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Dunedin City Council – Land Information Memorandum

Property Address: 37 Grove Street Dunedin

Prepared for: Permal Swami Pariachi and Madhu Mala Pariachi

Prepared on: 22-Jul-2026

Property Details:

Property ID	5132786
Address	37 Grove Street Dunedin
Parcels	LOT 1 DP 556813

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 22-Jul-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

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s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information *section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use.*

Other Natural Hazard Information

Flood Hazards

OVERLAND FLOW PATH

Flood plus other natural hazards

Description: The property is identified within the report “The Natural Hazards of South Dunedin”, which may describe special features or characteristics of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion or inundation. Although the report is known to the Dunedin City Council, the council has not assessed the report for correctness. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose including development.

Goldsmith, M., & Hornblow, S. (2016). *The natural hazards of South Dunedin*. Otago Regional Council.

<https://www.orc.govt.nz/media/2217/the-natural-hazards-of-south-dunedin-report-july-2016.pdf>

Commissioned by: Otago Regional Council

Purpose: The purpose of this report is to summarise the natural hazards that affect South Dunedin and to provide information that can be used by the Otago Regional Council, Dunedin City Council and the community to better understand the hazardscape and to inform future planning and management.

Scope of report: South Dunedin, including the low-lying coastal plain between St Clair in the south and the Dunedin harbour in the north, bounded by Caversham Valley to the west and the Otago Peninsula to the east.

Reference Number: 12075

OVERLAND FLOW PATH

Description: South Dunedin Natural Hazards Qualitative Risk Assessment - Applying the Otago RPS and NPS-NH risk frameworks

Van Woerden, T. (2026). *Applying the NPS-NH risk framework: South Dunedin natural hazards qualitative risk assessment*. Otago Regional Council.

Commissioned by: Otago Regional Council

Purpose: To consider the natural hazard risk in South Dunedin under both the NPS-NH and pORPS frameworks to support DCC in determining whether the current plan is fit for purpose.

Scope of report: The same as the focus area for the South Dunedin Future adaptation programme and the SDF risk assessment by Kia Rōpine... an area including the South Dunedin, St. Kilda North and St. Kilda South, and parts of St. Clair, Caversham, Tainui, and Musselburgh.

Reference Number: 14119

Land Stability Hazards

No information.

Coastal Hazards

SEA LEVEL RISE

Sea Level Rise Prediction Study of Harbourside and South City

Description: The study area considered by a report commissioned by the Dunedin City Council entitled 'Assessment of Options for Protecting Harbourside and South City from Direct Impacts of Sea Level Rise

Beca Ltd. (2014). *Assessment of options for protecting Harbourside and South City from direct impacts of sea level rise*. Beca Ltd.

https://www.dunedin.govt.nz/_data/assets/pdf_file/0008/1071773/Assessment-of-Options-for-Protecting-Harbourside-and-South-City-from-Direct-Impacts-of-Sea-Level-Rise.pdf

Commissioned by: Dunedin City Council

Purpose: The purpose of this report is to assess options for protecting the Harbourside and South City areas of Dunedin from the direct impacts of sea level rise.

Scope of report: Harbourside and South City areas of Dunedin

Reference Number: 11454

SEA LEVEL RISE

Groundwater

Description: The property is identified in the "Dunedin Groundwater Monitoring and Spatial Observations" report published by GNS Science 2020 (doi: 10.21420/AVAJ-EE81), which describes characteristics of groundwater (either observed or interpolated) within the land concerned. The Institute of Geological and Nuclear Sciences Limited (GNS Science) and its funders give no warranties of any kind concerning the accuracy, completeness, timeliness or fitness for purpose of the data. GNS Science accepts no responsibility for any actions taken based on, or reliance placed on the data and GNS Science and its funders exclude to the full extent permitted by law liability for any loss, damage or expense, direct or indirect, and however caused, whether through negligence or otherwise, resulting from any person's or organisation's use of, or reliance on, the data. Although the report is known to the Dunedin City Council, the council has also not assessed the report for correctness. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose including development.

Cox, S., Glassey, P., Ettema, M., Hornblow, S., Mager, S. & Yeo, S.. (2020). *Dunedin groundwater monitoring and spatial observations*. GNS Science.

<https://www.orc.govt.nz/media/16153/dunedin-groundwater-monitoring-spatial-observations-and-forecast-conditions-under-sea-level-rise-dec-2023.pdf>

Commissioned by: Otago Regional Council

Purpose: The purpose of this report is to investigate the groundwater responses in Dunedin under a scenario of rising sea levels

Scope of report: Coastal Dunedin, especially South Dunedin, Harbourside, and parts of the Taieri Plain.

Reference Number: 12083

SEA LEVEL RISE

Groundwater

Description: Dunedin groundwater monitoring, spatial observations and forecast conditions under sea-level rise. Refer to the ORCs 'Groundwater table changes and sea level rise - South Dunedin and Harbourside' page for further information.

Cox, S. C., Ettema, M. H. J., Chambers, L. A., Easterbrook-Clark, L. H., & Stevenson, N. I. (2023). *Dunedin groundwater monitoring, spatial observations and forecast conditions under sea level rise*. GNS Science.

<https://www.orc.govt.nz/media/16153/dunedin-groundwater-monitoring-spatial-observations-and-forecast-conditions-under-sea-level-rise-dec-2023.pdf>

Commissioned by: Otago Regional Council

Purpose: The purpose of this study is to characterise current groundwater levels across South Dunedin, establish baseline monitoring, and forecast groundwater behaviour under scenarios of future sea-level rise.

Scope of report: The geographic scope of the assessment covers the South Dunedin area, including the reclaimed flat and surrounding low-lying suburbs.

Reference Number: 12118

SEA LEVEL RISE

Sea Level Rise

Description: The report on the potential adaptation futures outlines a range of options available for managing and mitigating the risks faced by South Dunedin (as identified in the South Dunedin Risk Assessment). The report (background report and micro-business cases document together describe the key characteristics of each potential adaption future, explores the pros and cons, and provides high-level costs and visualisations of what South Dunedin could look like in 75 years' time (in 2100).

WSP. (2025). *Risk Assessment 202503 South Dunedin*. WSP.

<https://www.dunedin.govt.nz/do-it-online/pay-online/request-lim/hazard-information>

Commissioned by: Dunedin City Council

Purpose: The purpose of this report is to assess the risks associated with hazards in South Dunedin, including physical risks to infrastructure, environment, and community, to support spatial adaptation planning and inform decision-making.

Scope of report: South Dunedin

Reference Number: 12124

Seismic Hazards

INTENSIFIED SHAKING

Earthquake Likely Amplification 1:25000 Map

Description: This area has been identified as lying within a zone susceptible to amplified shaking in an earthquake and the area of likely amplification of earthquake intensity by 1 on MM Scale.

Dunedin City Lifelines Project. (1999). *Dunedin City Lifelines Project Report*. Dunedin City Lifelines Project.

<https://www.civildefence.govt.nz/assets/Uploads/documents/lifelines/dunedin-lifelines-report-1999.pdf>

Commissioned by: Dunedin City Council and Otago Regional Council

Purpose: To assess the vulnerability of Dunedin's lifeline utilities to natural hazards and to develop strategies that reduce risks and strengthen the city's resilience.

Scope of report: The Dunedin City Council area, bounded west by Flagstaff and Three Mile Hill, east by the Otago Harbour entrance, north by Waitati, and south by Brighton.

Reference Number: 10111

LIQUEFACTION

Domain C

Description: Ground predominantly underlain by poorly consolidated marine or estuarine sediments with shallow groundwater, with a moderate to high likelihood of liquefaction-susceptible materials being present

Barrell, D. J. A., Glassey, P. J., Cox, S. C., & Smith Lyttle, B. (2014). *Assessment of liquefaction hazards in the Dunedin City district*. GNS Science.

https://www.dunedin.govt.nz/_data/assets/pdf_file/0011/476084/Assessment-of-liquefaction-hazards-in-the-Dunedin-City-District.pdf

Commissioned by: Otago Regional Council

Purpose: The Otago Regional Council (ORC) contracted GNS Science to assess liquefaction hazards in the Dunedin City territorial authority area (Dunedin district), and delineate areas that may be susceptible to ground damage as a result of liquefaction, and the closely allied phenomenon of lateral spreading. This report presents the results of that assessment.

Scope of report: Dunedin City district

Reference Number: 11407

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

Drainage plans on file are indicative only.

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Stormwater/Sewer Separation - Compliant

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **3rd April 2002**.

No comment is made with regard to this property's compliance with the requirement for storm water separation after the date of inspection.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property.

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	4031251
Address	37 Grove Street Dunedin
Valuation Number	27500-22501
Latest Valuation Details	
Capital Value	\$590,000
Land Value	\$225,000
Value of Improvements	\$365,000
Area (Hectares)	0.0359HA
Units of Use	1
Current Rates	
Current Rating Year Starting	01-Jul-2026
Dunedin City Council Rates	\$4,188.59
Rates Outstanding for Year	\$5,367.14

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
Archived	/CCC	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
Refused			
Lapsed		-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2020-1815](#) Building Consent - Construct Subdivision Drainage

Lodgement Date	03-Sep-2020
Decision	Granted
Decision Date	24-Sep-2020
Current Status	CCC Issued
Previous Number	
<i>(Applications before 2007)</i>	

[ABA-1995-332525](#) Building Consent - Install Woodsman Inbuilt Fire

Lodgement Date	14-Aug-1995
Decision	Granted
Decision Date	22-Aug-1995
Current Status	CCC Issued
Previous Number	ABA953951
<i>(Applications before 2007)</i>	

[ABA-2004-304754](#) Building Consent - Alter Dwelling - Kitchen, Bathroom, Deck

Lodgement Date	05-Jul-2004
Decision	Granted
Decision Date	12-Jul-2004
Current Status	CCC Issued
Previous Number	ABA41988
<i>(Applications before 2007)</i>	

[ABA-2007-315095](#) Building Consent - Erect Garage-Form New Driveway-Demolish Carport

Lodgement Date	26-Feb-2007
Decision	Granted
Decision Date	29-Mar-2007
Current Status	CCC Issued
Previous Number	ABA70422
<i>(Applications before 2007)</i>	

[ABA-2017-1823](#) Building Consent - Alter Dwelling - Construct Laundry and Toilet in Existing Garage, Add Verandah to Dwelling

Lodgement Date	07-Sep-2017
Decision	Granted
Decision Date	29-Sep-2017
Current Status	CCC Refused
Previous Number	

(Applications before 2007)

[ABA-2017-1823/A](#) Building Consent - Amendment - Alter size of Deck and Verandah to Dwelling, Change Toilet to Bathroom in Garage, Add Laundry

Lodgement Date	24-Aug-2018
Decision	Granted
Decision Date	07-Sep-2018
Current Status	CCC Refused
Previous Number	

(Applications before 2007)

Building and Drainage Permits

[H-1913-126838](#) AAD19131285

A4444 - Plumbing and Foul Drainage, (Garbutt). The permit was lodged on 21-Oct-1913.

[H-1978-209948](#) AAD19781099

J9159 - Extend Foul Drain for Shower & W/C in Bedroom, (Tilbury). The permit was lodged on 19-May-1978.

[H-1960-181316](#) AAD19600873

G3699 - Drain Extension for Bathroom Alts, (Garbutt). The permit was lodged on 14-Nov-1960.

[H-1960-181323](#) AAD19600880

G3721 - Bathroom Plumbing and Boiler Tube, No Plan (Garbutt). The permit was lodged on 14-Nov-1960.

[H-1973-247725](#) AAK19730054

52381 - Demolish Porch & Incorporate Area into Kitchen, No Plan (Dickson). The permit was lodged on 09-Mar-1973.

[H-1978-248761](#) AAK19780121

14869 - Demolish Chimney-Bathroom in Bedroom-3 Windows, No Plan (Tilbury). The permit was lodged on 12-May-1978.

Non-consented Small Stand-alone Dwellings

There are no SSD applications for this property.

Building Notices

No Building Notices

Resource Consents

The following Resource Consent(s) are recorded for this property:

[SUB-2020-107](#) - Subdivision Consent

Description	Two lot subdivision
Lodgement Date	17-Jul-2020
Decision	Granted
Decision Date	13-Aug-2020
Current Status	s224c Issued

[LUC-2020-368](#) - Land Use Consent

Description	Non-relocatable residential building on Lot 2 SUB-2020-107 with setback, site coverage, maximum height contraventions, and shared access to Lots 1 and 2 SUB-2020-107 with width and distance from building contraventions.
Lodgement Date	17-Jul-2020
Decision	Granted
Decision Date	13-Aug-2020
Current Status	Consent Issued

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

This property is subject to the Operative Dunedin City Second Generation District Plan 2026 (2GP), which became fully operative on 17 June 2026. The 2GP, including planning maps, is available on the Dunedin City Council website <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> and at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- General Residential 2 (refer Section 15, Residential)

Scheduled Items

- Nil

Overlay Zones

- Hazard 3 (coastal) Overlay Zone

Mapped Areas

- South Dunedin Mapped Area

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas:

<https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any building consent, or to enquire about information referred to in this section, please contact Building Services Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 37 Grove Street Dunedin

5058984 41A Grove Street Dunedin

[RMA-1999-363310](#) Resource Management Act (Historical Data) CHANGE OR CANCELLATION OF CONDITION OF RESOURCE CONSENT 980735 Hazards Comments: (Other). The outcome was Granted on 22/09/1999.

[RMA-1998-362003](#) Resource Management Act (Historical Data) ADD CONSERVATORY TO DWELLING CHQ/LR POWELL (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 03/06/1998.

[RMA-1998-362276](#) Resource Management Act (Historical Data) SUBDIVISION (Non-Notified - Non Complying). The outcome was Granted on 24/09/1998.

[RMA-1998-362274](#) Resource Management Act (Historical Data) SUBDIVISION OF TITLE INTO TWO LOTS (Non-Notified - Non Complying). This consent has since Lapsed.

[RMA-1993-355956](#) Resource Management Act (Historical Data) ER 2ND HOUSEHOLD UNIT Ownr:L R POWELL / App: L R POWELL 107 PRINCE ALBERT RD (Non-Notified - Non Complying). The outcome was Granted on 17/03/1993.

[POL-2000-349862](#) Planning Other Legislation CREATION OF RIGHT OF WAY (Other). The outcome was Granted on 05/10/2000.

5058991 31 Grove Street Dunedin

[RMA-1991-350926](#) Resource Management Act (Historical Data) Flats Plan / App: T.B. Hendry PO Box 1083 (Non-Notified - Non Complying). The outcome was Granted on 09/05/1991.

5058995 14B New Street Dunedin

[RMA-1995-353102](#) Resource Management Act (Historical Data) DISPENSATION 1710 ADD CONSERVATORY (Non-Notified - Non Complying). The outcome was Granted on 23/04/1991.

5059002 36 Tedder Street Dunedin

[LUC-2016-381/A](#) Land Use Consent variation of condition 1 of LUC-2016-381, to allow for revised plans which change the design of the approved garage/sleep out. The outcome was Granted on 28/11/2016.

[LUC-2016-381](#) Land Use Consent land use consent to establish a garage/sleep out in the side yard and height plane angle. The outcome was Granted on 25/08/2016.

5059065 36 Grove Street Dunedin

[SUB-2025-159/A](#) Subdivision Consent s357 objection to fees - A five lot subdivision of a contaminated site.. There has been no outcome yet.

[LUC-2025-305](#) Land Use Consent The construction of a multi-unit development resulting in five residential units including setback, transport, and earthworks breaches and disturbance and removal of soil from a contaminated site.. The outcome was Granted on 19/03/2026.

[SUB-2025-159](#) Subdivision Consent A five lot subdivision of a contaminated site.. The outcome was Granted on 19/03/2026.

5059069 38C Grove Street Dunedin

[RMA-1996-359400](#) Resource Management Act (Historical Data) UPDATE TO CROSS LEASE PLAN FOR FLATS AT 38C & 38D GROVE STREET (Non-Notified Controlled). The outcome was Granted on 28/03/1996.

[RMA-1991-353223](#) Resource Management Act (Historical Data) ADD TO FLAT (CONSERVATORY) Ownr:ILLINGWORT / App: ILLINGWORT (Non-Notified - Non Complying). The outcome was Granted on 19/08/1991.

5059070 38D Grove Street Dunedin

[RMA-1996-359400](#) Resource Management Act (Historical Data) UPDATE TO CROSS LEASE PLAN FOR FLATS AT 38C & 38D GROVE STREET (Non-Notified Controlled). The outcome was Granted on 28/03/1996.

5059078 52A Grove Street Dunedin

[SUB-2007-256](#) Subdivision Consent Amendment to a cross lease plan. The outcome was Granted on 21/12/2007.

5059079 52 Grove Street Dunedin

[SUB-2007-256](#) Subdivision Consent Amendment to a cross lease plan. The outcome was Granted on 21/12/2007.

5102928 27 Grove Street Dunedin

[RMA-1996-359259](#) Resource Management Act (Historical Data) FLATS PLAN (Non-Notified Controlled). The outcome was Granted on 26/02/1996.

5106259 41 Grove Street Dunedin

[RMA-1999-362737](#) Resource Management Act (Historical Data) TEMPORARY SIGNS AT VARIOUS LOCATIONS FOR WINE AND FOOD FESTIVAL AT GARDENS (Non-Notified - Non Complying). The outcome was Granted on 25/03/1999.

[RMA-1998-362497](#) Resource Management Act (Historical Data) TEMPORARY SIGNS FOR CHRISTMAS CRAFT SHOW (Non-Notified - Non Complying). The outcome was Granted on 24/11/1998.

5109257 31A Grove Street Dunedin

[RMA-1991-350926](#) Resource Management Act (Historical Data) Flats Plan / App: T.B. Hendry PO Box 1083 (Non-Notified - Non Complying). The outcome was Granted on 09/05/1991.

[RMA-1995-352823](#) Resource Management Act (Historical Data) DISPENSATION 1342 FOR ENCROACHMENT INTO YARD BY NEW RESIDENTIAL UNIT (Non-Notified - Non Complying). The outcome was Granted on 31/05/1990.

5113929 52A Grove Street Dunedin

[SUB-2007-256](#) Subdivision Consent Amendment to a cross lease plan. The outcome was Granted on 21/12/2007.

5115333 43 Grove Street Dunedin

[LUC-2007-561](#) Land Use Consent land use arising from subdivision. The outcome was Granted on 07/11/2007.

[SUB-2007-193](#) Subdivision Consent two lot subdivision. The outcome was Granted on 07/11/2007.

5115334 43A Grove Street Dunedin

[LUC-2013-204](#) Land Use Consent construct a dwelling that breaches height plane angle requirements. The outcome was Granted on 19/07/2013.

[LUC-2007-561](#) Land Use Consent land use arising from subdivision. The outcome was Granted on 07/11/2007.

[SUB-2007-193](#) Subdivision Consent two lot subdivision. The outcome was Granted on 07/11/2007.

5115687 42 Tedder Street Dunedin

[LUC-2009-73](#) Land Use Consent Technical breach of side yard, height plane and site coverage for two consented dwellings resulting from subdivision of site. The outcome was Granted on 06/03/2009.

[SUB-2009-7](#) Subdivision Consent Two Lot Residential 2 Subdivision. The outcome was Granted on 06/03/2009.

[LUC-2008-575](#) Land Use Consent Land Use Consent to construct two x two bedroom units on an existing site.. The outcome was Granted on 14/11/2008.

5115688 42A Tedder Street Dunedin

[LUC-2009-73](#) Land Use Consent Technical breach of side yard, height plane and site coverage for two consented dwellings resulting from subdivision of site. The outcome was Granted on 06/03/2009.

[SUB-2009-7](#) Subdivision Consent Two Lot Residential 2 Subdivision. The outcome was Granted on 06/03/2009.

[LUC-2008-575](#) Land Use Consent Land Use Consent to construct two x two bedroom units on an existing site.. The outcome was Granted on 14/11/2008.

5123081 45 Grove Street Dunedin

[LUC-2015-60](#) Land Use Consent land use consequential to a subdivision consent. The outcome was Granted on 16/03/2015.

[SUB-2015-10](#) Subdivision Consent subdivision creating 2 lots. The outcome was Granted on 16/03/2015.

5123082 45A Grove Street Dunedin

[LUC-2015-486](#) Land Use Consent construct a dwelling breaching side yard. The outcome was Granted on 11/11/2015.

[LUC-2015-60](#) Land Use Consent land use consequential to a subdivision consent. The outcome was Granted on 16/03/2015.

[SUB-2015-10](#) Subdivision Consent subdivision creating 2 lots. The outcome was Granted on 16/03/2015.

5127289 32 Grove Street Dunedin

[LUC-2018-235](#) Land Use Consent land use consent for existing residential activity on new undersized Lot 1 SUB-2018-44 with height plane angle breaches in respect of the existing and new boundaries; the retention of the existing garage on new Lot 2 SUB-2018-44 with no associated activity; and the future residential activity of Lot 2 SUB-2018-44 with a legally under-width access. The outcome was Granted on 08/06/2018.

[SUB-2018-44](#) Subdivision Consent subdivision creating 2 lots. The outcome was Granted on 08/06/2018.

5127290 32C Grove Street Dunedin

[BACT-2018-40](#) Boundary Activity Notice boundary activity - height planes. The outcome was Issued on 02/08/2018.

[LUC-2018-235](#) Land Use Consent land use consent for existing residential activity on new undersized Lot 1 SUB-2018-44 with height plane angle breaches in respect of the existing and new boundaries; the retention of the existing garage on new Lot 2 SUB-2018-44 with no associated activity; and the future residential activity of Lot 2 SUB-2018-44 with a legally under-width access. The outcome was Granted on 08/06/2018.

[SUB-2018-44](#) Subdivision Consent subdivision creating 2 lots. The outcome was Granted on 08/06/2018.

5132787 37A Grove Street Dunedin

[LUC-2020-368](#) Land Use Consent Non-relocatable residential building on Lot 2 SUB-2020-107 with setback, site coverage, maximum height contraventions, and shared access to Lots 1 and 2 SUB-2020-107 with width and distance from building contraventions.. The outcome was Granted on 13/08/2020.

[SUB-2020-107](#) Subdivision Consent Two lot subdivision. The outcome was Granted on 13/08/2020.

5133372 48B Tedder Street Dunedin

[SUB-2020-67/A](#) Subdivision Consent s357 objection to fees for SUB-2020-67 - undertake a 2-lot subdivision and establish 2 residential units. The outcome was S357 Upheld on 23/11/2020.

[SUB-2020-67](#) Subdivision Consent undertake a 2-lot subdivision and establish 2 residential units. The outcome was Granted on 25/06/2020.

[LUC-2020-205](#) Land Use Consent land use consent for the reduction of outdoor living area on new lot 1 and a breach of building site coverage on new lots 1 and 2. The outcome was Granted on 25/06/2020.

5137730 12A New Street Dunedin

[SUB-2022-75](#) Subdivision Consent The a two lot fee simple subdivision around two existing dwellings. The outcome was Granted on 21/06/2022.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012.

The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Neighbouring property driveway access – vehicle access for the neighbouring property is over this property's boundary.

Access to the neighbour's property is over this property's boundary, the maintenance of the private driveway/s is the property owners/users responsibility.

Please consult with your Lawyer to find out if this is registered under your property title and/or there is a formal agreement in place between the owners/users of all private accesses in order, to clarify maintenance responsibilities and access permission for the owners/users.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage
DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance

MH	Manhole
PL	Plumbing
PLB	Plumbing
PTE	Private
SIS	Sewer in section
WC	Water course
WT	Water table
SW	Stormwater

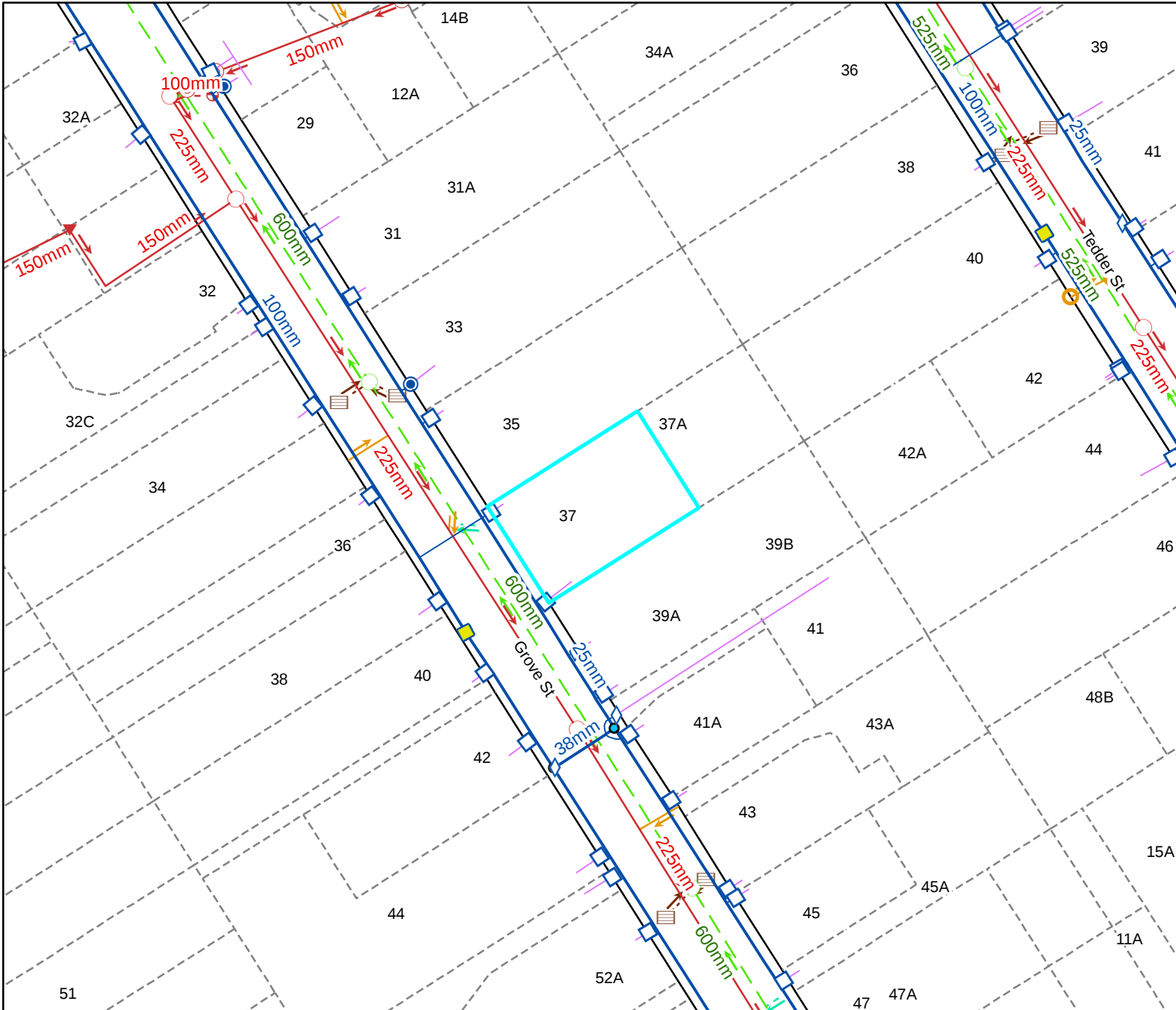
General terms

RDMS Records and Document Management System



Appendices





Legend

Water Supply		NR	Water Non-Return Valve
	Manifold Box		Water Pump Station
	Water Meter		Water Bore
	Toby		Water Treatment Plant
	Meter without manifold box		Water Storage Tank
	Retic Flow Meter		Supply Main
	Combination Meter		Trunk Main
	Manifold Box With Restrictor		Disused
	Water Valve - Zone		Reticulation
	Non Return Valve		Scour
	Water Valve - Gate		Water Service Lateral
	Water Valve - Sluice		Water Fire Service Lateral
	Water Hydrant		Water Critical Service Lateral
	Water Backflow Preventor - RPZ		Water Zone Boundary
			Water Reservoir
			Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage	
	Standard Manhole
	Valve Chamber (pressurised)
	Boundary Kit
	Non-Return Valve
	Pump Station Domestic
	Drop Manhole
	Inspection Manhole
	Inspection Opening
	Lamphole
	Outlet
	Pump Station
	Treatment Plant
	Vent
	Foul Sewer Node
	Foul Drains in Common (public)
	Sewer
	Trunk Sewer
	Vent Line
	Rising Main
	Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater	
	SW Bubble-up Tank
	SW Drop Manhole
	SW Insp Chamber and Grating Inlet
	SW Inspection Manhole
	SW Inspection Opening
	SW Lamphole
	SW Mudtank Inlet
	SW Outlet
	SW Pipe Inlet
	SW Pressure Manhole
	SW Standard Manhole
	SW Stormwater Node
	Roading Bubble-Up Tank
	Roading Mudtank
	Stormwater Main
	Stormwater Trunk Main
	DCC Open Channel
	Piped WC
	Open WC
	Culvert
	Stormwater Mudtank Pipe
	Redundant Stormwater Main
	SW Sump
	SW Pump Station

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

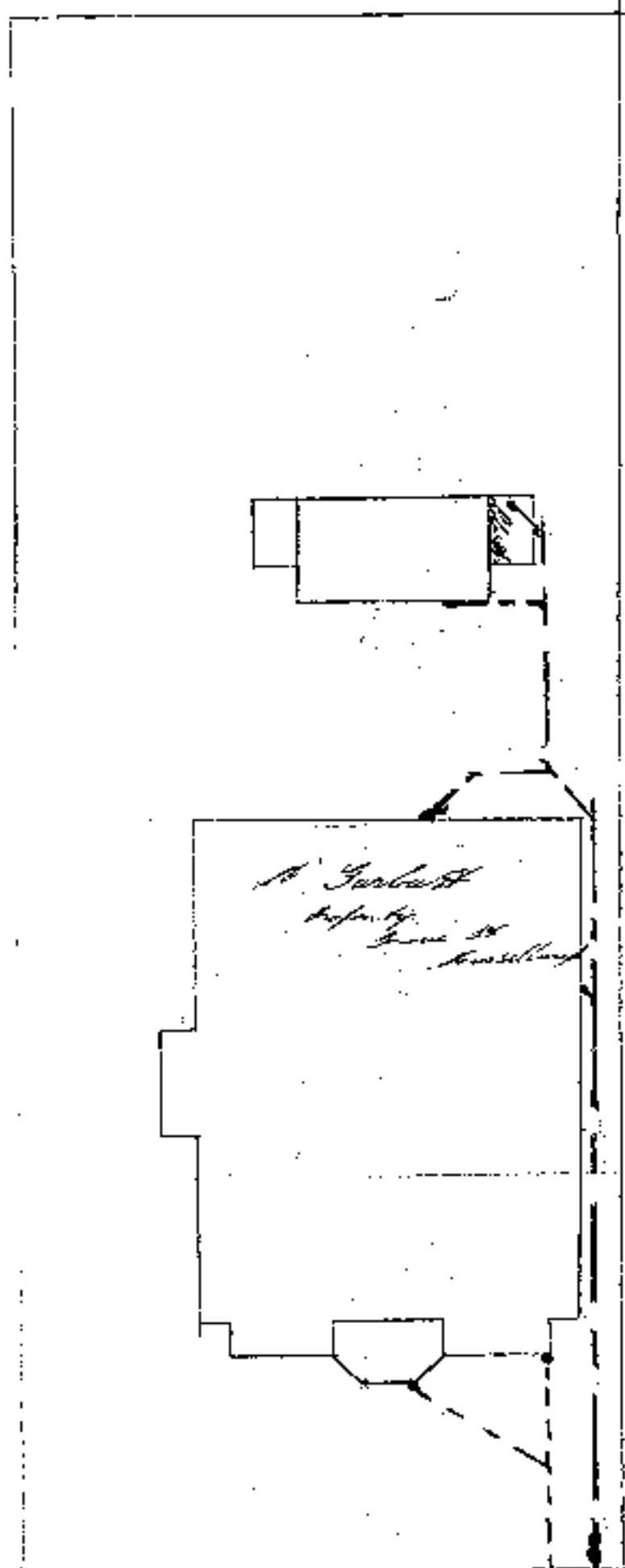
General		Cadastral	
	DCC Water & Waste Structure		Parcel
	Railway Centreline		Road/Rail
			Hydro
			Motorway Parcels
			Strata
			Easment (where recorded)

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/waterservices>

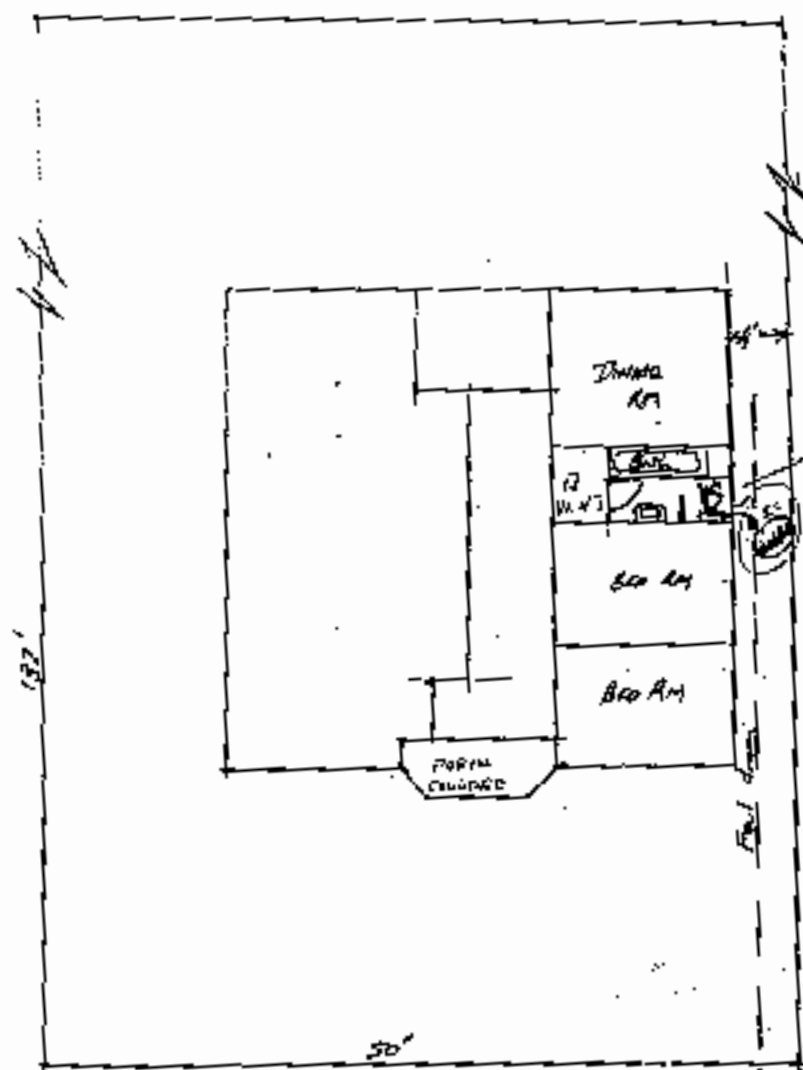
11/11/07

LEGEND

- Existing Drain
- - - New Foul Drain
- - - New Stormwater Drain



W. Cunningham



LEGEND

- existing Drain
- new Drain
- water Drain

Owner LEO HO CARBUTT Block 4 ROSELBORGH

Street 37 GROVE ST Section _____

Locality ST. MICHAEL Allotment 7 PLAN 168

Signature of Drainer. P. Dillon

4-377

5/9/59

ST.

19/5/59

Scale 1:100

LEGEND

Existing Drain

New Four Drain

New Steamwater Drain

X line
W/A

New Four Cold
Drain

Area
of 3689

Utility

Dining

Lounge

Bedroom 2

Door

Bedroom 2

Bedroom 2

Alternative plan of layout

15.25/1

BY CRAB ST

CODE COMPLIANCE CERTIFICATE

Section 43(3), Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

50 THE OCTAGON BOX 5045 DUNEDIN NEW ZEALAND. TELEPHONE: (03) 477 4000. FACSIMILE: (03) 474 3594

Telephone No:	474 3525	CCC No:	ABA 953951	Reference No:	5058987
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT	PROJECT LOCATION
All ☒ Stage No of an intended stages New Building ☐ Alteration ☒ Intended Use(s) in detail: HEATER Intended Life: Indefinite, not less than 50 years ☐ Specified as <u>5</u> years ☐ Demolition ☐	Name: CURTIS, MICHAEL ALFRED Street Address: 37 GROVE STREET, ST KILDA, DUNEDIN Mailing Address: 27 MAIN SOUTH RD, FAIRFIELD, DUNEDIN LEGAL DESCRIPTION Property Number: 2058987 Valuation Roll No. 27500 22500 Legal Description: LOT 7 BLK 4 DP 68

This is:

- ☒ A final code compliance issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- ☐ This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplitting of this code compliance, in accordance with the attached details are: \$
 Receipt No:

Signed for and on behalf of the Council:

Name:

Position: AUTHORISED OFFICER

Date: 07/08/1996

BUILDING CONSENT

Section 35, Building Act 1991

ISSUED BY:



DUNEDIN CITY COUNCIL

50 THE OCTAGON, BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	474-3525	Consent No:	ABA 953951	Reference No:	5058987
---------------	----------	-------------	------------	---------------	---------

(insert a cross in each applicable box. Attach relevant documents).

APPLICANT	PROJECT
Name: CURTIS, MICHAEL ALFRED	All ☒
Mailing Address: 27 MAIN SOUTH RD, FAIRFIELD	Stage No of an intended stages
PROJECT LOCATION	New Building ☐
Street Address: 37 GROVE STREET, ST KILDA	Alteration ☒
LEGAL DESCRIPTION	Intended Use(s) in detail: HEATER
Property Number: 5058987	Intended Life:
Valuation Roll No: 27500 22500	Indefinite, not less than 50 years ☐
Legal Description: ST 7 DP 58	Specified as 5 years ☐
	Demolition ☐
	Estimated Value: \$3000
COUNCIL CHARGES	Signed for and on behalf of the Council:
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:	Name: <i>R. H. Thompson</i>
Total: \$	Position: AUTHORISED OFFICER
ALL FEES ARE GST INCLUSIVE	Date: 22/08/1995

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."

37 Grove Street St Kilda

DUNEDIN CITY COUNCIL

Installation of Wetback Heaters

Work involved in installing the
wetback and water pipework
to be carried out by a Craftsman
journeyman.

Work shall comply with the Building
Regulations 1992 Clause G 12

Officer.....*S.J.F.* Date 14/8/95

DUNEDIN CITY COUNCIL

Copy of Approved Plan
and/or Specification

TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.

DATE 14.8.95

S.J.F. BUILDING INSPECTOR

ENVIRONMENTAL HEALTH CONDITIONS:-
SOLID FUEL BURNER TO BE OPERATED
IN NUISANCE FREE MANNER.
PLEASE CONTACT ENVIRONMENTAL HEALTH
SECTION PH. 477-4000 FOR ADVICE ON
OWNER RESPONSIBILITIES



New Woodsman
Kauri
Inbuilt Model

95/3951



DUNEDIN CITY
COUNCIL
Kaunihera-a-rohe o Otago

50 The Octagon, PO Box 5045, Moray Place
Dunedin 9058, New Zealand
Telephone: 03 477 4000, Fax: 03 474 3488
Email: dcc@dcc.govt.nz
www.dunedin.govt.nz

Code Compliance Certificate Form 7

Section 95, Building Act 2004

P S Pariachi and M M Pariachi
37 Grove Street
Dunedin 9012

The building

Street address of building: 37 Grove Street Dunedin

Legal description of land where building is located: LOT 7 BLK IV DP 68

Building Name: N/A

Location of building within site/block number:

Level/unit Number:

Current, lawfully established, use:

Number of occupants:

Year first constructed:

The owner

Name of owner: P S Pariachi and M M Pariachi

Contact person: P S Pariachi and M M Pariachi

Mailing address: 37 Grove Street, Dunedin 9012

Street address/registered office:

Mobile: 021 053 3272

Landline: 03 425 0365

Email address: pspariachi@yahoo.com

First point of contact for communications with the building consent authority: As above

Building work

Building Consent Number: ABA-2004-304754 Alter Dwelling - Kitchen, Bathroom, Deck

This CCC also applies to the following amended consents: N/A

Issued by: Dunedin City Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that-

- (a) The building work complies with the building consent

This Certificate is issued subject to the conditions specified:

The Building Consent is subject to a modification to the Building Code to the effect that, Clause B2.3.1 applies from 4 March 2008 instead of from time of issue of the Code Compliance Certificate.

Team Leader Inspections
On behalf of Dunedin City Council

Date: 2 February 2018

NOTE

CODE COMPLIANCE CERTIFICATE

SECTION 95 OF 2004

Section 95, Building Act 2004

CCC NO:	ABA-2007-315095	Telephone No:	03 477 4000
APPLICANT		PROJECT	
S M Ravenwood C/O Versatile Buildings Dunedin PO Box 13154 Green Island Dunedin 9030		Work Type: New Construction (H) Intended Use/Description of Work: (DWX) Erect Carport- Form New Driveway- Demolish Carport	
PROJECT LOCATION		Intended Life: Indefinite, not less than 50 years. This CCC also applies to the following Amended Consents:	
37 Grove Street Dunedin			
LEGAL DESCRIPTION			
Legal Description: LOT 7 BLK IV DP 68 Valuation Roll No: 27500-22500 Building Name: N/A			

The building consent authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

☐ Compliance Schedule attached

Signed for and on behalf of the Council:

Name: 

Position: AUTHORISED OFFICER

Date: 11 March 2008

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED

POSITION, LEVEL (OR EXISTANCE)
OF PUBLIC OR PRIVATE DRAINS
IS SUBJECT TO VERIFICATION ON
SITE BY THE OWNER OF THE LAND
OR THEIR AGENT

Plumbing and Drainage
To comply with approved
documents: E1/AS1, G12/AS1,
G13/AS1 & 2

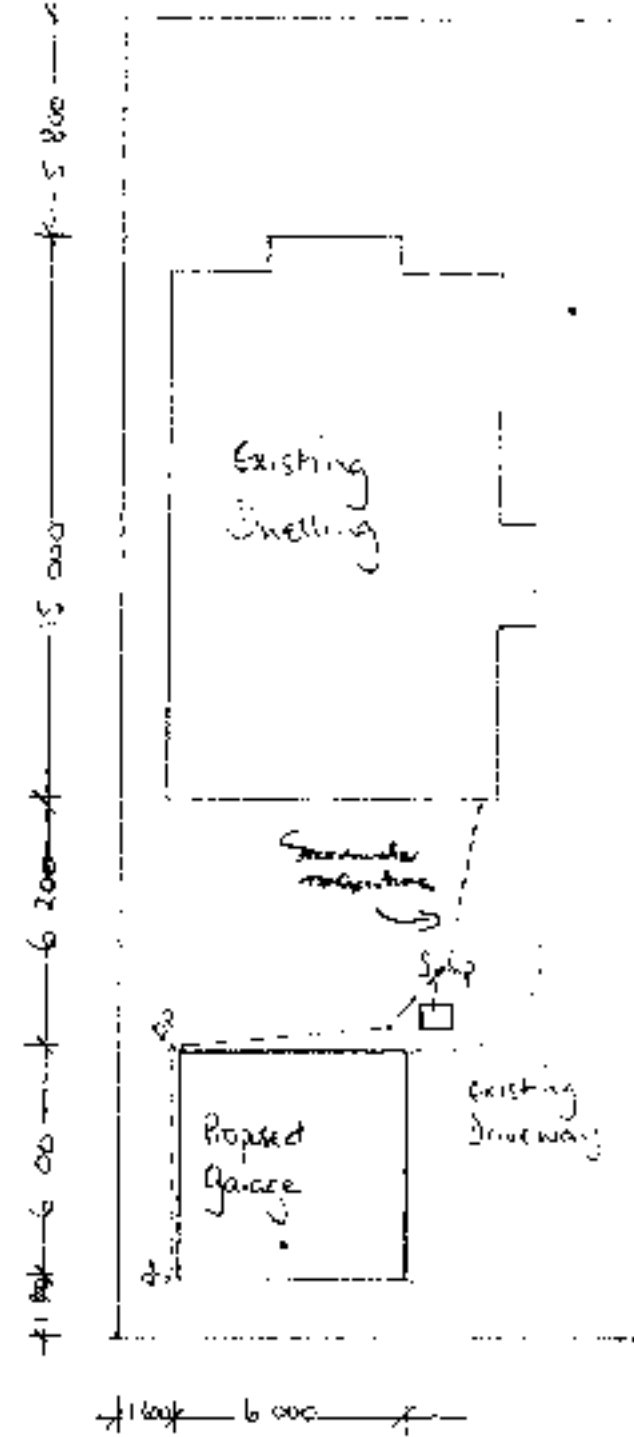
DUNEDIN CITY COUNCIL
Plans and Specifications Approved in accordance
with The New Zealand Building Code and Approved
Documents. To be returned on request
and produced on request

Building *Q. J. J.* Date *21.3.07*
Drainage *L. Bell* Date *6.3.07*
Health *Q. J. J.* Date *6.3.07*

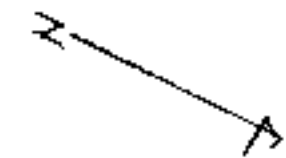
NOTE
Stormwater to discharge to an approved outfall.

