

DISCLAIMER

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Dunedin City Council – Land Information Memorandum

Property Address: 102 Somerville Street Dunedin

Prepared for: Michael Gershkovich and Victoria Gershkovich

Prepared on: 29-Jul-2026

Property Details:

Property ID	5032113
Address	102 Somerville Street Dunedin
Parcels	LOT 8 DP 11662

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 29-Jul-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **24th October 1995**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Private water service - Connected

This property is connected to the Dunedin City Council's water supply via a private water service. The property owner(s) serviced by the private water service are responsible for its maintenance. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request. Please note the Dunedin City Council cannot guarantee the accuracy of water pressure for private connections.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. This shows the location of the DCC owned water mains. It may or may not show the water service to the property. It is recommended that the applicant check the property.

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2032113
Address	102 Somerville Street Dunedin
Valuation Number	27260-09500
Latest Valuation Details	
Capital Value	\$470,000
Land Value	\$210,000
Value of Improvements	\$260,000
Area (Hectares)	0.0857HA
Units of Use	1
Current Rates	
Current Rating Year Starting	01-Jul-2026
Dunedin City Council Rates	\$4,020.04
Rates Outstanding for Year	\$7,990.04

Targeted Rates

The following targeted rates have been added to this property's assessment:

This property has applied for a rates advance to install insulation and/or clean heat as part of a Dunedin City Council initiative. If the installation is completed the property will be subject to a ten-year targeted rate unless it is paid back early.

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
	Archived	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
	/CCC	-	
	Refused	-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect
	Lapsed	-	

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-1993-320936](#) Building Consent - Install Heater - Yunca QEWB

Lodgement Date	12-May-1993
Decision	Granted
Decision Date	24-May-1993
Current Status	CCC Issued
Previous Number	ABA931940
<i>(Applications before 2007)</i>	

[ABA-1997-340528](#) Building Consent - Alter and Add to Dwelling, (Lammers)

Lodgement Date	25-Jun-1997
Decision	Granted
Decision Date	02-Jul-1997
Current Status	CCC Issued
Previous Number	ABA972143
<i>(Applications before 2007)</i>	

Building and Drainage Permits

[H-1943-25246](#) AAB19430385

1246 - Erect Dwelling, No Plan (New Zealand Government). The permit was lodged on 19-Oct-1943.

[H-1986-99622](#) AAB19861163

2121 - Add Deck to Dwelling, No Plan (Paaridekooper). The permit was lodged on 19-Dec-1986.

[H-1940-157172](#) AAD19400807

D3979 - Seal Septic Tank & Stormwater Drain. Connect Foul Drain to Somerville Street. The permit was lodged on 01-Jan-1940.

[H-1944-159714](#) AAD19440070

D9681 - Drainage (New Zealand Government). The permit was lodged on 20-Apr-1944.

[H-1944-160382](#) AAD19440794

D9863 - Plumbing for New Dwelling, No Plan (New Zealand Government). The permit was lodged on 19-Jun-1944.

[H-1944-160383](#) AAD19440795

D9680 - Drain in Common between 96, 100, 102, 104 and 106 Somerville Street, No Plan (New Zealand Government). The permit was lodged on 20-Apr-1944.

[H-1963-186175](#) AAD19631319

G7318 - Repair Drain in Common, No Plan. The permit was lodged on 21-Jun-1963.

[H-1968-193634](#) AAD19681853

H4937 - Repair Drain in Common, No Plan. The permit was lodged on 28-Nov-1968.

[H-1974-204193](#) AAD19741680

J3922 - Repair Drain in Common, No Plan (New Zealand Government). The permit was lodged on 18-Jul-1974.

[H-1949-165812](#) AAD19490964

E6464 - Connect to Drain in Common, (Various owners). The permit was lodged on 21-Sep-1949.

[H-1987-101730](#) AAB19871238

2121 - Add Deck, (Paardekooper). The permit was lodged on 06-Jan-1987.

Non-consented Small Stand-alone Dwellings

There are no SSD applications for this property.

Building Notices

No Building Notices

Resource Consents

The following Resource Consent(s) are recorded for this property:

[RMA-1999-363084](#) - Resource Management Act (Historical Data)

Description	ERECTION OF TEMPORARY ELECTION SIGNS (16 SITES ON PRIVATE PROPERTY)
Lodgement Date	25-Jun-1999
Decision	Granted
Decision Date	28-Jun-1999
Current Status	Consent Issued

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

This property is subject to the Operative Dunedin City Second Generation District Plan 2026 (2GP), which became fully operative on 17 June 2026. The 2GP, including planning maps, is available on the Dunedin City Council website <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> and at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 1 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Nil

Mapped Areas

- Road Classification Hierarchy (main roads within 30m of site)
 - Somerville St is a Collector road

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any building consent, or to enquire about information referred to in this section, please contact Building Services Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 102 Somerville Street Dunedin

[5030923 97 Somerville Street Dunedin](#)

[RMA-1996-360276](#) Resource Management Act (Historical Data) SEPERATE CT OF R LOT 1 AND LOT 8 (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 19/12/1996.

[5032645 41 Every Street Dunedin](#)

[POL-2024-4](#) Planning Other Legislation Right of way. The outcome was Granted on 09/02/2024.

[RMA-1986-354423](#) Resource Management Act (Historical Data) O/SIZE ACCESS.BLDG FOR VEHICLE STORAGE Ownr: BIRD / App: M H BIRD 41 EVERY STREET (Notified - Non Complying). The outcome was Granted on 29/07/1986.

[5069632 24C Archibald Street Dunedin](#)

[LUC-2007-591](#) Land Use Consent removal of vegetation. The outcome was Withdrawn on 02/11/2011.

[RMA-1994-351458](#) Resource Management Act (Historical Data) RIGHTS OF WAY OVER LOT 7 DP 10632 IN FAVOUR OF LOT 1 DP 10146 AND LOTS 3, 4, 8-14 DP 10632 (Non-Notified - Non Complying). The outcome was Granted on 25/08/1994.

[5100451 24A Archibald Street Dunedin](#)

[LUC-2010-149](#) Land Use Consent construct a dwelling in an urban landscape area. The outcome was Granted on 11/05/2010.

[S226-2008-5](#) S226 Application Certification is sought for two lots located within a certificate of title for 24 Archibald Street. The outcome was Granted on 09/06/2008.

[RMA-1993-351413](#) Resource Management Act (Historical Data) SECTION 226 CERTIFICATION FOR LOTS 1, 2 & 3 DP 10146 HELD IN CERTIFICATE OF TITLE OTA2/711 (Non-Notified - Non Complying). The outcome was Granted on 14/10/1993.

[5107278 24G Archibald Street Dunedin](#)

[S226-2008-5](#) S226 Application Certification is sought for two lots located within a certificate of title for 24 Archibald Street. The outcome was Granted on 09/06/2008.

[RMA-1994-351458](#) Resource Management Act (Historical Data) RIGHTS OF WAY OVER LOT 7 DP 10632 IN FAVOUR OF LOT 1 DP 10146 AND LOTS 3, 4, 8-14 DP 10632 (Non-Notified - Non Complying). The outcome was Granted on 25/08/1994.

[5114446 154 Dunrobin Street Dunedin](#)

[LUC-2010-149](#) Land Use Consent construct a dwelling in an urban landscape area. The outcome was Granted on 11/05/2010.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably

qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Shared private driveway – vehicle access to this property is over adjoining property boundaries.

Access to this property appears to be via a private driveway over the adjoining property boundaries. The maintenance of the private driveway/s is the property owners/users responsibility. Please consult with your Lawyer to find out if this is registered under your property title and/or there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

Neighbouring property driveway access – vehicle access for the neighbouring properties is over this property's boundary.

Access to the neighbouring properties is over this property's boundary, the maintenance of the private driveway/s is the property owners/users responsibility. Please consult with your Lawyer to find out if this is registered under your property title and/or there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

Non-compliant vehicle crossing – no stormwater run-off.

It appears there are no stormwater provisions in place for this vehicle crossing. To meet current Council standards the stormwater run-off would be required to be captured at the boundary and managed in a way where it does not cause a nuisance to neighbouring properties, including the road corridor. For example: a strip drain with sump or a sump and piped to the kerb and channel. Council accepts this situation but accepts no liability and the maintenance is the responsibility of the property owner. This may be required to be upgraded in the future.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

