

GRZ - General Residential Zone

The purpose of the General Residential Zone is predominantly to provide for *residential activities* with a mix of *building* types and other compatible activities, which are essential for Wairarapa residents to provide for their health, social, and economic wellbeing.

Large areas of General Residential Zoned land are located in Masterton, Carterton, Featherston, Martinborough, and Greytown.

The General Residential Zone is characterised by its dominant use as a residential area, which results in:

- A degree of consistency in the density, size, and scale of *buildings* with a reasonable amount of private open space;
- An adequate ratio of private to public open space and accessibility to such open space;
- Attractive streetscapes;
- An adequate degree of privacy; access to sunlight; low levels of noise, vibration, odour, and dust; and
- A safe and functional road network for traffic and pedestrians.

~~However, residential character changes over time to meet changing residential lifestyle needs. More intensive forms of urban development require good design to ensure positive residential character outcomes are achieved.~~

Non-residential activities that support the functioning of the General Residential Zone are also appropriate in this zone, provided they are compatible with the residential character and amenity values of the zone. Examples of non-residential activities in residential areas include schools, *community facilities*, *home businesses* and small-scale *retail*, *healthcare*, and professional services.

The National Policy Statement for Urban Development 2020 (NPS-UD) applies to Masterton as a tier 3 urban environment. The NPS-UD seeks to provide for well-functioning urban environments that enable all people and communities to provide for their social, economic, and cultural wellbeing, and for their health and safety, now and into the future. Relevant to the General Residential zone, the NPS-UD requires District Plans for tier 3 urban environments to enable heights and density of urban form commensurate with the level of accessibility by active and public transport to centres and services and demand for housing use in the area. Its general principles are also relevant in the wider Wairarapa context given its close connections with the housing and employment markets of Masterton, Wellington, and the Hutt Valley.

Residential character changes over time to meet changing residential needs. A variety of housing types and sizes are needed to meet the diverse needs of residents. Denser housing can support a broader range of services within walking or cycling distance, creating vibrant

convenient, and accessible communities. More intensive forms of urban development need to be well-designed to ensure they contribute to a well-functioning and enjoyable residential environment.

Intensification in existing urban areas minimises urban sprawl and results in a compact urban form. This assists with reducing transport related emissions, improving climate resilience, supporting viable and thriving town centres, and improving the efficiency of existing infrastructure use.

The Low Density Residential Precinct (LDRP) provides for and maintains the low density residential character of the residential areas of Greytown and Martinborough.

Greytown and Martinborough are generally characterised by lower suburban densities with one house per site and suburban-scale built form with houses that are 1- or 2- storeys in height set on generous sized sections. There are high standards of on-site amenity and privacy, and houses are surrounded by areas of private open living space, with some trees and garden/landscaping.

The LDRP provides limited opportunities for increased density. Multi-unit development is not anticipated in the zone.

The Medium Density Residential Precinct (MDRP) is an area that provides for a greater density of development than the standard General Residential Zone. The MDRP applies to areas in Masterton and Featherston that are located close to centres, services, open spaces, connectivity, and *infrastructure* capacity. By enabling increased densities in these areas, the MDRP will play a key role in minimising urban sprawl and increasing housing supply and housing options in the district.

The MDRP is generally characterised by a mix of *residential uses* at a range of densities, such as existing suburban-scale residential housing (stand-alone houses), semi-detached housing, terraced housing, low-rise apartments, and townhouses/flats. It is anticipated that the character and scale of *buildings* in these areas will transition over time as the number of medium density residential developments increases (i.e., multi-unit, semi-detached, and terraced houses).

Note: There may be several rules that apply to an activity, building, structure, or site. Resource consent may therefore be required under rules in this chapter as well as other chapters. Unless specifically stated in a rule, resource consent is required under each relevant rule. The steps to determine the status of an activity are set out in the General Approach section in the How the Plan Works chapter.

Objectives

GRZ-O1	Purpose of the General Residential Zone
The General Residential Zone primarily consists of <i>residential activities</i> that cater for a variety of housing needs <u>(including price, type, and location)</u> that integrate with existing or planned reticulated <i>infrastructure</i> .	
GRZ-O2	Character and amenity values of the General Residential Zone
The character and amenity values in the General Residential Zone, including the scale, form, and density of use and development, <u>will change over time in response to the needs of residents, and</u> primarily consists of: 1. a built form comprising a range of <i>residential unit</i> types and sizes, characterised by predominantly 1- to 2-storey buildings, <u>with opportunities for higher densities on suitable sites and openness around and between buildings</u>; 2. landscaping and trees, especially on street frontages; 3. a spacious living environment with high quality <u>shared open space and on-site outdoor space</u> residential amenity for residents and for adjoining sites and the street; 4. a <u>residential</u> urban environment that is visually attractive, safe, easy to navigate, and convenient to access; and 5. development that is highly compatible with existing special character and amenity values.	
GRZ-O3	Non-residential activities in the Residential Zone
Non-residential activities in the General Residential Zone are limited to social infrastructure and small-scale activities that support the function of local communities and are compatible with the character and amenity values of the Zone.	
GRZ-O4	Character and amenity of the Low Density Residential Precinct
The Low Density Residential Precinct (LDRP): 1. primarily consists of low density <i>residential activities</i> and development in keeping with the existing neighbourhoods' character of predominantly 1- to 2-storey buildings and high levels of on-site amenity, privacy, and generous private outdoor living areas for residents, adjoining sites, and the street; 2. accommodates non-residential activities that support the function of local communities, where they are compatible with residential activities and in keeping with the existing character and amenity values of the LDRP; and 3. in Greytown and Martinborough, residential activities and development are in keeping with the existing residential character in the heritage precincts in the	

residential areas, and in keeping with the planned residential character for the Greytown Development Area and Orchards Retirement Village areas.	
GRZ-O5	Planned character and amenity of the Medium Density Residential Precinct
The Medium Density Residential Precinct (MDRP): 1. primarily consists of <i>residential activities</i> in a range of <i>residential unit</i> types and sizes including semi-detached dwellings, townhouses, terraced houses, and low-rise apartments, at a higher density than is anticipated in the General Residential Zone; 2. <i>residential activities</i> and development are in keeping with the planned residential character of predominantly 2 and 3-storey buildings, in a variety of forms and <u>surrounded by with ample open space, vegetation, and landscaping;</u> 3. <i>residential activities</i> and development provide quality on-site residential <u>and shared public</u> amenity for residents, adjoining sites, and the street; 4. medium density development is primarily located within the MDRP; and 5. accommodates non-residential activities that support the function of local communities, where they are compatible with residential activities and in keeping with the planned character and amenity values of the MDRP.	

Policies

GRZ-P1	Enable a range of residential activities
Enable <i>residential activities</i> in a range of residential unit types, sizes, and intensities, where these are compatible with the built form, character, and amenity values anticipated in the General Residential Zone and any applicable precinct.	
GRZ-P2	Promote variety, innovation, and good design outcomes in residential development
Promote variety, innovation, and good design outcomes in residential development to meet a range of residential needs for current and future generations in a way that reflects the <u>surrounding context of the</u> General Residential Zone and any applicable precinct <u>through housing and subdivision design as supported by the Residential Design Guide.</u> <u>Measures to support these outcomes may include but are not limited to: (including, but not limited to, a variety of siting, landscaping and trees, and opportunities to reduce emissions and energy use) through housing and subdivision design as supported by the Residential Design Guide.</u> 1. <u>A variety of siting, landscaping, and trees;</u> 2. <u>Different housing typologies to support housing affordability; and</u>	

3. <u>Opportunities to improve climate resilience and reduce emissions and energy use, such as safe active and public transport mode linkages to services and amenities.</u>	
GRZ-P3	Enable compatible non-residential activities in the General Residential Zone
Enable a range of non-residential activities in the General Residential Zone, the Low Density Residential Precinct, and the Medium Density Residential Precinct that: 1. are of a scale and intensity that is in keeping with the character and amenity values of the Zone or precinct; and 2. avoid <i>reverse sensitivity</i> effects on existing and future <i>residential activities</i>; and 3. support the functioning of the Zone and/or provide for the needs of residents in the Zone; or 4. have an <i>operational</i> or <i>functional need</i> to locate in the Zone; or 5. are ancillary to residential use.	
GRZ-P4	Residential character in the General Residential Zone
Provide for activities and structures that support the planned character for the General Residential Zone, which provides for: 1. intensity of residential and infill development that is predominantly single detached or semi-detached <i>residential units</i> on single sites, with suburban lot sizes, and providing for high quality and spacious on-site <u>and shared public outdoor space and amenity</u>; 2. <i>building height</i>, bulk, and form that achieves the planned built character of predominantly 1- to 2-storey <i>residential units</i> within a generally spacious setting; 3. <i>building height</i>, bulk, and location maintains a reasonable level of sunlight access and privacy and to minimise visual dominance effects to the adjoining sites; 4. development that achieves attractive and safe streets and public open spaces, including by: i. providing for passive surveillance; ii. optimising front yard landscaping; iii. <u>providing for generous shared public open space and amenity</u>; and iv. minimising visual dominance of garage doors; 5. a good standard of internal amenity within sites including useable and accessible outdoor living areas for residents; and 6. <u>larger</u> multi-unit residential development and retirement villages on larger sites where it is demonstrated that they <u>contribute to achieve</u> the planned character for the zone.	

GRZ-P5	Maintain character and amenity values in the Low Density Residential Precinct
Maintain the role, function, and predominant character of the Low Density Residential Precinct, including in Greytown and Martinborough, by: 1. maintaining a low density of single detached <i>residential units</i> on single sites, maintaining larger lot sizes, and providing for high quality and spacious on-site amenity; 2. maintaining <i>building height</i>, bulk, and form that is in keeping with the character and amenity values of the established residential areas, which includes built character of predominantly 1- to 2-storey residential units within a generally spacious setting; 3. maintaining <i>building height</i>, bulk, and location that achieves a reasonable level of sunlight access and privacy and to minimise visual dominance effects to the adjoining sites; 4. providing development that achieves attractive and safe streets and public open spaces, including by: i. providing for passive surveillance; ii. optimising front yard landscaping; and iii. minimising visual dominance of garage doors; 5. providing a good standard of internal amenity within sites including useable and accessible outdoor living areas for residents; and 6. providing for development and operation of a retirement village in the Orchards Retirement Village Character Area shown on the Indicative Concept Plan and does not detract from the existing character of the precinct.	
GRZ-P6	Residential character in the Medium Density Residential Precinct
Provide for activities and structures that support the planned character and amenity values for the MDRP, which provides for: 1. higher density living in areas with good accessibility to parks, main centres, or local commercial centres; 2. a variety of detached, semi-detached, and multi-unit living, including multi-unit redevelopment opportunities through flexible development controls, infill development, and encouragement for multi-site redevelopment; 3. <i>building height</i>, bulk, and form that <u>contributes to</u> achieves the planned built character of predominantly 2- and 3-storey residential units in a variety of forms by: i. limiting the <i>height</i>, bulk, and form of development; ii. managing the design and appearance of multi-unit residential development; and iii. requiring sufficient setbacks and landscaped areas;	

4. <i>building height</i>, bulk, and location that maintains a reasonable level of sunlight access and privacy and to minimise visual dominance effects to the adjoining sites; 5. development that achieves attractive and safe streets and public open spaces <u>where reliance on private vehicles is reduced</u>, including by: i. providing for passive surveillance; ii. optimising front yard landscaping; and iii. minimising visual dominance of garage doors; <u>and</u> iv. <u>providing safe and accessible walking, cycling, and public transport service links to town centres, services, and open space;</u> 6. a good standard of internal amenity within sites including useable and accessible outdoor living areas for residents <u>and access to shared public amenity and open space;</u> 7. development designed to meet the day to day needs of residents by: i. providing privacy and outlook; and ii. providing access to daylight and sunlight and providing the amenities necessary for those residents; <u>and</u> iii. <u>providing sufficient on-site capacity for individual or communal residential waste management that is visually screened and accessible.</u> 8. a peaceful residential environment, in particular minimising the adverse effects of night-time noise and outdoor lighting, and limited signs; and 9. small-scale <i>commercial</i> or <i>community activities</i> that service the local community.	
GRZ-P7	Avoidance of residential development where there is insufficient infrastructure
Avoid residential development where there is insufficient capacity in existing reticulated <i>infrastructure</i> or where residential development would occur prior to planned reticulated <i>infrastructure</i> installation.	
GRZ-P8	Rainwater collection and use
Ensure new residential development provides on-site rainwater storage tanks for non-potable use to contribute to water <u>availability and efficiency</u> resilience in the Wairarapa.	
GRZ-P9	Relocatable buildings
Provide for relocation of buildings while requiring the completion and renovation within a reasonable timeframe by: 1. Requiring pre-inspection reports to be prepared that identify any reinstatement work required to the exterior of the building following the building relocation; 2. Ensuring that <i>relocatable buildings</i> have the same use as what they were previously designed, built, and used for;	

3. Requiring a performance bond as a security measure that reinstatement works will be appropriately completed in a timely manner; and
4. Maintaining and enhancing amenity values of areas by ensuring the adverse effects of *relocatable buildings* are avoided, remedied, or mitigated.