DUNEDIN CITY COUNCIL
APPROVED
2007 3 15 09 5

60/2/82



Garage Platform to be raised for street fall for stormwater



SITE DETAILS

LOT: 7
DP: 68
CT:

VERSATILE BUILDINGS

HEAD OFFICE: 09 488 8888
FAX: 09 488 8889

PROJECT NO: *Proposed Building for:*
S & D BUCHANAN

DRAWING TITLE

SITE PLAN

SCALE: 1:500
DATE: *21.3.07*
DRAWN: *L. Bell*

Note: Construction to comply with NZS 5604 (1999) and the New Zealand Building Code 1992. REFER TO PRODUCER STATEMENT 107000

REF: 1

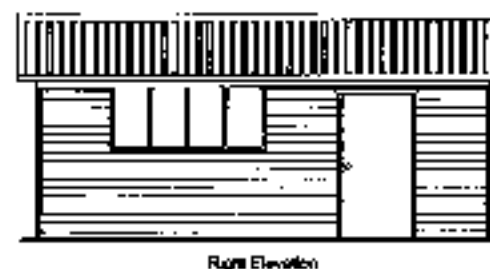
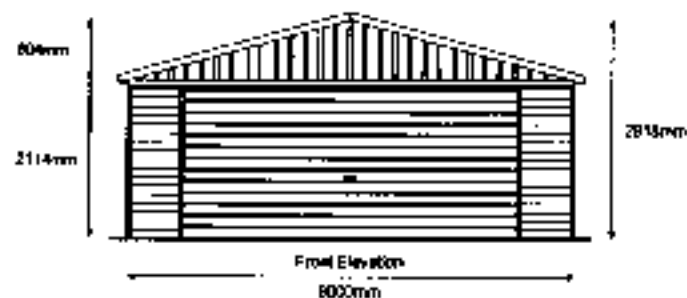
Versatile Buildings 1000 Series Elevations

Customer: Sharon and Dave Buchanan

Site Address: 37 Grove Street, St.Kilda, Dunedin

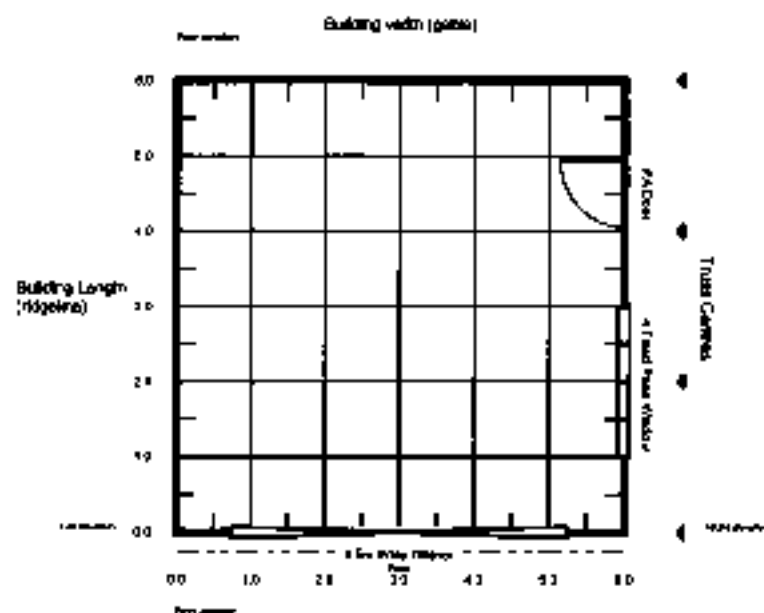
Reference: Richard-1013

Contact: Richard Hanrahan, Dunedin, (03) 488 5632



DUNEDIN
2007 3 15 0 5

Versatile Buildings 1000 Series Floor Plan
 Customer: Sharon and Dave Buchanan
 Site Address: 37 Grove Street, St.Kilda, Dunedin
 Reference: Richard-1013
 Contact: Richard Harrigan, Dunedin, (03) 488 5832



2007315600

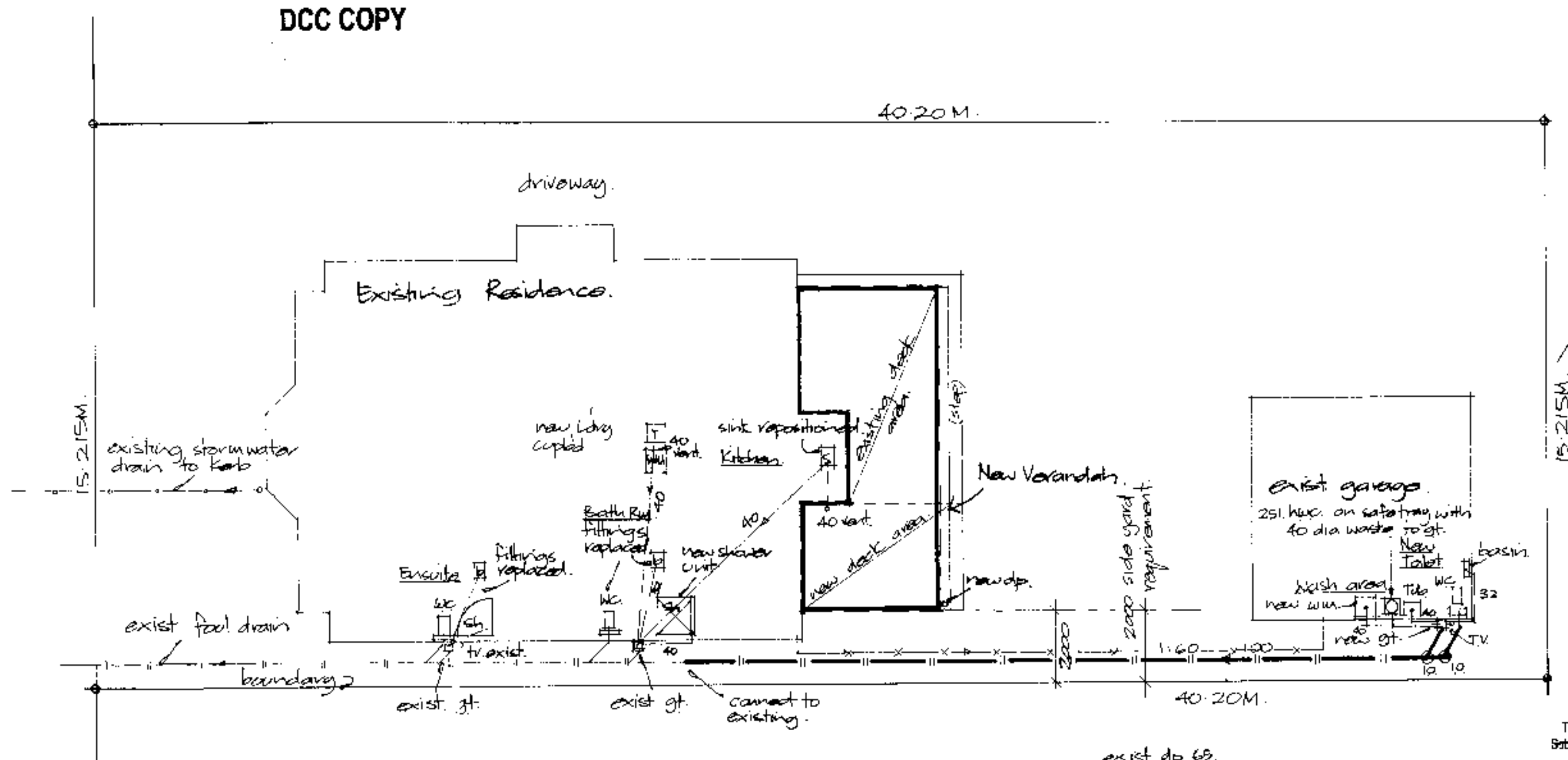
2007 3 1 5 0 - 0

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Figure 1 is a plan view of a rectangular room. The overall dimensions are 5.980m in width and 10.07m in depth. The room features a 4.5m wide titthloor (indicated by a dashed line), a fixed pane window on the right wall, and a P.A. Door on the right wall. A diagonal line is drawn across the room, labeled "Diagonal 8.457". The room is divided into sections by a grid of lines, with dimensions 7.40, 4.50, and 7.40 indicated along the bottom edge.

DCC COPY

GROVE ST.



DCC CITY PLANNING
THESE PLANS ARE APPROVED
This development complies with the District Plan
Subject 10

18/4/17
Signed: [Signature] dated



DUNEDIN CITY COUNCIL
Plans and Specifications Approved in accordance
with The New Zealand Building Code and Approved
Documents. To be retained on works
and produced on request.

Building 1 Date 29.9.2017
Planning 2 Date 27.9.2017
Reason Date

NOTE

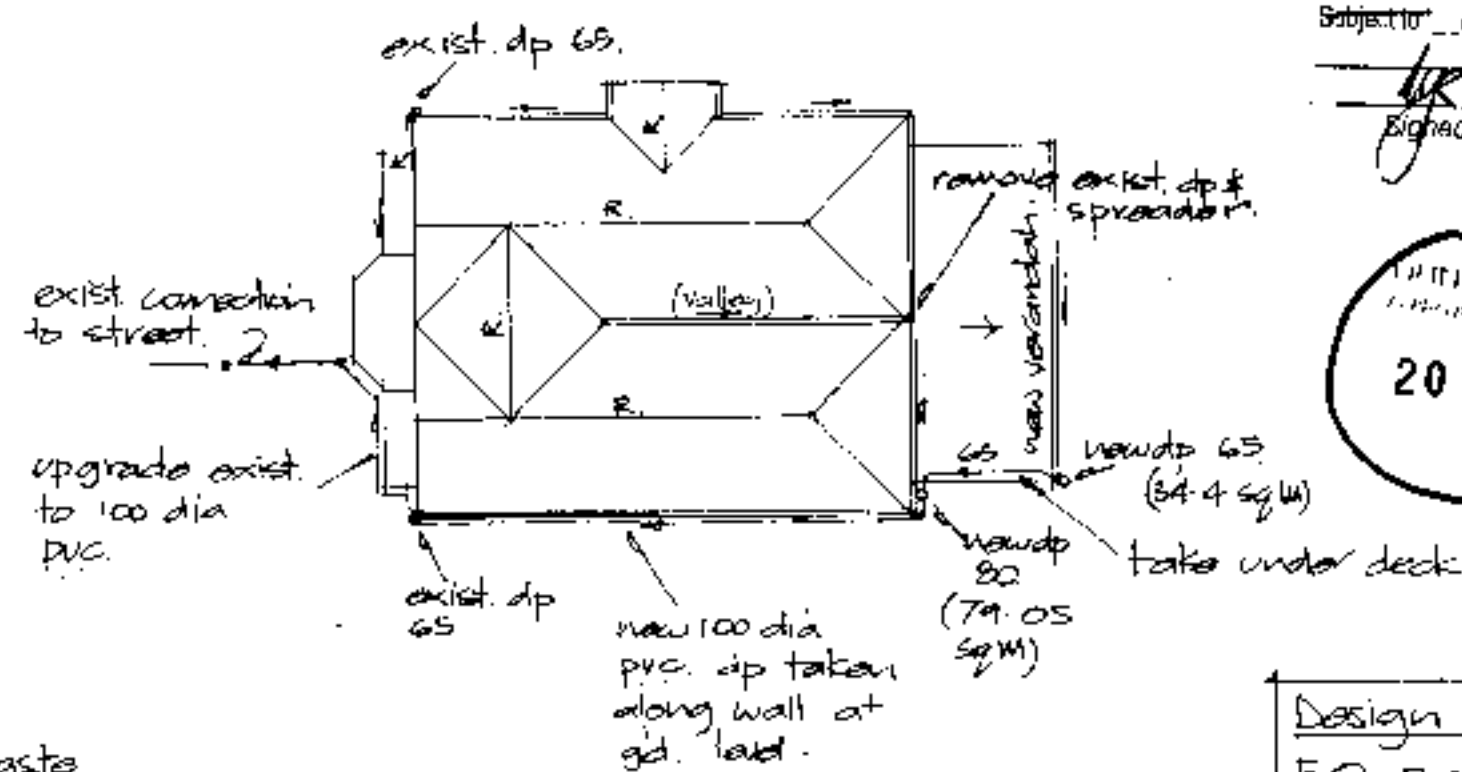
SITE PLAN 1:100 - showing foul drainage.

plumbing & drainage.

- : exist. foul drain to street
- : new 100 dia UPVC drain.
- : exist. storm water drain.
- # gt : new gully trap.
- 10 : inspection opening.
- o dp : down pipe, PVC, dias as noted.
- souting : Marley PVC 'stormcloud'
- x — : 25 dia Alkathene water supply to garage

wastes.

- shower, w. machine, tub, sink : 40 dia UPVC 1:40.
- basin : 32 dia UPVC 1:20.
- WC, toilet : 80 dia UPVC.
- back vent : 40 dia UPVC.
- hwc. safer tray : 40 dia PVC - waste
- All work shall be done in accordance with NZBC.
- Ventilate wastes & drains in accordance with G13 and acceptable solutions.
- Stormwater shall be in accordance with E1 AS1.



Roof Plan 1:200 - showing storm water drainage

Design Notes
EQ. Zone: 1.
exposure Zone: C.
Wind Zone: Medium.
gd. substrata: D/E.
Snow Zone: N5.

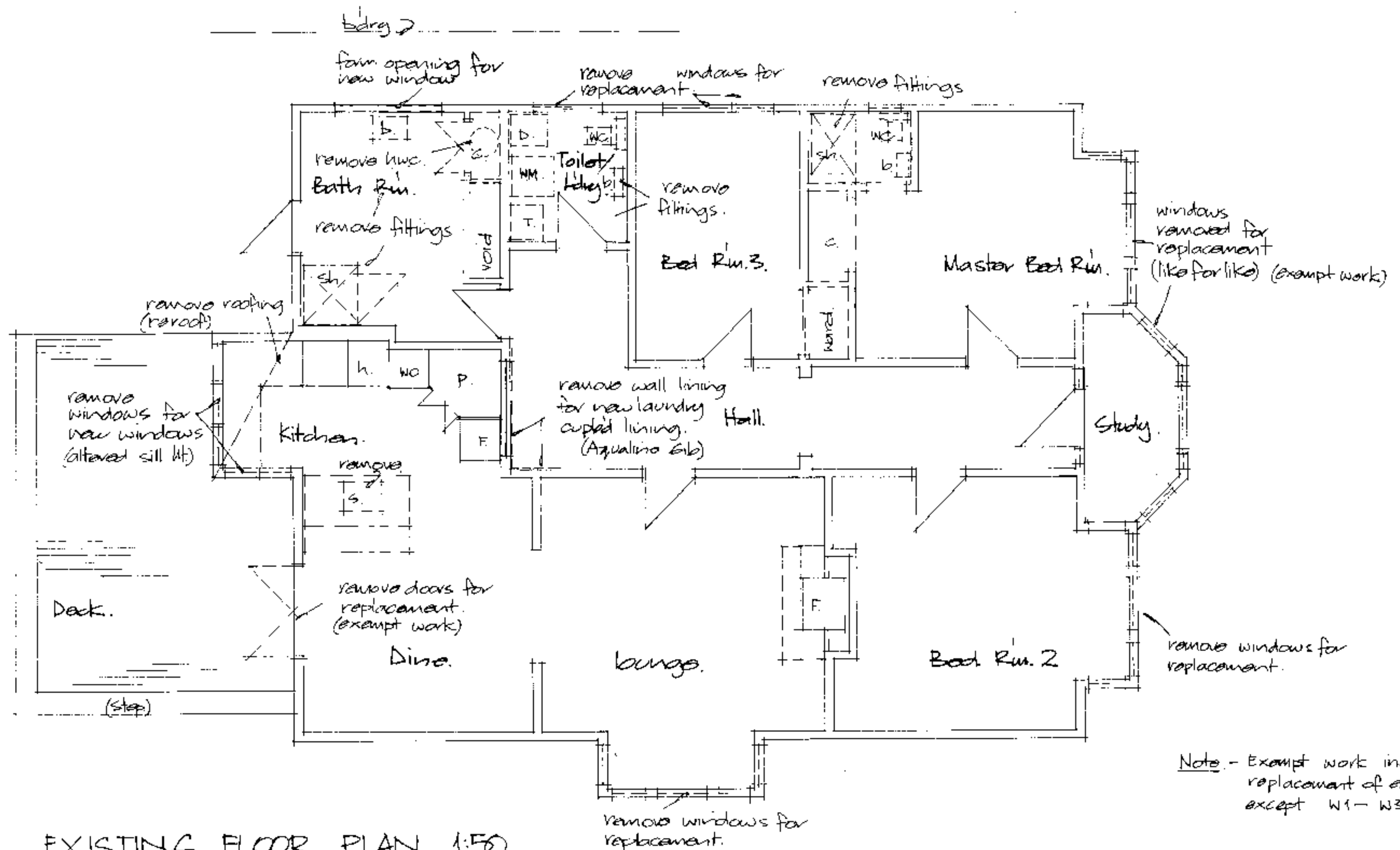
Legal.
lot 7, Block IV
DP. 68
613 sq. M area.

ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P.S. # M.M. PARIACHI.
Drawn: C. G. Sargeant. NZCD (Arch) ADN2. June. 2017.

A2-6

1
of 6





EXISTING FLOOR PLAN 1:50

- showing removal.

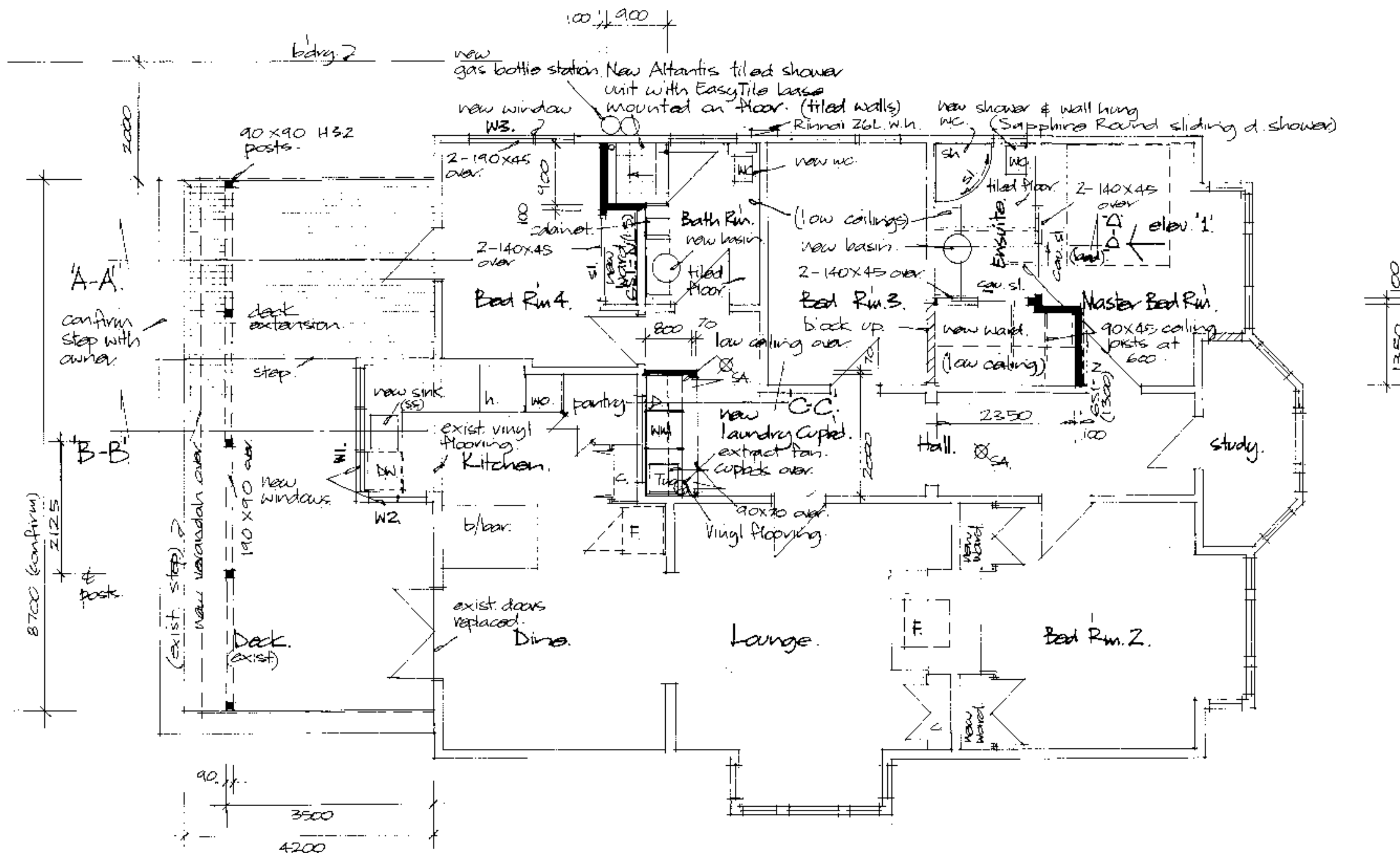
Legend.

==== : existing walls remain.

==== : walls removed

ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P. S. & M. M. PARJACHI.
Drawn: C. G. Sargeant. NZCD (Arch.) ADNZ. June 2017.

DUNEDIN CITY COUNCIL
2017 1823



FLOOR PLAN 1:50.

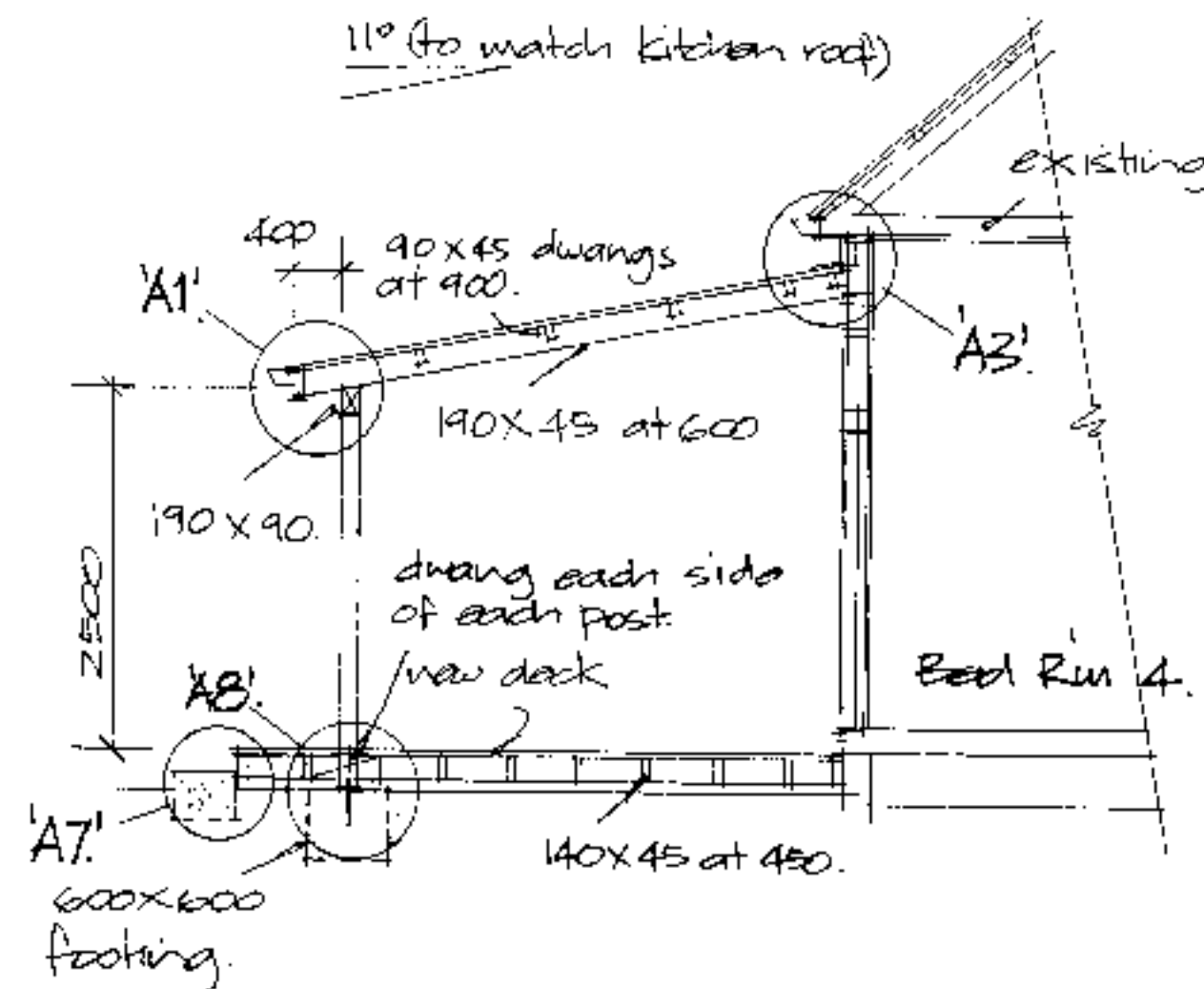
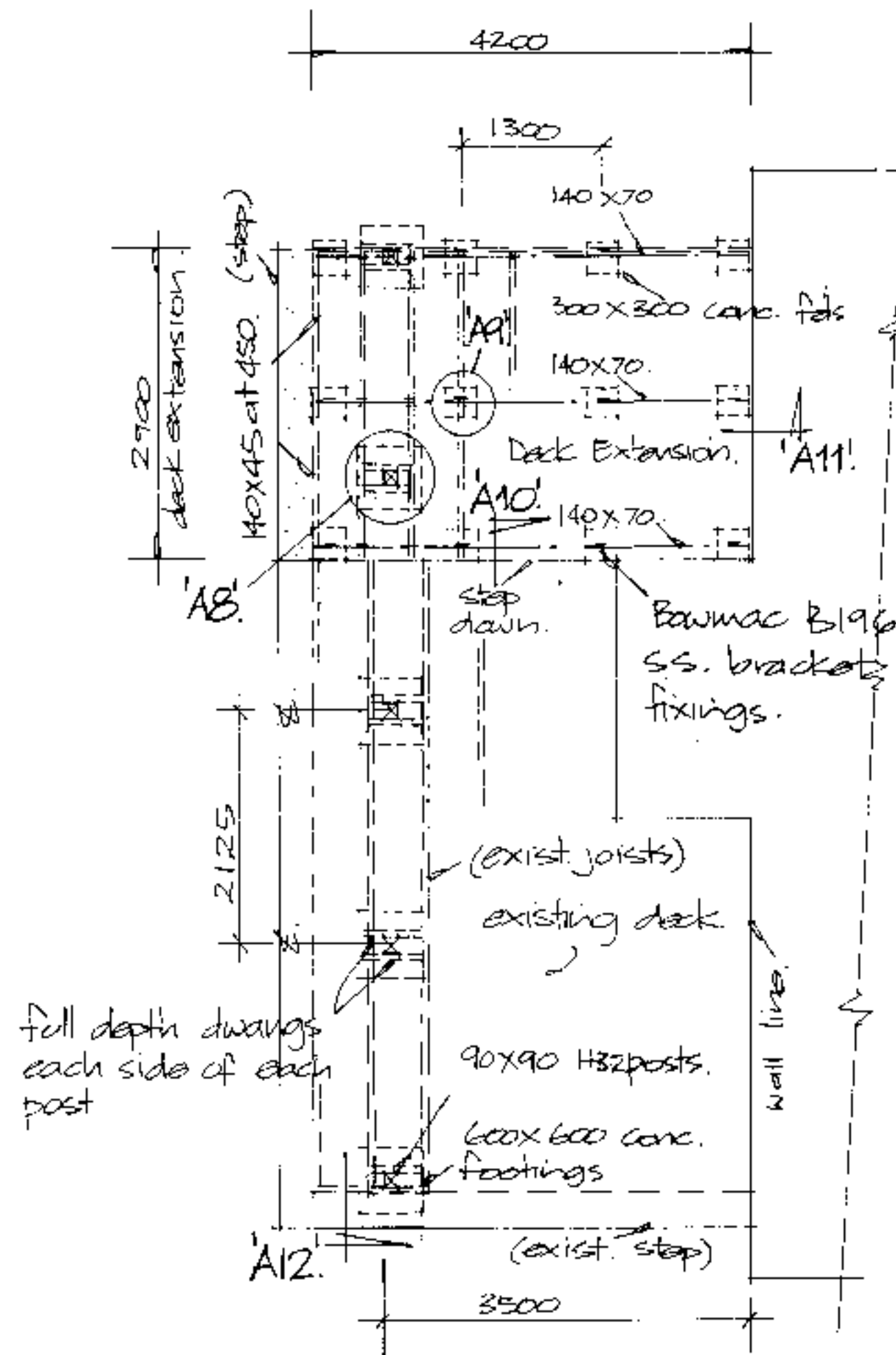
— showing new work.

Legend.

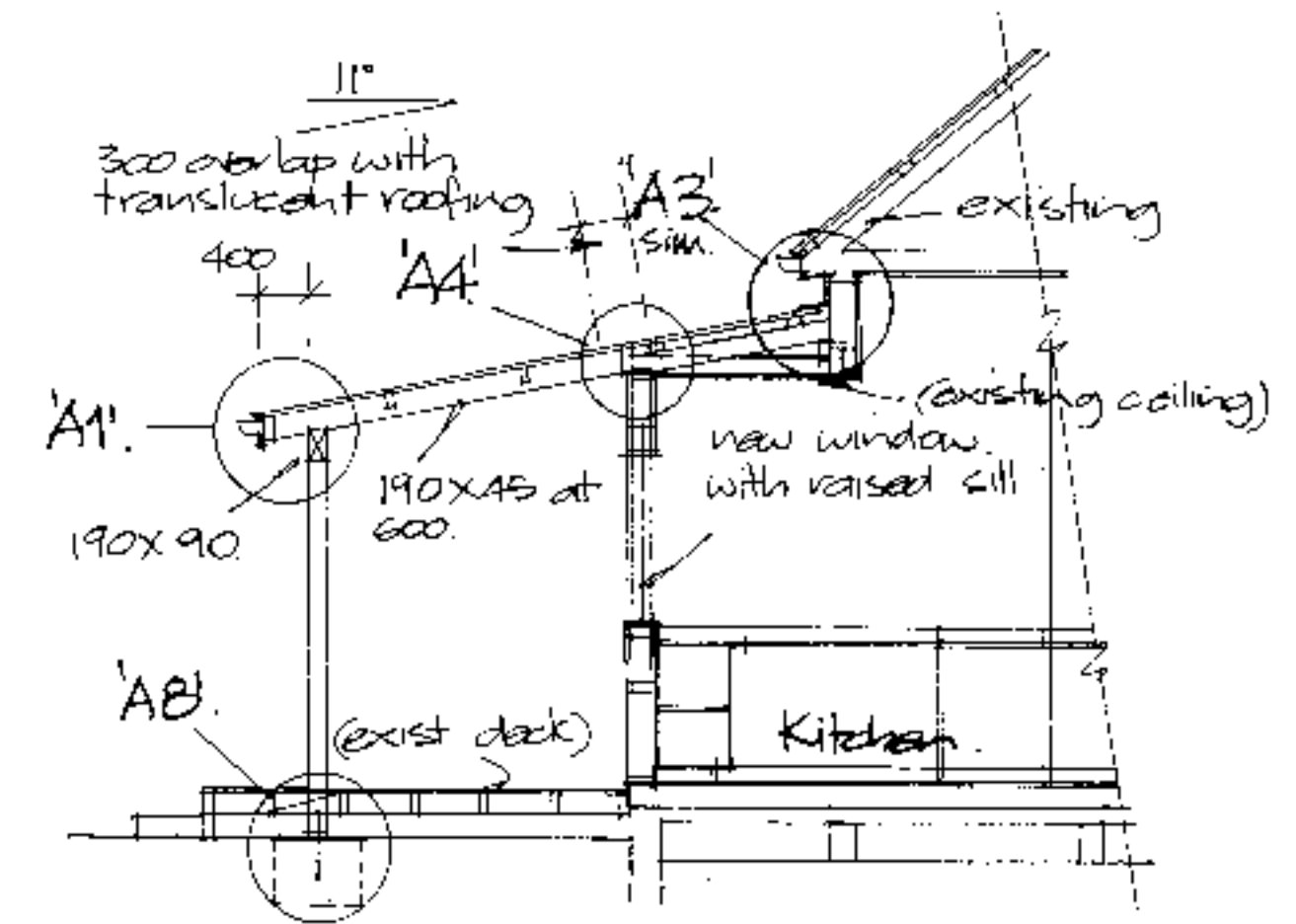
- : exist. walls.
- : new walls.
- ⊗ : smoke alarm ceiling mounted.
- ⊙ : extract fan. Manrose XF150 ducted to exterior.

ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P. S. & M. M. PARIACHI.
Drawn: C. E. Sargeant. NZCD(Arch) ADN2. June 2017.

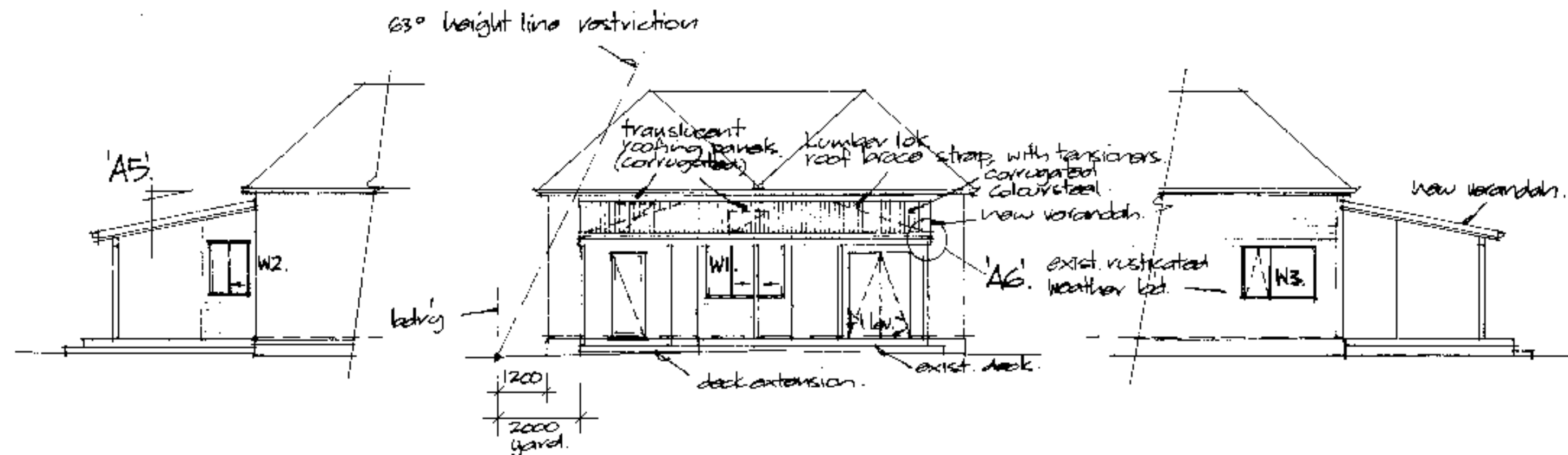
DUNEDIN CITY COUNCIL
2017 1823



Section 'A-A' 1:50

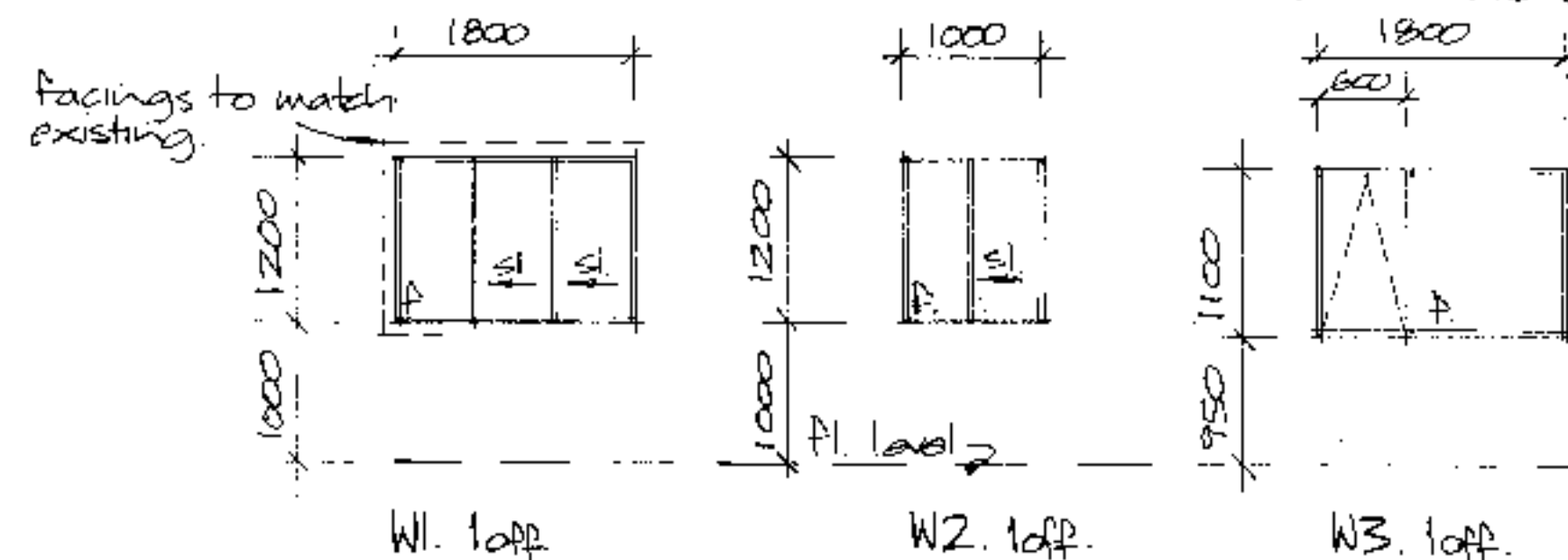


Section 'B-B' 1:50



North West Elevation. 1:100 North East Elevation. 1:100

South East Elevation. 1:100

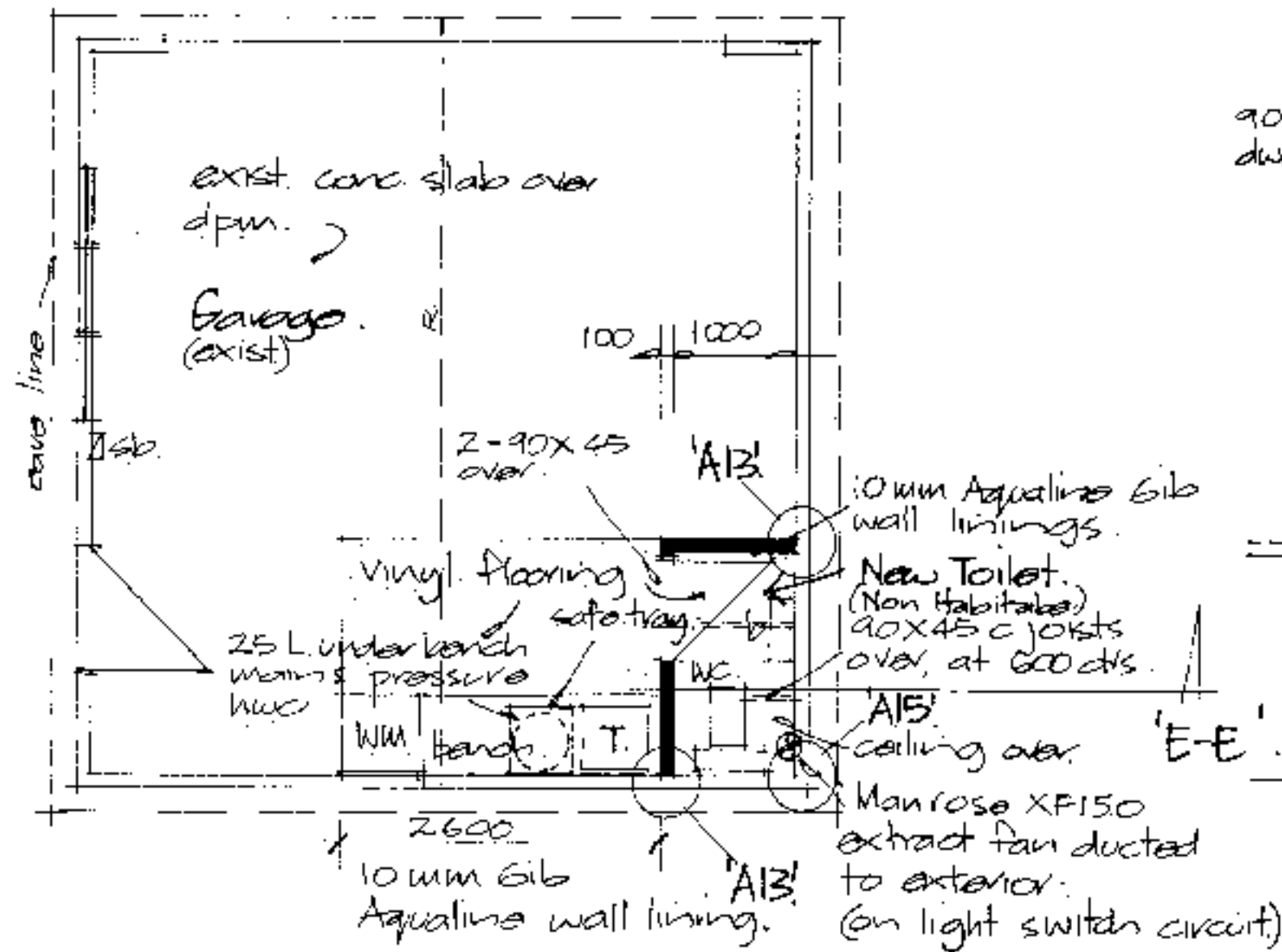


Window Schedule elevations as viewed from exterior 1:50

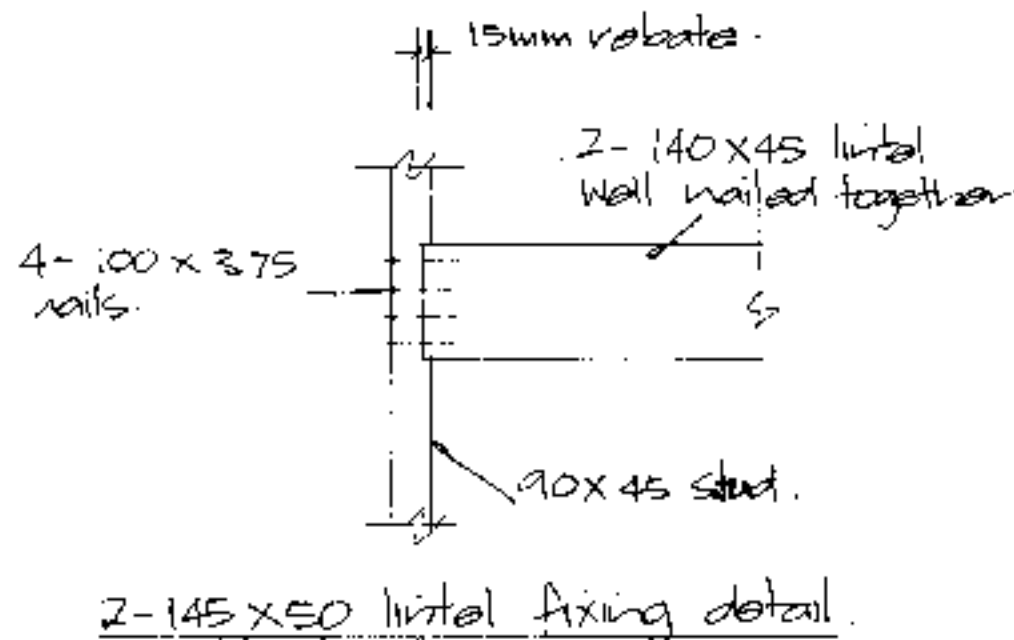
Notes
All windows shall be aluminium double glazed. confirm all rough opening sizes on job prior to fabrication. refer to specifications for flashing & seal details.

