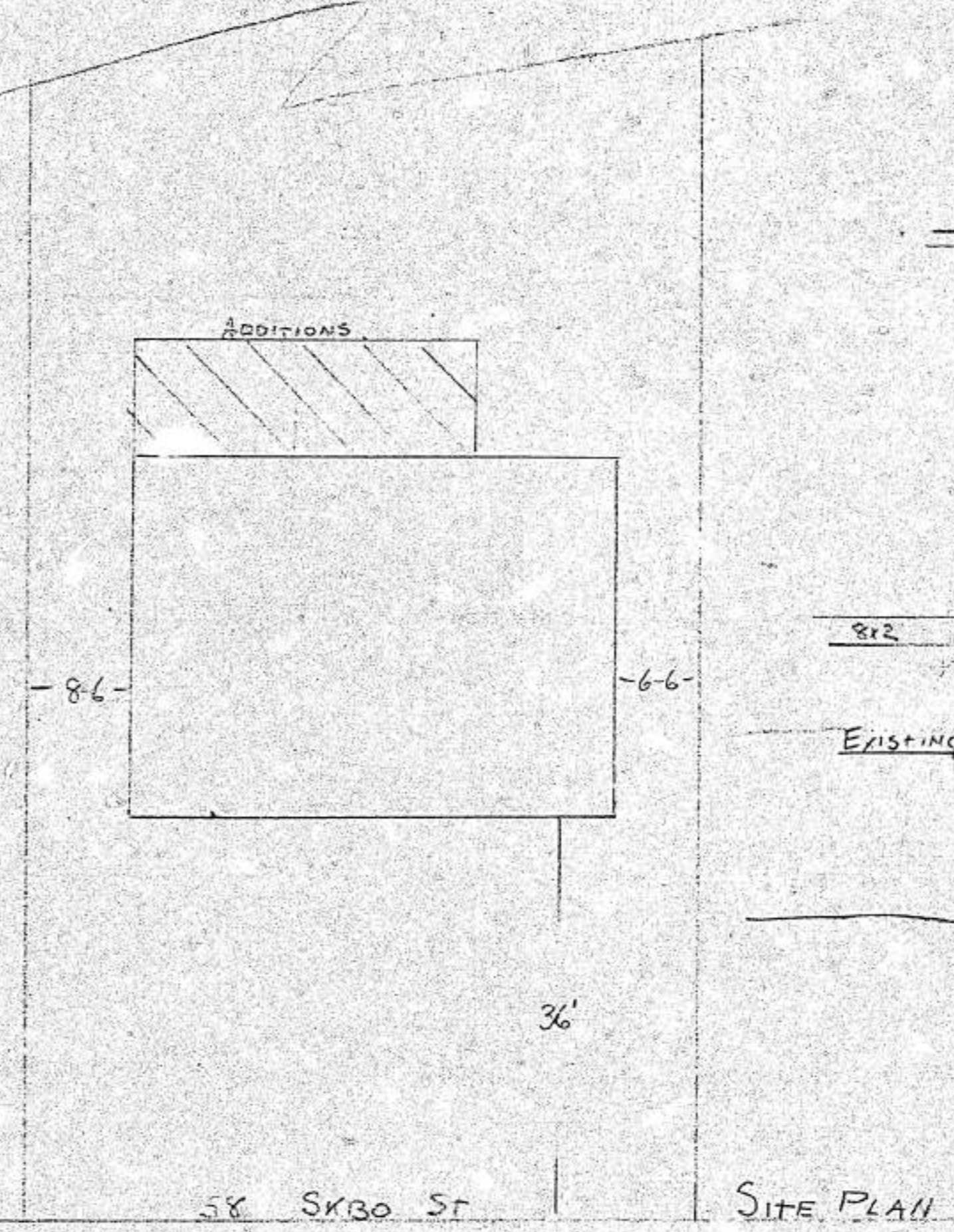
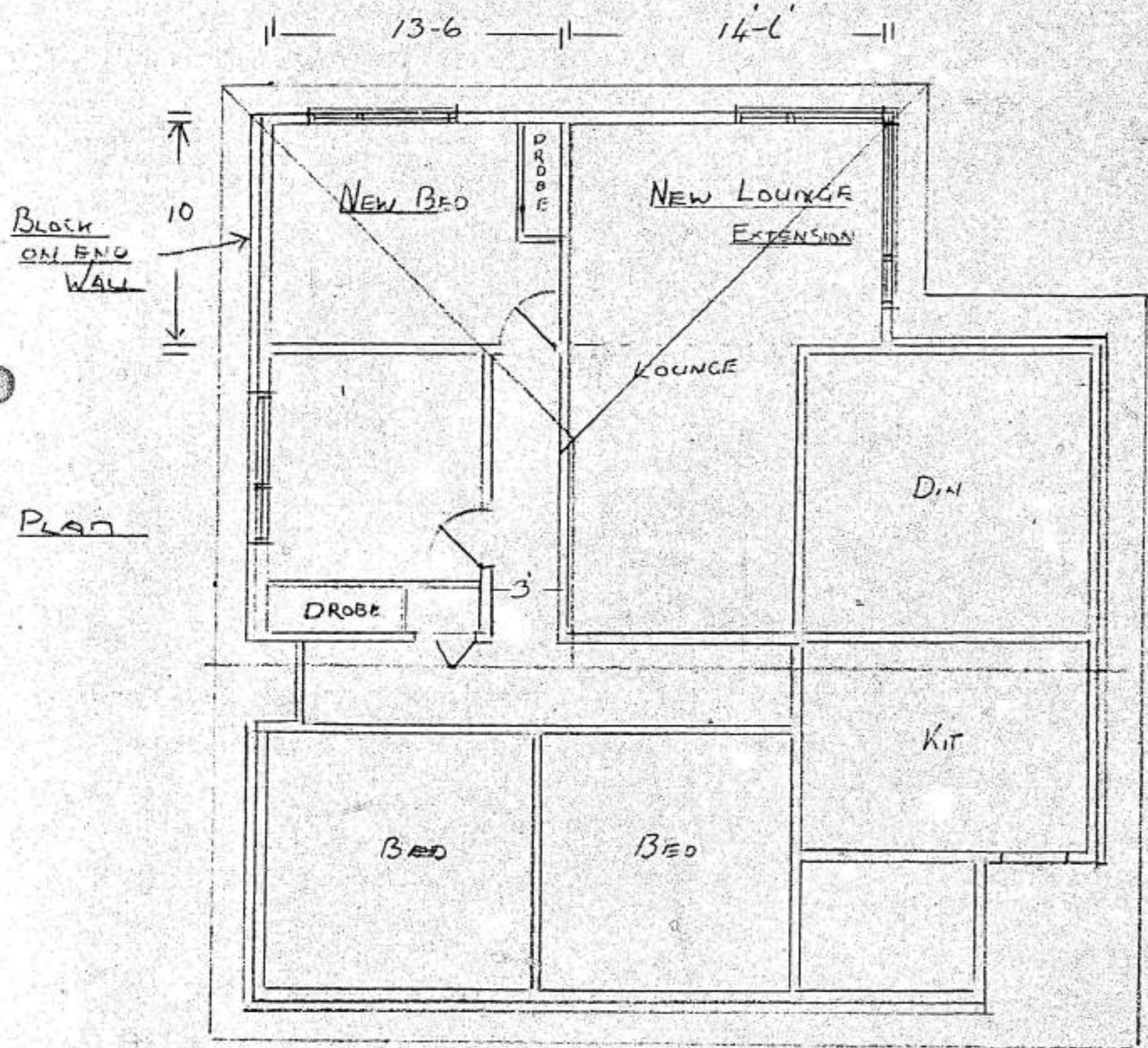
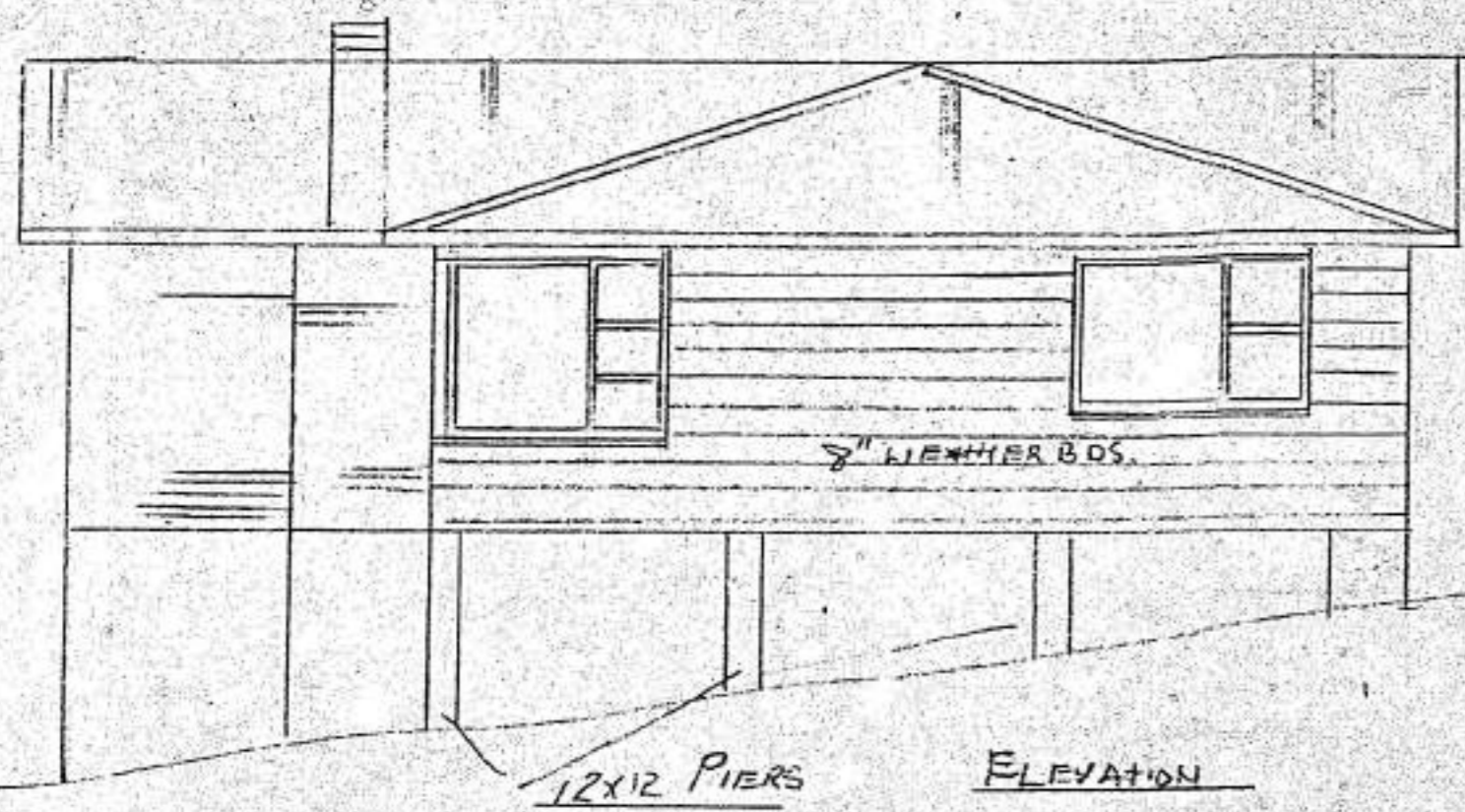
30.0 CM

SKIBO

ST



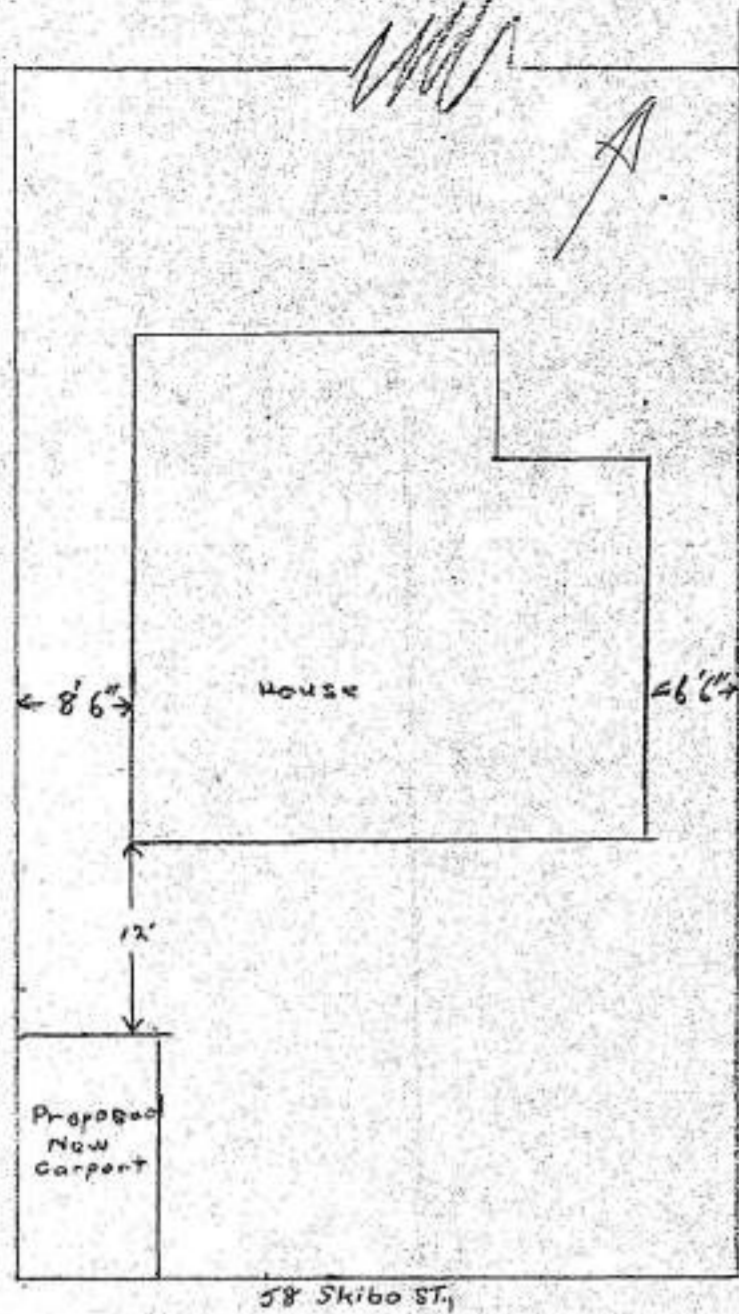
BOSTON CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETAINED ON WORKS
 AND PRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 DATE... 8.10.71.
 [Signature] CITY ENGINEER



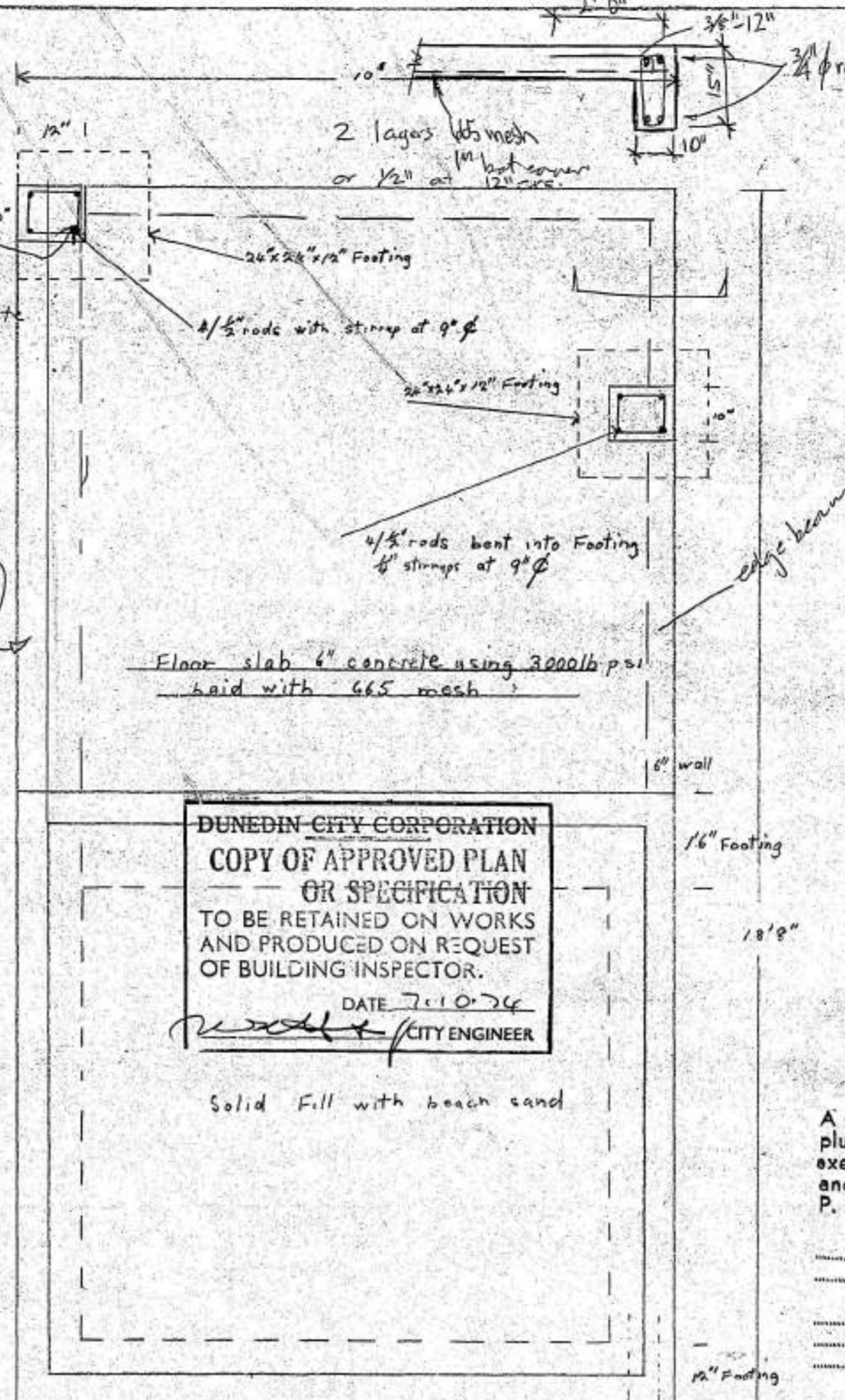
— PROPOSED LOUNGE EXTENSION + NEW BED RM —

— FOR MR + MRS A PARIS 58 SKIBO —

4855



Continuous concrete reinforced wall and footing
 $\frac{3}{8}$ " at 15" each way
 turn 2'-0" into slab
 rein. blockwork with $\frac{3}{8}$ " at 32" vert with 2 $\frac{3}{8}$ " in top band beam

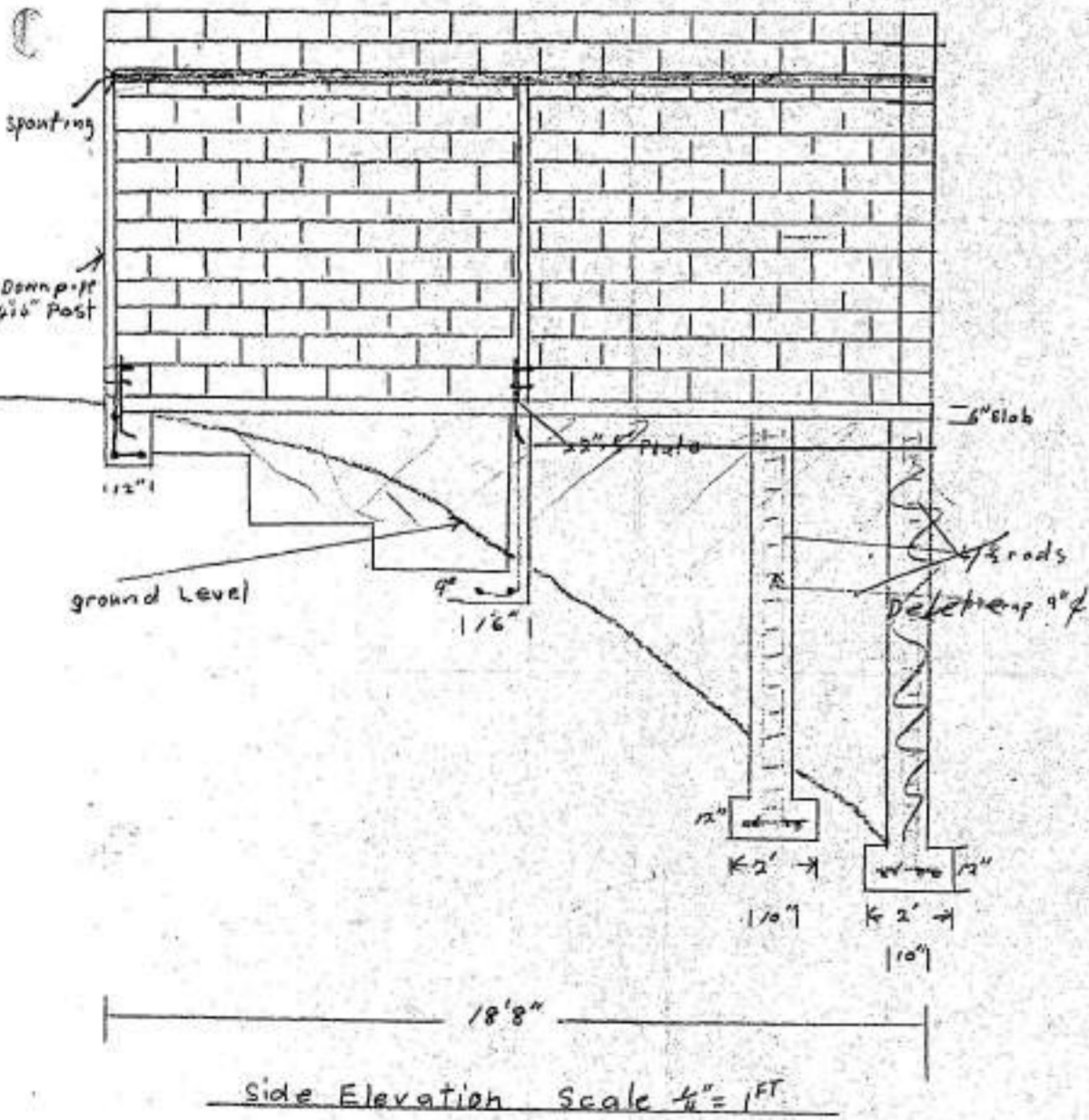


DUNEDIN CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETAINED ON WORKS
 AND PRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 DATE 7.10.74
 [Signature] CITY ENGINEER

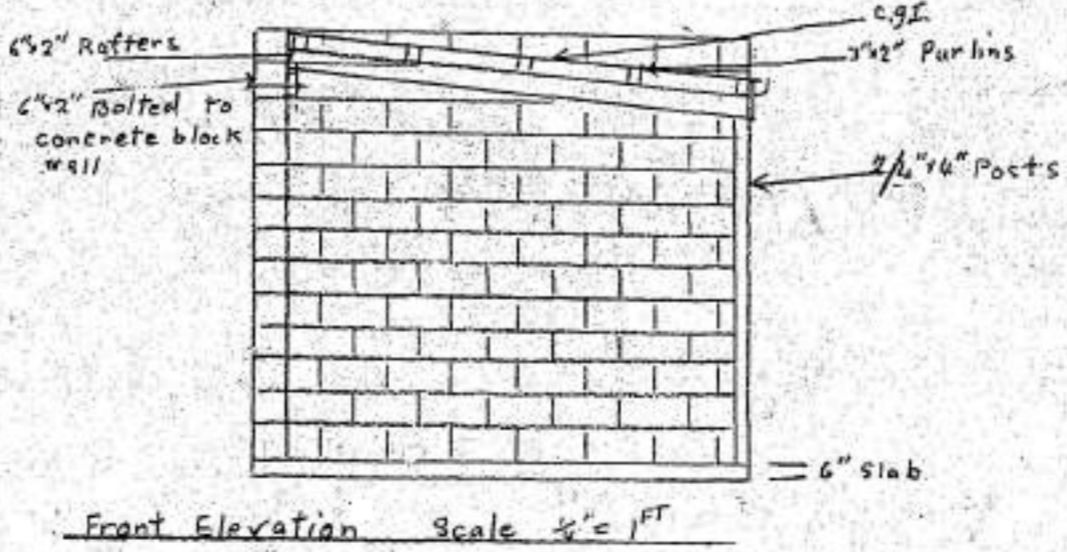
Specification of Materials to be used for Carport for Mrs Mrs A Paris
 Foundation: Concrete 3000 lb. p.s.i.
 Walls; Boundary wall and back wall 8" concrete block
 Rafters; 6"x2" R.P.O.B.
 Purlins; 3"x2" R.P.O.B.
 Roof; C.I. laid on netting and building paper
 Posts; Posts on open wall to be 4"x4" R.P.O.B.
 Spacing; 24g Iron
 Down pipe; 2"
 Stormwater; Stormwater to street channel