Rules

Refer to General Residential Zone Precincts for additional rules [relating to The Orchards Retirement Village Development Precinct, Greytown Development Precinct, and Cashmere Oaks Development Precinct.](#)

GRZ-R1	<i>Buildings and structures, including construction, additions, and alterations</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. GRZ-S1; ii. GRZ-S2; iii. GRZ-S3; iv. GRZ-S4; v. GRZ-S5; vi. GRZ-S6; vii. GRZ-S7; viii. GRZ-S8; ix. GRZ-S9; x. GRZ-S10; and xi. GRZ-S11; and xii. GRZ-SX. Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GRZ-R1(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met.

	2. The relevant matters contained in the Residential Design Guide.
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GRZ-R2	<i>Demolition and removal of buildings and structures</i>
	1. Activity status: Permitted Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.

GRZ-R3	<i>Relocatable buildings (excluding accessory buildings)</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. GRZ-S1; ii. GRZ-S2; iii. GRZ-S3; iv. GRZ-S4; v. GRZ-S5; vi. GRZ-S6; vii. GRZ-S7; viii. GRZ-S8; ix. GRZ-S9; x. GRZ-S10; xi. GRZ-S11; and xii. GRZ-S12; and xiii. <u>GRZ-SX.</u>
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GRZ-R3(1). Matters of discretion: 1. The matters set out in GRZ-P9. 2. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met.

GRZ-R4	Residential activities
	1. Activity status: Permitted Where: a. In the General Residential Zone, there is no more than one <i>residential unit</i> per 350m² site and one residential unit per 400m² of net site area thereafter; b. In the Medium Density Residential Precinct, there is no more than one <i>residential unit</i> per 200m² of net site area; or c. In the Low Density Residential Precinct, there is no more than one <i>residential unit</i> per 400m² site and one residential unit per 500m² of net site area thereafter.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GRZ-R4(1)(a) or (b). Matters of discretion: 1. The relevant matters contained in the Residential Design Guide. 2. The effect of the intensity and scale of the activity, the building design, siting, form, and external appearance is compatible with the planned character and residential amenity for the precinct. 3. The extent to which topography, site orientation, and planting have been integrated into the site layout and design. 4. The effect on amenity values of adjoining residential properties, including privacy, shading, and sense of enclosure. 5. The ability to provide adequate privacy, outdoor living space, storage space/utility and/or refuse areas for each <i>residential unit</i>. 6. The effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users, as evidenced by a supporting Integrated Traffic Assessment. 7. The extent of impervious surfaces and landscaping. 8. The capacity of existing <i>infrastructure</i> to service the activity, including three waters <i>infrastructure</i>. 9. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met.

	3. Activity status: Discretionary Where: a. Compliance is not achieved with GRZ-R4(1)(a)(c).
	4. Activity status: Non-complying Where: a. Compliance is not achieved with GRZ-R4(1)(c).

GRZ-R5	Accessory buildings
	1. Activity status: Permitted Where: a. The <i>accessory building</i> is ancillary to <i>residential activities on the site</i>; and b. Compliance is achieved with: - GRZ-S1; - GRZ-S2; and - GRZ-S4.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GRZ-R5(1). Matters of discretion: - The matters set out in GRZ-O3 and GRZ-P3. - The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met.

GRZ-R6	Papakāinga
	1. Activity status: Permitted Where: a. Compliance is achieved with: - GRZ-S1; - GRZ-S2; - GRZ-S3; - GRZ-S4;

	v. GRZ-S5; vi. GRZ-S6; vii. GRZ-S7; viii. GRZ-S8; ix. GRZ-S9; x. GRZ-S10; xi. GRZ-S11; xii. <u>GRZ-SX; and</u> b. The <i>gross floor area</i> of all <i>community facilities</i> does not exceed 200m² per <i>site</i>.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GRZ-R6(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met. 2. The adverse effects on the amenity values of nearby residential properties and public places, including privacy and cumulative effects of other nearby non-residential activities. 3. The effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 4. The extent of impervious surfaces and landscaping. 5. <i>Infrastructure</i> requirements. 6. The relevant matters contained in the Residential Design Guide.

GRZ-R7	<i>Residential visitor accommodation (excluding visitor accommodation)</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. GRZ-S1; ii. GRZ-S2; iii. GRZ-S3;

	iv. GRZ-S4; v. GRZ-S5; vi. GRZ-S6; vii. GRZ-S7; viii. GRZ-S8; ix. GRZ-S9; x. GRZ-S10; and xi. GRZ-S11; and xii. <u>GRZ-SX.</u>
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GRZ-R7(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met. 2. The intensity and scale of the activity and adverse effects on the amenity of the surrounding area. 3. The adverse effects on adjacent residential properties, particularly noise and privacy.

GRZ-R8	<i>Home business</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. GRZ-S1; ii. GRZ-S2; iii. GRZ-S3; iv. GRZ-S4; v. GRZ-S5; vi. GRZ-S6; vii. GRZ-S7; viii. GRZ-S9; ix. GRZ-S10; x. GRZ-S11; and xi. <u>GRZ-SX; and</u>

	b. No more than 50m² of total <i>gross floor area</i> of all <i>buildings</i> on a <i>site</i> is used for the <i>home business</i>; c. No more than 2 persons (fulltime equivalent) who reside off the premises may be employed in the activity; and d. No outdoor storage of goods and materials.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GRZ-R8(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met. 2. Whether the activity is compatible with the character of the surrounding neighbourhood. 3. The intensity and scale of the activity and adverse effects on the amenity of neighbouring properties and the surrounding neighbourhood, particularly visual, noise, and privacy effects. 4. The effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 5. Whether the activity is appropriately located in the General Residential Zone or other more appropriate zone.

GRZ-R9	<i>Supported residential care facility</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. GRZ-S1; ii. GRZ-S2; iii. GRZ-S3; iv. GRZ-S4; v. GRZ-S5; vi. GRZ-S6; vii. GRZ-S7; viii. GRZ-S9; ix. GRZ-S10;

	x. GRZ-S11; and xi. <u>GRZ-SX; and</u> b. The maximum occupancy does not exceed 10 residents.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GRZ-R9(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met. 2. Whether the activity is compatible with the character of the surrounding neighbourhood. 3. The intensity and scale of the activity and adverse effects on the amenity of neighbouring properties and the surrounding neighbourhood, particularly visual, noise, and privacy effects. 4. The effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 5. Whether the activity is appropriately located in the General Residential Zone or other more appropriate zone.

GRZ-R10	<i>Minor residential unit</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. GRZ-S1; ii. GRZ-S2; iii. GRZ-S3; iv. <u>GRZ-S4;</u> v. GRZ-S5; vi. GRZ-S6; vii. GRZ-S7; viii. GRZ-S9; ix. GRZ-S10; x. GRZ-S11; xi. <u>GRZ-SX; and</u>

		b. the <i>gross floor area</i> of the <i>minor residential unit</i> does not exceed 80m²; and c. There is one <i>minor residential unit</i> per <i>site</i>.
		2. Activity status: <u>Restricted Discretionary</u> <u>Where:</u> a. <u>Compliance is not achieved with GRZ-R10(1)(a)(iii).</u>
		3. Activity status: Discretionary Where: a. Compliance is not achieved with GRZ-R10(1)(b) or (c).
		4. Activity status: Non-complying Where: a. Compliance is not achieved with GRZ-R10(1)(a)(i), (ii), (iv)-(ix).

GRZ-R11		<i>Retirement village</i>
	General Residential Zone	1. Activity status: Restricted discretionary Matters of discretion: 1. The effect of the intensity and scale of the activity, the <i>building</i> design, siting, form, and external appearance is compatible with the planned character and residential amenity for the Zone or precinct. 2. The effect on amenity values of adjoining residential properties and the surrounding neighbourhood, including privacy, shading, and sense of enclosure. 3. The ability to provide on-site amenity for residents including outdoor living space <u>and landscaping</u> that reflects the nature of and diverse needs of residents of the village. 4. The <i>site</i> can accommodate the scale and intensity of the activity, in terms of its size, topography, and location. 5. The effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users, as evidenced by a supporting Integrated Traffic Assessment. 6. The extent of impervious surfaces and landscaping. 7. The capacity of existing <i>infrastructure</i> to service the activity, including three waters <i>infrastructure</i>.
	Medium Density Residential Precinct	

	8. The relevant matters contained in the Residential Design Guide. 9. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met.
Low Density Residential Precinct	2. Activity status: Discretionary

GRZ-R12	<i>Community facility</i>
	1. Activity status: Restricted discretionary Matters of discretion: 1. The adverse effects on the amenity values of nearby residential properties and public places, including: i. privacy and cumulative effects of other nearby non-residential activities, including noise; ii. hours of operation; and iii. loss of notable trees, street trees and landscaping. 2. Whether high quality on-site amenity values can be achieved. 3. effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users, as evidenced by a supporting Integrated Traffic Assessment. 4. The extent of impervious surfaces and landscaping. 5. Whether the activity can be better located in a nearby centre or is within walking distance to a nearby centre. 6. <i>Infrastructure</i> requirements. 7. The relevant matters contained in the Residential Design Guide. 8. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met.

GRZ-R13	<i>Educational facility</i>
	1. Activity status: Restricted discretionary Note: This does not apply to childcare <i>home businesses</i> (refer <i>Home business</i>).

	Matters of discretion: 1. Whether the activity is compatible with the character of the surrounding neighbourhood. 2. The intensity and scale of the activity and adverse effects on the amenity of neighbouring properties and the surrounding neighbourhood. 3. Whether the activity is appropriately located on the <i>site</i>. 4. Topography, site orientation, and planting. 5. The effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users, including a safe pick up and drop off area. 6. Methods to mitigate noise for outdoor facilities. 7. The relevant matters contained in the Residential Design Guide. 8. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met.
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GRZ-R14	Healthcare activity
	1. Activity status: Restricted discretionary Matters of discretion: 1. Intensity and scale of the activity, including hours of operation. 2. The effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users, including a safe pick up and drop off area. 3. Effect on streetscape and character of the zone. 4. Effect on amenity values of nearby residential properties, including cumulative effects with other nearby <i>non-residential activities</i>. 5. Whether the activity can be better located in a nearby centre or is within walking distance to a nearby centre. 6. <i>Infrastructure</i> requirements. 7. The relevant matters contained in the Residential Design Guide. 8. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met.