2017 1823

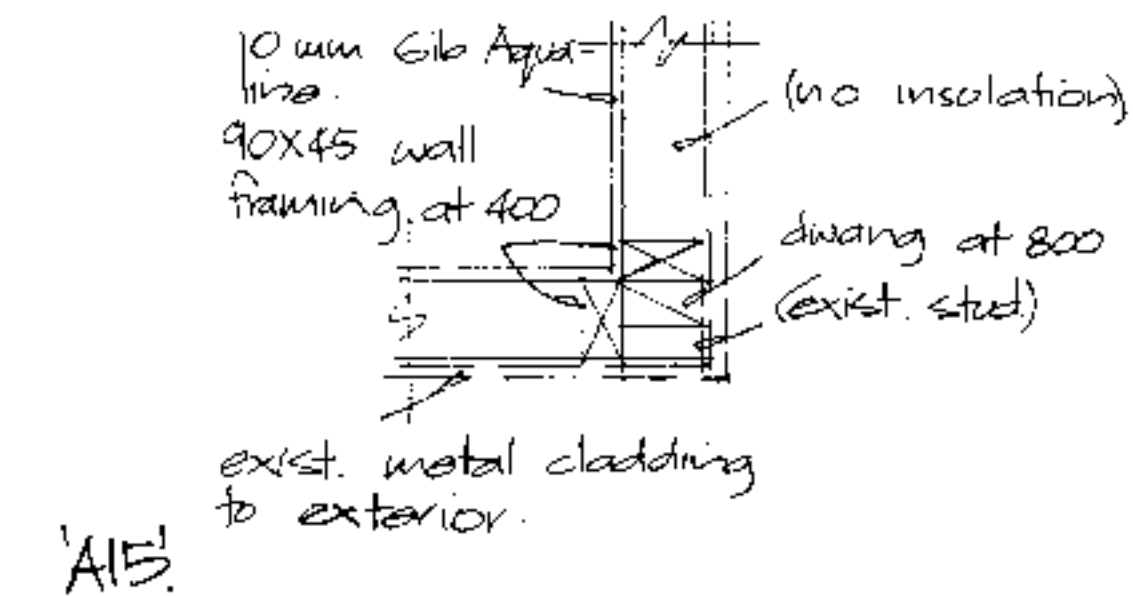
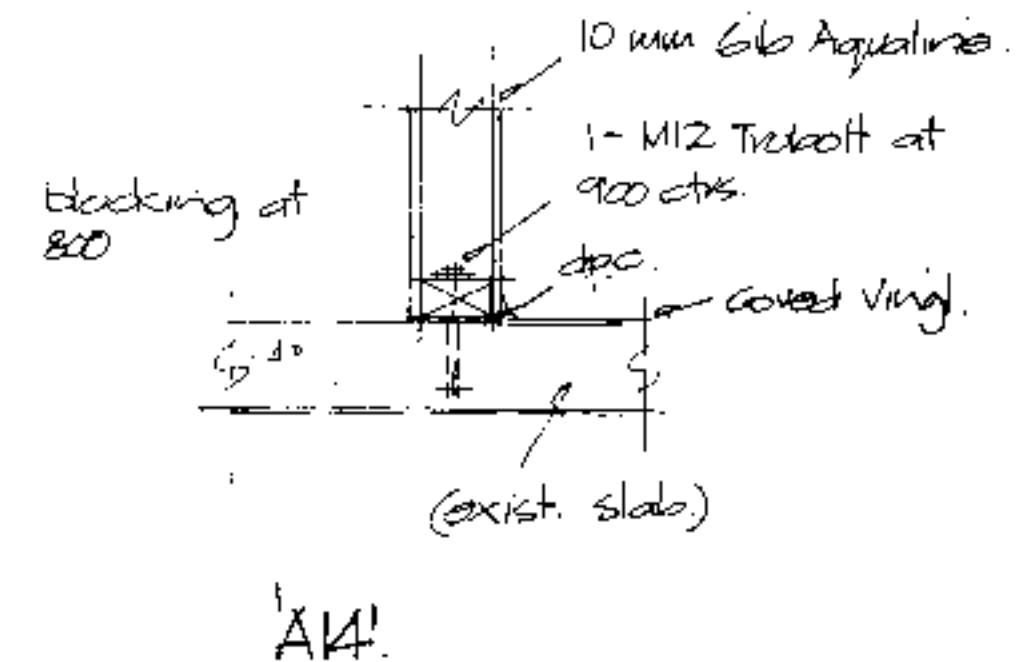
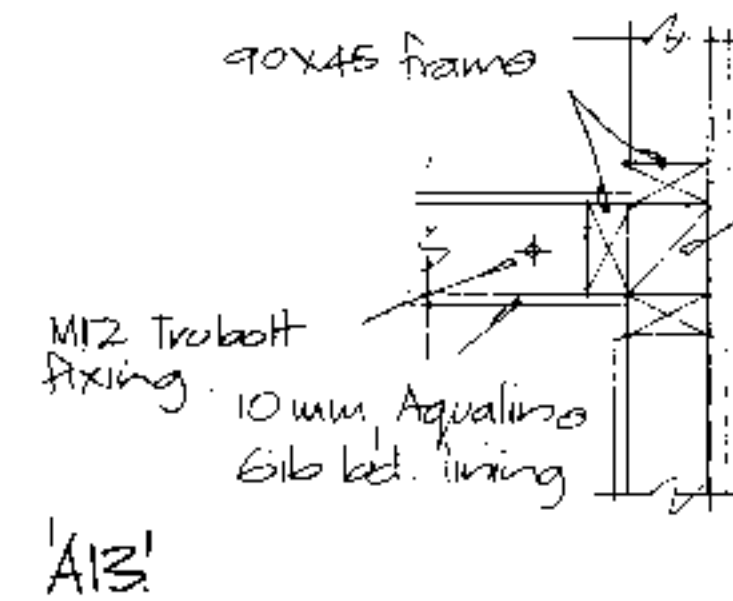
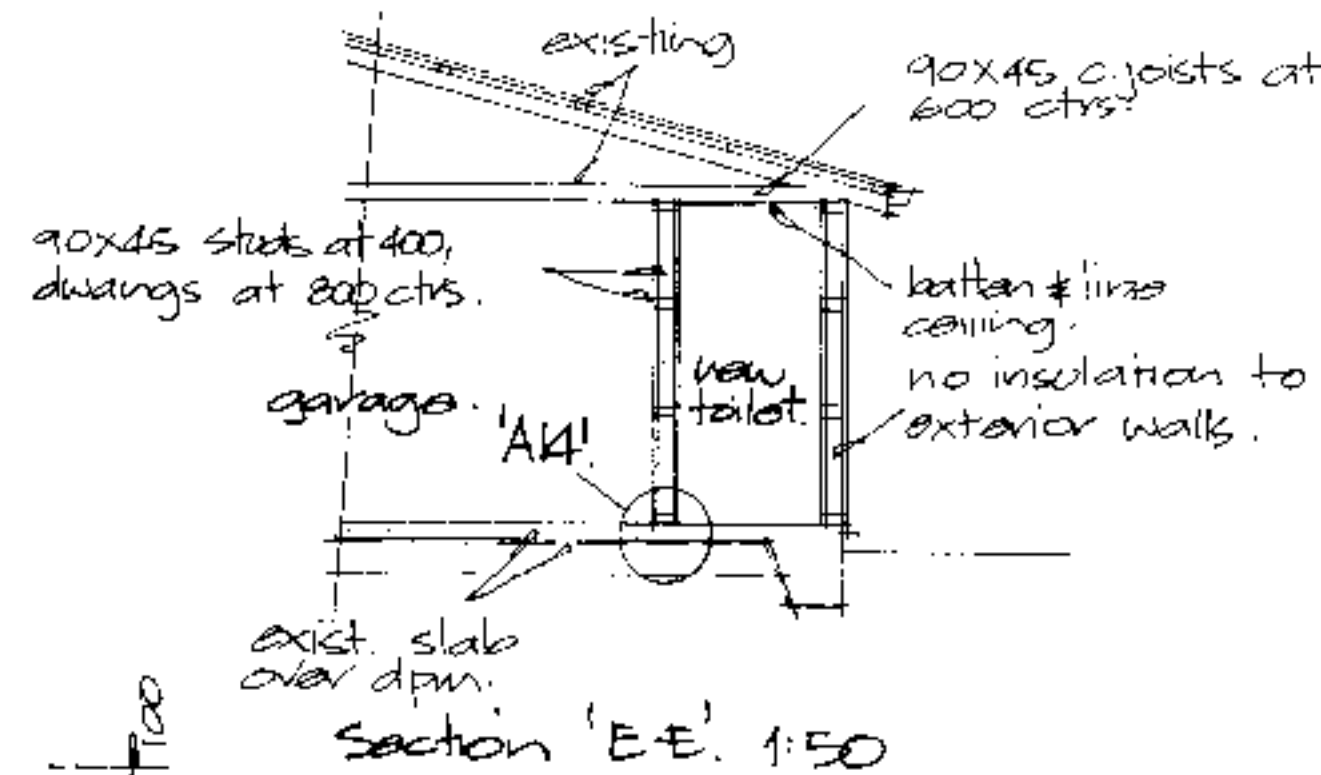
ALTERATIONS TO RESIDENCE AT 37 GROVE STREET, ST. KILDA, DUNEDIN, FOR P. S. & M.M. PARIACHI.
Drawn: C. G. Sargeant NZCD (Arch) ADN2. June 2017.



Garage Floor Plan 1:50
- showing new work.



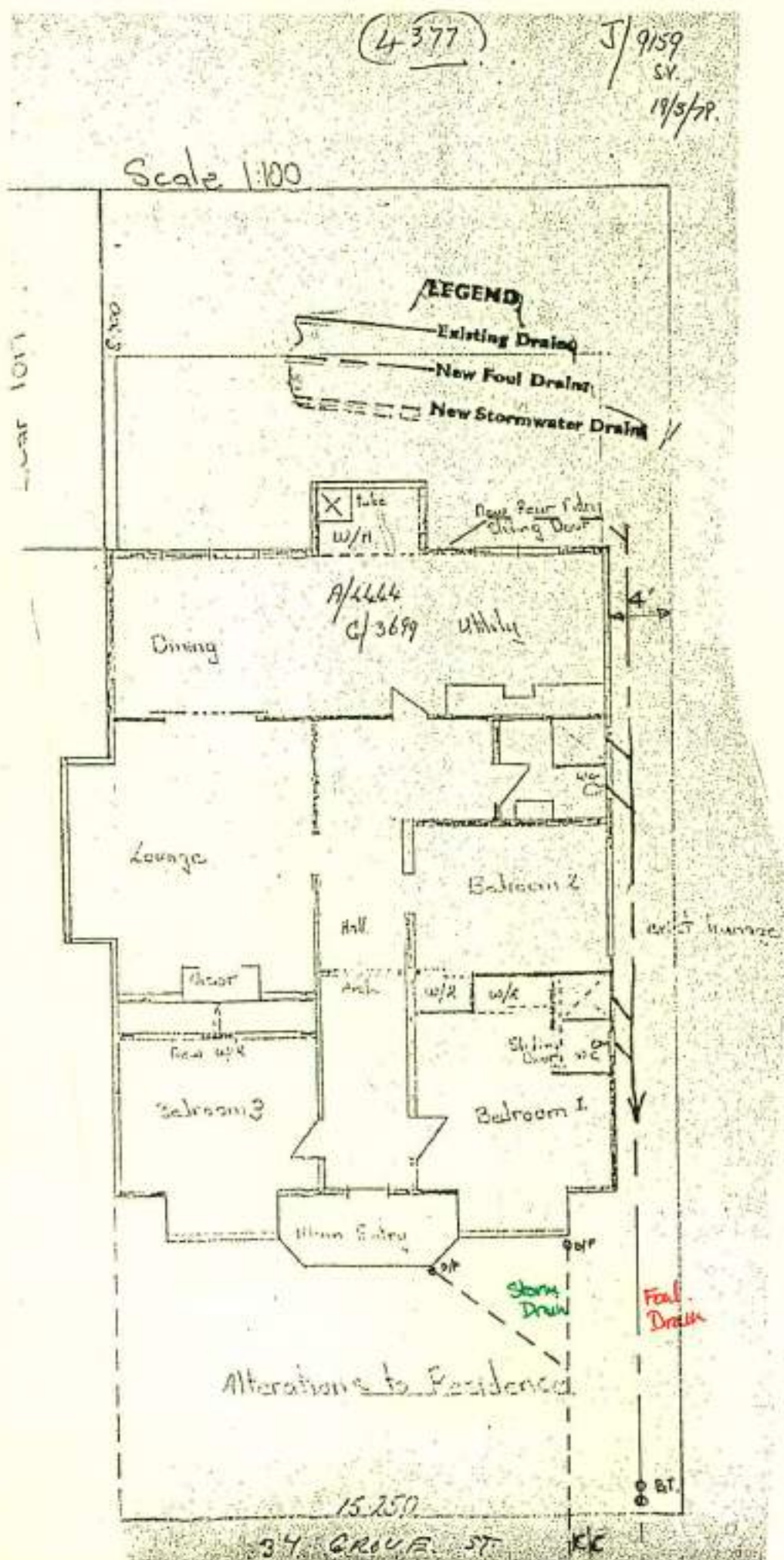
GARAGE ALTERATIONS
- add toilet & wash bench.



Copy of existing property drainage plan.

Drainage Information - 37 Grove Street.txt
37 GROVE ST, LOT 7 BLK 4 DP 68 FD TO FS IN ST SW TO ST CH

DCC COPY





Legend

Water Supply

	Mainline Box		Water Non-Return Valve
	Water Meter		Water Pump Station
	Tidy		Water Valve
	Water without inverted box		Water Treatment Plant
	Water Flow Meter		Water Storage Tank
	Combination Meter		Supply Main
	Mainline Box with Flow Meter		Trunk Main
	Water Valve - Zone		(Closed)
	Non-Return Valve		Retention
	Water Valve - Gate		Water Service Lateral
	Water Valve - Stub		Water Fire Service Lateral
	Water Hydrant		Water Critical Service Lateral
	Water Backflow Preventer - BPR		Water Zone Boundary
			Water Reservoir
			Mainline Water Main

NOTE:
Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

	Standard Manhole		Pump Station
	Valve Chamber (pressurised)		Treatment Plant
	Boundary Kit		Valve
	Non-Return Valve		First Sewer Valve
	Pump Station Domestic		Four Drains in Common (public)
	Drop Manhole		Sewer
	Inspection Manhole		Trunk Sewer
	Inspection Opening		Vent Line
	Lampshade		Flaring Man
	Gully		Reinforced Foul Sewer Pipe

NOTE:
Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

	SW Bottle-up Tank		Flooding Bottle-Up Tank
	SW Drop Manhole		Flooding Manhole
	SW Trap Chamber and Gully Inlet		Stormwater Main
	SW Inspection Manhole		Stormwater Trunk Main
	SW Inspection Opening		OCC Open Channel
	SW Lampshade		Piped I/C
	SW Manhole Inlet		Open I/C
	SW Outlet		Culvert
	SW Pipe Inlet		Stormwater Manhole Pipe
	SW Pressure Manhole		Reinforced Stormwater Main
	SW Standard Manhole		SW Pump
	SW Stormwater Valve		SW Pump Station

NOTE:
Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

	OCC Water & Waste Structure		Canal
	Railway Corridor		Road/Rail
			Highway
			Motorway
			Bridge
			Gully

Full legend can be viewed at <http://www.dunedin.govt.nz/council/council-services/infrastructure/infrastructure-services/infrastructure-services>

Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of the information is not guaranteed. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries please call 03 477 4300.

Scale of A3:
1:250
Scale 1mm



Project: LITTLE LAKESIDE ROAD
Client: DCC, Dunedin City Council
Date: 10/10/2019
Scale: 1:250
Author: [Name]
Reviewer: [Name]
Approved: [Name]





BUILDING CONSENT - ABA-2017-1823/A

(Section 51, Building Act 2004)
Form 5

The building

Street address of building: 37 Grove Street Dunedin

Legal description of land where building is located: LOT 7 BLK IV DP 68

Building Name: N/A

Location of building within site/block number:

Level/unit Number:

The owner

Name of owner: P S Pariachi and M M Pariachi

Contact person: P S Pariachi and M M Pariachi

Mailing address: 37 Grove Street, Dunedin 9012

Street address/registered office:

Mobile: 021 053 3272

Landline: 03 425 0365

Email address: pspariachi@yahoo.com

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Amendment - Alter size of Deck and Verandah to Dwelling, Change Toilet to Bathroom in Garage, Add Laundry

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Project Information Memorandum PIM-2017-530/A

Certificate attached to Project Information Memorandum

Grant Sutton

Authorised Officer

On behalf of Dunedin City Council

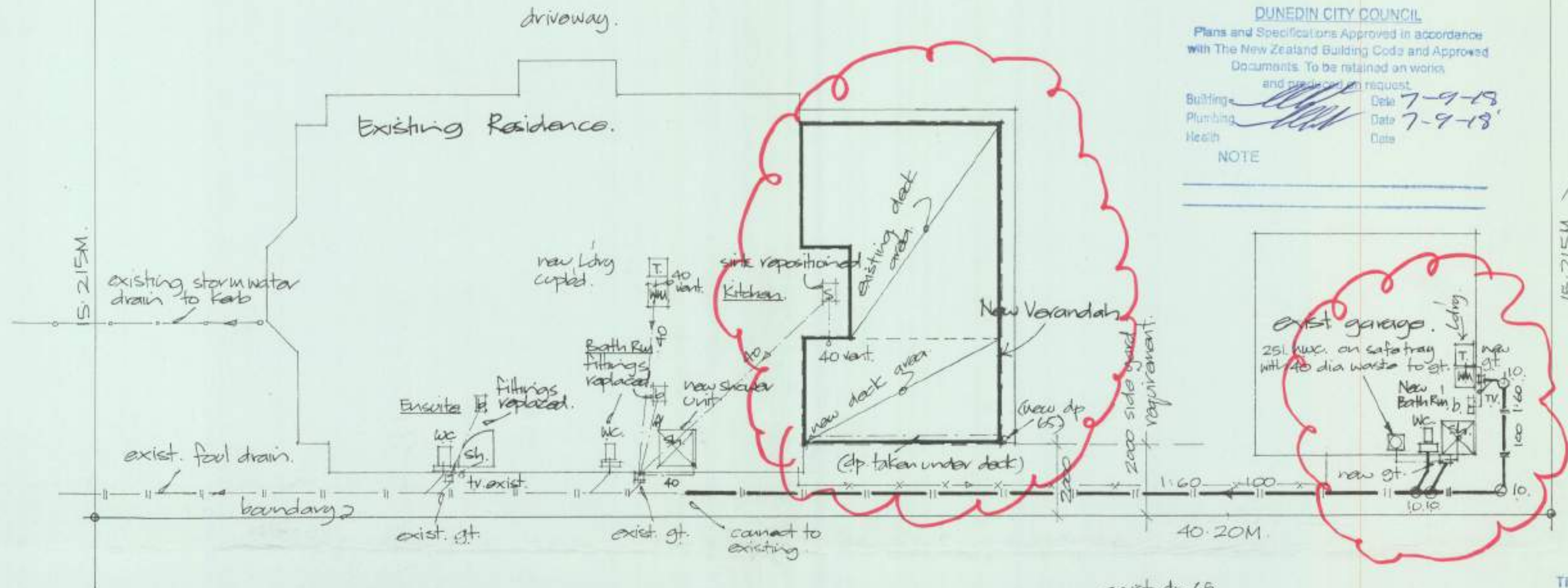
Date: 13 September 2018

2017-1823/A

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT
DOCUMENTS

DCC COPY

GROVE ST.



SITE PLAN 1:100
- showing foul drainages.

plumbing & drainage:

- ||— : exist. foul drain to street.
- ||— : new 100 dia UPVC drain.
- o— : exist stormwater drain.
- # gt : new gully trap.
- o/ : inspection opening.
- o dp : down pipe, pvc, dias. as noted.
- spouting : Marley P.V.C. 'stormcloud'.
- x— : 25 dia Alkathene water supply to garage.
- TV o : 80 dia UPVC Terminal Vent.

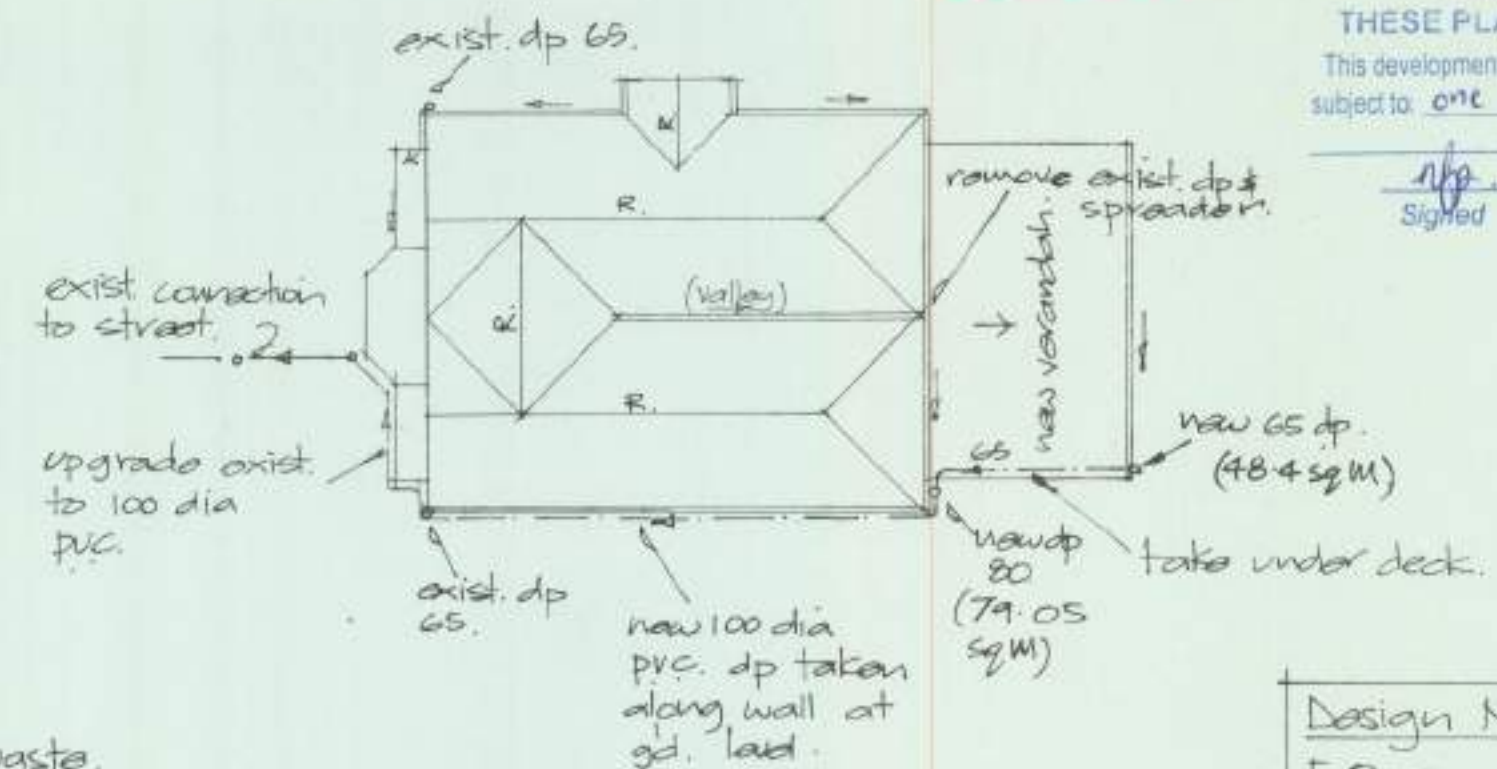
Legal.

lot 7, Block IV
D.P. 68
613 sq. M area.

wastes:

- shower, w. machine, tub, sink : 40 dia UPVC 1:40.
- basin : 32 dia UPVC 1:20.
- WC, t. vent. 80 dia UPVC.
- back vent : 40 dia UPVC.
- hwc. safe tray : 40 dia P.V.C. waste.

All work shall be done in accordance with NZBC.
Ventilate wastes & drains in accordance with G13 and acceptable solutions.
Stormwater shall be in accordance with E1 AS1.



Roof Plan 1:200

- showing storm water drainages.

R1. August 2018.

1. Verandah size increased.
2. Garage Toilet amended to Bath Rm, Ldrg adjacent.

DCC CITY PLANNING
THESE PLANS ARE APPROVED
This development complies with the District Plan(s)
subject to: one residential unit

Signed: [Signature] Dated: 6.9.18

Design Notes.

E.Q. Zone: 1.
exposure Zone: C.
Wind Zone: Medium.
gd. substrata: D/E.
Snow zone: NS.

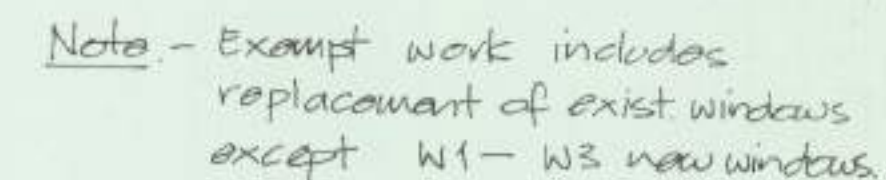
ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P.S. & M.M. PARIACHI amendments.
Drawn: C. G. Sargeant. NZCD (Arch) ADN2. June. 2017.

A2-6

R1.
1
of 6



windows
removed for
replacement
(like for like) (exempt work)



- existing deck size corrected.

==== : walls removed.

R1
2
of 6.

100



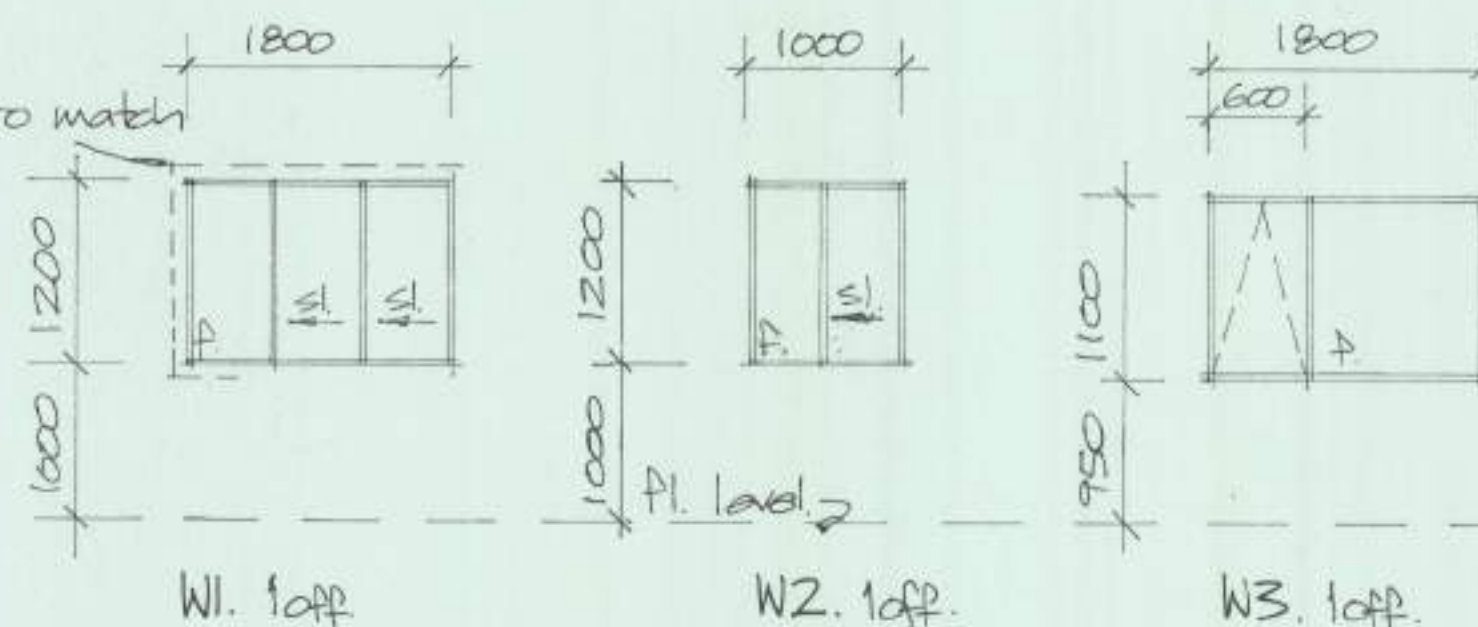
-  : exist. walls.
-  : new walls.
-  : smoke alarm ceiling mounted.
-  : extract fan. Manrose XF150 ducted to exterior.

1. exist back width corrected.
2. Veranda extended.

ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P. S. & M. M. PARIACHI.
Drawn: C. E. Sargeant. NZOD (Arch) ADNZ. June 2017.

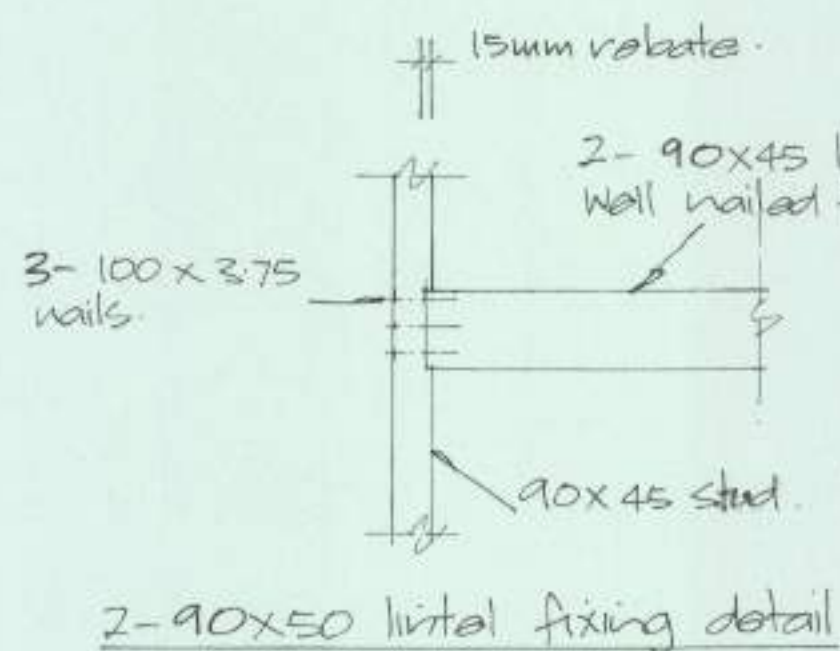
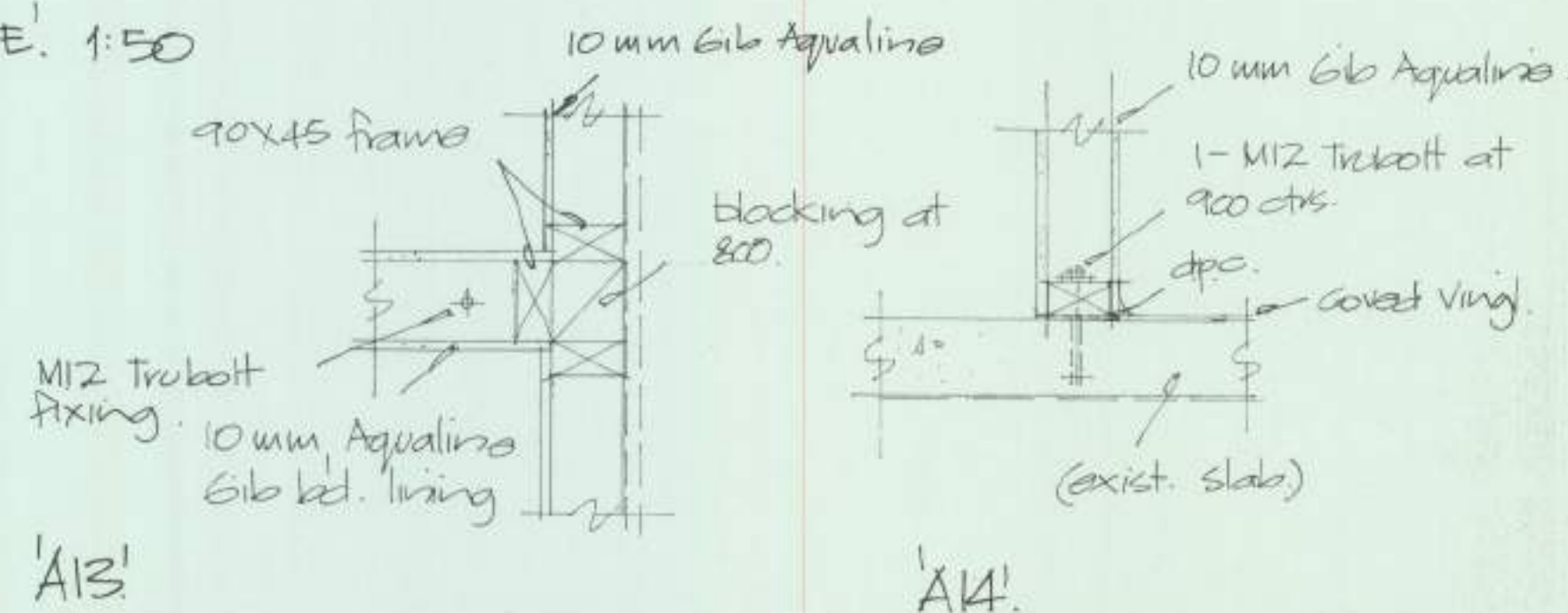
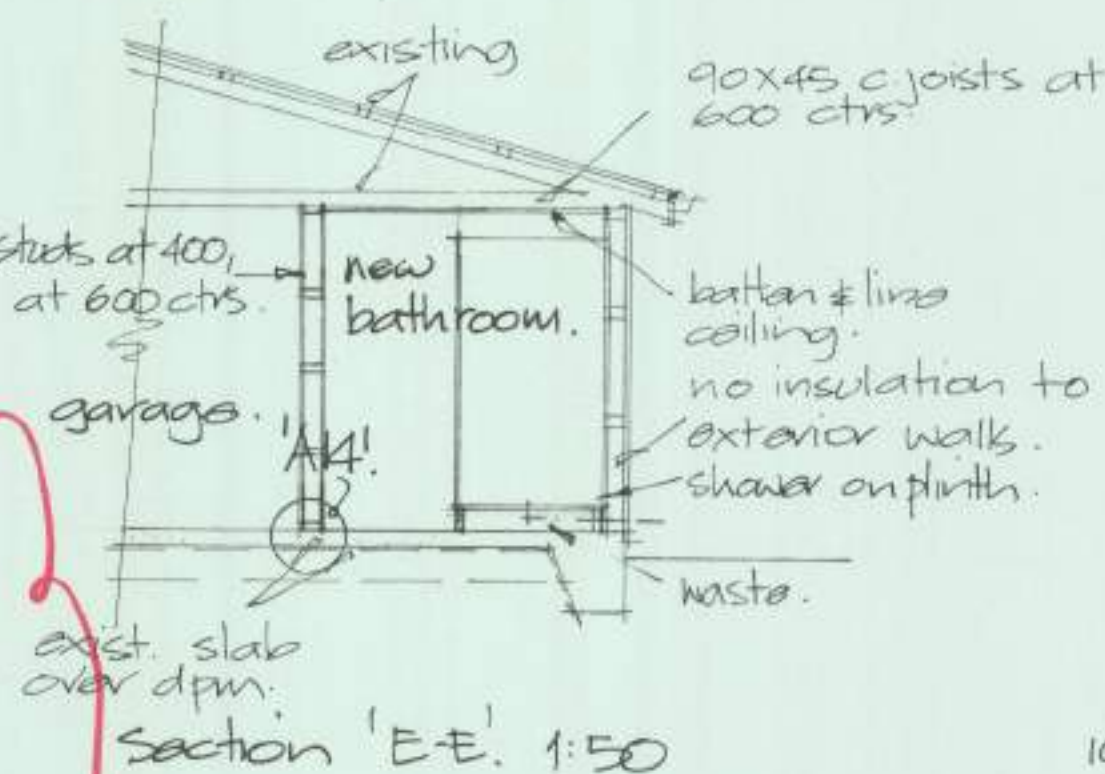
1. exist. deck width corrected.
2. verandah extended.

All windows shall be aluminium double glazed. confirm all rough opening sizes on job prior to fabrication.
refer to specification for flashing & seal details.



Window Schedule
elevations as viewed
from exterior 1:50

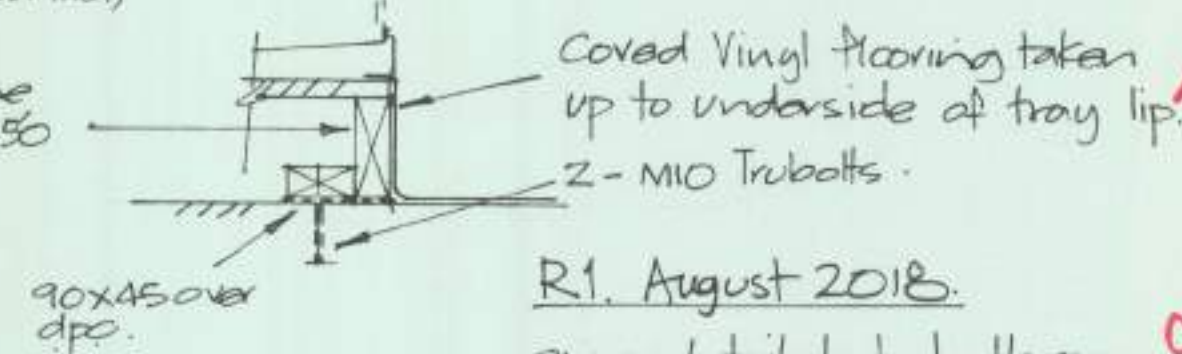
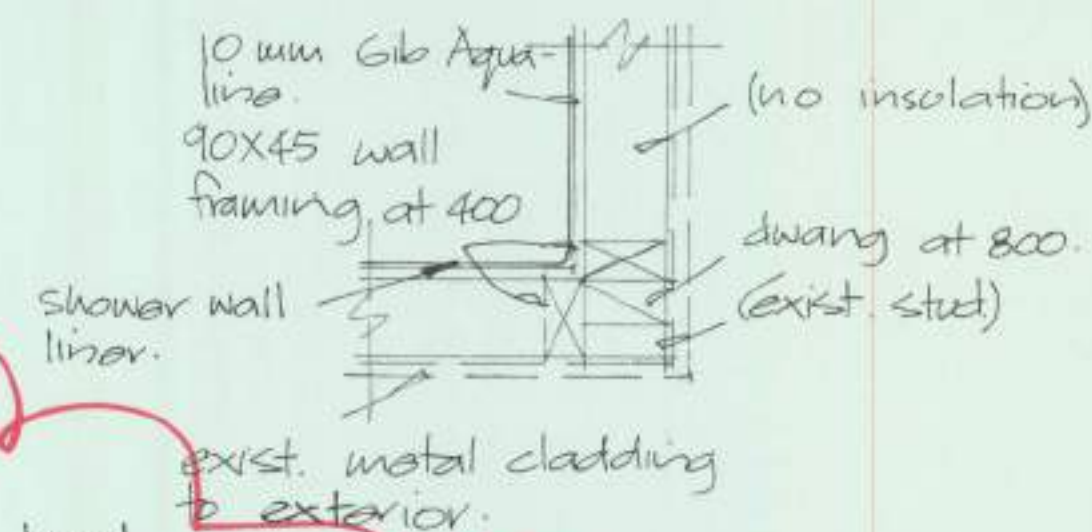
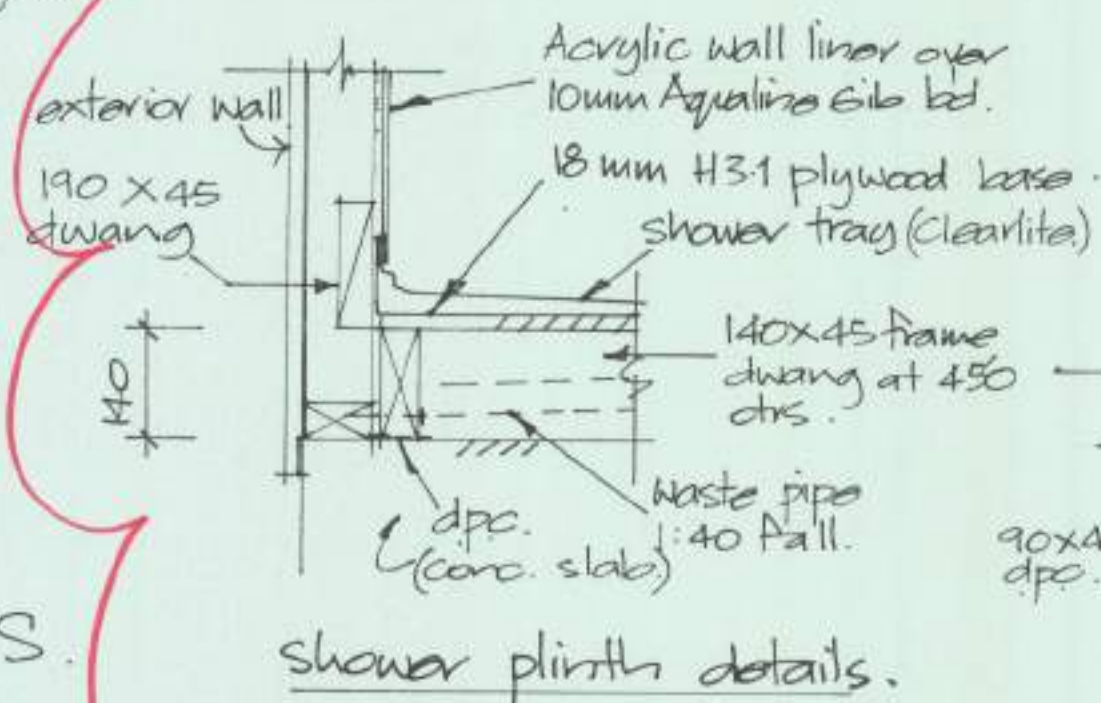
ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P. S. & M.M. PARIACHI: amendments.
Drawn: C. G. Sargeant. NZCD (Arch.) ADN2. June. 2017.