CITY PLANNING DEPARTMENT
 Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown hereon, and contained in the specification attached hereto, and subject to
 [Signature] Signed [Signature] for City Planning Officer
 12/1/74

DUNEDIN DRAINAGE & SEWERAGE BOARD
 A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainer, respectively and shall comply fully with the Board's By-laws and the D. & P. Regs., 1959.
 Stormwater to be discharged to Street channel
 Foul sewage to be discharged to _____
 Trade Waste _____



Foundation Plan Scale 1/4" = 1 FT
 2 1/2" rods in Footings
 3/8" rods at 15" Both ways



Front Elevation Scale 1/4" = 1 FT

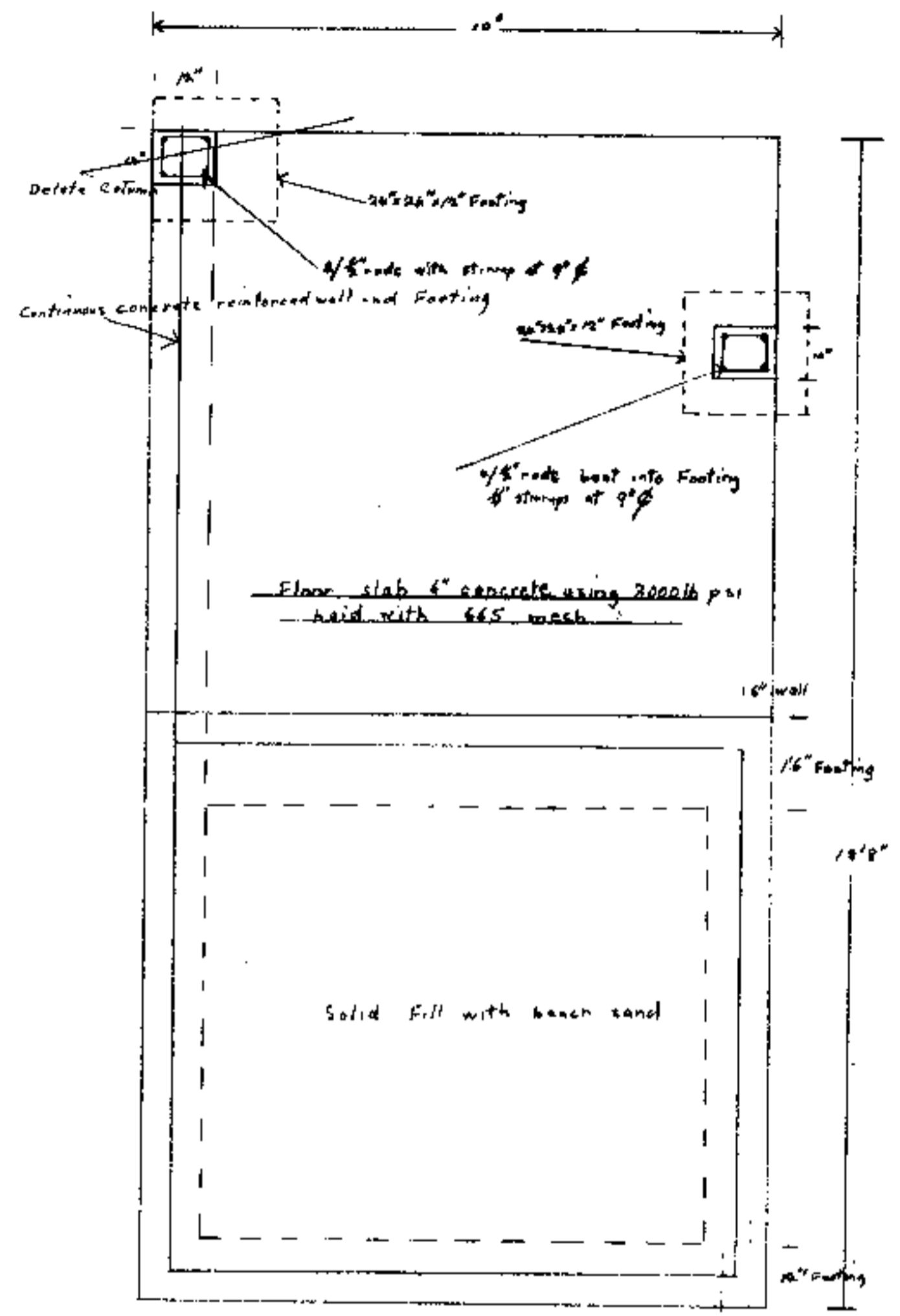
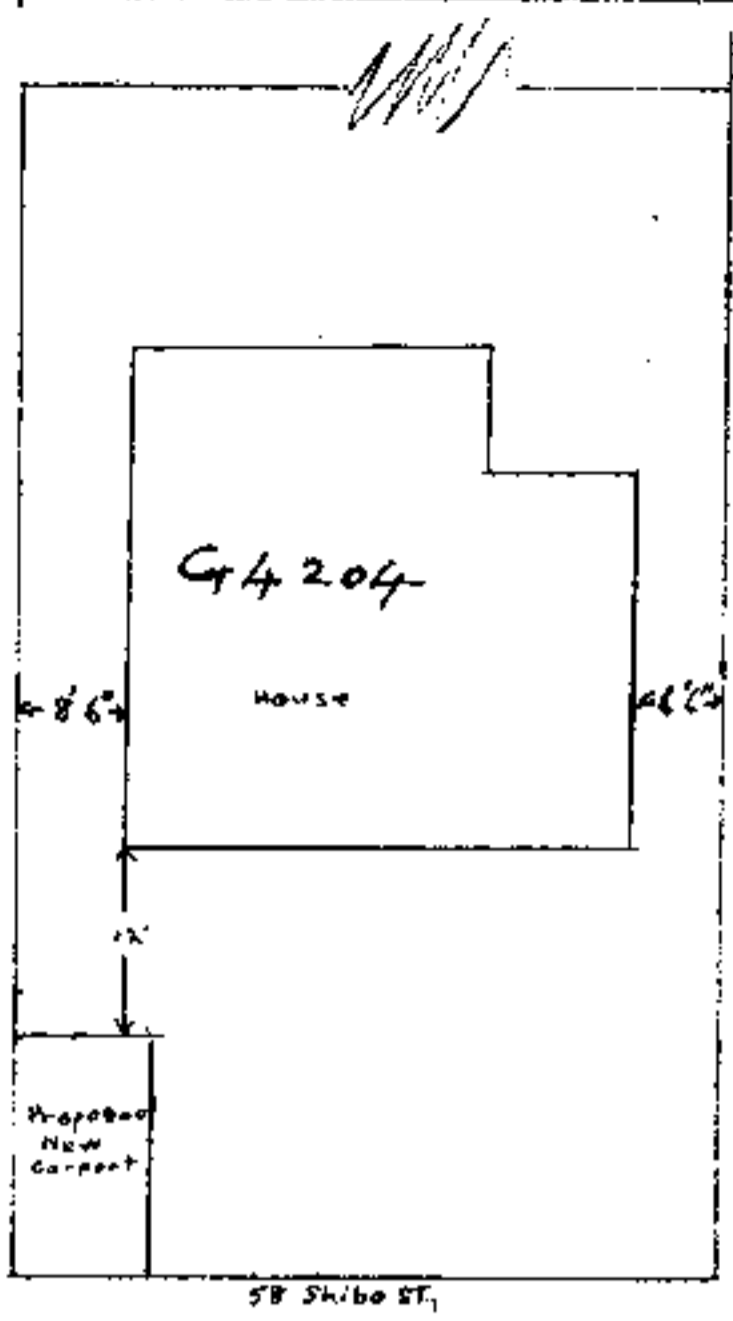
97

CITY ENGINEER'S OFFICE
 Required level at Street Boundary Any entrance or fence shall be at a level of 4" above top of kerb
 and constructed to the same grade as the adjoining street.
 Vehicle Crossing Fee / Deposit \$ 31.50 For 9' BM
 Special Conditions _____
 [Signature] For City Engineer Date 1.10.74
 NOTE: This endorsement overrules any levels or instructions shown on the plan

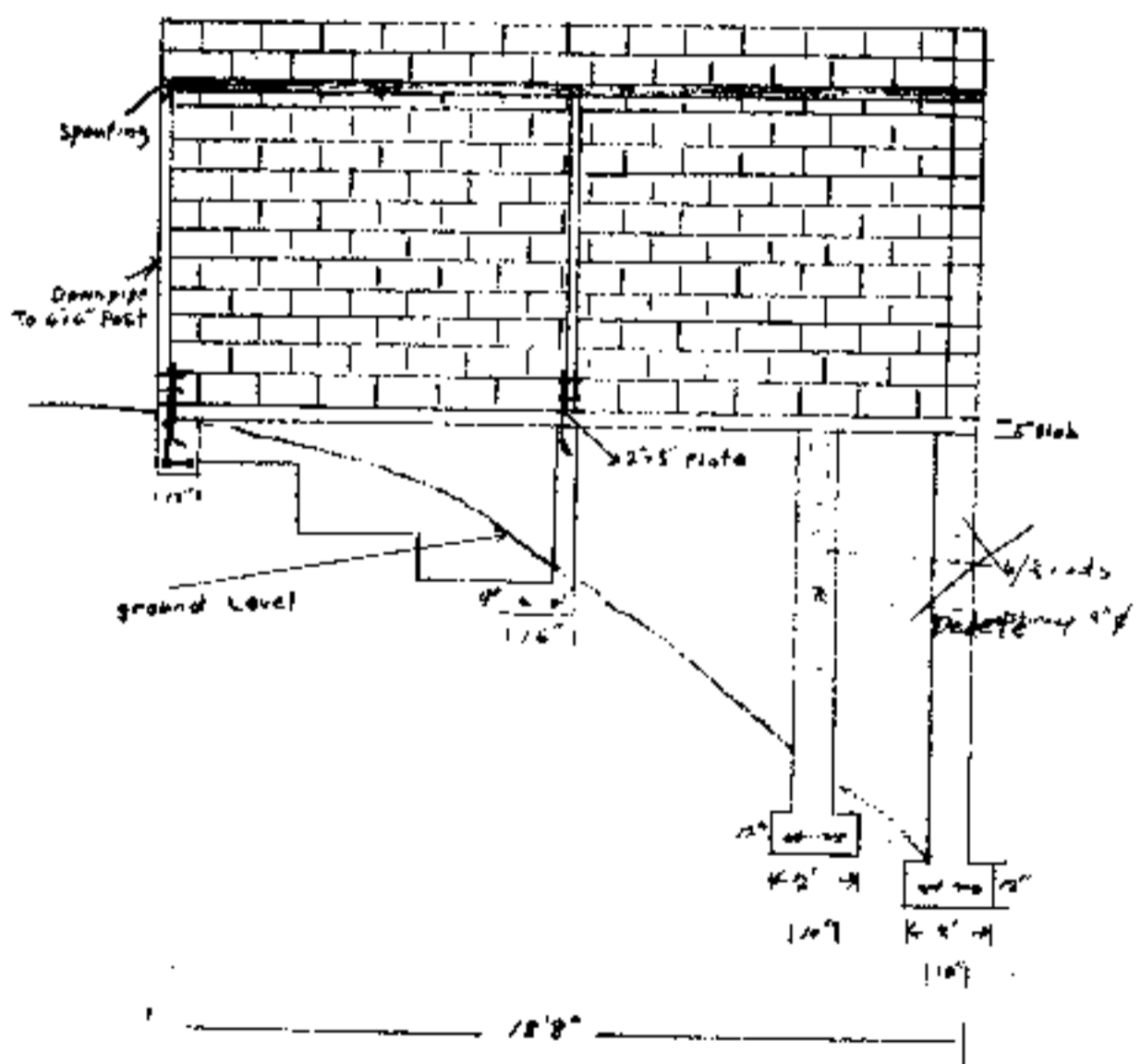
Proposed New Carport For Mr & Mrs A Paris at 58 Skibo St.

Drawn by
 AA Anderson
 1/9/74

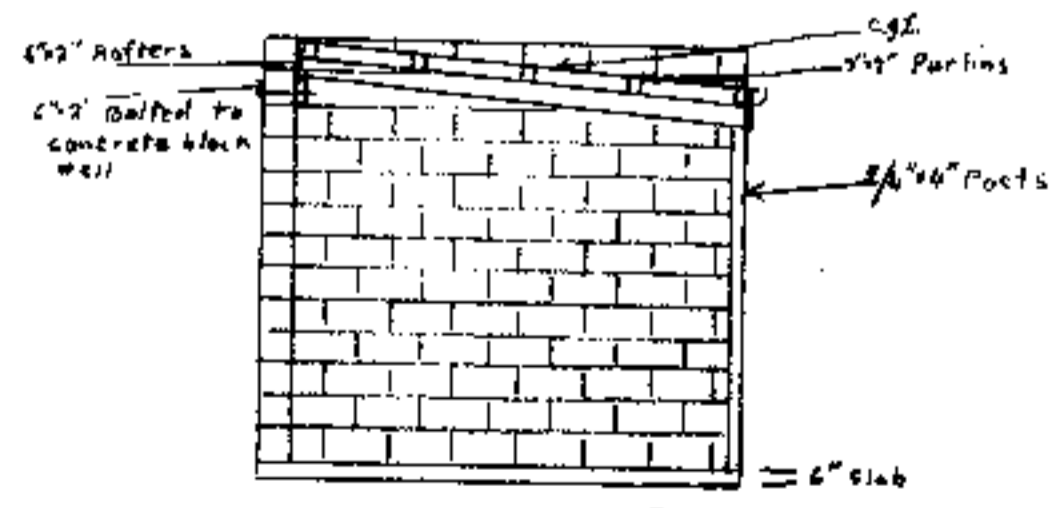
J/7022 SV. 7/10/76



Foundation Plan Scale 1/4" = 1 FT



Side Elevation Scale 1/4" = 1 FT



Front Elevation Scale 1/4" = 1 FT

Specification of Materials to be used for Carport for Mrs Mrs A Paris

Foundation	Concrete 3000lb psi
Walls	Brandy wall and back wall 8" concrete block
Rafter	6" x 2" P.B.O.B.
Purlins	2" x 2" P.B.O.B.
Roof	C.I. Lumber netting and building paper
Posts	Posts on open wall to be 4" x 4" P.B.O.B.
Spouting	2 1/2" Iron
Down pipe	3"
Storm water	Storm water to street channel

CITY OF SALEM DEPARTMENT
 Permit to the City of Salem, Oregon, District 5, Salem, Oregon, that the applicant, Mrs. A. Paris, has applied for a permit to construct a carport on the property located at 58 Skiba St., Salem, Oregon. The details shown on the attached plan and specification attached hereto and to be used as a guide in the construction of the carport.

Signed *R. Smith* 2/10/76
 for City Planning Director



Proposed New Carport For Mr. Mrs. A Paris at 58 Skiba St.

671
 Drawn by
 A.A. Anderson
 1/9/76

DUNEDIN CITY COUNCIL

House Connection Plan

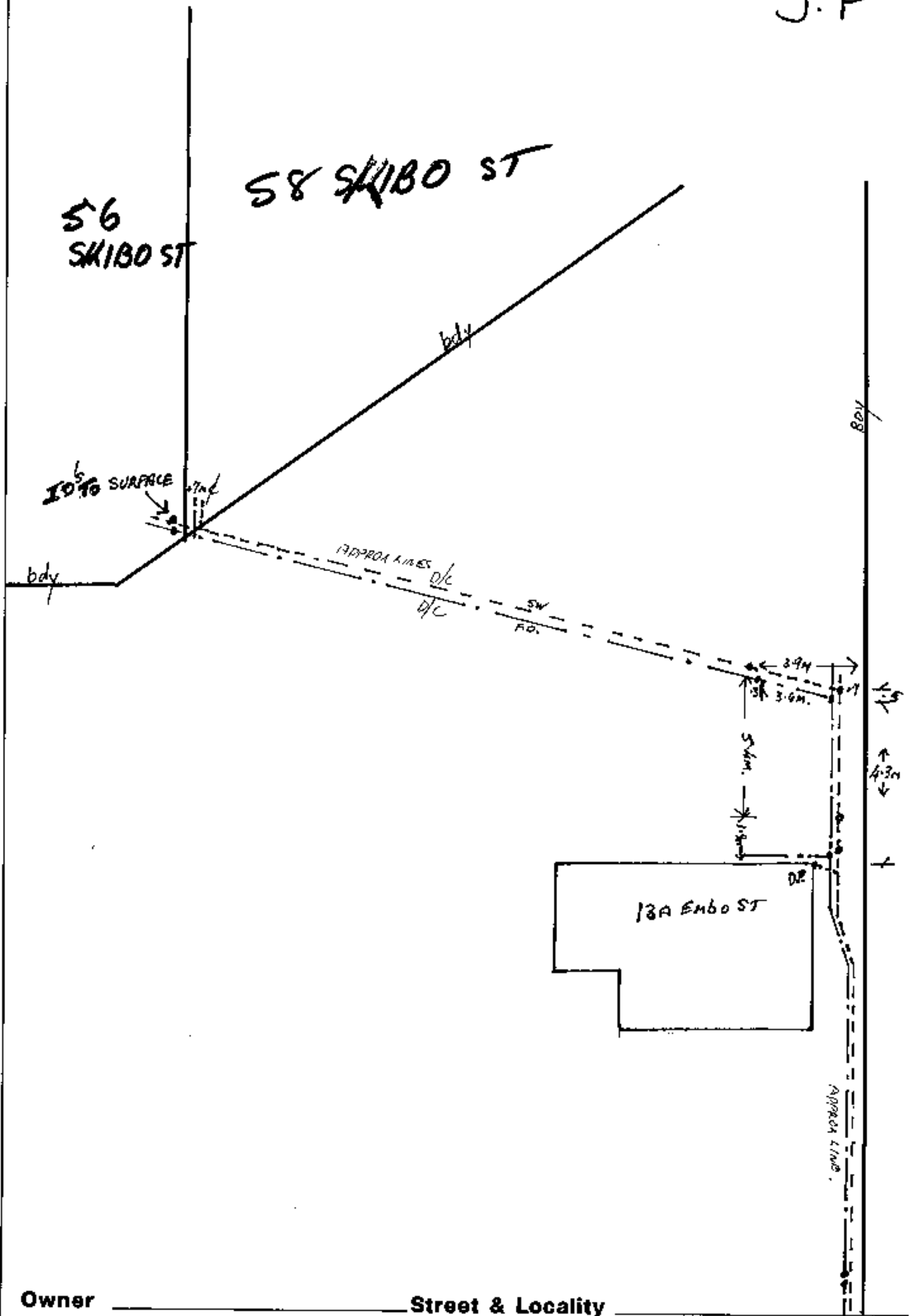
APPLICATION No. L-7444
DATE 15-8-90

SCALE (TO BE SHOWN) _____

NEW SEWERAGE DRAINS: _____
EXISTING DRAINS: _____

STORMWATER: _____

J.P



Signature of Drainer

Owner _____ Street & Locality _____
 Block _____ Section _____ Allotment _____

CODE COMPLIANCE CERTIFICATE

Section 47(2), Building Act 1991

ISSUED BY:



Telephone No:	477-4000	CCC No:	ABA 980501	Reference No:	5037964
---------------	----------	---------	------------	---------------	---------

Please check that applicable to. Attach where necessary.

PROJECT LOCATION	PROJECT
Name and Mailing Address: HIGGINS, ANDREW HAMILTON 58 SHOBO ST DUNEDIN 9001	All <input checked="" type="checkbox"/> Stage No _____ of an intended _____ stages New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/>
LEGAL DESCRIPTION	Intended Use(s) in detail: ALT DWG-WIC-LAUNDRY/ENTRY-FLD
Property Number: 6037964 Valuation Ref No: 27579 79568	Intended Life: indefinite, or: less than 50 years <input checked="" type="checkbox"/> Specified as _____ years Overhaul <input type="checkbox"/>
Street Address: 58 SHOBO STREET, DUNEDIN 9001	
Legal Description: LOT 1 DP 6185	

- This is:
- A final code compliance issued in respect of all of the building work under the above building consent.
 - An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
 - This certificate is issued subject to the conditions specified in the attached _____ (signed) headed "Conditions of Code Compliance Certificate No. _____" (being this certificate).

The Council charges payable on the issuing of this code compliance, in accordance with the attached details are: \$ _____ Receipt No.

