# DISCLAIMER

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## Contents


Dunedin City Council t Land Information Memorandum ..... 1
Property Address: 15 Knox Street Dunedin ..... 1
Prepared for: Sortehaug Residential Limited ..... 1
Prepared on: 24-Aug-2026 ..... 1
Property Details: ..... 1
Disclaimer: ..... 1
s44A(2)(a) Information identifying any special feature or characteristics of the land ..... 4
District Plan Hazard Information ..... 4
Other Natural Hazard Information ..... 4
Flood Hazards ..... 4
Land Stability Hazards ..... 5
Coastal Hazards ..... 5
Seismic Hazards ..... 5
Other Natural Hazards ..... 5
Otago Regional Council Hazard Information ..... 5
Contaminated Site, Hazardous Substances and Dangerous Goods ..... 5
Contaminated Site Information ..... 5
Historic Dangerous Goods Licence(s) ..... 5
Hazardous Substances ..... 5
s44A(2)(b) Information on private and public stormwater and sewerage drains ..... 6
Drainage ..... 6
Foul Sewer and Waste Water ..... 6
Public Sewer Sheets ..... 6
Dunedin City Council Private Drainage plans incomplete ..... 6
s44A(2)(bb) Information Council holds regarding drinking water supply to the land ..... 6
Water Supply ..... 6
s44A(2)(c) Information relating to any rates owing in relation to the land ..... 7
Rates Details ..... 7
Rates Assessment Details ..... 7
s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land ..... 8
(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and ..... 8
(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004 ..... 8
Building and Drainage Consents ..... 8
Building and Drainage Permits ..... 9
Non-consented Small Stand-alone Dwellings ..... 9
Building Notices ..... 9
Resource Consents ..... 9
Consent Notices ..... 9
Alcohol Licensing ..... 9
Health Licensing ..... 10
s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006 ..... 10
s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use ..... 10

District Plan ..... 10
District Plan Map ..... 11
s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation ..... 11
s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004 ..... 11
Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant. 11
Building Information ..... 11
Minimum Floor Levels ..... 11
Planning ..... 11
Resource Consents within 50m of 15 Knox Street Dunedin ..... 11
3 Waters ..... 16
Information Regarding Watercourses ..... 16
Transport ..... 16
Glossary of Terms and Abbreviations ..... 18
Consent, Permit, Licence & Complaint types ..... 18
Terms used in Permits & Consents ..... 18
General terms ..... 19
Appendices ..... 20

# s44A(2)(a) Information identifying any special feature or characteristics of the land

## District Plan Hazard Information

Refer to District Plan for Natural Hazards Information section: s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

## Other Natural Hazard Information

### Flood Hazards

**OVERLAND FLOW PATH**

**North East Valley Flood Level including 500mm Free Board**

D • Œ ] ‰ š ] } v W d Z ‰ Œ } ‰ Œ š Ç ] • ] v š ] ( ] Á ] š Z ] v š Z Œ ‰ } Œ š ^ D ] v ] u µ which seeks to establish minimum floor levels for flood vulnerable areas across the municipality. Although the report is known to the Dunedin City Council the council has not assessed the report for correctness. the applicant is solely responsible for ensuring that the land is suitable for a particular purpose including development. Recommended Minimum Floor Levels(flood level plus 500mm free board) vary for each property under each different sub area.

GHD. (2015). Minimum floor levels for flood vulnerable areas. GHD.
https://2gp.dunedin.govt.nz/2gp/documents/Section32_Background_Documents/Natural_Hazards/Dunedin%20City%20Council,%20Minimum%20Floor%20Levels%20for%20Flood%20Vulnerable%20Areas%20(GHD,%20March%202015).pdf
**Commissioned by:** Dunedin City Council
**Purpose:** The purpose of this report is to identify minimum floor levels for residential development in flood vulnerable areas of Dunedin City, to ensure that buildings are protected against flooding to an appropriate level of risk.
**Scope of report:** Flood-prone and low-lying parts of Dunedin City

Reference Number: 12074

**WATERWAY**

**Lindsay Creek floodplain**

Description: Lindsay Creek floodplain area.

Goldsmith, M., Williams, J., Payan, J.-L., & Stocker, H. (2014). & o } } Z Ì Œ } ( µ v ] v [ • µ Œ v streams. Otago Regional Council.
https://www.orc.govt.nz/media/1724/flood-hazard-of-dunedins-urban-streams.pdf
**Commissioned by:** Otago Regional Council
**Purpose:** The purpose of this report is to describe the nature and extent of flood hazard from µ v ] v [ • µ Œ v • š Œ u • U š } • µ ‰ ‰ } Œ š š Z À o } ‰ u v š } ( Z Ì Œ u % to guide land-use planning and floodplain management.
**Scope of report:** Urban streams within Dunedin City that present a potential flood hazard

Goldsmith, M., Williams, J., Payan, J.-L., & Stocker, H. (2014). & o } } Z Ì Œ } ( µ v ] v [ • µ Œ v streams. Otago Regional Council.
https://www.orc.govt.nz/media/1724/flood-hazard-of-dunedins-urban-streams.pdf
**Commissioned by:** Otago Regional Council

**Purpose:** The purpose of this report is to describe the nature and extent of flood hazard from µv ]v[• µŒ v •šŒ u•U š} •µ‰‰}Œš šZ À o}‰u vš }( Z Ì Œ u %
to guide land-use planning and floodplain management.
**Scope of report:** Urban streams within Dunedin City that present a potential flood hazard

Reference Number: 11581

### Land Stability Hazards

**LAND MOVEMENT**

**Alluvial Fans - active floodwater-dominated 50000_1998_100m**

Description: Active floodwater-dominated. Sheet floods and channel floods carrying sediment are considered possible within the next 100 years. Mapscale:50000. Map Accuracy:1998, accuracy +/-100m, NZMG1949

Reference Number: 10106

### Coastal Hazards

No information.

### Seismic Hazards

No information.

### Other Natural Hazards

No information.

## Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:
https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database

## Contaminated Site, Hazardous Substances and Dangerous Goods

### Contaminated Site Information

No information.

### Historic Dangerous Goods Licence(s)

No information.

### Hazardous Substances

No information.

**WARNING t Change in legislation and management of hazardous substances**

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without t Z }µv ]o[• lv}Áo P X

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates If you have any questions, please contact Worksafe.

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# s44A(2)(b) Information on private and public stormwater and sewerage drains

## Drainage

Drainage plans on file are indicative only.
Obtaining your own independent review may be required before commencing drainage works.

## Foul Sewer and Waste Water

**Drainage Reticulation Plans**

} ‰ Ç } ( š Z µ v ] v ] š Ç } µ v ] o [ • Œ ] v P ] v ( Œ • š Œ µ š µ Œ ] v š Z À ] attached. Public foul sewers are show in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

**Stormwater/Sewer Separation - Compliant**

The Dunedin City Council requires the foul sewer and storm water being discharged from a property to be directed to the separate foul sewer and storm water networks, respectively. This property is in an area where inspections have been undertaken to ensure compliance with this requirement. This property was certified as complying with Council's requirements for storm water separation at the time of inspection on **7th November 1997**.

E } } u u v š ] • u Á ] š Z Œ P Œ š } š Z ] • ‰ Œ } ‰ Œ š Ç [ • } u ‰ o ] v Á ] š Z š separation after the date of inspection.

## Public Sewer Sheets

**WARNING.** Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

## Dunedin City Council Private Drainage plans incomplete

**WARNING.** The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

# s44A(2)(bb) Information Council holds regarding drinking water supply to the land

## Water Supply

**Urban water supply area t Connected**

d Z ] • ‰ Œ } ‰ Œ š Ç ] • } v v š š } š Z µ v-demand) ] v ] š Ç } µ µ v. ] o [ • µ Œ v ~ } v pressures are available to view at www.dunedin.govt.nz/water - pressure , and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

**Terms and conditions of supply**
o o v Á v Æ ] • š ] v P } v v š ] } v • š } š Z µ v ] v ] š Ç } µ v ] o [ • Á š Œ • µ %
terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water - bylaw .

**Water pressure**
Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water - pressure . Specific detail is available on request.

**Water reticulation maps**
A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property.

# s44A(2)(c) Information relating to any rates owing in relation to the land

## Rates Details

### Rates Assessment Details

| | |
|---|---|
| **Rate Account** | 2013014 |
| Address | 15 Knox Street Dunedin |
| Valuation Number | 26770-35100 |
| **Latest Valuation Details** | |
| Capital Value | $1,300,000 |
| Land Value | $465,000 |
| Value of Improvements | $835,000 |
| Area (Hectares) | 0.0537HA |
| Units of Use | 1 |
| **Current Rates** | |
| Current Rating Year Starting | 01-Jul-2026 |
| Dunedin City Council Rates | $6,482.60 |
| **Rates Outstanding for Year** | $6,482.60 |

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

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# s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

## Building and Drainage Consents

The following consents are recorded for this property:

| Status Key: | | | |
|---|---|---|---|
| | BC | - | Building Consent Issued |
| | CCC | - | Code Compliance Certificate Issued |
| | Archived /CCC Refused | - | In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused. |
| | Lapsed | - | Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect |

NOTE: This is not a comprehensive list of all building consent statuses

ABA-2000-292424 Building Consent - Remove Conservatory & Add Bedroom

| | |
|---|---|
| Lodgement Date | 19-Dec-2000 |
| Decision | Granted |
| Decision Date | 12-Jan-2001 |
| Current Status | **CCC Issued** |
| Previous Number (Applications before 2007) | ABA3203 |

ABA-2023-304 Building Consent - Erect Dwelling

| | |
|---|---|
| Lodgement Date | 13-Mar-2023 |
| Decision | Granted |
| Decision Date | 28-Apr-2023 |
| Current Status | **CCC Issued** |
| Previous Number (Applications before 2007) | |

ABA-2024-941 Building Consent - Amendment to ABA-2023-304 - Replace Cladding, Install Beam and correct error on setout plan

| | |
|---|---|
| Lodgement Date | 25-Jun-2024 |
| Decision | Granted |
| Decision Date | 19-Jul-2024 |
| Current Status | **CCC Issued** |
| Previous Number (Applications before 2007) | |

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## Building and Drainage Permits

H-1923-8081 AAB19230027
6537 - Add to dwelling, no plan (Rev Donaston Babtist). The permit was lodged on 07-Sep-1923.
H-1975-79640 AAB19750171
2185 - Erect car port (Whyte). The permit was lodged on 24-Nov-1975.
H-1948-164135 AAD19480458
E4553 - Plumbing alterations, no plan (Whyte). The permit was lodged on 12-Aug-1948.
H-1984-217728 AAD19840619
K7358 - Connect boiler tubes, no plan (Various Owners). The permit was lodged on 27-Sep-1984.
H-1922-137473 AAD19220308
B1992 - Plumbing and Drainage to Private Foul Drain in Common with 9,11,15 & 17 For Four Dwellings (Levido). The permit was lodged on 29-Jul-1922.
H-1922-7533 AAB19220019
5844 - Erect Five Wooden Dwellings (Levido). The permit was lodged on 01-Aug-1922.

## Non-consented Small Stand-alone Dwellings

There are no SSD applications for this property.

## Building Notices

No Building Notices

## Resource Consents

The following Resource Consent(s) are recorded for this property:

RMA-2006-370607 - Resource Management Act (Historical Data)

| | |
|---|---|
| Description | LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION |
| Lodgement Date | 05-Sep-2006 |
| Decision | Granted |
| Decision Date | 31-Aug-2007 |
| Current Status | **Completed** |

LUC-2022-392 - Land Use Consent

| | |
|---|---|
| Description | The earthworks and construction of a dwelling and standard residential activity in a Hazard 2 (flood) Overlay Zone and the occupation of more than 50% of the front yard used for car parking |
| Lodgement Date | 15-Sep-2022 |
| Decision | Granted |
| Decision Date | 18-Oct-2022 |
| Current Status | **Consent Issued** |

## Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

## Alcohol Licensing

There are no records of any Alcohol Licences for this property.

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## Health Licensing

There are no records of any Health Licences for this property.

# s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

# s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

## District Plan

This property is subject to the Operative Dunedin City Second Generation District Plan 2026 (2GP), which became fully operative on 17 June 2026. The 2GP, including planning maps, is available on the Dunedin City Council website https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan and at all Dunedin City Council service centres and libraries.

**SECOND GENERATION DISTRICT PLAN INFORMATION**

**Zoning**

{General Residential 2 (refer Section 15, Residential)

**Scheduled Items**

{Scheduled Trees within 30m of site
Plan ID: T668
Common Name: Oak
{Scheduled Trees within 30m of site
Plan ID: T669
Common Name: Oak
{Designations
Plan ID: D216 (part)
Authority: Otago Regional Council
Purpose: Lindsay Creek River Works which includes all works, structures, facilities, devices and appliances associated with river control and flood protection and includes all activities relating to such works including construction, operation, maintenance, repair, reconstruction, extension, modification, replacement and improvement.

**Overlay Zones**

{Hazard 2 (flood) Overlay Zone

**Mapped Areas**

{Wastewater Constraint Mapped Area
Name: North East Valley

[Please note that some of the items above may only extend over part of the property. If there are multiple designations over the property, these may overlap.]

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### District Plan Map

The District Plan map is available online here. Instructions on how to use the map are available here.

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:
https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan

## s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

## s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

## Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

### Building Information

#### Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels and for links to specific areas:
https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance

For further explanation on the current status of any building consent, or to enquire about information referred to in this section, please contact Building Services Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

### Planning

#### Resource Consents within 50m of 15 Knox Street Dunedin

**5012984 19 Knox Street Dunedin**

LUC-2012-393 Land Use Consent extension to student hostel (Salmond College). The outcome was Granted on 02/10/2012.

LUC-2010-459 Land Use Consent extend existing student hostel (Salmond Hall). The outcome was Granted on 09/11/2010.
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.
RMA-1997-360809 Resource Management Act (Historical Data) ERECT RESIDENTIAL ACCOMMODATION (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 14/05/1997.
RMA-1961-353603 Resource Management Act (Historical Data) EXTEND SOUTH WING OF KNOX COLLEGE / App: KNOX COLLEGE FLETCHER CONSTRUCTION (Notified - Non Complying). The outcome was Granted on 16/01/1962.