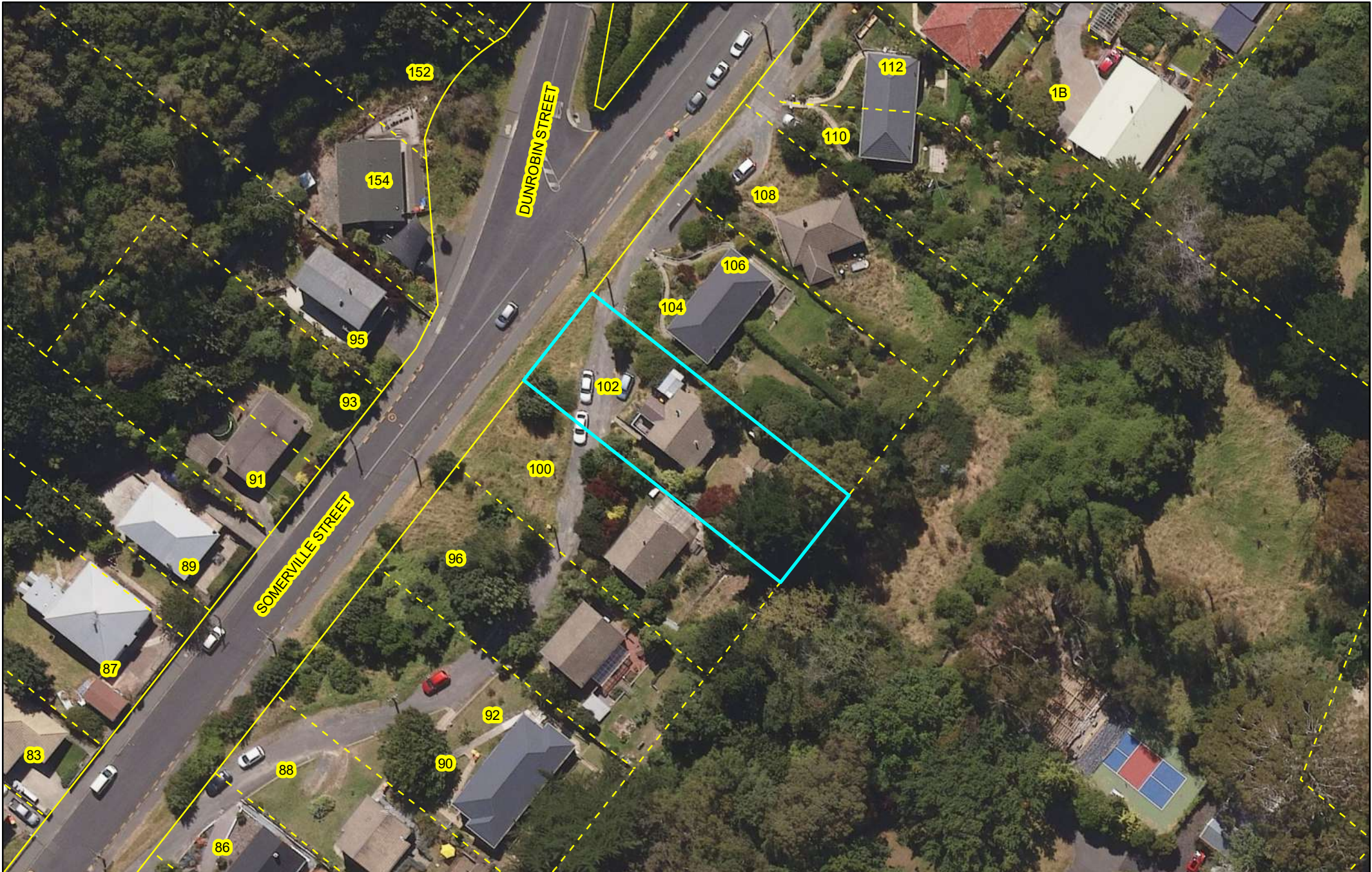
ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

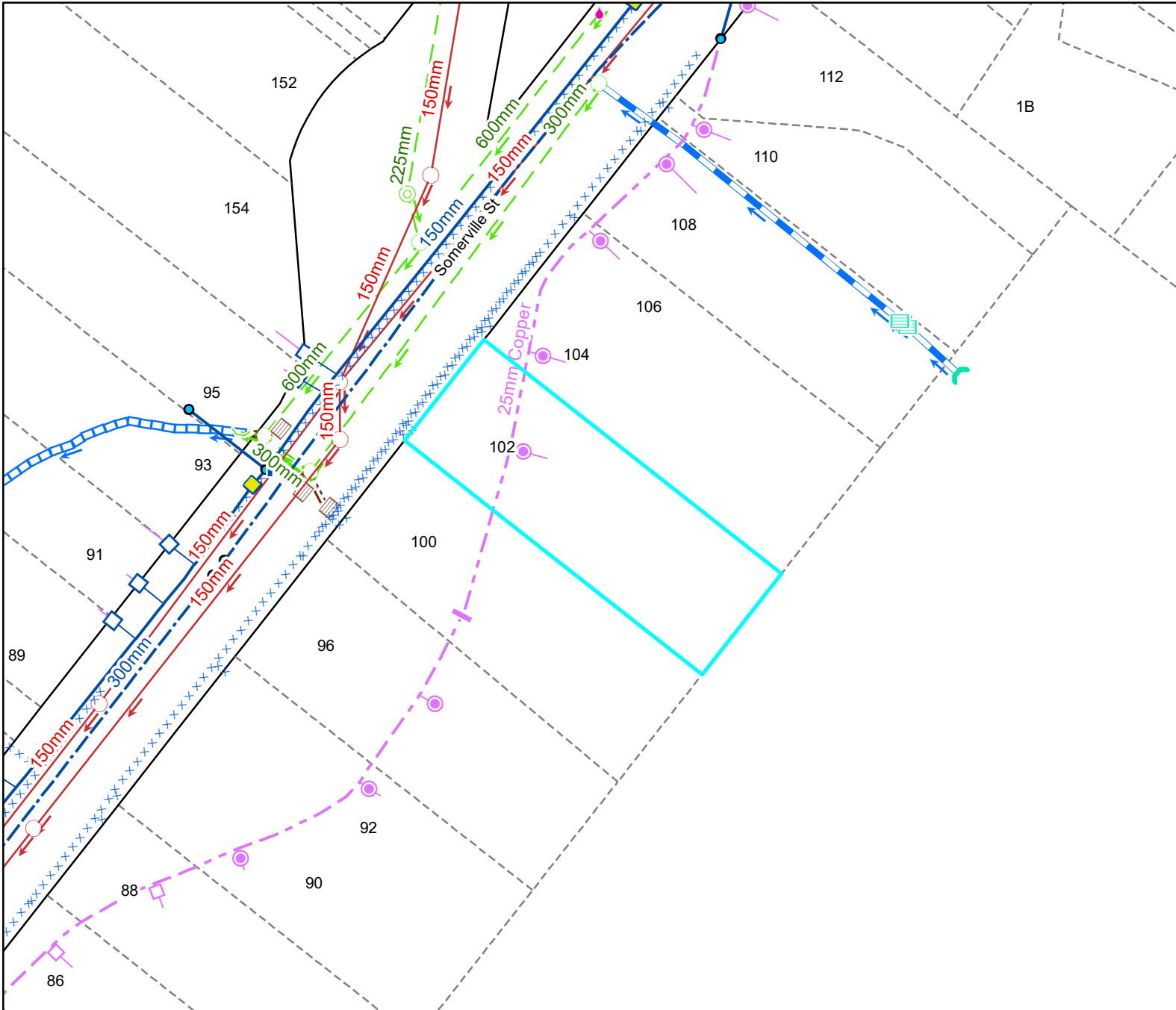
MH	Manhole
PL	Plumbing
PLB	Plumbing
PTE	Private
SIS	Sewer in section
WC	Water course
WT	Water table
SW	Stormwater

General terms

RDMS Records and Document Management System

Appendices





Legend

Water Supply		NR	Water Non-Return Valve
	Manifold Box		Water Pump Station
	Water Meter		Water Bore
	Toby		Water Treatment Plant
	Meter without manifold box		Water Storage Tank
	Retic Flow Meter		Supply Main
	Combination Meter		Trunk Main
	Manifold Box With Restrictor		Disused
	Water Valve - Zone		Reticulation
NR	Non Return Valve		Scour
	Water Valve - Gate		Water Service Lateral
	Water Valve - Sluice		Water Fire Service Lateral
	Water Hydrant		Water Critical Service Lateral
	Water Backflow Preventor - RPZ		Water Zone Boundary
			Water Reservoir
			Redundant Water Main
NOTE: Private water services have the same symbols as those above, however they are coloured pink.			

Foul Sewerage			
	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Vent
NR	Non-Return Valve		Foul Sewer Node
	Pump Station Domestic		Foul Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lamphole		Rising Main
	Outlet		Redundant Foul Sewer Pipe
NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.			

Stormwater			
	SW Bubble-up Tank		Roading Bubble-Up Tank
	SW Drop Manhole		Roading Mudtank
	SW Insp Chamber and Grating Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		DCC Open Channel
	SW Lamphole		Piped WC
	SW Mudtank Inlet		Open WC
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Mudtank Pipe
	SW Pressure Manhole		Redundant Stormwater Main
	SW Standard Manhole		SW Sump
	SW Stormwater Node		SW Pump Station
NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.			

General		Cadastral	
	DCC Water & Waste Structure		Parcel
	Railway Centreline		Road/Rail
			Hydro
			Motorway Parcels
			Strata
			Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>



Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

Scale at A4:
1:750
23/07/2026
8:02:39 PM

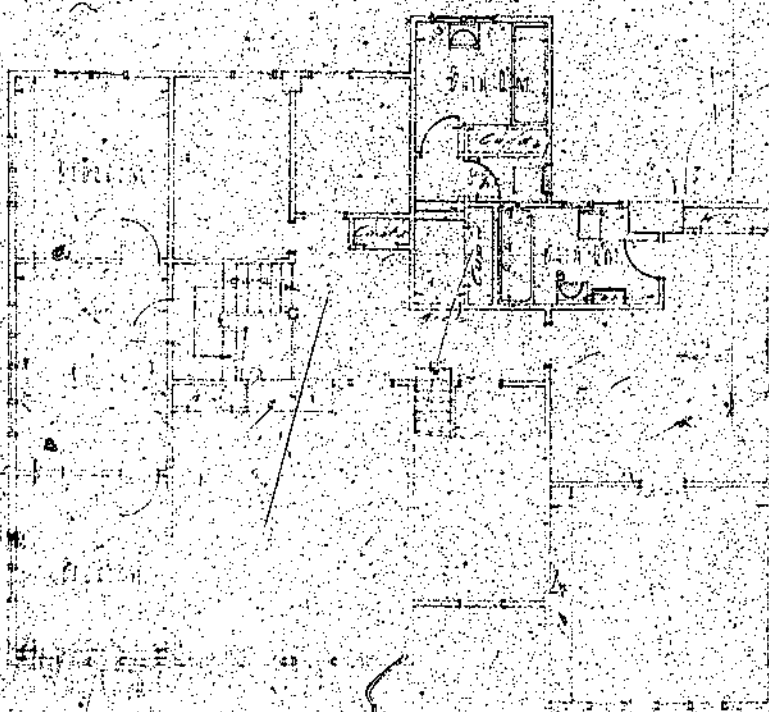
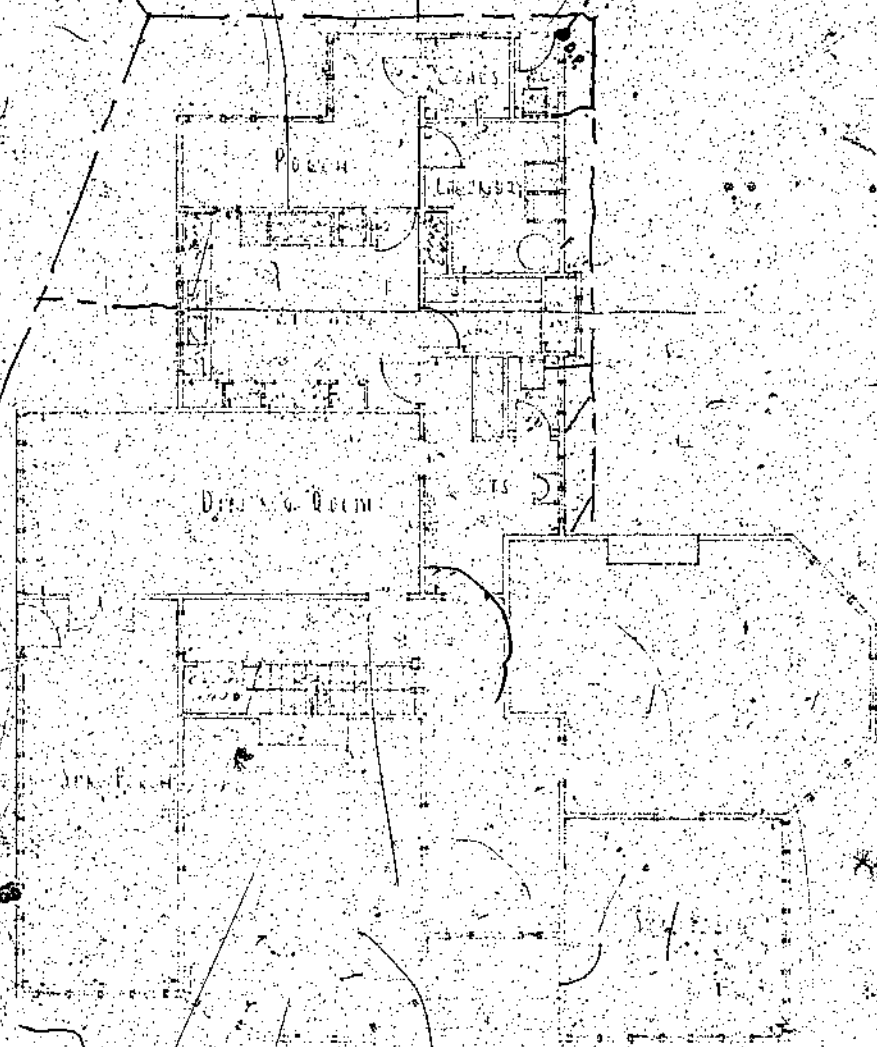
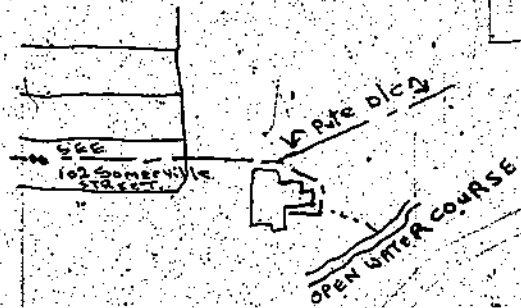


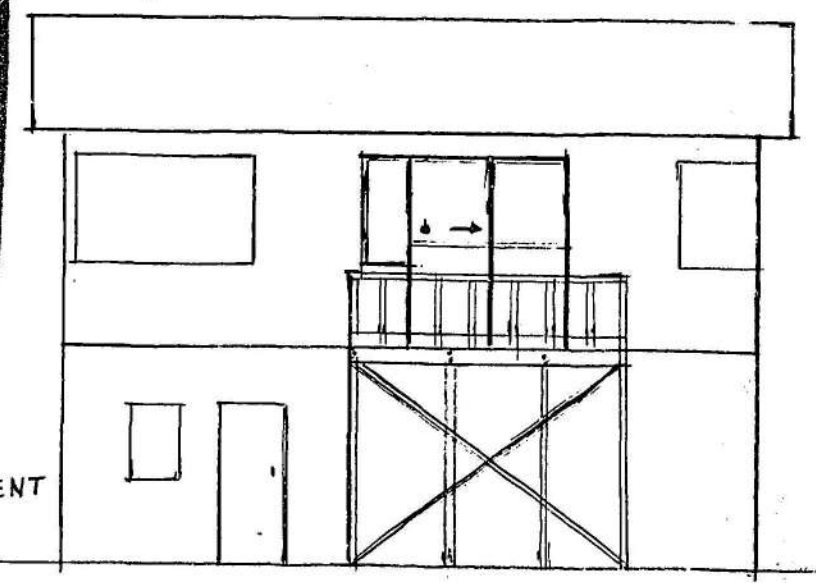
PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
This map is for illustration purposes only and is not accurate to surveying, engineering or orthophotographic standards. Every effort has been made to ensure correctness and timeliness of the information presented.

2019-2019 Urban. Copyright DCC/Aerial Surveys Ltd. Rural, ORC/Aerial Surveys Ltd. CC BY 4.0 NZ
2013 Urban and rural photography Jan/Feb 2013. Copyright DCC. CC BY 3.0 NZ.
2006/2007 Urban photography March 2007, copyright NZAM. Rural photography March 2006, copyright Terralink International Ltd.

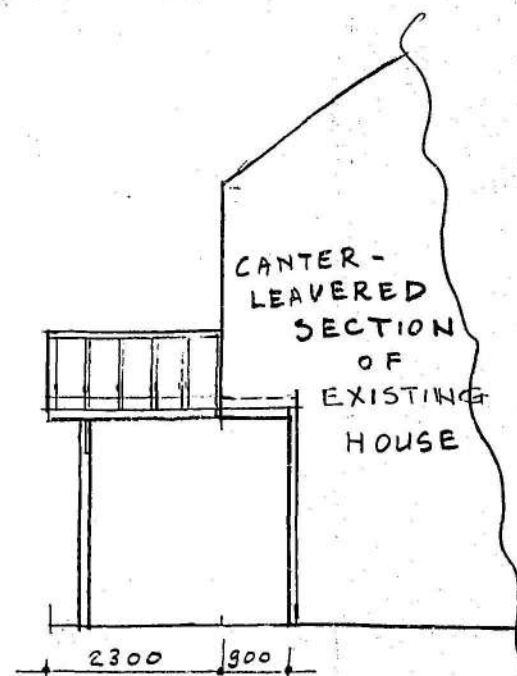
Work was completed.
Drain taken direct to
Somerville St Sewer through
Govt Housing Block.