Signed for and on behalf of the Council:

Name _____

Position: AUTHORIZED OFFICER

Date: 21/10/2002

BUILDING CONSENT



Section 22, Building Act 1991

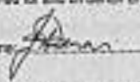
ISSUED BY:

DUNEDIN CITY COUNCIL

63 THE OCEANVIEW, 801 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (03) 477-4111. FACSIMILE: (03) 474-3384

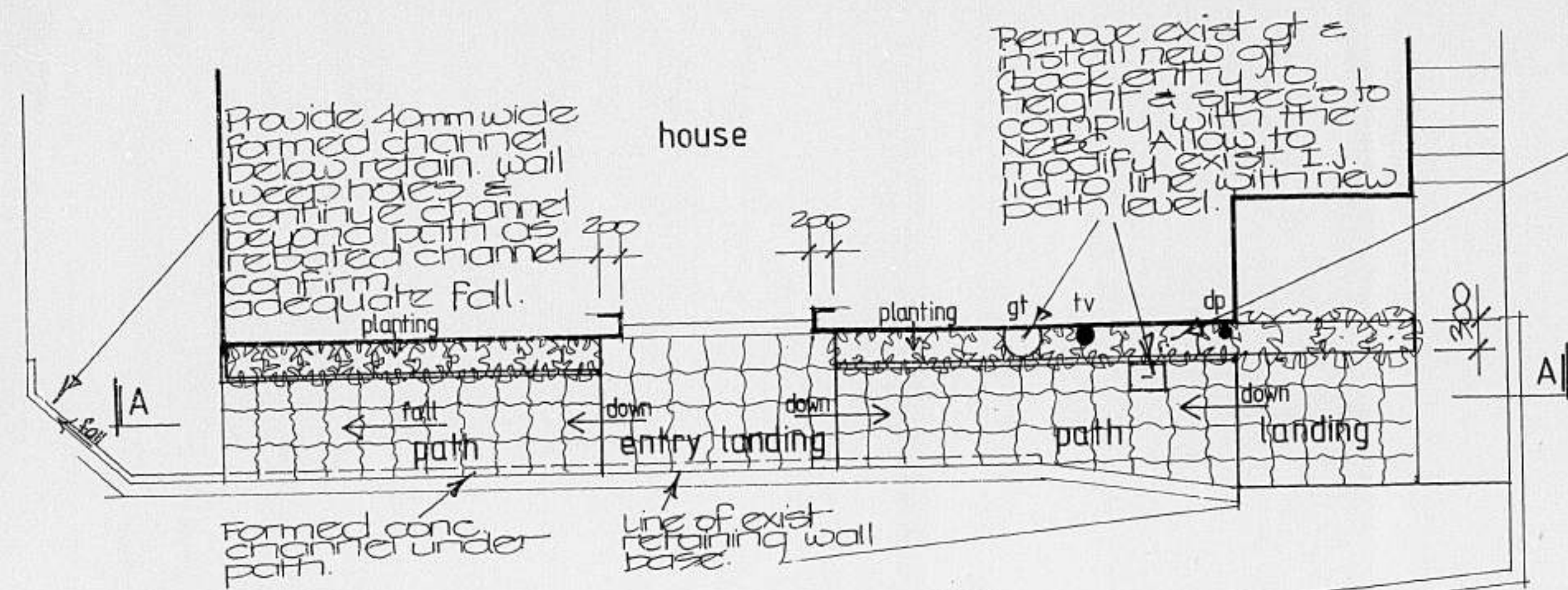
Telephone No:	477-4000	Consent No:	ABA 980501	Reference No:	5037684
---------------	----------	-------------	------------	---------------	---------

(Given in force on each application only. Attach relevant documents)

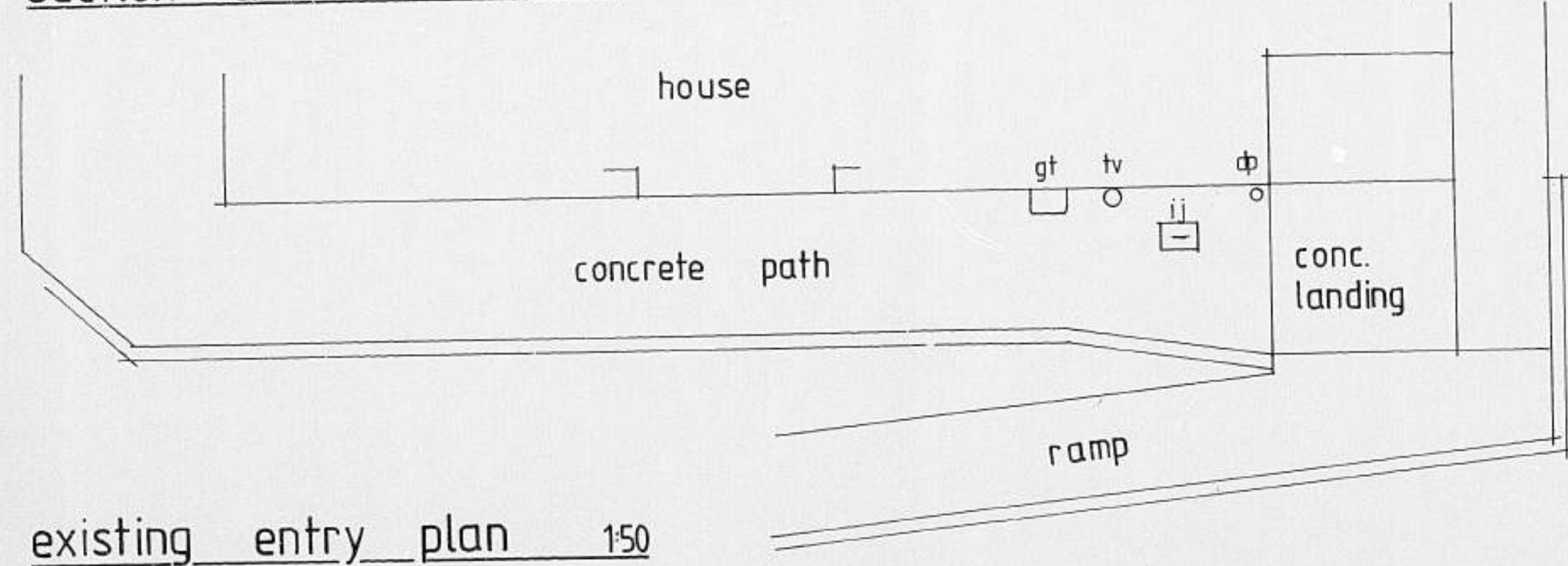
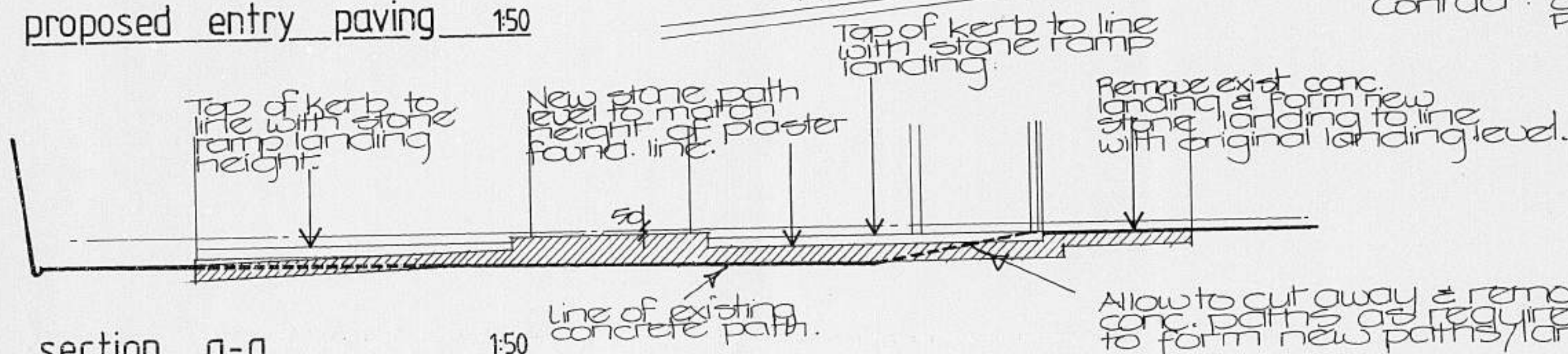
APPLICANT	PROJECT
Name: HIGGINS, ANDREW HAMILTON Mailing Address: 58 SKIBO ST, DUNEDIN 9001	All <input checked="" type="checkbox"/> Stage No. _____ of an intended _____ stages
PROJECT LOCATION	New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/>
Street Address: 58 SKIBO STREET, DUNEDIN 9001	Intended Use(s) in detail: ADULTER DWELLING-P&D
LEGAL DESCRIPTION	Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as _____ years Demolition <input type="checkbox"/> Estimated Value: \$19000
Property Number: 5037684 Valuation Roll No: 27370 70500 Legal Description: LOT 1 DP 5165	Signed for and on behalf of the Council: Name:  Position: AUTHORIZED OFFICER Date: 13/03/1998
COUNCIL CHARGES	
The balance of Council's charges payable on signing of this building consent, in accordance with the tax invoice are: Total: \$	
ALL FEES ARE GST INCLUSIVE	

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached _____ pages headed "Conditions of Building Consent No. _____".



proposed entry paving 1:50



Planting. Construct 200mm wide (internal) planter strips to house. Remove exist. concrete path where new base of planter strips & fill with top soil. Confirm depth of soil with owner. Allow to excavate 50mm below exist. path height.

Finish planters with selected stone kerb. Top of kerbs shall line true with new ramp landing. Refer section a-a.

New feature stone paths & landings over plaster compound & 75mm min. concrete. Refer to section a-a for heights.

* ALL STONEMWORK TO BE CARRIED OUT BY BONDS GARDEN CONSTRUCTION LTD
CONTACT: GRAHAM BOND
PH: 4718226

GENERAL NOTES

All work shall comply with the New Zealand Building Code & associated documents including NZS 3604:1990.

Contractor shall check & confirm all dimensions & levels on site prior to construction & any discrepancies shall be brought to the attention of the Architectural Designer.

Planting not in contract.

confirm stone selection & pattern configuration with owner prior to laying.

Ensure all weep holes between brick veneer are kept clear where planter strips formed.

Nosings of all exposed landings to be formed true & line.

INDEPENDENT BUILDING ADVISORY SERVICES LTD

Gary Buswell B.Arch, NZCD (Arch)
Architectural Designer

178 Balmacewen Road, Dunedin
Telephone 03-476 3667, Cellphone 025-739 444
Facsimile 03-467 2232

PROPOSED HOUSE ALTERATIONS & ADDITIONS & MR & MRS HIGGINS AT 58 SKIBO STREET, KEW, DUNEDIN.

amendment no. 1
2.4.1998

JOB NO. 188

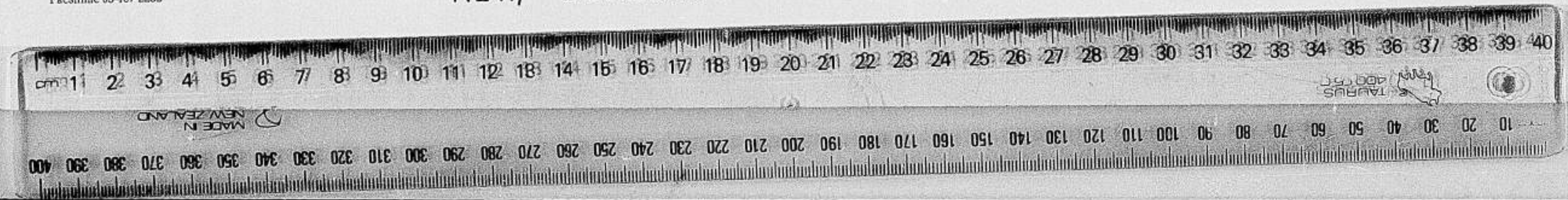
Amended Plan and/or Specification Received

By *Paddy White*

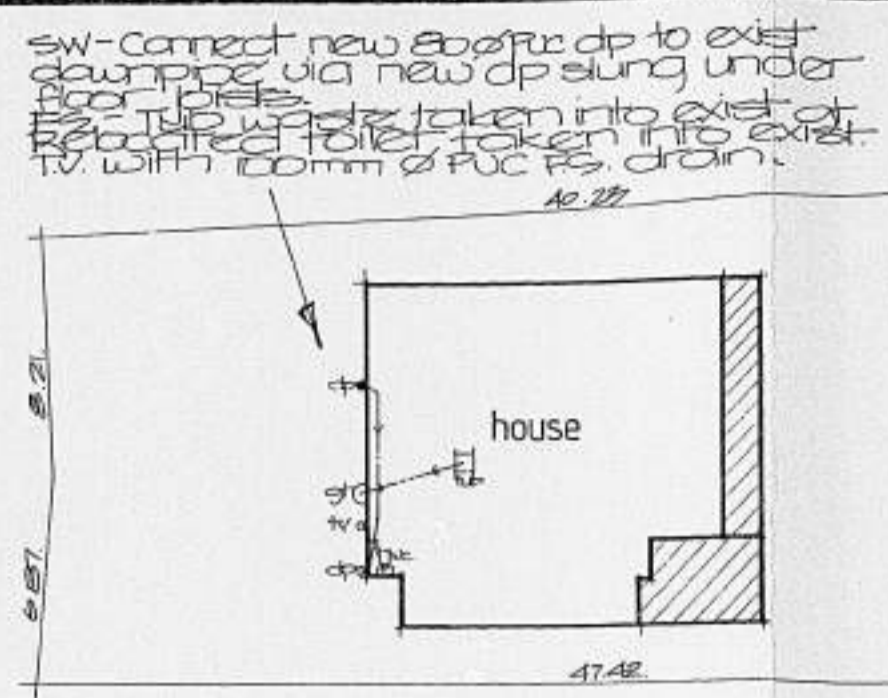
Date 27.5.98

Consent 98 0501

98-0501

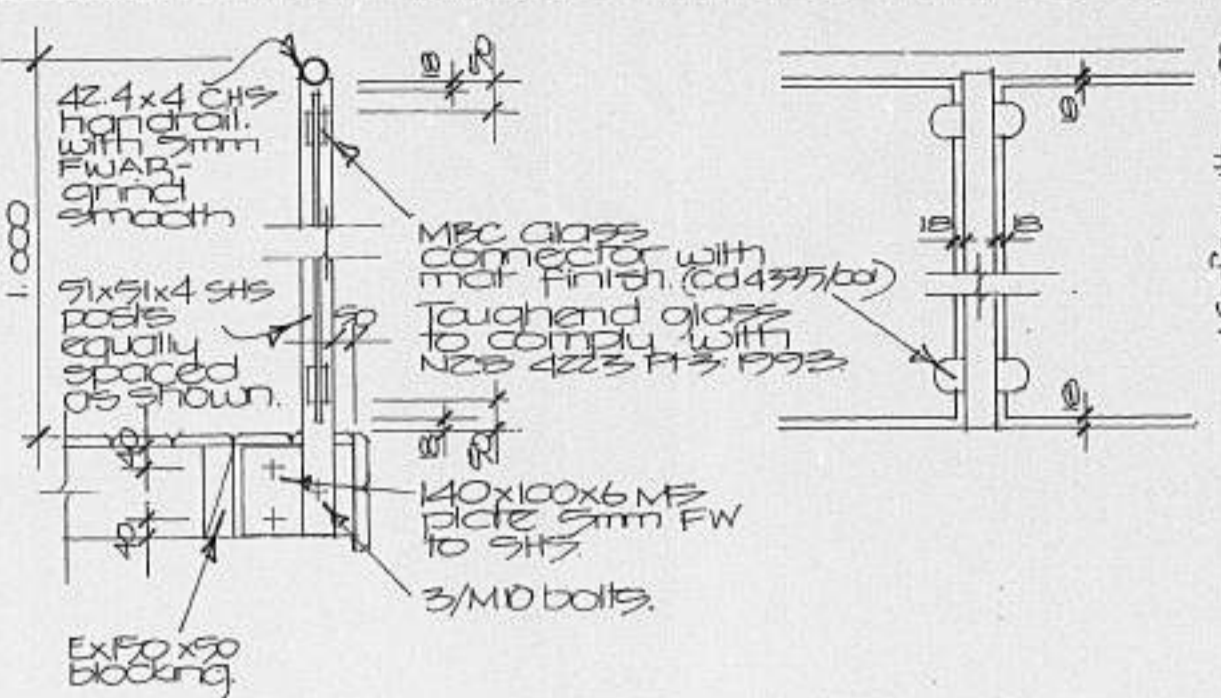


SKIBO STREET

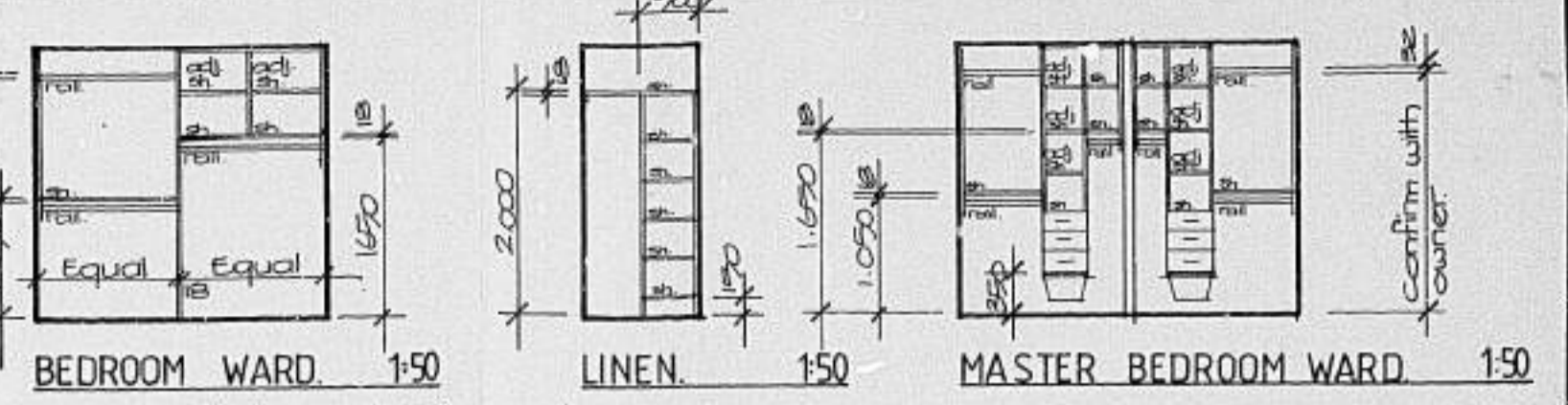


site plan 1:200

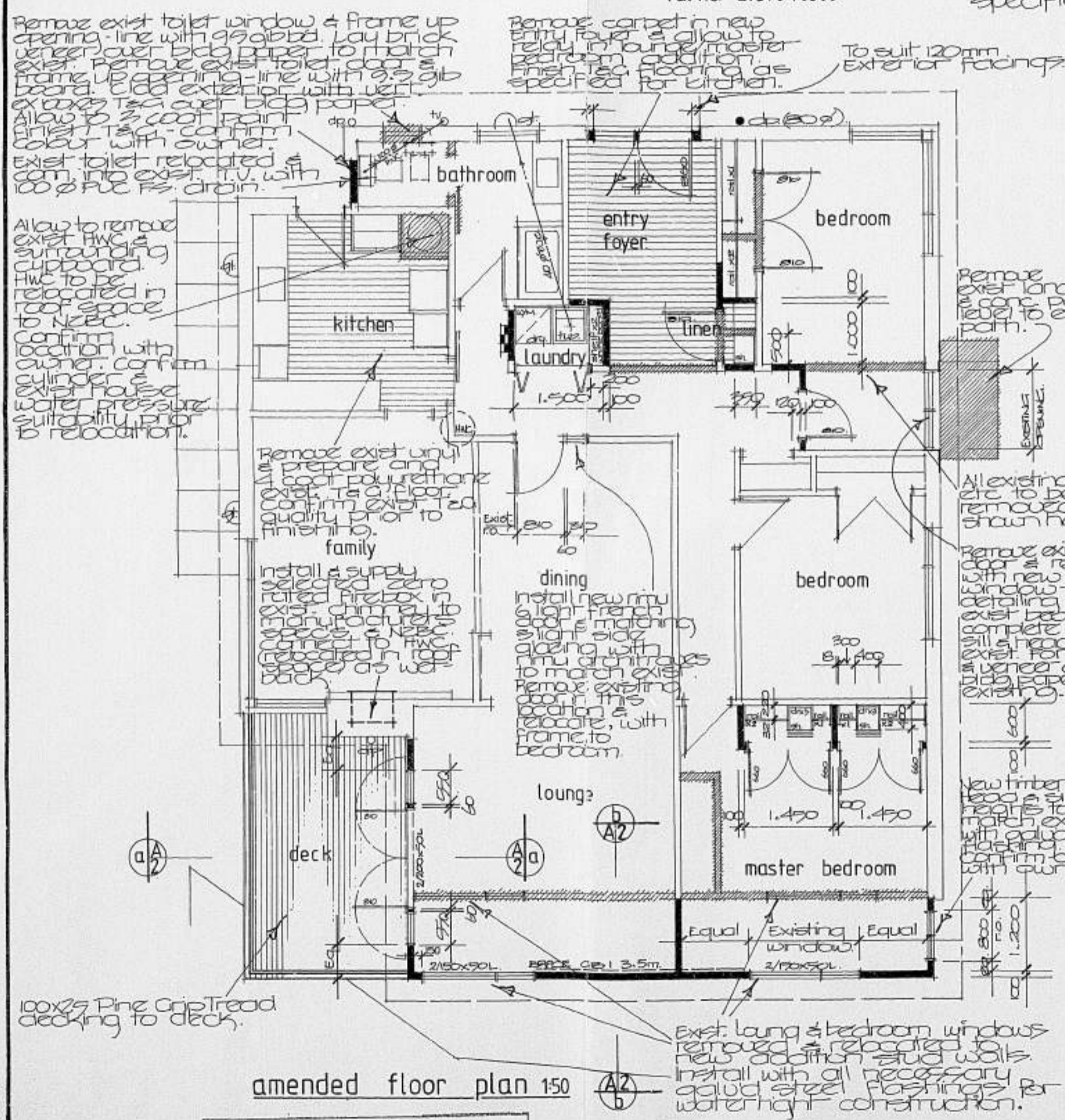
Legal LOT 1 DP 24 684 Val no. 27370 70500



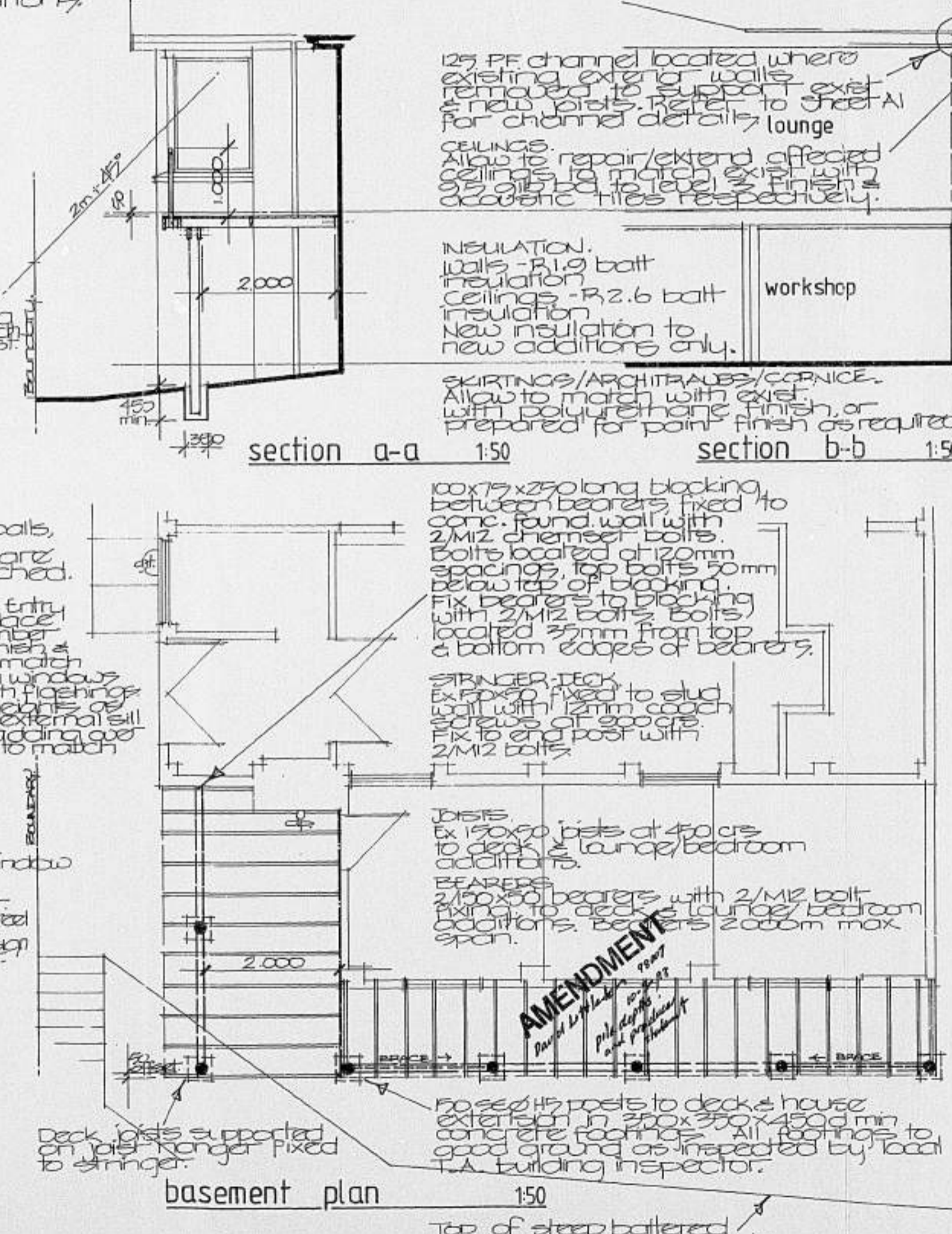
deck balustrade detail 1:10



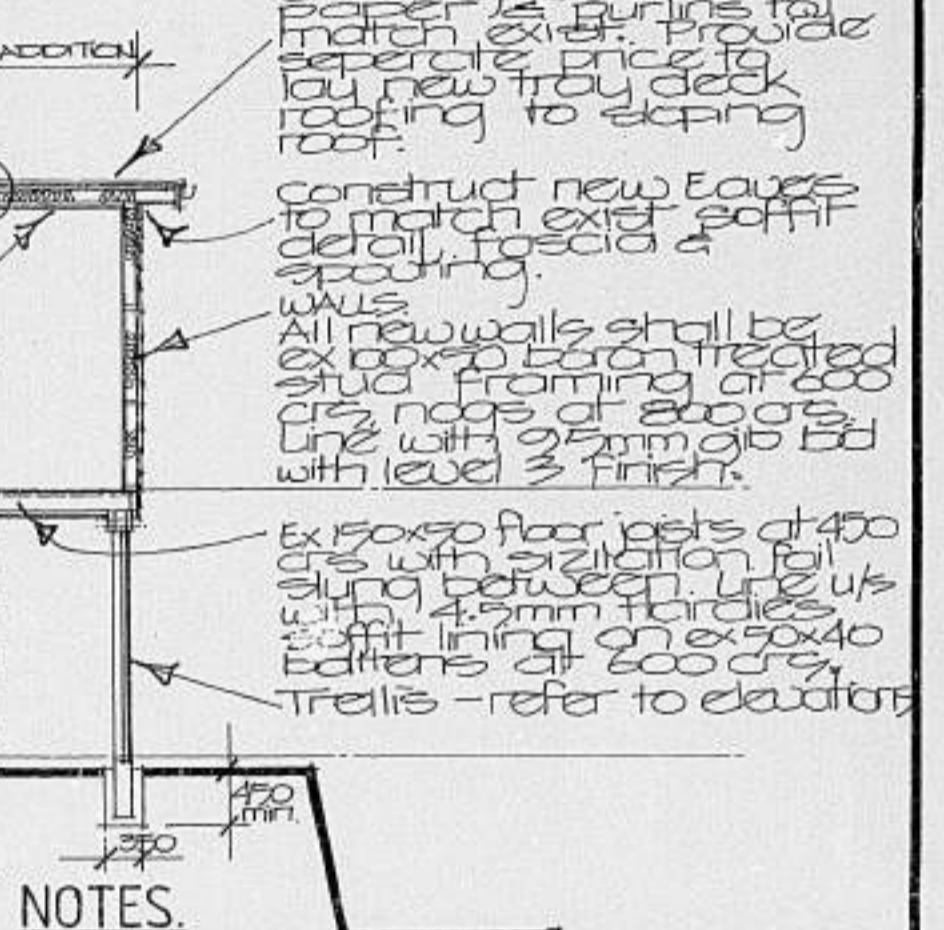
BEDROOM WARD 1:50 LINEN 1:50 MASTER BEDROOM WARD 1:50



amended floor plan 1:50



basement plan 1:50



section a-a 1:50 section b-b 1:50

NOTES

Allow to Enamel paint finish... All work shall comply with the NZBC... Confirm all new Electrical requirements... Make good exist. walls, ceilings... Ward doors - 40mm hollowcore doors... Allow PC sum to lay & provide selected vinyl to new laundry cupbd.