GARAGE ALTERATIONS
- add bathroom & L'dry.

Legend

--- : exist. walls
 --- : new walls.



R1. August 2018.

- amend toilet to bathroom with laundry adjacent.

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT
DOCUMENTS

2017-1823/A

ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P. S. & M. M. PARIACHI. amendments.
Drawn: C. G. Sargeant. NZCD (Arch) ADNZ. June. 2017.

R1.

6
of 6.



Code Compliance Certificate Form 7
Section 95, Building Act 2004

P S Pariachi and M M Pariachi
C/O Adams Plumbing, Drainage and Electrical Ltd
24 Townleys Road
RD1
Dunedin 9076

The building

Street address of building: 37 Grove Street Dunedin

Legal description of land where building is located: LOT 7 BLK IV DP 68

Building Name: N/A

Location of building within site/block number: N/A

Level/unit Number: N/A

Current, lawfully established, use: Ancillary

Number of occupants:

Year first constructed: 2020

The owner

Name of owner: P S Pariachi and M M Pariachi

Contact person: P S Pariachi and M M Pariachi

Mailing address: C/O Adams Plumbing, Drainage and Electrical Ltd, 24 Townleys Road, RD1, Dunedin 9076

Street address/registered office:

Mobile: 021 053 3272

Landline: 03 476 1146

Email address: pspariachi@yahoo.com

First point of contact for communications with the building consent authority: As above

Building work

Building Consent Number: ABA-2020-1815 - Construct Subdivision Drainage

This CCC also applies to the following amended consents: N/A

Issued by: Dunedin City Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that-

- (a) The building work complies with the building consent

Team Leader Inspections
On behalf of Dunedin City Council

Date: 21 January 2021

BUILDING CONSENT - ABA-2020-1815

(Section 51, Building Act 2004)

Form 5

The building

Street address of building: 37 Grove Street Dunedin

Legal description of land where building is located: LOT 7 BLK IV DP 68

Building Name: N/A

Location of building within site/block number:

Level/unit Number:

The owner

Name of owner: P S Pariachi and M M Pariachi

Contact person: P S Pariachi and M M Pariachi

Mailing address: C/O Terramark Limited, PO Box 235, Dunedin 9054

Street address/registered office:

Mobile: 021 053 3272

Landline: 03 476 1146

Email address: pspariachi@yahoo.com

First point of contact for communications with the building consent authority: As above

Building work

The following building work is authorised by this building consent:

Construct Subdivision Drainage

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Record of required site inspections (section 90(2) of the Building Act 2004)

Project Information Memorandum PIM-2020-454

Certificate attached to Project Information Memorandum

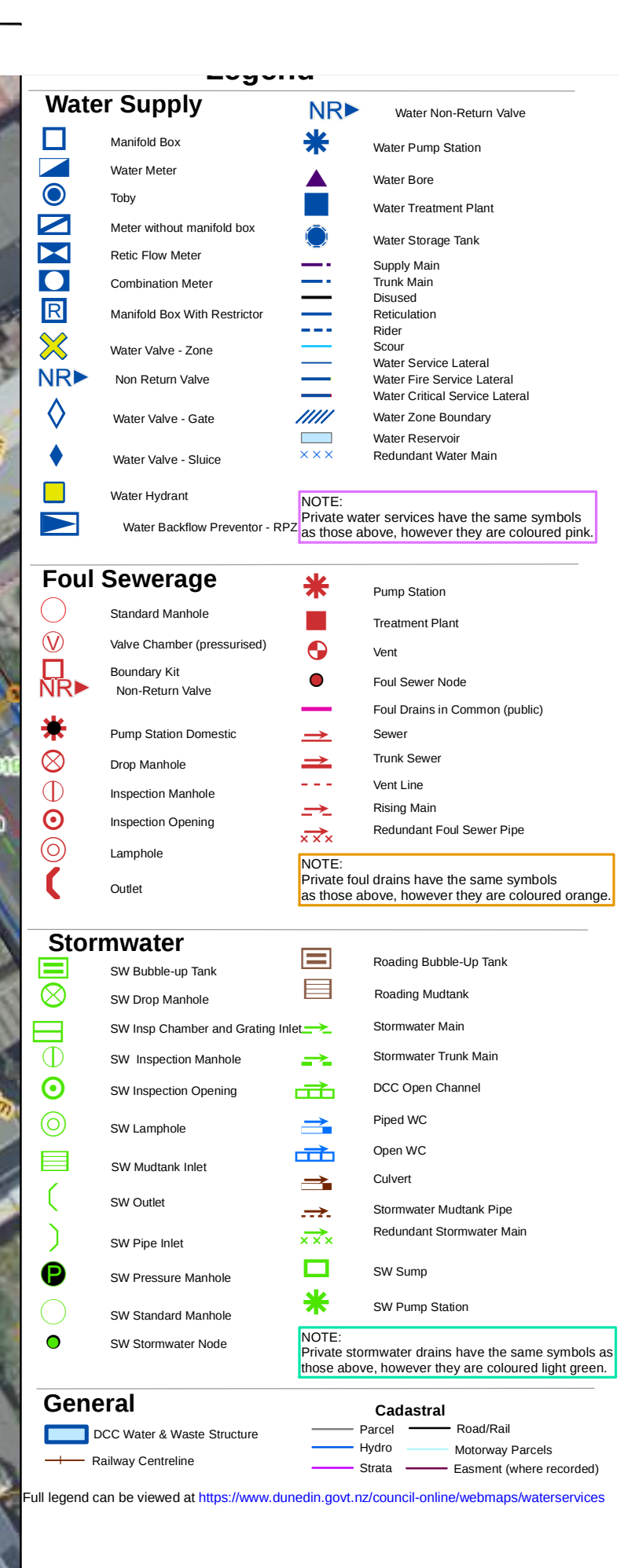


Grant Sutton

Authorised Officer

On behalf of Dunedin City Council

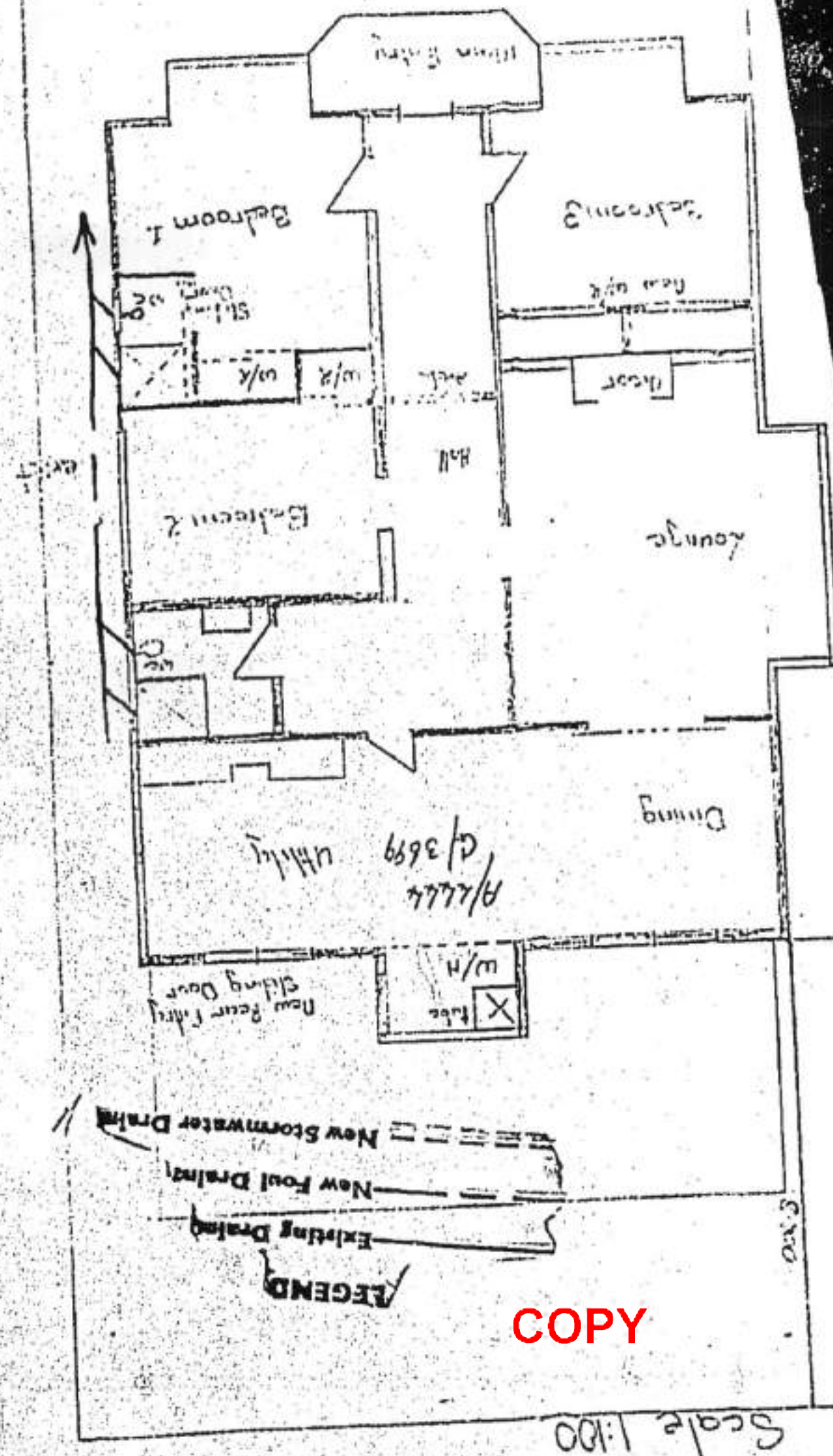
Date: 29 September 2020



COPY

COPY OF PRIVATE DRAINAGE PLAN

COPY OF PRIVATE DRAINAGE PLAN

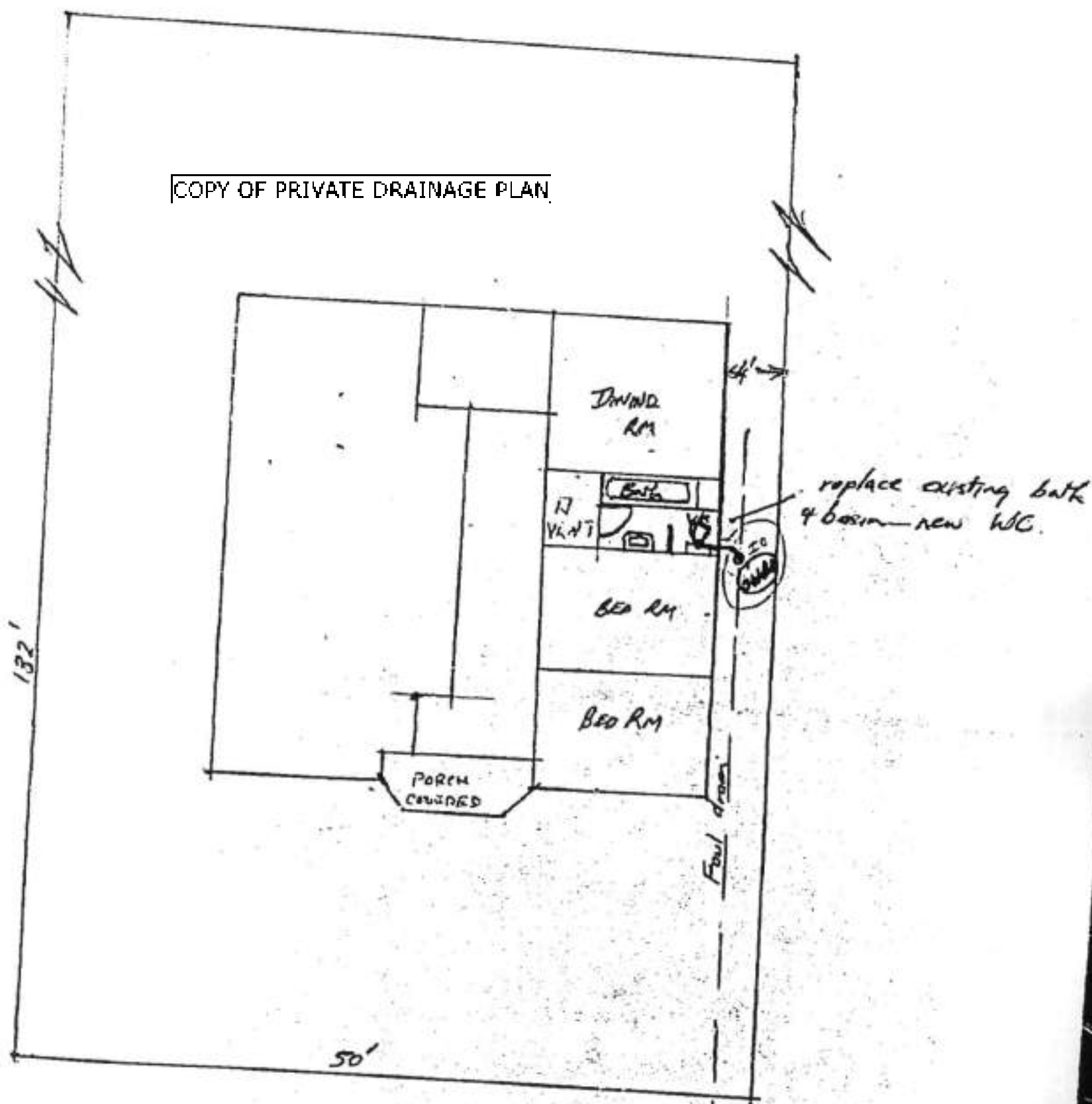


COPY

1978-209948 (3915)
Extend foul drain for
shower and toilet

COPY

COPY OF PRIVATE DRAINAGE PLAN



COPY

LEGEND

- Existing Drains
- - - New Foul Drains
- - - New Sewer Water Drains

Owner LE & HO GARRETT

Street 37 GROVE ST

Locality ST KILDA

Block 4 MUSSELBORN

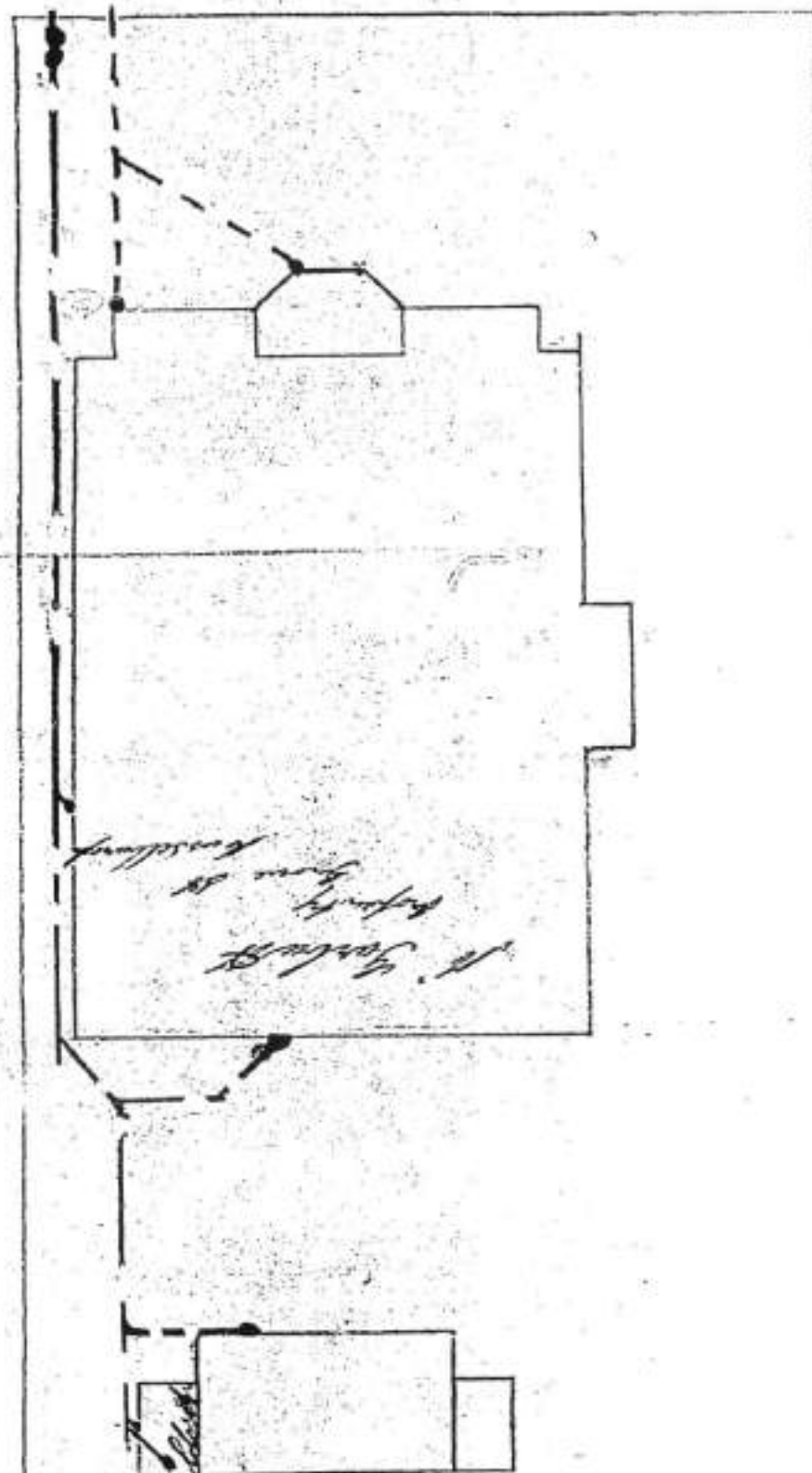
Section _____

Allotment 7 PLAN 68

Signature of Drainer P. Sullivan

1960-181216 (G3099)
 u/Dickin extension for
 bathroom alterations.

T. L. Lumsden



COPY OF PRIVATE DRAINAGE PLAN

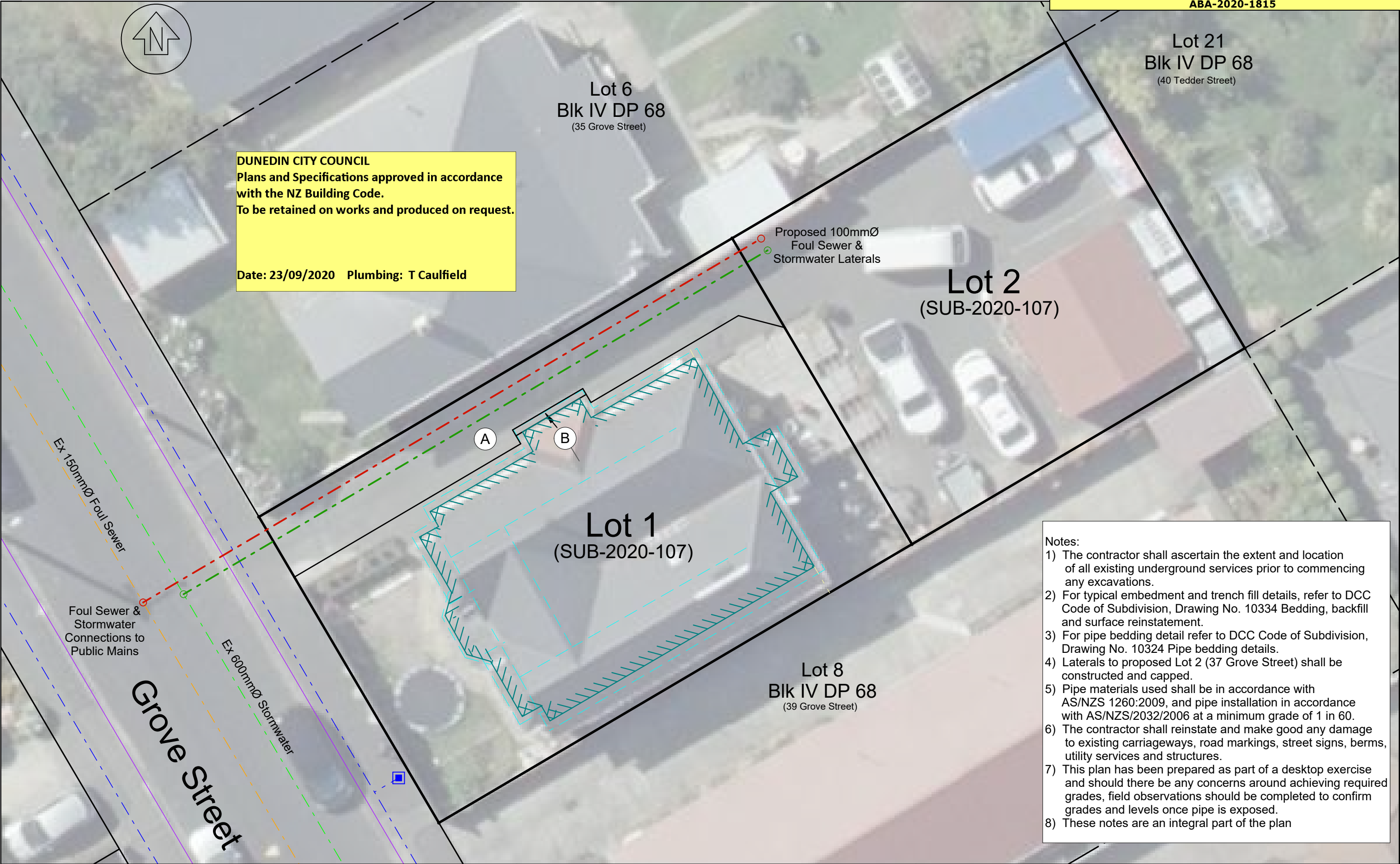
COPY

Existing Drains
New Foul Drains
New Sewerwater Drains

LEGEND

15-11-1941

1913-126838 (A4444)
~ Drainage site plan.



DISCLAIMER:

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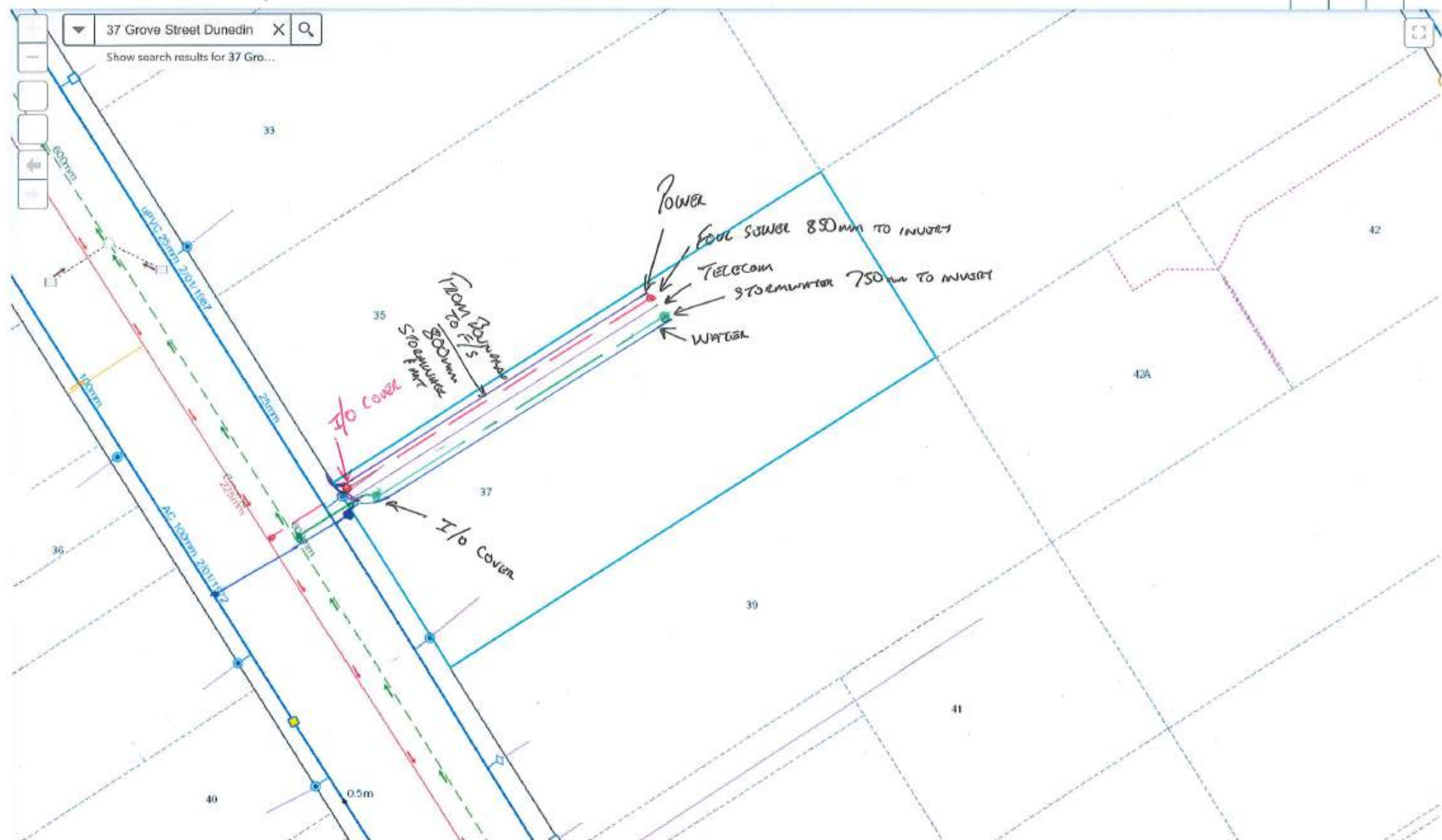


Drawing Title

Building Consent Plan
Proposed Foul Sewer & Stormwater Connections
(37 Grove Street, St Kilda)

Address		Legal Description	
37 Grove Street St Kilda, Dunedin		Lot 7 Block XV DP 68	
Client		RT Reference	Area
D. Pariachi		OT4C/595	613m ²
Drawing Reference	Job Reference.	Date	Scale
12246/4	12246	31/08/2020	1:150 (A3)

Water Services Map



As Built Plan
Received by: v simmonds
Date: 09/12/2020
ABA-2020-1815

13 August 2020

D & M Pariachi
C/- Darryl Sycamore
Terramark Ltd
PO Box 235
Dunedin 9054

Via email: Darryl@terramark.co.nz

Dear Darryl

RESOURCE CONSENT APPLICATION:

**SUB-2020-107 & LUC-2020-368
37 GROVE STREET
DUNEDIN**

Your application for resource consent was processed on a non-notified basis in accordance with sections 95A to 95G of the Resource Management Act 1991. The application was considered by a Senior Planner, under delegated authority, on 13 August 2020.

The Council has granted subdivision consent and land use consent with conditions. The assessment of the application, including the reasons for the decision, is set out in the report attached to this letter. The consent certificates are attached to the rear of this letter.

The consent certificates outline the conditions that apply to your proposal. Please ensure that you have read and understand all of the consent conditions.

You may object to this decision or any condition within 15 working days of the decision being received, by applying in writing to the Dunedin City Council at the following address:

Senior Planner - Enquiries
Dunedin City Council
PO Box 5045
Dunedin 9054

You may request that the objection be considered by a hearings commissioner. The Council will then delegate its functions, powers and duties to an independent hearings commissioner to consider and decide the objection. Please note that you may be required to pay for the full costs of the independent hearings commissioner.

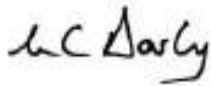
Alternatively, there may be appeal rights to the Environment Court. Please refer to section 120 of the Resource Management Act 1991. It is recommended that you consult a lawyer if you are considering this option.

You will be contacted in due course if you are due a partial refund or you have to pay additional costs for the processing of your application.

Development contributions are payable for this resource consent. A development contribution notice will be sent in due course outlining how the development contribution has been calculated and when payment is required.

Please feel free to contact me if you have any questions.

Yours faithfully

A handwritten signature in black ink, appearing to read 'LC Darby'.

Lianne Darby
Planner

APPLICATION SUB-2020-107 & LUC-2020-368: 37 GROVE STREET, DUNEDIN

Department: Resource Consents

DESCRIPTION OF ACTIVITY

The application seeks to subdivide 37 Grove Street, Dunedin, into two residential lots, with a new residential dwelling to be constructed on the vacant site.

The subject site is a residential property in South Dunedin. The site is rectangular and more or less level, with an existing dwelling situated at the southwest end near the Grove Street frontage. The subject site is legally described as Lot 7 Block IV Deposited Plan 68, held in Record of Title OT4C/595, and having an area of 613m².

The proposed subdivision will create two lots. Proposed Lot 1 will be the front site containing the existing dwelling with four bedrooms. It will have an area of 359m². Parking will be on an area at the front of the site, parallel with the road.

Proposed Lot 2 will be the rear site and will have an area of 254m². Access will be via right of way over Lot 1. The right of way will be 3.0m wide legally, narrowing where it passes a bay window on the side wall of the house to 2.6m (but only 2.3m clear of the house eaves). A new dwelling is proposed for Lot 2 and unit plans were submitted to the Council on 21 July 2020. The house will have a floor area of 128m², internal garaging, and four bedrooms.

REASONS FOR APPLICATION

Dunedin currently has two district plans: the Operative Dunedin City District Plan 2006 (the “Operative District Plan”, and the Proposed Second Generation Dunedin City District Plan (the “Proposed Plan”). Until the Proposed Plan is made fully operative, both district plans need to be considered in determining the activity status and deciding what aspects of the activity require resource consent.

The activity status of the application is fixed by the provisions in place when the application was first lodged, pursuant to section 88A of the Resource Management Act 1991. However, it is the provisions of both district plans in force at the time of the decision that must be had regard to when assessing the application.

The Proposed Plan was notified on 26 September 2015, and some Proposed Plan rules had immediate legal effect from this date. Some rules became fully operative following the close of submissions, where no submissions were received. Additional rules came into legal effect upon the release of decisions. Those additional rules become fully operative if no appeals are lodged or once any appeals have been resolved.

In this case, the application was lodged on 17 July 2020 when the Proposed Plan rules were already in effect. The relevant zone and rules of the Proposed Plan are mostly beyond challenge. Accordingly, the relevant rules of the Operative District Plan are considered to have been superseded, or where a Proposed Plan rule has been appealed (e.g. Rule 15.7.6.2), there is no equivalent rule in the Operative District Plan to consider. In this case, the Hazard 3 (coastal) overlay zone has been appealed, and Rule 6.6.3.9 regarding the minimum legal width for an access is also appealed.

Proposed Plan

The subject site is zoned **General Residential 2** in the Proposed Plan. It is also subject to the **South Dunedin Mapped Area** and the **Hazard 3 (Coastal) Overlay Zone**. The Hazard 3 (Coastal) overlay zone is under appeal.

Subdivision

Rule 15.3.5.2 lists general subdivision as being a restricted discretionary activity in the residential zones subject to performance standards. In this instance, the proposal will fail to comply with the following subdivision performance standards:

- Rule 15.7.4.1(b)(1), which states that the minimum site sizes for new resultant sites is 300m² in the General Residential 2 Zone not in an infrastructure constraint mapped area. In this instance, proposed Lot 2 will be undersized by 46m².
- Rule 15.7.4.2 states that subdivisions which contravene the minimum site size are non-complying activities except where one resultant site is below minimum site size but not less than 75% of minimum site size and the larger site cannot be re-subdivided. The smaller site must be large enough to contain a building platform of 7.0m by 10.0m while meeting the performance standards of the Proposed Plan. The proposed subdivision will comply with these requirements.

In accordance with Rule 15.7.4.2, the proposed subdivision is a **restricted discretionary** activity.

The proposal will also fail to comply with the following:

- Rule 15.7.1 requires subdivisions to comply with Rule 6.8.1, which requires each new site to have a legal accessway which, when there is a minimum car parking requirement, must be in the form of a driveway. The standards for driveways apply.
- Rule 6.6.3.9(a)(i) specifies a minimum legal width of 4.0m for a driveway serving one to six residential units. The access to proposed Lot 2 will be only 2.6 to 3.0m wide, therefore being under-width. This rule is under appeal.

In accordance with Rule 6.6.3.9(b), activities that contravene this performance standard are considered to be **restricted discretionary** activities.

Land-Use

The proposal falls under the definition of *standard residential activity*. Under the Proposed Plan, activities have both a land-use activity and a development activity component.

Land-Use Activity

Rule 15.3.3.3 of the Proposed Plan states that standard residential activity is a permitted activity provided that it complies with the relevant performance standards. Rule 15.5.2.(d) specifies a maximum development potential of one habitable room per 60m² for residential activity in the General Residential 2 zone within the South Dunedin Mapped Area. Both the existing house on Lot 1 and the proposed house on Lot 2 will comply with this requirement and are considered to be a **permitted** activity.

Rule 15.5.8 specifies the minimum car parking requirements, with Note 5.5.8A requiring parking to comply with the standards of Section 6.6.

- Rule 6.6.3.9(a)(i) specifies a minimum legal width of 4.0m for a driveway serving one to six residential units. The access to proposed Lot 2 will be only 2.6 to 3.0m wide, therefore being under-width. This rule is under appeal.

In accordance with Rule 6.6.3.9(b), activities that contravene this performance standard are considered to be restricted discretionary activities.

Development Activity

Rule 15.3.4.4 lists buildings as being a permitted activity in the residential zones subject to compliance with the performance standards. The proposal will fail to comply with the following:

- Rule 15.6.10.1 specifies a maximum building site coverage of 50% and a maximum impermeable surfacing of 80% within the General Residential 2 zone. When subtracting the land of the shared driveway from the site area, the site coverage of the existing house on Lot 1 will be 53%, therefore contravening this rule. However, this is a development rule, and there is no new development occurring on Lot 1, so the rule is not applicable.
- The proposed house on Lot 2 will have a site coverage of 50.4%, therefore contravening this rule by 0.4%.

Activities that contravene this rule is considered to be a **restricted discretionary** activity pursuant to Rule 15.6.10.3.

- Rule 15.6.13.1(a)(iii) states that in the General Residential 2 Zone South Dunedin Mapped Area, the setback from any road boundary is 3m, and side and rear boundaries is 1.0m. This rule applies to new development only. The new house on proposed Lot 2 will be built 0.5m from the new boundary with Lot 1, with the eaves being closer. The eaves are exempt from the rule in this case, but the house will contravene this rule by approximately 0.5m.

Activities which contravene this rule are considered to be a **restricted discretionary** activity pursuant to Rule 15.6.13.1(b).

- Rule 15.6.6.1(a)(ii) specifies a height in relation to boundary requirement of a plane rising at 55° measured from a point 3.0m above ground level at the boundary. The application states that the house on Lot 2 will contravene this rule in respect of the new boundary with Lot 1, but the elevations show the house to be compliant. The house is considered to meet this rule.
- Rule 15.6.4.3 requires new buildings containing residential activity on the ground floor in the Hazard 3 (coastal) overlay zone must comply with Rule 11.3.3.
- Rule 11.3.3.1 requires residential buildings in the Hazard 3 (coastal) overlay zone to be relocatable. The proposed house on Lot 2 will not be a relocatable house.

Activities that contravene this activity are considered to be a **restricted discretionary** activity pursuant to Rule 11.3.3.2. Rule 15.6.4.3 and Rule 11.3.3 are under appeal.

- Rule 15.6.6.2(a)(iii) specifies that new buildings within setbacks from boundaries must not exceed a maximum height of 2.0m. The proposed house of Lot 2 will exceed 2.0m where it is situated within the setback next to Lot 1.

Activities which contravene this rule is considered to be a **restricted discretionary** activity pursuant to Rule 15.6.6.2(c).

Rule 15.3.4.31 states that parking, loading and access development activities are permitted provided that they comply with the relevant performance standards. In this instance, the proposed parking and access areas will contravene the following development performance standards:

- Rule 6.6.3.8(a) specifies that a driveway serving more than one residential building must have its formed section setback from a dwelling by a minimum of 1.0m. The driveway to Lot 2 will be adjacent to the northwest wall of the house. While vehicles from Lot 2 only will utilise this

driveway (therefore possibly not triggering this rule), two properties will have the use of the access for pedestrian use at least.

Activities that contravene this performance standard are considered to be a **restricted discretionary** activity pursuant to Rule 6.6.3.8(b).

- Rule 6.6.3.9(a)(i) specifies a minimum legal width for an access serving one to six residential units of 4.0m. The access to proposed Lot 2 will be 2.6m to 3.0m wide, therefore being 1.0m to 1.4m too narrow. This rule is under appeal.

Activities that contravene this performance standard are **restricted discretionary** activities pursuant to Rule 6.6.3.9(b).

Summary

Overall, the residential activity of Lot 2 is considered to be a **restricted discretionary** activity.

Operative District Plan

Most of the relevant rules of the Proposed Plan for this zone and site have not been appealed and so the majority of the rules of the Operative Plan have been superseded. They do not need to be considered as part of this subdivision application.

The exception is Rule 6.6.3.9(a)(i) which is appealed in respect of the minimum legal width for a driveway serving one to six residential units. The Operative District Plan rules must be considered. The proposal will fail to comply with the following:

- Rule 20.5.7(v)(b) specifies that a driveway serving one to three residential units is to have a minimum legal width of 3.5m. The driveway to proposed Lot 2 will have a legal width of 2.6m to 3.0m, therefore being 0.5m to 0.9m too narrow.

The access is therefore considered to be a **restricted discretionary** activity pursuant to Rule 8.8.4(i).

National Environmental Standards

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into effect on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent.

The applicant's agent has had a search of Council records undertaken (HAIL-2020-107). The applicant's agent comments in an email dated 10 August 2020:

'Based on the HAIL report and my understanding of the site, I understand the site is not subject to the NESCS.'

It is therefore considered, more likely than not, that no activities have been undertaken on the site that appear on the HAIL. As such, the National Environmental Standard is not applicable to the proposal.

There are no other National Environmental Standards relevant to this application.

Overall Status

Where an activity requires resource consent under more than one rule, and the effects of the activity are inextricably linked, the general principle from case law is that the different components should be bundled and the most restrictive activity classification applied to the whole proposal.

In this case, the proposal is for separate, unlinked activities that do not overlap. As a result, each component has its own activity status, and must be considered separately in terms of the notification decision and also in terms of the substantive decision on whether consent should be granted.

The subdivision activity status is determined by the Operative District Plan and the Proposed Plan and is a **restricted discretionary** activity. The land use activity status is also determined by the Operative District Plan and the Proposed Plan and is a **restricted discretionary** activity.

WRITTEN APPROVALS AND EFFECTS ASSESSMENT

Affected Persons

No affected persons forms were submitted with the application. No person or party is considered to be adversely affected by the activity for the reasons discussed below in the section on the Effects on the Environment.

Effects on the Environment

Permitted Baseline

Under sections 95D(b) and 104(2) of the Resource Management Act 1991, the Council may disregard an adverse effect of the activity on the environment if the district plan or a national environmental standard permits an activity with that effect.

Neither the District Plan nor the Proposed Plan allows any subdivision to occur as of right. All subdivisions are either restricted discretionary activities where the proposal meets all District Plan requirements or non-complying activities where the proposal does not. Council rarely declines consent for proposals that create new sites meeting the minimum lot size, access, servicing and other requirements of the District Plan. In such cases, the subdivision consent is a means of ensuring to Council's satisfaction that all necessary subdivision matters, e.g. infrastructure, are adequately addressed, and is not an indication that the proposal is deficient in some way.

Residential development (including one family flat) at a maximum density of one habitable room per 60m² of site area is a permitted activity for this zone.

New buildings smaller than 300m² are permitted in this zone. Accessory buildings and fencing are also part of the permitted baseline.

Permitted development for this subject site is two residential units with a total of ten habitable rooms.

Receiving Environment

The existing and reasonably foreseeable receiving environment is made up of:

- The existing environment and associated effects from lawfully established activities;
- Effects from any consents on the subject site (not impacted by proposal) that are likely to be implemented;
- The existing environment as modified by any resource consents granted and likely to be implemented; and

- The environment as likely to be modified by activities permitted in the district plan.

For the subject site, the existing and reasonably foreseeable receiving environment comprises residential activity.

For adjacent land, the existing and reasonably foreseeable receiving environment comprises medium density residential development with mature gardens.

It is against these that the effects of the activity, beyond the permitted baseline, must be measured.

Assessment Matters/Rules

Consideration is required of the relevant assessment matters in the Operative District Plan and the relevant assessment rules in the Proposed Plan, along with the matters in any relevant national environmental standard. This assessment is limited to the matters to which the Council's discretion has been restricted. No regard has been given to any trade competition or any effects of trade competition.

1. *Lot Size and Dimensions and Physical Limitations (Operative Plan 18.6.1(q) & 18.6.1(k); Proposed Plan 15.13.5.5)*

The proposed subdivision will create two lots. Proposed Lot 1 will have an area of 359m² and will have frontage to Grove Street. It will comfortably meet minimum site size.