**5013012 9 Knox Street Dunedin**
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.

**5013013 11 Knox Street Dunedin**
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.

**5013015 17 Knox Street Dunedin**
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.

**5013020 14 Knox Street Dunedin**
BACT-2024-31 Boundary Activity Notice a dwelling extension that breaches the side yard setback performance standard. The outcome was Issued on 26/07/2024.

**5013022 10 Knox Street Dunedin**
LUC-2013-382 Land Use Consent site coverage breach. The outcome was Granted on 23/09/2013.
RMA-1996-360052 Resource Management Act (Historical Data) ADD TO DWG (Non-Notified - Restricted Discretionary). The outcome was Granted on 19/09/1996.

**5068582 9 Arden Street Dunedin**
LUC-2012-393 Land Use Consent extension to student hostel (Salmond College). The outcome was Granted on 02/10/2012.
RMA-2005-369759 Resource Management Act (Historical Data) ALTER ENTRANCE PORCH FROM COURTYARD INTO MAIN FOYER (Non-Notified - Restricted Discretionary). The outcome was Granted on 09/01/2006.
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.
RMA-2000-364381 Resource Management Act (Historical Data) ALTERATION TO A HISTORIC BUILDING (Non-Notified - Restricted Discretionary). The outcome was Granted on 31/10/2000.
RMA-2004-367864 Resource Management Act (Historical Data) TO OPERATE PRIVATE CLUB WITH LICENCE TO SELL ALCOHOL AT KNOX COLLEGE (Non-Notified - Non Complying). The outcome was Granted on 20/07/2004.

RMA-2003-366250 Resource Management Act (Historical Data) SENIOR STUDIES WING (Non-Notified - Non Complying). The outcome was Granted on 12/02/2003.
RMA-1998-362427 Resource Management Act (Historical Data) ALTERATIONS TO EXTERNAL APPEARANCE OF BUILDING LISTED I N SCHEDULE 27.3 OF THE PROPOSED DISTRICT PLAN Hazards Comments: (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 06/11/1998.
POL-2005-350333 Planning Other Legislation PLANNING CERTIFICATE FOR LIQUOR LICENCE (Other). The outcome was Granted on 22/06/2005.

**5069427 9 Arden Street Dunedin**
LUC-2012-393 Land Use Consent extension to student hostel (Salmond College). The outcome was Granted on 02/10/2012.

**5069428 9 Arden Street Dunedin**
LUC-2012-393 Land Use Consent extension to student hostel (Salmond College). The outcome was Granted on 02/10/2012.
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.

**5104128 3 Arden Street Dunedin**
LUC-2013-169 Land Use Consent tree maintenance or emergency works on a significant tree Oaks T668 & T669. The outcome was Granted on 26/04/2013.
LUC-2012-445 Land Use Consent modify the exterior of a listed building. The outcome was Granted on 15/11/2012.
LUC-2012-393 Land Use Consent extension to student hostel (Salmond College). The outcome was Granted on 02/10/2012.
LUC-2007-402/A Land Use Consent section 127 change or cancellation of conditions. The outcome was s127 Upheld on 01/02/2012.
LUC-2010-459 Land Use Consent extend existing student hostel (Salmond Hall). The outcome was Granted on 09/11/2010.
LUC-2008-167 Land Use Consent Tree maintenance or emergency works on a significant tree (T667). The outcome was Granted on 01/04/2008.
COC-2007-8 Certificate of Compliance Minor extension to the Salmond College buildings to improve kitchen facilities.. The outcome was Granted on 05/10/2007.
LUC-2007-402 Land Use Consent replace two underground diesel storage tanks with two above ground storage tanks which exceed District Plan permitted volume thresholds. The outcome was Granted on 21/08/2007.
RMA-2005-369759 Resource Management Act (Historical Data) ALTER ENTRANCE PORCH FROM COURTYARD INTO MAIN FOYER (Non-Notified - Restricted Discretionary). The outcome was Granted on 09/01/2006.
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.
RMA-2006-370179 Resource Management Act (Historical Data) INSTALL CHURCH BELL AND SUPPORT BRACKET ON AN EXTERIOR WALL OF THE KNOX COLLEGE CHAPEL (Non-Notified - Restricted Discretionary). The outcome was Granted on 07/06/2006.
RMA-2000-364381 Resource Management Act (Historical Data) ALTERATION TO A HISTORIC BUILDING (Non-Notified - Restricted Discretionary). The outcome was Granted on 31/10/2000.

RMA-2004-367864 Resource Management Act (Historical Data) TO OPERATE PRIVATE CLUB WITH LICENCE TO SELL ALCOHOL AT KNOX COLLEGE (Non-Notified - Non Complying). The outcome was Granted on 20/07/2004.
RMA-2003-366250 Resource Management Act (Historical Data) SENIOR STUDIES WING (Non-Notified - Non Complying). The outcome was Granted on 12/02/2003.
RMA-1998-362427 Resource Management Act (Historical Data) ALTERATIONS TO EXTERNAL APPEARANCE OF BUILDING LISTED I N SCHEDULE 27.3 OF THE PROPOSED DISTRICT PLAN Hazards Comments: (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 06/11/1998.
RMA-1997-360809 Resource Management Act (Historical Data) ERECT RESIDENTIAL ACCOMMODATION (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 14/05/1997.
POL-2005-350333 Planning Other Legislation PLANNING CERTIFICATE FOR LIQUOR LICENCE (Other). The outcome was Granted on 22/06/2005.
RMA-1961-353603 Resource Management Act (Historical Data) EXTEND SOUTH WING OF KNOX COLLEGE / App: KNOX COLLEGE FLETCHER CONSTRUCTION (Notified - Non Complying). The outcome was Granted on 16/01/1962.

**5104129 34 North Road Dunedin**
LUC-2021-43 Land Use Consent the establishment of a new vehicle crossing on a commercial centre street. The outcome was Granted on 04/03/2021.
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.

**5106158 19 Knox Street Dunedin**
LUC-2012-393 Land Use Consent extension to student hostel (Salmond College). The outcome was Granted on 02/10/2012.

**5106159 19 Knox Street Dunedin**
LUC-2012-393 Land Use Consent extension to student hostel (Salmond College). The outcome was Granted on 02/10/2012.

**5109029 5 Knox Street Dunedin**
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.

**5109030 7 Knox Street Dunedin**
LUC-2016-334/A Land Use Consent s127 change of conditions for LUC-2016-334, land use consent for the establishment of a house and garage with bulk and location breaches, and earthworks within 7.0m of a waterway. The outcome was s127 Upheld on 14/12/2018.
LUC-2016-334 Land Use Consent land use consent for the establishment of a house and garage with bulk and location breaches, and earthworks within 7.0m of a waterway. The outcome was Granted on 29/09/2017.
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.

**5128673 7 Knox Street Dunedin**
LUC-2016-334/A Land Use Consent s127 change of conditions for LUC-2016-334, land use consent for the establishment of a house and garage with bulk and location breaches, and earthworks within 7.0m of a waterway. The outcome was s127 Upheld on 14/12/2018.
LUC-2016-334 Land Use Consent land use consent for the establishment of a house and garage with bulk and location breaches, and earthworks within 7.0m of a waterway. The outcome was Granted on 29/09/2017.
RMA-2006-370607 Resource Management Act (Historical Data) LEITH LINDSAY FLOOD PROTECTION CONSULTANTS SCHEME - LINDSAY CREEK - LOWER LINDSAY SECTION. The outcome was Granted on 31/08/2007.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

**Accuracy of Boundaries**
Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. W o • v } š š Z š š Z } µ v ] o [ • Œ ] o ‰ Z } š } accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

**Access to Site**
The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

**Heritage New Zealand Pouhere Taonga Act 2014**
The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

**Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011**
The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken.

(The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules in might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

## 3 Waters

### Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

## Transport

**Private stormwater lateral.**

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, th Œ ‰ ]Œ v u ]vš v v }( šZ • ‰]‰ [• with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it } •v[š }u • ( šÇ Z Ì Œ (}Œ ‰ •šŒ] v• }Œ }šZ Œ Œ} µ• Œ•X

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at http://www.dunedin.govt.nz/services/roads-and-footpaths or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

DUNEDIN CITY COUNCIL | kaunihera a-rohe o Ōtepoti

# Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

## Consent, Permit, Licence & Complaint types

| | |
|---|---|
| AAB | DCC Building permit |
| AAD | DCC Drainage permit |
| AAG | Green Island drainage permit |
| AAH | Hyde permit |
| AAK | St Kilda permit |
| AAM | Mosgiel permit |
| AAP | Port Chalmers permit |
| AAS | Silverpeaks permit |
| AAT | Maniototo permit |
| ABA | Application Building Act 1991 |
| AMD | Amendment to a Building Consent |
| BC | Building Consent |
| BCC | Building Compliance Certificate - Sale and Supply of Alcohol Act |
| BCM | Building Complaint |
| CER | Certifier |
| COA | Certificate of Acceptance |
| DGL | Dangerous Goods Licensing |
| ENV | Health complaint |
| HTH | Health licence |
| LIQ | Alcohol licence |
| NTF | Notice to Fix |
| NTR | Notice to Rectify |
| PIM | Project Information Memorandum |
| POL | Planning Other Legislation |
| RMA | Resource Management Act - Resource consent |
| RMC | Resource consent complaint |
| WOF | Building Warrant of Fitness |

## Terms used in Permits & Consents

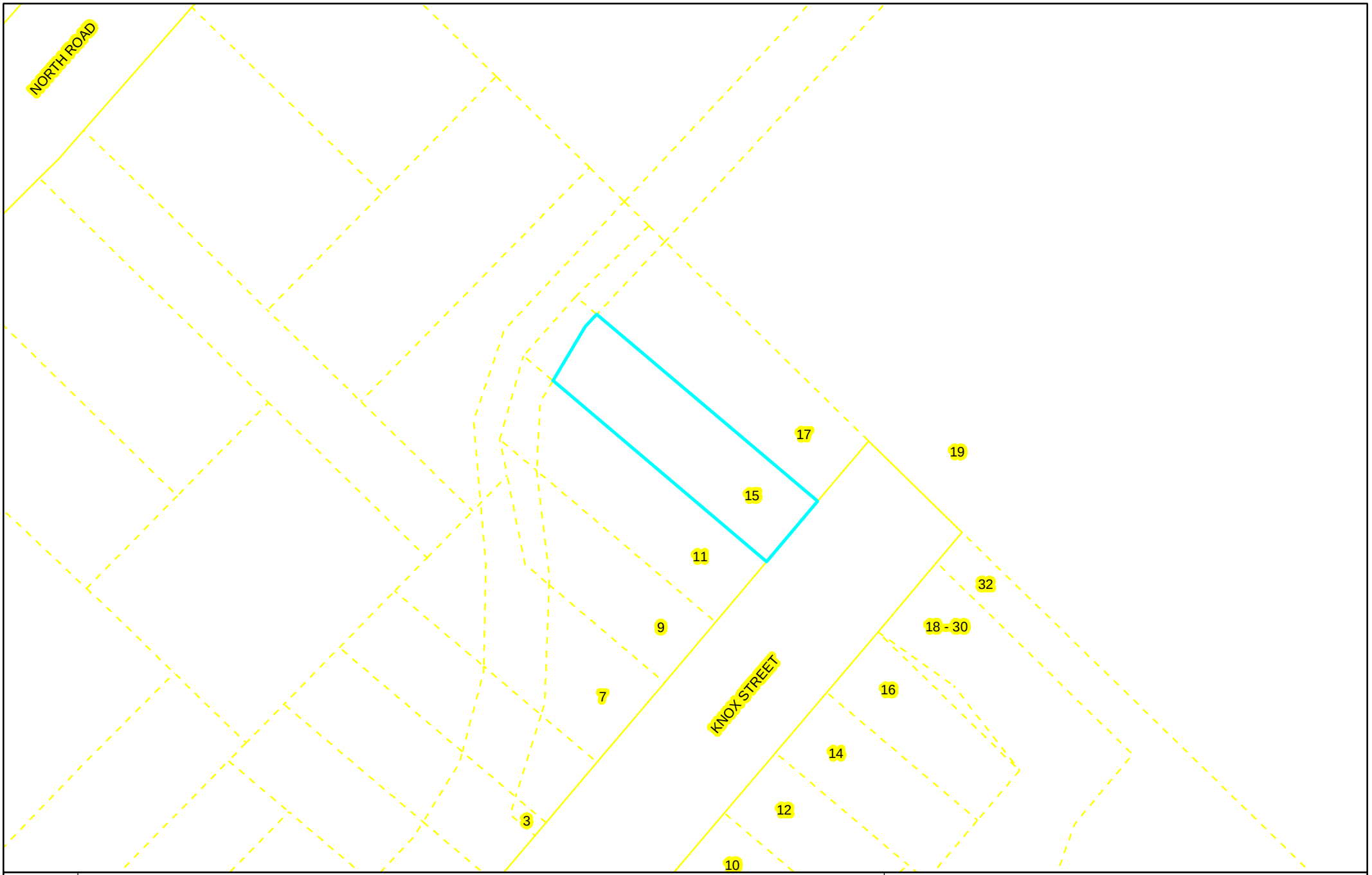
| | |
|---|---|
| ALT | Alteration |
| ADD | Addition |
| BD D/C | Board drain in common |
| BLD | Building |
| BLDNG | Building |
| BT | Boundary trap |
| B/T | Boiler tube |
| CCC | Code Compliance Certificate |
| DAP | Drainage from adjacent property |
| DGE | Drainage |
| DIC | Drain in common |
| DR | Drainage |
| DWG | Dwelling |
| FS | Foul sewer |
| HEA | Heater |
| ICC | Interim Code Compliance |

| | |
|---|---|
| MH | Manhole |
| PL | Plumbing |
| PLB | Plumbing |
| PTE | Private |
| SIS | Sewer in section |
| WC | Water course |
| WT | Water table |
| SW | Stormwater |