GRZ-RX	<i>Emergency service facility</i>
	1. <u>Activity status: Restricted discretionary.</u> <u>Matters of discretion:</u> 1. <u>Whether the activity has an operational or functional need to locate in the General Residential Zone.</u> 2. <u>Whether the activity is compatible with the character of the surrounding neighbourhood.</u> 3. <u>The intensity and scale of the activity and adverse effects on the amenity of neighbouring properties and the surrounding neighbourhood, including:</u> i. <u>Privacy effects;</u> ii. <u>Operational noise;</u> iii. <u>Hours of operation;</u> iv. <u>Landscaping; and</u> v. <u>Cumulative effects.</u> 4. <u>Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users.</u> 5. <u>Infrastructure requirements.</u> 6. <u>The effect of non-compliance with the relevant standard and the matters of discretion of any standard that is not met.</u>

GRZ-R15	<i>Commercial activities</i>
	1. Activity status: Discretionary

GRZ-R16	<i>Any activity not otherwise listed in this chapter</i>
	1. Activity status: Discretionary

GRZ-R17	<i>Industrial activities</i>
	1. Activity status: Non-complying

GRZ-R18	<i>Rural industry activities</i>
	1. Activity status: Non-complying

GRZ-R19	<i>Primary production activities</i>
	1. Activity status: Non-complying

Standards

Refer to General Residential Zone Precincts for additional standards.

GRZ-S1	Maximum <i>height</i>
The maximum height of any <i>building</i> or <i>structure</i> shall be 10m above <i>ground level</i>.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Visual dominance, shading, and loss of privacy for adjoining sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation. 6. The relevant matters contained in the Residential Design Guide.
GRZ-S2	Maximum <i>height in relation to boundary</i>
1. 3m <i>height</i> at the boundary with a 45° recession plane on all side and rear boundaries. 2. This requirement does not apply to <i>common walls</i>, road boundaries, or accessways.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjoining sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation.

		6. The relevant matters contained in the Residential Design Guide.
GRZ-S3	Minimum setbacks	
1. <u>Buildings or structures must not be located within a setback.</u> 2. Front boundary setbacks: a. Buildings or structures must not be located within 3m from of the front boundary of a site. b. <u>5m from the front boundary of a site</u> for garages and carports (either separate or <u>attached integrated into a the principal</u> residential unit). must not be located within 5m of the front boundary of a site. Note: For the purpose of the above rule, only one boundary will be subject to a front boundary setback for corner sites <u>only one boundary will be considered a front boundary</u>. The remaining boundaries will be treated as side and/or rear boundaries. 3. Side and rear boundary setbacks: a. Front sites: <u>3m from</u> two <u>side or rear</u> boundaries (side or rear boundaries) shall be subject to 3m setbacks, and <u>1.5m</u> from one <u>side or rear</u> boundary. shall be subject to a 1.5m setback. b. Rear sites: <u>3m from</u> two <u>side or rear</u> boundaries (side or rear boundaries) shall be subject to 3m setbacks, and <u>1.5m from</u> two <u>side or</u> rear boundaries. shall be subject to 1.5m setbacks. c. <u>Common wall boundaries: 0m. for common wall boundaries.</u> d. <u>All sites: 1.5m from any side or rear boundary for non-habitable accessory buildings, and carports attached to a residential unit.</u>		Matters of discretion: 1. The location, design, and appearance of the building or structure. 2. Effects on streetscape and the character of the area. 3. Effects on the amenity values of adjoining sites, including visual dominance, <u>shading, sense of enclosure</u>, or loss of outlook or privacy. 4. The ability to mitigate the adverse effect through the use of <u>landscaping, topography, site orientation</u>, screening, planting, and alternative design and/or location. 5. <u>Effects on the safe, effective, and efficient functioning of site access and parking, including safety of pedestrians, cyclists, and other road users.</u> 6. Any benefits, including the extent to which the reduced setback will result in a more efficient, practical, and/or better use of the balance of the site. 7. Whether there are topographical or other site constraints that make compliance with the permitted standard impractical. 8. For the waterbody setbacks, the effects on the values of the waterbody. 9. The relevant matters contained in the Residential Design Guide. 10. <u>For rail designation boundary setbacks:</u> a. <u>The location of the building or structure.</u>

Note: For the purpose of the above rule, a front site is a <i>site</i> with a legal road frontage of not less than 10m. A rear site is a <i>site</i> with a legal road frontage of less than 10m. A corner site means a <i>site</i> with two or more legal road frontages of not less than 10m each. 4. <u>Rail designation boundary setbacks:</u> a. <u>Buildings and structures must not be located within 3m of a rail designation boundary.</u> b. <u>Buildings and structures located between 3m and 4m of a rail designation boundary shall have a maximum height of 4m.</u> 5. Exceptions to side and rear boundary setbacks: a. Eaves, porches, balconies, and decks or other minor building features may occupy any part of a <u>side or rear boundary required setback, other than the rail designation boundary setback, other than the front yard setback</u>, provided they do not encroach by more than 25% of the relevant setback distance and do not, except for eaves, exceed 2m in length <u>(See GRZ Diagram 1).</u> b. <u>An accessory building or a carport attached to a residential unit can infringe on a 1.5m side or rear boundary setback, other than a rail designation boundary setback, provided it does not occupy more than 25% of the setback area along any one boundary (See GRZ Diagram 2).</u> c. Unroofed swimming pools no higher than 1m above ground level.	b. <u>Any methods of providing for building maintenance within the site boundaries.</u> c. <u>The outcome of consultation with KiwiRail.</u>
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d. Rainwater tanks not <u>higher than exceeding a height above ground level of 1.8m above ground level</u>. 6. Waterbody setbacks: a. 5m from any <i>surface waterbody</i>. b. 25m from a significant waterbody. 7. This standard GRZ-S3 does not apply to: a. Bridges and river crossings; <u>and</u> b. Fences.	
GRZ-S4	<i>Accessory building and minor residential unit setbacks</i>
1. No accessory building or minor residential unit is to be located in the front boundary building setback. 2. No accessory building is to be located within 1.5m of any side or rear boundary. 3. Exception: An accessory building or carport attached to a residential unit can infringe on a 1.5m side or rear boundary setback provided it does not occupy more than 25% of the length of the setback along any one boundary.	Matters of discretion: 1. Effect on streetscape character of the area. 2. The extent to which the building design can be integrated with the topography, site orientation, and landscaping. 3. Whether adequate mitigation of adverse effects can be achieved through the use of landscaping, planting, and/or alternative materials. 4. Effect on amenity values of nearby residential properties, including privacy, shading, and sense of enclosure. 5. Parking and access, safety, efficiency, and effects to on-street parking and neighbours. 6. The relevant matters contained in the Residential Design Guide.
GRZ-S5	Maximum fence <i>height</i>
1. No fence, wall, or screen on any boundary with a Residential, Māori Purpose, Future Urban, Open Space and	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>.

Recreation, or Rural Zone shall exceed a <i>height</i> of 1.8m above ground level.	2. Visual dominance, shading, and loss of privacy for adjoining sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. The extent to which the additional <i>height</i> is necessary due to the physical constraints of the <i>site</i> or to mitigate noise (including road noise) if the <i>site</i> is located adjacent to a noise-emitting source. 6. Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, materials, and/or alternative design.
GRZ-S6	<i>Outdoor living space</i>
1. A minimum area of <i>outdoor living space</i> must be provided as follows: a. Per <i>residential unit</i> at ground level: 20m² at ground level; b. Per <i>minor residential unit</i> at ground level: 20m² at ground level; c. Per <i>minor residential unit</i> located above ground floor: balcony at least 8m² and minimum dimension of 1.8m; or d. Per <i>residential unit</i> located above ground floor: balcony at least 8m² and minimum dimension of 1.8m. 2. The <i>outdoor living space</i> must: a. Must be directly accessible from a <i>habitable room</i>; b. Must be free of <i>buildings</i>, parking spaces, manoeuvring areas, and outdoor utility areas, except for:	Matters of discretion: 1. The residential amenity for the occupiers of the <i>residential units</i>. 2. Proximity of the <i>residential unit</i> to accessible public open space. 3. The accessibility and convenience of the <i>outdoor living space</i> for occupiers. 4. Whether adequate sunlight is provided to the <i>outdoor living space</i> throughout the year. 5. Whether the balance of open space and <i>buildings</i> will maintain the amenity anticipated for the General Residential Zone. 6. Whether topographical or other <i>site</i> constraints make compliance with the standard impractical. 7. The relevant matters contained in the Residential Design Guide.

i. eaves up to a maximum of 600mm in width; ii. external gutters or downpipes (including their brackets) up to an additional width of 150mm; or iii. cover to provide shade for sun protection; c. For <i>residential units</i> at ground level, <i>outdoor living spaces</i> may be grouped cumulatively by area in one communally accessible location, or located directly adjacent to the unit; and d. For <i>residential units</i> at above ground level, outdoor living spaces may be grouped cumulatively by area in one communally accessible location in which case it may be located at ground level, or located directly adjacent to the unit.	
GRZ-S7	<i>Carparking areas</i>
1. There is to be no contiguous carparking area containing five or more parking spaces (including access and manoeuvring areas) within any residential site.	Matters of discretion: 1. Parking and access, safety, efficiency, and effects to on-street parking and neighbours. 2. Effect on streetscape character of the area. 3. The amenity of adjoining sites, including amenity or privacy effects. 4. Whether there are topographical or other <i>site</i> constraints that make compliance with the permitted standard impractical. 5. The extent to which the design can be integrated with the topography, site orientation, and landscaping. 6. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area.

	7. Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design. 8. The relevant matters contained in the Residential Design Guide.
GRZ-S8	<i>Rainwater collection and storage</i>
1. Rainwater storage tank(s) with a minimum capacity of 5,000L must be provided for each new residential unit. The tank must collect stormwater runoff from the roof of the residential unit for non-potable use.	Matters of discretion: 1. Supply, storage, and use of non-potable water to the residential unit.
GRZ-S9	<i>Drinking Water supply</i>
1. All buildings and activities must be provided with a connection to Council's reticulated water supply systems, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>. 2. <u>Where a connection with Council's reticulated water supply systems is not sufficient to comply with the New Zealand Fire Service Firefighting Water Supplies Code of Practice SNZ PAS 4509:2008, and on-site firefighting water supply must be provided and accessible in accordance with SNZ PAS 4509:2008.</u> <u>For non-residential activities and residential activities exceeding 3 residential units per site:</u> 2. <u>All buildings must be provided with a firefighting water supply, which shall be in accordance with New Zealand Fire Service Firefighting Water Supplies Code of Practice SNZ PAS 4509:2008.</u> <u>Note 1: For the purpose of this standard Non-Residential Activities are those not</u>	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council water bylaws, <i>Council Engineering <u>Development Standards 2023</u></i> and/or Wellington Water standards as applicable.