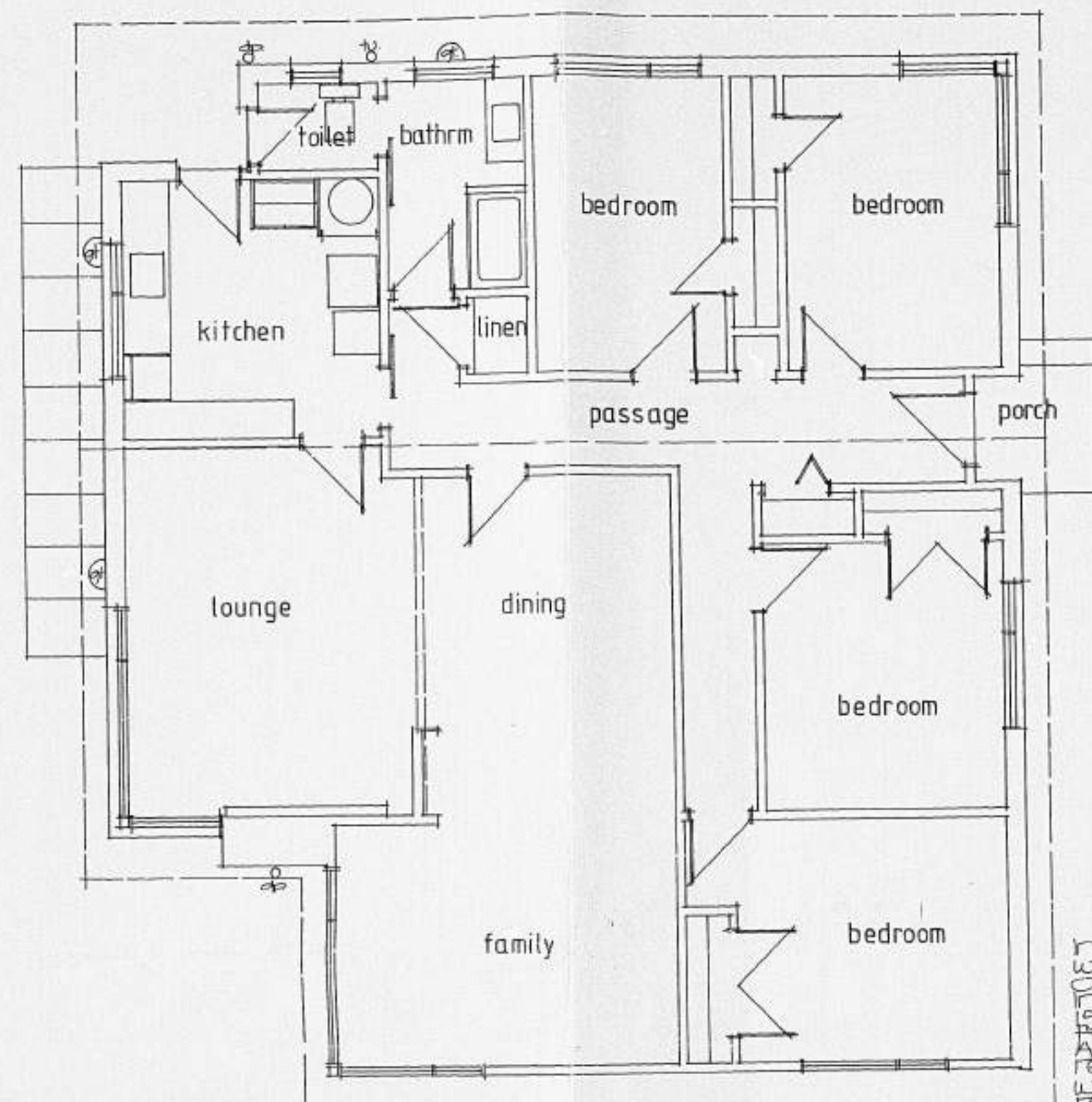
NON COMPLIANCE WITH DISTRICT PLAN... Gary Buswell Arch. Adv. Architectural Designer... 178 Balacreeve Road, Dunedin... Telephone 03 476 3067, Cellphone 027 379 444, Facsimile 03 467 2232

Tenders Close: 4pm Thurs. 26 Feb. 98... DELIVER TENDERS TO: G. BUSWELL ARCH. DESIGNER... CONTACT PHONE: 03 476 3067

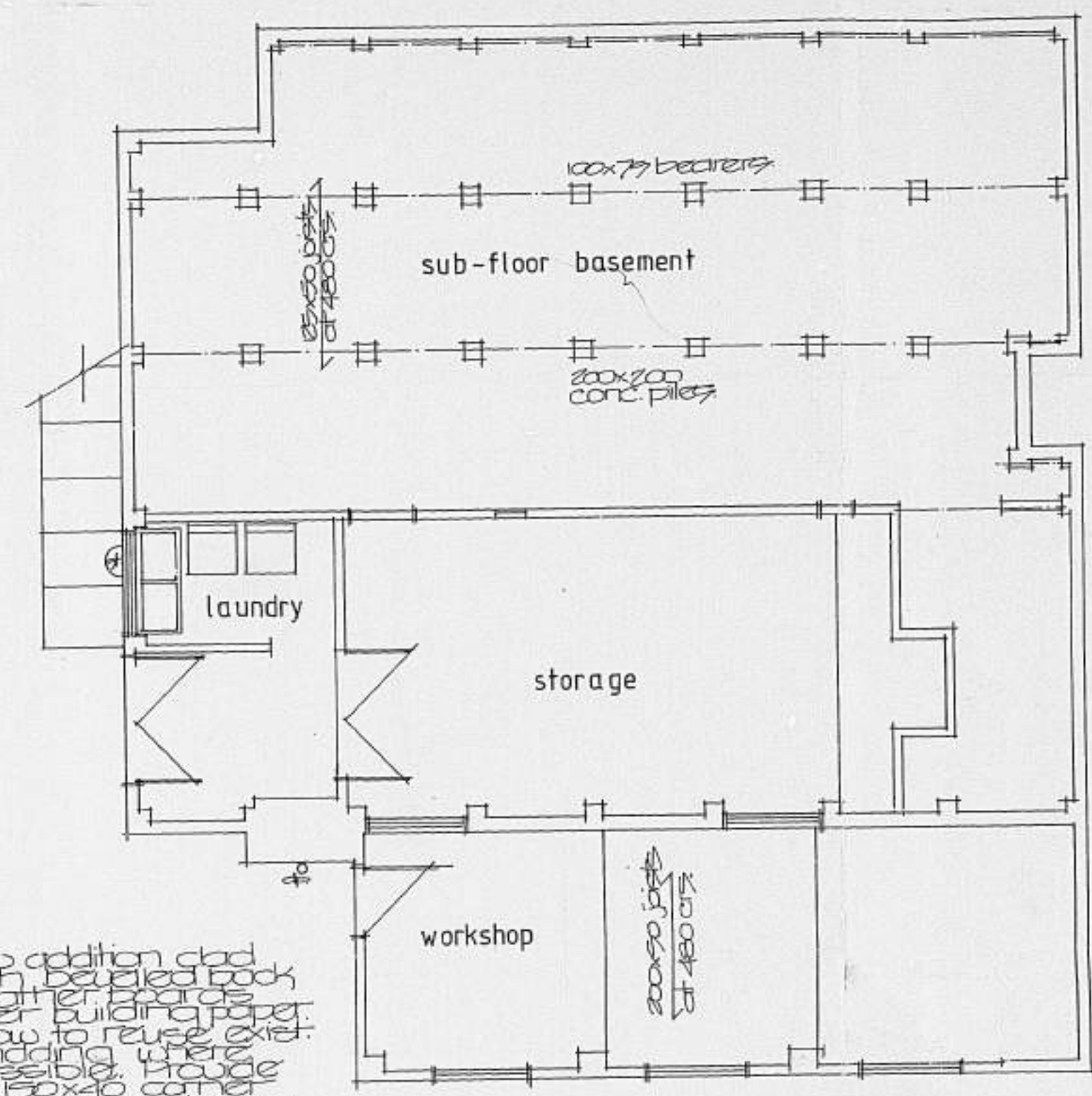
PROPOSED HOUSE ALTERATIONS AND ADDITIONS FOR MR. & MRS. HIGGINS AT 58 SKIBO STREET, KEW, DUNEDIN. 98-0501

Table with columns: DRAWN (G D B), CHECKED (G D B), TRACED, DATE (8.2.1997), SCALES (AS SHOWN), SERIES OF (2), REF (168), SHEET (A2)

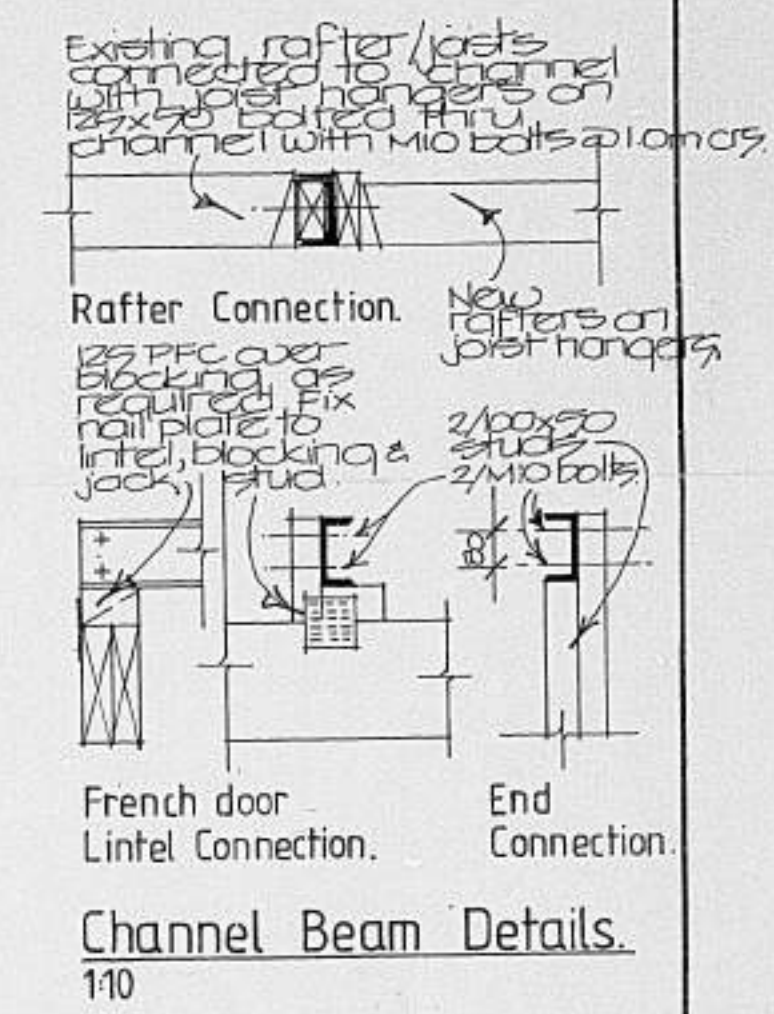
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existing floor plan 1:50



existing basement plan 1:50

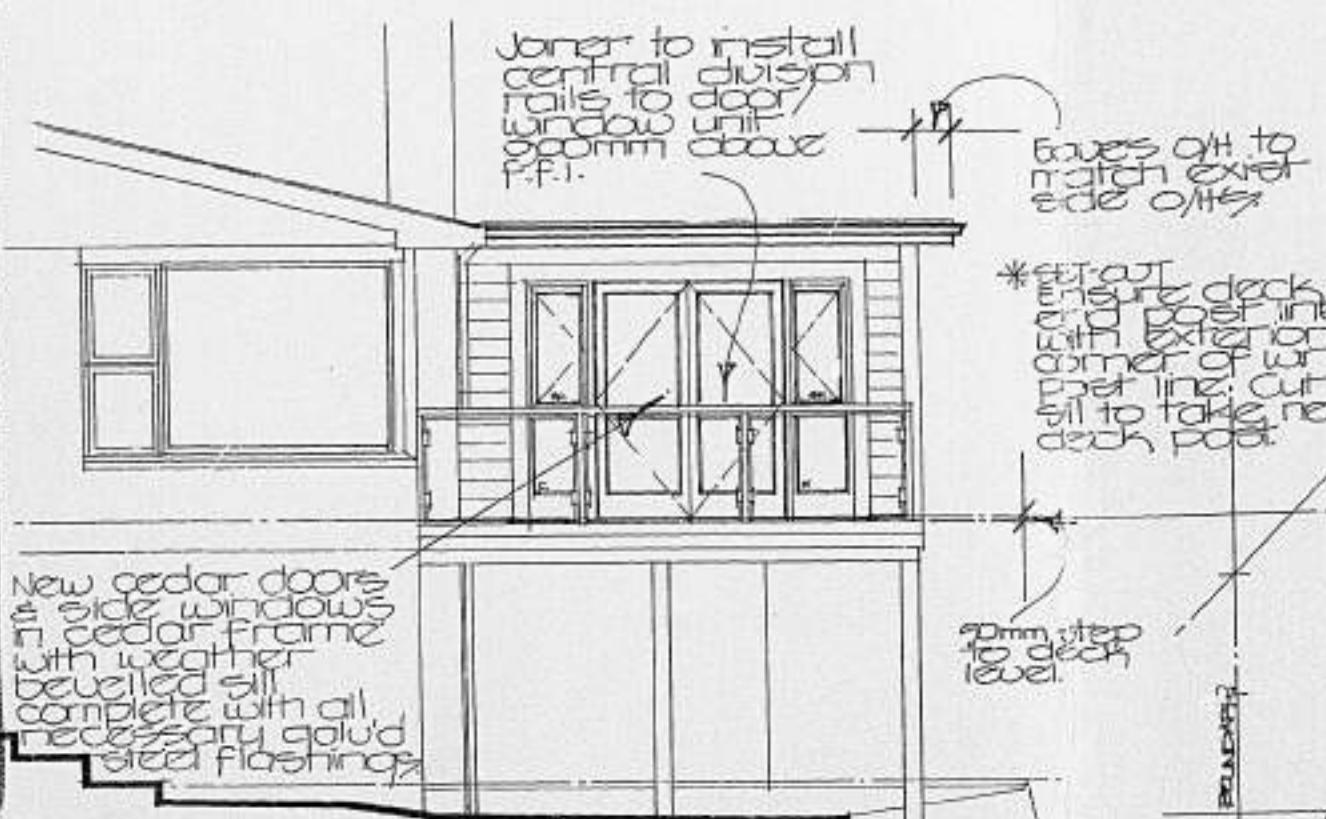


Channel Beam Details
110

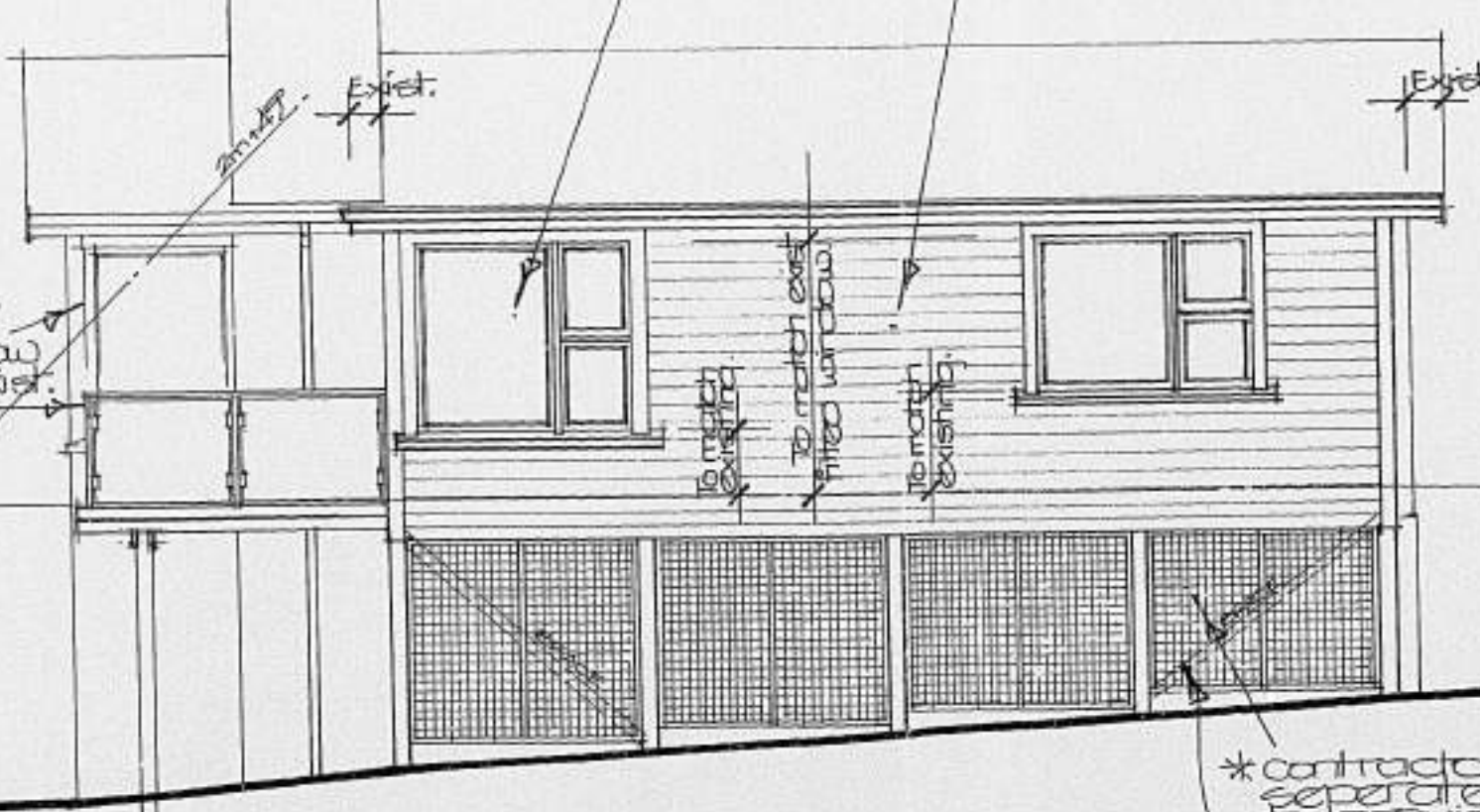
Install existing windows to new addition with ex. 100x22 exterior facings. Allow to replace repair existing window fills as required to existing windows relocated, confirm condition on site.

No addition clad with beaded back cover building paper. Allow to reuse exist. cladding where possible. Provide ex. 100x40 corner boards as shown.

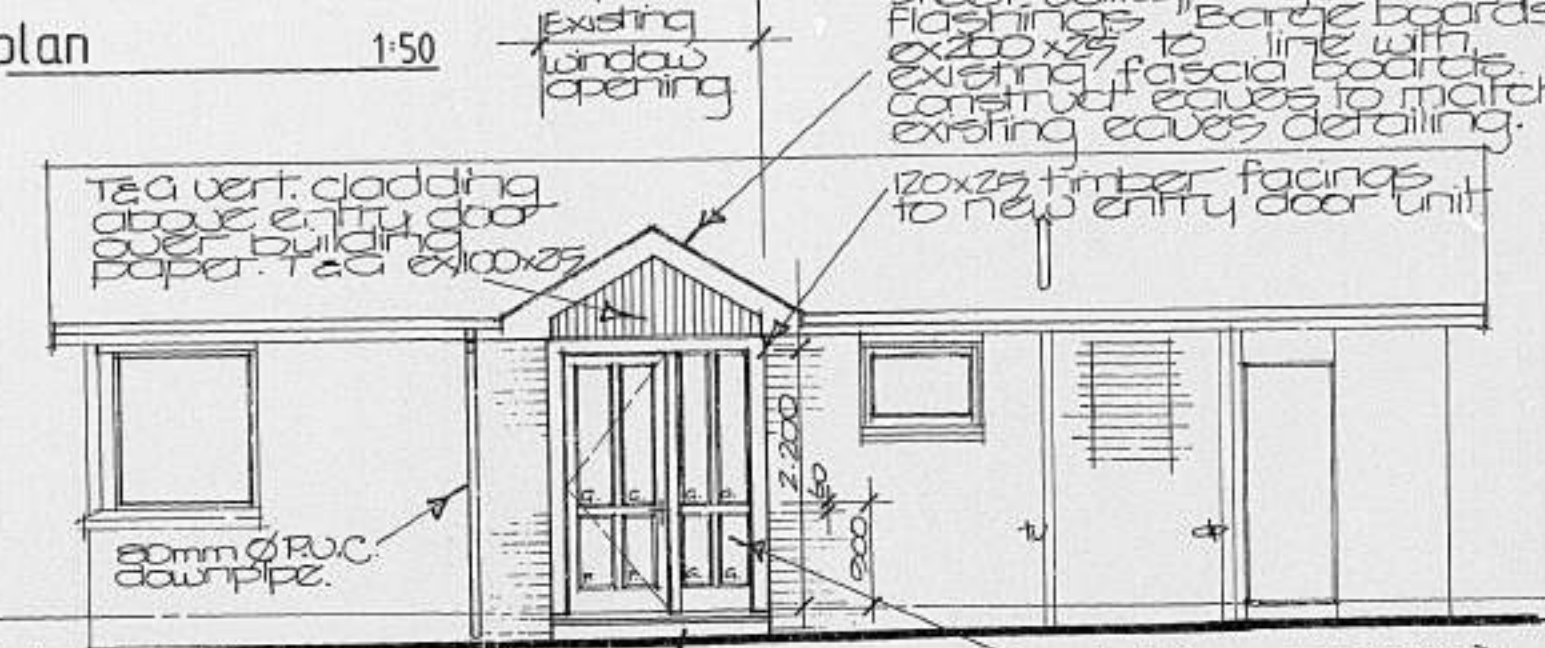
Construct new Entry roof over existing roof with ex. 75x90 purlins over 100x90 rafters at 900c/s, ridge board ex. 200x25. New roof pitch 20°. clad new roof with corr. steel complete with gable steel, valley, ridge & barge flashings, barge boards ex. 200x25 to line with existing fascia boards. Construct eaves to match existing eaves detailing.



north east elevation 1:50



north west elevation 1:50



south east elevation 1:50

solid Rimu door (60) with 2/100x200 upe panels & 2/100x200 mitred solid panels below. 4/100x200 fixed glass panel beside. Ex. 200x25 frame to unit. 4/100x200 mesh to interior of unit. Confirm glazing types with owner. Install with all necessary flashings.