## General terms

| | |
|---|---|
| RDMS | Records and Document Management System |

# Appendices




# Photographic Map

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18/08/2026
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PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES
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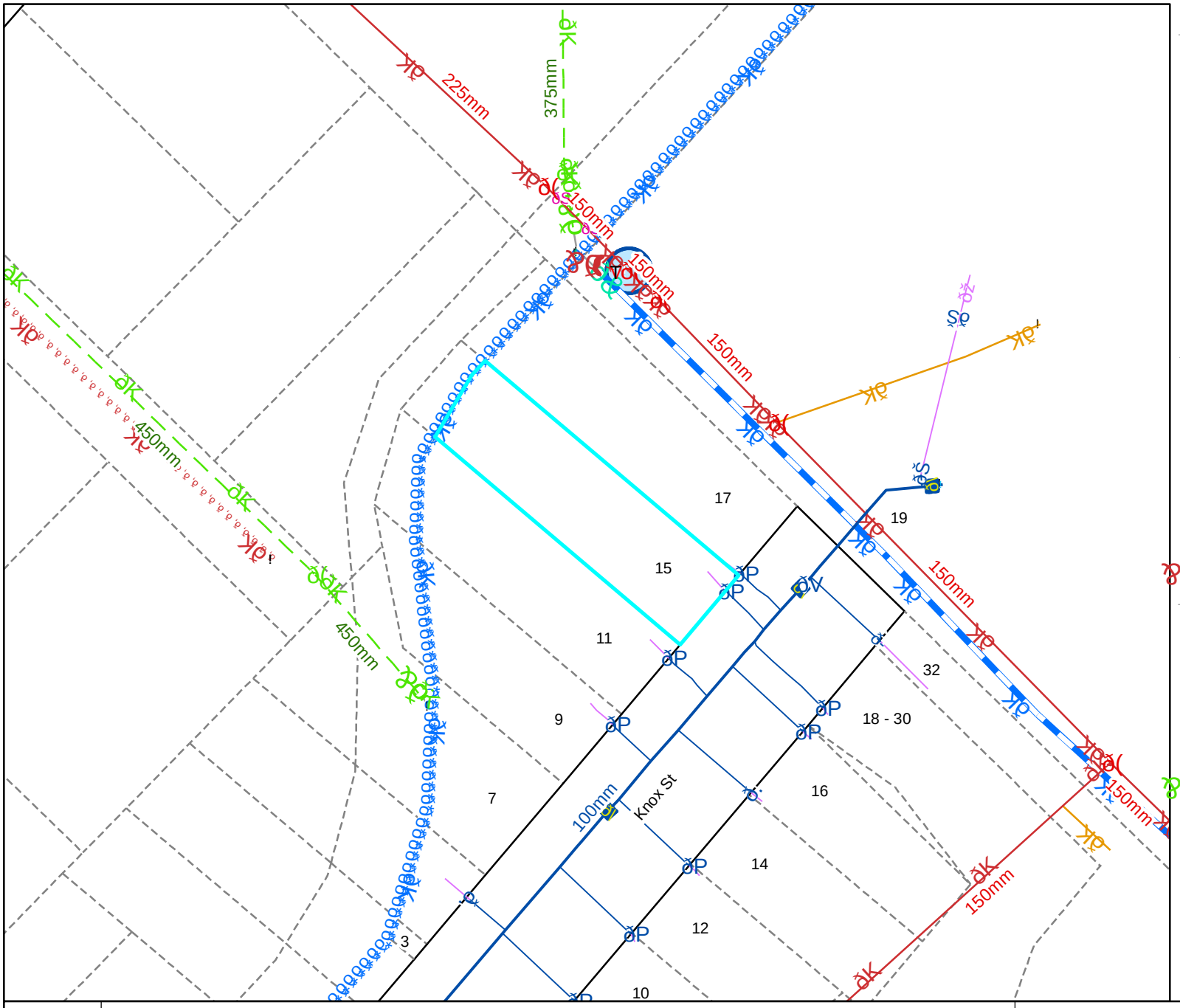


## Legend

### Water Supply

- Manifold Box
- Water Meter
- Toby
- Meter without manifold box
- Retic Flow Meter
- Combination Meter
- Manifold Box With Restrictor
- Water Valve - Zone
- Non Return Valve
- Water Valve - Gate
- Water Valve - Sluice
- Water Hydrant
- Water Backflow Preventor - RPZ
- Water Non-Return Valve
- Water Pump Station
- Water Bore
- Water Treatment Plant
- Water Storage Tank
- Supply Main
- Trunk Main
- Disused
- Reticulation
- Rider
- Scour
- Water Service Lateral
- Water Fire Service Lateral
- Water Critical Service Lateral
- Water Zone Boundary
- Water Reservoir
- Redundant Water Main

NOTE:
Private water services have the same symbols as those above, however they are coloured pink.

### Foul Sewerage

- Standard Manhole
- Valve Chamber (pressurised)
- Boundary Kit
- Non-Return Valve
- Pump Station Domestic
- Drop Manhole
- Inspection Manhole
- Inspection Opening
- Lamphole
- Outlet
- Pump Station
- Treatment Plant
- Vent
- Foul Sewer Node
- Foul Drains in Common (public)
- Sewer
- Trunk Sewer
- Vent Line
- Rising Main
- Redundant Foul Sewer Pipe

NOTE:
Private foul drains have the same symbols as those above, however they are coloured orange.

### Stormwater

- SW Bubble-up Tank
- SW Drop Manhole
- SW Insp Chamber and Grating Inlet
- SW Inspection Manhole
- SW Inspection Opening
- SW Lamphole
- SW Mudtank Inlet
- SW Outlet
- SW Pipe Inlet
- SW Pressure Manhole
- SW Standard Manhole
- SW Stormwater Node
- Roading Bubble-Up Tank
- Roading Mudtank
- Stormwater Main
- Stormwater Trunk Main
- DCC Open Channel
- Piped WC
- Open WC
- Culvert
- Stormwater Mudtank Pipe
- Redundant Stormwater Main
- SW Sump
- SW Pump Station

NOTE:
Private stormwater drains have the same symbols as those above, however they are coloured light green.

### General

- DCC Water & Waste Structure
- Railway Centreline

### Cadastral

- Parcel
- Hydro
- Strata
- Road/Rail
- Motorway Parcels
- Easment (where recorded)

Full legend can be viewed at https://www.dunedin.govt.nz/council-online/webmaps/waterservices

# Council Water & Drainage Services

Information shown is the best available at the time of publishing. The accuracy and completeness of This information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work. For all enquiries phone 03 477 4000.

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# Legend

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- Water Pump Station
- Water Bore
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- Water Storage Tank
- Supply Main
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- Water Service Lateral
- Water Fire Service Lateral
- Water Critical Service Lateral
- Water Zone Boundary
- Water Reservoir
- Redundant Water Main

NOTE:
Private water services have the same symbols as those above, however they are coloured pink.

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NOTE:
Private foul drains have the same symbols as those above, however they are coloured orange.

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- SW Bubble-up Tank
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- SW Inspection Opening
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- SW Outlet
- SW Pipe Inlet
- SW Pressure Manhole
- SW Standard Manhole
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- Hydro
- Strata
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# Council Water & Drainage Services

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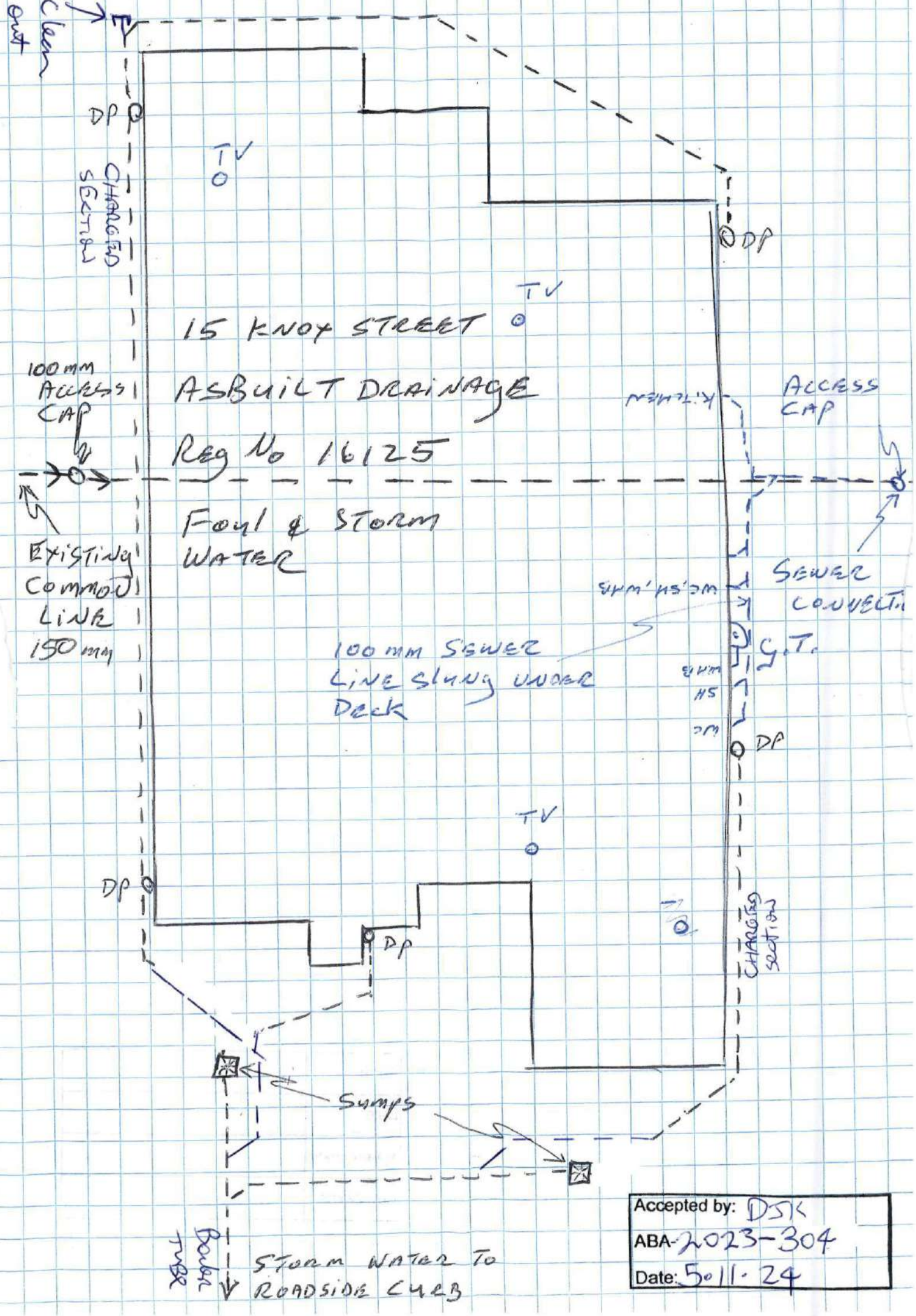



Accepted by: DJK
ABA-2023-304
Date: 5.11.24

| | |
|---|---|
| Admin: | Dani M |
| Date: | 09/12/24 |
| Application/Licence No: | ABA -2023 - 304 |
| Key Words: | As Built Drainage Plan |

**DUNEDIN CITY COUNCIL** | kaunihera a-rohe o Ōtepoti

**AS-BUILT DRAINAGE PLAN**

Please nominate:

- ☑ Underslab
- ☑ Foul
- ☐ Stormwater
- ☐ Effluent Disposal System

Building Consent Nº: ABA/2023-304

Site Address: 15 knox st

Plumber/Drainlayer: S Parata

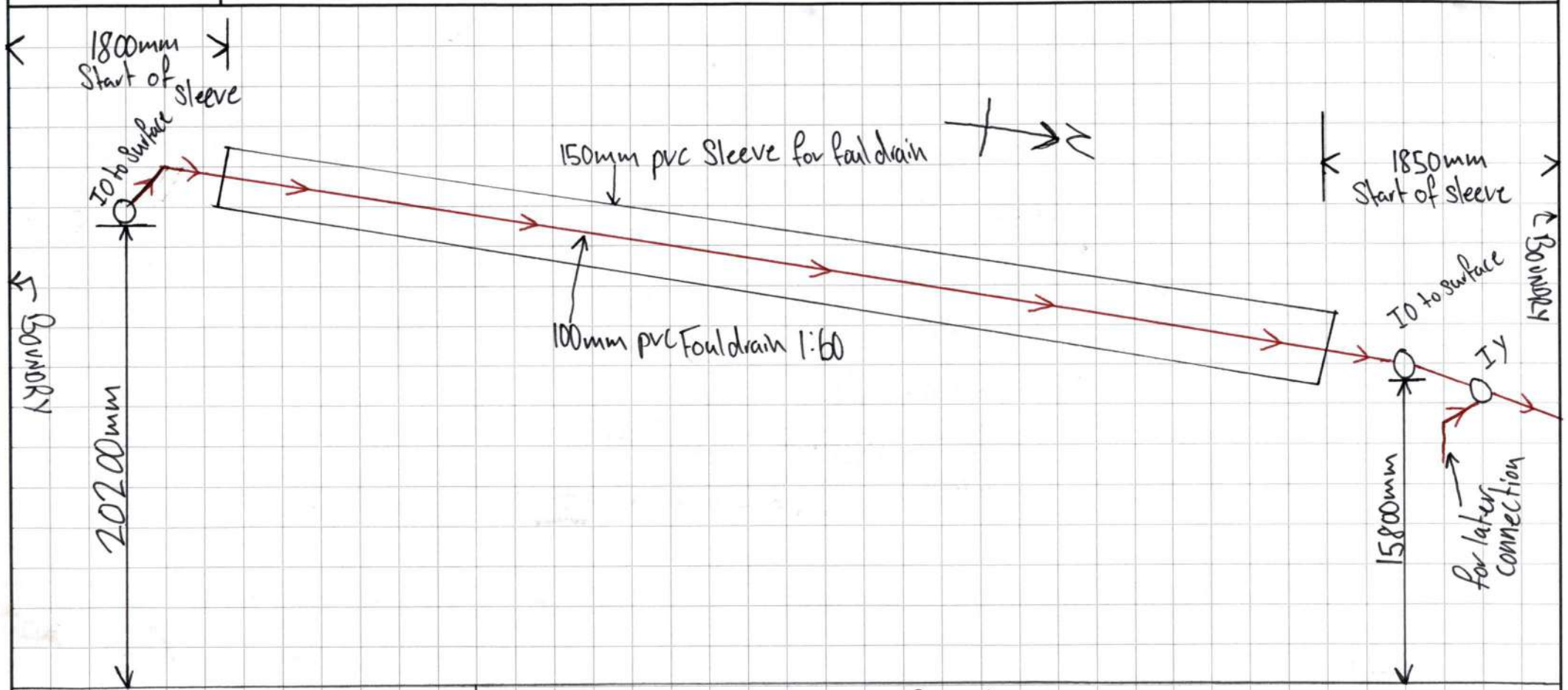
Registration Nº: 23759

**Please show the following items:**

1. *Site plan of section*
2. *Must include street or road names & North point*
3. *Drain measurements*
4. *Foul water drains (red ink)*
5. *Septic tank and effluent lines (red ink)*
6. *Stormwater drain – including down pipe positions (blue ink)*
7. *GT – Gully trap positions*
8. *TV – Terminal vent positions*
9. *IP – Inspection points*
10. *Falls and invert levels*