<u>immediately associated with the residential use of the site.</u> <u>Note 2: This standard does not apply to those structures exempt under Schedule 1 of the Building Act.</u>	
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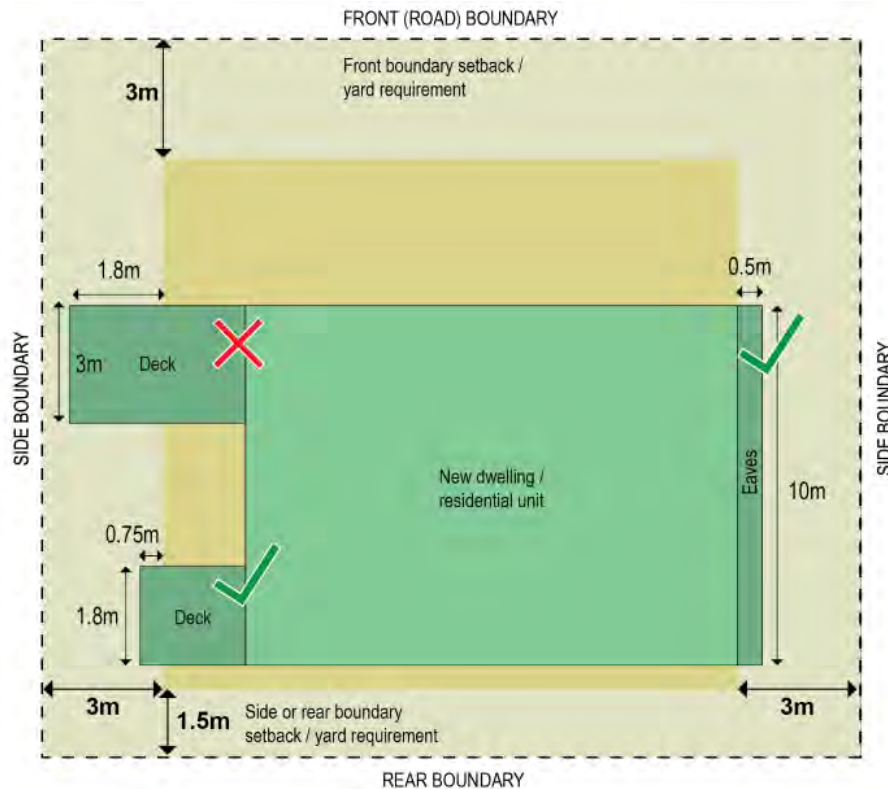
GRZ-S10	Wastewater disposal
1. All buildings and activities must be provided with a connection to Council's reticulated wastewater systems, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering <u>Development Standards 2023</u></i>, and/or Wellington Water standards as applicable.
GRZ-S11	Stormwater management
1. All buildings and activities must provide the means for treatment, catchment, and disposal of stormwater from all impervious or potentially impervious surfaces, including, but not limited, to structures, compacted soils, and sealed surfaces, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>. 2. Where a connection to Council's stormwater management systems is available, all allotments must be provided with a connection at the allotment boundary, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>. 3. Where the means of stormwater disposal is to ground, that area must be able and suitable to accommodate the stormwater discharge, and shall not be subject to instability, slippage, or inundation, or used for the disposal of wastewater.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering <u>Development Standards 2023</u></i>, and/or Wellington Water standards as applicable.
GRZ-S12	Relocatable buildings
1. Building inspection report: a. Prior to the building being relocated onto a site, a building consent(s) shall be obtained that covers all matters listed below; and	Matters of discretion: 1. Whether the building is structurally sound, the condition of the building, and the work needed to bring the exterior of the building up to an external visual appearance that is

b. A building inspection report prepared by a Council Building Officer or other Licenced Building Practitioner shall accompany the building consent application. The report shall identify all reinstatement work required to the exterior of the building and provide an estimate of the cost for the external refurbishment works after relocation; and c. The building shall be placed on permanent foundations approved by the building consent no later than two months from the date the building is moved to the site; and d. All other work required to reinstate the exterior of the building, including painting if required, shall be completed within 12 months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations; and e. The owner of the site on which the relocated building is placed shall certify that the reinstatement work will be completed within the 12-month period. The site owner shall be responsible for ensuring this work is completed. 2. The transportation route and any traffic management plans shall be provided to the Council within 10 working days prior to relocating the building. 3. Previous use: a. Any relocated building intended for use as a dwelling or for visitor accommodation must have previously been designed, built, and	tidy, of an appropriate standard, and is compatible with the other buildings in the vicinity. 2. The requirement for any screening and landscape treatment. 3. The bulk, design, and location of the building in relation to the requirements of the zone. 4. The need for structural repairs and reinstatement of the building and the length of time for completion of that work. 5. The imposition of a performance bond to ensure compliance with the consent conditions.
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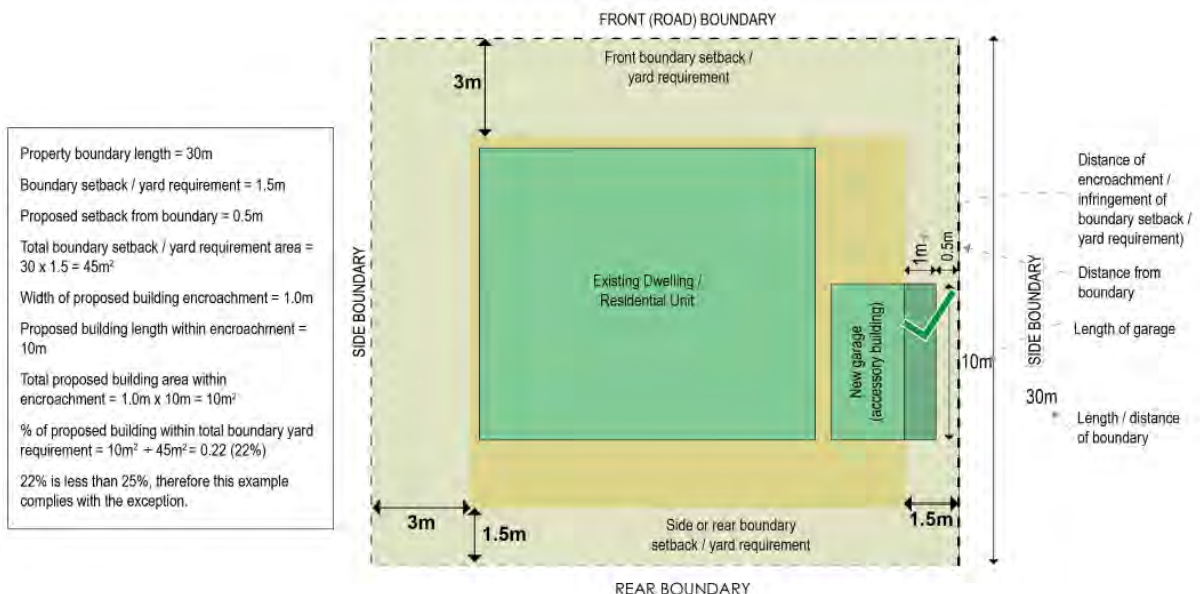
used as a dwelling or visitor accommodation. 4. <u>Where the cost of the reinstatement works identified in accordance with Performance Standard GRZ-S12(1)(b) is greater than \$10,000 (excluding GST), a Performance bond is required that meets the following:</u> a. A refundable performance bond of 125% of the cost of external reinstatement works identified in the building inspection report under performance standard GRZ-S12(2)<u>(1)(b)</u> in cash shall be lodged with the Council along with the application for building consent as a guarantee that external reinstatement works are completed. b. The bond shall be lodged in the form of a Deed annexed Appendix 6 to the District Plan. c. Subject to the provisions of the Deed, the bond will be refunded after the Council has inspected and confirmed compliance with external reinstatement requirements. Note: The Council will in good faith consider the partial release of the bond to the extent that reinstatement works are completed (i.e., on a proportional basis).	
<u>GRZ-SX</u>	<u>Waste storage areas</u>
<u>For residential activities at a density equal to or exceeding one residential unit per 200m² of net site area:</u> 1. <u>Where individual bins are used for household waste, a minimum storage space of 1.4m² per dwelling must be provided on the site.</u>	<u>Matters of discretion:</u> 1. <u>The location, accessibility, security, size, screening, and integration with site design of waste storage and collection areas for each residential unit.</u>

- | | |
|---|---|
| 2. <u>The minimum storage space must be visually screened and must be accessible from the kerb without stairs or a slope gradient over 1:12 (8%).</u> | 2. <u>The relevant matters contained in the Residential Design Guide.</u> |
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GRZ Diagram 1: Setback exemptions for eaves, porches, balconies, decks, and other minor building features



GRZ Diagram 2: Setback exemptions for accessory buildings



GRZ - General Residential Zone

Precinct 1: The Orchards Retirement Village Character Precinct

These rules only apply within The Orchards Retirement Village Precinct as shown on GRZ Precinct 1 Figure 1: Orchards Retirement Village Indicative Concept Plan. Where there is no applicable rule or standard in PREC1 for an activity, the activity will be assessed against the considerations of the underlying GRZ – General Residential Zone chapter.

PREC1 Rules

All buildings and activities within The Orchards Retirement Village Character Precinct shall comply with all General Residential Zone and District-wide permitted activity standards, except where the following rules apply.

PREC1-R1	Independent residential units, buildings and land for advanced residential health care, recreational and communal facilities, ground maintenance, and ancillary activities
	1. Activity status: Controlled Where: a. Compliance is achieved with: i. PREC1-S1; ii. PREC1-S2; iii. PREC1-S3; iv. PREC1-S4; v. PREC1-S5; vi. PREC1-S6; vii. PREC1-S7; viii. PREC1-S8; ix. PREC1-S9; x. PREC1-S10; xi. PREC1-S11; xii. PREC1-S12; and xiii. PREC1-S13. Matters of control: 1. The design, scale, and appearance of all buildings. 2. Minimum floor areas for residential units. 3. Building coverage for the site as shown in the Indicative Concept Plan in GRZ Precinct 1 Figure 1. 4. The provision of adequate supply of water for firefighting in accordance with the Code of Practice SNZ PAS 4509:2008. 5. The provision for and method of stormwater collection and disposal.

	6. The provision of wastewater disposal. 7. The location of buildings with respect to site boundaries and each other. 8. The provision of outdoor living courts. 9. The provision of outdoor storage and service areas, including bin storage and collection. 10. Roading and the provision of access and parking spaces. 11. The provision for safe pedestrian and cycle access throughout the site. 12. The provision of landscaping, screening, and open space. 13. Noise and vibration management. 14. Lighting. 15. Signage. 16. Staging of development. 17. Odour. 18. Sediment and dust management. 19. Financial contribution as set out in FC – Financial Contributions. 20. Reverse sensitivity effects.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with one or more of the standards PREC1-S1 to PREC1-S13. Matters of discretion: 1. The effects of non-compliance with the relevant standard, and the matters of discretion of any standard that is not met.
	3. Activity status: Discretionary Where: a. The activity is any other activity including any commercial or retail activity that is not a Controlled, Restricted Discretionary, or Non-complying activity in PREC1 Rules (1), (2), or (4).
	4. Activity status: Non-complying Where: a. The activity is any residential development within The Orchards Retirement Village Character Precinct that is not provided for as a Controlled activity in the standards PREC-S1 to PREC-S13.

Standards

All buildings and activities within The Orchards Retirement Village Character Precinct shall comply with all General Residential Zone and District-wide permitted activity standards, except where the following rules apply:

PREC1-S1	Number of residential units, beds, and employees
- The total number of independent residential units (including stand-alone, duplex and terrace dwellings but excluding advanced residential care facilities) shall not exceed 180. - Advanced residential care facilities shall not exceed 120 beds. - There shall be no limit to the number of persons (full-time equivalents) employed in The Orchards Retirement Village provided that: - The number of persons employed to deliver the on-site services are necessary to the operation of The Orchards Retirement Village. - Parking requirements shall be met in accordance the requirements set out in TR – Transport. Matters of discretion: - The effects of non-compliance with the standard.	
PREC1-S2	Minimum setbacks and separation distances
- Buildings within The Orchards Retirement Village Character Precinct shall be subject to the following building setbacks, as shown on the Indicative Concept Plan (GRZ Precinct1 Figure 1): - Boundaries 1, 2, and 7: 5m - Boundaries 3, 4, 8, and 9: 7.5m - Boundaries 5 and 6: 10m. - Minimum separation distance between independent dwelling units is 4.5m, except in the case of attached duplexes or terraced dwellings where there is no minimum separation distance requirement for their common walls. Matters of discretion: - The effects of non-compliance with the standard.	
PREC1-S3	Maximum height
The maximum height of buildings above ground level is 10m, except within 25m of Boundary 3 as shown on the Indicative Concept Plan (GRZ Precinct 1 Figure 1) where the maximum building height shall be 5m.	