*Contractor shall provide separate, once with tender to provide & install framed trellis in fill panels between 100 p posts.

100x75 braces to both ends of addition. Braces braced with 100x25 bolts between rafters with 100x25 pole/bolts.

Four new concrete Entry landing to front door to extend from house to existing retaining wall. Reinforce with 6mm mesh. Finish landing side, and 60mm landing perimeter boarder. Painted & provide brushed beam finish to landing, inside boarder.

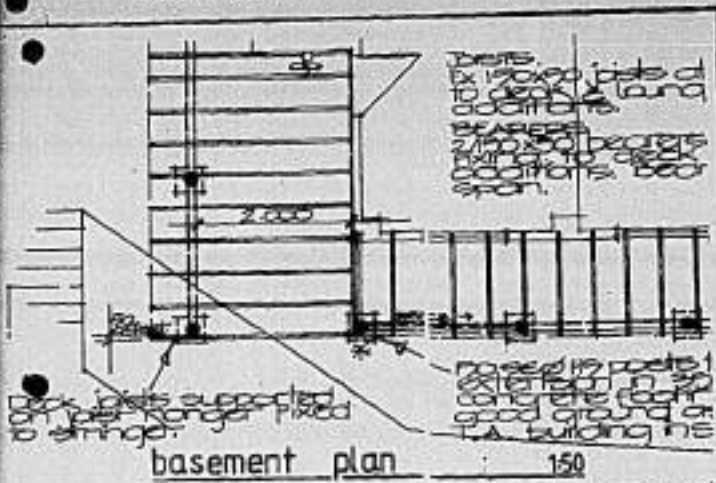
98-0501

BUILDING ADVISORY SERVICES LTD
Gary Buswell Arch, NZCD Level 2
Architectural Designer
178 Ballsbridge Road, Dunedin
Telephone 03-476 3667, Cellphone 025-739-1414
Facsimile 03-467 2232

PROPOSED HOUSE ALTERATIONS AND ADDITIONS FOR
MR. & MRS HIGGINS AT 58 SKIBO STREET,
KEW, DUNEDIN.

Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request.
Building *Andy Williams* Date 11-5-98
Drainage *Andrew* Date 11/5/98
Health *Andrew* Date

building consent plans		SHEET A1	
DRAWN GDB	CHECKED	SCALE AS SHOWN	SERIES OF 2
DATE 8.2.1997	DATE	REF 188	



NOTES: - DETAIL IS COPY OF ISA SERVICES LTD. DRAWING (PART) WITH CHANGE TO DEPTH OF FOOTING OF PILE MARKED WITH * FROM 150 DEEP TO 700 DEEP (ONE PILE ONLY)

98/0501

ALTERATIONS TO HIGGINS HOUSE
58 SKIBO ST., DUNDEE
BASEMENT ROW - FOOTINGS

David Littleton

JOB : 98007
SH : 2 of 2
REV : 0
DATE : 10/3/98



STRUCTURAL DESIGN
CONSTRUCTION PROGRAMMING

David Littleton
44 Howe Road, WINDYBUSH, EIRE
Tel: 01 493 88 909, 9100 Wexham, Dundee
Telephone 01 25 344 250
A.I.A. Technical 01 7 952 1001

DAVID LITTLETON

26 March 1998

Dunedin City Council
PO Box 5045
Dunedin

Attention: Kirsten Klitscher
Planning Department

**RE: PROPOSED HOUSE ALTERATIONS AND ADDITIONS FOR
MR & MRS HIGGINS AT 58 SKIBO STREET, DUNEDIN.**

Dear Kirsten

As discussed with you on Friday, I am writing to inform you the overhang of the proposed deck, which encroaches into the side yard of the property, will be eliminated. The extent of the deck has been amended to line with the handrail and thus complying with the 2.000m minimum side yard requirement.

An amendment regarding the above has been issued to the building contractor.

The daylight indicator, as discussed with you, does not cut through the proposed handrail and thus the hand rail design/ location complies with the Resource Management Act.

If any further information is required please do not hesitate to contact me.

Yours faithfully



Gary D Buswell B Arch NZCD (Arch)

Architectural Designer

cc Mr & Mrs Higgins
58 Skibo Street Dun

cc J. Kingston Builder

TO	FILES
Chief Executive	✓
Asst. Chief Exec	Ac. 41
Group Mgr	Ms. *
Health	Personnel
Property	Report
Dir. Counsel	
Planning Dept.	
Marketing	
Finance	
Legal	
Life	

4498 JB

DCC
 - 1 APR 1998
 RECORDS SECTION

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

Telephone No:	477-4000	CCC No:	ABA 22969	Reference No:	5037684
---------------	----------	---------	-----------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents)

PROJECT LOCATION	PROJECT
<p>Name and Mailing Address:</p> <p>HIGGINS, ANDREW HAMILTON C/O TOM DE SPONG LTD 80 LARNACH RD DUNEDIN 9001</p>	<p>All <input checked="" type="checkbox"/></p> <p>Stage No. of an intended stages</p> <p>New Building <input type="checkbox"/></p> <p>Alteration <input checked="" type="checkbox"/></p>
LEGAL DESCRIPTION	<p>Intended Use(s) in detail: HEATER- SIESTA</p> <p>Intended Life:</p> <p>Indefinite, not less than 50 years <input checked="" type="checkbox"/></p> <p>Specified as years</p> <p>Demolition <input type="checkbox"/></p>
<p>Property Number: 5037684 Valuation Roll No: 27370 70500</p> <p>Street Address: 58 SKIBO STREET, DUNEDIN 9001</p> <p>Legal Description: LOT 1 DP 6185</p>	

This is:

- A final code compliance issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name: 

Position: AUTHORISED OFFICER

Date: 09/12/2002

BUILDING CONSENT

Section 35, Building Act 1991

ISSUED BY:



Telephone No:	477-4000	Consent No:	ABA 22969	Reference No:	5037684
---------------	----------	-------------	-----------	---------------	---------

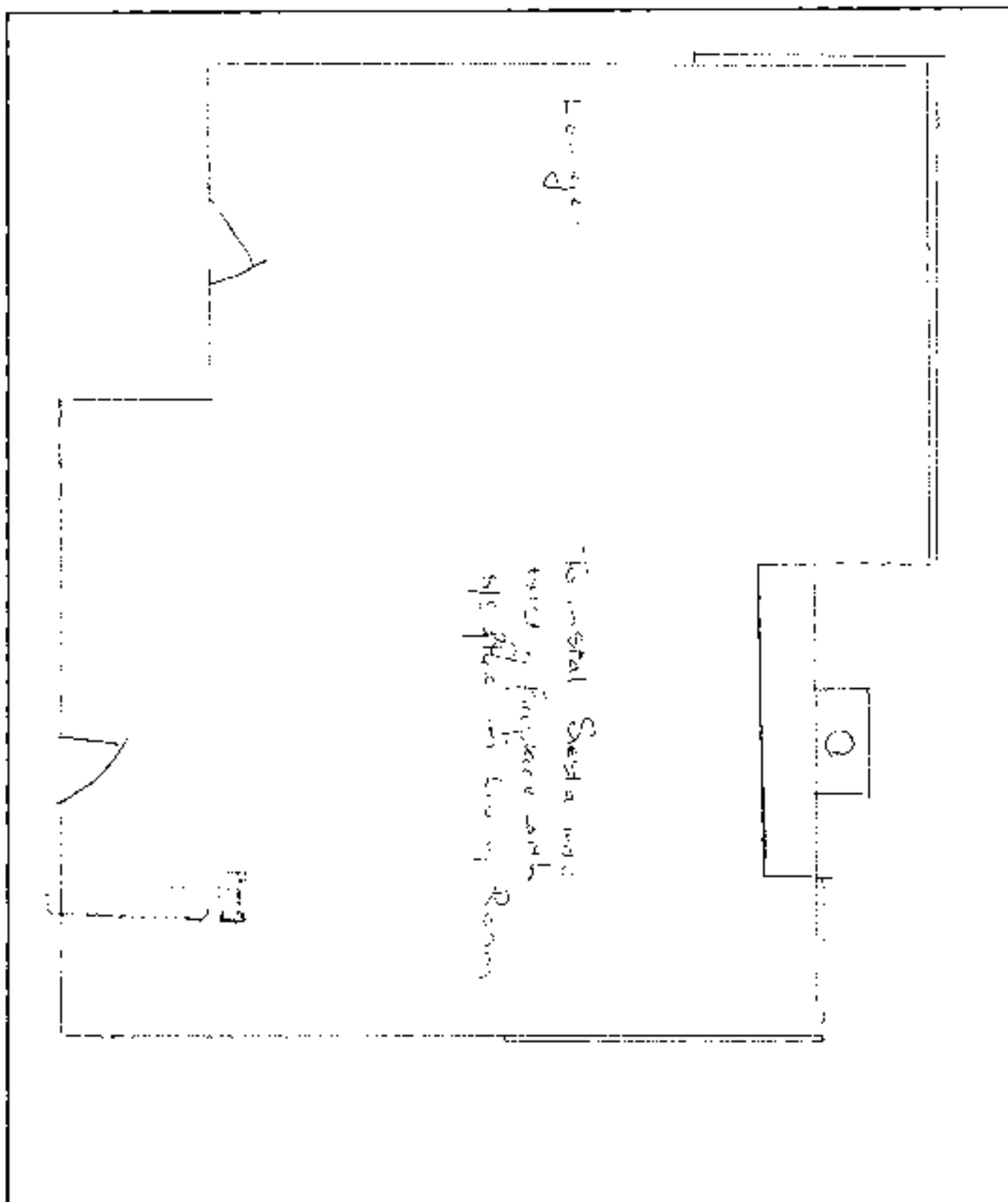
(Insert a cross in each applicable box. Attach relevant documents)

APPLICANT	PROJECT
Name: HIGGINS, ANDREW HAMILTON C/O TOM DE SPONG LTD 80 LARNACH RD DUNEDIN 9001	All <input checked="" type="checkbox"/> Stage No of an intended stages
PROJECT LOCATION	New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/>
Street Address: 58 SKIBO STREET, DUNEDIN 9001	Intended Use(s) in detail: HEATER- SIESTA
LEGAL DESCRIPTION	Intended Life: Indefinite, not less than 50 years <input checked="" type="checkbox"/> Specified as years Demolition <input type="checkbox"/>
Property Number: 5037684 Valuation Roll No: 27370 70500 Legal Description: LOT 1 DP 6185	Estimated Value: \$2000
COUNCIL CHARGES	Signed for and on behalf of the Council:
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$ ALL FEES ARE GST INCLUSIVE	Name: Position: AUTHORISED OFFICER Date: 05/11/2002

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."

1. Draw a plan accurately locating the heater within the building and the adjacent walls, windows and doors.
2. Show the location of the existing water cylinder if a wetback/hot water booster is to be fitted.



<p>Plan of proposed solid fuel heater at: <u>22 - O'Keefe Street</u></p>	<p>Project No: <u>22969</u> Approving Officer: <u>[Signature]</u> Date: <u>5-11-02</u></p>
---	--

CODE COMPLIANCE CERTIFICATE

DCCBCA 14-07 v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2015-633	Telephone No:	03 477 4000
APPLICANT		PROJECT	
C A Davis and K E Turnbull C/O Nichols Landscaping PO Box 170 Dunedin 9054		Work Type: New Construction Intended Use/Description of Work: Erect Retaining Wall Adjacent to Existing Wall Intended Life: Indefinite, not less than 50 years.	
PROJECT LOCATION		This CCC also applies to the following Amended Consents: N/A	
58 Skibo Street Dunedin			
LEGAL DESCRIPTION			
Legal Description: LOT 1 DP 6185 Valuation Roll No: 27370-70500 Building Name: N/A			

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:



Team Leader Inspections

Date: 13 August 2015



Hand made soil?

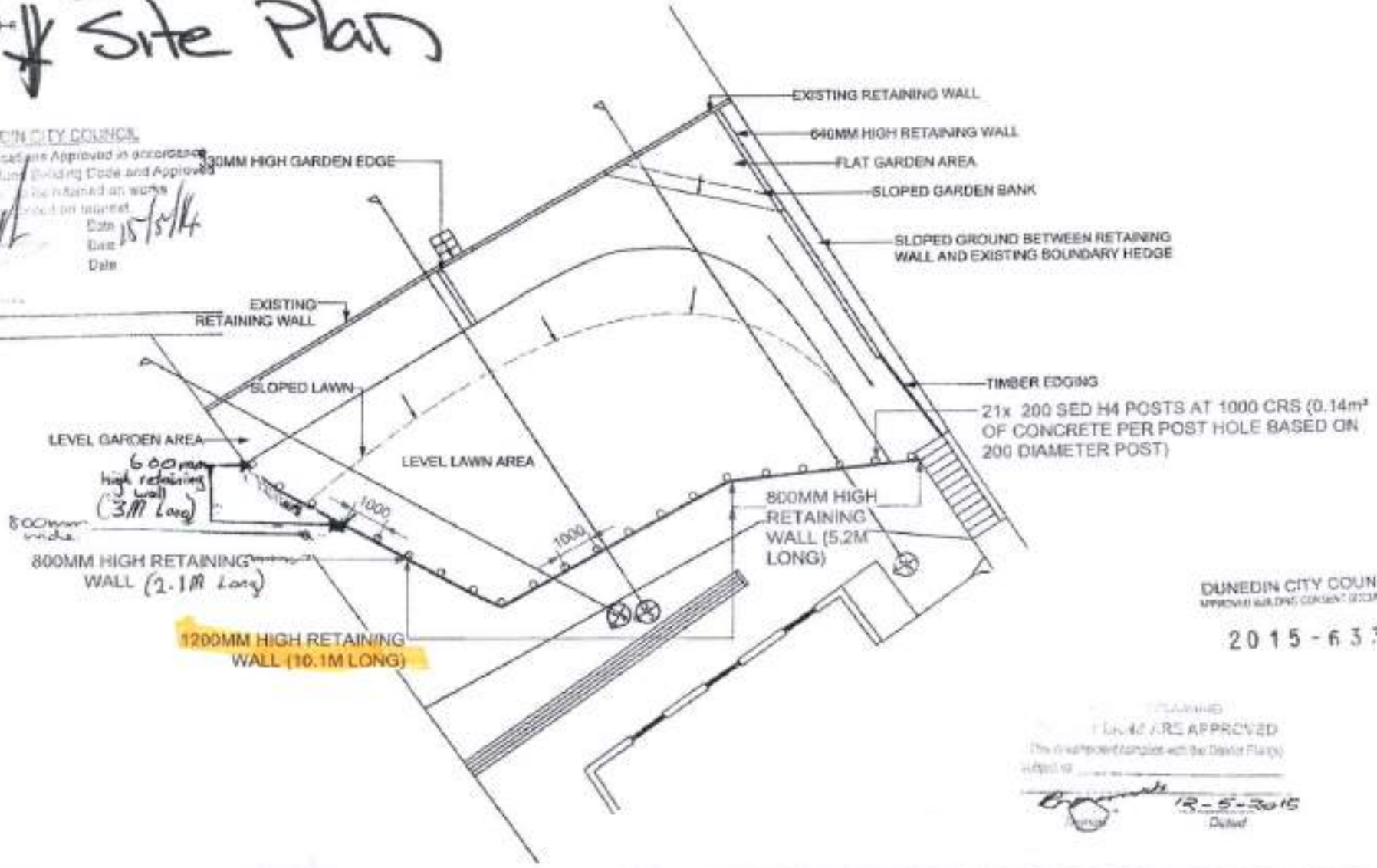
Site Plan

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance with the New Zealand Building Code and Approved Plans. No further work to be retained on works project on internet.

For KAG: *[Signature]*
 Date: 18/12/14
 Date:
 Date:

NOTE



DUNEDIN CITY COUNCIL
 APPROVED BUILDING CONSENT DOCUMENT

2015-633

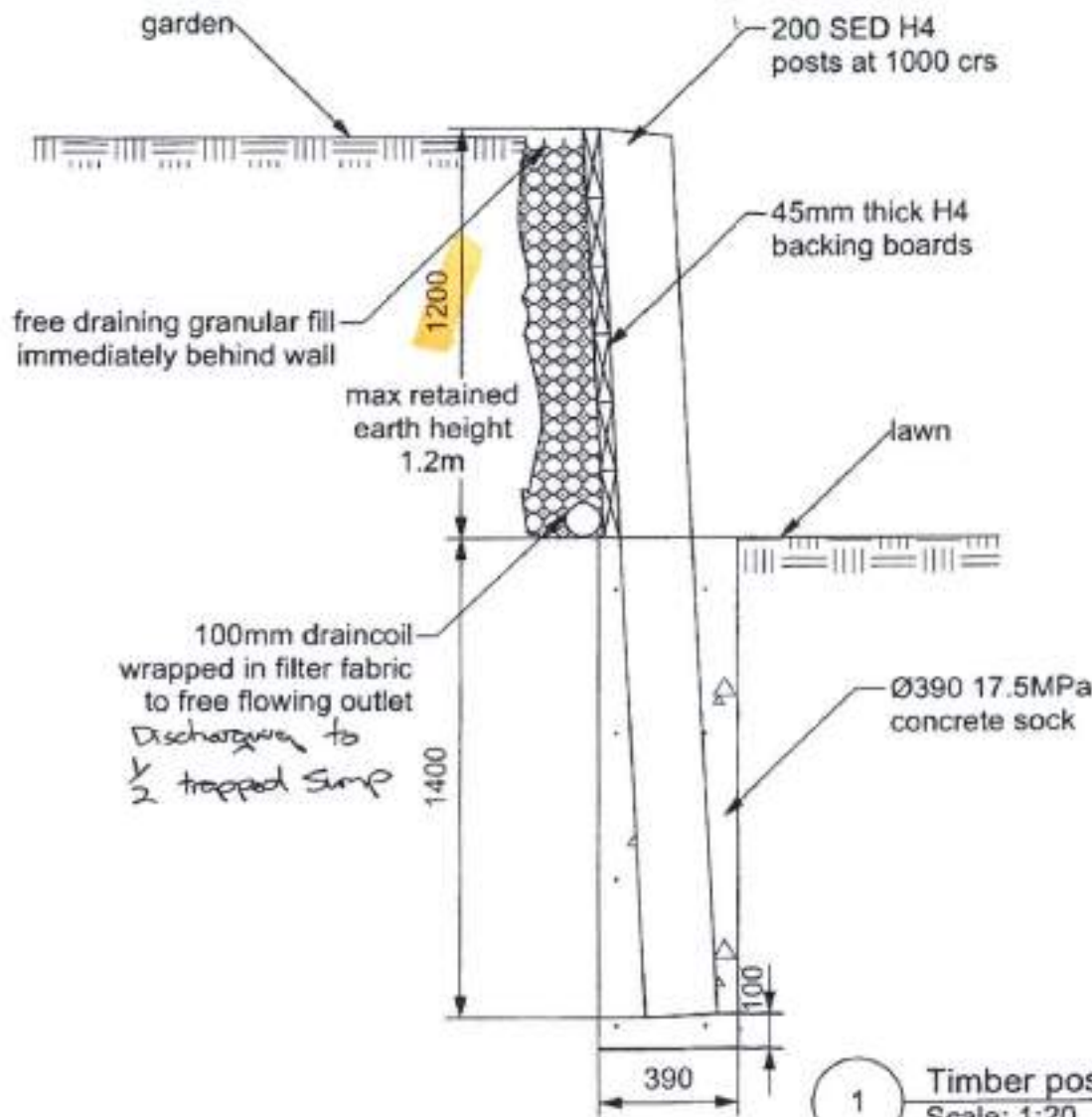
TRAINING
 1 UNIT ARE APPROVED
 (This development complies with the District Plan)
 Approved by: *[Signature]*
 12-5-2015
 Date:

SCALE (A3) 1:100	
REV	AMENDMENTS
	DATE

SHEET 1 OF 3	DATE
DESIGNED: NEVILLE STEWART &	
DRAWN: CHANTAL WHEATLEY	
CHECKED: CHANTAL WHEATLEY	12/12/14
SCALE: ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS STATED OTHERWISE	



KATE AND CRAIG TURNBULL RESIDENCE
58 SKIBO STREET DUNEDIN 2015
QUANTITIES PLAN FOR TIMBER POST AND RAIL RETAINING WALL



1 Timber post and rail retaining wall
Scale: 1:20

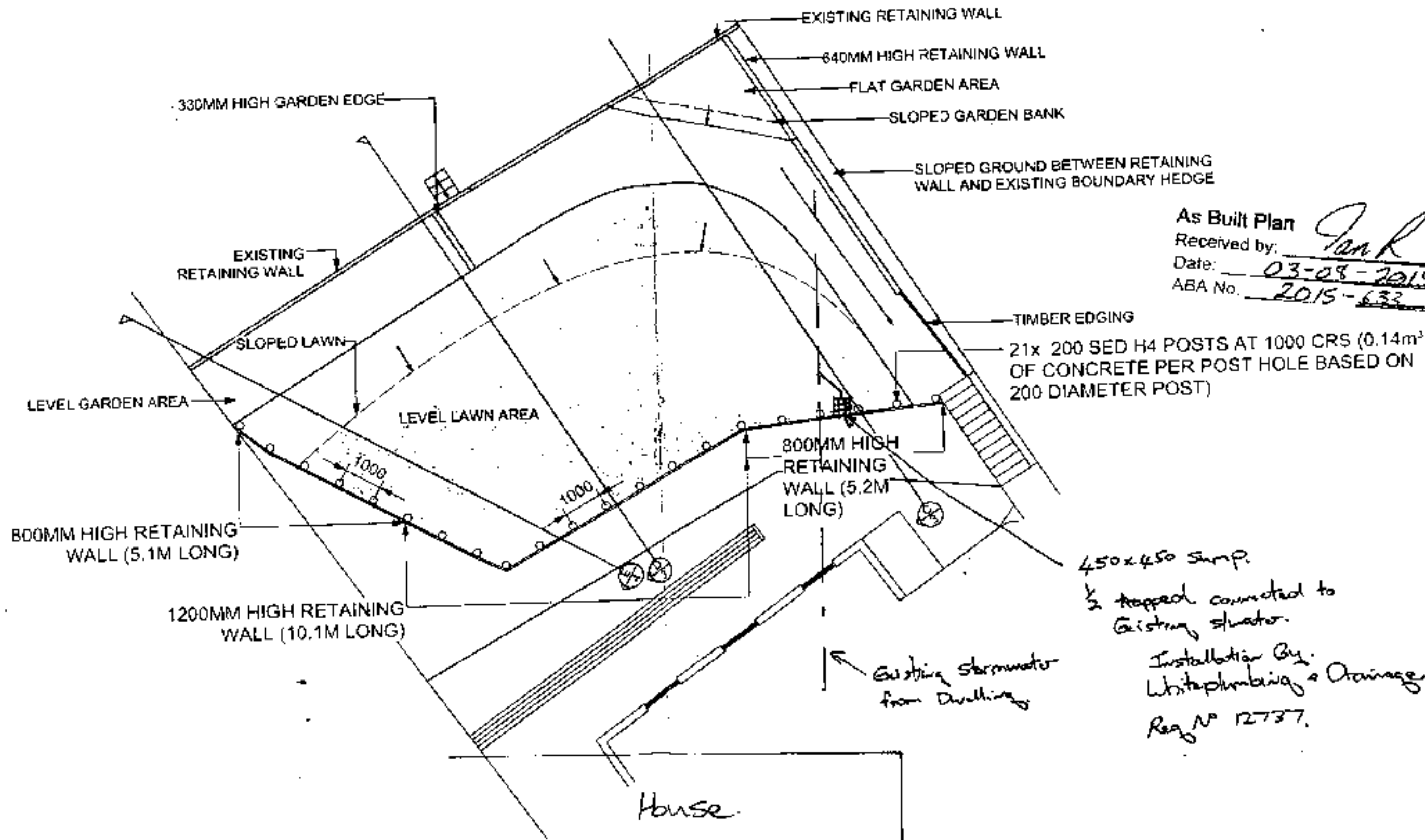
DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENTS
2015-633

SCALE (A4) 1:20		SHEET 5 OF 5	DATE
DESIGNED	HEVILLE STEWART & CHANTAL WHITEY	CHANTAL WHITEY	27-08-15
DRAWN	CHANTAL WHITEY	ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS STATED OTHERWISE	
REV	AMENDMENTS	DATE	



KATE AND CRAIG TURNBULL RESIDENCE
58 SKIBO STREET DUNEDIN 2015
TIMBER POST AND RAIL RETAINING WALL

As Built Drainage Plan.