Scale drawn: Not to Scale

**(Plans must not be drawn in pencil)**




KEY

IO - Inspection opening

IY - Inspection Y junction

Boundry

FOOTPATH

Knox street

As Built Plan

Received by:

Date: 3/4/24

ABA No: 2023-304

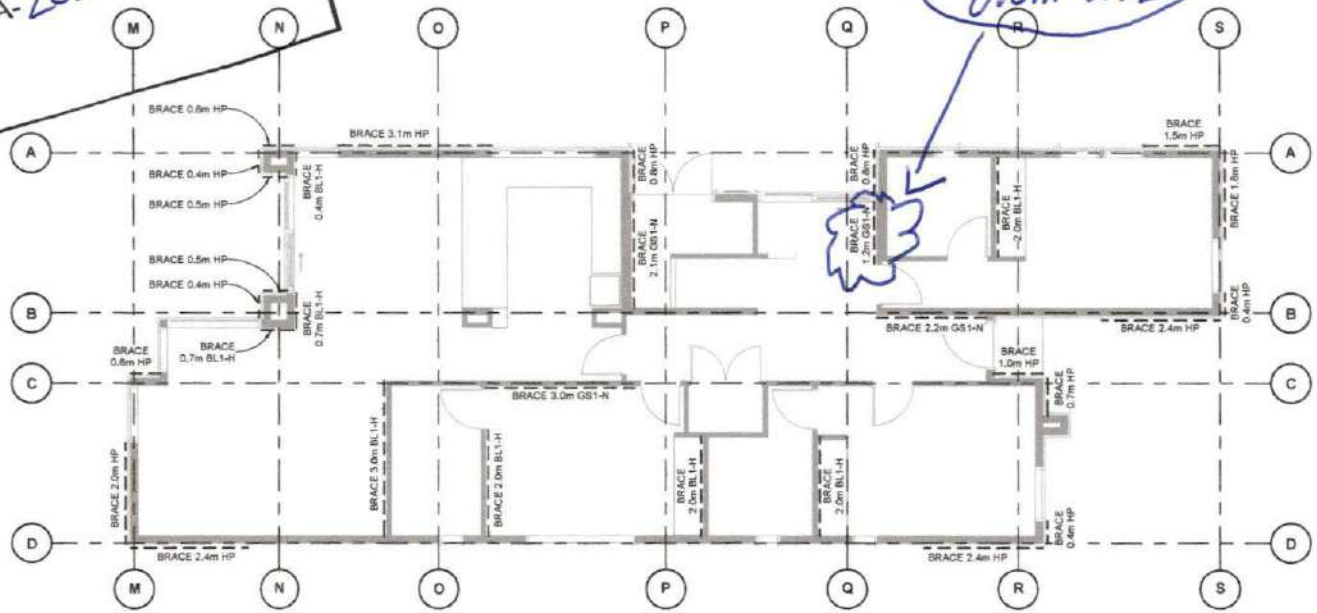
| | |
|---|---|
| Property Key | |
| Person Key | |
| Application/Licence No | ABA-2023-304 |
| Key Word | AS BUILT DRAINAGE PLAN. |

As built Bracing Plan

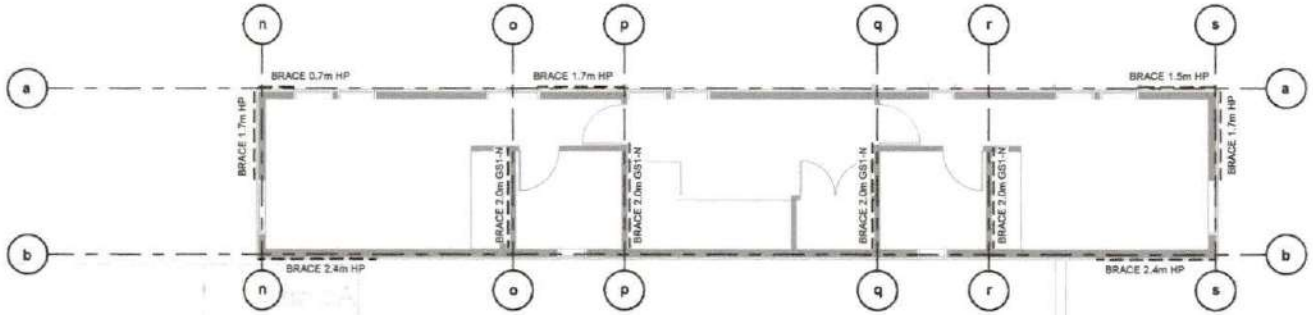
As Built Plan Approved | Dunedin City Council
Building Consent: ABA-2023-304
Date: 18/12/24

Changed to 0.6m 452

DUNEDIN CITY COUNCIL - Approved Building Consent Document
ABA-2023-304




**BRACING PLAN - GROUND**
1 : 100




**BRACING PLAN - UPPER**
1 : 100

| FIXING SCHEDULE<br>*LIGHT ROOF UP TO HIGH WIND ZONE* | |
|---|---|
| *Fixings described in this table are for typical connections. If conflict with any architectural or structural detail occurs, Fixing shown on detail takes precidence over this table* | |
| TOP PLATE TO STUDS ***BUILDING WRAP*** (EXTERIOR) | 2 / 90x3.15mm@ PLAIN STEEL WIRE NAILS DRIVEN VERTICALLY + 2 LUMBERLOK CPC40 BRACKETS* |
| TOP PLATE TO STUDS ***JH RIGID AIR BARRIER*** (EXTERIOR) | RIGID AIR BARRIER TO BE FIXED TO TOP PLATE & STUD AS PER MANUFACTURERS INFORMATION |
| TOP PLATE TO STUDS (INTERIOR NON-LOAD BEARING) | 2 / 90x3.15mm@ PLAIN STEEL WIRE NAILS DRIVEN VERTICALLY |
| TOP PLATE TO STUDS (INTERIOR LOAD BEARING) | 2 / 90x3.15mm@ PLAIN STEEL WIRE NAILS DRIVEN VERTICALLY + 2 LUMBERLOK CPC40 BRACKETS* |
| DOUBLING STUD TO LINTEL | REFER TO DETAILS |
| GIB HANDIBRAC | GIB HANDIBRAC FIXED WITH 8 / TEK SCREWS + BOWMAC SCREW BOLT* |
| TYPICAL BOTTOM PLATE FIXING | M10x140mm BOWMAC SCREW BOLT WITH 50x50x3mm WASHERS AT 600 CRS** |
| TYPICAL TOP PLATE TO TOP PLATE FIXING | UNLESS STATED OTHERWISE INSTALL 6kN TOP PLATE TO TOP PLATE CONNECTION AT EACH END OF WALL: LUMBERLOK PLATE-LOK NAIL PLATE* (WITH 2 BLUE SCREWS ON SIDE OF INTERIOR TOP PLATE FOR DOUGAS FIR & LVL) |
| 12 | WHERE INDICATED, INSTALL 12kN TOP PLATE TO TOP PLATE CONNECTION AT RIGHT ANGLES: 2 / LUMBERLOK SHEET BRACE STRAPS* FIXED WITH 8 / 30x3.15mm NAILS PER TOP PLATE PER STRAP (24 TOTAL) |
| ** FIXINGS TO BE INSTALLED IN ACCORDANCE WITH LUMBERLOK SPECIFIERS' AND USERS' MANUAL* | |
| *** BOWMAC SCREW BOLT TO BE FIXED IN ACCORDANCE WITH MITEK MANUFACTURERS INSTALLATION DETAILS* | |

| BRACING SYSTEMS | |
|---|---|
| GS1-N (10/13mm) | 10/13mm GIB STANDARD PLASTERBOARD FIXED ONE FACE HORIZONTAL OR VERTICAL |
| BL1-H (10/13mm) | 10/13mm GIB BRACELINE PLASTERBOARD FIXED ONE FACE WITH GIB HANDIBRAC TO BOTH END STUDS |
| HP (4.5mm) | 4.5mm HOMERAB PRE-CLADDING BRACING SYSTEM WITH GIB HANDIBRAC TO BOTH END STUDS |
| *GIB BRACING SHALL BE INSTALLED IN ACCORDANCE WITH GIB EZYBRACE SPECIFICATION* | |
| *JAMES HARDIE HOMERAB BOARD BRACING SHALL BE INSTALL IN ACCORDANCE WITH JAMES HARDIE BRACING SYSTEM - HOMERAB MANUAL* | |

18/12/24

BRACING PLAN


stevenson design limited
architectural design consultants

234 FORBURY ROAD, ST CLAIR
PO BOX 9008, DUNEDIN 9047
phone: (03) 4555440
mike@stevensondesign.co.nz


# KNOX ST DEVELOPMENT

PROPOSED NEW DWELLING - 15 KNOX STREET

| BC ISSUE | REV | SCALE: As Indicated @ A3 | SHEET No. A10 |
|---|---|---|---|
| | | DATE: 26-04-2023 | |
| | | PROJECT No. 2503 | of 30 |

| | |
|---|---|
| Admin: | JCH |
| Date: | 20/12/2024 |
| Application/Licence No: | ABA-2023-304 |
| Key Words: | As-built Drainage Plan |

DUNEDIN CITY COUNCIL | kaunihera a-rohe o Ōtepoti

**AS-BUILT DRAINAGE PLAN**

Please nominate:

- ☑ Underslab
- ☑ Foul
- ☐ Stormwater
- ☐ Effluent Disposal System

Building Consent N°: 2023-304

Site Address: 15 Knox St NEV

Plumber/~~Drainlayer~~: Ross Rickard

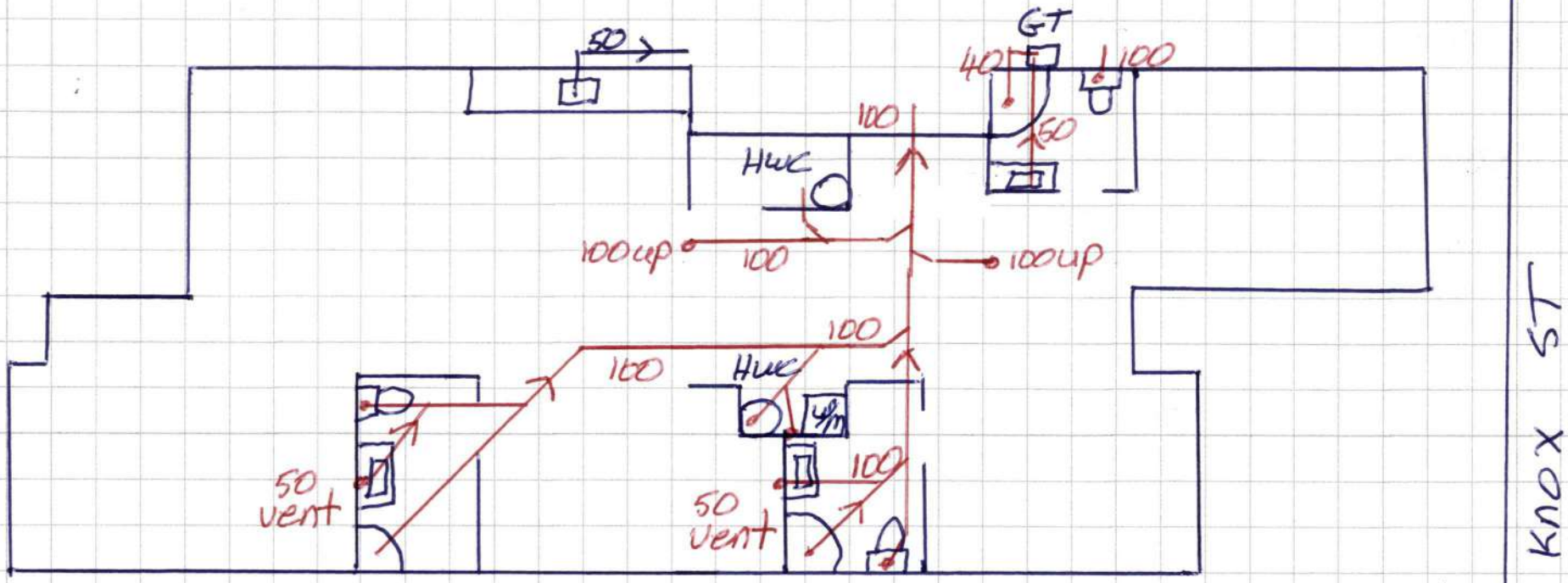
Registration N°: 12584

**Please show the following items:**

1. *Site plan of section*
2. *Must include street or road names & North point*
3. *Drain measurements*
4. *Foul water drains (red ink)*
5. *Septic tank and effluent lines (red ink)*
6. *Stormwater drain – including down pipe positions (blue ink)*
7. *GT – Gully trap positions*
8. *TV – Terminal vent positions*
9. *IP – Inspection points*
10. *Falls and invert levels*

Scale drawn: 1:100

**(Plans must not be drawn in pencil)**




Lower Floor

As Built Plan Approved | Dunedin City Council
Building Consent: ABA-2023-304
Date: 17-12-24

Ross Richard.