Matters of discretion:	
1. The effects of non-compliance with the standard.	
PREC1-S4	Building design
1. The advanced residential care facility must include doors, windows, building modulation or other architectural detail for no less than 50% of its total façade.	
Matters of discretion:	
1. The effects of non-compliance with the standard.	
PREC1-S5	Noise
1. To minimise the penetration of airborne noise emanating from winery activities on Lot 1 DP 367619 (held in Record of Title 274645), any part of an exterior wall or roof of a bedroom or other room intended to be used for night-time sleeping that: a. faces (is parallel to the boundary +/- 60 degrees) Boundary 3 as shown on the Indicative Concept Plan (GRZ Precinct 1 Figure 1); and b. is within the Noise Insulation Area as shown on the Indicative Concept Plan (GRZ Precinct 1 Figure 1) shall be designed, constructed, and maintained to meet the following standardised airborne sound level difference (outdoor to indoor) as defined in AS/NZS1276:1999 Acoustics-Rating of sound insulation in buildings and of building elements Part 1: Airborne sound insulation: $D_{2 \text{ metres nT.w}} + C_{tr} > 25 \text{ dB}$ c. Compliance shall be demonstrated by providing to the Council an acoustic design certificate from a suitably qualified acoustic engineer prior to the construction of any room subject to this standard, demonstrating that the above noise insulation requirement will be achieved. Note 1: When assessing compliance with the noise insulation standard, it must be assumed that the noise emitted from Lot 1 DP 367619 (held in Record of Title 274645) meets the permitted activity noise standard in the District Plan or, where a resource consent authorises the noise, the relevant conditions on that resource consent.	
Matters of discretion:	
1. The effects of non-compliance with the standard.	
PREC1-S6	Maximum building coverage
1. The overall building coverage of The Orchards Retirement Village Character Precinct shall not exceed 26% as shown on the Indicative Concept Plan (GRZ Precinct 1 Figure 1).	
Matters of discretion:	
1. The effects of non-compliance with the standard.	

PREC1-S7	Outdoor living areas
1. Each independent residential unit shall provide exclusive paved outdoor living court (including any covered outdoor space) as follows: a. Villas: at least 15m² b. Terraces: at least 6m² Matters of discretion: 1. The effects of non-compliance with the standard.	
PREC1-S8	Wastewater disposal
1. Buildings requiring wastewater disposal shall be connected to the reticulated sewerage system in accordance with the standards set out in SUB – Subdivision. Matters of discretion: 1. The effects of non-compliance with the standard.	
PREC1-S9	Stormwater disposal
1. Stormwater from buildings and hard surfaces within The Orchards Retirement Village Character Precinct shall be managed and attenuated on-site using water sensitive urban design measures such that pre-development peak flow and total discharge from the site is not exceeded post-development, and all stormwater shall be disposed in accordance with the standards set out in SUB – Subdivision. Matters of discretion: 1. The effects of non-compliance with the standard.	
PREC1-S10	Private roads, vehicle crossings, cycle parking, car parking areas,
1. All private roads with The Orchard Retirement Village Character Precinct shall comply with the following standards: a. Minimum width formation: i. 5.5m with a footpath on one side for primary internal roads ii. 3m with pedestrian shared in the movement land for secondary roads iii. Passing opportunities every 50m on secondary roads. b. Shall be located as generally shown in the Indicative Concept Plan (GRZ Precinct 1 Figure 1). 2. All vehicle crossings to an independent residential unit, accessed from a public road, shall comply with the standards in TR – Transport. 3. Any staff cycle parking areas provided shall be secured and covered and be visible from communal buildings on the site.	

4. A contiguous carparking area shall contain no more than 15 parking spaces and associated access and manoeuvring areas.
5. Parking spaces for independent residential units shall be provided within The Orchards Retirement Village Character Precinct as follows:
 - a. Villas: at least 1 parking space off-street
 - b. Terraces: at least 1 parking space either off-street or on-street.
6. Parking spaces for Advanced Residential Care Facilities shall be provided within The Orchards Retirement Village Character Precinct and meet the parking space requirements set out in TR – Transport.
7. Parking spaces for non-residential activities shall be provided within The Orchards Retirement Village Character Precinct to meet the demands generated by the activity or building. This can be provided either as formed off-street or on-street parking spaces.

Matters of discretion:

1. The effects of non-compliance with the standard.

PREC1-S11

Screening and landscape treatment

1. All screening and landscape treatment within The Orchards Retirement Village Character Precinct shall comply with the following standards:
 - a. Any commercial storage, bin storage or service area shall be screened. The screening shall be no less than 1.5m in height, comprising either a planted buffer, or a fence or wall with 40% visual permeability.
 - b. Not less than 10% of the common areas within The Orchards Retirement Village Character Precinct shall be planted with shrubs of a minimum height of 200mm in general accordance with the Indicative Concept Plan in GRZ Schedule 1 Figure 1.

Matters of discretion:

1. The effects of non-compliance with the standard.

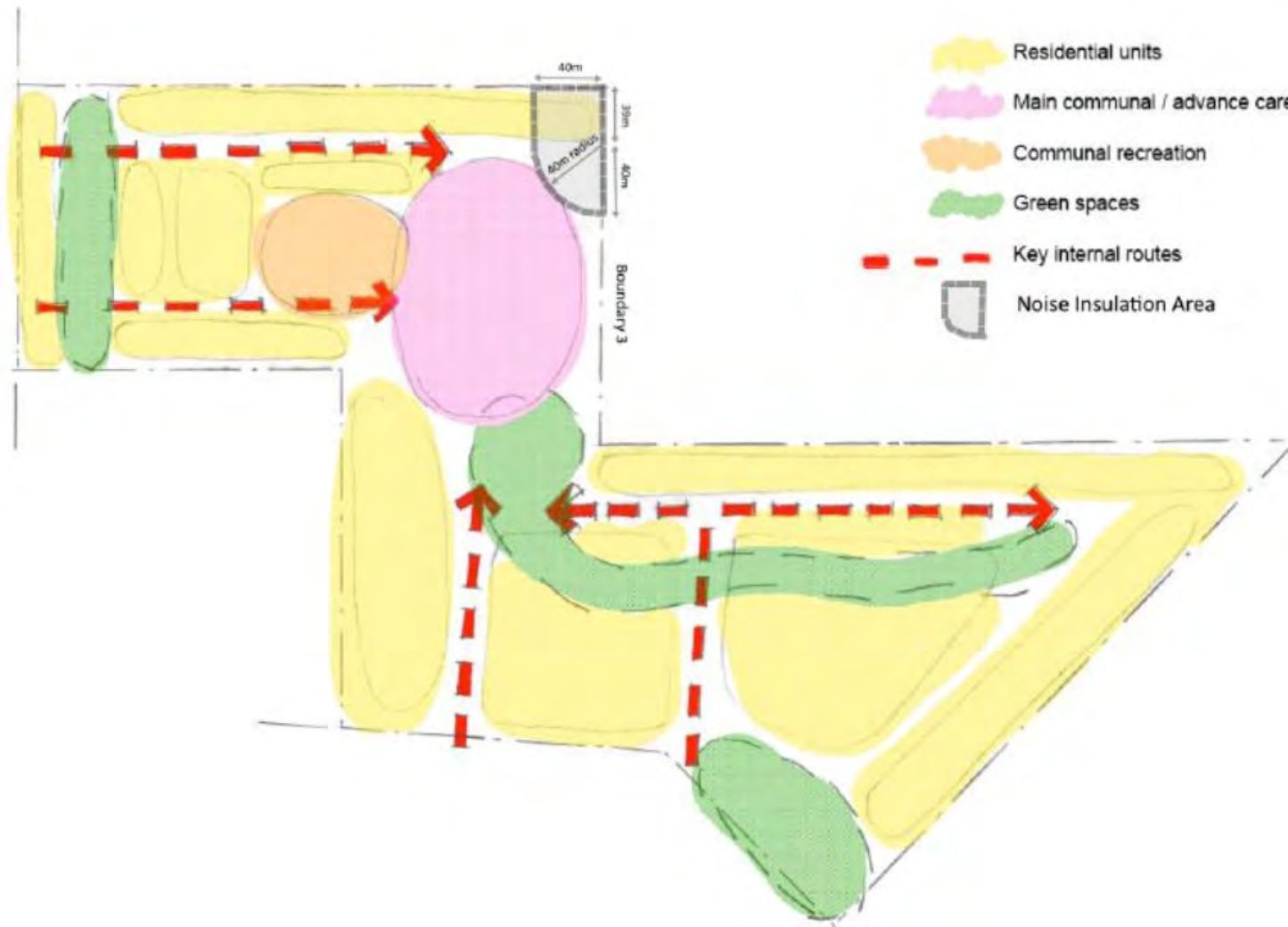
PREC1-S12

Signs

1. Any permanent sign shall be permitted provided it complies with the following standards:
 - a. A maximum of three signs per frontage with the public road, with a total face area per sign of no more than 4m².
 - b. The sign must relate to the activity undertaken on the site and be located fully within the site of the activity to which it relates.
 - c. Where a sign is affixed to a building, the sign shall comply with the maximum height and setback requirements.
 - d. All signs must comply with the sight distance requirement in GRZ Precinct 1 Figure 1.

	e. No sign shall be located where is conceals the visibility of an existing official sign or traffic-controlling device. f. No sign shall use reflective materials, or be illuminated, flashing, or moving. Matters of discretion: 1. The effects of non-compliance with the standard.
PREC1-S13	Non-residential activities
	1. All non-residential activities within The Orchards Retirement Village Character Precinct shall be ancillary to the operation of the retirement village. Matters of discretion: 1. The effects of non-compliance with the standard.

GRZ Precinct 1 Figure 1: Orchards Retirement Village Indicative Concept Plan



GRZ - General Residential Zone

Precinct 2: Greytown Development Precinct

These rules only apply within the Greytown Development Precinct as shown on GRZ Schedule 2 Figure 1: Greytown Development Precinct Structure Plan (Layout Plan). Where there is no applicable rule or standard in PREC2 for an activity, the activity will be assessed against the considerations of the underlying GRZ – General Residential Zone chapter.

The Greytown Development Precinct Structure Plan provides the framework to facilitate an integrated approach to residential development and subdivision, promotes the efficient use of infrastructure and avoids, remedies, or mitigates potential adverse effects on natural and physical resources in the area now known as the Greytown Development Precinct and identified in the attached GRZ Precinct 2 Figure 1: Greytown Development Precinct Structure Plan (Layout Plan).