As Built Plan
 Received by: *JAN R*
 Date: 03-08-2015
 ABA No. 2015-633



Site Plan

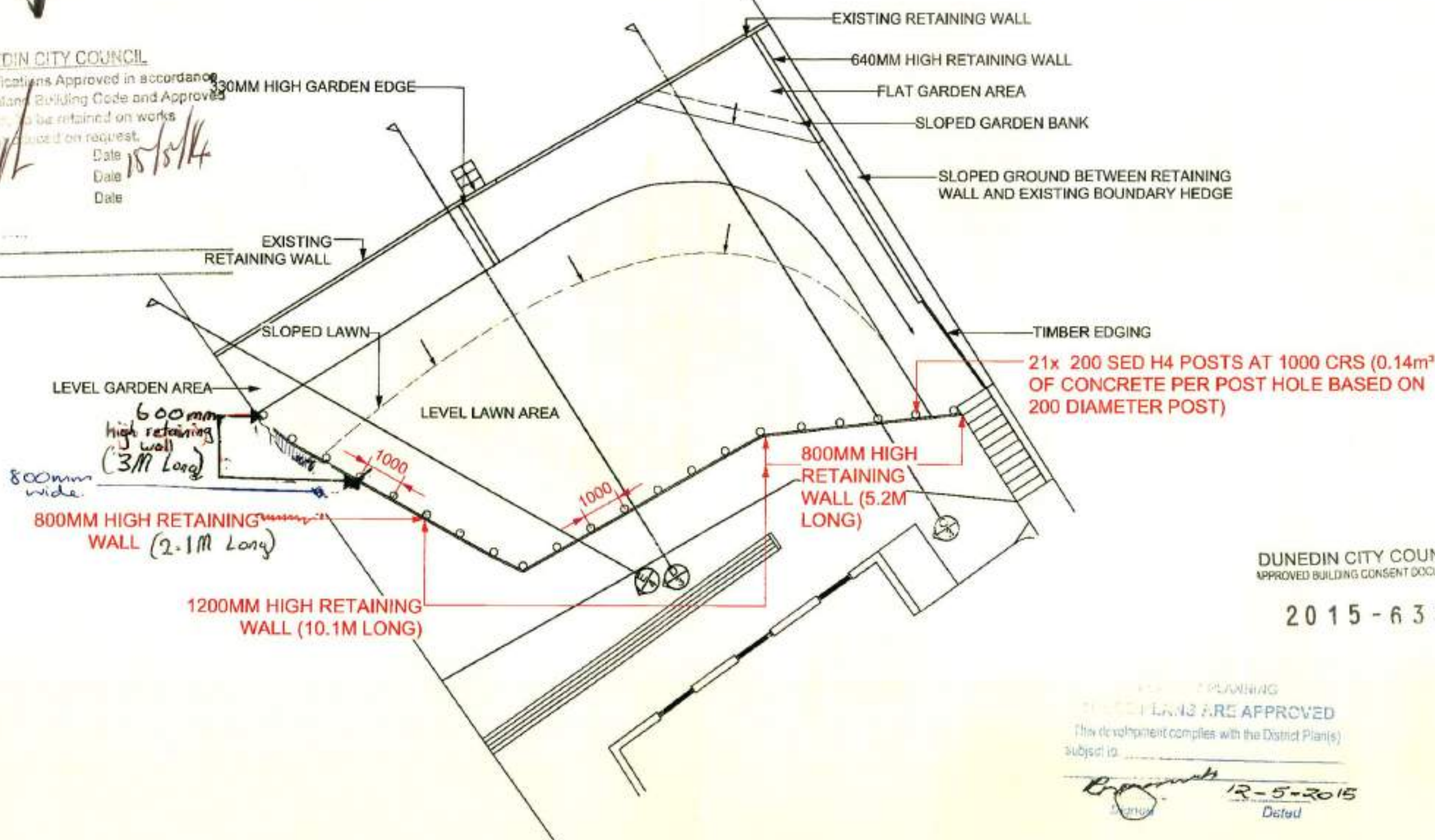
How much soil?

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents to be retained on works produced on request.

Flashing Health Date 15/5/14
Date
Date

NOTE



DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENT

2015-633

PLANNING
THESE PLANS ARE APPROVED
This development complies with the District Plan(s)
subject to

[Signature]
12-5-2015
Dated

SCALE (A3) 1:100

SHEET 1 OF 5	DATE
DESIGNED NEVILLE STEWART & CHANTAL WHITBY	
DRAWN CHANTAL WHITBY	12-04-15
NOTES ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS STATED OTHERWISE	

Neville Stewart
Landscaping Ltd

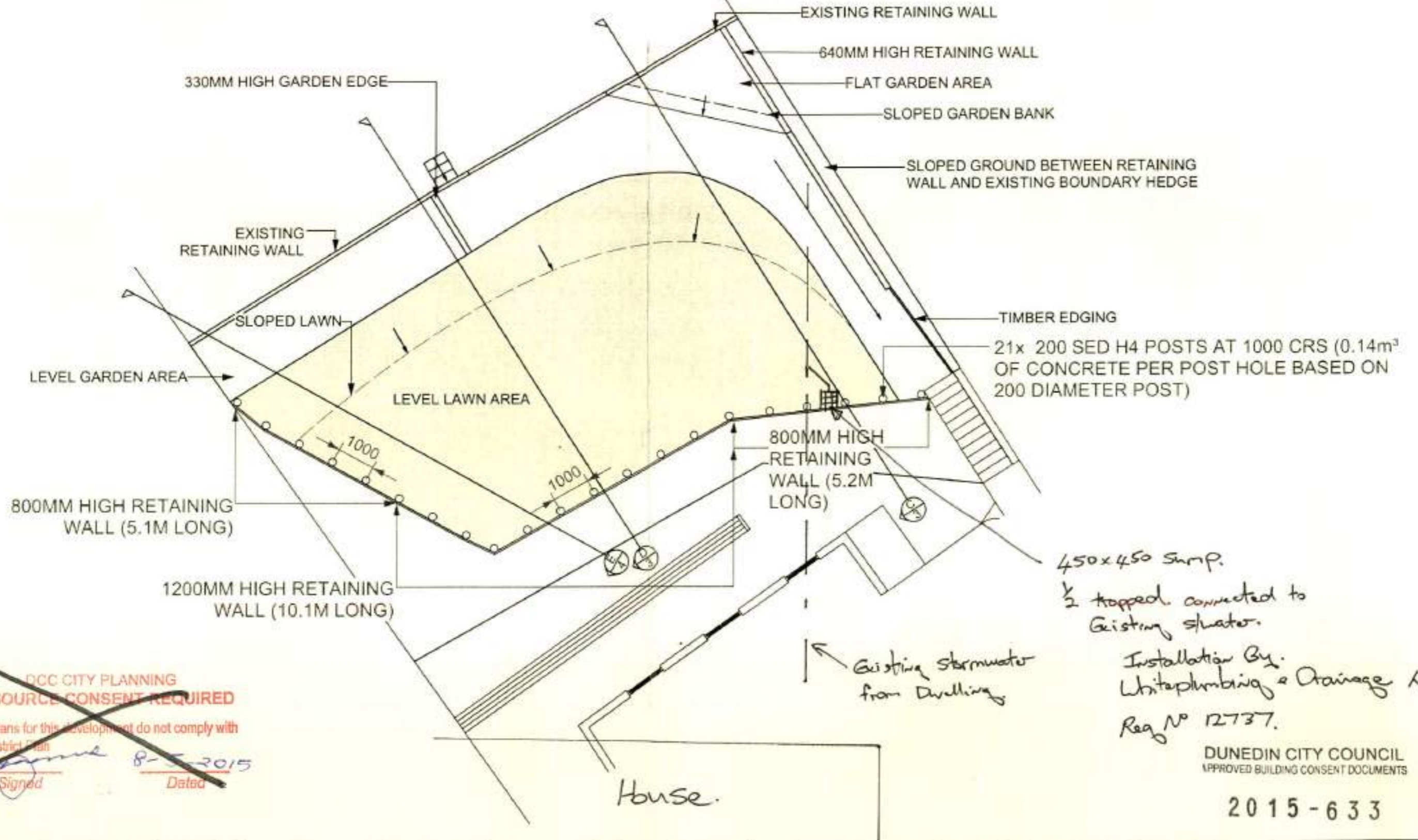
KATE AND CRAIG TURNBULL RESIDENCE
58 SKIBO STREET DUNEDIN 2015
QUANTITIES PLAN FOR TIMBER POST AND RAIL RETAINING WALL

REV	AMENDMENTS	DATE



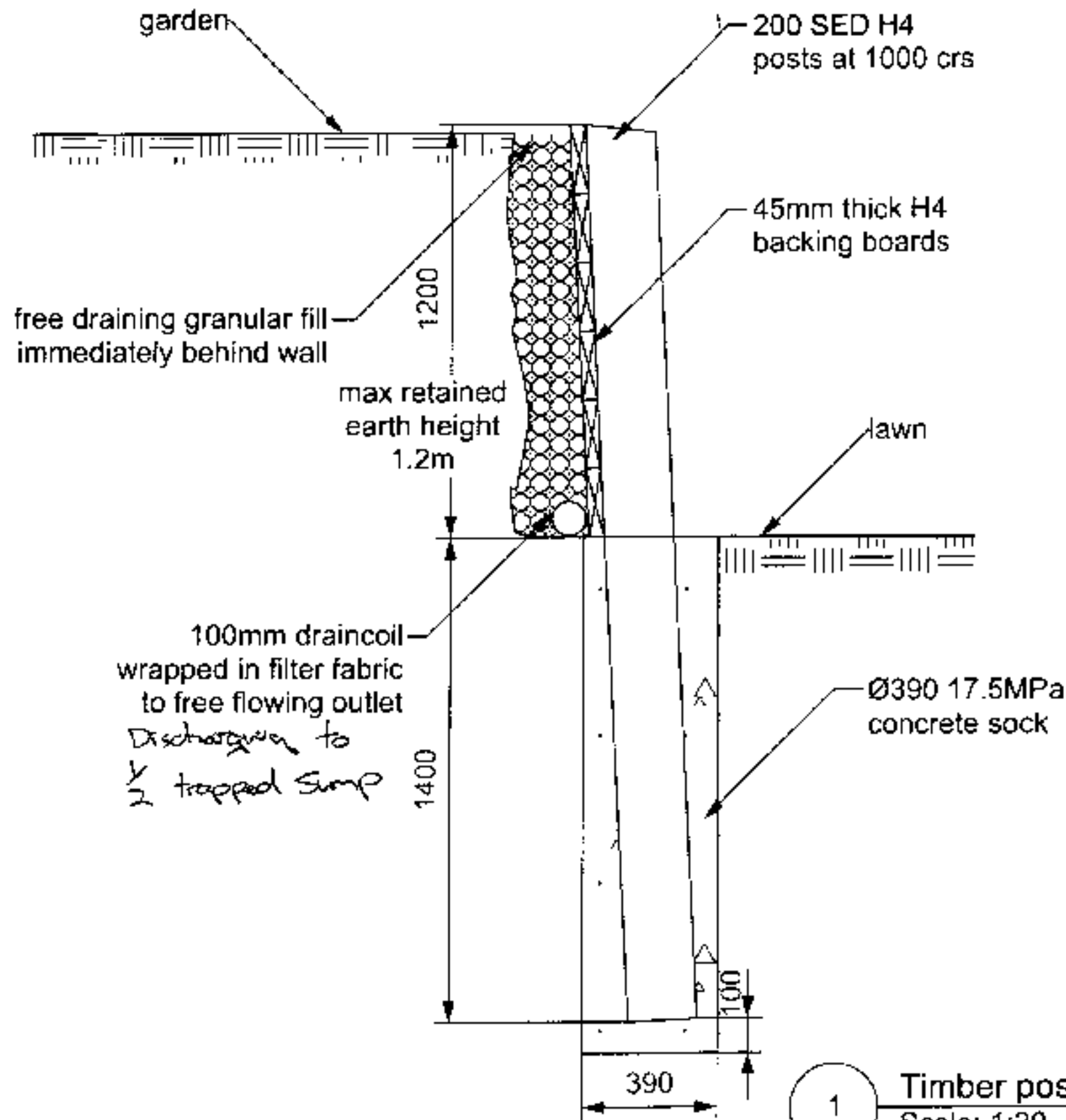
* Drainage Plan only

DCC COPY



~~DCC CITY PLANNING
RESOURCE CONSENT REQUIRED~~
The Plans for this development do not comply with the District Plan
[Signature]
Signed
8-5-2015
Date

SCALE (A3) 1:100	SHEET 1 OF 5	DATE		KATE AND CRAIG TURNBULL RESIDENCE 58 SKIBO STREET DUNEDIN 2015 QUANTITIES PLAN FOR TIMBER POST AND RAIL RETAINING WALL
	DESIGNED	NEVILLE STEWART & CHANTAL WHITBY		
REV	AMENDMENTS	DATE	NOTES	
			ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS STATED OTHERWISE	



1 Timber post and rail retaining wall
Scale: 1:20

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT DOCUMENTS
2015-633

SCALE (A4) 1:20		SHEET 5 OF 5		DATE			KATE AND CRAIG TURNBULL RESIDENCE	
		DESIGNED	NEVILLE STEWART & CHANTAL WHEBY		12-04-15		58 SKIBO STREET DUNEDIN 2015	
		DRAWN	CHANTAL WHEBY			TIMBER POST AND RAIL RETAINING WALL		
		NOTES	ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE					
REV	AMENDMENTS	DATE						

CODE COMPLIANCE CERTIFICATE

DCCBCA-14-37 v3.0

Section 95, Building Act 2004

CCC NO:	ABA-2016-737	Telephone No:	03 477 4000
APPLICANT		PROJECT	
C A Davis and K E Turnbull 58 Skibo Street Dunedin 9012		Work Type: Alterations/Repairs Intended Use/Description of Work: Alter Dwelling - Remove Wall between Kitchen and Living Rooms and Replace with Beam, Alter Kitchen including Installation of Insulation to External Walls	
PROJECT LOCATION		Intended Life:	
58 Skibo Street Dunedin		Indefinite, not less than 50 years.	
LEGAL DESCRIPTION		This CCC also applies to the following Amended Consents:	
Legal Description: LOT 1 DP 6185 Valuation Roll No: 27370-70500 Building Name: N/A		N/A	

The Building Consent Authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:



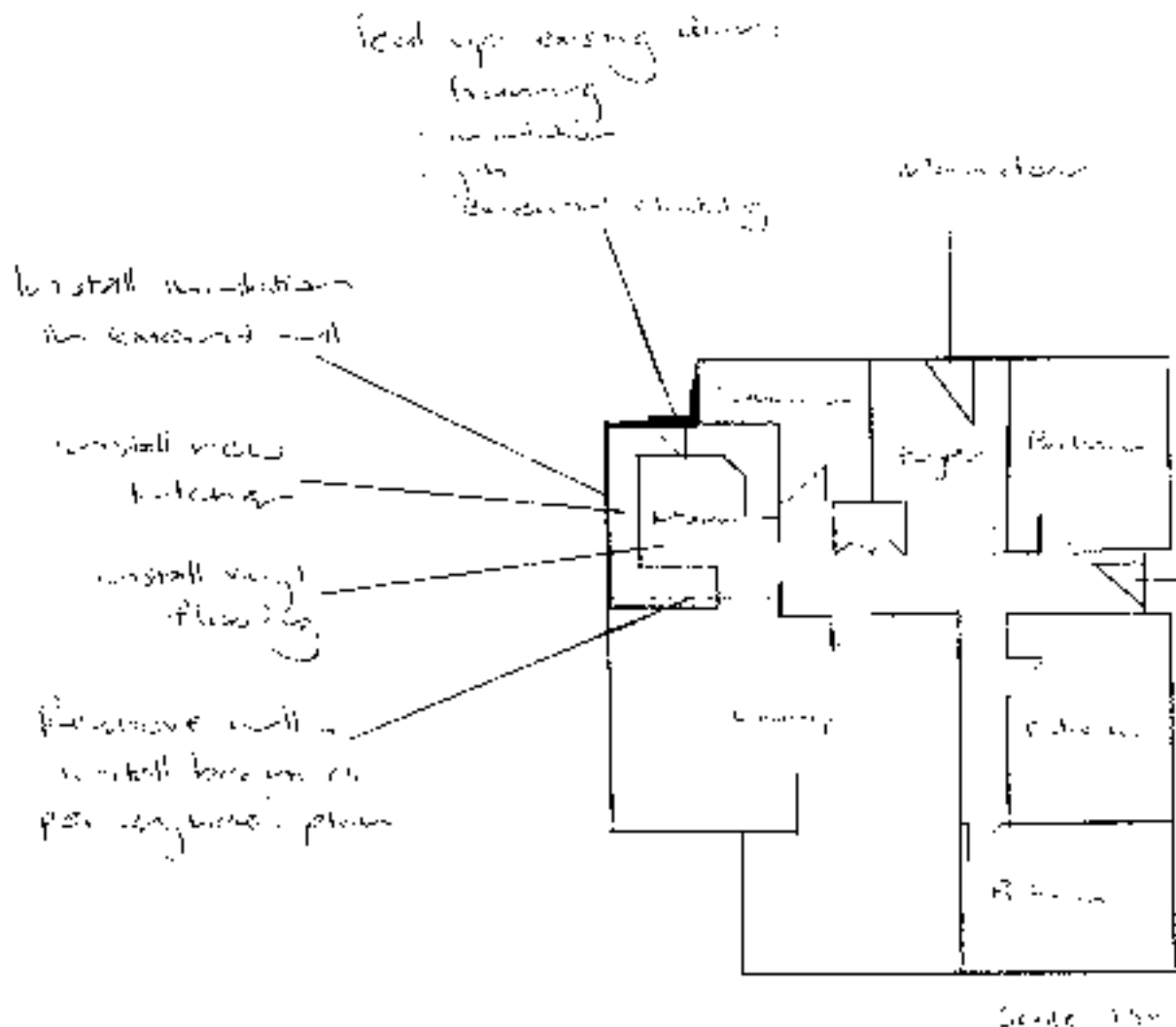
Team Leader Inspections

Date: 28 September 2016

Flue from SE Side St

DOMESTIC SMOKE ALARM
Smoke alarms complying with the NZBC clause F7 are required in this building.

External cladding = Shadowclad
The closing in of the door for a wall with exterior wall cladding is exempt building work under the Building Act 2004 Schedule 1 Section 8



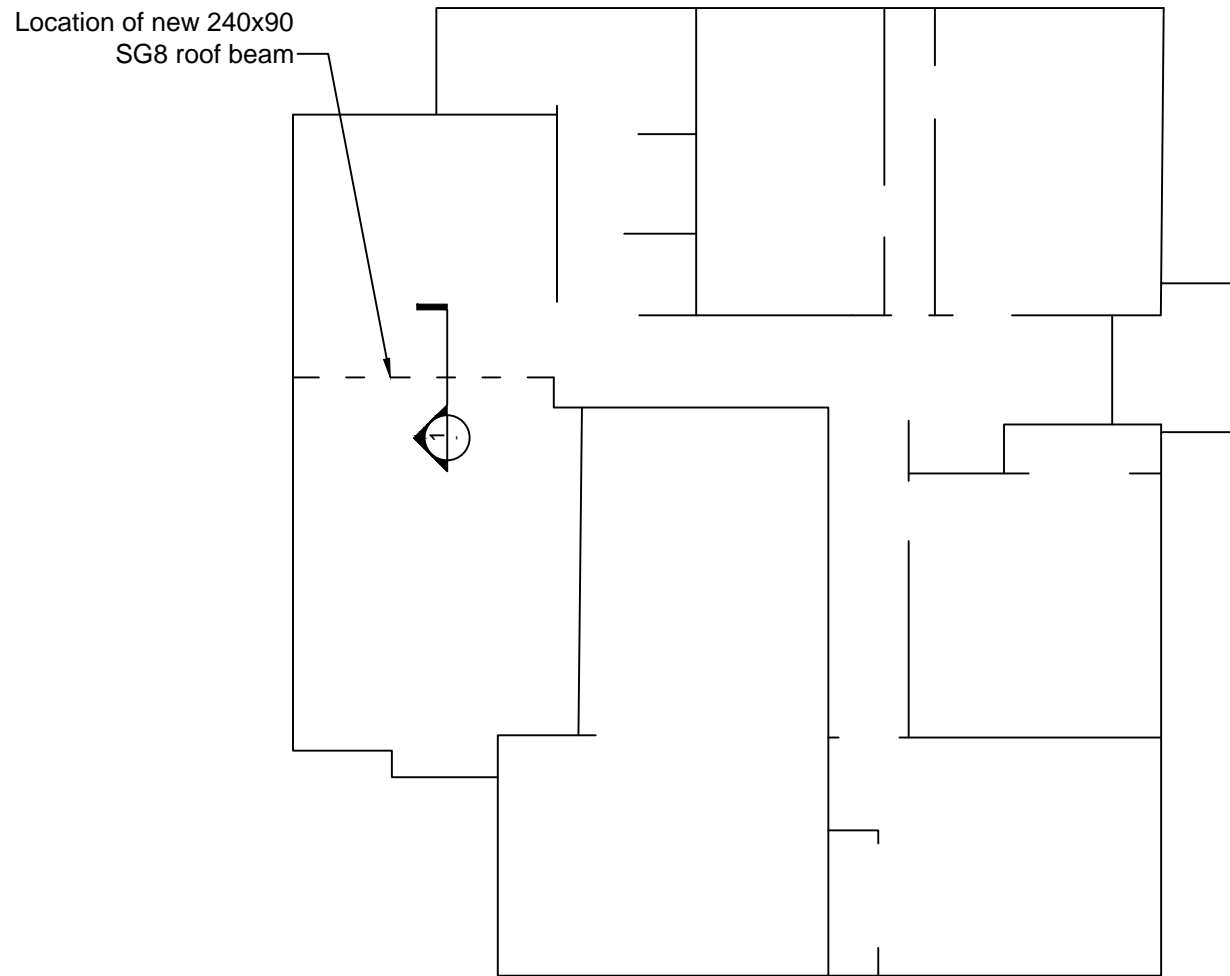
insulated door

Measurements

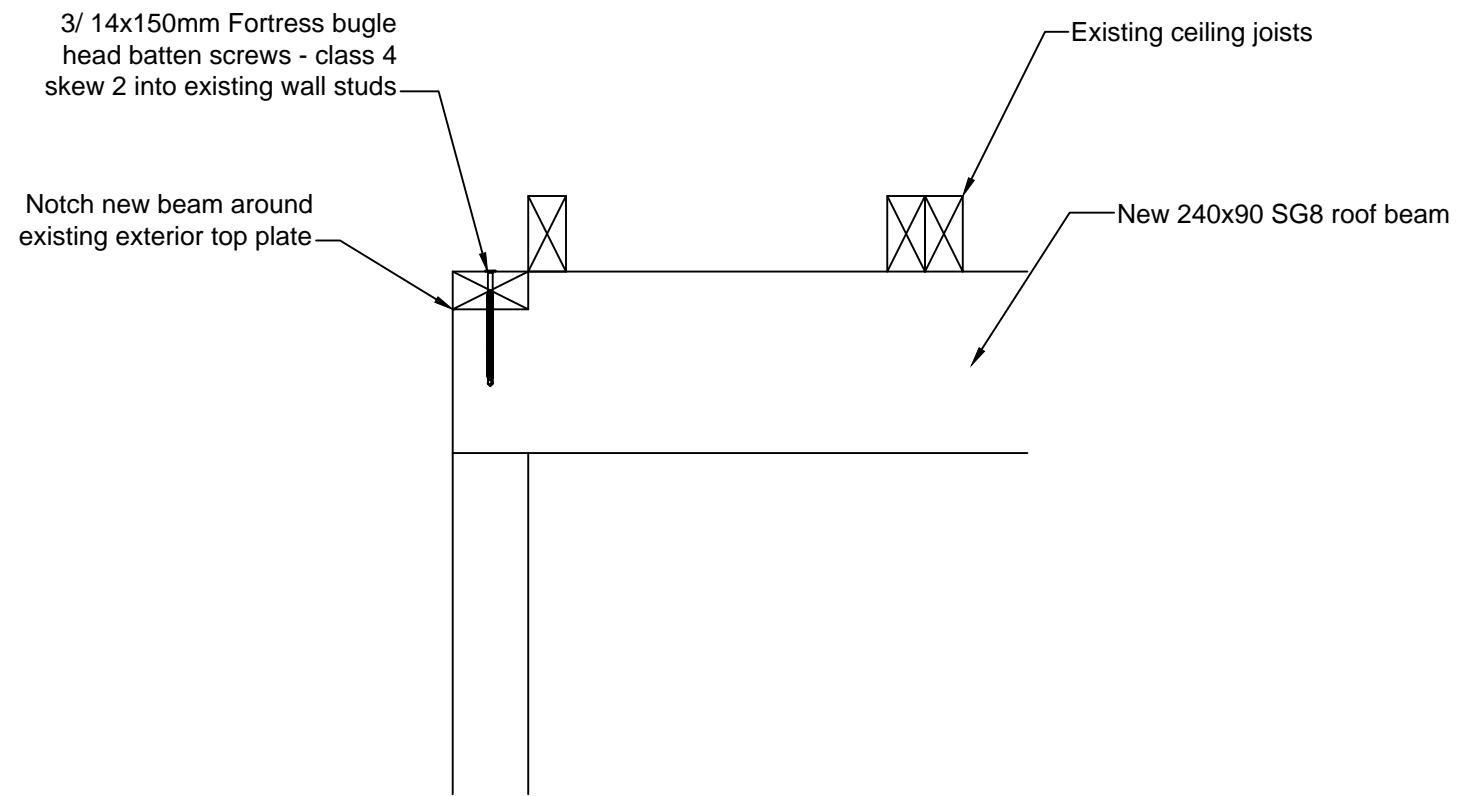
- Basement of kitchen
- Kitchen paint
- Wall painting of kitchen
- window frame
- flooring