DUNEDIN CITY COUNCIL | kaunihera a-rohe o Ōtepoti

**AS-BUILT DRAINAGE PLAN**

Please nominate:

- ☐ Underslab
- ☑ Foul
- ☐ Stormwater
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Building Consent Nº: 2023 – 304

Site Address: 15 Knox St NEV

Plumber/~~Drainlayer~~: Ross Rickard

Registration Nº: 12584

**Please show the following items:**

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3. *Drain measurements*
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5. *Septic tank and effluent lines (red ink)*
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8. *TV – Terminal vent positions*
9. *IP – Inspection points*
10. *Falls and invert levels*

Scale drawn: 1:100

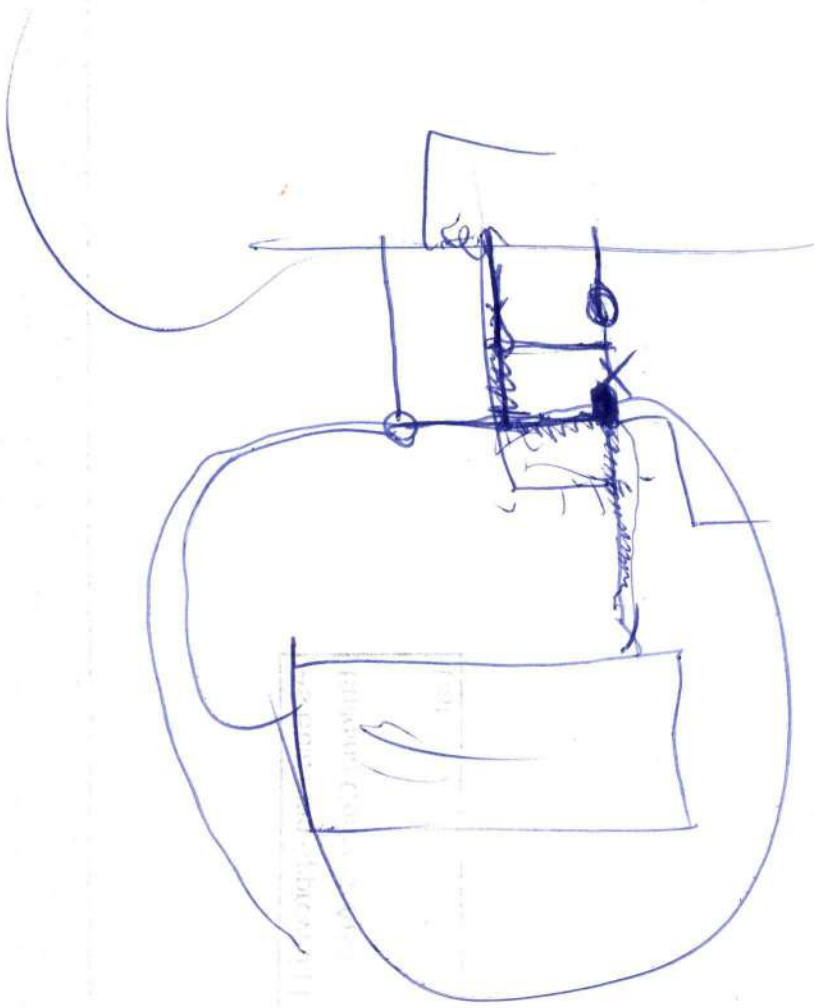
**(Plans must not be drawn in pencil)**

As Built Plan Approved | Dunedin City Council
Building Consent: ABA-2023-304
Date: 17-12-24

Upper Floor

Knox ST

RS Rickard.



| | |
|---|---|
| Admin: | Dani M |
| Date: | 18/12/24 |
| Application/Licence No: | ABA - 2023 - 304 |
| Key Words: | As Built Underdrain and Foul Drainage Plans |

FOUNDATIONS DETAILED ARE PROVISIONAL ONLY.
CONTACT THE ENGINEER DURING EXCAVATION TO FINALISE FOUNDATION DETAILS.

CONCRETE CONSTRUCTION SHALL COMPLY WITH NZS 3109: 1997.
CONCRETE STRENGTH EXCEPT WHERE NOTED OTHERWISE SHALL BE 20 MPa AT 28 DAYS.

CONCRETE MASONRY SHALL COMPLY WITH NZS 4210: 2001. ALL CELLS OF CONCRETE BLOCKS SHALL BE FILLED ( 20 MPa ) USING THE HIGH-LIFT GROUT METHOD.
CONSOLIDATION AND RE-CONSOLIDATION SHALL BE BY CONCRETE VIBRATOR.

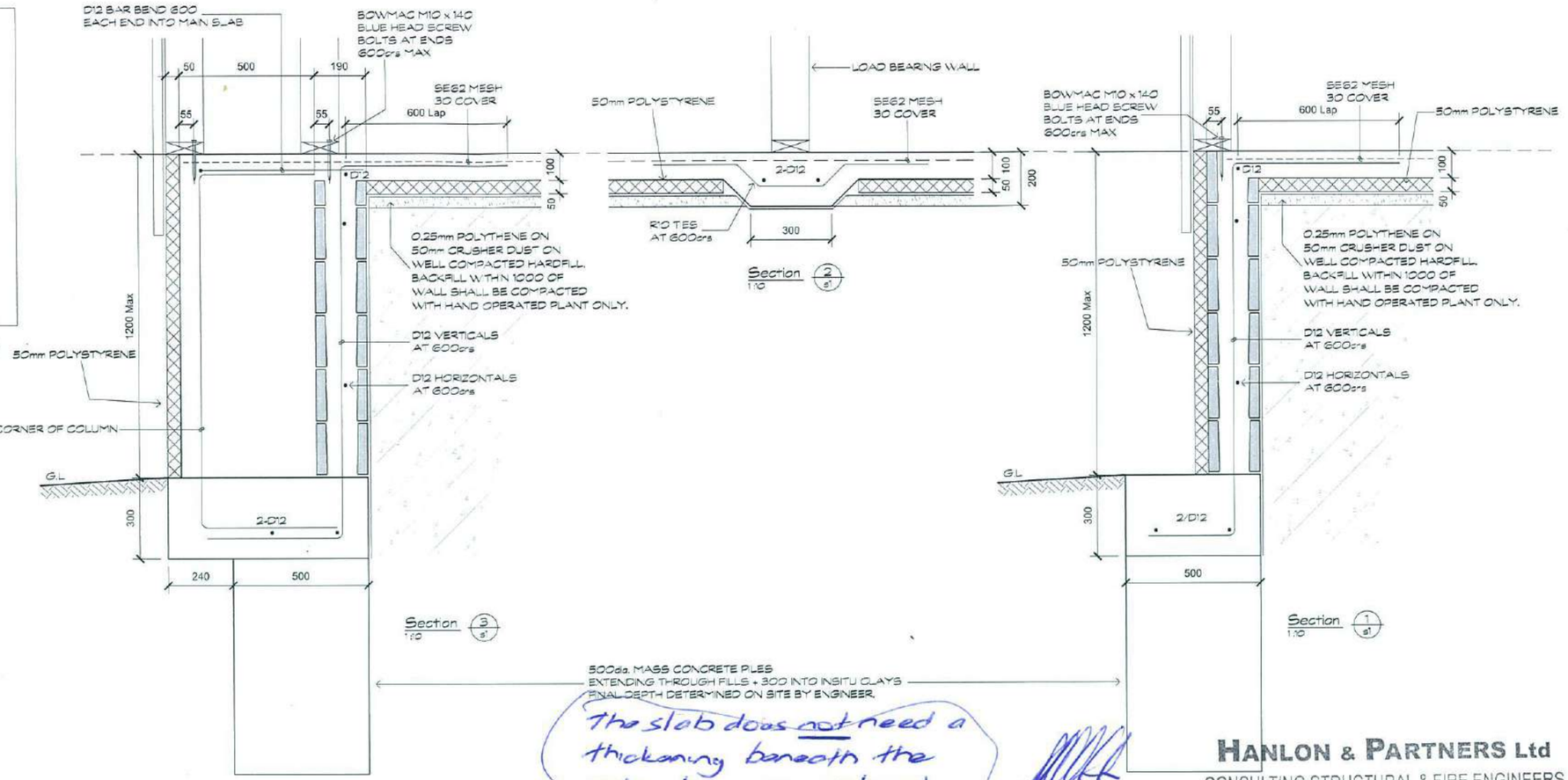
REINFORCING SHALL COMPLY WITH AS / NZS 4671 : 2001.
H16 DENOTES 16mm DIAMETER, DEFORMED GRADE 500E REINFORCING MICRO ALLOY ONLY.
D12 DENOTES 12mm DIAMETER, DEFORMED GRADE 500E REINFORCING.
R10 AT 400 DENOTES 10mm DIAMETER PLAIN GRADE 300 REINFORCING AT 400 CENTRES.
GRADE 500 QUENCHED & TEMPERED REINFORCING NOT TO BE USED.

REINFORCING MESH SHALL BE GRADE 500E SE62 MESH.
LAP MESH EDGES AS PER MANUFACTURERS LITERATURE,
WHERE CUT SHEET EDGES DO NOT HAVE A DOUBLE BAR LAP SHEETS 300mm MINIMUM.

ALL REINFORCING BENDS SHALL BE BY PURPOSE BUILT TOOL OR
TOOLS TO ACHIEVE BEND DIAMETERS SPECIFIED IN NZS 3109 : 1997.
H10 = 50mm / H12 = 60mm / H16 = 80mm / H20 = 100mm

LAP LONGITUDINAL GRADE 500E REINFORCING 70x BAR DIAMETERS
LAP ALL OTHER GRADE 300E REINFORCING 50x BAR DIAMETERS WHERE CONVENIENT,
BUT STAGGER LAPS. LAP MESH EDGES 300mm MINIMUM.

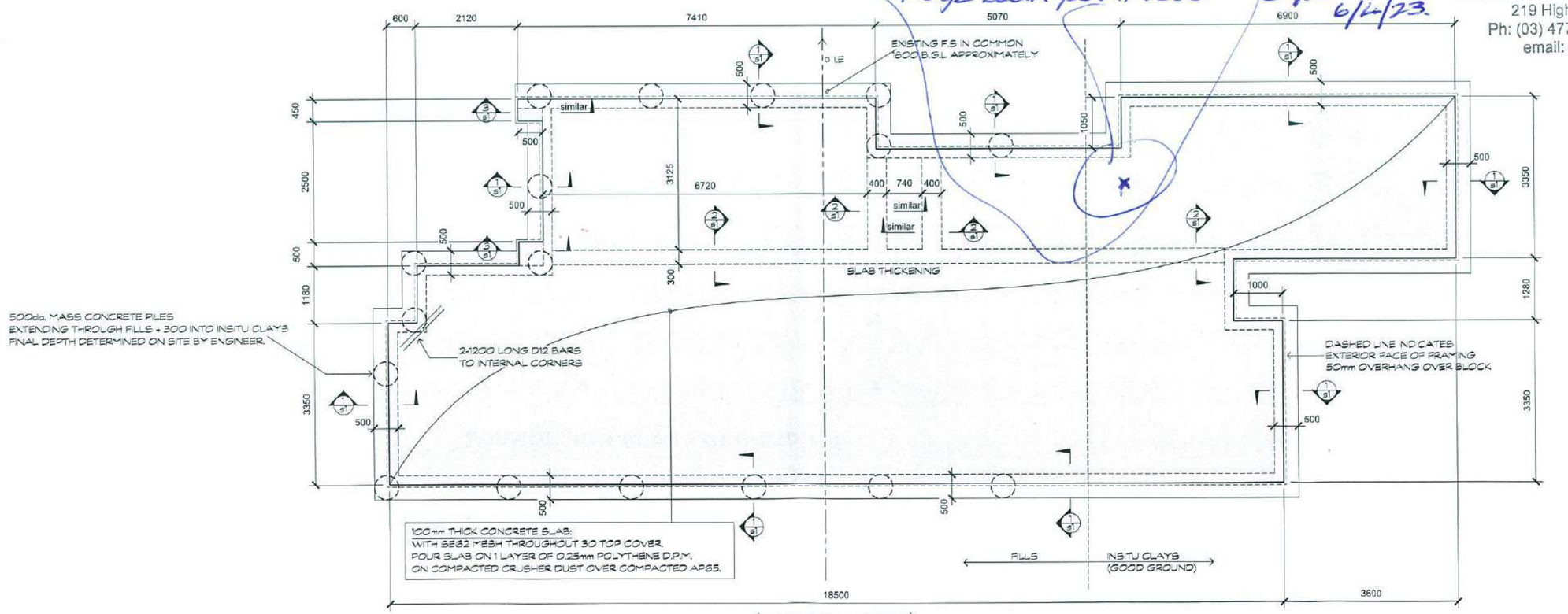
VERIFY LAYOUT & DIMENSIONS WITH ARCHITECTURAL DRAWINGS BEFORE COMMENCING CONSTRUCTION.




The slab does not need a thickening beneath the ridge beam point load

6/4/23.


**HANLON & PARTNERS Ltd**
CONSULTING STRUCTURAL & FIRE ENGINEERS
219 High Street, Dunedin, 9018
Ph: (03) 477 7475 Fax: (03) 479 2597
email: office@hanlons.co.nz


FOUNDATION PLAN 1:50 at A1

| No. | DATE | REVISION |
|---|---|---|


**HANLON & PARTNERS Ltd**
CONSULTING STRUCTURAL ENGINEERS
219 High Street, Dunedin 9016
Ph: (03) 477 7475 email: office@hanlons.co.nz


Proposed Dwelling for S. Bremner

15 Knox Street

| | | | |
|---|---|---|---|
| DESIGNED: B.C | | CPEng: B.C | |
| DRAWN: J.N | | SCALE: As shown at A1 | |
| JOB No. 20563 | | SHEET NO. S1 | |
| ISSUED 23/02/2023 A0552.pln | | | |


Structural Drawings must be read in conjunction with Architectural Drawings. This Drawing is Copyright and may not be reproduced in part or in full without the permission of the Engineers. All Dimensions shall be confirmed on site before commencing construction. COS denotes confirm on site.