See correspondence and comment
for wayleave May 1948 File
E/65

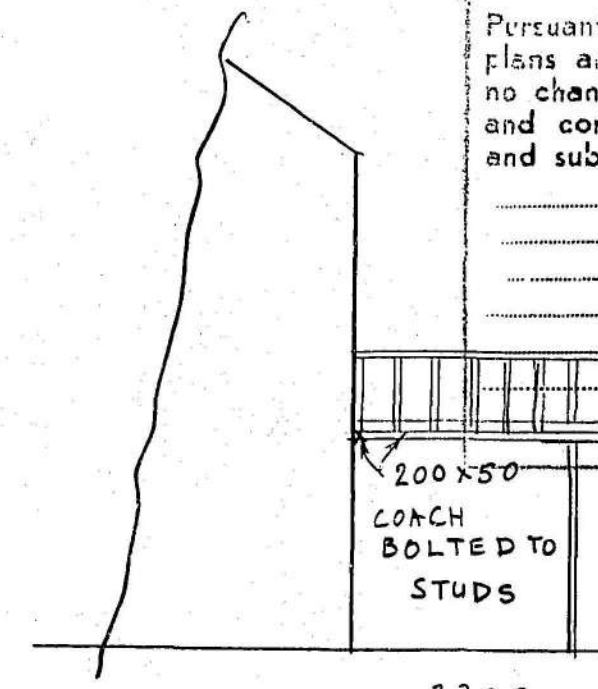




FRONT ELEVATION



"W" ELEVATION



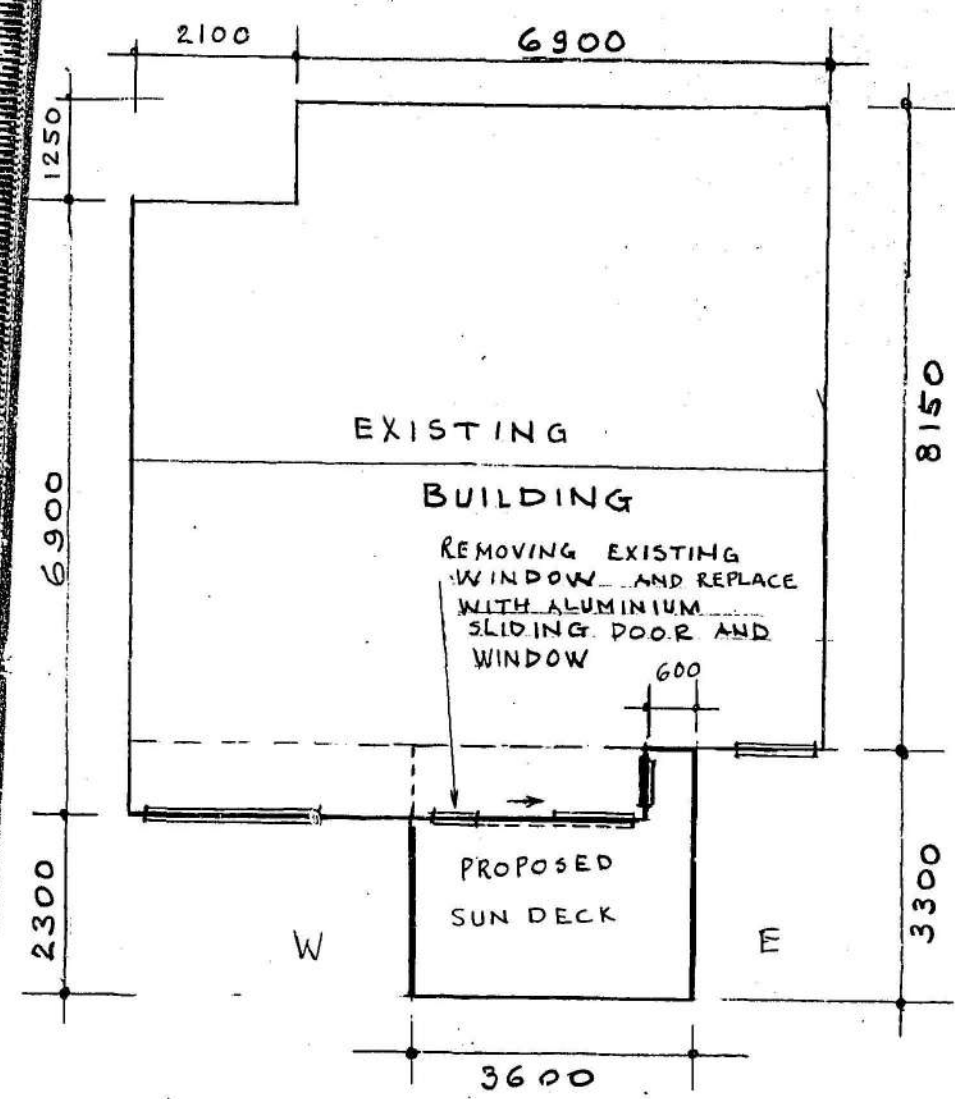
"E" ELEVATION

Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown hereon, and contained in the specification attached hereto, and subject to

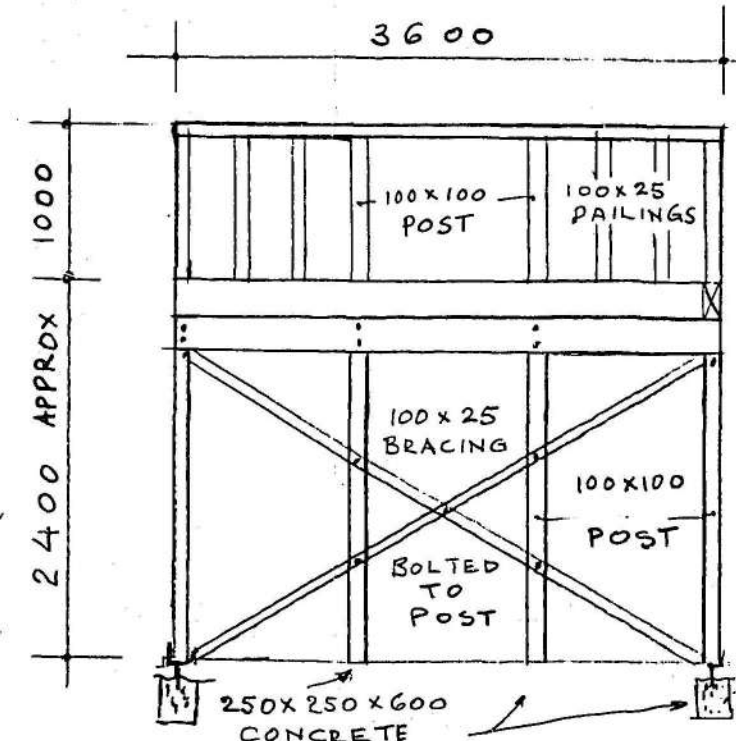
Signed *[Signature]* for City Planning Officer

17.06 M
857 M²

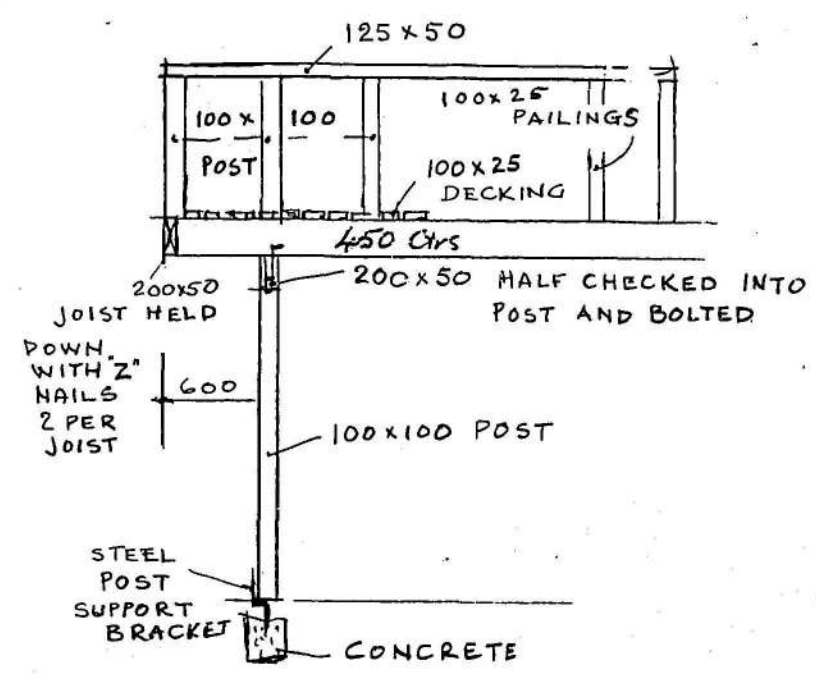
A separate application to the Drainage Board for plumbing and/or drainage work is required. Such work shall comply fully with the Plumbers, Gasfitters and Drainlayers Act 1976, Plumbers, Gasfitters and Drainlayers Regulations 1977, Drainage and Plumbing Regulations 1978, and the Board's By-laws.
Stormwater to be discharged to existing system



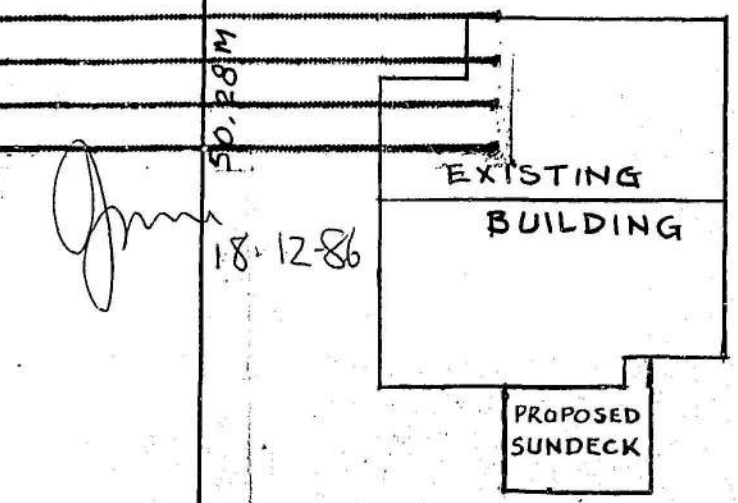
FLOOR PLAN
SCALE: 1:100



FRONT ELEVATION



SIDE ELEVATION



SOME

DUNEDIN CITY COUNCIL
Copy of Approved Plan
and/or Specification
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.
DATE 19.12.86
FOR CITY ENGINEER