DUNEDIN CITY COUNCIL
Plans and Specifications approved in accordance with the NZ Building Code. To be retained on works and produced on request.
Building: gmsincla
Date: 30/05/2016

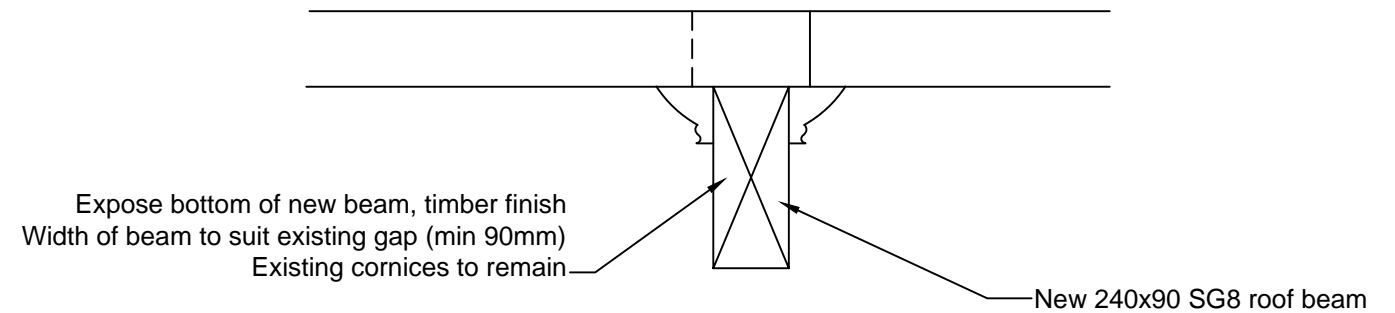
1 Insulation = Pink Batts Ultra Wall Insulation R2.8, installed as per Building Code
 Insulation will be installed from the beam around to the end of the new external cladding, but not in the internal wall between the kitchen and bathroom
 Retro fitting all areas as required with Brether type building paper and stapled with tidy folds to the back edge of the framing To Be inspected
 This information added as endorsed by the owner



Beam location
1:100



Beam to existing wall connections
1:10



1 SG8 Section
- 1:10

DUNEDIN CITY COUNCIL
 Plans and Specifications approved in accordance with the NZ Building Code. To be retained on works and produced on request.
 Building: gmsincla
 Date: 30/05/2016

DOMESTIC SMOKE ALARM
 Smoke alarms complying with the NZBC clause F7 are required in this building.



REV	REVISIONS	Name	Date
	DESIGNED	K M McGrannachan	18/04/2016
	DRAWN	K M McGrannachan	18/04/2016
	APPROVED	L McGrannachan	18/04/2016

58 Skibo St, Kew		Status	Construction
Alteration Details		Date	18/04/2016
		Scale	(A3) As Shown
Drawing No.	Sheet No.	Rev.	
J224	S01	0	

Code Compliance Certificate Form 7
Section 95, Building Act 2004

C A Davis and K E Turnbull
58 Skibo Street
Dunedin 9012

The building

Street address of building: 58 Skibo Street Dunedin

Legal description of land where building is located: LOT 1 DP 6185

Building Name: N/A

Location of building within site/block number:

Level/unit Number:

Current, lawfully established, use: Housing

Number of occupants: 4

Year first constructed: 1960

The owner

Name of owner: C A Davis and K E Turnbull

Contact person: C A Davis and K E Turnbull

Mailing address: 58 Skibo Street, Dunedin 9012

Street address/registered office:

Mobile: 021 458 888

Landline:

Email address: katedavis2016@hotmail.com

First point of contact for communications with the building consent authority: As above

Building work

Building Consent Number: ABA-2018-773 Add Deck to Dwelling, Install Sliding Doors

This CCC also applies to the following amended consents: N/A

Issued by: Dunedin City Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that-

- (a) The building work complies with the building consent



Team Leader Inspections
On behalf of Dunedin City Council

Date: 13 November 2018

BUILDING CONSENT - ABA-2018-773

(Section 51, Building Act 2004)
Form 5

The building

Street address of building: 58 Skibo Street Dunedin

Legal description of land where building is located: LOT 1 DP 6185

Building Name: N/A

Location of building within site/block number:

Level/unit Number:

The owner

Name of owner: C A Davis and K E Turnbull

Contact person: C A Davis and K E Turnbull

Mailing address: C/O Gary Buswell, 1/38 Begg Street, Dunedin 9012

Street address/registered office:

Mobile: 021 458 888

Landline:

Email address: katedavis2016@hotmail.com

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Add Deck to Dwelling, Install Sliding Doors

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

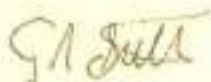
A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Project Consideration PCON-2018-185

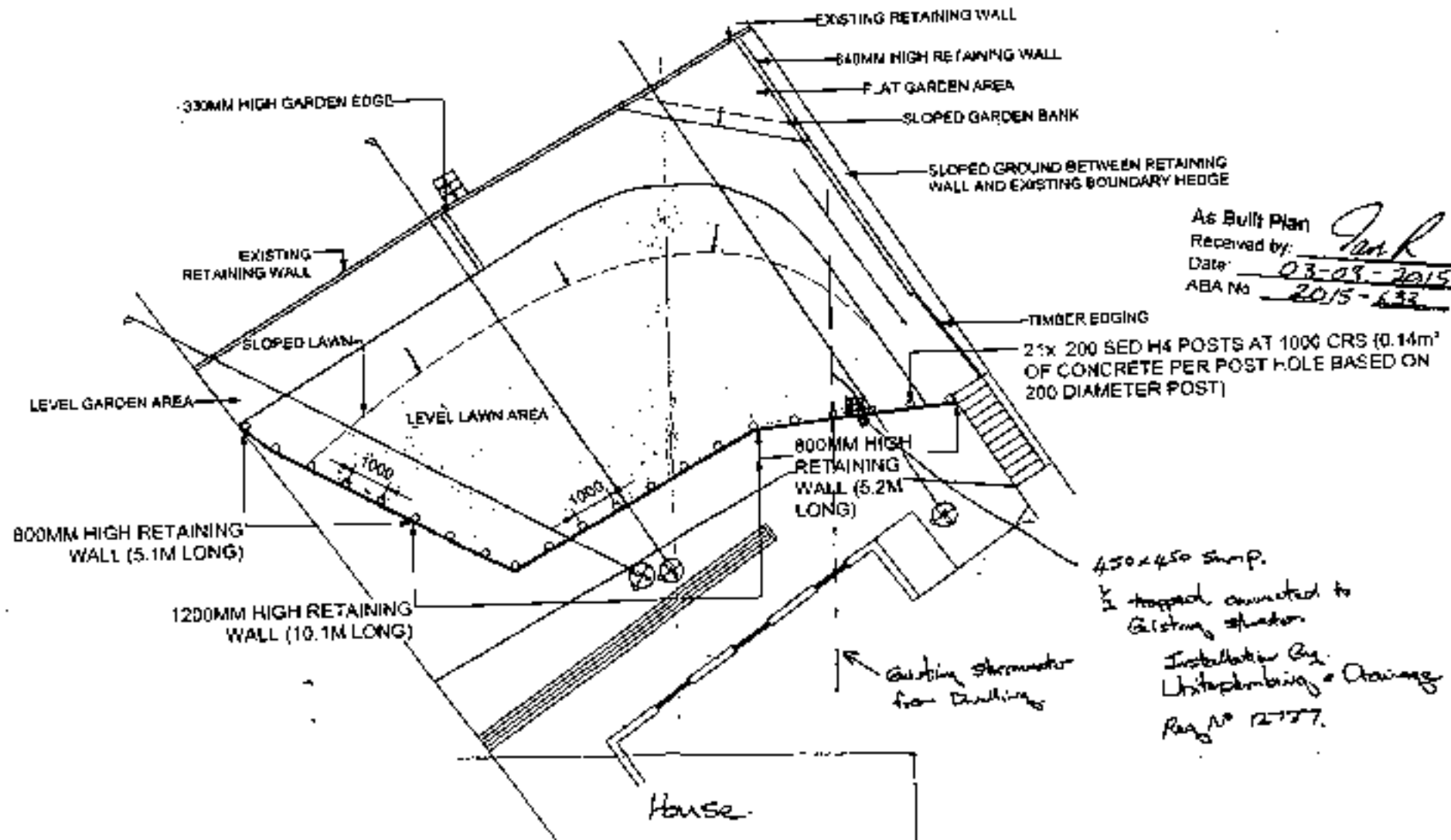
List of Required Site Inspections



Grant Sutton
Authorised Officer
On behalf of Dunedin City Council

Date: 5 July 2018

As Built Drainage Plan.



As Built Plan
 Received by: *Jan R*
 Date: 03-09-2015
 ABA No: 2015-133

Copy of existing drainage plan show drains

in Common

DUNEDIN DRAINAGE AND SEWERAGE BOARD House Connection Plan

APPLICATION NO. **DE/2299**

DATE _____

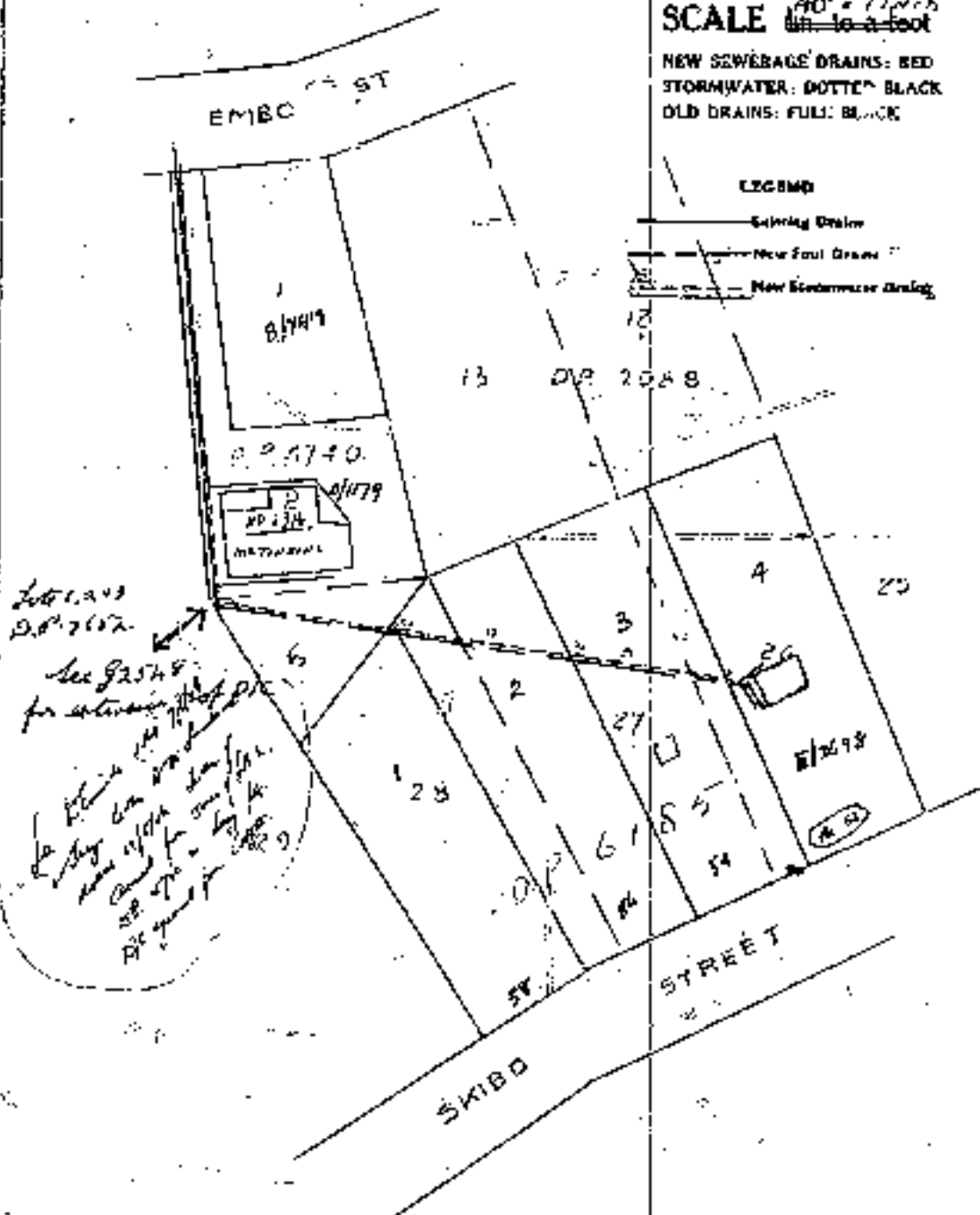
SCALE $\frac{1}{40}$ inch to a foot

NEW SEWERAGE DRAINS: RED
STORMWATER: DOTTED BLACK
OLD DRAINS: FULL BLACK

LEGEND

- Existing Drain
- New Foul Drain
- New Stormwater Drain

Binding Margin to be left Blank



Owner Edmund Young Athene Block 3 - Buntinghine East
 Street Skibb Section 23, 24, 25, 27, 28 Plan 3512
 Locality Kaitiaki Allotment _____

Signature of Drainer W. Bredeman's Dec.
Walter Bredeman

DUNEDIN CITY COUNCIL

Plans and Specifications Approved in accordance with The New Zealand Building Code and Approved Documents. To be retained on works and produced on request.

Building Date **29-6-2018**
 Plumbing Date
 Health Date

NOTE

IMPORTANT
 Council records indicate a S.W. drain located under deck. Contractor shall confirm exact location of drain prior to construction. Any post footing located within 1000mm of drain shall be taken 200mm min. below drain invert level.

LEGAL DES

LD-1
 DP 6185

site plan 1:200

GENERAL NOTES

All work shall comply with the NZBC and Approved Documents. To be retained on works and produced on request.
 Construction shall check and confirm all dimensions on site. All dimensions shall be brought to the attention of the Architectural Designer. Provide ceiling mounted carbon monoxide detectors in living, dining & bedrooms with a minimum of one bedroom as required to comply with NZBC 7.1.2.

DECKING

2x120x45x35 H27 Premium Decking to be used.

PERIMETER EDGING

50x50x20 H27 Premium Smooth Edge Decking. Miter all corners.

JOISTS

2x120x45x35 H27 Decking at 400mm centres. Max. length including full depth of joists. Full depth of joists. Max. length of joists.

PERIMETER JOISTS

2x120x45x35 H27 Decking at 400mm centres. Max. length of joists. Full depth of joists. Max. length of joists.

BEARERS

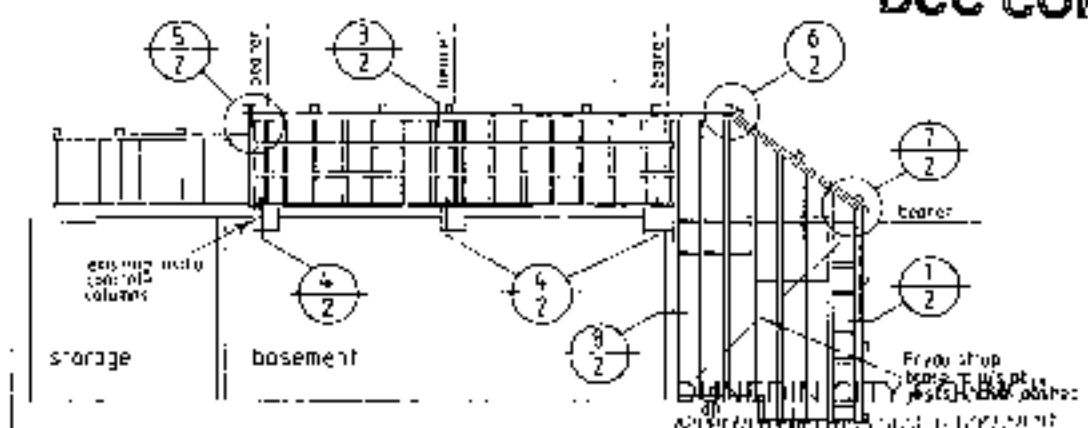
2x120x45x35 H27 Decking at 400mm centres. Max. length of joists. Full depth of joists. Max. length of joists.

POSTS

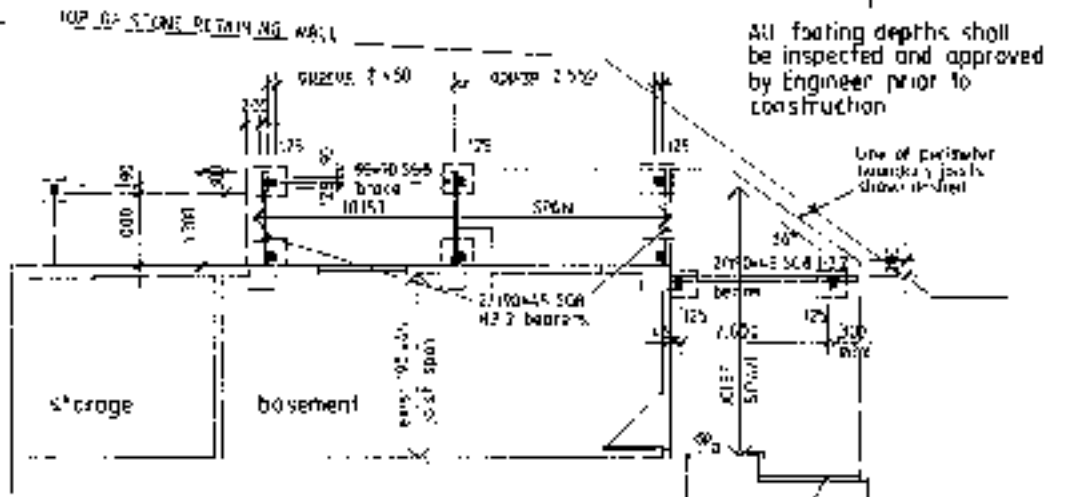
120x45x35 H27 Decking at 400mm centres. Max. length of joists. Full depth of joists. Max. length of joists.

STRINGERS

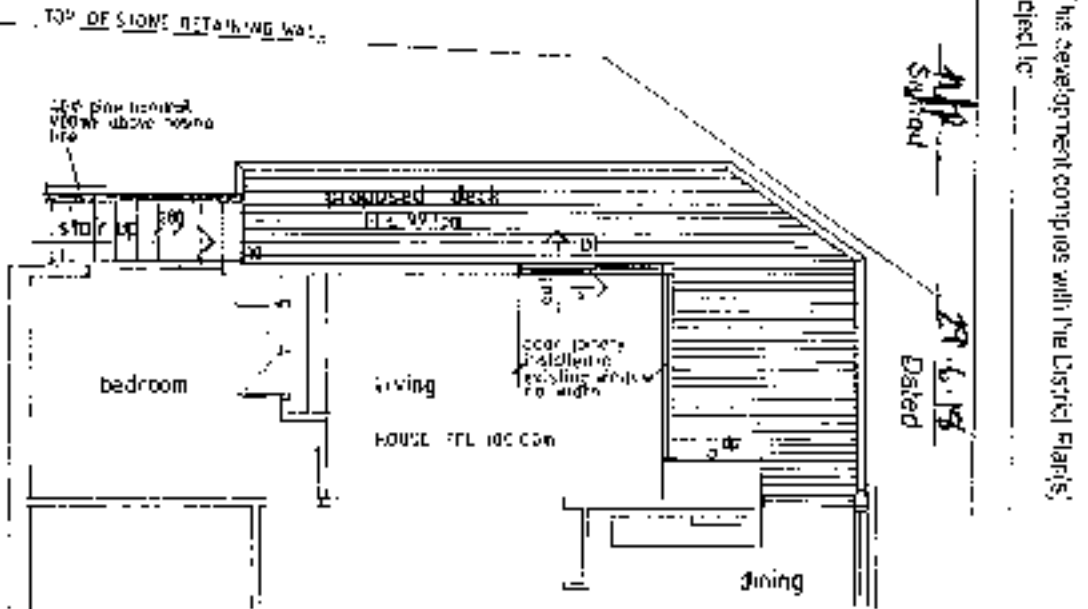
120x45x35 H27 Decking at 400mm centres. Max. length of joists. Full depth of joists. Max. length of joists.