# Building Consent - ABA-2024-941
(Section 51, Building Act 2004)
Form 5

## The building

Street address of building: 15 Knox Street Dunedin

Legal description of land where building is located: PT LOT 23 DEEDS 326

Building name: N/A

Location of building within site/block number: N/A

Level/unit number: N/A

## Owner

Name of owner: Sortehaug Residential Limited

Contact person: Sortehaug Residential Limited

Mailing address: C/O Stevenson Tua'I Architectural Consultants Ltd, 202A Main South Road, Green Island, Dunedin 9018

Street address/registered office:

Mobile: Landline:

Email address: scottb@bayleysmetro.co.nz

First point of contact for communications with the building consent authority: As above

## Building work

The following building work is authorised by this building consent:
Amendment to ABA-2023-304 - Replace Cladding, Install Beam and correct error on setout plan

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any other responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:
Agents authorised by the building consent authority for the purposes of the Building Act 2004 section 90(1) are entitled at all times during normal working hours or while building work is being done, to inspect land and buildings.

Compliance Schedule
A compliance schedule is not required for the building.

Attachments
Copies of the following documents are attached to this building consent:
Project Consideration PCON-2024-336

Team Leader Processing (Building Consents)
On behalf of Dunedin City Council

Date of issue: 25 July 2024

18 October 2022

Sortehaug Residential Limited
C/O Anderson and Co
PO Box 5933
Dunedin 9054

Via email: conrad_a@xtra.co.nz

Dear Conrad

RESOURCE CONSENT APPLICATION: LUC-2022-392
15 KNOX STREET
DUNEDIN

Your application for resource consent was processed on a non-notified basis in accordance with sections 95A to 95G of the Resource Management Act 1991. The application was considered by a Senior Planner under delegated authority on 18 October 2022.

The Council has granted consent to the application with a condition or conditions. The assessment of the application, including the reasons for the decision, is set out in the report attached to this letter. The consent certificate is attached to the rear of this letter.

The consent certificate outlines the conditions that apply to your proposal. Please ensure that you have read and understand all of the consent conditions.

You may object to this decision or any condition within 15 working days of the decision being received, by applying in writing to the Dunedin City Council at the following address:

Senior Planner - Enquiries
Dunedin City Council
PO Box 5045
Dunedin 9054

You may request that the objection be considered by a hearings commissioner. The Council will then delegate its functions, powers and duties as an independent hearings commissioner to consider and decide the objection. Please note that you may be required to pay for the full costs of the independent hearings commissioner.

Alternatively, there may be appeal rights to the Environment Court. Please refer to section 120 of the Resource Management Act 1991. It is recommended that you consult a lawyer if you are considering this option.

You will be contacted in due course if you are due a partial refund or you have to pay additional costs for the processing of your application. Given the nature of your intended works, this consent will require one inspection. The fee for your scheduled inspection will be included in the invoice for your application. If additional inspections are required beyond those scheduled, then you will be invoiced at that time in }Œ v Á]šZ šZ }µv ]o[• ( • • Z µo X

Development contributions are payable for this resource consent. A development contribution notice will be sent in due course outlining how the development contribution has been calculated and when payment is required.

Please feel free to contact me if you have any questions.

Yours faithfully

Madeline Seeley
Planner

# APPLICATION LUC-2022-392 – 15 KNOX STREET, DUNEDIN

Department: Resource Consents

## DESCRIPTION OF ACTIVITY

The applicant seeks resource consent to erect a new dwelling to replace the existing dwelling on a site at 15 Knox Street, North East Valley, Dunedin.

The new dwelling will have a footprint of 148m². On-site car parking and vehicle manoeuvring are proposed in the front yard due to the site being relatively narrow. The ground floor level of the proposed dwelling is estimated to be approx. 700mm above the level of the adjacent street.

Further information was provided on 10th October, noting the following with respect to meeting the Minimum Floor Level specifications for areas prone to flooding at Building Consent stage:

> ^Y šZ Œ} vš Œ o]v ]• •µŒÀ Ç the GIS Mapping suggests a minimum floor level of 123.60m. The floor level has been set at 122.20m which is more than the required ñìì uu (Œ } Œ (}Œ µ]o ]vP }v• všY_

The earthworks required to facilitate the proposal are estimated by the applicant as follows:

- 25.5m³ of excavation (footings, driveway), to be reused as landscaping over the site.
- 14.5m³ for hard fill for the driveway (with the dwelling foundation and slab being additional 105m³). Overall cut/fill will comprise 144 cubic meters of earthworks.
- Any resulting change in ground level will be less than 0.5m.

The proposed dwelling will contain 5 bedrooms and 2 levels, the proposed street elevation is shown below. The proposed design is visually very interesting comprising 2 long-pitched buildings, one single storied and the other double storied, their rooflines and design mirroring one another, and brought together by the central front door, which has a design feature framing it.

The subject site is 537m², mostly flat, rectangular in shape, and contains an existing dwelling (footprint of 120m²). The site has a car port right on the front boundary, cantilevered off a brick boundary wall shared with 11 Knox Street (the property to the south). Lindsay Creek runs along its northern boundary. The site

is located in the student residential area of Dunedin, immediately adjacent to The Botanic Garden, close to the Otago University Campus and the North East Valley Local Centre. Knox College is located at the end of Knox Street, to the east. The application states the existing dwelling is used as a rental on tenancies of 12 months or less.

The subject site is legally described as Part Lot 23 DEEDS 326 held in Record of Title OT282/14.

## REASONS FOR APPLICATION

Dunedin currently has two district plans: the Operative Dunedin City District Plan 2006 (šZ ^K‰ Œ š]À ]•šŒ] šUWo vš_Z WŒ}‰}• ^ }v ' v Œ š]}v µv ]v ]šÇ ]•šŒ] š Wo v the Proposed 2GP is made fully operative, both district plans need to be considered in determining the activity status and deciding what aspects of the activity require resource consent.

The activity status of the application is fixed by the provisions in place when the application was first lodged, pursuant to section 88A of the Resource Management Act 1991. However, it is the provisions of both district plans in force at the time of the decision that must be had regard to when assessing the application.

### Operative District Plan

The subject site is zoned Residential 1 in the Operative District Plan.

The relevant rules of the Operative District Plan have been assessed against the corresponding rules of the Proposed 2GP. None of relevant rules of the Proposed 2GP are subject to any appeals. As such, this application has been assessed on the basis that the rules of the Operative District Plan are deemed inoperative and only the rules of the 2GP have been used in this assessment.

### Proposed 2GP

The subject site is zoned General Residential 2 in the 2GP and is subject to the following mapping overlays:

- Wastewater Constraint Mapped Area
- Hazard 2 (flood) Overlay Zone
- Designation (D216) – north end of the site only

The Proposed 2GP was notified on 26 September 2015, and the Proposed 2GP rules had immediate legal effect from this date. Some rules became fully operative following the close of submissions, where no submissions were received. Additional rules came into legal effect upon the release of decisions. Those additional rules become fully operative if no appeals are lodged or once any appeals have been resolved.

### City-wide Activities – Earthworks

The proposed earthworks do not comply with the following performance standards:

- Rules 8A.5.1.5.a.i and 8A.5.1.5.a.x which specify a maximum volume of combined cut and fill of for earthworks as 30m³ per 100m² of site, but a maximum of 40 cubic meters of fill in the Hazard 2 (flood) and Hazard 3 (alluvial fan) overlay zones. Fill comprising 119.5 cubic meters is proposed (as well as an estimated 25.5 cubic meters of cut), exceeding the threshold for this overlay zone.

The earthworks are therefore assessed as Earthworks – large scale and are a restricted discretionary š]À]šÇU ]v }Œ v Á]šZ Zµo ô XïXîXïX }µv ]o[• u šš Œ• }( ]• Œ š

- Effects on visual amenity (8A.7.2.1(a))
- Effects on amenity of surrounding properties (8A.7.2.1(b))
- Effects on the stability of land, buildings, and structures (8A.7.2.1(c))
- Effects on biodiversity values (10.6.3.3)
- risk from natural hazards (8A.7.3.5 and 11.5.2.4))

City-wide Provisions – Natural Hazards

Land use
^ š ] } v í í X í X ï } ( š Z î ' W v } š • š Z š Œ • ] v š ] o š ] À ] š ] • Rule ^ v š µ Œ o
15.3.6.1b determines that natural hazards sensitive activities are a restricted discretionary activity in areas over which the Hazard 2 (flood) overlay zone applies. While the proposal does not introduce a new sensitive activity (as standard residential activity already exists on the site), existing use rights will/could be lost for the existing land use and thus the land use is authorised as part of this application. } µ v ] o [ • discretion is limited to the following matters:

- risks from natural hazards

Development
In addition, Rule 15.3.6.3b determines that new buildings that create more than 20m² of new ground floor area in a Hazard 2 (Flood) zone are a restricted discretionary activity. The proposed new dwelling at 148m² in footprint, will be larger than the existing dwelling, at 120m² in footprint. While the new dwelling will only be 28 square meters larger than the existing dwelling, the full floor area of the new dwelling is } µ v š • ^ v Á P Œ } µ v ( o } } Œ Œ al loss of existing use rights. } µ v ] o [ • ] • Œ š ] } v is restricted to the following matters:

- risks from natural hazards

Land Use Activity

Standard residential activity is a permitted activity in the underlying General Residential 2 Zone. General Residential 2 Zone. Within a wastewater constraint mapped area, the maximum development potential (density) is 1 habitable room per 100m². Five bedrooms are proposed on a 537 meters squared site, complying with density. The proposed standard residential activity appears to comply with the land use performance standards.

Development Activity

The proposal will fail to comply with the following performance standards:

x Rule 15.3.4.23.1 Location and screening of car parking (links to Rule 15.6.7), which requires that parking and access areas and garages and carports must not occupy more than 50% of the area of the front yard that is part of the road boundary setback (4.5m). The site is 12.18m wide, giving a front yard area of 54.81m² (12.18m x 4.5m). The drive and parking area is 48m² (approx.), being 88% of the front yard. In accordance with Rule 15.6.7.3, the proposal is a restricted discretionary activity. } µ v ] o [ • ] • Œ š ] } v ] • o ] u ] š š } š Z ( } o o } Á ] v P u š š Œ • W

- Effects on neighbourhood residential character and amenity

National Environmental Standards

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into effect on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. Activities on HAIL sites may need to

comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent.

A search of DCC records has been undertaken to determine whether the site has a history of HAIL activity. HAIL-2020-161 shows there is no evidence to suggest there is any HAIL activity on the site. A search of the ORC database has been undertaken and there is no evidence of HAIL activity on the site or in the immediate vicinity of the site.

It is considered, more likely than not, that no activities have been undertaken on the site that appear on the HAIL.

As such, the National Environmental Standard is not applicable to the proposed development. There are no other National Environmental Standards relevant to this application.

## Overall Status

Where an activity requires resource consent under more than one rule, and the effects of the activity are inextricably linked, the general principle from case law is that the different components should be bundled and the most restrictive activity classification applied to the whole proposal.

In this case, there is more than one rule involved, and the effects are linked. As a result, having regard to the most restrictive activity classification, the proposal is considered to be a restricted discretionary activity.

## WRITTEN APPROVALS AND EFFECTS ASSESSMENT

### Affected Persons

No affected persons forms were submitted with the application. No person or party is considered to be adversely affected by the activity. This is because the environmental effects of the proposal are limited to effects on parties that are less than minor for the reasons described below under the section titled Z ( ( š • } v š Z v À ] Œ } v u v š [

### Effects on the Environment

<u>Permitted Baseline</u>

Under sections 95D(b) and 104(2) of the Resource Management Act 1991, the Council may disregard an adverse effect of the activity on the environment if the district plan or a national environmental standard permits an activity with that effect.

This is the permitted baseline. In this situation it comprises parking loading and access activities covering up to 50% of the front yard area, but up to 80% of the site can have impermeable surfaces (including dwelling and structur • [ ( } } š ‰ Œ ] v š • U ] v o µ ] v P Z Œ • µ Œ ( ] v P } ( o o } ( š Z ( Œ used for parking.

In terms of residential activity/development in the Hazard 2 Flood Zone, a permitted development baseline of 36m² of new ground floor area every two calendar year period, however, no permitted baseline exists for Natural hazards sensitive activities (land use) in the Hazard 2 Flood Zone (noting that, this is not the establishment of standard residential activity in a hazard zone, rather the continuation of standard residential activity in a different dwelling).

It is considered that this is the appropriate baseline against which the activity should be considered. As a result, it is the effects arising from the proposal, beyond the permitted baseline, that are the crucial elements for consideration.

Receiving Environment

The existing and reasonably foreseeable receiving environment is made up of:

- The existing environment and associated effects from lawfully established activities;
- Effects from any consents on the subject site (not impacted by proposal) that are likely to be implemented;
- The existing environment as modified by any resource consents granted and likely to be implemented; and
- The environment as likely to be modified by activities permitted in the district plan.

For the subject site and adjacent land, the existing and reasonably foreseeable receiving environment comprises a mixture of medium density residential, supported living facilities, commercial, recreation and school activities. The immediate environment is medium density housing mostly occupied by Otago University/Polytechnic student tenants. At close proximity to the site are a large student residential college (Knox College); the Dunedin Botanic Gardens; the Gardens Suburban Centre with a supermarket and other retail activity; and Dunedin North Intermediate School.

It is against these that the effects of the activity, beyond the permitted baseline, must be measured.

Assessment Matters/Rules

Consideration is required of the relevant assessment matters in the Operative District Plan and the relevant assessment rules in the Proposed 2GP, along with the matters in any relevant national environmental standard. d Z ] • • • • u v š ] • o ] u ] š š } š Z u š š Œ š ] n Á Z ] Z š Z } been restricted. No regard has been given to any trade competition or any effects of trade competition.