PREC2 Objectives

PREC2-01	
Derived through both design principles and consultation, the Greytown Development Precinct Structure Plan has the following objectives: a. Integrated resource management across land in different ownership. b. Provision of certainty to landowners and Council. c. The setting of the general layout and form of development recognising owner preferences where possible. d. Achievement of good urban design. e. Coordinated infrastructure provision. f. Setting the level of financial contributions by quantifying the costs of infrastructure, identifying who is responsible for those costs and timeframes. g. Meeting Councils Section 32 of RMA duties by assessing costs, benefits, and alternatives. h. Development that is consistent with the design adopted by the Structure Plan. i. Maintaining Greytown's 'village' and heritage character. j. Maintaining Greytown's landscape character through features including large/mature trees, vegetation, gardens, reserves, and openness. k. Providing for efficient transport connections – enhance how roads, footpaths and walkways and cycling networks work together and link to existing networks including access to buses and trains.	

- I. Allowing for diversity within the area.

PREC2 Policies

PREC2-P1	Subdivision and development in the Greytown Development Precinct
To manage the form and pattern of subdivision and development within the Greytown Development Precinct to achieve the objectives of the approved Structure Plan for the area.	

PREC2 Standards

All buildings and activities within the Greytown Development Precinct shall comply with all General Residential Zone and District-wide permitted activity standards, except where the following standards apply:

PREC2-S1	Vehicle, cycle, and pedestrian connectivity
1. A central 'spine' (collector) road, providing for vehicular, cycle, and foot traffic shall connect West Street to Mole Street, with connection points across property boundaries in the locations shown on GRZ Precinct 2 Figure 1: Greytown Development Area Structure Plan (Layout Plan) 2. The 'spine' road shall be designed to the standards set out in GRZ Precinct 2 Figure 3: Greytown Development Precinct Structure Plan (Cross Section 1 Spine (Collector) Road). 3. The 'spine' road is named "Farley Avenue" in recognition of the historic connection to the Farley Family have with the land, as previous owners, and the location of the Farley Oak tree on West Street near the entrance to the 'spine' road. 4. The existing access into the Greytown Development Precinct from West Street (connection point of the 'spine' road onto West Street) shall have a minimum legal road width of 17 metres which is to be covered by a designation for "road" as outlined in in GRZ Precinct 2 Figure 2: Greytown Development Precinct Structure Plan (Designated Road Plan Cross Section AA). 5. Vehicle crossings (access points and driveways) off the 'spine' road on the side of the lineal reserve and water race shall be minimised to ensure the continuity of the lineal reserve and water race. Crossings of the water race shall be spaced at a minimum distance of 90 metres, this distance is to be measured from the centre point of each proposed access. 6. Access is to be provided from the 'spine' road through to the extension of Westwood Avenue. 7. Side roads (local roads) shall form connections from the 'spine' road to Wood Street and Kuratawhiti Street, with connection points across property boundaries in locations on the	

in GRZ Precinct 2 Figure 1: Greytown Development Precinct Structure Plan (Layout Plan). 8. Pedestrian links shall be adequately lit with heritage types streetlights (similar to those in Westwood Avenue or the Main Street Heritage Precinct), with all lighting designed to minimize glare and light pollution to adjoining residential properties, roads, and the night sky. 9. The naming of local roads and right-of-ways within the Greytown Development Precinct should consider the list of road names available from Council upon request. 10. All scheme plans lodged for subdivision development proposals within the Greytown Development Precinct shall provide for connections to adjoining land. 11. Where a continuation of a road link across a property boundary is to be provided in the future, a temporary turnaround shall be provided, unless otherwise authorised by Council as part of a resource consent process. 12. Unless otherwise specified in this design guide, all roads, access, footpaths, and parking shall be designed in accordance with the TR – Transport chapter of the District Plan. Matters of discretion: 1. The effects of non-compliance with the standard.	
PREC2-S2	Reserves
1. A lineal reserve alongside the ‘spine’ road shall incorporate a branch of the Moroa Water Race and shall be provided to cater for the recreational needs of residents. 2. The lineal reserve shall be developed with facilities and amenities including a cycle/walking path, plantings of native and exotic plants and trees, lawns, spaced seating, and lighting. Only a limited number of people/vehicle access points shall be permitted to cross the lineal reserve. 3. In the long-term the bunds along the water race shall be planted and street trees shall be established to enhance of the landscape and maintain Greytown’s character. Matters of discretion: 1. The effects of non-compliance with the standard.	
PREC2-S3	Site development
1. Landowners and developers shall prepare subdivision development proposals that take account of the diversity of housing styles demanded by the residential housing market, so that a range of lots sizes (e.g. smaller lots to cater for single people or elderly couples, and more spacious lots for families with large areas of open space and vegetation) shall be provided within the Greytown Development Precinct.	

2. Subdivisions shall be designed to incorporate the roading network and connectivity points shown on GRZ Precinct 2 Figure 1: Greytown Development Precinct Structure Plan (Layout Plan).
3. Unless otherwise specified in this design guide, all development within the Greytown Development Precinct shall be in accordance with the residential development standards of the District Plan.

Matters of discretion:

1. The effects of non-compliance with the standard.

PREC2-S4

Infrastructure and services

1. All mains and services shall be located underground and within road reserve, except as specified in PREC2-S4(5) below.
2. Water supply systems shall interconnect with the ring main around Wood, Mole, Kuratawhiti and West Streets, and Westwood Avenue.
3. Primary stormwater treatment from roads and sites shall be designed to a 100-year return period and primarily managed via soak pits and/or swales.
4. The water race shall be designed and reformed to provide water retention capacity for stormwater control purposes.
5. A new sewer main through 21 Wood Street or in close proximity to that location shall be provided for and covered by an easement or similar instrument.
6. Unless otherwise specified in this design guide, all services shall be designed in accordance with requirements of the District Plan.

Matters of discretion:

1. The effects of non-compliance with the standard.

PREC2-S5

Financial contributions

1. While the existing Financial Contributions framework of the District Plan enables Council to recover funding for the actual costs of providing infrastructure (water supply, wastewater disposal, stormwater disposal), open spaces, and roads/access to the development Council, in line with recent legislative changes, Council proposes to transfer the financial contributions applicable to the Greytown Development Precinct to development levies. This will be done as part of the developing the 2018-2028 Long Term Plan under the Local Government Act. In the interim Council will continue to collect the actual cost of any upgrade to infrastructure, reserves and roads/access necessary to service the development area; and a share of the cost where additional capacity has been created in anticipation of future development through financial contributions.
2. The existing Financial Contributions framework provides the overall context for financial contributions within the Greytown Development Precinct with the actual financial

contributions amounts levied (listed below) being based on the actual costs of providing infrastructure, and the works deemed necessary to upgrade Greytown's infrastructure to service the development of the Greytown Development Precinct.

3. The following Financial Contributions will be levied in the Greytown Development Precinct:

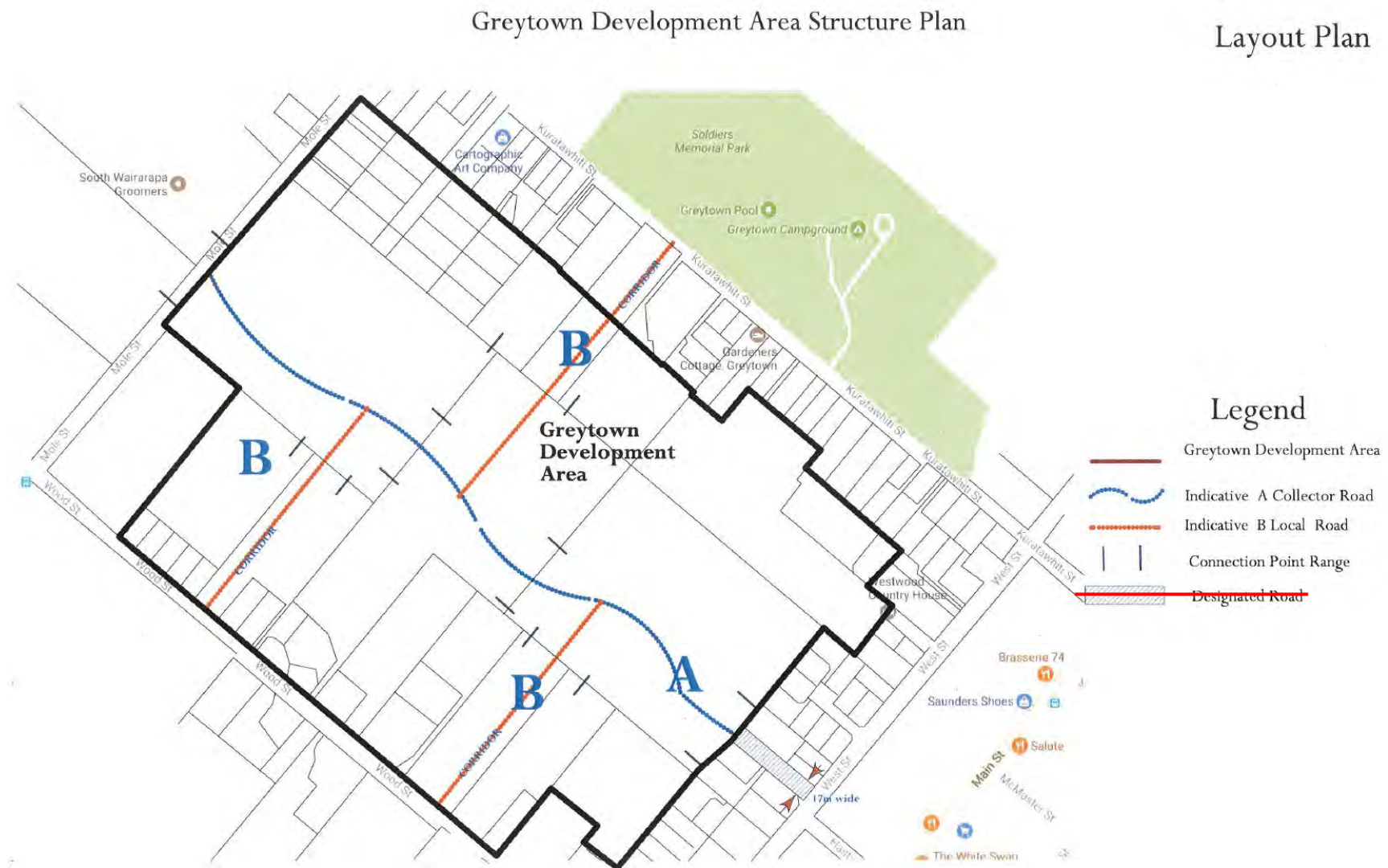
- a. Wastewater Disposal: \$10,400 (excluding GST) per allotment created [The cost of upgrading the wastewater system in Greytown was calculated at approximately \$6 million plus GST. This was then divided by the maximum likely number of new residential lots within Greytown. This results in 80% of the wastewater upgrades being funded through financial contributions and 20% through rates. This funding split included the 400 additional lots in the Greytown Development Precinct.]
- b. Water: \$3249 (excluding GST) per allotment created [As little upgrading of the water supply system is required to accommodate development in the Greytown Development Precinct, the existing financial contributions levied for water, as specified here, will apply.]
- c. Reserves: 3% of the land value of each allotment created (plus GST) [The total cost of the land required for the Greytown Development Precinct lineal reserve and the lineal reserve development costs including cycle/pedestrian path, landscaping and tree planting, seating and the water race relocation and formation has been calculated at approximately \$710,000 plus GST. The yield of reserve contributions from 3% of the land value of the 400 additional lots in the Greytown Development Precinct is considered sufficient to enable Council to establish the lineal reserve as envisaged.]
- d. Roothing: 2% of the land value of each allotment created (plus GST), plus \$3260 (excluding GST) per allotment created on properties that are not providing land for either the construction of 'spine' road and/or local roads. [The total cost of upgrading the roading network around the Greytown Development Precinct, including necessary upgrades to Wood Street and Mole Street, the cost of the ~~designation over~~ the access off West Street and the construction costs of the increased width of the 'spine' road has been calculated at approximately \$1.2 million plus GST. This was then divided by the maximum likely number of new residential lots within the Greytown Development Precinct that would not be providing land for roading (estimated at 320 lots). The roading contribution recognises the "public good" component that the 'spine' road and connecting local roads provide to the efficient functioning of the overall Greytown Development Precinct.