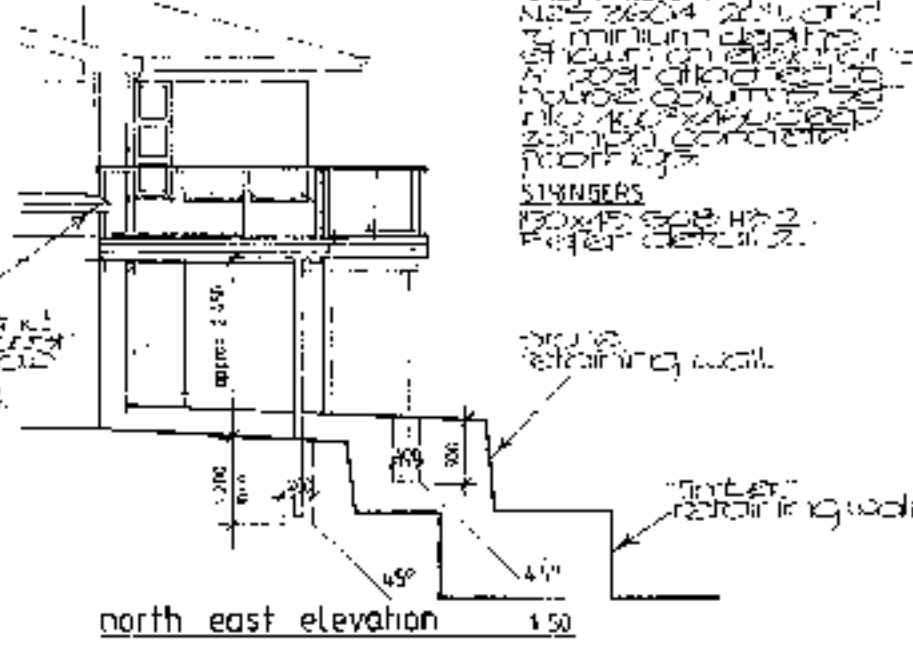
deck joist layout plan 1:50



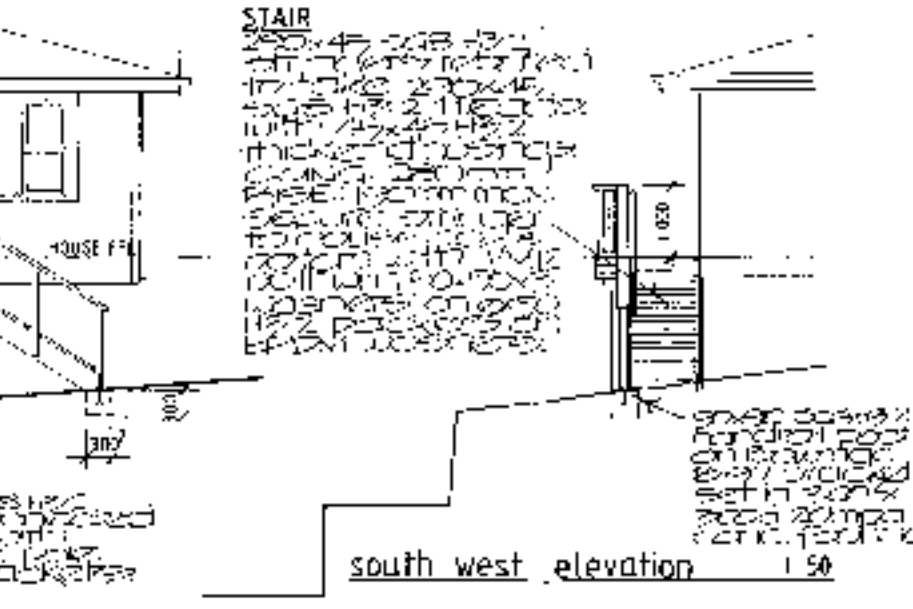
deck foundation plan 1:50



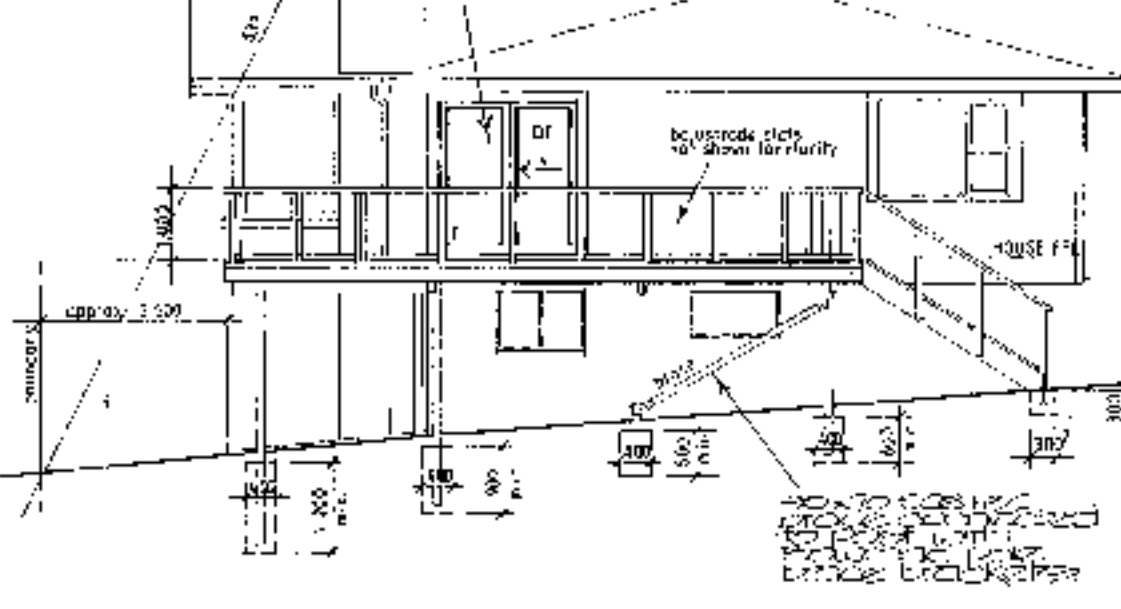
proposed deck plan 1:50



north east elevation 1:50



south west elevation 1:50



north west elevation 1:50

EXTERIOR JOINERY
 All exterior joinery shall be made of treated pine. All joinery shall be finished with a clear finish. All joinery shall be installed in accordance with the manufacturer's instructions. All joinery shall be installed in accordance with the manufacturer's instructions.

All footing depths shall be inspected and approved by Engineer prior to construction.

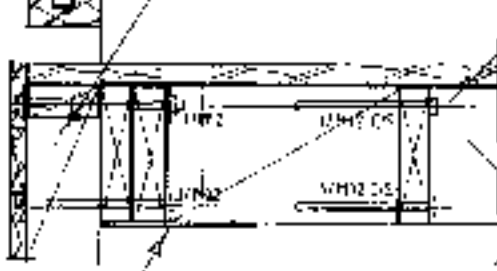
2018-773

THESE PLANS ARE APPROVED
 This development complies with the District Plan's
 subject to:

DATE APRIL 2018
SCALE 1:50, 1:200
REF DWG1/2018
SHEET 001 of 2 sheets

PROPOSED DECK ADDITION FOR
 MR & MRS DAVIS AT 58 SKIBO STREET,
 KEW, DUNEDIN
 AMENDED JUNE 2018.

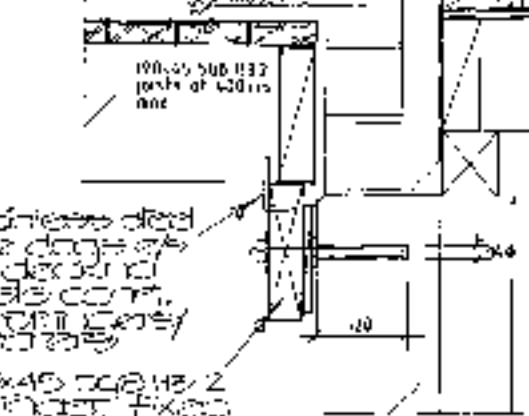
H3/2 blocking
as required to
support
decking as k/a.



100x45 300 H3/2
deck joists at 400
c/s. Fasten to 200x45
beam with 200x45
joist hangers. Hangers
to be spaced at 400 c/s
to match joist spacing.
Deck must be fixed to
wall with 200x45
joist hangers.

detail 1
1:5

2/M12 grade 8
bolts to be
used for
deck to wall
connections.

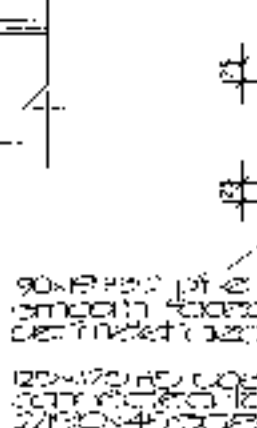


stainless steel
wire cage
of deck
joists to
be used
where
required.

100x45 300 H3/2
joist hangers
to be used
at the foundation
wall with 12mm
threaded rods
to be spaced
at 400 c/s. Hangers
to be fixed to
wall with 200x45
joist hangers.

detail 2
1:5

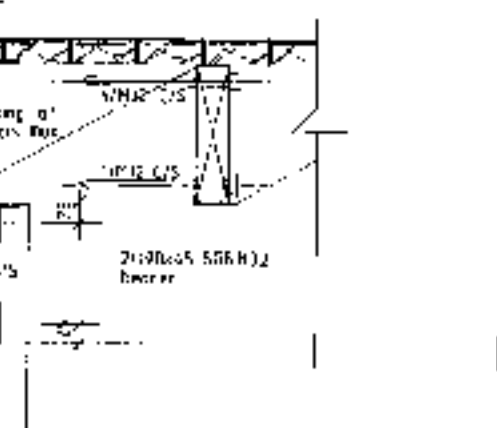
90x45 300 H3/2
joist hangers
to be used
for deck to
wall connections.
Use 200x45
joist hangers
with 200x45
joist hangers.



90x45 300 H3/2
joist hangers
to be used
for deck to
wall connections.
Use 200x45
joist hangers
with 200x45
joist hangers.

detail 3
1:5

90x45 300 H3/2
joist hangers
to be used
for deck to
wall connections.
Use 200x45
joist hangers
with 200x45
joist hangers.



90x45 300 H3/2
joist hangers
to be used
for deck to
wall connections.
Use 200x45
joist hangers
with 200x45
joist hangers.

detail 4
1:5

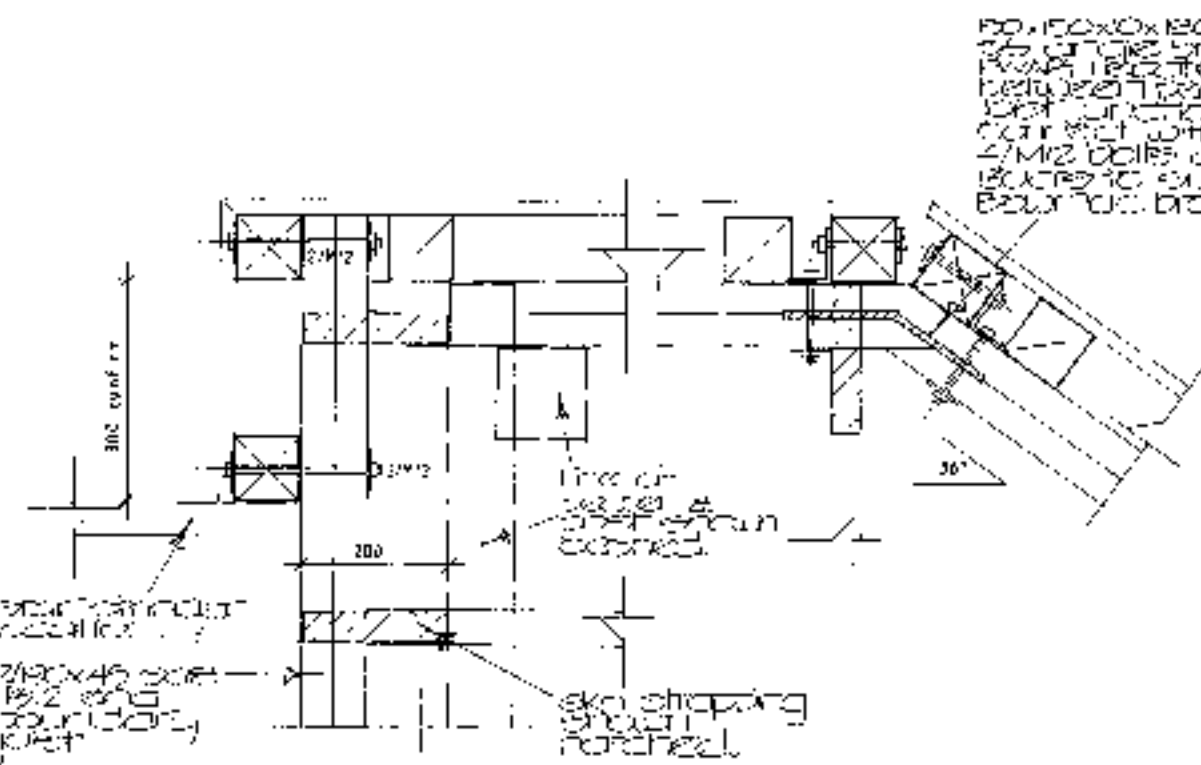
90x45 300 H3/2
joist hangers
to be used
for deck to
wall connections.
Use 200x45
joist hangers
with 200x45
joist hangers.



90x45 300 H3/2
joist hangers
to be used
for deck to
wall connections.
Use 200x45
joist hangers
with 200x45
joist hangers.

DUNEDIN CITY COUNCIL
2018-773

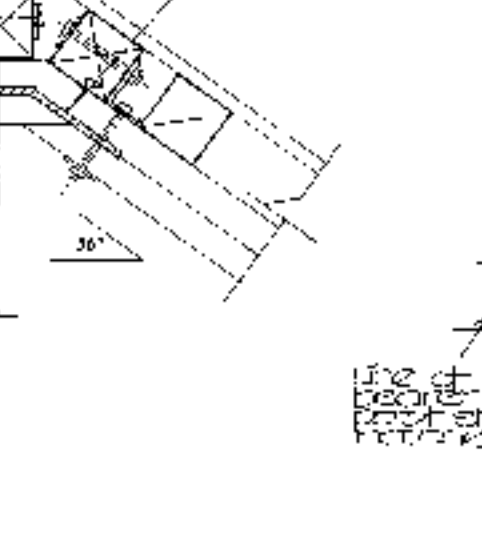
EX 50x50 H3/2
joist hangers
to be used
for deck to
wall connections.
Use 200x45
joist hangers
with 200x45
joist hangers.



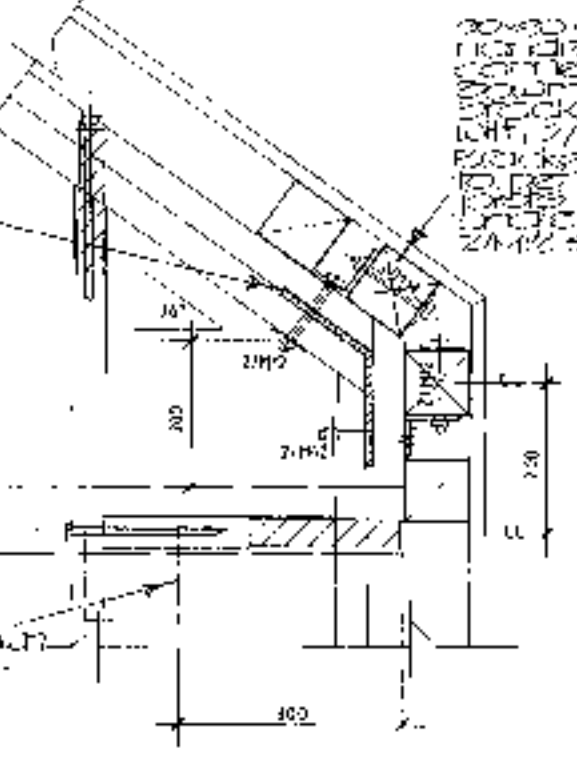
300 conf. ex.
200
line of
finish
of
deck
surface

detail 5
1:5

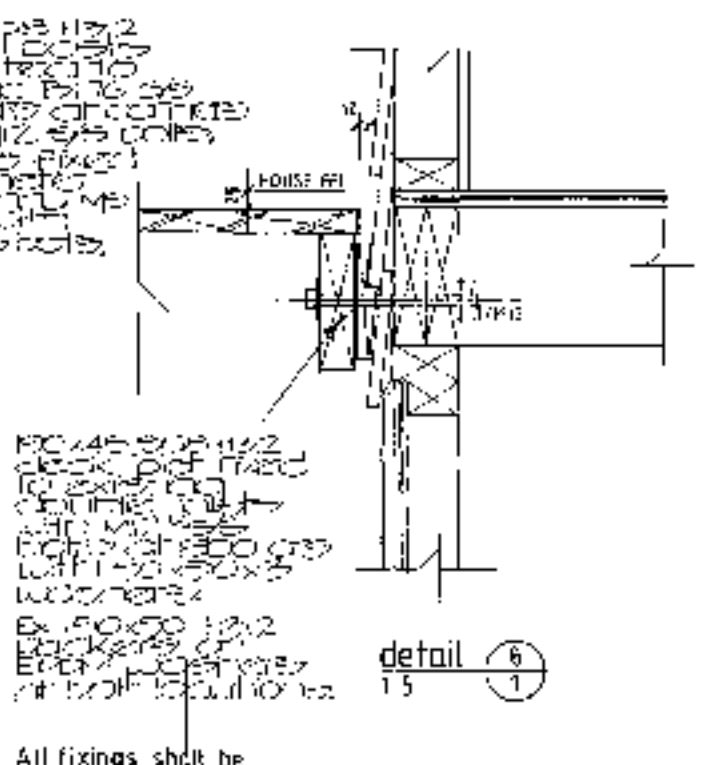
90x45 300 H3/2
joist hangers
to be used
for deck to
wall connections.
Use 200x45
joist hangers
with 200x45
joist hangers.



detail 6
1:5



detail 7
1:5



90x45 300 H3/2
joist hangers
to be used
for deck to
wall connections.
Use 200x45
joist hangers
with 200x45
joist hangers.

detail 8
1:5

All fixings shall be
stainless steel

Reference: Dev 100
Enquiries To: Colin Gray
Direct Phone: 474-3809

31 October 1997

Independent Building Advisory Services Ltd
178 Balmacewan Road
DUNEDIN

Attention: K R Buswell

Dear Sir

58 SKIBO STREET, KEW, DUNEDIN

I am pleased to advise that your report on the above property is acceptable to Council and will be placed on the Development Services property file for the property.

Yours faithfully



Colin Gray
MANAGER BUILDING CONTROL

FILE COPY

24 October 1997

Mr C Gray
Manager Building Control
Dunedin City Council
P.O. Box 5045
Dunedin

Dear Sir,

Re: 58 Skibo Street, Kew, Dunedin.

Following a request from Mrs Paris, the owner of the above property, I inspected the property on 23 October 1997, and report as follows:

Alterations have been carried out to the above property without the required Building Permit.

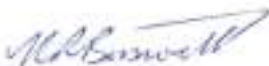
The carport on the street frontage was erected with a Building Permit in 1974. Since the time of construction the carport has been closed in to form a garage. The carport is constructed of concrete block side and rear walls with timber posts at the right side perimeter wall. The roof is timber framed with galvanised corrugated iron cladding. The right perimeter wall has been clad with corrugated Laserlight sheets fixed to 75 x 50 horizontal rails. A tilta door has been installed at the front of the garage.

A partition has been removed between the lounge/dining room and living room. It appears the alteration was carried out at the time the house was constructed but the Council plans were not updated to record this change. A beam spanning 3.100 metres has been installed above the opening and is suitable for the span as there are no signs of deflection or settlement to this area.

The alterations have been carried out to a good standard by a competent tradesman and are structurally sound.

I have advised Mrs Paris this report will be submitted to you for your perusal and following your acceptance, will be placed on the Development Services file for that address.

Yours faithfully,



K R BUSWELL NZCB, MBONZ, IQP, BSI
REGISTERED BUILDING SURVEYOR & BUILDING CONSULTANT

cc: Mrs Paris, 58 Skibo Street, Kew, Dunedin.

TO		FOR	
Chief Executive		Attention	✓
Chief Financial Officer		Marketing	
Grouping		Information	
Health		Contract	
Industry			
Capital Markets			
Business Model	✓		
Strategy		28 10 07	✓
Planning			
Technology			
Talent			
Culture			

15 March 2011

Mr W Martin
58 Skibo Street
Kew
Dunedin 9012

Dear Mr Martin

PRIVATE FOUL DRAIN-IN-COMMON 52, 54, 56, 58, 62, 64 AND 66 SKIBO STREET

An investigation regarding seepage into 13A Embo Street has shown that the source of the problem is the private foul drain-in-common of which your property is a party to.

The foul drain is obviously blocked or broken and needs urgent attention as the situation is a health risk to the owners of 13A Embo Street.

The Council will, if necessary, have the work undertaken in urgency, on behalf of the owners, if no remedial action is taken.

If you should have any questions regarding this matter, please contact me.

Yours faithfully

Alan McLeod
Drainage Investigation Unit

Development Services



DUNEDIN CITY COUNCIL

50 THE OCTAGON, PO BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (024) 743-899. FACSIMILE (024) 743-594.

Dev 10/8
Dev 100
M Larsen

23 July, 1990

Allan and Coral Paris
58 Skibo Street
DUNEDIN

Defective Private Foul and Stormwater drain in common at
52, 54, 56, 58, 62, 64, 66 Skibo Street

On the 23 July 1990 it was found that the private Foul drain and Storm water drain in common serving the premises owned by you at 58 Skibo Street (Lot 1 DP 6185 Blk 3) was blocked and creating a nuisance.

As the matter was urgent the Council has employed a drainlayer to clear and repair the blockage immediately as authorised under the provisions of the Dunedin District Drainage and Sewerage Act 1900 and its Amendments.

Under these provisions the cost of the work is payable by you. A certificate of the cost of the work will be sent to you in due course for payment.

A similar notice is being served on the owners of 52, 54, 56, 62, 64, 66 Skibo Street.

A handwritten signature in black ink, appearing to be 'M. Larsen'.

Chief Plumbing Inspector

DEV 100

+ ~~Dev 10/8~~

17 July, 1990

Allan and Coral Paris
58 Skibo Street
Corstorphine
DUNEDIN

Dear Sir/Madam

Defective Foul and Stormwater D/C 52, 54, 56, 58 Skibo Street

You are hereby notified that the foul and stormwater drains serving at number 58 Skibo Street (being Lot 1 DP 6185 Blk 3) is defective and causing a nuisance.

Pursuant to the provisions of the Dunedin Drainage and Sewerage Act 1900 and its Amendments you as the owner of the property are required to have the storm and foul drains repaired by a licensed drainer within 7 days of receipt of this Notice.

You should make immediate arrangements for the work to be carried out as the drainer must be engaged on the work before the expiry of the time specified. If you do not comply with this Notice within that time, arrangements will be made for the necessary work to be carried out at your expense by a licensed drainer on behalf of the Council.

A similar notice is being served on the owners of 54, 56 and 52 Skibo Street.

NB: In the case of a drain-in-common all owners must agree on the engagement of the drainer.

Yours faithfully



Chief Plumbing Inspector

Michael Larsen

17 May 2011

«Name»
«Address»
«Suburb»
«Town»

Dear «Salutation»

DEFECTIVE PRIVATE FOUL DRAIN-IN-COMMON SERVING 52, 54, 56, 58 SKIBO STREET, DUNEDIN

An investigation regarding seepage into 13A Embo Street has shown that the foul drain-in-common serving your property is defective and leaking, creating a nuisance and a health hazard.

As the matter is urgent, the Council has arranged for a contractor to repair this defective foul drain-in-common under the Health Act 1956, Section 34(1) and (2).

Reimbursement of costs incurred by the Council on behalf of the owners will be forwarded at a later date.

If you should have any queries regarding this matter, please contact me.

Yours faithfully

Robbie Ludlow
TECHNICAL SUPPORT OFFICER

Name	Address	Suburb	Town	Salutation
Mr R A & Mrs J E Rawenga	52 Skibo Street	Kew	Dunedin 9012	Sir & Madam
Mr N I Simmons & Ms M Hoszowski	54 Skibo Street	Kew	Dunedin 9012	Sir & Madam
Mr W D Watson & Ms R H Barning	56 Skibo Street	Kew	Dunedin 9012	Sir & Madam
Mr W T Martin & Ms A T Ritchie	58 Skibo Street	Kew	Dunedin 9012	Sir & Madam