1. Effects on neighbourhood residential character and amenity (Proposed Plan)
   The 2GP directs Council to ensure that garages, carports, and car parking do not dominate the street (Policy 15.2.4.1a). Potential circumstances that may support a consent application (relevant to this application) are listed as including:

   - Landscaping or other features soften the impact of the activities.

   The application notes:

   > A planting strip (approx. 700mm wide by 8,750mm long) along the street frontage is available for planting (this is approx. 70% of the frontage length).

   The applicant further notes that the reason for locating the parking and vehicle manoeuvring in the front yard is the shape of the site being relatively narrow. This reason provided is accepted as a site constraint as the site has a width of around 11.5m, when accounting for setbacks and driveway widths etc. that would be required with running a driveway down one side of the house, the parking in the front yard likely functions better in the context of the site. Further to this, situating the car parking at the rear of the site would be occupying the best /sunniest outdoor living area, compromising on-site amenity. The application also notes that the redevelopment of the site will include the removal of the existing carport and boundary wall, resulting in an enhanced outcome in terms of visibility between vehicles and pedestrians. X d Z Œ ‰ } Œ š v } µ v Œ Ç constitute large structures occupying the front yard of the site. Their removal will have a positive effect on the streetscape.

   No landscaping is specifically proposed although the applicant has suggested the following condition to ensure sufficient planting is established and maintained to mitigate the adverse effect of the parking dominating the street:

> ^ The land within the road boundary setback (4.5m), except where occupied by driveway/impermeable surfaces (as per the plans attached to LUC-2022-392) must be planted with trees, shrubs and/or groundcover species that are native to New Zealand (it may not be managed as lawn). This is to include at least 3 trees or shrubs that are to be at least 2m high at the time of planting and capable of growing to a minimum of 3m high. All trees and landscaping required by this condition must be maintained and if dead, diseased or damaged, must be replaced. For the avoidance of doubt, this condition does not restrict the erection of a fence on the road boundary, but if a fence is erected, the required planting remains. X X _

A landscaping condition has been adopted to ensure planting is established and maintained to mitigate the adverse effect of the breach of Location and Screening of Car Parking Performance Standard. It is also noted that there is a large street berm and a number of street trees lining the street, providing some greenery and an additional setback from the Knox Street carriageway.

Overall, in the context of the site and its surrounds, including site constraints and subject to compliance with the planting / landscaping condition, the proposal is considered to result in only a minor adverse effect on the residential character and amenity of the area through occupying 88% of the front yard with car parking.

2. Risk from Natural Hazards

d Z v Á Á o o ] v P v š Z Œ µ š Z } Œ ] • š ] } v } ( š Z Z v š µ Œ o Z Ì Œ requires consideration of the risk from natural hazards. The new dwelling will have 28 square meters more in terms of footprint and will accommodate more people. Other than these aspects, the standard residential activity on the site will continue and the new dwelling will not really change the nature of this. The risk from natural hazards, specifically flood is countered by the higher floor level than the existing dwelling. As noted elsewhere in this report, the slight increase in footprint overall requires resource consent on a technical matter only, as 36 square meters of ground floor area is permitted to be added to buildings every 2 years in the hazard 2 flood zones. The new floor area is under what would be permitted if the development sought to modernise and extend the existing dwelling, However, the proposal is to replenish the dwelling in full, which is a better outcome in terms of risk from flood as it means the whole floor level can be lifted.

Overall, it is considered that the development will result in no more than low risk of flooding and should not exacerbate the flood risk for surrounding sites.

3. Effects on visual amenity; amenity of surrounding properties; stability of land, buildings and structures and biodiversity values

The proposed earthworks are considered large scale due to the lower threshold for filling in a hazard 2 flood Zone. However, the proposed volume of fill is somewhat misleading, as noted by the applicant:

> ^ Y u } • š } ( š Z ³ (is associated with the foundations. The foundations are a typical building design i.e. make a concrete block perimeter, then fill the internal bit with gravel, then lay the concrete floor on top. The result is a floor level above the ground level, quite normal in terms of design, heights etc. The dwelling does not yet have a building consent, v ( } µ v š ] } v • š Z š Œ v } š ‰ ] o • he Foundations are not considered X / ( š ( ] o o U š Z v š Z ( ] o o ‹ µ v š µ u ] • ‰ Œ u ] š š š ] À ] š Ç X _

The majority of fill is to contained within the perimeter of the proposed dwelling, not to build the ground level up. Thus, the effect of the fill or the aspect of the proposal that triggers resource consent overlaps with the effect of the bulk of the building (which is compliant). The fill will be contained within the building, which will be subject to building consent. The site is reasonably flat and the proposed fill will not be visible from outside of the property, nor will it be distinguishable from the actual construction of the dwelling. Therefore, the visual effects and effects on the amenity of the surrounding properties will be limited to the construction of the dwelling, and not

the earthworks. Other than filling the dwelling foundations, the earthworks will be limited to 25.5m3 of excavation (footings, driveway) and 14.5m³ for hard fill for the driveway. The application Á • v } š • v š š } Engineer] for the following reasons:

- The site is reasonably flat and any new development should not affect the stability of land buildings and structures elsewhere;
- The earthworks are primarily for the building foundation, which will be included and possibly assessed by engineers at the time of building consent
- A house already exists on the property and the newer dwelling is not a great deal larger, and meets the permitted baseline were it just an extension of the existing dwelling.

The risk from natural hazards, specifically flood, while increasing the number of bedrooms on the site so increasing the number of people that may be affected by a flood, will actually reduce as a result of the application. The dwelling will have a higher floor level and will occupy much more of the site than the existing dwelling. When in including the dwelling and car port in total site coverage (existing) the new dwelling will be very close to the existing. As such, it is not considered that the new dwelling will displace flood waters onto neighbouring sites any more than the existing bulk on the site (dwelling and car port). Standard earthworks conditions are included to ensure the earthworks and construction of the dwelling minimise the impact on neighbours for the duration of the redevelopment of the site.

In terms of the effects on biodiversity values, there are no known biodiversity values associate with the site, however, the site is bordered by Lindsay Creek. Conditions have been included in the decision certificate to ensure the earthworks are carried out following Best Practice Guidelines, including ensure no soil/runoff enters this urban creek.

Overall, in the context of a residential site being redeveloped, were it not for the hazard overlay, the quantity of earthworks would be a permitted activity and an anticipated aspect of any construction/development. The effects will be temporary.

4. Transportation (Operative Plan 8.13.7; Proposed Plan)
The application was not ( } Œ Á Œ š } } µ v ] o [o Operations Department for comment. This is because no breaches of the Parking Loading and Access standards has been detected. Knox Street is a Local Road in the Transportation Road Hierarchy and as such, on manoeuvring is not required.

5. Cumulative Effects (Operative Plan 8.13.13; Proposed Plan)
The effects from this proposal are not considered to add to the existing effects on the subject site or on adjoining sites such that the cumulative effects are more than minor.

NOTIFICATION ASSESSMENT

Public Notification

Section 95A of the Resource Management Act 1991 sets out a four-step process for determining public notification. Each step is considered in turn below.

Step 1: Mandatory public notification in certain circumstances

- Public notification has not been requested.
- There has been no failure or refusal to provide further information.
- There has been no failure to respond or refusal to a report commissioning request.
- The application does not involve the exchange of recreation reserve land.

Step 2: If not required by Step 1, public notification precluded in certain circumstances

- There are no rules or national environmental standards precluding public notification.
- The application does not involve: a controlled activity, or a boundary activity. As a result, public notification is not precluded under Step 2.

Step 3: If not precluded by Step 2, public notification required in certain circumstances

- There are no rules or national environmental standards requiring public notification.
- The activity will not have, or be likely to have, adverse effects on the environment that are more than minor.

Step 4: Public notification in special circumstances

- There are no special circumstances that warrant the application being publicly notified. There is nothing exceptional or unusual about the application that makes public notification desirable.

Limited Notification

Section 95B of the Resource Management Act 1991 sets out a step-by-step process for determining limited notification. Each step is considered in turn below.

Step 1: Certain affected groups and affected persons must be notified

- The activity is not in a protected customary rights area; the activity is not an accommodated activity in a customary marine title area; and, the activity is not on or adjacent to, or might affect, land that is the subject of a statutory acknowledgement.

Step 2: If not required by Step 1, limited notification precluded in certain circumstances

- There are no rules or national environmental standards precluding limited notification.
- The application does not involve a controlled activity that is not a subdivision.

Step 3: If not precluded by Step 2, certain other affected persons must be notified

- The application does not involve a boundary activity.
- d Z Œ Œ v } ‰ Œ • } v • Á Z Œ š Z š ] À ] š Ç [ • À Œ • ( ( š • } v š than minor (but are not less than minor).

Step 4: Further notification in special circumstances

- There are no special circumstances that warrant the application being limited notified. There is nothing exceptional or unusual about the application that makes limited notification to any other persons desirable.

SUBSTANTIVE DECISION ASSESSMENT

Effects

In accordance with section 104(1)(a) of the Resource Management Act 1991, the actual and potential adverse effects associated with the proposed activity have been assessed and outlined above. It is considered that the adverse effects on the environment arising from the proposal are no more than minor.

## Offsetting or Compensation Measures

In accordance with section 104(1)(ab) of the Resource Management Act 1991, there are no offsetting or compensation measures proposed or agreed to by the applicant that need consideration.

## Objectives and Policies

In accordance with section 104(1)(b) of the Resource Management Act 1991, the objectives and policies of the Operative District Plan and the Proposed 2GP were taken into account when assessing the application.

### Operative District Plan

The proposal is considered to be consistent with the following objectives and policies:

- Objective 4.2.1 and Policy 4.3.1 (Sustainability Section)
  These seek to enhance and maintain the amenity values of the Dunedin area.
- Objective 8.2.1 and Policy 8.3.1 (Residential Section)
  These seek to ensure that the adverse effects on the amenity values and character of residential areas are avoided remedied or mitigated.
- Objective 20.2.1 and Policy 20.3.1 (Transportation Section)
  These seek to avoid, remedy or mitigate adverse effects on the environment arising from the use of the transportation network.

### Proposed 2GP

The proposal is considered to be consistent with the following Proposed 2GP objectives and policies:

- Objective 6.2.3 and Policies 6.2.3.3, 6.2.3.4 and 6.2.3.9 (Transportation Section)
  These seek to ensure that land use, development and subdivision activities maintain the safety and efficiency of the transport network for all travel methods.
- Objective 15.2.2 and Policy 15.2.2.1 (Residential Zones)
  These seek to ensure that residential activities, development, and subdivision activities provide high quality on-site amenity for residents.
- Objective 11.2.1 and Policy 11.2.1.4 (Natural Hazards Section)
  These seek to ensure In the hazard 2 (flood) overlay zones, new buildings and additions and alterations to buildings have a scale, location and design that means risk is avoided, or is no more than low.
- Objective 15.2.3 and Policy 15.2.3.1 (Residential Zones)
  These seek to ensure that activities in residential zones maintain a good level of amenity on surrounding residential properties and public spaces.

### Objectives and Policies Assessment

The objectives and policies of the Proposed 2GP were afforded more weight than those of the Operative District Plan. This is because of the late stage of the District Plan change process and the provisions of the Operative District Plan no longer having application/legal effect or relevance to the current proposal. Further, no equivalent natural hazard rules exist in the Operative District Plan, further reducing the relevance of the ODP.

The objectives and policies of both plans support the granting of consent as the effects have been assessed as acceptable.

Other Matters

Having regard to section 104(1)(c) of the Resource Management Act 1991, no other matters are considered relevant.

Part 2

Based on the findings above, it is evident that the proposal would satisfy Part 2 of the Resource Management Act 1991. Granting of consent would promote the sustainable management of Dunedin's natural and physical resources.

RECOMMENDATION

After having regard to the above planning assessment, I recommend that:

1. This application be processed on a non-notified basis, pursuant to sections 95A and 95B of the Resource Management Act 1991.

2. The Council grant consent to the proposed activity under delegated authority, in accordance with sections 104 and 104C of the Resource Management Act 1991.

Madeline Seeley
Planner

Date: 18 October 2022

DECISION

I have read both the notification assessment and substantive decision assessment in this report. I agree with both recommendations above.

Under delegated authority on behalf of the Dunedin City Council, I accordingly approve the granting of resource consent to the proposal:

Pursuant to Part 2 and sections 34A(1), 104 and 104C of the Resource Management Act 1991, and the Proposed Second Generation Dunedin City District Plan, the Dunedin City Council grants consent to a restricted discretionary activity being the earthworks and construction of a dwelling and standard residential activity in a Hazard 2 (flood) Overlay Zone and the occupation of more than 50% of the front yard used for car parking on the site at 15 Knox Street, Dunedin, legally described as PT Lot 23 DEEDS 326 (Record of Title OT282/14), subject to the conditions imposed under section 108 of the Act, as shown on the attached certificate.

Jeremy Grey
Senior Planner

Date: 18 October 2022

| | |
|---|---|
| Consent Type: | Land Use Consent |
| Consent Number: | LUC-2022-392 |
| Purpose: | The earthworks and construction of a dwelling and standard residential activity in a Hazard 2 (flood) Overlay Zone and the occupation of more than 50% of the front yard used for car parking. |
| Location of Activity: | 15 Knox Street, Dunedin |
| Legal Description: | PT Lot 23 DEEDS 328 (Record of Title OT282/14). |
| Lapse Date: | 18 October 2027, unless the consent has been given effect to before this date. |

Conditions:

1. The proposed activity must be undertaken in general accordance with the approved plans attached to this certificate as Appendix One, and the information provided with the resource consent application received by the Council 15th September 2022, and further information received on 10 October 2022, except where modified by the following conditions.