4. Unless otherwise specified in this design guide, Section 23: Financial Contributions of the District Plan applies to the Greytown Development Precinct.

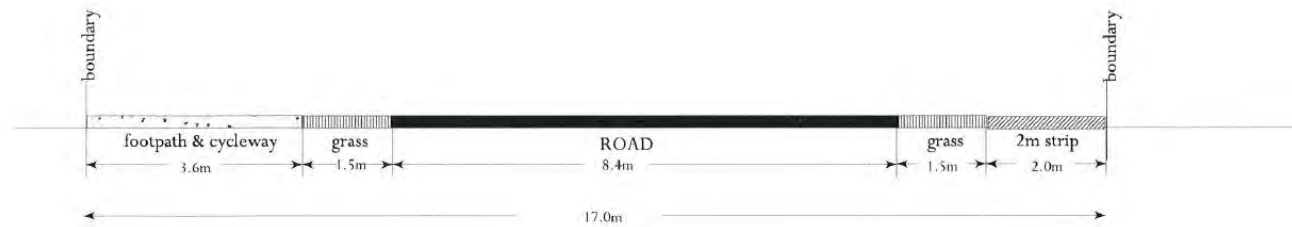
Matters of discretion:

1. The effects of non-compliance with the standard.

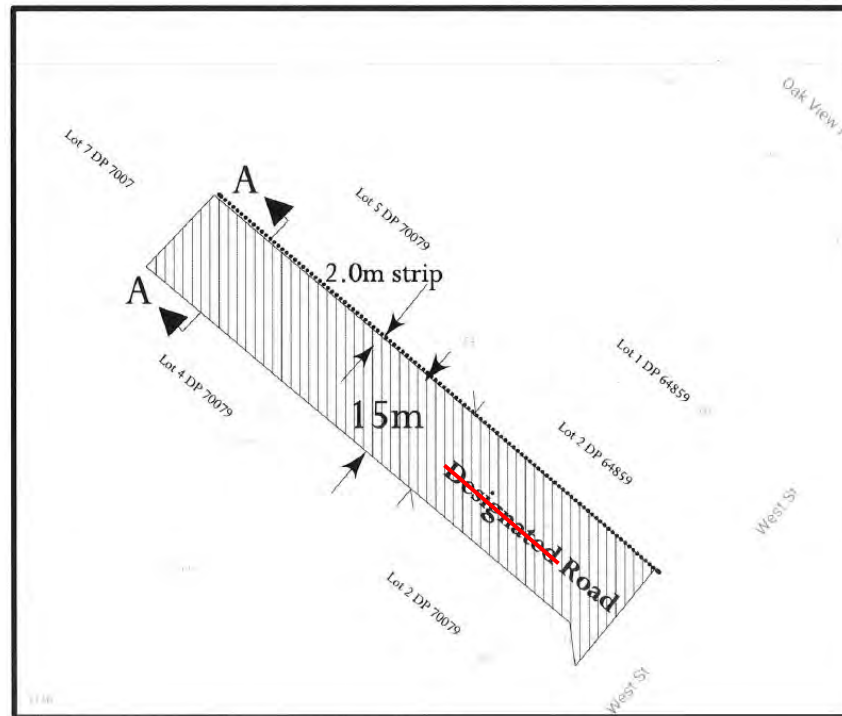
GRZ Precinct 2 Figure 1: Greytown Development Precinct Structure Plan (Layout Plan)



GRZ Precinct 2 Figure 2: Greytown Development Precinct Structure Plan (Designated Road Cross Section AA)



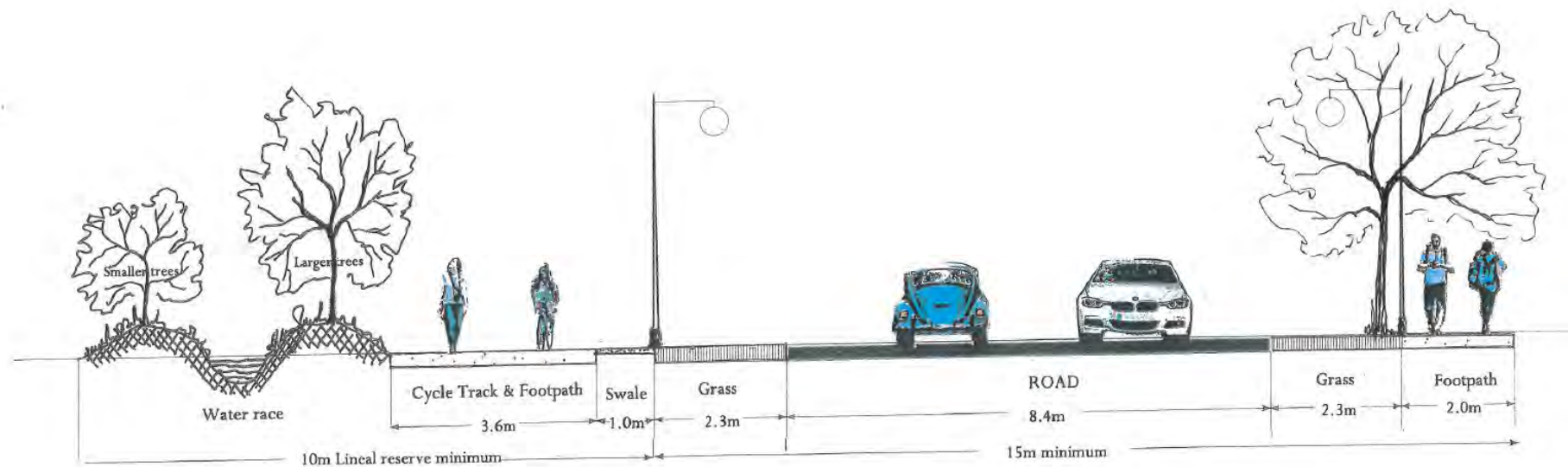
Cross Section A A



GRZ Precinct 2 Figure 3: Greytown Development Precinct Structure Plan (Cross Section 1)

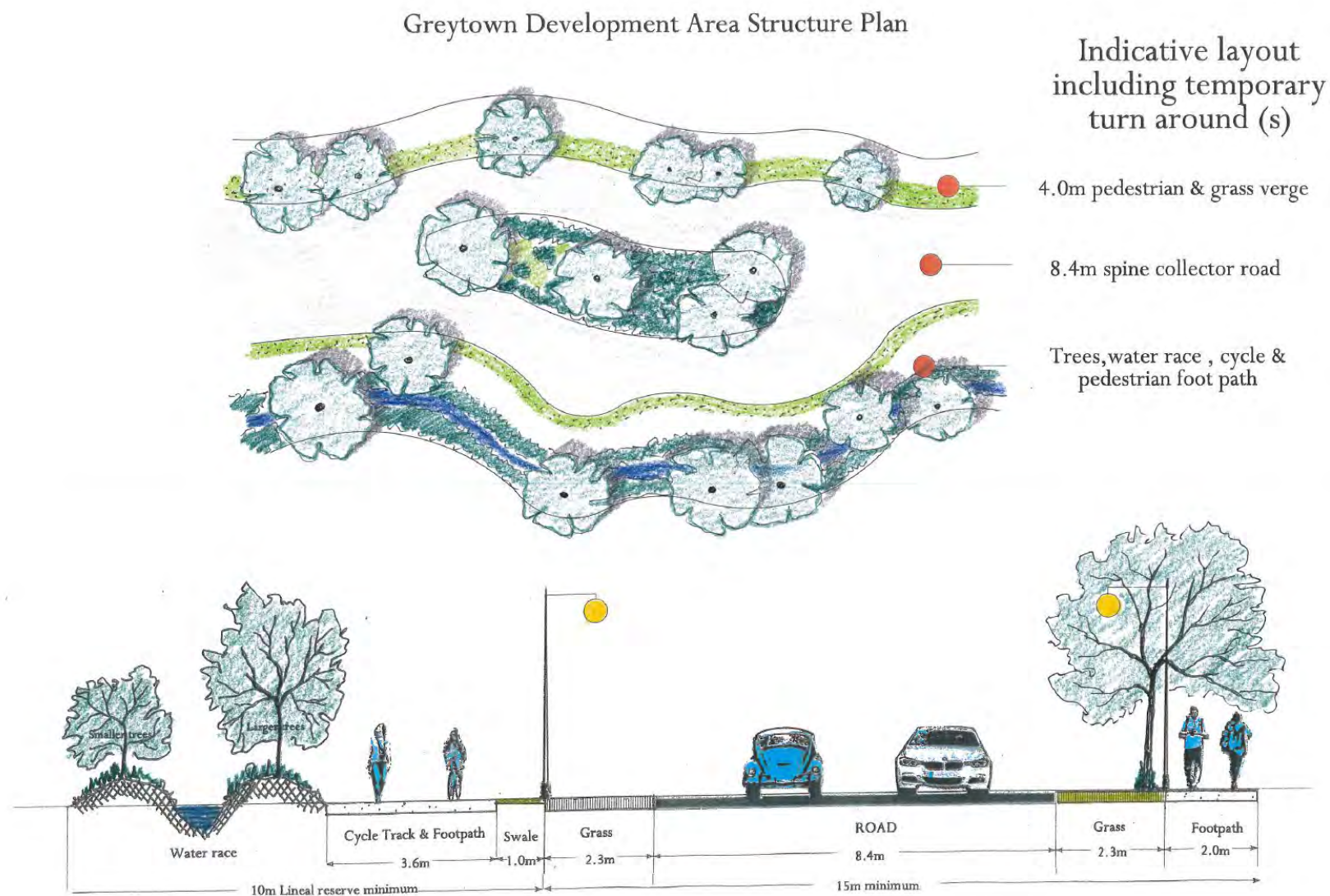
Greytown Development Area Structure Plan