Proposed Lot 2 will be a rear site of 254m². It will utilise right of way over Lot 1 for access. The site is undersized but still larger than 75% of minimum site size and complies with Rule 15.7.5.2, making the subdivision a restricted discretionary activity rather than a non-complying activity. As such, it is an acceptable size although strictly undersized.

Proposed Lot 1 is already developed and the applicant has submitted plans and elevations for a suitable residential dwelling on proposed Lot 2. There are no known geotechnical issues affecting this land which are expected to compromise the building potential of the sites. Accordingly, there is no expectation that the proposed subdivision will create any site having physical limitations rendering it unsuitable for future use.

2. *Easements (Operative Plan 18.6.1(i))*

There are no easements registered on the title of the subject site.

A new right of way over Lot 1 in favour of Lot 2 will be required so as to obtain access to the rear property. The right of way will have a vertical component where it fits under the eaves of the existing dwelling on Lot 1. The plan shows the area of the right of way constrained by height to be Right of Way B, while Right of Way A is clear of the eaves and therefore is unlimited in height.

The proposed right of way easements will be 3.0m wide legally and physically, narrowing to 2.6 where passing the bay window of the existing house. Although 1.0m to 1.4m under-width for its entire length, the right of way width is constrained by the existing house and is an existing driveway (albeit one associated with the existing house rather than another property). The effects of the under-width driveway will be confined to the two new lots and is therefore acceptable.

Service easements will be required for Lot 2 over Lot 1 as the new house will need to be able to connect to reticulated services in Grove Street.

3. Infrastructure (Operative Plan 18.6.2(d), (e), (i), (j), (n), (o), & (p); Proposed Plan 15.11.4.1(c))

The Development Support Officer, Three Waters, has considered the application. She notes that a review of the Council's GIS records shows a 100mm diameter water supply pipe, a 225mm diameter wastewater pipe and a 600mm diameter stormwater pipe in Grove Street.

Density assessment

General Residential 2 zone rules in the Dunedin District Plan set a minimum site size of 300m² but allows one undersized site provided the overall density is compliant. The overall site is 613m² which large enough for two lots; therefore, Three Waters does not oppose the application.

Infrastructure Requirements

Dunedin Code of Subdivision and Development 2010

All aspects of this development shall be undertaken in accordance with the requirements of the Dunedin Code of Subdivision and Development 2010.

Water services

The Dunedin City Council Water Bylaw 2011 sets out the requirements for connections to the water supply network.

Each lot must be serviced from an individual Point of Supply. There is an existing water connection to the property which can be retained for proposed Lot 1. New water connections are required for Lot 2. For a new water connection or any change to an existing water connection, an "Application for Water Supply" is required. The Proposed Plan Rule 9.3.7 requires that all services be laid at least 600mm into resultant sites; therefore, when the new connection is established, the water supply pipe must be laid at least 600mm into the lot.

Firefighting requirements

All aspects relating to the availability of water for firefighting should be in accordance with SNZ PAS 4509:2008, being the Fire Service Code of Practice for Fire Fighting Water Supplies. There is a fire hydrant (WFH03576) directly opposite the development entrance and a second fire hydrant (WFH03575) 100m from the development entrance. Based on SNZ PAS 4509:2008 a FW2 (25l/s) zone requires a fire hydrant within 135m and a second within 270m. The proposed development will be compliant with these requirements.

Stormwater services

Three Waters advises that, in order to allow adequate pervious area for natural stormwater drainage, the maximum site coverage specified in the District Plan must be complied with when the sites are developed. Please note that there are new site coverage rules in the Proposed Plan for both building coverage and maximum site imperviousness, and any contravention of these rules will require additional resource consent.

The Hazards Register shows the subject site to be within a hazard zone, 12075 – Overland Flow Path; therefore a Stormwater Management Plan (SWMP) will be required. The Plan must be prepared by a suitably qualified person must be submitted to Dunedin City Council and must include the following:

- a. Stormwater calculations which state the difference between the pre-development flows and post-development flows and how to manage any difference in flow; and
- b. An assessment of the current and proposed imperviousness of the site; and
- c. Secondary flow paths; and
- d. Any watercourses located within the property; and

- e. Detail of proposed stormwater management systems for the development to accommodate for any excess runoff from extra impervious surfaces; and
- f. An assessment of the current network and its ability to accept any additional flow from the proposed development.

It is to be noted that in some circumstances, post-development flows may need to be reduced to be as little as 80% of pre-development flows.

The SWMP must be submitted and accepted by Three Waters prior to any construction commencing.

Easements

Service easements will be required where any private water supply, wastewater or stormwater pipes cross property boundaries in favour of the property they service.

Erosion and Sediment Control

It is important that erosion and sediment control measures are utilised to control and contain sediment-laden stormwater run-off into neighbouring properties and the Council stormwater network from the site during any stages of site disturbance associated with this development. This could include diversion drains, sediment fencing, erosion control blankets etc. This is provided for as a condition of consent.

Private Drainage

Council's Technical Support Officer, Seepage Control Unit, has considered the application. He notes that there are Council-owned foul and stormwater drains available for connection in Grove Street.

Lot 1 has an existing dwelling which is serviced for both foul and stormwater to Council reticulated services in Grove Street. There are to be identified as being within Lot 1 or easements might be required.

The proposed house of Lot 2 can drain to the Council's foul sewer in Grove Street. Stormwater can discharge to the Council stormwater sewer in Grove Street, or to the kerb and channel. Easements over Lot 1 will be required.

Summary

The proposal is acceptable to Three Waters and the Seepage Control Unit subject to conditions consistent with the above matters.

4. Transportation (Operative Plan 18.6.1(c); Proposed Plan 15.10.4.12 & 15.11.4.1(d))

The Council's Graduate Planner – Transport has assessed the proposal. He notes that Grove Street is a Local Road in the Proposed Plan roading hierarchy.

Access:

The Graduate Planner – Transport notes that the site is currently accessed via an existing bevel kerb vehicle crossing approximately 3.0m wide and this will continue to be used as access to both proposed lots. An existing driveway extends from the vehicle crossing, abutting the site's north-western boundary for its duration. The existing driveway appears to comprise hard surfacing and adequate drainage for its duration and it too will continue to be used as access to both proposed lots.

Rights of Way A and B are proposed over Lot 1, in favour of Lot 2, and will contain the existing driveway formation. Right of Way A will have a legal width of 3.0m for the majority of its 23.6m length and will be formed to its full legal width. The combined legal width of the rights of way is

restricted to 2.6m for approximately 3.0m while passing the bay window of the existing dwelling on proposed Lot 1. No doors or windows open from the existing dwelling into the vehicle access.

While a legal width of 2.6m is significantly reduced in comparison to either the Proposed Plan or Operative District Plan requirements, in addition to the already reduced legal width of 3.0m, Transport considers that these reduced widths are unlikely to affect the operation of the vehicle access in this instance. The right of way, at its narrowest point, is likely to only be used by vehicles from proposed Lot 2, suggesting it will support a very low volume of vehicle movements. In addition, the vehicle access is already in use, with no known operational issues on-site. Any further subdivision or intensified use of proposed Lot 2 is unlikely; therefore, additional width for a future right of way upgrade will not be required. Noting the mitigating factors above, Transport considers the reduced legal width of Rights of Way A and B to be acceptable in this instance.

Maintenance of all private accesses is the responsibility of their respective owners and users; therefore, the applicant is advised that a formal agreement should be drawn up between the owners/users of all private accesses, in order to clarify their maintenance responsibilities.

Parking and manoeuvring:

One on-site park is proposed to be provided for each new lot, in accordance with Rule 15.5.8.2(a). Based on the submitted plans, Terramark 12246-1 and Stonewood Homes Site Plan, compliant manoeuvring will be provided for both lots. Although not required for proposed Lot 1, vehicles from both proposed lots will be able to enter and exit the site in a forwards direction.

Conclusion

Transport considers the effects of the proposed development on the transportation network to be less than minor, subject to conditions of consent regarding the vehicle crossing and the formation requirements.

5. *Hazards (Operative Plan 18.6.1(t); Proposed Plan 15.11.4.1(b) & 11.4.2.6)*

Section 6(h) of the Resource Management Act 1991 requires the Council to recognise and provide for the management of significant risks from natural hazards, as a matter of national importance. In addition, under section 106 of the Resource Management Act 1991, the Council may decline the subdivision consent, or it may grant the subdivision consent subject to conditions, if there is a significant risk from natural hazards.

The assessment of the risk from natural hazards requires a combined assessment of:

- (a) *the likelihood of natural hazards occurring (whether individually or in combination); and*
- (b) *the material damage to land in respect of which the consent is sought, other land, or structures that would result from natural hazards; and*
- (c) *any likely subsequent use of the land in respect of which the consent is sought that would accelerate, worsen, or result in material damage of the kind referred to in paragraph (b).*

Council's Consulting Engineer, Stantec, has reviewed the application in relation to the Hazards Register, street files and available aerial photography.

The Hazards Register identifies this land as being subject to:

- Hazard ID 10111 – Intensified shaking, Earthquake Likely Amplification
- Hazard ID 11407 – Liquefaction Domain B.
- Hazard ID 11454 – Coastal Inundation – Projected Sea Level Rise
- Hazard ID 12075 - Flood – Overland Flow Path (flood plus other natural hazards).

The underlying geology of the subject site consists of alluvial material. The site is in liquefaction Domain C. The ground is predominantly underlain by poorly consolidated marine or estuarine sediments with a shallow groundwater table. There is considered to be a moderate to high likelihood of liquefaction-susceptible materials being present in some parts of the areas classified as Domain C.

There will be no significant earthworks associated with this project beyond the accessway formation, service trenching, and the levelling of the building platform.

Stantec recommends that the application not be declined on the grounds of known natural hazards. There are no general potential instabilities of concern, and the proposal will not create or exacerbate instabilities in this or adjacent properties.

It is Stantec's usual practise to recommend that a minimum floor level be confirmed in order to ensure that any future development meets the Building Act 2004 requirements to avoid potential inundation (including flooding, overland flow, storm surge, tidal effects, and ponding) on the land on which the building work is to be carried out or adjacent landowners' property. The floor level should address the potential for egress of water from the property via secondary flow paths, ensure that construction is not proposed in low-lying areas and that the path of storm water is not displaced from ephemeral flow paths into neighbouring properties. Normal building requirements exist to ensure that overland stormwater flows are not interrupted and the dwelling should be situated to avoid any adverse effects from local ponding during storm rainfall events.

The Proposed Plan Rule 11.3.3.1 requires the proposed house to be 'relocatable' because it is in a hazard 3 (coastal) mapped area although the applicant notes that it is some 900m from the closest coastal marine area. The Proposed Plan has imposed this layer over the entire South Dunedin residential area.

The applicant's agent provided additional comment about the status of the new building in an email dated 11 August 2020. He noted that the proposed building will not be relocatable, and provided a diagram showing the site to be 1km from the beach (as measured along the length of Grove Street). As such, the agent considered that any threat to coastal processes to be unlikely. Should erosion or other coastal processes, including sea level rise, exacerbate the situation and 1km of land is lost to the sea, the issues for the Dunedin community and City will be significant. One additional residential unit will be '*... of little consequence*'.

The relevant rule and assessment matter of the Proposed Plan are under appeal but there is no equivalent Operative District Plan rule to consider. The relevant Proposed Plan assessment matter directs that, in the Hazard 3 (coastal) overlay, buildings with residential activity on the ground floor are to be relocatable '*... unless site constraints mean this is not practicable*.' Given that Lot 2 will be a rear site with a narrow right of way, it will not be possible to remove the building without demolishing or removing the house on Lot 1 first. For this reason, and because the rule is under appeal, the proposed non-relocatable house is acceptable on Lot 2 but floor levels will have to be set at an appropriate level to minimise the risk of flooding. Further, it is noted that the relocatable construction does not reduce the risk of inundation but enables the building asset to be salvaged should the owner wish to do so. As this proposal includes the development of a single residential unit, the floor level will be determined at the time of building consent application.

Stantec notes that the site lies in an area where underlying soils have been identified as having potential for amplified movement and liquefaction during a significant seismic event. Stantec notes, generally speaking:

- The cases for seismic loading are normally addressed at building control stage.
- The Dunedin City Council Building Control Authority will ask for verification that the site is 'good ground' in accordance with NZS3604, Section 3.1.

- Further to this, it is recommended that specific engineering design be required to address recognised potential liquefaction hazards.
- Specific Engineering Design, or exclusion of liquefaction risk may require investigation testing to 10m depth to quantify the potential for liquefaction for each dwelling.

There are no natural hazards affecting this land which will compromise the development potential of this land, subject to appropriate design of the proposed building. Stantec recommends a number of general conditions regarding development which are more appropriately attached to the consent as advice notices.

6. Earthworks (Section 8A)

The subject site is more or less level, and while the application does not detail the amount of earthworks requirement, it is unlikely that volumes or changes in ground level will require resource consent. This consent does not authorise any earthworks associated with the development of the access or new building platform. Should future earthworks contravene any performance standards of Section 8A of the Proposed Plan, additional resource consent will be required.

7. Amenity Values and Character (Operative Plan 8.13.5; Proposed Plan 15.11.4.1(a))

The proposal is to build a new dwelling at the rear of the existing house, and to subdivide the site so that the houses are situated on their own fee-simple site. The order of subdivision and development is not crucial as the outcome will be the same and, in this case, does not alter the activity status of the subdivision or land use proposals. One means by which the District Plan maintains the amenity values of an area is through the density provisions of the various zones. In this zone, the Proposed Plan calculates density on a habitable-rooms basis, and the two residential units are acceptable as a development overall or if considered separately on their new lots. The under-sized Lot 2 is not considered to introduce any density contraventions.

Both houses will have adequate outdoor living space in their north-eastern corners. While the new house of Lot 2 will be closer to the new boundary than the rules anticipate, any adverse effects on amenity as a result will be confined to the new lots themselves. The proposal is considered to meet the amenity values and character of the zone and area.

8. Boundary Setback, Maximum Height & Site Coverage (Proposed Plan 15.10.4.1, 15.10.4.7 & 15.10.4.10)

The rules of the Proposed Plan for development only relate to the new dwelling on proposed Lot 2 as this is the only new development associated with this application. The new dwelling will contravene the setback, maximum height and site coverage rules of the Proposed Plan.

The Proposed Plan allows a site coverage of 50%. The proposed unit for Lot 2 will have a site coverage of 50.4%, therefore having a very small site coverage contravention. The overall permeable surfacing will, however, be compliant, and the small site coverage contravention is not considered to be unacceptable. Any adverse effects on amenity will be confined to the site itself, and any adverse effects due to stormwater discharge will be managed by the Stormwater Management Plan.

The new dwelling on Lot 2 will be built approximately 0.5m from the boundary with Lot 1, with the eaves extending another 0.25m into the setback space. The dwelling will contravene the setback rule by 0.5m, the eaves being permitted provided they do not extend more than 0.25m into the setback. The dwelling will also be over 2.0m high within the setback, therefore contravening the maximum height requirement. The adverse effects of these bulk and location contraventions will be confined to the two sites of this subdivision and are therefore acceptable. Once built, the contraventions will be an existing situation at the time of sale of either lot, and any prospective purchaser will be aware

of the proximity of the houses at the time of buying, and presumably will not invest if this is unacceptable.

NOTIFICATION ASSESSMENT

Section 95A of the Resource Management Act 1991 sets out a step-by-step process for determining public notification. Each step is considered in turn below.

Step 1: Mandatory public notification in certain circumstances

- Public notification has not been requested.
- There has been no failure or refusal to provide further information.
- There has been no failure to respond or refusal to a report commissioning request.
- The application does not involve the exchange of recreation reserve land.

Step 2: If not required by Step 1, public notification precluded in certain circumstances

- There are no rules or national environmental standards precluding public notification.
- The application is for the following, but no other, activities: a restricted discretionary or discretionary subdivision; a restricted discretionary or discretionary residential activity. As a result, public notification is precluded under Step 2.

Step 3: If not precluded by Step 2, public notification required in certain circumstances

- Step 3 does not apply because public notification is precluded under Step 2.

Step 4: Public notification in special circumstances

- There are no special circumstances that warrant the application being publicly notified. There is nothing exceptional or unusual about the application that makes public notification desirable.

Limited Notification

Section 95B of the Resource Management Act 1991 sets out a step-by-step process for determining limited notification. Each step is considered in turn below.

Step 1: Certain affected groups and affected persons must be notified

- The activity is not in a protected customary rights area; the activity is not an accommodated activity in a customary marine title area; and, the activity is not on or adjacent to, or might affect, land that is the subject of a statutory acknowledgement.

Step 2: If not required by Step 1, limited notification precluded in certain circumstances

- There are no rules or national environmental standards precluding limited notification.
- The application does not involve: a controlled activity; nor an activity prescribed in regulations as being precluded from limited notification.

Step 3: If not precluded by Step 2, certain other affected persons must be notified

- The application does not involve: a boundary activity; nor an activity prescribed in regulations that prescribe who is an affected person.
- There are no persons where the activity's adverse effects on the person are minor or more than minor.

Step 4: Further notification in special circumstances

- There are no special circumstances that warrant the application being limited notified. There is nothing exceptional or unusual about the application that makes limited notification to any other persons desirable.

SUBSTANTIVE DECISION ASSESSMENT

Effects

In accordance with section 104(1)(a) of the Resource Management Act 1991, the actual and potential adverse effects associated with the proposed activity have been assessed and outlined above. It is considered that the adverse effects on the environment arising from the proposal are no more than minor.

Offsetting or Compensation Measures

In accordance with section 104(1)(ab) of the Resource Management Act 1991, there are no offsetting or compensation measures proposed or agreed to by the applicant that need consideration.

Objectives and Policies

In accordance with section 104(1)(b) of the Resource Management Act 1991, the objectives and policies of the Operative District Plan and the Proposed Plan were taken into account when assessing the application.

Operative District Plan

The proposal is considered to be consistent with the following objectives and policies:

- **Objective 4.2.1 and Policy 4.3.1 (Sustainability Section)**
These seek to enhance and maintain the amenity values of the Dunedin area.
- **Objective 8.2.1 and Policy 8.3.1 (Residential Section)**
These seek to ensure that the adverse effects on the amenity values and character of residential areas are avoided remedied or mitigated.
- **Objective 18.2.1 and Policy 18.3.1 (Subdivision Section)**
These seek to ensure that subdivision activity takes place in a coordinated and sustainable manner.
- **Objective 18.2.2 and Policy 18.3.5 (Subdivision Section)**
These seek to ensure that physical limitations are identified and taken into account at the time of subdivision activity.
- **Objective 18.2.7, Policy 18.3.7 and Policy 18.3.8 (Subdivision Section)**
These seek to ensure that provision is made at the time of subdivision activity for appropriate infrastructure, including management of associated effects.
- **Objective 20.2.2 and Policy 20.3.5 (Transportation Section)**
These seek to ensure that activities are undertaken in a manner which avoids, remedies or mitigates adverse effects on the transportation network.

Proposed Plan

The proposal is considered to be consistent with the following Proposed Plan objectives and policies:

- **Objective 6.2.3 and Policies 6.2.3.3, 6.2.3.4 and 6.2.3.9 (Transportation Section)**
These seek to ensure that land use, development and subdivision activities maintain the safety and efficiency of the transport network for all travel methods.
- **Objective 15.2.2 and Policy 15.2.2.1 (Residential Zones)**
These seek to ensure that residential activities, development, and subdivision activities provide high quality on-site amenity for residents.

- **Objective 15.2.3 and Policy 15.2.3.1 (Residential Zones)**
These seek to ensure that activities in residential zones maintain a good level of amenity on surrounding residential properties and public spaces.
- **Objective 15.2.4 and Policy 15.2.4.2 (Residential Zones)**
These seek to ensure that subdivision activities and development maintain or enhance the amenity of the streetscape and reflect the current of intended future character of the neighbourhood.
- **Policy 11.2.1.13 (Hazards)**
This seeks to only allow subdivision where the risk from natural hazards, including any future development, will be avoided or no more than low.
- **Policy 11.2.1.8 (Hazards)**
This seeks to have relocatable building in the Hazard 3 (coastal) overlay unless site constraints mean this is not practicable.

Objectives and Policies Assessment

The provision of the Proposed Plan for this site and proposal are largely beyond challenge. Consequently, the objectives and policies of the Proposed Plan have been greater weight during this assessment. Nevertheless, the objectives and policies of both Plans support the granting of consent.

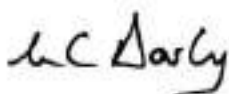
Part 2

Based on the findings above, it is evident that the proposal would satisfy Part 2 of the Resource Management Act 1991. Granting of consent would promote the sustainable management of Dunedin's natural and physical resources.

RECOMMENDATION

After having regard to the above planning assessment, I recommend that:

1. This application be processed on a non-notified basis, pursuant to sections 95A and 95B of the Resource Management Act 1991.
2. The Council grant consent to the proposed activity under delegated authority, in accordance with sections 104 and 104C of the Resource Management Act 1991.



Lianne Darby
Planner

Date: 13 August 2020

DECISION

I have read both the notification assessment and substantive decision assessment in this report. I agree with both recommendations above.

Under delegated authority on behalf of the Dunedin City Council, I accordingly approve the granting of resource consent to the proposal:

Subdivision SUB-2020-107

*Pursuant to Part 2 and sections 34A(1), 104 and 104C of the Resource Management Act 1991, and the Proposed Second Generation Dunedin City District Plan, the Dunedin City Council **grants** consent to a **restricted discretionary** activity being the subdivision of the land legally described as Lot 7 Block IV Deposited Plan 68 (RT OT4C/595) at 37 Grove Street, Dunedin, into two residential lots, subject to conditions imposed under sections 108 and 220 of the Act, as shown on the attached certificate.*

Land Use LUC-2020-368

That pursuant to section 34A(1) and 104C of the Resource Management Act 1991, and after having regard to Part 2 matters and section 104 of the Act, and the provisions of the Proposed Plan, the Dunedin City Council grants consent to a restricted discretionary activity being:

- *setback contravention of the new house on Lot 2 SUB-2020-107 in respect of the boundary with Lot 1;*
- *maximum height contravention of the new house on Lot 2 SUB-2020-107 in respect of the boundary with Lot 1;*
- *Site coverage contravention of the house on Lot 2 SUB-2020-107;*
- *Non-relocatable building on Lot 2 SUB-2020-107;*
- *Shared access to Lots 1 and 2 SUB-2020-107 that contravenes minimum width (legal and physical) requirements;*
- *Insufficient distance between the house of Lot 1 SUB-2020-107 and the right of way;*

at 37 Grove Street, Dunedin, subject to conditions imposed under sections 108 and 220 of the Act, as shown on the attached certificate.



Campbell Thomson
Senior Planner

Date: 13 August 2020

Consent Type: Subdivision Consent

Consent Number: SUB-2020-107

Purpose: Two-lot fee-simple subdivision.

Location of Activity: 37 Grove Street, Dunedin.

Legal Description: Lot 7 Block IV DP 68 (RT OT4C/595).

Lapse Date: 13 August 2025 unless the consent has been given effect to before this date.

Conditions:

1. *The proposed activity must be undertaken in general accordance with the approved plans prepared by Terramark entitled, 'Lots 1 & 2 Being a Subdivision of Lot 7 Block XV DP 68,' attached to this certificate as Appendix One, and the information provided with the resource consent application SUB-2020-107 received by the Council on 17 July 2020, and further information received on 11 August 2020 except where modified by the following conditions:*
2. *Prior to certification of the survey plan, pursuant to section 223 of the Resource Management Act 1991, the subdivider must ensure the following:*
 - a) *If a requirement for any easements for services, including private drainage, is incurred during the survey then those easements must be granted or reserved and included in a Memorandum of Easements on the cadastral dataset.*
 - b) *Service easements must be duly created or reserved over Lot 1 in favour of Lot 2, and must be shown on the survey plan in a Memorandum of Easements.*
 - c) *Right of Ways A and B must be duly created or reserved over Lot 1 in favour of Lot 2, and must be shown on the survey plan in a Memorandum of Easements. Right of Way A must be at least 3.0m wide or the maximum width available while clear of the house eaves, whichever measurement is the greater. Right of Way B must be as wide as possible between Right of Way A and the house wall, and must have a vertical component that excludes the house eaves.*
3. *Prior to certification pursuant to section 224(c) of the Resource Management Act 1991, the subdivider must complete the following:*

Infrastructure

- a) *A Stormwater Management Plan (SWMP) prepared by a suitably qualified person must be submitted to Dunedin City Council including the following:*
 - (i) *Stormwater calculations which state the difference between the pre-development flows and post-development flows and how to manage any difference in flow;*
 - (ii) *An assessment of the current and proposed imperviousness of the site;*

- (iii) *Secondary flow paths;*
- (iv) *Any watercourses located within the property;*
- (v) *Detail of proposed stormwater management systems for the development to accommodate for any excess runoff from extra impervious surfaces; and*
- (vi) *An assessment of the current network and its ability to accept any additional flow from the proposed development.*

It is to be noted that in some circumstances, post-development flows may need to be reduced to be as little as 80% of pre-development flows.

The SWMP must be submitted and accepted by 3 Waters prior to any construction commencing.

b) *Either:*

Stormwater management, including the installation of any detention tanks that might be required, must be undertaken in accordance with the approved Stormwater Management Plan;

Or:

A consent notice must be prepared in consultation with Council's Subdivision Planner for registration on the title of Lot 2 specifying the requirements for future development and on-going management of stormwater water in order to fulfil the requirements of the Stormwater Management Plan.

- c) *An "application for Water Supply - New Service" must be submitted to the Three Waters Group for approval to establish new water connection to Lot 2. Details of how Lot 2 is to be serviced for water must accompany the application.*
- d) *Upon approval by the Three Waters Group, the water service connection must be installed in accordance with the requirements of Section 6.6.2 of the Dunedin Code of Subdivision and Development 2010. The water supply pipe from the newly installed water connections must be laid at least 600mm into new Lot 2.*
- e) *Separate foul and stormwater laterals must be installed at least 600mm inside the boundary of Lot 2.*

Transport

- f) *Rights of Way A and B must be formed to the maximum width available within the easement for their entire length, and must be hard-surfaced and adequately drained for their duration.*

Advice Notes:

Transportation

1. It is recommended that the owners and users of the shared driveway enter into a formal agreement to clarify the responsibilities for maintenance.

Earthworks

2. This consent does not address any earthworks for this subdivision. Should future earthworks within the new lots breach the performance standards of Rule 8A of the Proposed Plan, further consent will be required. Land use consent will also be required for any structures, such as retaining walls supporting fill or surcharge, near to boundaries.
3. When undertaking future earthworks, the developer is advised that:
 - Any earth fill over 0.6m thick supporting foundations must be specified and supervised by a suitably qualified person in accordance with NZS 4431-1989 Code of Practice for Earthfill for Residential Development.
 - Slopes may not be filled steeper than 2h:1v (27°) without specific engineering design and construction
 - Any modifications to stormwater flow or new culverts shall be designed by appropriately qualified person/s and ensure that overland stormwater flows are not interrupted and not increase any adverse effects from local ponding during storm rainfall events.
4. Buildings built before 1900 or sites which were in use before that time are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014. Before disturbing an archaeological site, or to check whether a site is an archaeological site, the consent holder is advised to discuss any development or earthworks proposal with Heritage New Zealand.
5. If the consent holder:
 - a) discovers koiwi tangata (human skeletal remains), waahi taoka (resources of importance), waahi tapu (places or features of special significance) or other Maori artefact material, the consent holder must without delay:
 - i) notify the Consent Authority, Tangata whenua and Heritage New Zealand and in the case of skeletal remains, the New Zealand Police.
 - ii) stop work within the immediate vicinity of the discovery to allow a site inspection by Heritage New Zealand and the appropriate runanga and their advisors, who must determine whether the discovery is likely to be extensive, if a thorough site investigation is required, and whether an Archaeological Authority is required.

Site work may recommence following consultation with the Consent Authority, Heritage New Zealand, Tangata whenua, and in the case of skeletal remains, the New Zealand Police, provided that any relevant statutory permissions have been obtained.
 - b) discovers any feature or archaeological material that predates 1900, or heritage material, or disturbs a previously unidentified archaeological or heritage site, the consent holder must without delay:
 - i) stop work within the immediate vicinity of the discovery or disturbance; and
 - ii) advise the Consent Authority, Heritage New Zealand, and in the case of Maori features or materials, the Tangata whenua, and if required, must make an application for an Archaeological Authority pursuant to Heritage New Zealand Pouhere Taonga Act 2014; and

- iii) arrange for a suitably qualified archaeologist to undertake a survey of the site.

Site work may recommence following consultation with the Consent Authority.

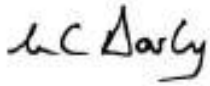
Infrastructure

6. To reduce water consumption and therefore the volume of wastewater generated, the consent holder will be required to install in new dwellings water saving devices, including but not limited to, low-flow shower heads, 6/3 dual flush toilets and aerated sink mixers.
7. All aspects of this development shall be compliant with Parts 4, 5 and 6 of the Dunedin Code of Subdivision and Development 2010.
8. Detail of the water supply application process can be found at <http://www.dunedin.govt.nz/services/water-supply/new-water-connections>.
9. All aspects relating to the availability of water for fire-fighting should be in accordance with SNZ PAS 4509:2008, being the Fire Service Code of Practice for Fire Fighting Water Supplies, unless otherwise approved by the New Zealand Fire Service.
10. The following documents are recommended as best practice guidelines for managing erosion and sediment-laden run-off:
 - Environment Canterbury, 2007 "Erosion and Sediment Control Guideline 2007" Report No. R06/23.
 - Dunedin City Council "Silt and Sediment Control for Smaller Sites" (information brochure).

General

11. In addition to the conditions of a resource consent, the Resource Management Act 1991 establishes through sections 16 and 17 a duty for all persons to avoid unreasonable noise, and to avoid, remedy or mitigate any adverse effect created from an activity they undertake.
12. Resource consents are not personal property. The ability to exercise this consent is not restricted to the party who applied and/or paid for the consent application.
13. It is the responsibility of any party exercising this consent to comply with any conditions imposed on the resource consent prior to and during (as applicable) exercising the resource consent. Failure to comply with the conditions may result in prosecution, the penalties for which are outlined in section 339 of the Resource Management Act 1991.
14. The lapse period specified above may be extended on application to the Council pursuant to section 125 of the Resource Management Act 1991.
15. This is a resource consent. Please contact the Council's Building Services Department, about the building consent requirements for the work.

Issued at Dunedin on 13 August 2020.

A handwritten signature in black ink, appearing to read 'Lianne Darby'.

Lianne Darby
Planner

Consent Type: Land Use Consent

Consent Number: LUC-2020-368

Purpose: Non-relocatable residential building on Lot 2 SUB-2020-107 with setback, site coverage, maximum height contraventions, and shared access to Lots 1 and 2 SUB-2020-107 with width and distance from building contraventions.

Location of Activity: 37 Grove Street, Dunedin

Legal Description: Lots 1 and 2 SUB-2020-107, currently part of Lot 7 Block IV DP 38 (RT OT4C/595)

Lapse Date: LUC-2020-368 lapse five years from the date that the s223 certificate for SUB-2020-107 is issued, unless given effect to prior to this date.

Conditions:

1. *The proposed activity must be undertaken in general accordance with the approved plans prepared by Terramark entitled, 'Lots 1 & 2 Being a Subdivision of Lot 7 Block XV DP 68,' attached to this certificate as Appendix One, and the plans and elevations of the unit received by Council on 21 July 2020, attached to this certificate as Appendix Two, and the information provided with the resource consent application LUC-2020-368 received by the Council on 17 July 2020, and further information received on 11 August 2020 except where modified by the following conditions:*

Infrastructure:

2. *An "application for Water Supply - New Service" must be submitted to the Three Waters Group for approval to establish new water connection to the rear unit. Details of how the rear unit is to be serviced for water must accompany the application.*
3. *Upon approval by Three Waters Group, the water service connection must be installed in accordance with the requirements of Section 6.6.2 of the Dunedin Code of Subdivision and Development 2010.*
4. *The two units must have separate foul and stormwater drains.*
5. *The new unit must have water saving devices installed, including but not limited to, low-flow shower heads, 6/3 dual flush toilets and aerated sink mixers in order to reduce water consumption and therefore the volume of wastewater generated wastewater discharges.*

Transport

6. *The driveway to the rear house must be formed to at least 2.6m to 3.0m (whichever is the greater width possible), and must be hard surfaced and adequately drained for its duration.*

Advice Notes:

Transportation

1. It is recommended that the owners and users of the shared driveway enter into a formal agreement to clarify the responsibilities for maintenance.
2. The vehicle crossing, between the road carriageway and the property boundary, is within legal road and will therefore require a separate Vehicle Entrance Approval from DCC Transport to ensure that the vehicle crossing is constructed/upgraded in accordance with the Dunedin City Council Vehicle Entrance Specification (note: this approval is not included as part of the resource consent process).

Earthworks

3. This consent does not address any earthworks for this development. Should future earthworks within the new lots breach the performance standards of Rule 8A of the Proposed Plan, further consent will be required. Land use consent will also be required for any structures, such as retaining walls supporting fill or surcharge, near to boundaries.
4. When undertaking future earthworks, the developer is advised that:
 - Any earth fill over 0.6m thick supporting foundations must be specified and supervised by a suitably qualified person in accordance with NZS 4431-1989 Code of Practice for Earthfill for Residential Development.
 - Slopes may not be filled steeper than 2h:1v (27°) without specific engineering design and construction
 - Any modifications to stormwater flow or new culverts shall be designed by appropriately qualified person/s and ensure that overland stormwater flows are not interrupted and not increase any adverse effects from local ponding during storm rainfall events.
5. Buildings built before 1900 or sites which were in use before that time are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014. Before disturbing an archaeological site, or to check whether a site is an archaeological site, the consent holder is advised to discuss any development or earthworks proposal with Heritage New Zealand.

Development

6. This land use consent provides for the two-unit development of 37 Grove Street to proceed independently of subdivision SUB-2020-107 with development occurring before subdivision. However, should development follow subdivision, the conditions of LUC-2020-368 will still apply.
7. When developing this land:
 - The cases for seismic loading are normally addressed at building control stage.
 - The Dunedin City Council Building Control Authority will ask for verification that the site is 'good ground' in accordance with NZS3604, Section 3.1.
 - Further to this, it is recommended that specific engineering design be required to address recognised potential liquefaction hazards.
 - Specific Engineering Design, or exclusion of liquefaction risk may require investigation testing to 10m depth to quantify the potential for liquefaction for each dwelling.

8. At the time of building the new units, the developer will be required to determine a minimum floor level that ensures the development will meet the Building Act 2004 requirements regarding the avoidance of inundation (including flooding, overland flow, and ponding) on the land where the building work is to be carried out. The floor level must address the potential for egress of water from the property via secondary flow paths, ensure that construction takes into account low-lying areas and that the path of stormwater is not displaced from ephemeral flow paths into neighbouring properties. Normal building requirements exist to ensure that overland stormwater flows are not interrupted and that dwelling should be situated to avoid any adverse effects from local ponding during storm rainfall events.
9. It is advised that:
 - Storm water from driveways, sealed areas and drain coils is not to cause nuisance on and adjoining properties.
 - For secondary flow paths, the finished floor level shall be set at the height of the secondary flow plus an allowance for free board.
 - As required by the New Zealand Building Code E1.3.2 surface water resulting from an event having a 2% probability of occurring annually, shall not enter dwellings, The finished floor level shall be set accordingly.
10. As a guide to suitable floor levels for residential development, Council has a data map at:
<https://dunedin.maps.arcgis.com/apps/webappviewer/index.html?id=56b2956ed47f4e94b39f54eecaed0a8c>

Infrastructure

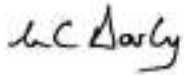
7. All aspects of this development shall be compliant with Parts 4, 5 and 6 of the Dunedin Code of Subdivision and Development 2010.
8. Detail of the water supply application process can be found at <http://www.dunedin.govt.nz/services/water-supply/new-water-connections>.
9. All aspects relating to the availability of water for fire-fighting should be in accordance with SNZ PAS 4509:2008, being the Fire Service Code of Practice for Fire Fighting Water Supplies, unless otherwise approved by the New Zealand Fire Service.
10. The following documents are recommended as best practice guidelines for managing erosion and sediment-laden run-off:
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General

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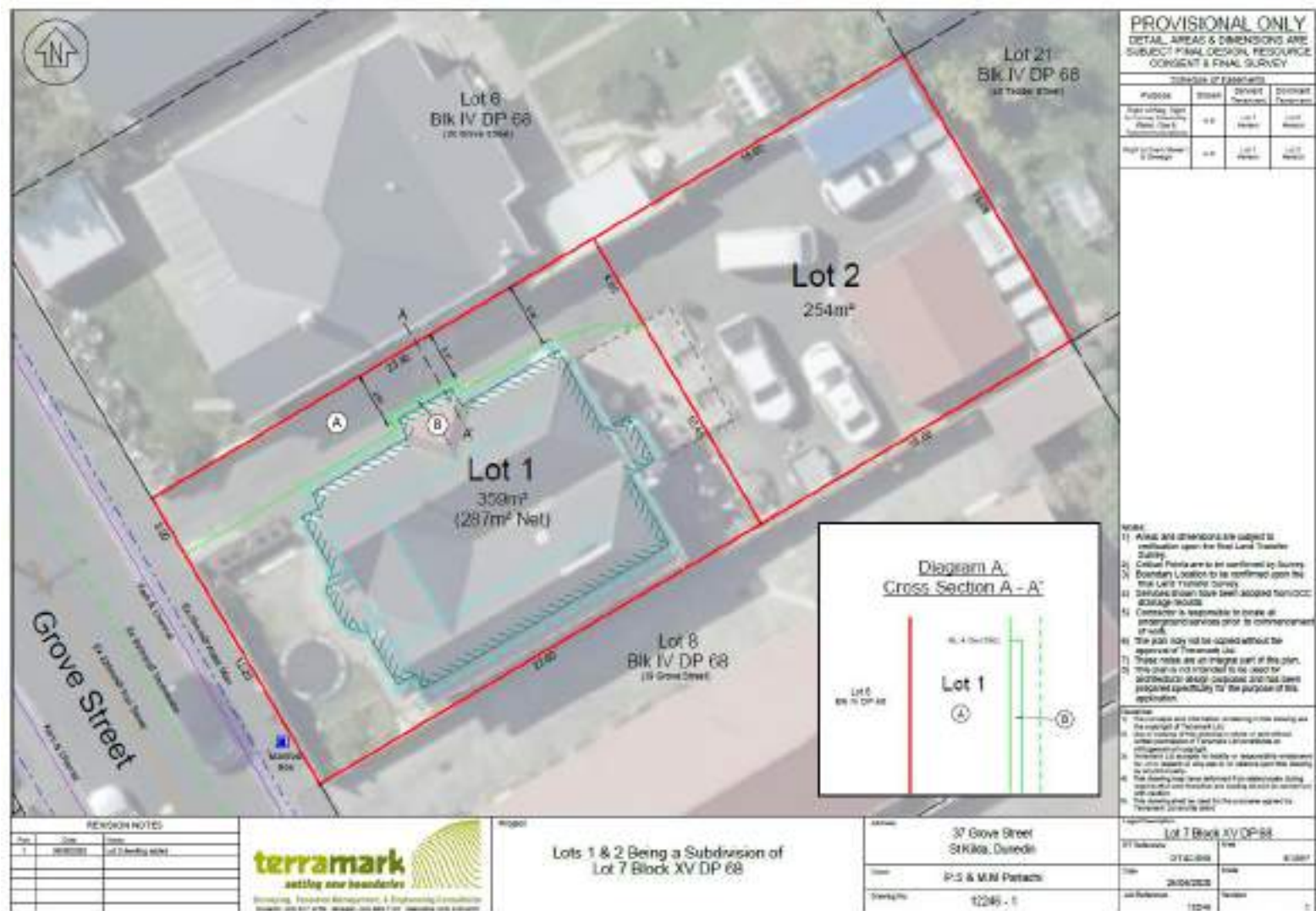
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14. The lapse period specified above may be extended on application to the Council pursuant to section 125 of the Resource Management Act 1991.
15. This is a resource consent. Please contact the Council's Building Services Department, about the building consent requirements for the work.

Issued at Dunedin on 13 August 2020.

A handwritten signature in black ink, appearing to read 'Lianne Darby'.

Lianne Darby
Planner

Appendix One: Approved Plans for SUB-2020-107 & LUC-2020-368 (scanned images, not to scale)





PROVISIONAL ONLY
DETAIL, AREAS & DIMENSIONS ARE
SUBJECT FINAL DESIGN, RESOURCE
CONSENT & FINAL SURVEY

SUBJECT MATTER			
Purpose	Shown	Shown	Shown
Right of Way, Right of Common, Right of Easement, Right of Access	As Shown	As Shown	As Shown
Right of Access, Right of Easement	As Shown	As Shown	As Shown

- Notes:**
1. Areas and dimensions are subject to verification upon the final Land Transfer Survey.
 2. Critical points are to be confirmed by survey.
 3. Boundary Location to be confirmed upon the final Land Transfer Survey.
 4. Services shown have been adopted from most available records.
 5. Contractor is responsible to locate all underground services prior to commencement of work.
 6. This plan may not be copied without the approval of Terramark Ltd.
 7. These notes are an integral part of this plan.
 8. This plan is not intended to be used for architectural design purposes and has been prepared specifically for the purpose of this application.

- Disclaimer:**
1. The company and information contained herein shall be the property of Terramark Ltd.
 2. Use of this plan is limited to the purpose for which it was prepared and no other use is permitted without the written consent of Terramark Ltd.
 3. Terramark Ltd. does not warrant or represent that the information contained herein is correct or that it is not liable for any loss or damage caused by its use.
 4. The drawings are not to be used for any other purpose without the written consent of Terramark Ltd.
 5. The drawings are not to be used for any other purpose without the written consent of Terramark Ltd.