SITE PLAN
SCALE: 1:200

BUILDER: OWNER

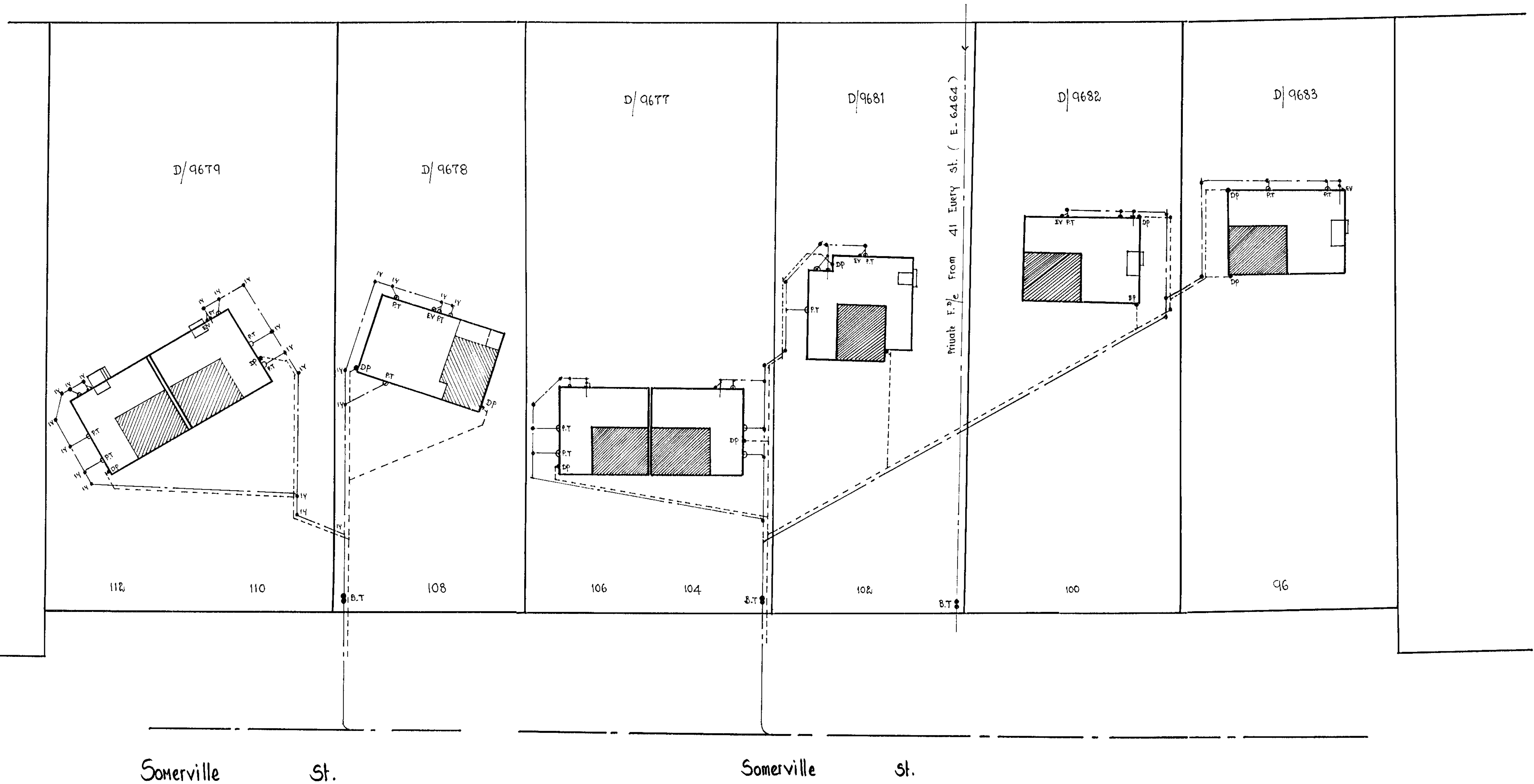
PROPOSED PLAN FOR TIMBER SUNDECK
FOR MR & MRS. M.P. PAARDEKOOPER
102 SOMERVILLE ST.
ANDERSON BAY (DUNEDIN)

2121

C/T 7B/1440 857 SQUARE METRES
MORE OR LESS SITUATED IN THE CITY OF
DUNEDIN BEING LOT 8 DEPOSITED PLAN
11662 AND BEING PART SECTION I BLOCK VI
ANDERSON BAY DISTRICT

D/9678 - 9679

D/9677 to D/9683



House Drainage Contract 13/143
Somerville Street Andersons Bay
DUNEDIN
Scale 1 inch = 6 feet

D/9676/ D/9676
 to D/9683



Street Whining
 SOMERVILLE STREET

House Connection Plan

BATE

NEW SEWERAGE DRAINS: RED
STORMWATER: DOTTED BLACK
OLD DRAINS: FULL BLACK

NEW SEWERAGE DRAINS: RED
STORMWATER: DOTTED BLACK
OLD DRAINS: FULL BLACK

OLD DRAINS: FULL BLACK

EVERY STREET.

NO. 1

RE
CARRIES
CARRIES

0/0979.

See Section
Form 7/4651

O.K.
JN.

107

12.03

No. 44

12-45

7/6/36

2
10/1

1502

60437

10/10/19

10

1

1

51

1945

✓

1

SCALE 1 CHAIN = 1 INCH.

Owner Various Owners M. Firth.

Street Every Sp

Locality Aldersons In

Block

Section

Allotment

Signature of Drainer M. P. Lee Black

● CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

50 THE OCTAGON, BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	474-3525	CCC No:	ABA 931940	Reference No:	5032113
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT	PROJECT LOCATION		
All ☒ Stage Noof an intendedstages New Building ☐ Alteration ☒ Intended Use(s) in detail: HEATER Intended Life: Indefinite, not less than 50 years ☐ Specified as<u>5</u>..... years Demolition ☐	Name: LAMMERS, RENE JOHN Street Address: 102 SOMERVILLE STREET Mailing Address: 102 SOMERVILLE ST, DUNEDIN <tr> <th>LEGAL DESCRIPTION</th></tr> <tr> <td> Property Number: 2032113 Valuation Roll No: 27260 09500 Legal Description: LOT 8 DP 11662 </td></tr>	LEGAL DESCRIPTION	Property Number: 2032113 Valuation Roll No: 27260 09500 Legal Description: LOT 8 DP 11662
LEGAL DESCRIPTION			
Property Number: 2032113 Valuation Roll No: 27260 09500 Legal Description: LOT 8 DP 11662			

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name: J. Aspin

Position: AUTHORISED OFFICER

Date: 04/03/1996

BUILDING CONSENT No.

Project Information Memorandum No.

Section 35, Building Act 1991

ISSUED BY

DUNEDIN CITY COUNCIL

(Insert a cross in each applicable box. Attach relevant documents)

APPLICANT	PROJECT
Name: R. & L. LAMMERS Mailing Address: 102 SOMERVILLE ST DUNEDIN	All ☒ Stage No. of an intended stages New Building ☐ Alteration ☐ Intended Use(s) (in detail): HEATER Intended Life: Indefinite, but not less than 50 years ☐ Specified as 5 years Demolition ☐ Estimated Value: \$ 1,500.00
PROJECT LOCATION Street Address: 102 SOMERVILLE ST DUNEDIN	
LEGAL DESCRIPTION Property Number: 321138 Valuation Roll Number: 2726009500 Lot: 8 DP: 11662 Section: Block: Survey District: ANDERSONS BAY	
COUNCIL CHARGES The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$ 0.00 ALL FEES ARE G.S.T. INCLUSIVE	Signed for and on behalf of the Council: Name: <u>[Signature]</u> Position: _____ Date: 25.10.1992

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached _____ pages, headed "Conditions of Building Consent No. _____".

3.55

2.30 m

(outside)

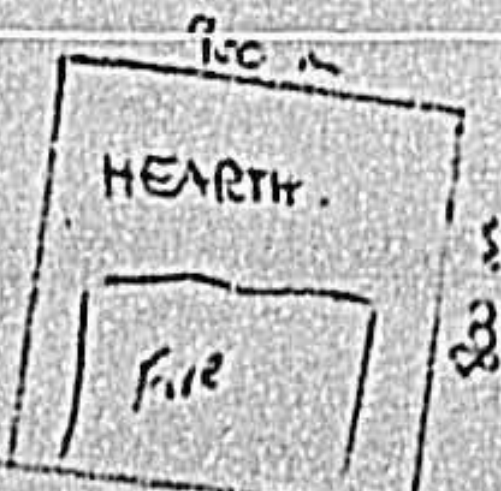
PIPE

6.1 m

Lounge .

DUNEDIN CITY COUNCIL
Copy of Approved Plan
and/or Specification
TO BE RETAINED ON WORKS -
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.
D. J. Kerr DATE 20.5.93
BUILDING INSPECTOR

3.3



Kitchen .

4.5 m

93/1940

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

50 THE OCTAGON, BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	477-4000	CCC No:	ABA 972143	Reference No:	5032113
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT LOCATION	PROJECT
Name and Mailing Address: LAMMERS, RENE JOHN 102 SOMERVILLE STREET DUNEDIN 9001	All ☒ Stage Noof an intendedstages New Building ☐ Alteration ☒ Intended Use(s) in detail: ALTER/ADD TO DWELLING Intended Life: Indefinite, not less than 50 years ☒ Specified as years Demolition ☐
LEGAL DESCRIPTION	
Property Number: 2032113 Valuation Roll No: 27260 09500 Street Address: 102 SOMERVILLE STREET, DUNEDIN 9001 Legal Description: LOT 8 DP 11662	

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name:.....