<u>Conditions to be met at commencement of, or during, site works or construction</u>

2. While undertaking earthworks approved by this resource consent, the consent holder must ensure that:

   a) Any earth fill over 0.6m thick supporting foundations is in accordance with NZS 4431:1989 Code of Practice for Earthfill for Residential Developments, specified and supervised by a suitably qualified person.

   b) Slopes are not cut steeper than 1:1 (45°) without specific engineering design and construction.

   c) Slopes are not filled steeper than 2h:1v (27°) without specific engineering design and construction.

   d) Any modifications to stormwater flow or new culverts are designed by appropriately qualified person/s to ensure that overland stormwater flows are not interrupted and any adverse effects from local ponding during storm rainfall events is not increased.

   e) Any fill material to be introduced to the site must comprise clean fill only.

3. To ensure effective management of erosion and sedimentation on the site during earthworks and as the dwelling is constructed, measures must be taken and devices must be installed, where necessary, to:

   a) divert clean runoff away from disturbed ground;

b) control and contain stormwater run-off;

c) avoid sediment laden run-off from the site; and

d) protect existing drainage infrastructure sumps and drains from sediment run-off.

4. If the consent holder:

a) discovers koiwi tangata (human skeletal remains), waahi taoka (resources of importance), waahi tapu (places or features of special significance) or other Maori artefact material, the consent holder must without delay:

i) notify the Consent Authority, Tangata whenua and Heritage New Zealand Pouhere Taonga and, in the case of skeletal remains, the New Zealand Police.

ii) stop work within the immediate vicinity of the discovery to allow a site inspection by Heritage New Zealand Pouhere Taonga and the appropriate runanga and their advisors, who must determine whether the discovery is likely to be extensive, if a thorough site investigation is required, and whether an Archaeological Authority is required.

Site work may recommence following consultation with the Consent Authority, Heritage New Zealand Pouhere Taonga, Tangata whenua, and in the case of skeletal remains, the New Zealand Police, provided that any relevant statutory permissions have been obtained.

b) discovers any feature or archaeological material that predates 1900, or heritage material, or disturbs a previously unidentified archaeological or heritage site, the consent holder must without delay:

i) stop work within the immediate vicinity of the discovery or disturbance; and

ii) advise the Consent Authority, Heritage New Zealand Pouhere Taonga, and in the case of Maori features or materials, the Tangata whenua, and if required, must make an application for an Archaeological Authority pursuant to Heritage New Zealand Pouhere Taonga Pouhere Taonga Act 2014; and

iii) arrange for a suitably qualified archaeologist to undertake a survey of the site.

Site work may recommence following consultation with the Consent Authority.

5. The earthworks and construction work are to be under the control of a nominated and suitably qualified person (civil/environmental engineer or technician).

6. The consent holder must:

a) be responsible for all contracted operations relating to the exercise of this consent; and

b) ensure that all personnel (contractors) working on the site are made aware of the conditions of this consent, have access to the contents of consent documents and to all associated erosion and sediment control plans and methodology; and

c) ensure compliance with resource consent conditions.

7. Should the consent holder cease, abandon, or stop work on site for a period longer than 6 weeks, the consent holder must first take adequate preventative and remedial measures to control sediment discharge/run-off and dust emissions, and must thereafter maintain these measures for so long as necessary to prevent sediment discharge and dust emission from the site.

Conditions to be met following the conclusion of site works or construction

8. The affected areas must be top-soiled and vegetated (e.g. hydro-seeded) as soon as possible to limit sediment mobilisation.

9. The planting strip (approx. 700mm wide by 8,750mm long) along the street frontage of Knox Street shown on the plans attached to LUC-2022-392 must be planted with trees, shrubs and/or ground cover species that are native to New Zealand (it may not be managed as lawn). The plants must be established within 6 months of the issue of the Code Compliance Certificate for the Dwelling. The planting must:

   a) include at least 3 trees or shrubs that are to be at least 2m high at the time of planting and capable of growing to a minimum of 3m high, and

   b) include a minimum of 5 ground cover or low plants such as tussock;

   c) be well developed and healthy at the time of installation and installed to a high standard, including the staking of trees where necessary; and

   d) all planting required by this condition must be maintained on an ongoing basis with watering and feeding where required. If plants die, or are diseased or damaged, they must be replaced

Advice Notes:

Transportation

1. From the edge of the sealed carriageway of Knox Street, the vehicle access must be hard-surfaced for a distance of not less than 5m in order to comply with Rule 6.6.3.6 of the Proposed District Plan.

   Note: The vehicle access must be adequately drained within the site.

Earthworks

2. The consent holder is referred to the best practice guidelines for managing erosion and sediment control measures for small sites, as set out in the Dunedin City Council "Silt and Sediment Control for Smaller Sites" document.

General

3. In addition to the conditions of a resource consent, the Resource Management Act 1991 establishes through sections 16 and 17 a duty for all persons to avoid unreasonable noise, and to avoid, remedy or mitigate any adverse effect created from an activity they undertake.

4. Resource consents are not personal property. The ability to exercise this consent is not restricted to the party who applied and/or paid for the consent application.

5. It is the responsibility of any party exercising this consent to comply with any conditions imposed on the resource consent prior to and during (as applicable) exercising the resource consent. Failure to comply with the conditions may result in prosecution, the penalties for which are outlined in section 339 of the Resource Management Act 1991.

6. The lapse period specified above may be extended on application to the Council pursuant to section 125 of the Resource Management Act 1991.

7. d Z ] • ] • Œ • } µ Œ } v • v š X W o • n g v Services Department, about the µ ] o ] building consent requirements for the work.

Issued at Dunedin on 18 October 2022

Madeline Seeley
Planner

Appendix One: Approved Plan/s for LUG 2022-392 (scanned image(s), not to scale)

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# HAIL Search Summary

| Collated by: Peter Webb, Dunedin City Council | Date Collated: 27/09/2022 |
|---|---|

## 1 3 5 2 3 ( 5 7 < , 1 ) 2 5 0 $ 7 , 2 1

| | |
|---|---|
| Current Owner: | Sortehaug Residential Limited |
| Address: | 15 Knox Street Dunedin |
| Legal Description(s): | Part Lot 23 Deeds Plan 326 |
| Territorial Authority: | Dunedin City Council |

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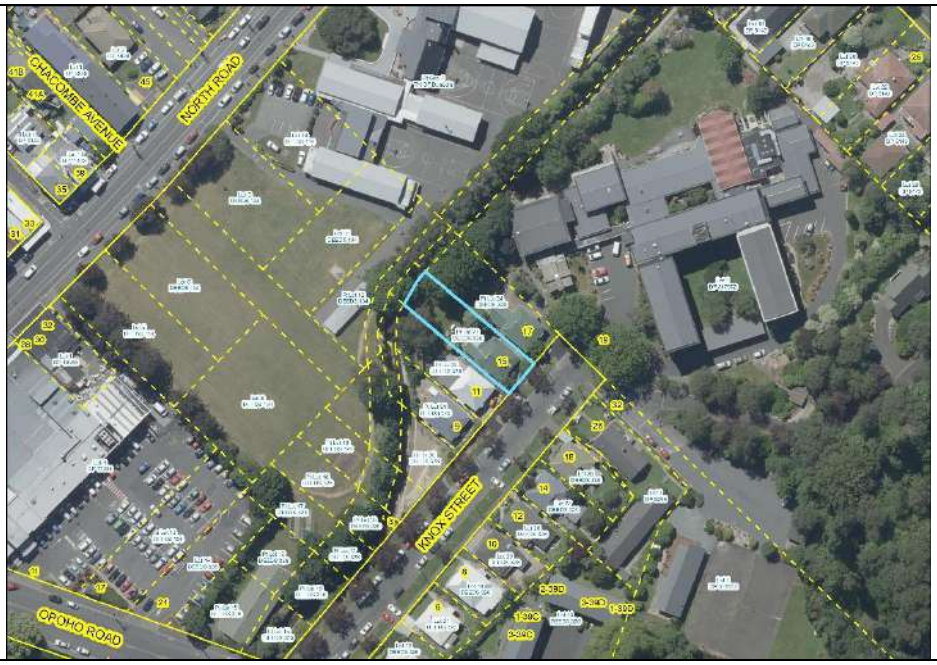
Site plan showing search area:

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### 3.1 Supporting documents regarding land use history

List of supporting documents about land use history. e.g. historic aerial photographs, resource or building consent documents, street-view photographs etc. Any documents showing possible or actual HAIL activity are specifically noted.

- x Email from Council's Archivist, outlining results of archival search
- x Cadastral map 1905 (from https://ndhadeliver.natlib.govt.nz/delivery/DeliveryManagerServlet?dps_pid=IE32308208)
- x Aerial images
  - 1942 (from https://files.interpret.co.nz/Retrolens/Imagery/SN223/Crown_223_511_38/High.jpg)
  - 1947
  - 1957
  - 1958 (from https://files.interpret.co.nz/Retrolens/Imagery/SN895/Crown_895_2551_26/High.jpg)
  - 1962 (from https://files.interpret.co.nz/Retrolens/Imagery/SN1425/Crown_1425_B_2/High.jpg)
  - 1967
  - 1972 (from https://files.interpret.co.nz/Retrolens/Imagery/SN3452/Crown_3452_B_2/High.jpg)
  - 1978
  - 1979 (from https://files.interpret.co.nz/Retrolens/Imagery/SN5392/Crown_5392_B_1/High.jpg)
  - 1990
  - 2000
  - 2007
  - 2009
  - 2013
  - 2018/19
- x Consents record
- x Drainage permit H-1922-137473 application and plan (note: some of the depicted dwellings are outside the search area)
- x Building consent H-1922-7533 plans to erect five dwellings (note: some of these dwellings were built on adjacent properties)
- x Building consent H-1975-79640 application coversheet and plan to erect carport
- x Building consent ABA-2000-292424 application coversheet and plan to remove conservatory and add bedroom

### 3.2 HAIL land uses

Land uses (from HAIL):

x Nil identified

### 3.3 Spatial extent of HAIL activity

Not Applicable

- Part of Property
- Whole Property

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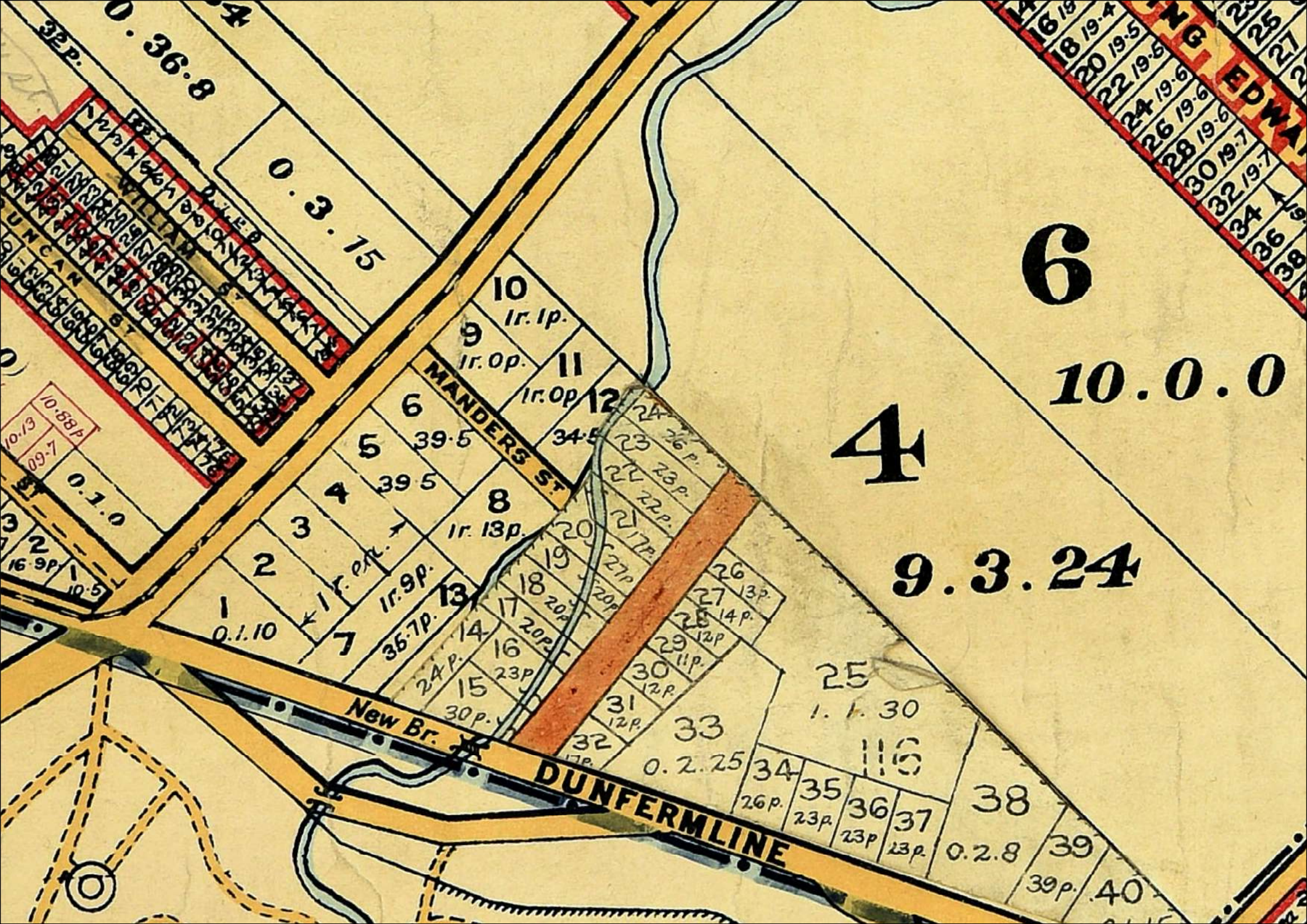
No explicit information found regarding HAIL activity

- Possible HAIL site
- Confirmed HAIL site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DUNEDIN CITY COUNCIL | kaunihera a-rohe o Ōtepoti

# Dunedin City Council – Land Information Memorandum

## Property Address: 15 Knox Street Dunedin

Prepared for: Sortehaug Residential Limited
Prepared on: 24-Aug-2026

## Property Details:

| | |
|---|---|
| **Property ID** | 5013014 |
| **Address** | 15 Knox Street Dunedin |
| **Parcels** | PT LOT 23 DEEDS 326 |

## Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 24-Aug-2026

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.