Project Description	
Lot 7 Block XV DP 68	
DT Reference	DT142/095
Date	28/05/2020
DT Reference	12245

REVISION NOTES

Rev	Date	Notes
1	28/05/2020	Lot 1 meeting street

terramark
setting new boundaries

Surveying, Remedial and Approval & Engineering Consultants
Dunedin 0300 411 4146, Auckland 09 411 4146, Hamilton 027 411 4146

Project

Lots 1 & 2 Being a Subdivision of
Lot 7 Block XV DP 68

Address

37 Grove Street
St Kilda, Dunedin

Client

P. S. & M. M. Parakehi

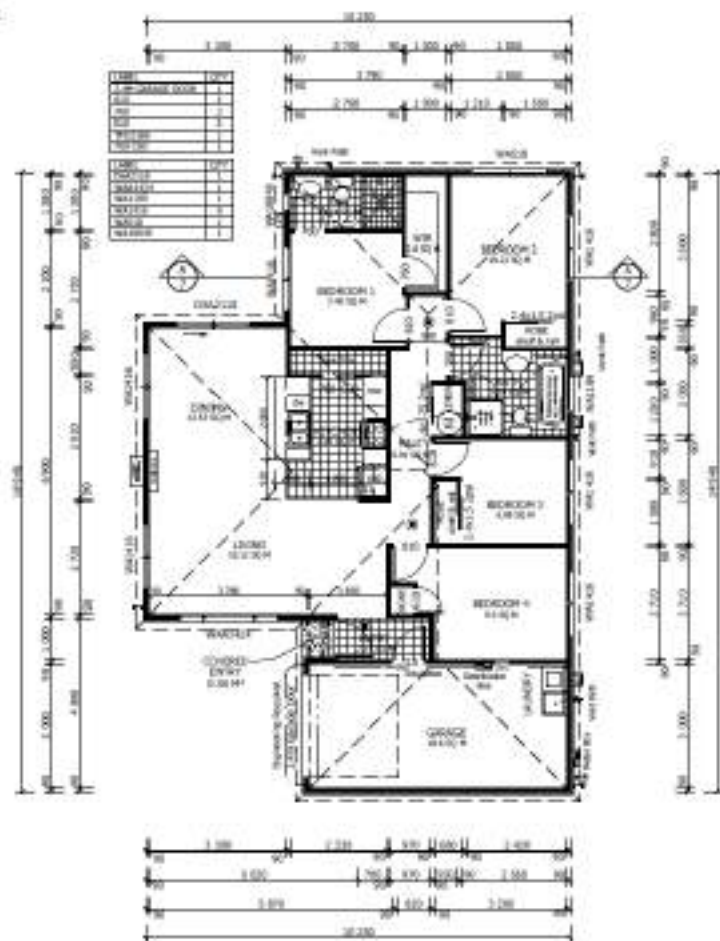
Drawings

12245 - 1

[illegible]



New To Elevators



STOP & WALL CLIPPING

ROOM -	217
YOUNG -	10000
PAID -	

2000年10月1日

APR A	107.89	of 64	Spectrum	11.50m
APR A	107.47	of 64	Spectrum	11.50m
APR B	108.00	of 64	Spectrum	11.50m
APR C	107.89	of 64	Spectrum	11.50m

GENERAL FLOOR PLAN NOTED

CONCRETE REINFORCING BARS

 Include details to be fitted within 3.0m of
 sweeping ends and on balcony slabs, as
 indicated on plan. Refer to Construction
 Schedule (Page 2 & 3) in the Specification
 for more information.

MISCELLANEOUS:
Dimensions shown are to the frame.
Call thickness not shown.
Refer to construction schedule (Page 2 & 3 of
specification) for additional construction information.
Entry through external doors.
Sealed with 3M 3000.
Air Seals to have PEP 1000 low-expansion foam.
All windows and doors contained in room unless
shown otherwise.

QAZ:
QAZ bottles do not include "bottom" just like any
other bottle as per the QAZ Cylinder diagram in
the "Use" section of the main specification.
(Any other electrical is an option/upgrade)

BUILDING WRAP
 This Supply Buyer or Trade Contractor, refer to
 Buildingwrap.com for more information.

USALL FRODOLO	
Clas. 1990	1400 mm

FLOOR FINISHES
CASE

WATER HEATING
Electric (120 Volts)

KITCHEN HOOD
 CEILING HOOD WITH HEAT RESISTANT SPRAY-ON COAT
 (SEE BLENDED HOOD)

DOORS	
Material Weight	Feather
Type	TMC
Point Code Type	EXP

STONEWOOD

Shirley Ann Curdell
at shirley@cs.mcgill.ca
John Curdell, New Bedford
Phone: 508.547.7010
Fax: 508.547.7020
Email: john.curdell@shirleyann.com
Website: www.shirleyann.com

Client:
Partech
Proposed Dwelling at:
Lot 2
3T Grove Street Dunedin

The club is designed for the weekend and is intended to be enjoyed from the first time around.
All participants are invited to be checked out and to be checked in at the end of the week.

Project Name		Phase	
FLOOR PLAN			
Client Name	Contract No.	Scale	Unit
XXXXXXXXXX	XXXX-XXXX	XXXX	XXXX
Project Start	Project End	Design	Construction
XXXXXXXXXX	XXXXXXXXXX	XXXX	XXXX
XXXXXXXXXX	A	4	4
Project Concept		Project Y	

RISK MATRIX ASSESSMENT		
ELEVATION A		
RISK CRITERIA	RISK	SCORE
WIND LOAD	100	10
ROOFING SYSTEM	100	10
WALL SYSTEM	100	10
FLOOR SYSTEM	100	10
FOUNDATION	100	10
CLIMATE RESILIENCE	100	10
OVERALL RISK	100	10



GENERAL ELEVATION NOTES	
All dimensions are in millimeters unless otherwise stated.	
This sheet is to be read in conjunction with the Risk Matrix in specification.	
Drawings to be from 20mm x 100mm gauge (unless otherwise stated).	
100	100
100	100
100	100

LEGEND	
1 -	T-Rib Profile
2 -	Roofing over 20mm cavity
3 -	Roofing Cladding
4 -	Roofing Panels and Gutter System
5 -	Aluminium Joist
6 -	Concrete Downpipes
7 -	Water Box
8 -	Roofing Waterproofing
9 -	Roofing Vents



RISK MATRIX ASSESSMENT		
ELEVATION B		
RISK CRITERIA	RISK	SCORE
WIND LOAD	100	10
ROOFING SYSTEM	100	10
WALL SYSTEM	100	10
FLOOR SYSTEM	100	10
FOUNDATION	100	10
CLIMATE RESILIENCE	100	10
OVERALL RISK	100	10

STONEWOOD
HOMES

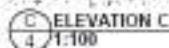
Stonewood Homes Limited
20 Kaitiaki, 100, P.O. Box 1000
South Dunedin, New Zealand
Phone: 0800 123 456
Fax: 0800 123 456
Email: info@stonewoodhomes.co.nz
Website: www.stonewood.co.nz

Client:
Parakee
Proposed Dwelling at:
Lot 2
37 Grove Street Dunedin

This plan is intended for the construction of the proposed dwelling. It is not to be used for any other purpose without the written consent of Stonewood Homes Limited.

ELEVATIONS	
Drawn By	XXXXXXXX
Checked By	XXXXXXXX
Approved By	XXXXXXXX
Scale	1:100
Sheet No.	1 of 1
Project No.	XXXXXXXX
Client	XXXXXXXX
Address	XXXXXXXX
City	XXXXXXXX
Region	XXXXXXXX
Country	XXXXXXXX
Version	CONCEPT
Date	10/10/2023

Copyright Clearance Center, Inc.



FOR BUREAU OF CORRECTIONS AND PAROLE, REFER TO THE
CORRECTION DEPARTMENT IN THE COMMISSION FOR THE TYPE

This sheet to be read in conjunction with the Risk Matrix in specification.

This sheet is to be read in conjunction with the Risk Matrix in specification.

DRIVELY TO THE TWIN ZONES AND BEHOLD GARGOYLES
HURRLE BY OTHERS.

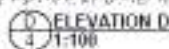
100

1999

DOI: 10.1002/for

Legend	
--------	--

- 1 - T-Pits Profile
- 2 - Header over 20mm cavity
- 3 - Feature Cladding
- 4 - Diamond Panels and Gutter System
- 5 - Aluminium Joinery
- 6 - Concrete Claspings
- 7 - Motor Box
- 8 - Outdoor Heatpump Unit
- 9 - Thermal Ward



© 2006 The Authors
Journal compilation © 2006 Blackwell Publishing Ltd

Client :
Parade
Proposed Dwelling at:
Lot 2
37 Grove Street Dandenong

Shorewood, Norway (Norway)
 40 Strindheimen St. 0164 Oslo 0400
 South America, New Zealand
 Phone: +44 2 467 7772
 Fax: +44 2 467 7773
 Email: info@shorewood.com
www.shorewood.co.uk

†These data are derived from the parent and a potentially important missing data imputation process.
‡All descriptive and bivariate data are checked and verified as they are submitted into the computerized database.

[illegible]

27 July 2020

Dan & Madhu Pariachi
C/O Darryl Sycamore
Terramark Limited
PO Box 235
Dunedin 9054

Via email: darryl@terramark.co.nz

Dear Darryl

HAIL PROPERTY SEARCH

HAIL-2020-107
37 Grove Street Dunedin

Please find attached the results of your Hazardous Activities and Industries List (HAIL) search lodged on 17 July 2020.

Please note:

- The attached documentation only includes information that is available on the Council's records and the Council does not necessarily hold comprehensive records of the historic land use of this site.
- Additional HAIL activities beyond any identified in the results may have occurred on the site or may be occurring without the Council's knowledge.
- It is recommended that further investigation of the historic land use be undertaken through other means, including consulting with any former land owners and checking with the Otago Regional Council.
- This information does not constitute a Preliminary Site Investigation in terms of the Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011.

Yours sincerely



Peter Webb
Planner

HAIL Search Summary

Collated by: Peter Webb, Dunedin City Council

Date Collated: 27/07/2020

1 PROPERTY INFORMATION

Current Owner:	Permal Swami Pariachi & Madhu Mala Pariachi
Address:	37 Grove Street Dunedin
Legal Description(s):	Lot 7 Block IV Deposited Plan 68
Territorial Authority:	Dunedin City Council

2 SEARCH EXTENT

Site plan showing search area:



3 HAIL INFORMATION

3.1 Supporting documents regarding land use history

List of supporting documents about land use history. e.g. historic aerial photographs, resource or building consent documents, street-view photographs etc. Any documents showing possible or actual HAIL activity are specifically noted.

- Email from Council's Archivist, outlining results of archival search
- Aerial photo dated 1947
- Aerial photo dated 1957
- Aerial photo dated 1967
- Aerial photo dated 1978
- Aerial photo dated 1990
- Aerial photo dated 2000
- Aerial photo dated 2007
- Aerial photo dated 2009
- Aerial photo dated 2013
- Aerial photo dated 2018/19
- Consents record
- Drainage permit H-1913-126838 application and plan
- Drainage permit H-1960-181316 application and plan
- Building consent H-1971-247521 application and plan for carport
- Building consent H-1973-247725 application and plan to demolish porch and alter kitchen
- Building consent H-1978-248761 application and plans for demolition of chimney and alterations to dwelling
- Building consent ABA-2004-304754 plan for alterations to dwelling and addition of deck
- Building consent ABA-2007-315095 application coversheet and plans to demolish carport and construct new garage
- Building consent ABA-2017-1823/A amendment plans for addition of deck and verandah to dwelling, and installation of bathroom and laundry in garage

3.2 HAIL land uses

Land uses (from HAIL):

- Nil identified

3.3 Spatial extent of HAIL activity

☒ Not Applicable

☐ Part of Property

☐ Whole Property

4 CONCLUSION

☒ No explicit information found regarding HAIL activity

☐ Possible HAIL site

☐ Confirmed HAIL site

Peter Webb

From: Prue Milbank
Sent: Monday, 20 July 2020 11:28 a.m.
To: Peter Webb; Campbell Thomson; Lily Burrows
Subject: HAIL Archives Search - 37 Grove Street Dunedin, 2020-107
Attachments: 37 Grove Street 1967.jpg; 37 Grove Street 1957.jpg; 37 Grove Street 1947.jpg; 37 Grove Street 2000.jpg; 37 Grove Street 1990.jpg; 37 Grove Street 1978.jpg

HAIL 2020-107

Property Address: 37 Grove Street Dunedin, Lot 7 Blk IV DP 68 (Section 7 Block 4 Musselburgh)

We have examined the relevant archival records relating to this site.

Records searched: St Kilda Borough Council (StKBC) Ratesbooks (many gaps in these records), STKBC Dangerous Goods listings 1923-24, City Engineers correspondence 1947-1996, Inward Mail Correspondence 1989-2000, Landfills listings, STKBC Property file, StKBC Sanitary Roll 1902-3

No information on the property was found in these records.

For the subject site, the land use history according to the information in archives can be summarised as:

A house has been on the property since at least 1913.

The available aerial photos for this locality are attached.

Thank you,

Prue Milbank

ARCHIVIST

Business Information Services

Visit DCC Archives photo collection at www.flickr.com/photos/dccarchives

DCC Archives <http://www.dunedin.govt.nz/services/archives>

P 03 477 4000 | E prue.milbank@dcc.govt.nz

Dunedin City Council, 50 The Octagon, Dunedin

PO Box 5045, Dunedin 9054

New Zealand

www.dunedin.govt.nz



Please consider the environment before printing this e-mail

1947



1957



1967





1978

1990



2000

GROVE STREET



2007

GROVE STREET



2009

GROVE STREET



2013

GROVE STREET



2018/19

GROVE STREET



**Consent Record for 37 Grove Street Dunedin
(Property Number: 5058987)**

Building Applications:

Building Application	Status	Description	Lodge Date	Applicant
<u>ABA-2017-1823/A</u>	CCC Refused	Amendment - Alter size of Deck and Verandah to Dwelling, Change Toilet to Bathroom in Garage, Add Laundry	24/08/2018	<u>481028</u> P S Pariachi
<u>PIM-2017-530/A</u>	PIM Issued	Amendment - Alter size of Deck and Verandah to Dwelling, change Toilet to Bathroom in Garage, add Laundry	24/08/2018	<u>481028</u> P S Pariachi
<u>PIM-2017-530</u>	PIM Issued	Alter Dwelling - Construct Laundry and Toilet in Existing Garage, Add Verandah to Dwelling	08/09/2017	<u>481028</u> P S Pariachi
<u>ABA-2017-1823</u>	CCC Refused	Alter Dwelling - Construct Laundry and Toilet in Existing Garage, Add Verandah to Dwelling	07/09/2017	<u>481028</u> P S Pariachi
<u>PIM-2007-315230</u>	PIM Issued	Erect Carport- Form New Driveway-Demolish Carport	15/03/2007	<u>243490</u> S M Ravenwood
<u>ABA-2007-315095</u> GEMS ID ABA70422	CCC Issued	Erect Garage-Form New Driveway-Demolish Carport	26/02/2007	<u>243490</u> S M Ravenwood
<u>ABA-2004-304754</u> GEMS ID ABA41988	CCC Issued	Alter Dwelling - Kitchen, Bathroom, Deck	05/07/2004	<u>481028</u> P S Pariachi
<u>ABA-1995-332525</u> GEMS ID ABA953951	CCC Issued	Install Woodsman Inbuilt Fire	14/08/1995	<u>110361</u> M A Curtis
<u>H-1978-209948</u> GEMS ID AAD19781099	Historical Record	AAD19781099 (DWX) J9159 - Extend Foul Drain for Shower & W/C in Bedroom (Tilbury)	19/05/1978	
<u>H-1978-248761</u> GEMS ID AAK19780121	Historical Record	AAK19780121 (DWX) 14869 - Demolish Chimney-Bathroom in Bedroom-3 Windows(TILBURY)	12/05/1978	
<u>H-1973-247725</u> GEMS ID AAK19730054	Historical Record	AAK19730054 (DWX) 52381 - Demolish Porch & Incorporate Area into Kitchen (DICKSON)	09/03/1973	
<u>H-1971-247521</u> GEMS ID AAK19710101	Historical Record	AAK19710101 (DWX) 39967 - ERECT CARPORT (TURNER)	03/03/1971	
<u>H-1960-181323</u> GEMS ID AAD19600880	Historical Record	AAD19600880 (DWX) G3721 - Bathroom Plumbing and Boiler Tube/no plan (Garbutt)	14/11/1960	

Building Application	Status	Description	Lodge Date	Applicant
<u>H-1960-181316</u> GEMS ID AAD19600873	Historical Record	AAD19600873 (DWX) G3699 - Drain Extension for Bathroom Alts (Garbutt)	14/11/1960	
<u>H-1960-246166</u> GEMS ID AAK19600077	Historical Record	AAK19600077 (DWX) 33312 - Add Front Porch & Bathroom Alts(GARBUTT)	09/11/1960	
<u>H-1913-126838</u> GEMS ID AAD19131285	Historical Record	AAD19131285 (DWX) A4444 - Plumbing and foul drainage (Garbutt)	21/10/1913	

Planning Applications:

Planning Application	Status	Description	Lodge Date	Applicant
<u>SUB-2020-107</u> GEMS ID	Assessment /Report	Two lot subdivision	17/07/2020	<u>481028</u> P S Pariachi
<u>HAIL-2020-107</u> GEMS ID	HAIL request lodged	37 Grove Street, South Dunedin	17/07/2020	<u>525009</u> M M Pariachi

Form No. 100

Date OCT 22 1913

No. 44114

The Dunedin Drainage and Sewerage Board.

NOTICE UNDER SECTION 34 OF BY-LAW No. 2, 1910.

I HEREBY GIVE NOTICE that M. W. Foster intend to

(PRINT NAME OF THE BOARD)

(PRINT NAME OF THE BOARD)

Put in drains in the

1 closed
132 feet 4" sewer drain
junctionWastes & storm water already
completely

FEE PAID.

£ 6.9
Dec 24/13
Receipt 7935
0477

Plan Attached

on the premises owned by

and being Section 7

Block 4

No. 37 T. 100

Situated at per block plan herewith.

Dated this 21st day of Oct 1913.Signed by the Engineer
for the Board

Owner

Name

Builder

Address

Plumber

Designer

Description

Walter Foster & Co.

Engineers, Draughtsmen, Builders

101 EDWARDS

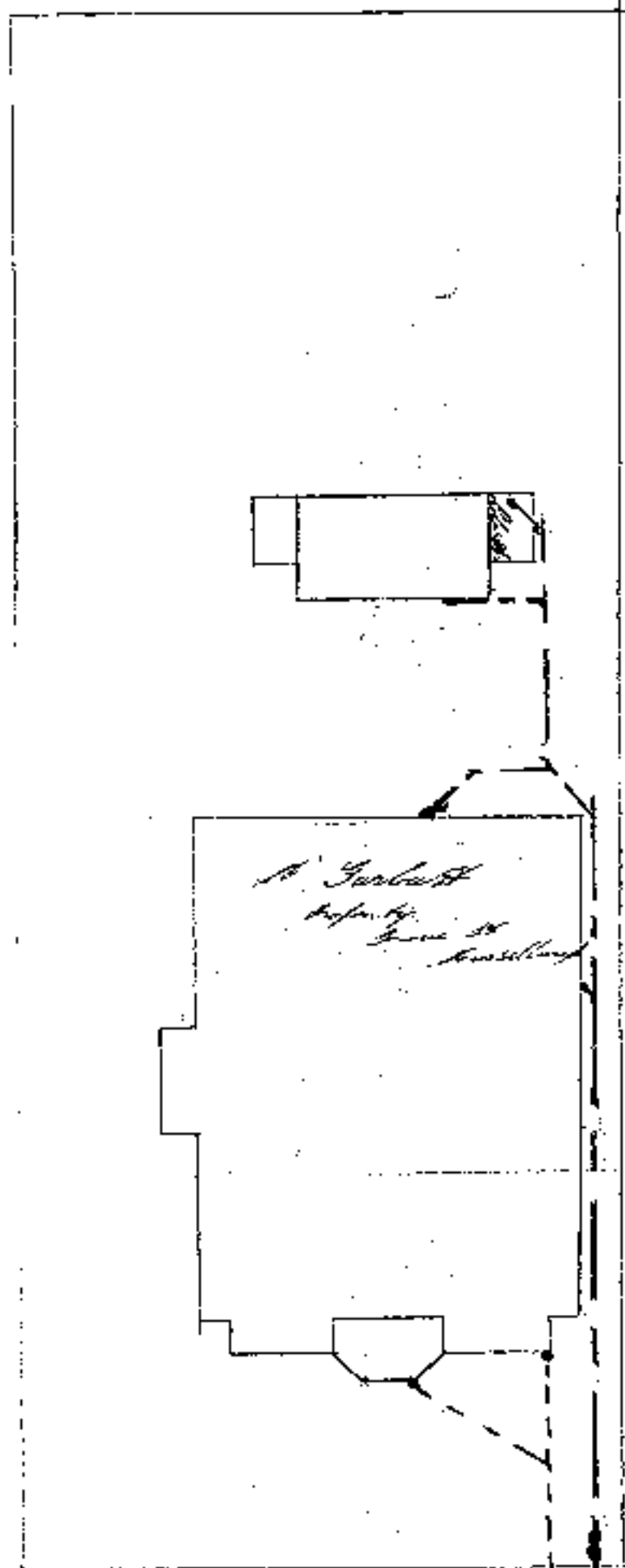
DUNEDIN

NOTE.—Further notification on a printed form will require to be given
stating date when work has been commenced.

11/11/07

LEGEND

- Existing Drain
- New Foul Drain
- New Stormwater Drain



W. H. H. H. H.

Report—

Planned H. J. [unclear]

3694

(4007) P. W. Schand

OK 12/11/60

J. W. Schand
City Engineer

R'S OFFICE

Dane County

Dane County Sewerage Board

APPLICATION FOR PERMIT

To the Dane County Drainage and Sewerage Board,

I HEREBY APPLY for a permit under the By-law of the Dane County Drainage and Sewerage Board known as By-law No. 3, 1955, authorizing

I therefore certify the nature of my work, with a set of plans of the roadway, layout and dimensions required

Setting branch drain to NEW WC			
Estimated cost \$10		2/6	
FEES PAID L. 2/6 Date 12/11/60 Receipt No. 12/6/1 Cashier [unclear] I Certify that I have obtained Permit No. _____ at _____ on the street from the City Corporation. I Certify that street will not be opened.			

ON COMPLETION OF ABOVE WORK, A FINAL NOTICE MUST BE SENT TO IN

On the premises owned by

L. E. & H. O. Gertner

Lot 7 S.A.P. 68

Block

4 Musselburgh

Section

St. Kellan

No.

3.7 Grove

Street, as per block plan herewith (where block plan deposited)

The full name of the person employed by the owner to oversee the said work is:

By

J. Kellan

Address

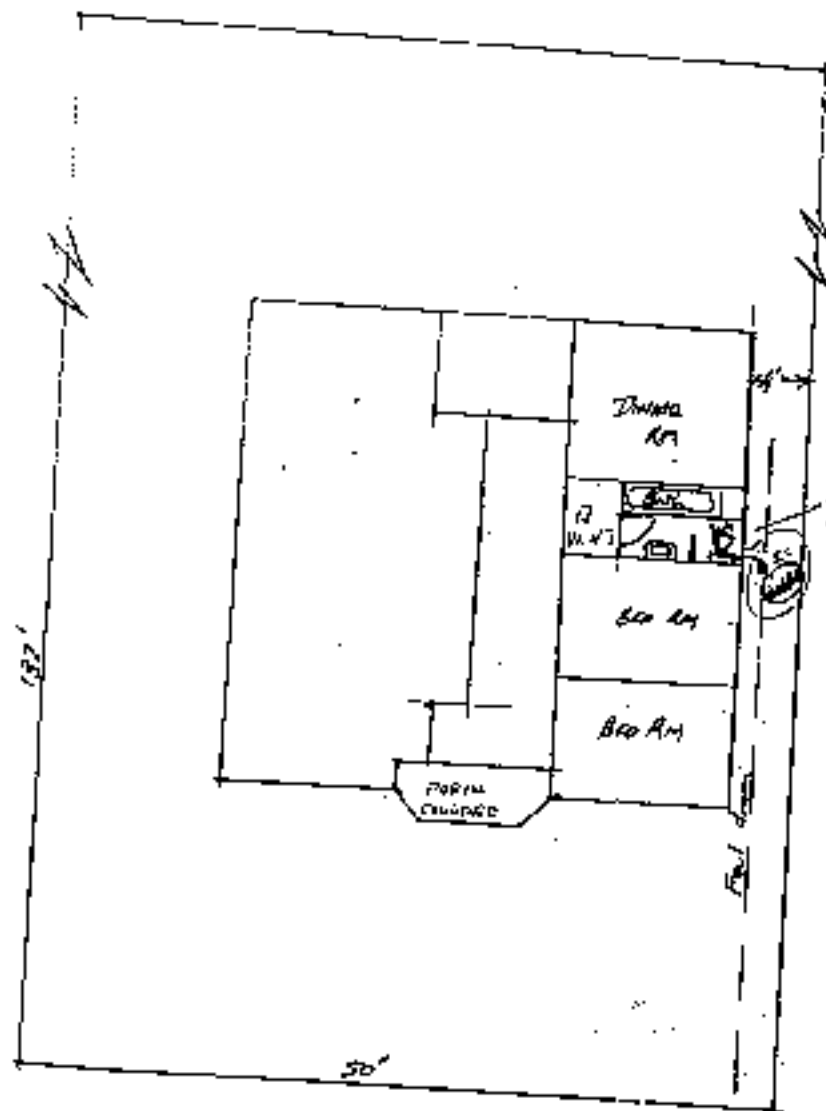
131 Fairview St.

I enclose herewith the fees for inspection and for completion to where possible under the said By-law.

Dated this 11th day of November 1960

Signature of Engineer

J. Kellan



Owner LEO H. CARROLL

Street 37 GROVE ST

Locality ST. MICHAEL'S

Block 4 ROSSFELDBORCH

Section 7

Allotment 7 PLAN 168

Signature of Drainer P. Dillan

BOROUGH OF ST. KILDA

APPLICATION FOR BUILDING PERMIT

Permit No: 39967

THE TOWN CLERK, P.O. Box 4001, St. Kilda

Dear Sir,

I hereby apply for a permit to carry out Building Work as detailed hereunder and certify that the information herein and in the plan and specifications herewith is correct in every respect.

1. A BRIEF DESCRIPTION of the work proposed to be carried out is:-

..... *Part of ... South ... Road ... 3 ... 5 ...*
 *side ... 5 ...*

2. OWNERSHIP: Name and Address of registered owner of the Land:-Name: *Mr. B. J. ...* Address: *31 ... St.*3. SECTION OF WORK:Builder: *S. A. ...* Address: *31 ... St.*4. PARTICULARS OF LAND:

(a) Situation (House No. & Street):

(b) Description of Land: Lot..... DP..... Block.....

Sec..... Township..... Val NO...../.....

(c) Dimensions of Site: Frontage..... Depth..... Area.....

5. COST OR VALUE OF WORK: (Which ever is higher)

Building Alterations etc.	\$	:	This is } In Estimate. A Quotation. The Contract Price.
Plumbing	\$	:	

\$ 400 -6. PARTICULARS OF BUILDING:Foundations: *Concrete ...* Walls: *South ...* Roof: *Sh. ...*Foundations (Concrete): Width: *18"* Height: *17"*Footings - Width: *16"* Depth: *17"*

Size of Plates-Bearer: Sleeper: Wall:

Studs-size: Centres: Height:

Floor Joists-size: Centres: Span:

Ceiling Joists-size: *4"* Centres: *4"*Rafters-size: Centres: *16"*Area of Ground Floor: *30 x 14* is old material to be used. *YES/NO*Minimum distance of external walls from Boundaries of adjoining sections: *Boundary ...*DATE: *3.7.71* 1971SIGNED: *S. A. ...*

Builders or Owner

NOTE 1: NO WORK IS TO BE COMMENCED UNTIL plans and specifications have been lodged as provided for in the Borough By-Laws and until a Building Permit and other necessary permits have been issued for the work, and the FEES duly paid.

NOTE 2: PROTECTING THE PUBLIC FOOTWAY, KERB & CHANELL is most essential and Builders are required to Plank the Footway when heavy equipment is to be used.

PERMIT NO: *39967*

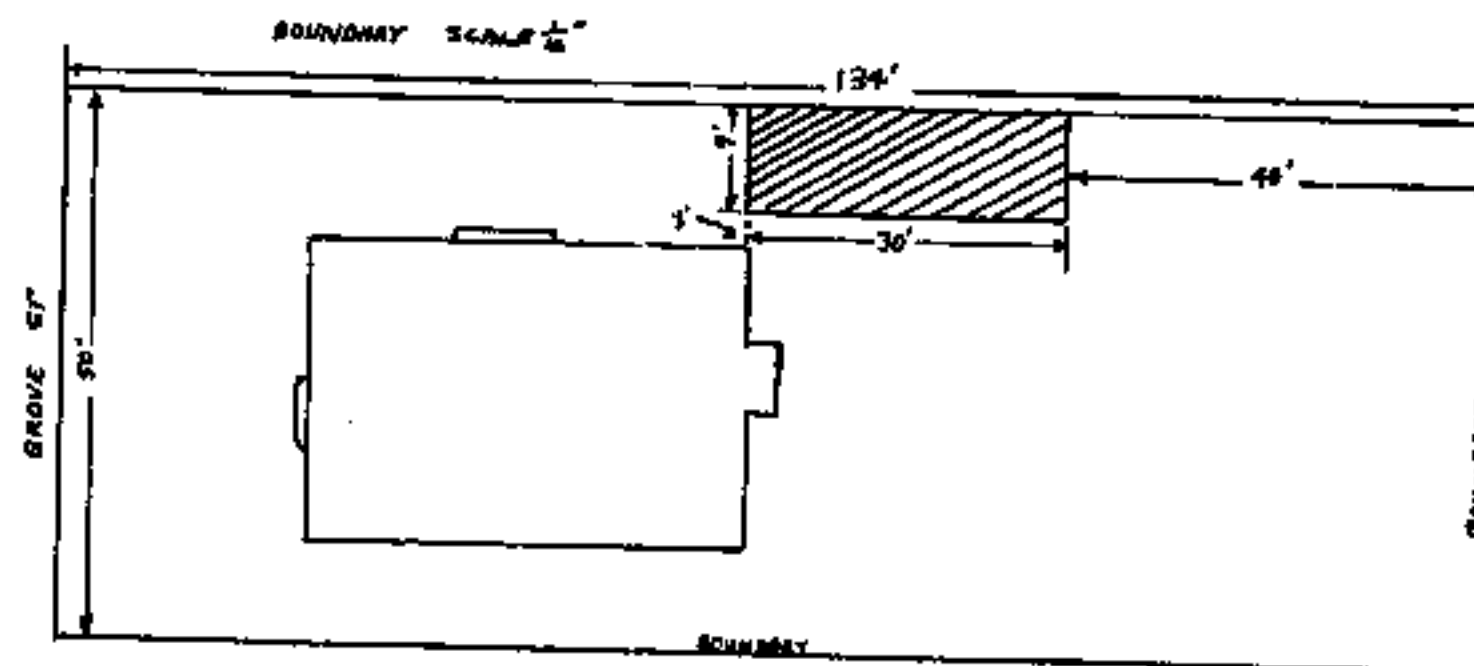
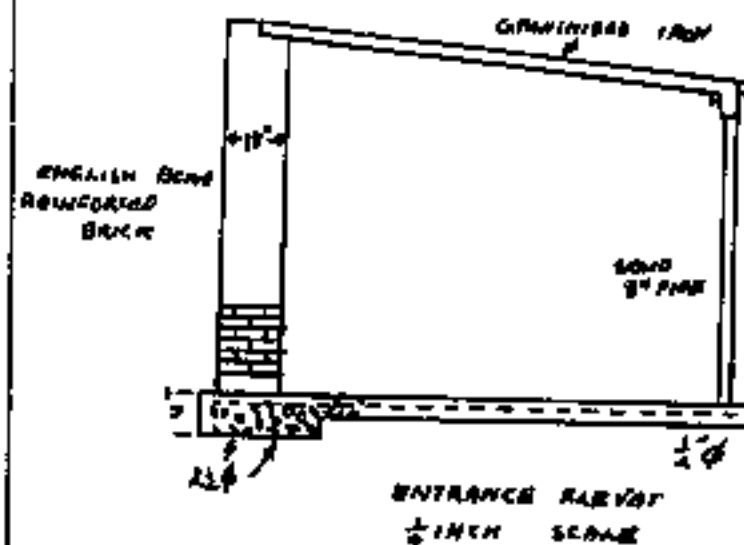
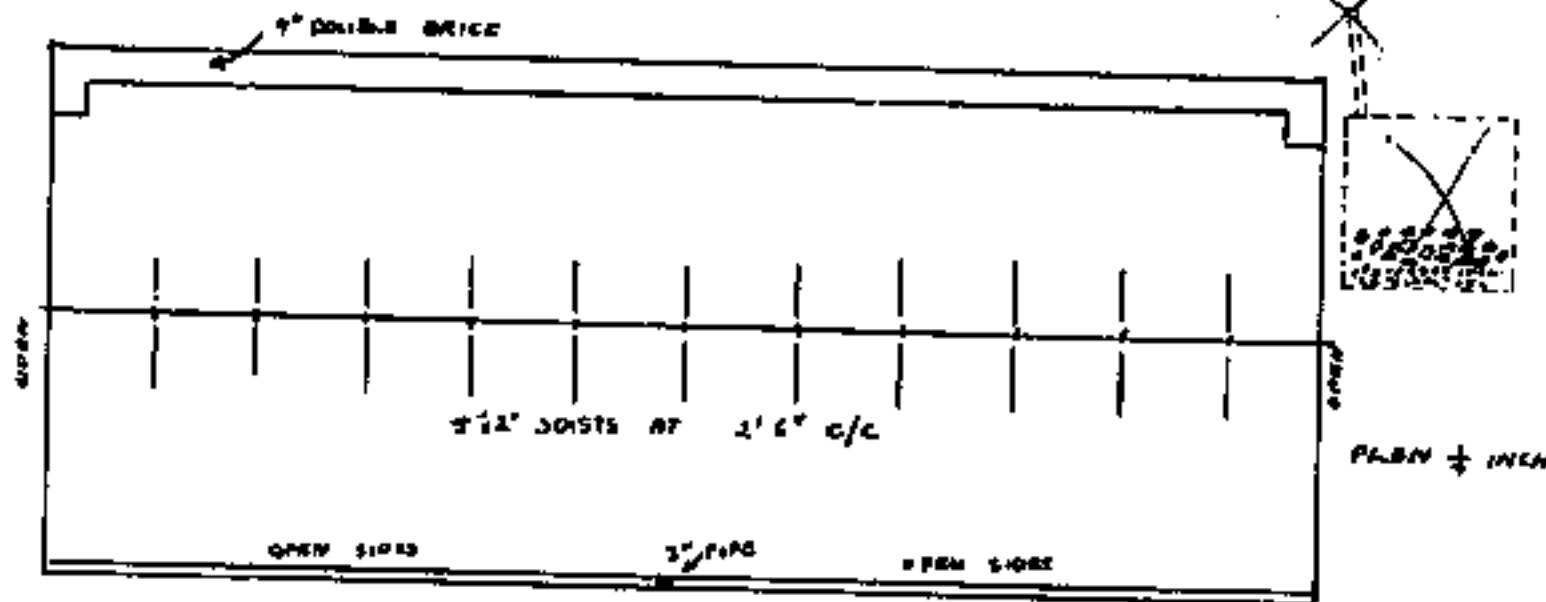
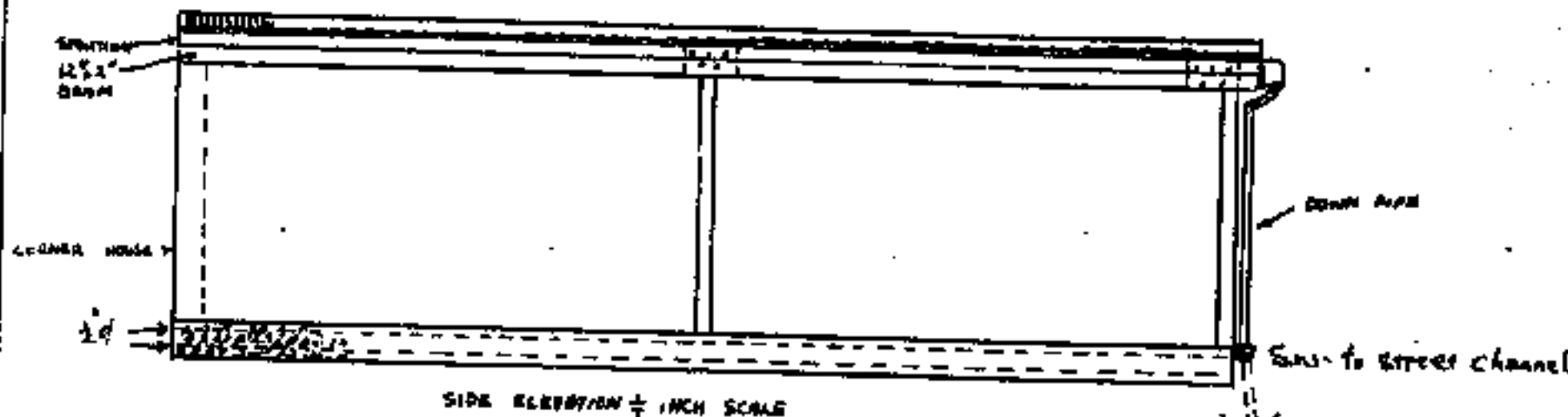
BURDEN DRAINAGE & SEWERAGE BOARD

A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be done by a Regd. Plumber or Licensed Drainage, respectively and shall comply fully with the Board's By-laws and the D. & P. Regs., 1955.

Sewerage to be discharged to Street Channel

Foul sewage to be discharged to _____

3/3/71
A. R. Bruce



PROPOSED CAR PORT FOR MR. A. TURNER, 31 GROVE ST

DRAWN BY D. R. BRUCE
SCALE 1/4" = 1' INCH
DATE FEB 1971

BOROUGH OF ST. KILDA
SPECIAL SECTION
APPLICATION FOR BUILDING PERMIT
PROTECTION OF FOOTPATH
AND KERENING

VEHICLE ACCESS TO PROPERTY OVER FOOTWAY MUST BE FULLY PLANKED BEFORE ANY WORK IS COMMENCED.

Permit No

THE TOWN CLERK, P.O. Box 400, St. Kilda

Dear Sir,

I hereby apply for a permit to carry out building work as detailed hereunder and certify that the information herein and in the plan and specifications herewith is correct in every respect.

1. A BRIEF DESCRIPTION of the work proposed to be carried out is:
demolish porch, make good, incorporate porch, area...
into kitchen

2. OWNERSHIP: Name and Address of registered owner of the land:
 Name *N. J. Dickson* Address *37 Grove St. St. Kilda*

3. ERECTOR OF WORK:
 Builder *N. J. Dickson* Address *37 Grove St.*

4. PARTICULARS OF LAND:
 (a) Situation (House No & Street) *37 Grove St. St. Kilda*
 (b) Description of Land: Lot *7* D.P. *68* Block *4*
 Sec Val No *0.125*

(c) Dimensions of Site: Frontage Depth Area

5. COST OR VALUE OF WORK: (Which ever is higher)

Building Alterations etc	\$ <i>20-00</i>	This is } An Estimate A Quotation Contract Price
Plumbing	\$ <i>20-00</i>	
	<u>\$ <i>30-00</i></u>	

6. PARTICULARS OF BUILDING:

Foundations *concrete* Walls *brick* Roof *bay*
 Foundations (Concrete) *1' 6"* Height *13' 7 1/2"*
 Footings - Width Depth
 Size of Plates-Bearer *4" x 4"* Slopers Vals
 Studs-size *4" x 2"* Centres Height
 Floor Joists-size *2" x 8"* Centres Span
 Ceiling Joists size *4" x 4"* Centres *18"*
 Rafters-size *4" x 4"* Centres *2'*
 Area of Ground Floor *11' 0"* *4' 10"* old material to be used YES/NO
 Minimum distance of external walls from boundaries of adjoining sections

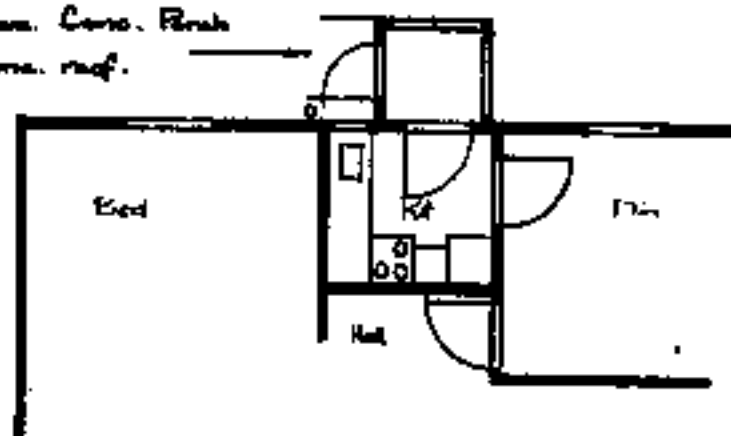
Signed *N. J. Dickson*
Builder or Owner

Date: *9. 2. 73* 197

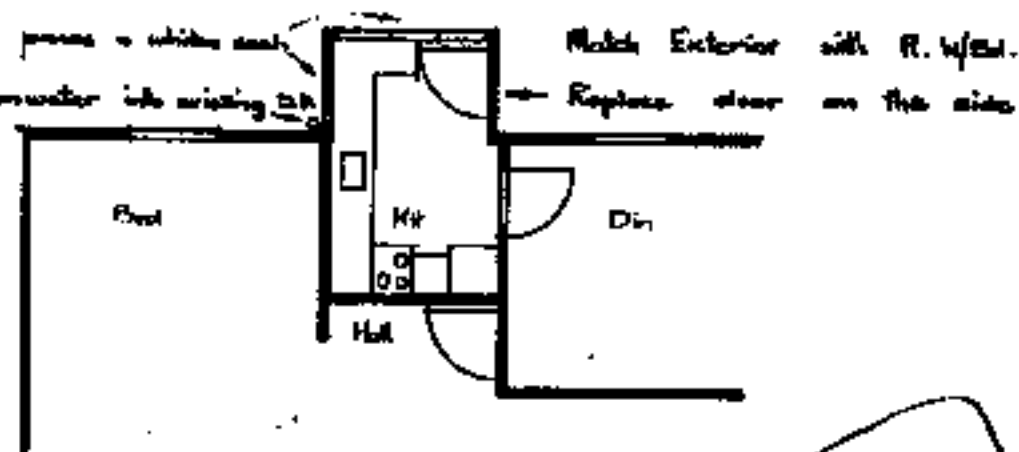
P.T.O.

52381

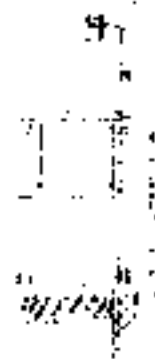
Remove. Concr. Floor
+ Concr. roof.



Final plans + white oak
Staircase into existing Bk.



of



PROPOSED ALTERATION TO KITCHEN AT 57 GROVE ST FOR MR. + MRS. W. DICKSON

BOROUGH OF ST. KILDA
APPLICATION FOR BUILDING PERMIT

THE TOWN CLERK, P.O. BOX 4001, ST. KILDA.
Dear Sir,

I hereby apply for a permit to carry out building work as detailed hereunder and certify that the information herein and in the plan and specifications herewith is correct in every respect.