Position: AUTHORISED OFFICER

Date: 22/09/1997

BUILDING CONSENT



Section 35, Building Act 1991

ISSUED BY:

DUNEDIN CITY COUNCIL

50 THE OCTAGON, BOX 5045, DUNEDIN, NEW ZEALAND TELEPHONE (03) 477-4000 FACSIMILE (03) 474-3594

Telephone No:	477-4000	Consent No:	ABA 972143	Reference No:	5032113
---------------	----------	-------------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: LAMMERS, RENE JOHN	All ☒
Mailing Address: 102 SOMERVILLE STREET, DUNEDIN 9001	Stage No of an intendedstages
PROJECT LOCATION	New Building ☐
Street Address: 102 SOMERVILLE STREET, DUNEDIN 9001	Alteration ☒
LEGAL DESCRIPTION	Intended Use(s) in detail: ALTER/ADD TO DWELLING
Property Number: 5032113	Intended Life:
Valuation Roll No: 27260 09500	Indefinite, not less than 50 years ☒
Legal Description: LOT 8 DP 11662	Specified as years
	Demolition ☐
	Estimated Value: \$4900
COUNCIL CHARGES	Signed for and on behalf of the Council:
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:	Name:
Total: \$	Position: AUTHORISED OFFICER
ALL FEES ARE GST INCLUSIVE	Date: 03/07/1997

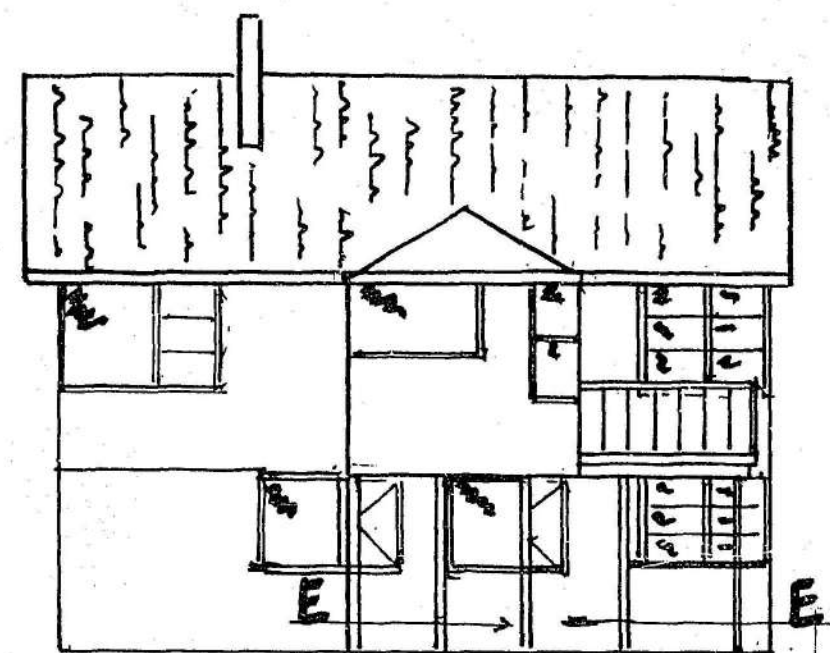
This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."

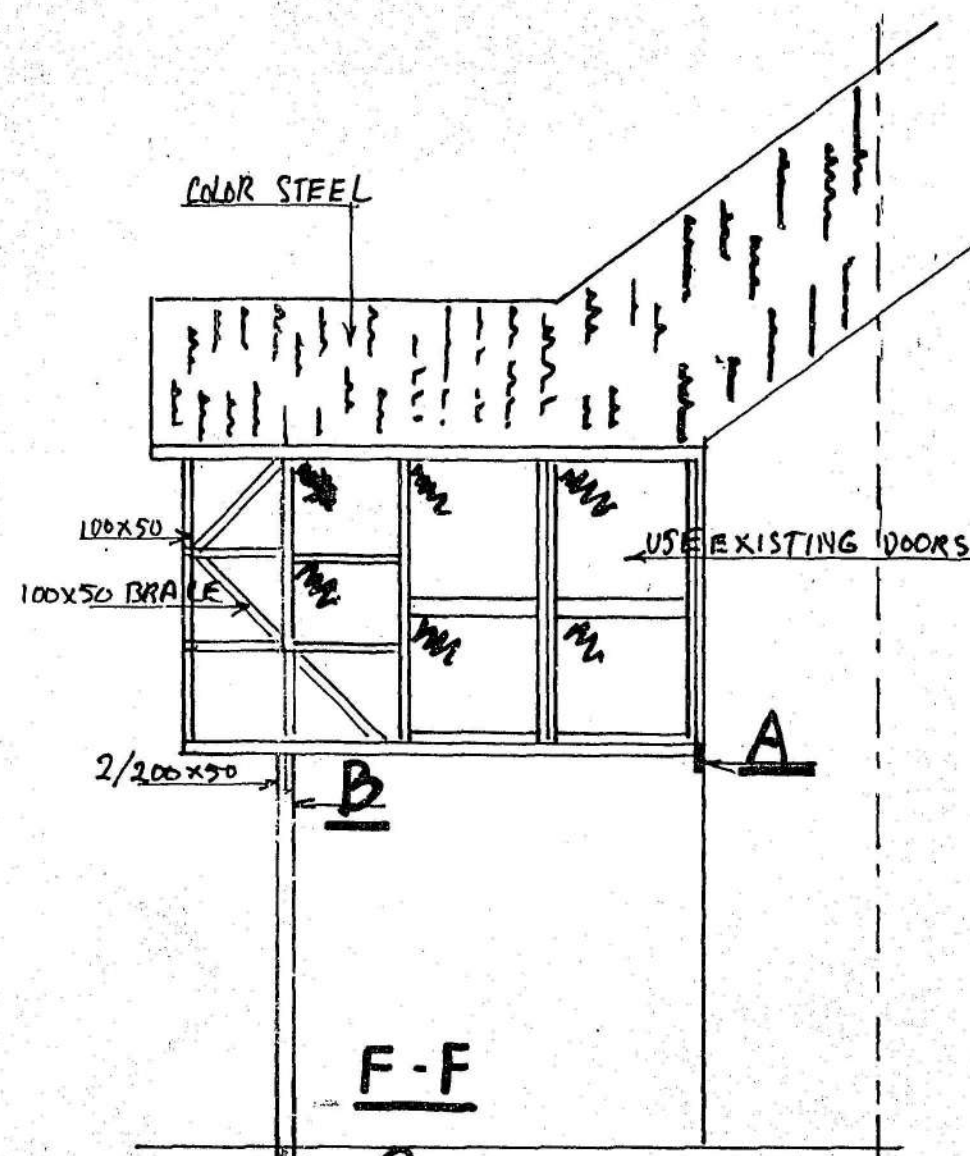
DUNEDIN CITY COUNCIL
Plans and Specifications Approved in accordance
with The New Zealand Building Code and Approved
Documents. To be retained on works
and produced on request

Building *D. J. Lammers* Date 30-6-97
Drainage *W. J. Lammers* Date 1-7-97
Health Date