1. A BRIEF DESCRIPTION of the work proposed to be carried out:

Removal of Chimneys, Flues, built-in wardrobes, New bath room, 3 new Windows, New back Door, New workshop, main

2. OWNERSHIP: Name and Address of registered owner of the land:
Name Mrs. Mrs. I. D. Tilkov Address 37 Grove St. St. Kilda

3. ERECTOR OR WORK:
Builder A. SHAW Address 547 Lyndale St. Richmond

4. PARTICULARS OF LAND:

(a) Situation (House No & Street) 37 Grove Street
(b) Description of Land: Lot 7 D.P. Block IV
Sec. 37 Val No 37 / G.P. 37
(c) Dimensions of Site: Frontage 15.25m Depth 45.680m
Area 695.00m²

5. ESTIMATED VALUE OF WORK:

Building Alterations etc \$4400.00
Plumbing & Drainage \$500.00 This is } An Estimate
Contract Price }
\$4900.00

6. PARTICULARS OF BUILDING:

Foundations Concrete Walls Timber Roof Iron
7. GROSS FLOOR AREA OF BUILDING (INCLUDING CAR PARKING AREAS)m²
8. ROAD OPENING PERMIT & REINSTATING FEE:

Length of Opening (From boundary)m
Width of Openingm

9. Purpose for which every part of building is to be used or occupied:
.....
.....
.....
.....

Date 20.5.78

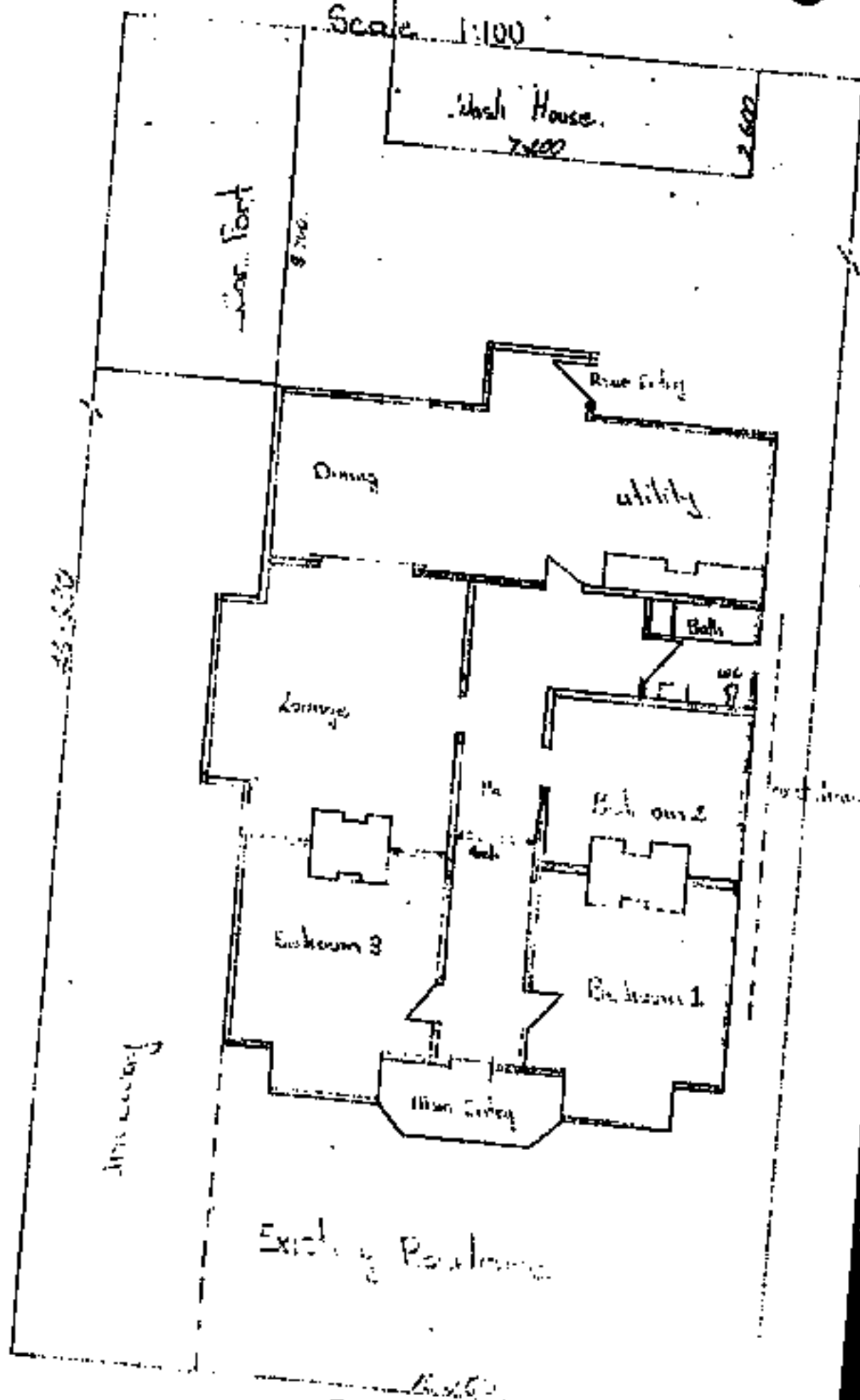
Signed A. Shaw
Builder or Owner

Permit No. 014869
T.T.O.

Hand Stamp

ST KILIAN
TOWN HALL, B. P. 37 GROVE ST.

Scale 1:100



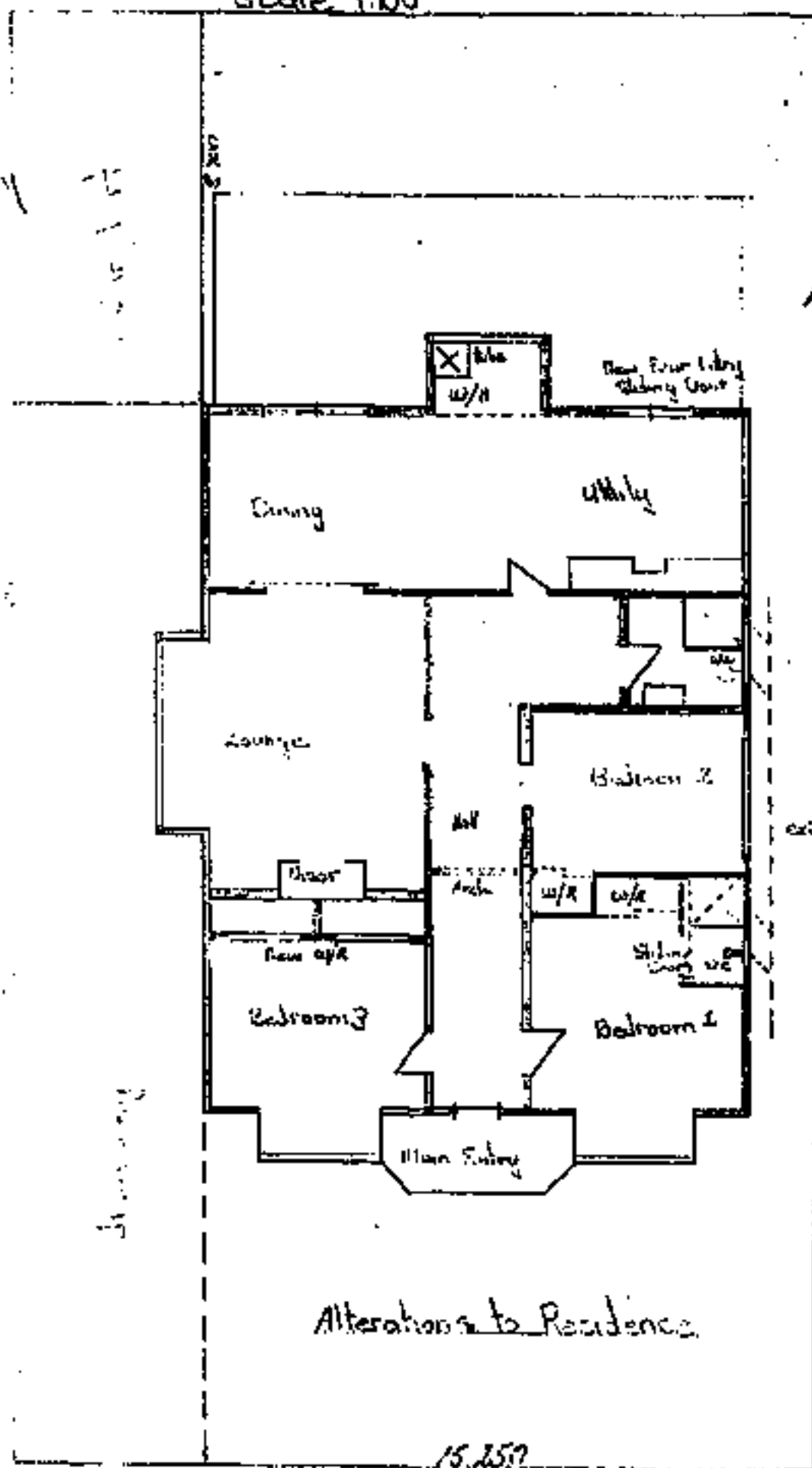
Existing Postings

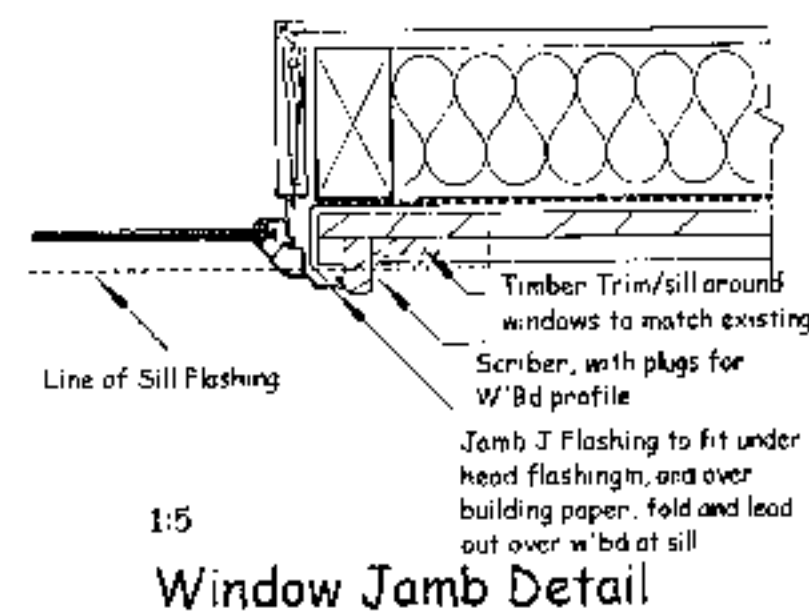
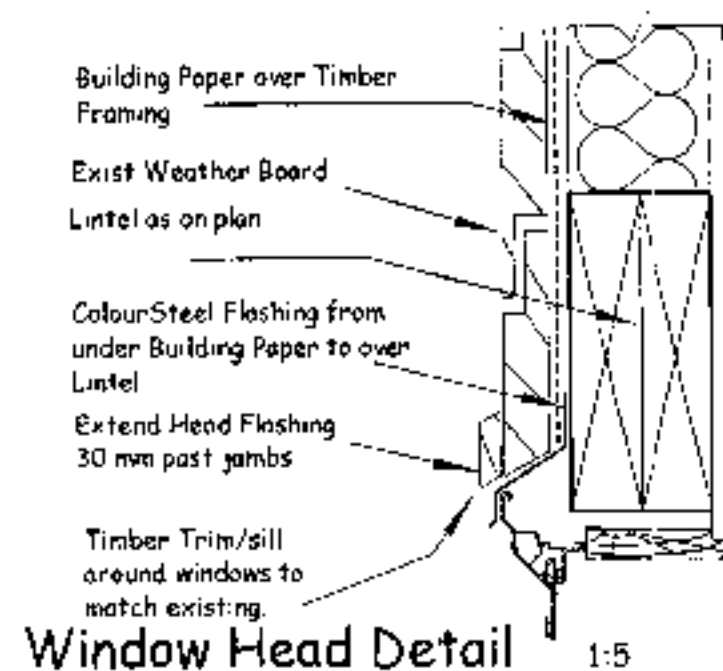
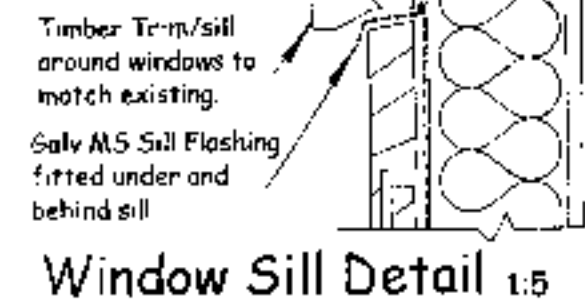
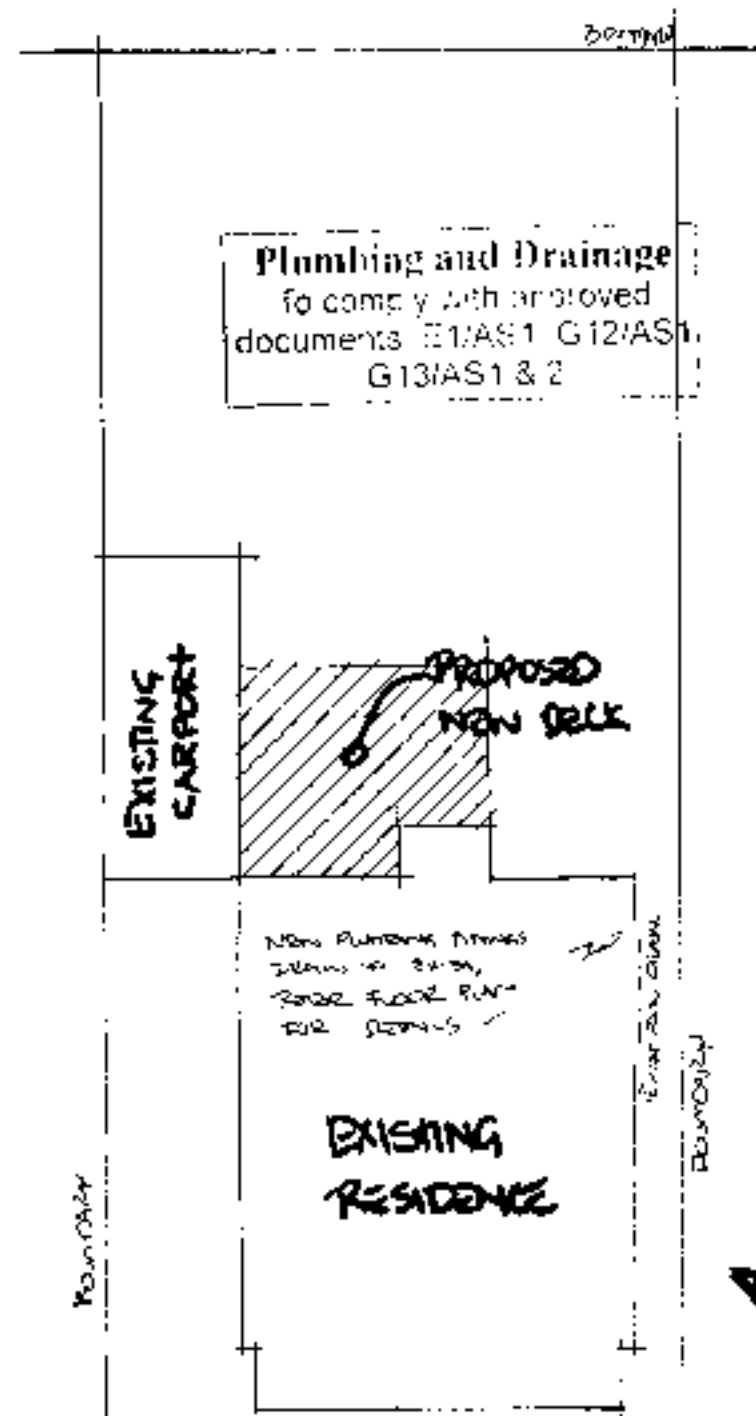
This permit is issued subject to the additional conditions shown on the back hereof.

Green Street

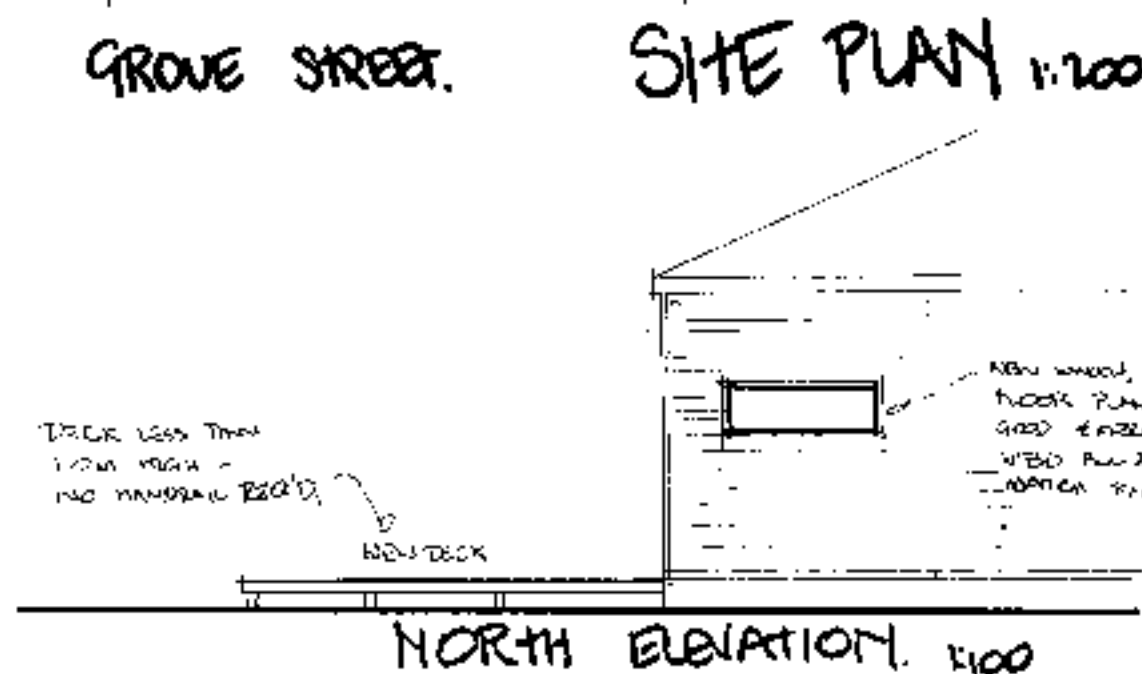
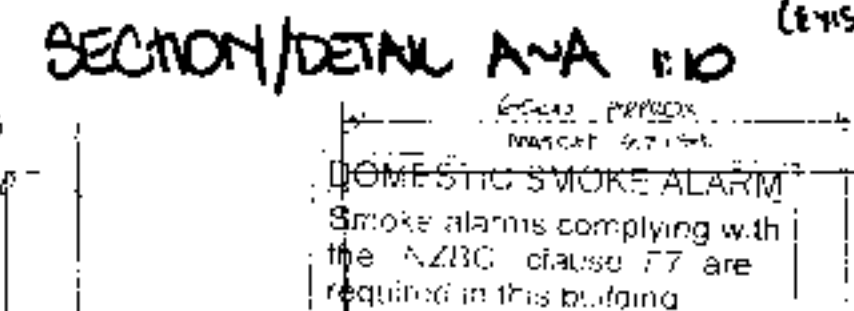
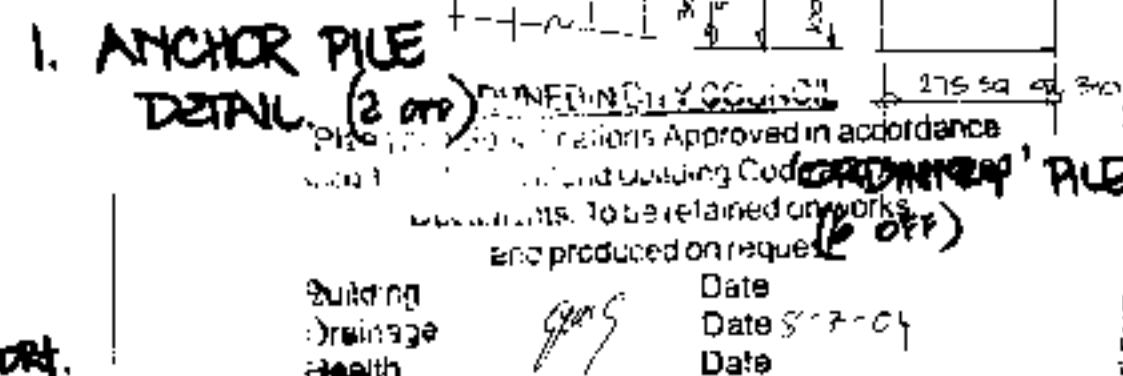
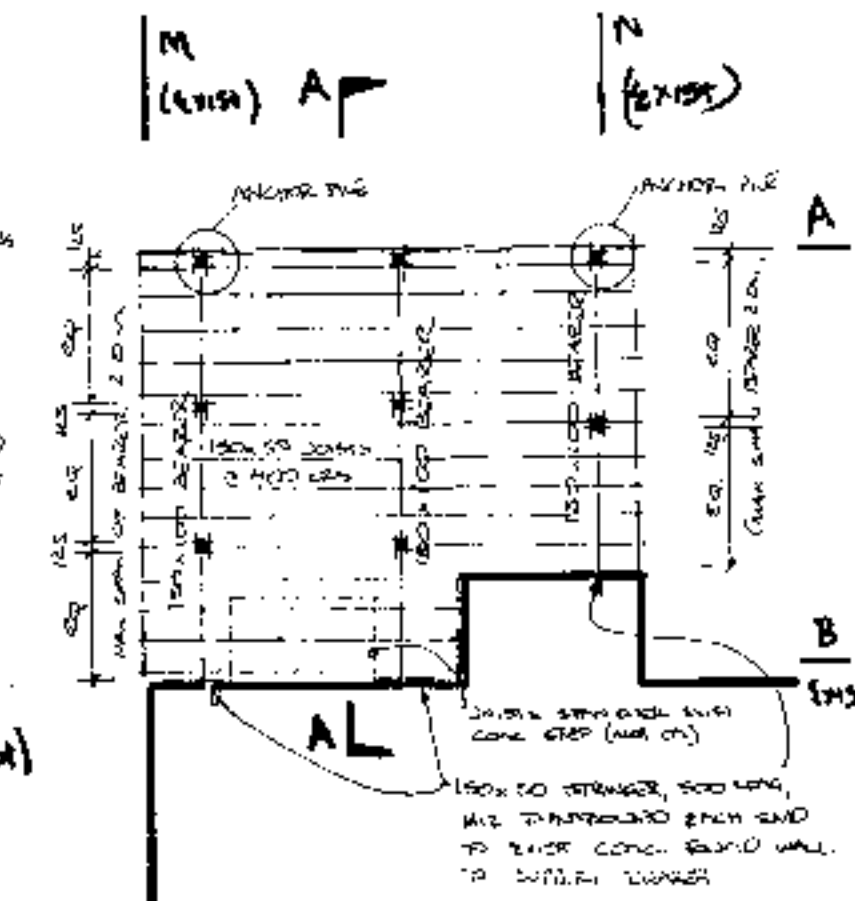
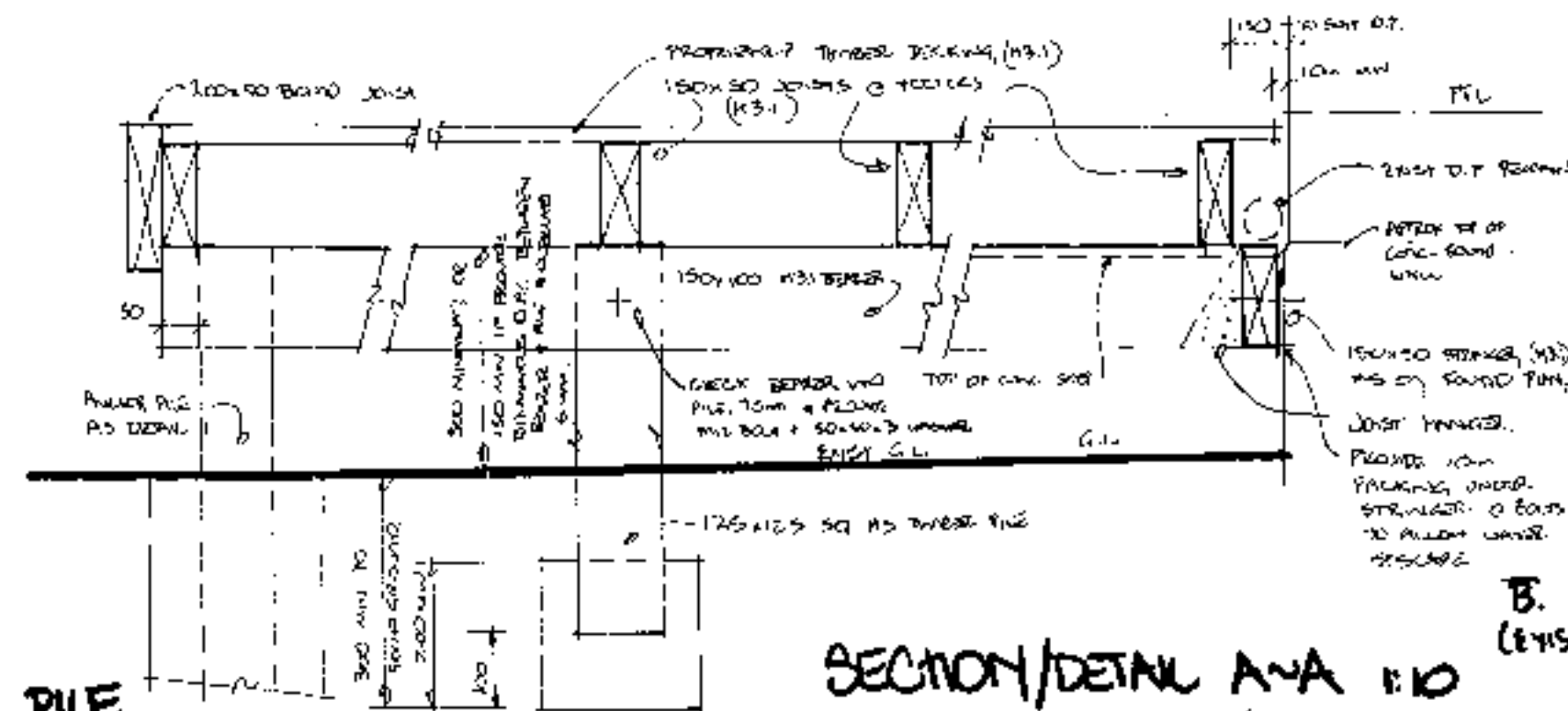
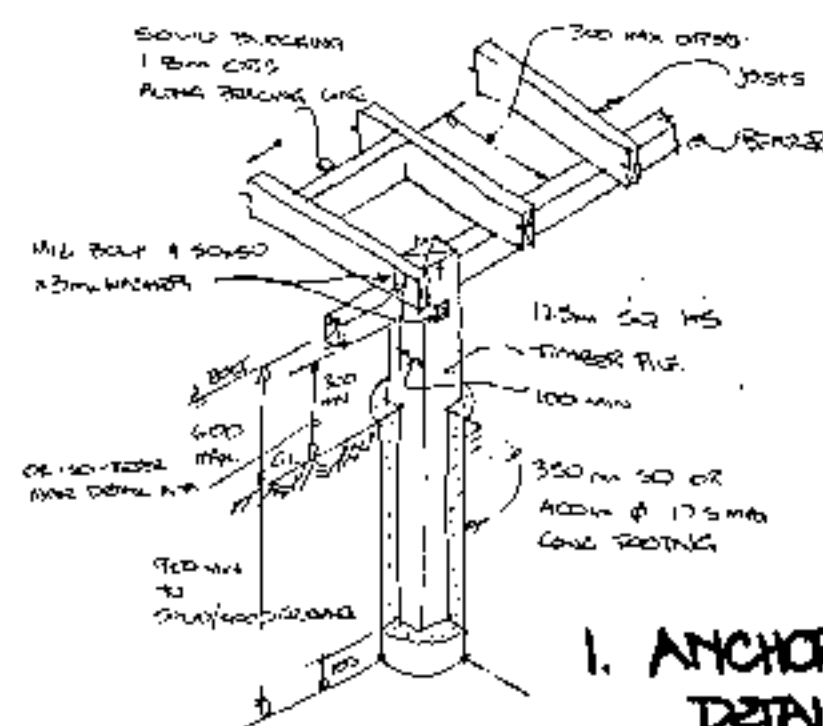
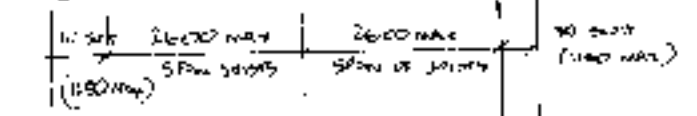
Scale 1:100

bedrooms
with : built
View fire
New bath
one with
w/c. New
bathroom
outside
Also window
New window
2 x line w/
fil board.
Remove o
replace
in utility
Make room
washing
of all wash

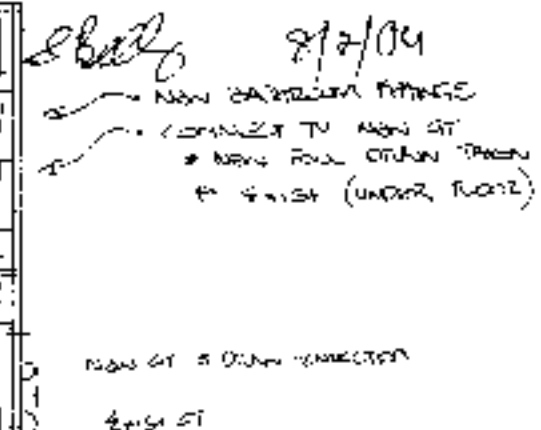
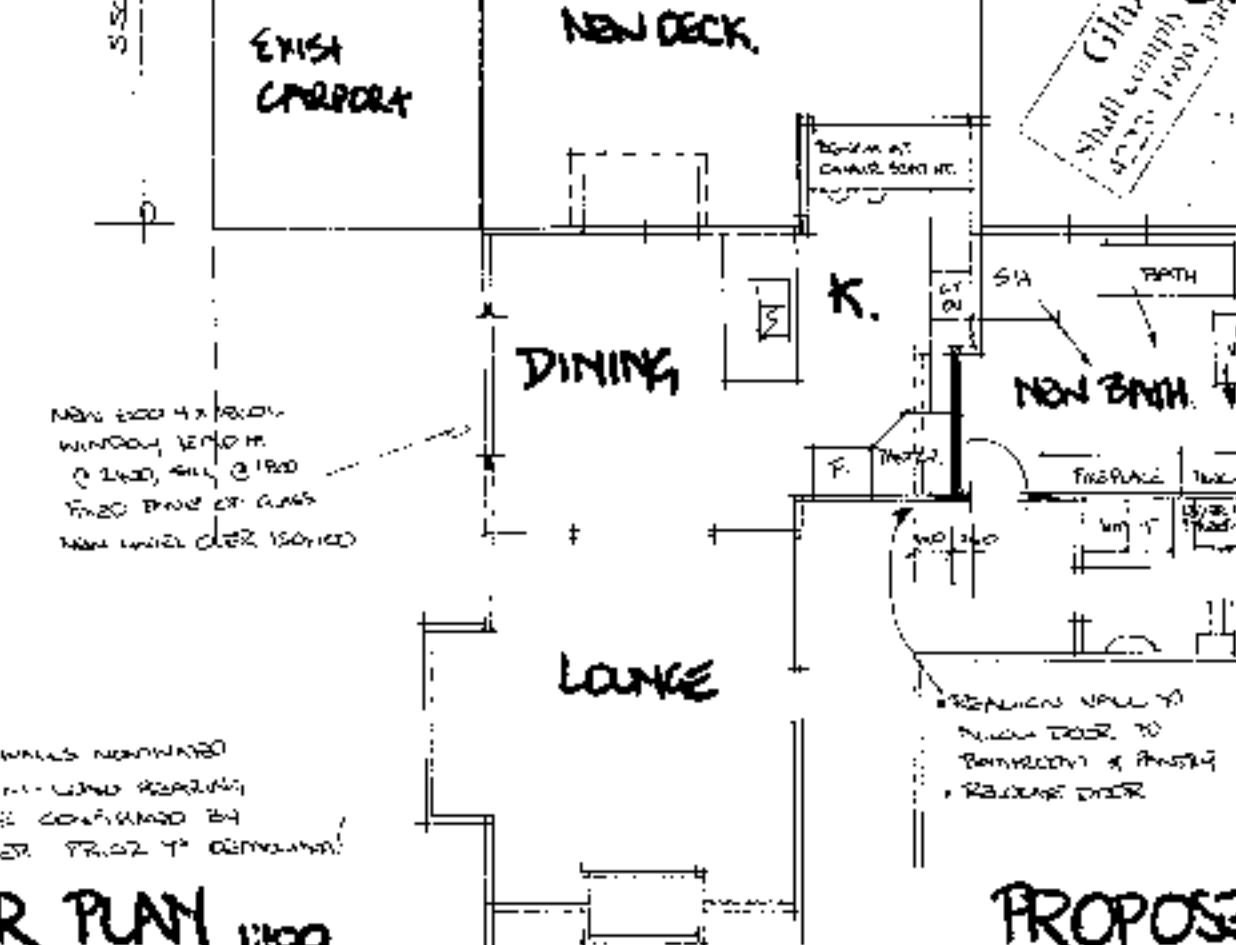
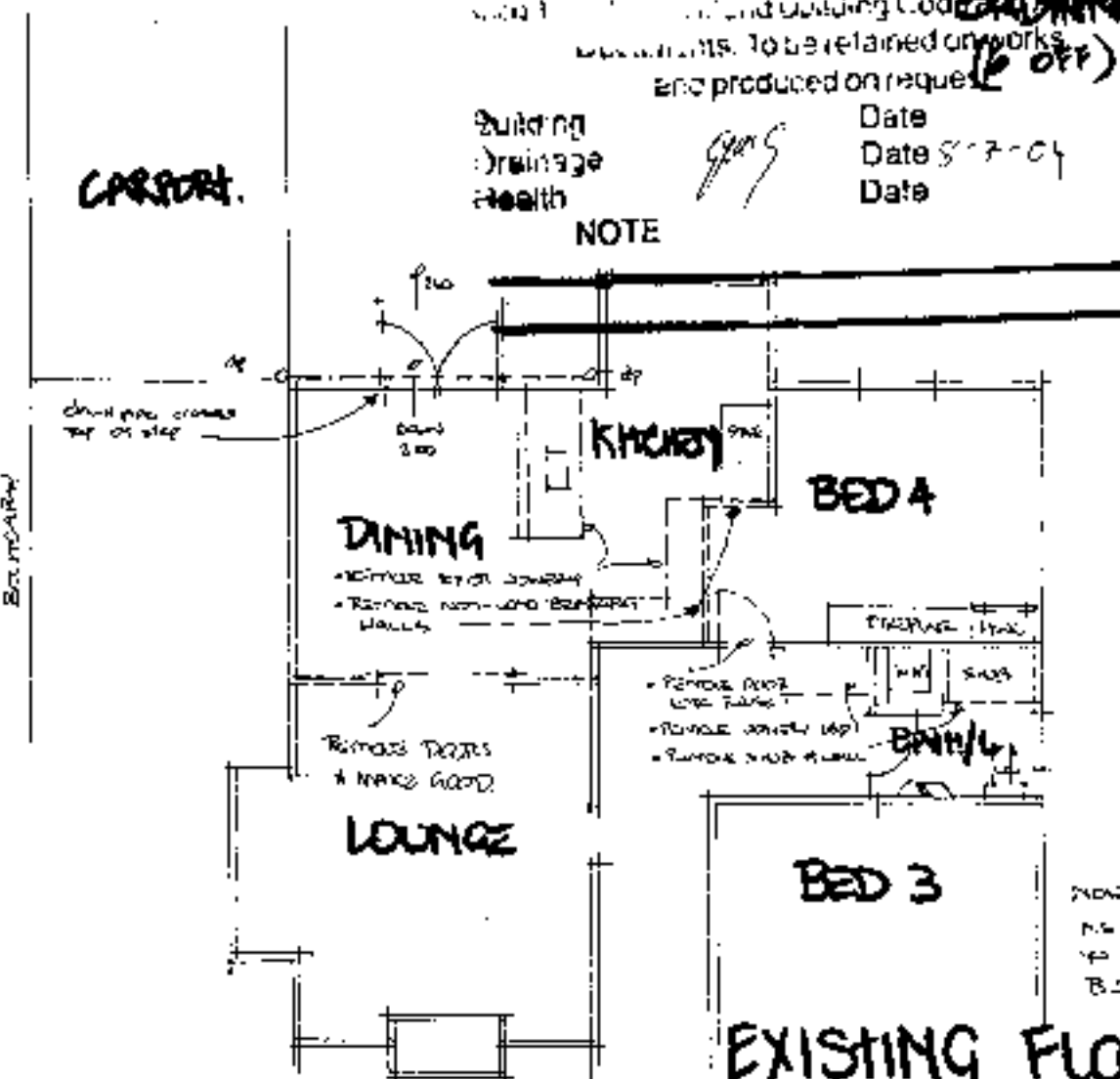




- General Notes:**
- * All work shall comply with NYS EddB, 1990, NY Building Code and all County Requirements.
 - * All structural walls, windows and openings shall be correctly installed.
 - * All applications, inspections, records and certificates shall be obtained and carried out.
 - * Dimensions shall always conform all dimensions in size.
 - * The Employer shall be responsible for all work which differs from that given by the
 - * Match to existing where possible.
 - * Schedule new starts whenever better suited to site.
 - * All timber permanently exposed to weather, and in outdoor spaces shall be JCI treated.
 - * All timber permanently exposed to ground or set into concrete shall be HCS treated.
 - * All floor equipment, machine and other types, exposed to the weather in areas at where conditions over time may occur shall be finished steel to give additional protection, such as 10% zinc spray powder coating, high build epoxy covering or they shall be type 304 or 316 stainless steel, and shall provide the necessary "capacities" called for by NYS EddB dependent on function and location. In all other cases, select and use contractors according to manufacturer literature conforming to AS/NZS 3680 requirements and the NYSBC.
 - * Plumbing and Drainage shall be carried out to conform with the requirements of the NY Building Code, and in particular to the AS/NZS 15002.2 standard.
 - * Do not undertake any work until Planning Consent has been issued.



<u>Deck Bracing Calculation Sheet:</u>		
Earthquake Zone:	A	B
Bracing Units Required, Earthquake:	$E = 2.72 - 2.35$ BU/sq2	
Area of Deck:	5.5×6.5	$= 35.75$ sq2
Total Earthquake Load:	$E \times GFA =$	85 BU/s
System Provided:	Anchor pile system (2 x found wall	





Application for Project Information Memorandum and/or Building Consent

Section 33 or Section 45, Building Act 2004

Warning: Any alterations made to this application either before or after the Building Consent has been issued may incur an additional fee.

This application is for:

- ☒ Both Building Consent and a Project Information Memorandum ☐ Project Information Memorandum
☐ Amendment to Building Consent ABA _____ ☐ Building consent only, in accordance with project information memorandum no: _____

PART A: Complete Part A in all cases

PROJECT LOCATION

Street Address: 37 Grove St, St Kilda, DN

FIRST POINT OF CONTACT FOR COMMUNICATIONS FOR THIS APPLICATION: (Mailing Address)

Name: R. Hanrahan

Address: Versatile Buildings Ltd

PO Box 13-154 Green Island

Dunedin (daytime) Ph: 03 488-5632

Tel: (evening) _____ Fax: _____

PROJECT

- ☐ Building Certifier Certificate ☐ Alteration ☐ Addition
☒ New or Re-located Building ☐ Change of Use ☐ Demolition

Description of Intended Work in detail: construct a
basement 2.2m versatile
garage and demolish existing
chapel and form new driveway

Intended life: ☒ Indefinite (but not less than 50 years)

Specified as _____ years

Being stage _____ of _____ stages

Estimated value of work (inclusive of GST): \$ 10,654.00

C/T supplied by owner ☒ C/T supplied by DCC ☐

AGENT

Name of Agent: R. Hanrahan

(only required if application is being made on behalf of owner)

Street address/registered office: Versatile Buildings Ltd

Phone number: Mobile PO Box 13-154 Green Island

A hours: Dunedin Fax: _____

Email address: Ph. 03 488-5632

Relationship to Owner: _____

(state details of the authorisation from the owner to make the application on the owner's behalf)

THE BUILDING

Building name: (insert building name if applicable) _____

Number of levels: (include ground level and any levels below ground) ONE

Level/unit number: (insert level/unit number if applicable) _____

Area: (total floor area; indicate area affected by the building work if less than the total area) 36sqm

Current, lawfully established, use: (include number of occupants per level and per use if more than 1 eg. boarding house, domestic dwelling, hotel, motel, office, commercial)

Garage

Year first constructed: _____

(insert year upon date is acceptable up to 80s or 1980-1990)

THE OWNER

Name of Owner: S. A. Buchanan 243490

(include preferred form of address, eg. Mr, Miss, Dr, if an individual)

Phone number: Mobile _____ Daytime: _____

A hours: _____ Fax: _____

Email address: _____

The following evidence of ownership is attached to this application:

- ☒ Copy of certificate of title
☐ Lease
☐ Agreement for sale and purchase
☐ Or other document showing full name of legal owner(s) of the building

LEGAL DESCRIPTION

Property Number: 6058987

Valuation Roll Number: 27500 - 22500

Lot: 7 OP: 68

Section: _____ Block: IV

Survey District: _____

(Admin.) App. check: 10/1

Date: 23.2.07

Receipt: \$ _____

C/T: \$ _____

Sewer Connection: \$ _____

DCC Fee: \$ 860.00

Brans/OBH: \$ _____

Total: \$ 860.00

invoice

- 1 Under Section 33 or 45 of the Building Act 2004 the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing whether conditionally or unconditionally to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.
- 2 The value of building work shall be the aggregate of the values, determined in accordance with section 10 of the Goods and Services Tax Act 1985, of all goods and services to be supplied for that building work.

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED

POSITION, LEVEL (OR EXISTANCE)
OF PUBLIC OR PRIVATE DRAINS
IS SUBJECT TO VERIFICATION ON
SITE BY THE OWNER OF THE LAND
OR THEIR AGENT

Plumbing and Drainage
To comply with approved
documents: E1/AS1, G12/AS1,
G13/AS1 & 2

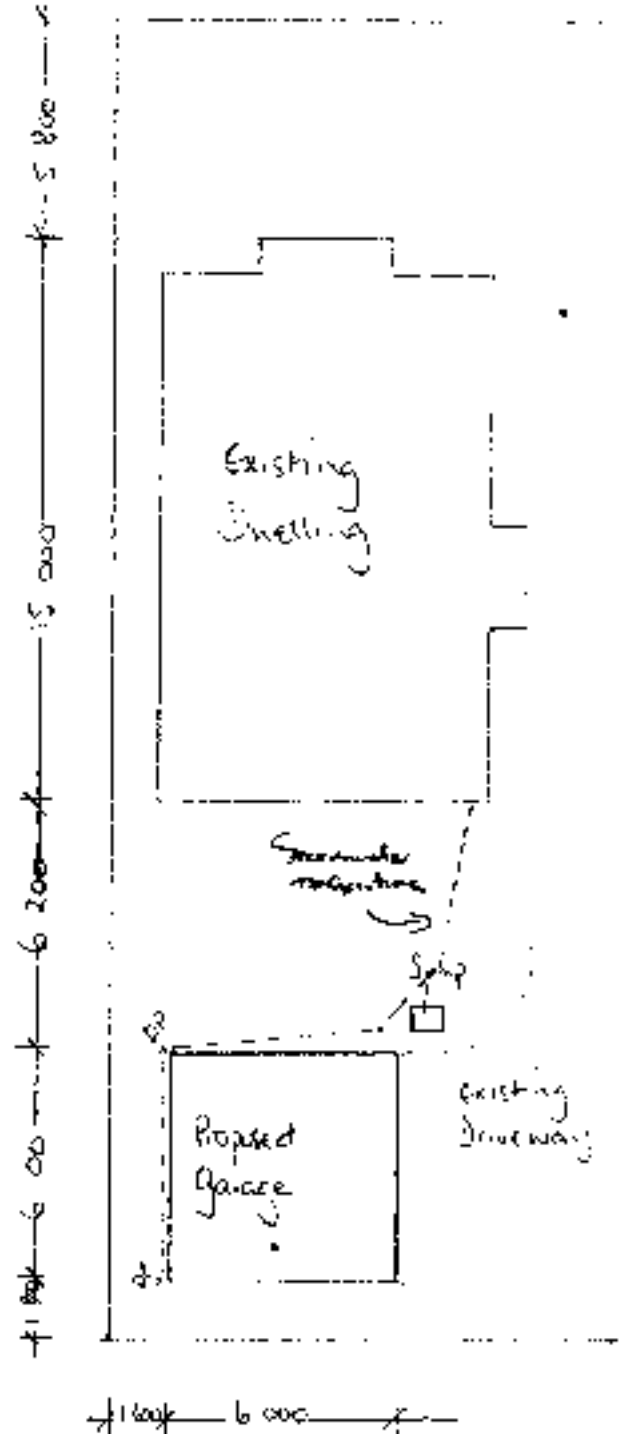
DUNEDIN CITY COUNCIL
Plans and Specifications Approved in accordance
with The New Zealand Building Code and Approved
Documents. To be returned on request
and produced on request

Building *Q. J. J.* Date *21.3.07*
Drainage *L. Bell* Date *6.3.07*
Health Date

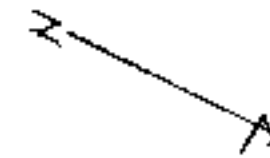
NOTE
Stormwater to discharge to an approved outfall.

DUNEDIN
APPROVAL
2007315095

60/2/82



*Garage Platform to be
raised for street fall
for stormwater*



SITE DETAILS

LOT: 7
DP: 68
CT:

**VERSATILE
BUILDINGS**

HEAD OFFICE:
DUNEDIN

PH (03) 349-2533

PROJECT NO:

Proposed Building for:

S & D BUCHANAN

DRAWING TITLE

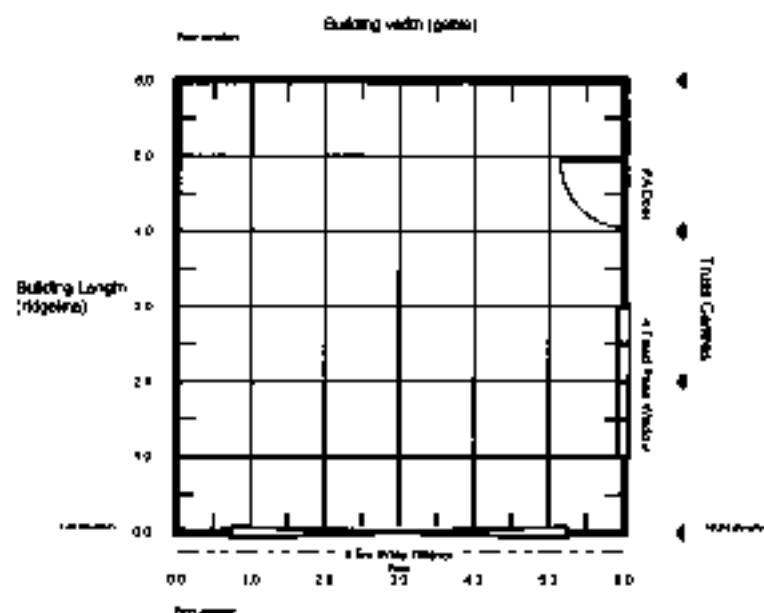
SITE PLAN

Note: Construction to comply with NZS 5604 (1999)
and the New Zealand Building Code 1992
REFER TO PRODUCER STATEMENT 107000

SCALE: 1:200
DATE
DRAWN

REF: 1

Versatile Buildings 1000 Series Floor Plan
 Customer: Sharon and Dave Buchanan
 Site Address: 37 Grove Street, St.Kilda, Dunedin
 Reference: Richard-1013
 Contact: Richard Harrigan, Dunedin, (03) 488 5832



2007315600

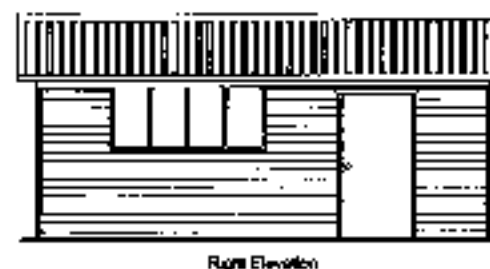
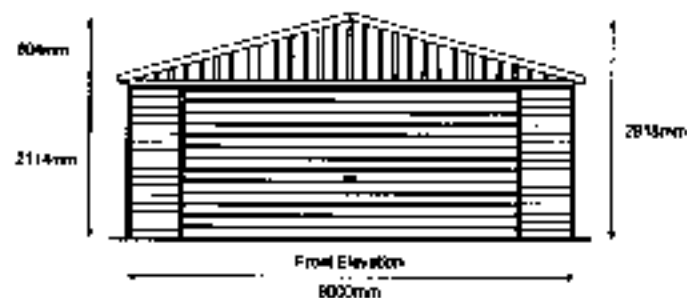
Versatile Buildings 1000 Series Elevations

Customer: Sharon and Dave Buchanan

Site Address: 37 Grove Street, St.Kilda, Dunedin

Reference: Richard-1013

Contact: Richard Hanrahan, Dunedin, (03) 488 5632



DUNEDIN
2007 3 15 0 5

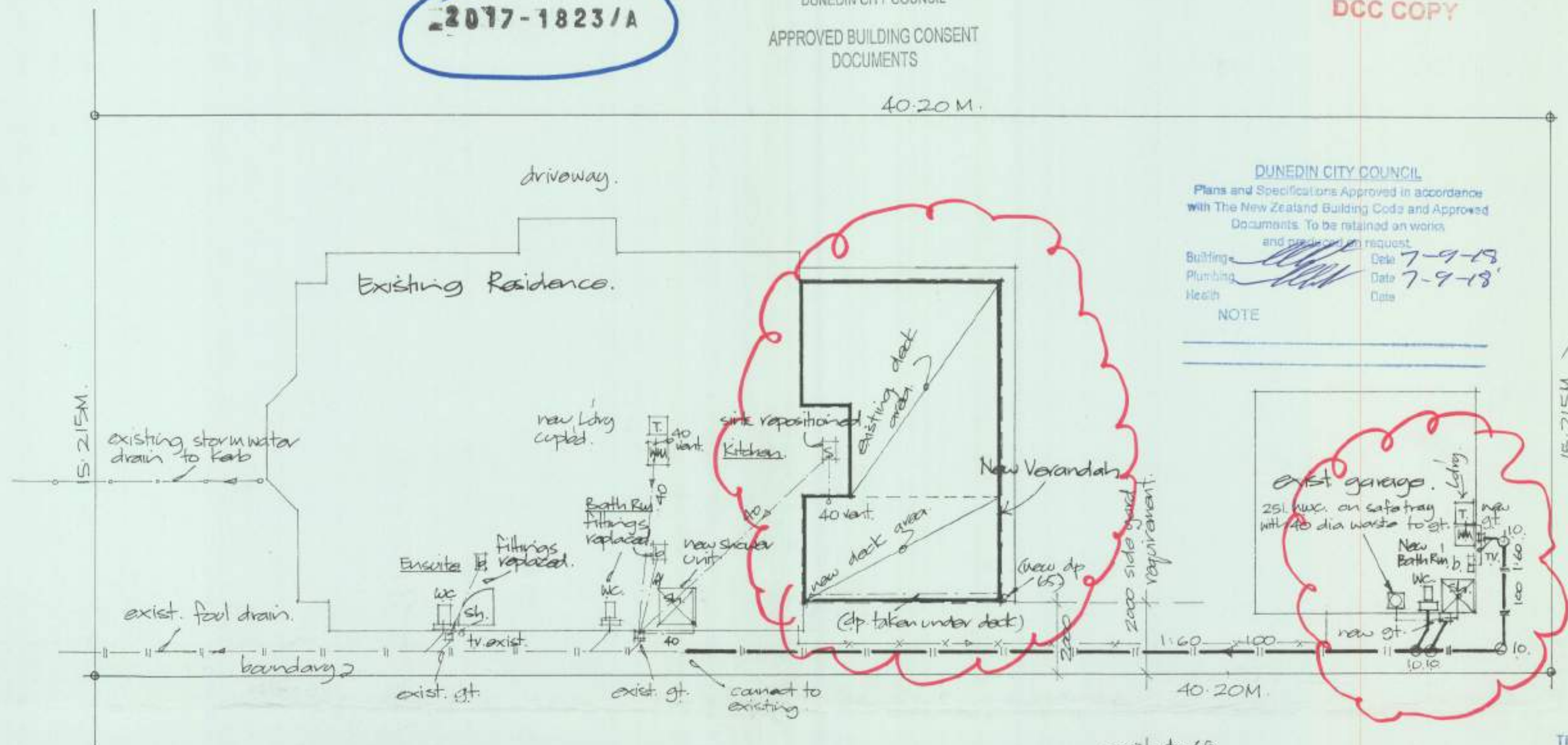
2017-1823/A

DUNEDIN CITY COUNCIL

APPROVED BUILDING CONSENT
DOCUMENTS

DCC COPY

GROVE ST.



SITE PLAN 1:100
- showing foul drainages.

plumbing & drainage:

- ||— : exist. foul drain to street.
- ||— : new 100 dia UPVC drain.
- o— : exist stormwater drain.
- #gt : new gully trap.
- o/ : inspection opening.
- odp : down pipe, pvc, dias. as noted.
- spouting : Marley P.V.C. 'stormcloud'.
- x— : 25 dia Alkathene water supply to garage.
- TVo : 80 dia UPVC Terminal Vent.

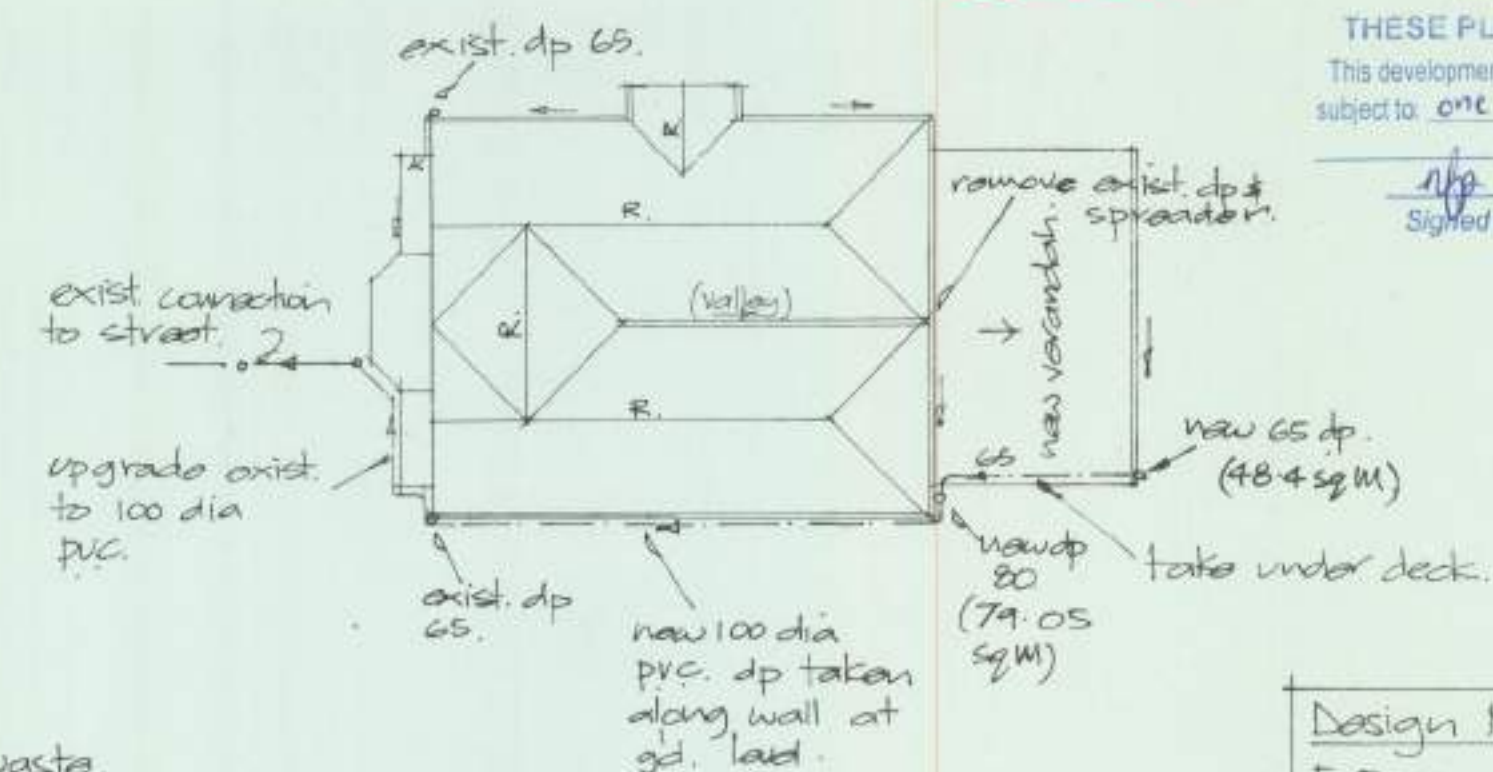
Legal:

lot 7, Block IV
D.P. 68
613 sq. M area.

wastes:

- shower, w. machine, tub, sink : 40 dia UPVC 1:40.
- basin : 32 dia UPVC 1:20.
- WC, tub, vent : 80 dia UPVC.
- back vent : 40 dia UPVC.
- hwc. safe tray : 40 dia P.V.C. waste.

All work shall be done in accordance with NZBC.
Ventilate wastes & drains in accordance with G13 and acceptable solutions.
Stormwater shall be in accordance with E1 AS1.



Roof Plan 1:200

- showing storm water drainages.

RI. August 2018.

1. Verandah size increased.
2. Garage Toilet amended to Bath Rm, Ldry adjacent.

DCC CITY PLANNING

THESE PLANS ARE APPROVED
This development complies with the District Plan(s)
subject to: **one residential unit**

Signed: *[Signature]* Dated: 6.9.18

Design Notes:

E.Q. Zone: 1.
exposure Zone: C.
Wind Zone: Medium.
gd. substrata: D/E.
Snow Zone: NS.

ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P.S. & M.M. PARIACHI amendments.
Drawn: C. G. Sargeant. NZCD (Arch) ADN2. June. 2017.

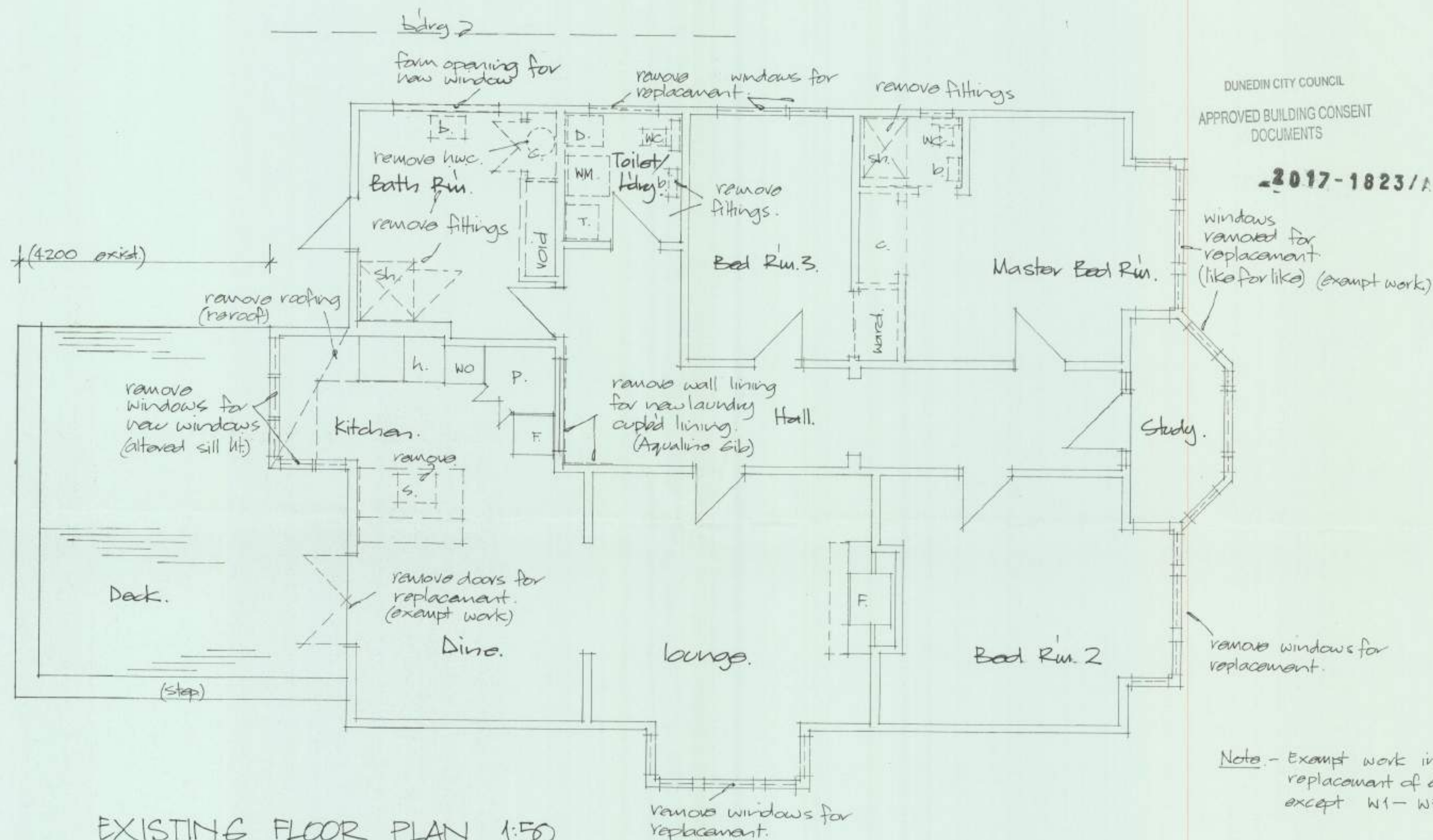
A2-6

RI.

1
of 6

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT
DOCUMENTS

2017-1823/A



EXISTING FLOOR PLAN 1:50

- showing removal.

Legend.

- : existing walls remain.
- - - : walls removed.

Note - Exempt work includes replacement of exist windows except W1 - W3 new windows.

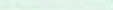
R1 : amendment August 2018

- existing deck size corrected.

ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P. S. & M. M. PARIACHI.
Drawn: C. G. Sargeant. NZCD (Arch.) ADNZ. June 2017.

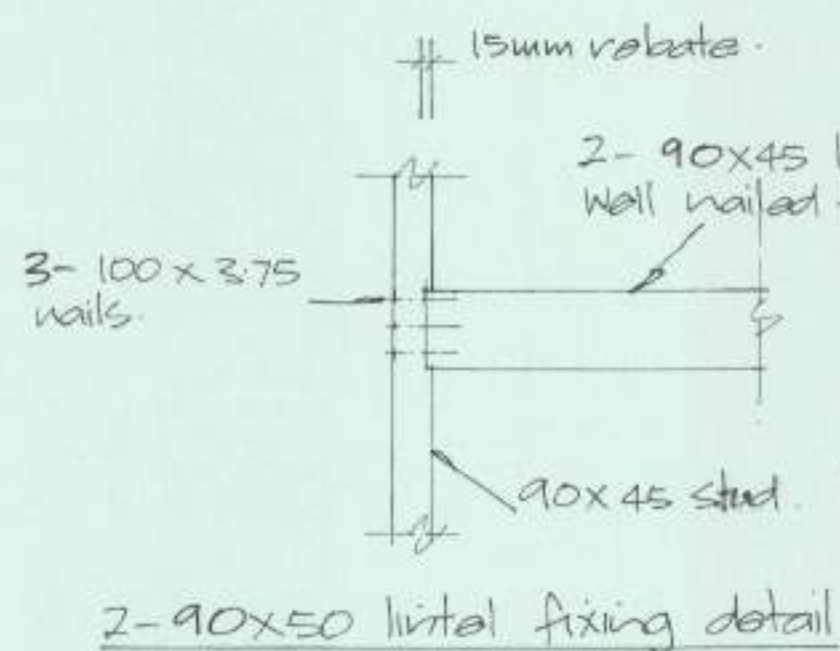
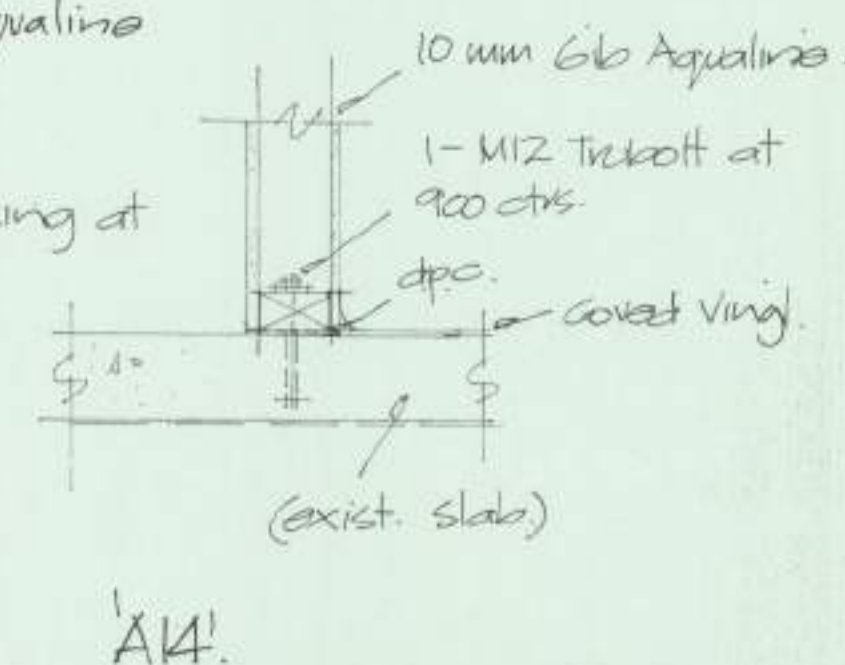
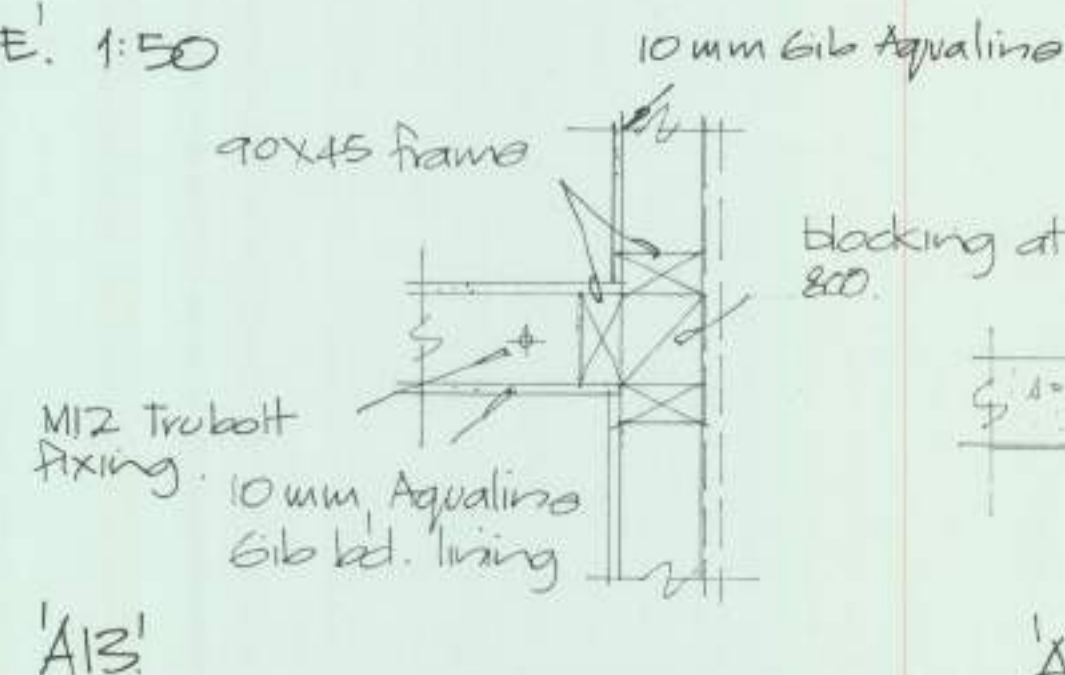
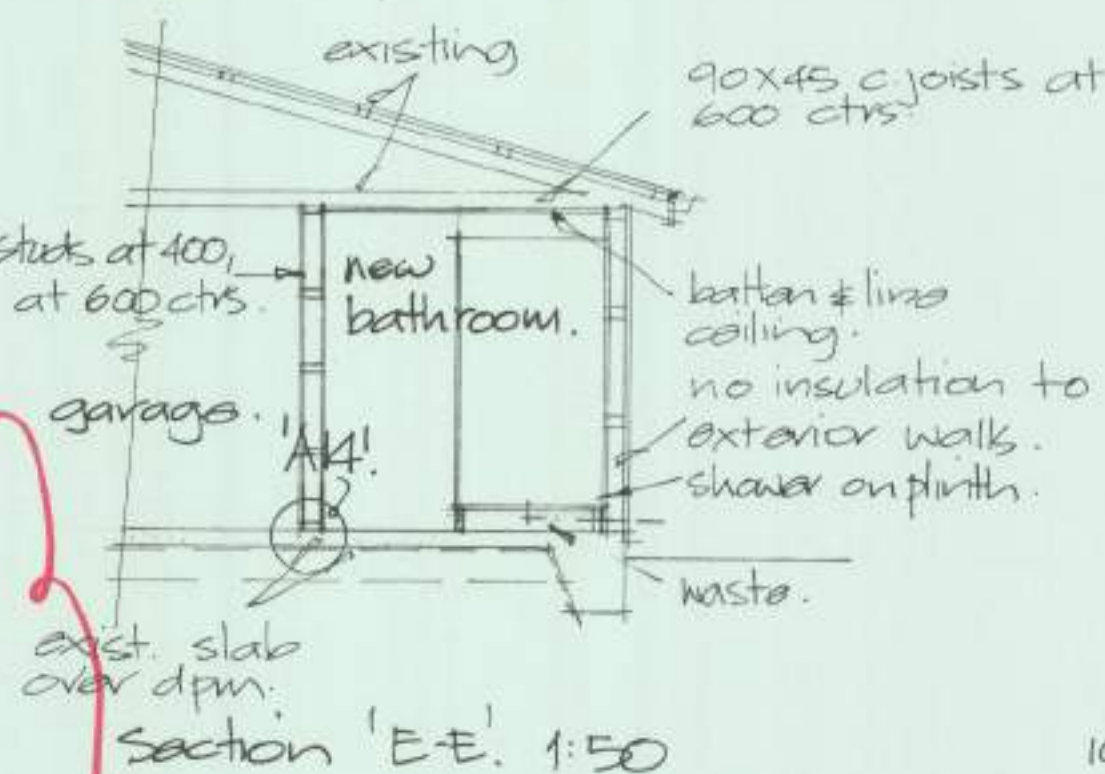
100



 : exist. walls.
 : new walls.
 : smoke alarm ceiling mounted.
 : extract fan. Manrose XF150 ducted to exterior.

1. exist back width corrected.
2. Verandah extended.

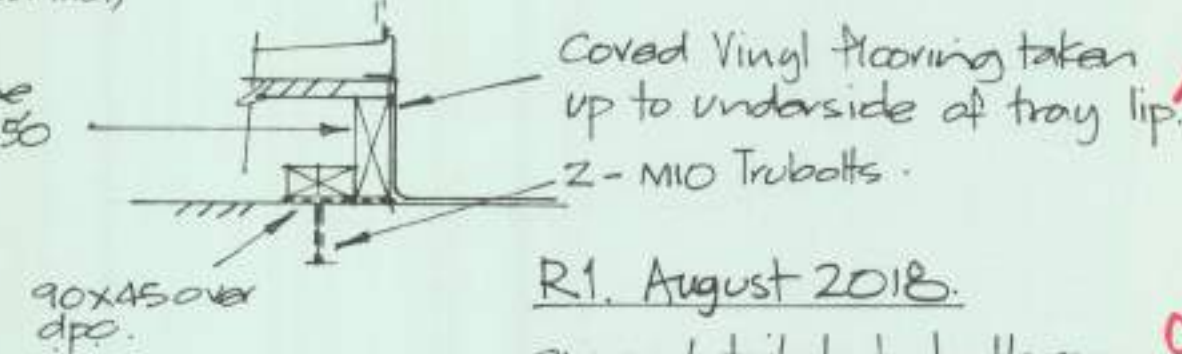
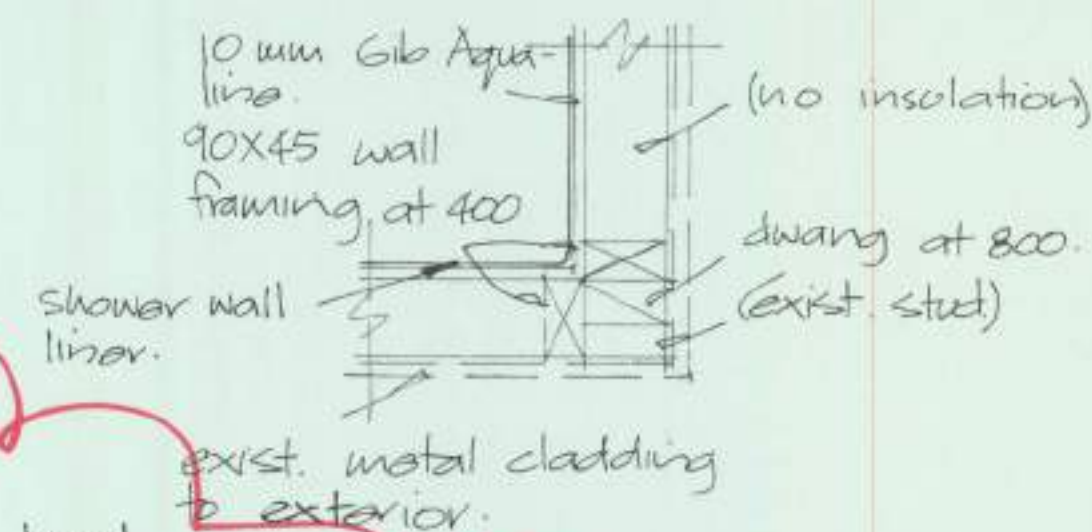
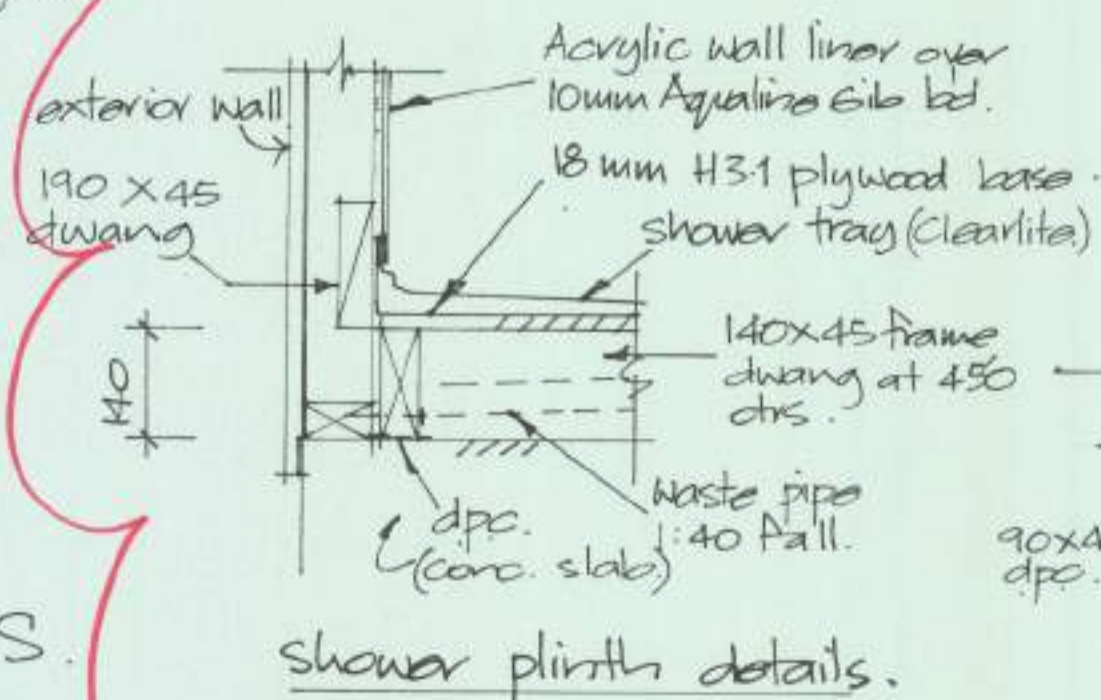
ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P. S. & M. M. PARIACHI.
Drawn: C. E. Sargeant. NZCD (Arch.) ADNZ. June 2017.



GARAGE ALTERATIONS
- add bathroom & L'dry.

Legend

--- : exist. walls
--- : new walls.



R1. August 2018.

- amend toilet to bathroom with laundry adjacent.

DUNEDIN CITY COUNCIL
APPROVED BUILDING CONSENT
DOCUMENTS

2017-1823/A

ALTERATIONS TO RESIDENCE AT 37 GROVE STREET,
ST. KILDA, DUNEDIN, FOR P. S. & M. M. PARIACHI. amendments.
Drawn: C. G. Sargeant. NZCD (Arch) ADN2. June. 2017.

R1.

6
of 6.

Site Inspection Report

Building consent number:	ABA-2017-1823
Site address:	37 Grove Street Dunedin
Description of work:	Alter Dwelling - Construct Laundry and Toilet in Existing Garage, Add Verandah to Dwelling
Inspection date:	3 August 2026
Inspected by:	Chris Evans
Inspection carried out:	Onsite
Pre inspection check:	Pass
Inspection requested by:	Permal Pariachi
Email to:	pspariachi@yahoo.com

Building Completion Inspection

Outcome	Fail
Work inspected	Final inspections for alteration to house
Comments	Fail notes - Failed items to be rectified.

Roof & Flashings Inspection

Outcome	Fail
Work inspected	Final inspections for alteration to house
Roof covering, flashings, penetrations	Fail notes - FAIL REFERS to the owner wishes to remove the veranda and work to the garage from the consent so will need to apply for an amendment to remove this work from the consent.

Cladding Inspection

Outcome	Fail
Work inspected	Final inspections for alteration to house
Flashing/sealants completed and in place	Fail notes - FAIL REFERS to Flashings to be Installed to windows W1, W2 and W3 as per the consented details. There is now flashings or facings in place.

Glazing Inspection

Outcome

Fail

Work inspected

Final inspections for alteration to house

Safety glass installed

Pass notes - Safety glass in place and etched to the bathroom. Safety glass in place to the ensuite shower.

Fail notes - FAIL REFERS to safety glass to be installed to the ensuite window.

Smoke Alarm Inspection

Outcome

Fail

Work inspected

Final inspections for alteration to house

Smoke alarms installed in or within 3 metres of bedrooms and operational

Fail notes - FAIL REFERS to smoke alarms have been installed very low. Smoke alarms to be installed between 150mm and 300mm from the ceiling or on the ceiling.

Record of Work

Outcome

Fail

Work inspected

Final inspections for alteration to house

Builder

Pass notes - ROW from builder Barry Parker BP105339 for the ensuite only. FAIL REFERS to ROW for the remain work to the windows and bathroom to be supplied.

Reinspection - Post-line

Outcome

Fail

Notes

FAIL REFERS to as built bracing plan for the minor changes to the ensuite to be supplied.

Reinspection - Exterior Framing & Pre-wrap

Outcome

Fail

Notes

FAIL REFERS to as built plans for the minor layout changes to the ensuite to be supplied.

Reinspection - Water Proofing

Outcome

Pass

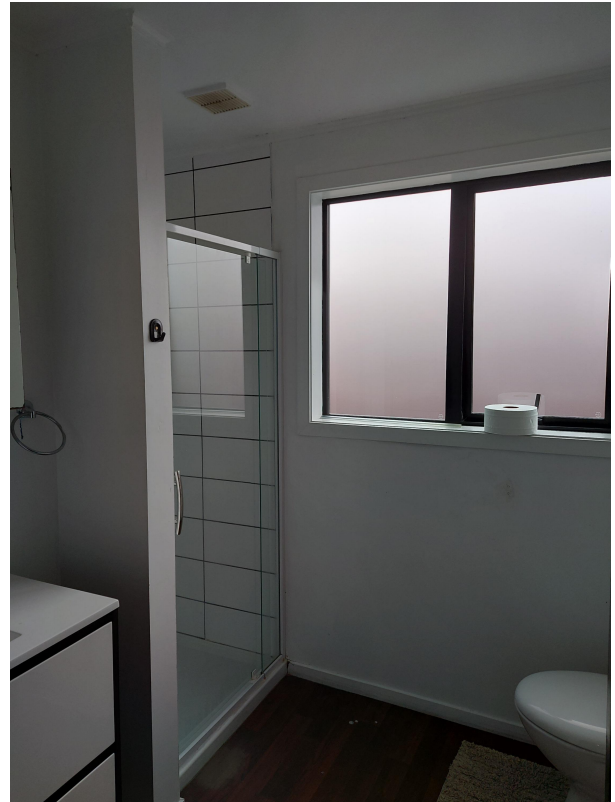
Notes

Mapei installation guide supplied.

Photographs/Sketches

Glazing Inspection

Safety glass to bathroom



Safety glass required to the ensuite window



Flashings to be Installed to window W1, W2 and W3 as per the consented details



Flashings to be Installed to window W1, W2 and W3 as per the consented details



Flashings to be Installed to window W1, W2 and W3 as per the consented details



Flashings to be Installed to window W1, W2 and W3 as per the consented details



Flashings to be Installed to window W1, W2 and W3 as per the consented details

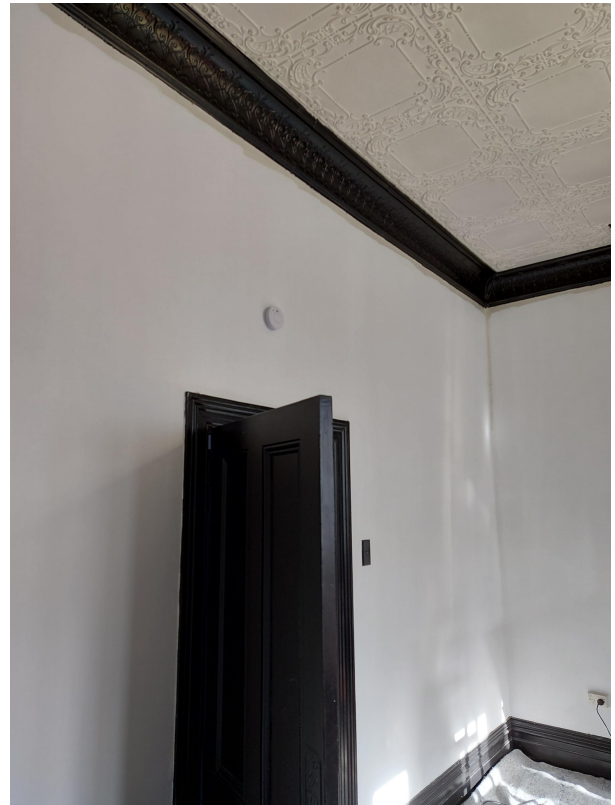


Flashings to be Installed to window W1, W2 and W3 as per the consented details

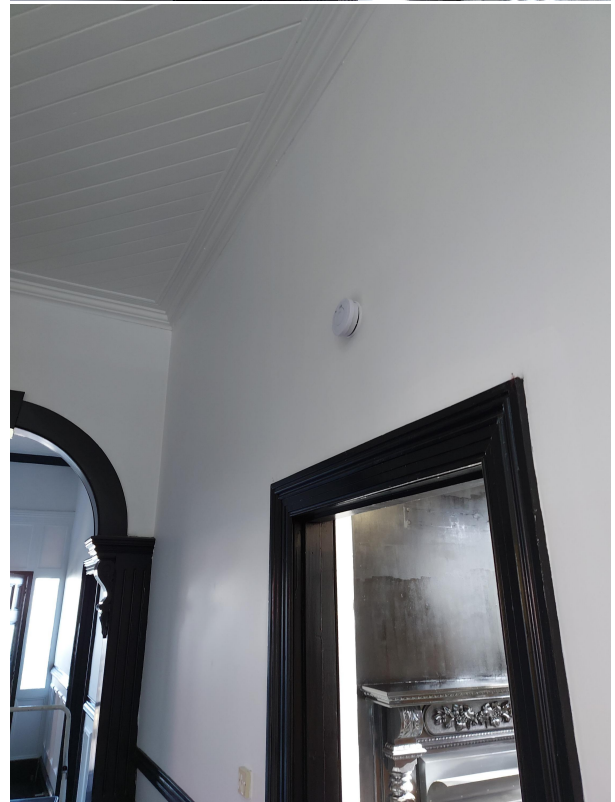


Smoke Alarm Inspection

Smoke alarms



Smoke alarms



Smoke alarms



Reinspection - Post-line

Reinspection - Exterior Framing & Pre-wrap

Reinspection - Water Proofing

Important Information:

- Your next inspection can be booked online - www.dunedin.govt.nz/inspect
- A list of required inspections is included with your building consent. For a copy email building@dcc.govt.nz (note, further inspections may be needed depending on the project).
- Site inspections and re-inspections incur a charge in line with Council approved fees and charges.
- Notices to fix issued for failed inspections will be emailed to the owners and those responsible for the issue.
- Pre inspection checks will only be recorded if failed.
- This inspection may be carried out under supervision.
- Use our online service to:
 - submit documents requested by the inspector or nominated on the list of required site inspections (we recommend providing these before applying for the code compliance certificate).
 - submit code compliance certificate applications.
 - submit information relating to a request for further information.
 - view a summary of the site inspections.

For information about our online service visit – www.dunedin.govt.nz/building-consent-applications