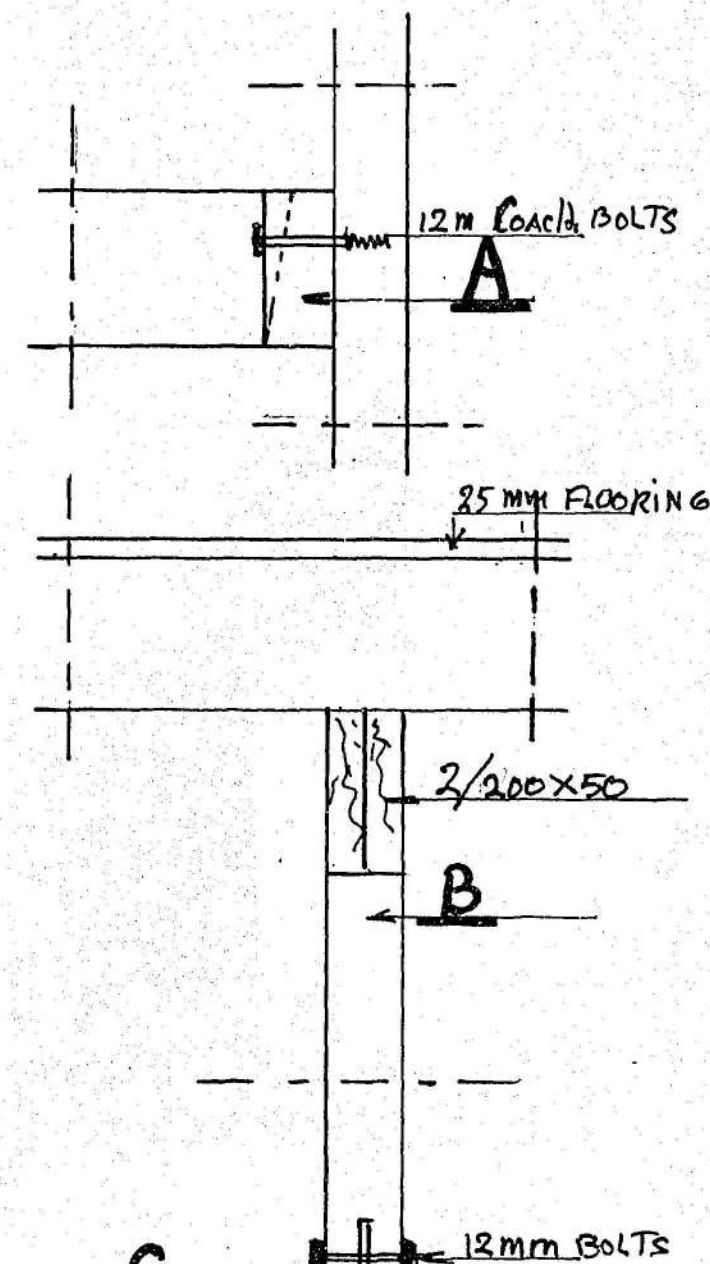
NOTE



FRONT ELEVATION



F-F

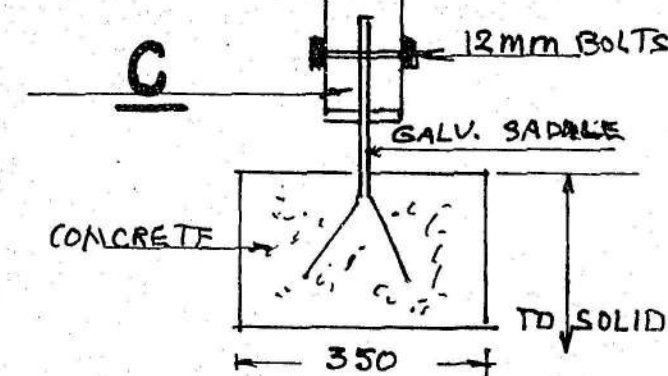


12mm Coach Bolts

85mm Flooring

2/200x50

B



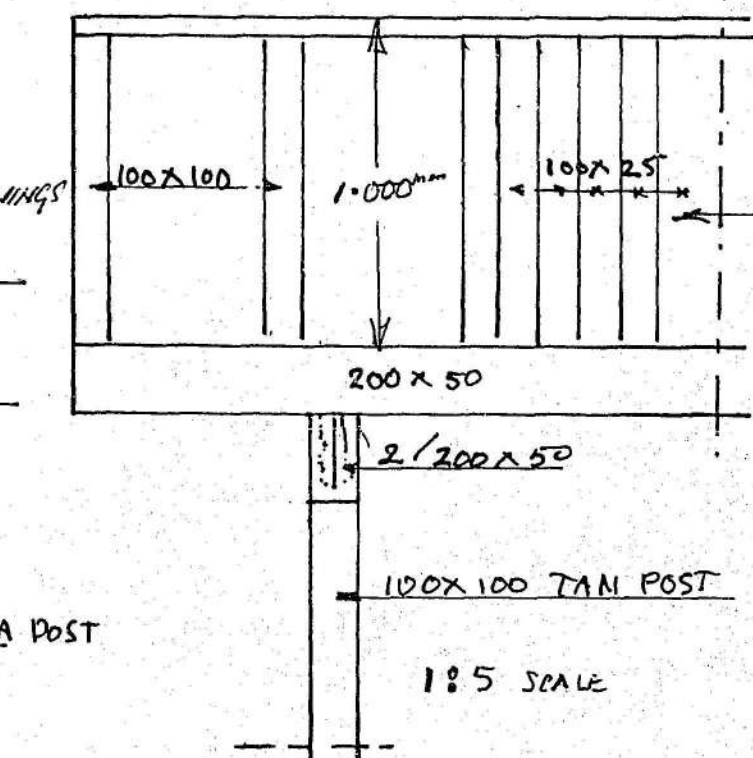
12mm Bolts

GALV. SADDLE

CONCRETE

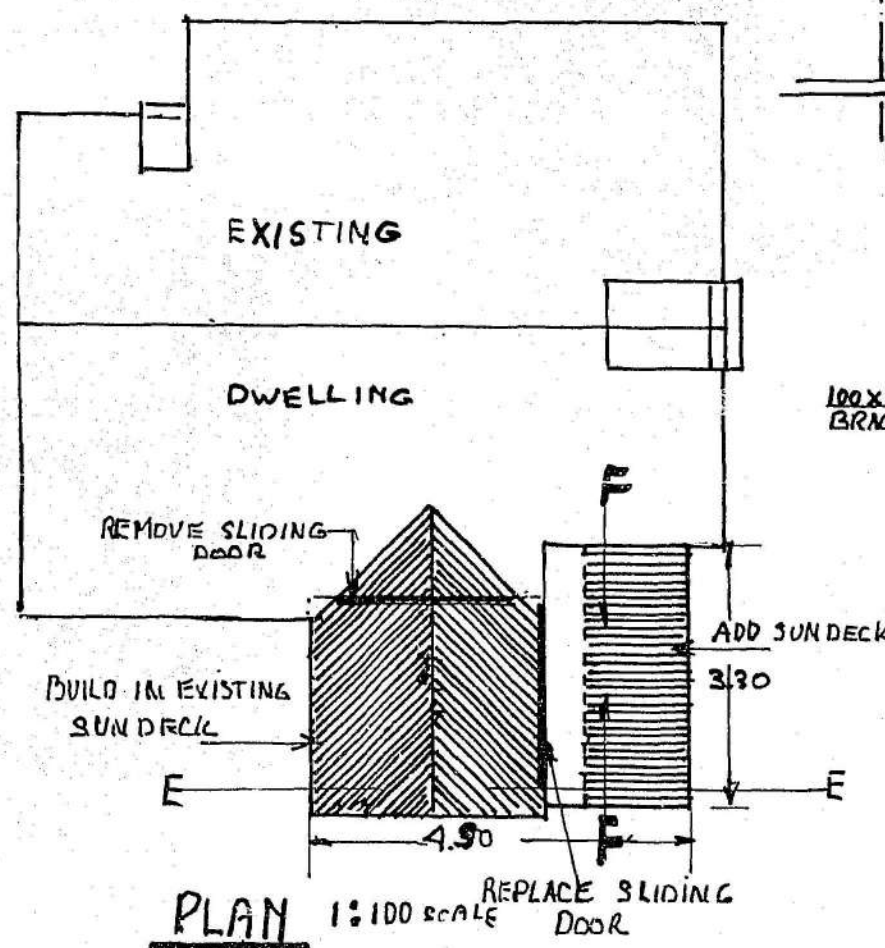
350

TO SOLID



D

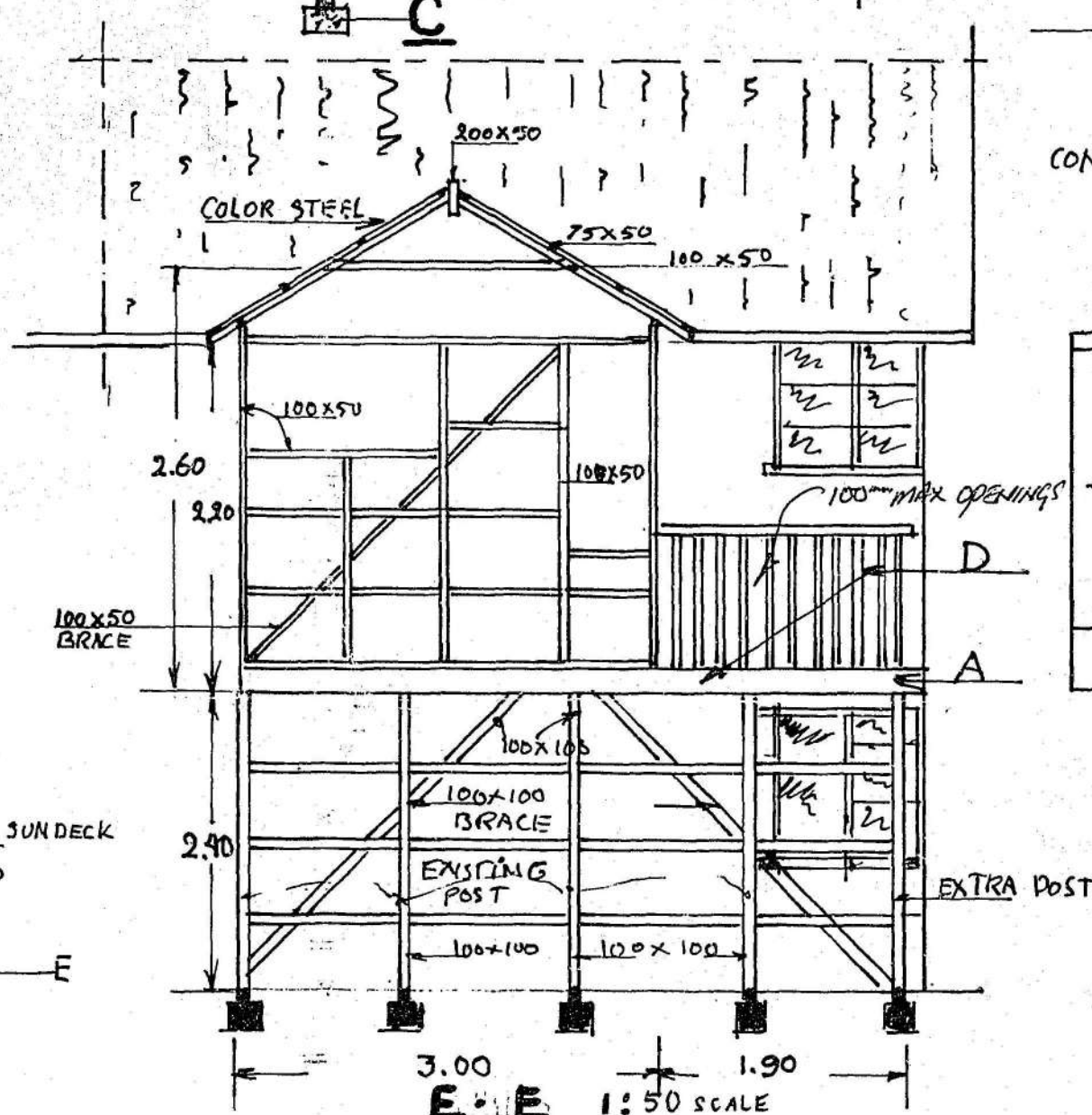
DETAILS A-B-C-D



PLAN

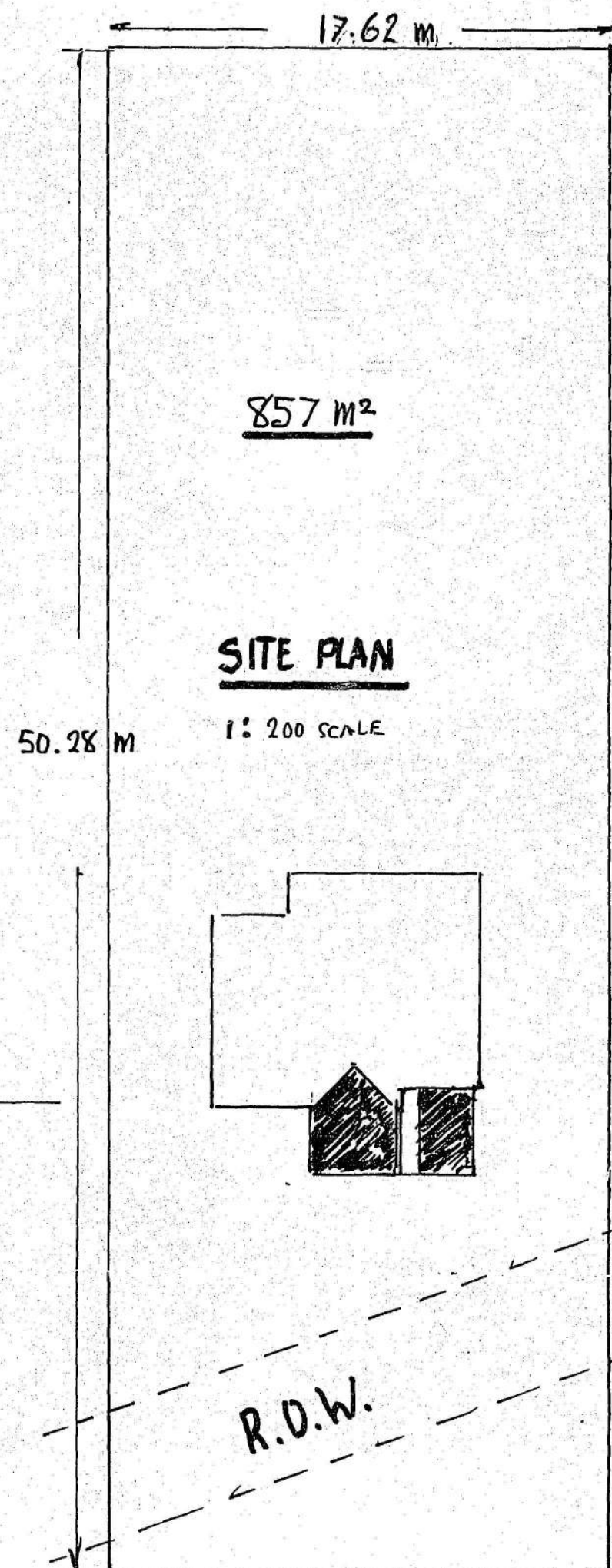
1:100 scale

REPLACE SLIDING DOOR



E-E

1:50 scale



857 m²

SITE PLAN

1:200 scale

50.28 m

R.O.W.

SOMERVILLE ST.

LAMCO CONSTRUCTION
41 COLLEGE ST.
DUNEDIN

PROPOSED PLAN TO BUILD IN EXISTING SUNDECK AND ADD SUNDECK
FOR MR. MRS. R.J. LAMMERS
✓ 102 SOMERVILLE ST. ANDERSON BAY DUNEDIN

97/2143

C/T 7B/1440 857 M²
DUNEDIN LOT 8 PLAN 11662
SECTION I BLOCK VI

31st October 2012

Rene John Lammers
170 Victoria Road
Dunedin 9012

Dear Sir/Madam

PRIVATE FOUL DRAIN-IN-COMMON No.96, 100,102,104 & 106 SOMERVILLE STREET DUNEDIN.

During recent dye testing carried out by Council, the foul drain in common was found to be discharging foul water into the kerb and channel. This would indicate that the drain is defective.

The repairs to the drain will need to be attended to urgently as this is a health hazard and polluting the environment.

If you should have any queries regarding this matter, please contact me on 4774000.

Yours faithfully

Tom Caulfield
DRAINAGE INVESTIGATION OFFICER

Name	Address	Suburb	City	Salutation
Michael Alexander McQueen	96 Somerville Street		Dunedin 9013	Sir
Happy Homes Limited	116 McLennan Road RD 2		Wanaka 9382	Sir/Madam
Rene John Lammers	170 Victoria Road		Dunedin 9012	Sir
Neil Franklin	PO Box 11055	Musselburgh	Dunedin 9049	Sir

Reference: Dev 100/Various Sites/RMA 990511

Enquiries To: Janet Davis

Direct Phone: 03 474 3711

28 June 1999

Labour New Zealand 2000

PO Box 2294

DUNEDIN

Attn: Trudie Sunitsch

Dear Ms Sunitsch

RESOURCE CONSENT 980571: LABOUR NEW ZEALAND 2000

VARIOUS SITES (SEE APPENDIX 1)

DESCRIPTION OF ACTIVITY

The applicant seeks land use consent for the establishment of 16 sites (see Appendix 1) on private property on which election signs will be erected. No sign will exceed 1m² in area. No sign will be erected more than 30 days prior to an election and will be removed no later than 24 hours before the election. The application is required as the proposal is a **discretionary (unrestricted) activity** under Rule 17.5.6 of the Dunedin City Council proposed District Plan and a **non complying activity** under the Dunedin City transitional District Plan (Dunedin, Mosgiel, and St Kilda sections).

Refer to Appendix 1 for the appropriate zoning of each site.

DECISION

*Pursuant to sections 34(4) and 105(2A), and after giving regard to sections 104 and 108 of the Resource Management Act 1991, the Dunedin City Council **grants** consent to the above **non-complying activity** at the following locations, as Appendix 1:*

549 Portobello Road, Dunedin

49 Somerville Street, Dunedin

102 Somerville Street, Dunedin

29 Tomahawk Road, Dunedin

118 Jeffery Street, Dunedin

28 Spottiswoode Street, Dunedin

84 Prince Albert Road, Dunedin

1 Scott Street, Dunedin

112 Macandrew Road, Dunedin

2 Moss Street, Dunedin

19 High Street, Mosgiel

53 Isadore Road, Dunedin

32 Playfair Street, Dunedin

324 Highcliff Road, Dunedin

44 Calder Street, Dunedin

41 Dundonald Street, Dunedin

This decision is subject to the following condition:

(i) That the proposal be constructed in accordance with the details submitted as part of this application.

REASONS

1. Council is satisfied the adverse visual and amenity effects will be no more than minor for the following reasons:

- signs may be erected no more than 30 days prior to an election
- signs must be removed no later than 24 hours before an election
- no sign will exceed 1m² in area.

2. Council is satisfied that election signs at these sites will not create a traffic hazard.
3. The proposal is considered to be in keeping with the following objectives and policies of the relevant District Plans:

Dunedin City transitional District Plan (Mosgiel Section)

Objective 2.3.1 - to create and maintain an acceptable standard of amenity.

Policy 2.3.3 - to ensure that signs will not be detrimental to the amenities of the districts or to public safety.

Dunedin City transitional District Plan (Dunedin section)

Objective 23 - relating to general amenity and environmental quality.

Dunedin City Council proposed District Plan

Objective 3.2.6 - to maintain and enhance the amenity values of rural areas.

Policy 3.3.10 - to avoid, remedy, or mitigate the adverse effects of signs.

Objective 4.2.1 - to ensure the adverse effects of activities on amenity values and the character of residential areas are avoided, remedied, or mitigated.

Policy 4.3.1 - to maintain or enhance the amenity values and characteristics of residential areas.

Policy 4.3.2 - to control the use of signs to avoid any adverse effects on residential amenity.

Objective 17.2.1 - to avoid, remedy, or mitigate the adverse effects of signs on amenity values.

Policy 17.3.1 - to ensure that signs do not detract from the amenity of the area in which they are located and the amenity values of the area from where they are visible.

Policy 17.3.2 - to control the design, location, size and number of signs erected at any given location.

4. For the reasons outlined in 1 above, Council considers the proposal is in accordance with Part II Matters of the Resource Management Act 1991, particularly section 7(c) "the maintenance and enhancement of amenity values".

5. No other persons were considered to be affected by this proposal.

APPENDIX ONE

Site Location	Transitional District Plan Zone	Proposed District Plan Zone
549 Portobello Road	Residential A (Dunedin)	Residential 1
102 Somerville Street	Residential A (Dunedin)	Residential 1
5 Murray Street	Residential A (Dunedin)	Residential 1
49 Somerville Street	Residential A (Dunedin)	Residential 1

29 Tomahawk Road	Residential A (Dunedin)	Residential 1
118 Jeffery Street	Residential A (Dunedin)	Residential 1
28 Spottiswoode Street	Residential A (Dunedin)	Residential 1
84 Prince Albert Road	Commercial B (St Kilda)	Residential 2
1 Scott Street	Commercial B (St Kilda)	Residential 2
112 Macandrew Road	Residential E (Dunedin)	Residential 2
2 Moss Street	Residential A (Dunedin)	Residential 1
19 High Street	Residential 1 (Mosgiel)	Residential 1
53 Isadore Road	Residential A (Dunedin)	Residential 1
41 Dundonald Street	Residential A (Dunedin)	Residential A (Dunedin)
44 Calder Street	Residential A (St Kilda)	Residential 2
324 Highcliff Road	Residential A (Dunedin)	Residential 1
32 Playfair Street	Residential C (Dunedin)	Residential 1

COMPLIANCE WITH CONDITIONS

It is the applicant's responsibility to comply with any conditions imposed on their resource consent prior to and during (as applicable) exercising the resource consent. Exercise of the resource consent prior or contrary to compliance with the conditions imposed implies acceptance of the conditions and may result in prosecution, the penalties for which are outlined in Section 339 of the Resource Management Act 1991.

DURATION OF CONSENT

It is brought to the applicant's attention that under the terms of Section 125 of the Resource Management Act 1991, this consent shall lapse if effect has not been given to it within two years or Council has not granted an extension of time.

BUILDING CONSENT

This is only Resource Consent and a separate application for Building Consent may be required before any work is undertaken on the site. Please check with the Building Control Office, Development Services.

RIGHTS OF APPEAL

In accordance with Section 357 of the Resource Management Act 1991, the consent holder may seek a review of this decision or any condition within 15 working days of the decision being received, by applying to the Dunedin City Council at the following address, applications must be in writing and include a \$400 deposit for the review:

The Chief Executive

Dunedin City Council

P O Box 5045

DUNEDIN

Attn: Janet Davis

Yours faithfully

Janet Davis

PLANNER