Cross Section 1
Spine (Collector) Road



Cross Section 1
Spine (Collector) Road

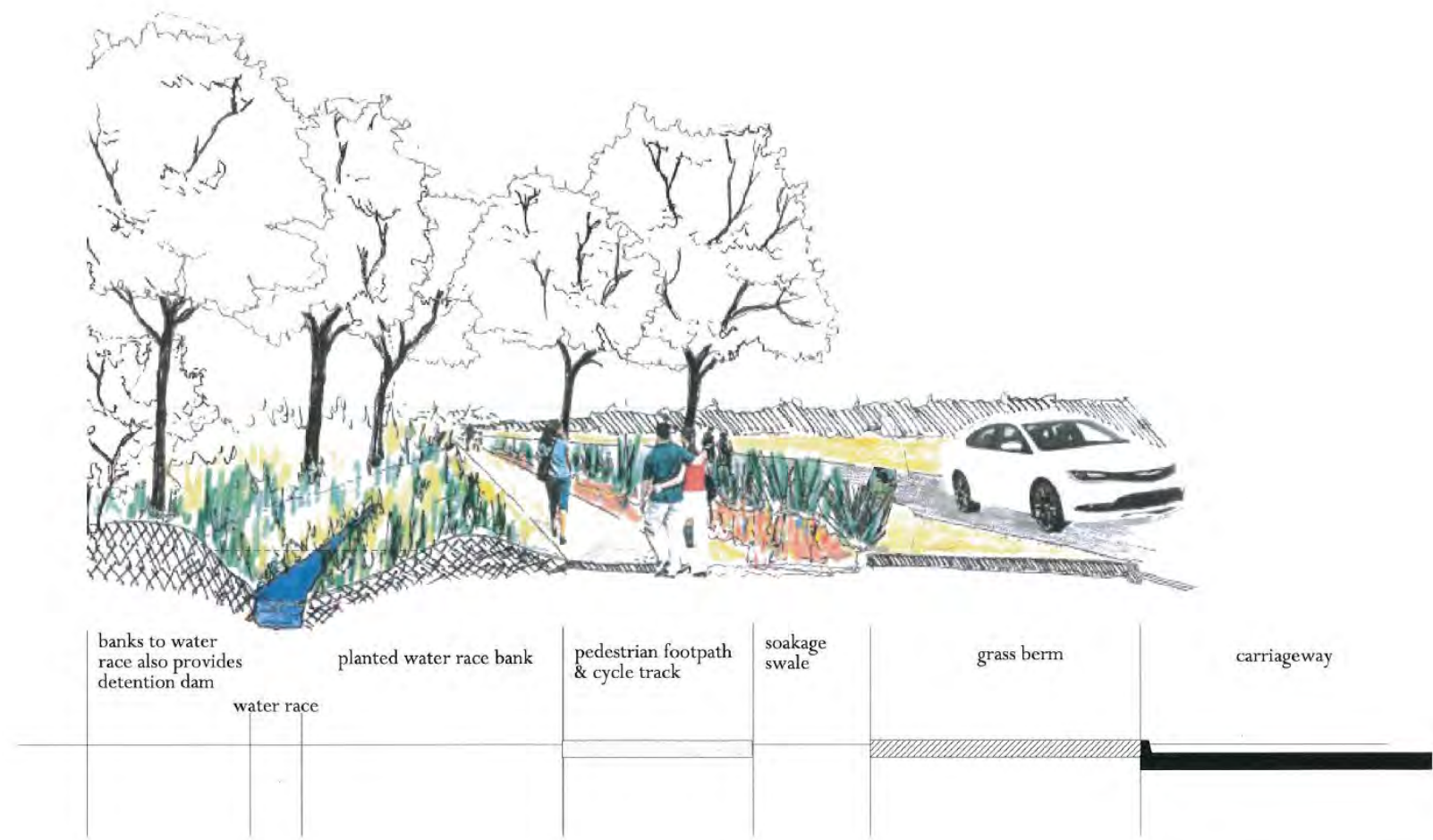
GRZ Precinct 2 Figure 4: Greytown Development Precinct Structure Plan (Indicative Layout)



GRZ Precinct 2 Figure 5: Greytown Development Precinct Structure Plan (Landscape Perspective Plan)

Greytown Development Area Structure Plan

Landscape Perspective Plan



GRZ - General Residential Zone

Precinct 3: Cashmere Oaks Development Precinct

These rules only apply within the Cashmere Oaks Development Precinct as shown on GRZ Precinct 3 Figure 1: Cashmere Oaks Precinct [Outline Development Structure Plan](#). [Where there is no applicable rule or standard in PREC3 for an activity, the activity will be assessed against the considerations of the underlying GRZ – General Residential Zone chapter.](#)

PREC3 Policies

PREC3-P1	Subdivision and Development in the Cashmere Oaks Development Precinct
Provide for the development and operation of a retirement village on the land identified as the Cashmere Oaks Development Precinct in GRZ Precinct 3 Figure 1: Cashmere Oaks Outline Plan, subject to such environmental standards as necessary to avoid, remedy, or mitigate any adverse effects.	

PREC3 Rules

PREC3-R1	Construction and operation of a retirement village
	1. Activity status: Restricted discretionary Where: - The activity meets the specifications of GRZ Precinct 3 Figure 1: Cashmere Oaks Outline Development Plan; and - Compliance is achieved with: - PREC3-S1; - PREC3-S2; - PREC3-S3; - PREC3-S4; and - PREC3-S5. Matters of discretion: - The design, scale, and appearance of all buildings and the creation of visual quality and variety as assessed from the public realm through the separation of buildings, building orientation, and the use of architectural design, detailing, glazing, materials, colour, and landscaping. A landscape plan showing the proposed landscaping and screening treatment for the proposal, which shall include:

	i. Street tree and amenity planting, including proposed buffer planting along the northern external boundary of the site; ii. The ability of the proposal to integrate with surrounding land uses with regard to fencing and boundary treatments. iii. Reserves / open space design; iv. Transport network and links (road, pedestrian, and cycling); and v. Stormwater basin and swale design. 3. The provision of adequate supply of water for firefighting in accordance with the Code of Practice SNZ PAS 4509:2008. 4. The provision of water supply, wastewater disposal, and stormwater collection and disposal, utilities, and services. 5. <u>Roading, traffic, road safety, access, and car parking, specifically including: The safety, effectiveness, and efficiency of transport infrastructure as evidenced by an Integrated Transportation Assessment that addresses:</u> i. Roading, traffic, and road safety, access, and car parking; ii. Improvements and alterations to existing roads; iii. Connectivity, including the configuration and location of pedestrian pathways, cycleways, and vehicle accesses; iv. Safety improvements to the intersection of State Highway 2 and Cashmere Oaks Drive; v. The provision of public transport facilities and infrastructure; vi. The provision of safe pedestrian and cycling access and connections to existing transport corridors, including State Highway 2, and within the site; vii. The management of construction traffic effects.; and viii. Outcomes of consultation with Waka Kotahi NZ Transport Agency. 6. Landscaping, screening, and open spaces. 7. Signage. 8. Earthworks, sediment, and dust management. 9. Financial contributions. Notification: An application for resource consent under this rule is precluded from public notification. Limited notification must at least include notice of the application to Waka Kotahi NZ Transport Agency. <u>Assessment criteria:</u> 1. <u>The ability of the proposal to integrate with surrounding land uses, with regard to:</u> i. <u>Fencing and boundary treatments</u> ii. <u>Connectivity, including the configuration and location of pedestrian pathways, cycleways, and vehicle accesses.</u>
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	2. <u>Creation of visual quality and variety as assessed from the public realm through the separation of buildings, building orientation, and in the use of architectural design, detailing, glazing materials, colour, and landscaping.</u> 3. <u>The extent to which the development is consistent with the indicative GRZ Precinct 3 Figure 1: Cashmere Oaks Precinct Outline Development Plan.</u> 4. <u>The safety, effectiveness, and efficiency of transport infrastructure, utilities, and services.</u> 5. <u>The proposed stormwater management within the site.</u> <u>Information to be supplied with resource consent applications made under this rule:</u> 1. <u>A landscape plan showing the proposed landscaping and screening treatment for the proposal. The landscape plan shall include the following:</u> i. <u>Street tree and amenity planting, including proposed buffer planting along the northern external boundary of the site;</u> ii. <u>Reserves / open space design;</u> iii. <u>Transport network (roads, pedestrian, and cycle links); and</u> iv. <u>Stormwater basin and swale design.</u> 2. <u>An Integrated Transport Assessment, which shall address but is not limited to:</u> i. <u>Improvements and alterations to existing roads;</u> ii. <u>Safety improvements to the intersection of State Highway 2 and Cashmere Oaks Drive;</u> iii. <u>The provision of public transport facilities and infrastructure;</u> iv. <u>The provision of safe pedestrian and cycle access and connections to existing transport corridors, including State Highway 2, and within the site;</u> v. <u>The management of construction traffic effects; and</u> vi. <u>The outcomes of consultation with Waka Kotahi NZ Transport Agency.</u>
	2. Activity status: Discretionary Where: a. Compliance is not achieved with any of the standards PREC3-S1 to PREC3-S5.
	3. Activity status: Discretionary Where:

	a. The activity is any other activity that is not otherwise listed a Permitted, Controlled, or Restricted Discretionary activity in PREC3 Rules is a Discretionary activity.
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Standards

All buildings and activities within the Cashmere Oaks Development Precinct shall comply with all General Residential Zone and District-wide permitted activity standards, except where the following standards apply:

PREC3-S1	Noise and vibration standards													
Indoor railway noise														
1. Within 100m of the legal boundary of a railway network:														
a. Any new building or alteration to an existing building that contains a noise sensitive activity where the building or alteration is designed, constructed, or maintained to achieve indoor design noise levels resulting from the railway not exceeding the maximum values in the following table:														
<table><tr><th>Building type</th><th>Occupation/activity</th><th>Maximum railway noise level $L_{Aeq}(1h)$</th></tr><tr><td rowspan="2">Residential</td><td>Sleeping spaces</td><td>35dB</td></tr><tr><td>All other habitable rooms</td><td>40dB</td></tr><tr><td rowspan="2">Health</td><td>Overnight medical care, wards</td><td>40dB</td></tr><tr><td>Clinic, consulting rooms, theatres, nurses stations</td><td>45dB</td></tr></table>		Building type	Occupation/activity	Maximum railway noise level $L_{Aeq}(1h)$	Residential	Sleeping spaces	35dB	All other habitable rooms	40dB	Health	Overnight medical care, wards	40dB	Clinic, consulting rooms, theatres, nurses stations	45dB
Building type	Occupation/activity	Maximum railway noise level $L_{Aeq}(1h)$												
Residential	Sleeping spaces	35dB												
	All other habitable rooms	40dB												
Health	Overnight medical care, wards	40dB												
	Clinic, consulting rooms, theatres, nurses stations	45dB												
; or														
b. Is at least 50m from any railway network and is designed so that a noise barrier completely blocks the line of sight from all parts of doors and windows to all points 3.8m above the railway tracks; or														
c. Is a single-storey framed residential building with habitable rooms designed, constructed, and maintained in accordance with the construction schedule set out in PREC3 Table 1: Construction schedule for indoor noise control.														
Mechanical ventilation														
2. If a building is constructed in accordance with PREC3-S1(1)(c) or if windows must be closed to achieve the design noise levels in PREC3-S1(1)(a), the building shall be designed, constructed, and maintained with a mechanical ventilation system that:														
a. For habitable rooms for a residential activity, achieves the following requirements:														

	i. Provides mechanical ventilation to satisfy clause G4 of the New Zealand Building Code; and ii. Is adjustable by the occupant to control the ventilation rate in increments up to a high air flow setting that provides at least 6 air changes per hour; and iii. Provides relief for equivalent volumes of spill air; and iv. Provides cooling and heating that is controllable by the occupant and can maintain the inside temperature between 18oC and 25oC; and v. Does not generate more than 35dB $L_{Aeq(30sec)}$ when measured 1m away from any grille or diffuser. b. For other spaces, as determined by a suitably qualified and experienced person.
	Indoor railway vibration
3.	Any new buildings or alterations to existing buildings containing a noise sensitive activity closer than 60m to the boundary of a railway network: a. Is designed, constructed, and maintained to achieve rail vibration levels not exceeding 0.6mm/s $v_{w,95}$; or b. Is a single-storey framed residential building with: i. A constant level floor slab on a full-surface vibration isolation bearing with natural frequency not exceeding 10 Hz, installed in accordance with the supplier's instructions and recommendations; and ii. Vibration isolation separating the sides of the floor slab from the ground; and iii. No rigid connections between the building and the ground. 4. A report is submitted to Council demonstrating compliance with PREC3-S1(1) to (3) above (as relevant) prior to construction or alteration of any building containing a noise sensitive activity. In the design: a. Railway noise is assumed to be 64dB $L_{Aeq(1h)}$ at a distance of 12m from the track, and must be deemed to reduce at a rate of 3dB per doubling of distance up to 40m and 6dB per doubling of distance beyond 40m.
	Matters of discretion:
1.	The effect of non-compliance with any standard that is not met.
PREC3-S2	Maximum density
1.	For dwellings associated with a retirement village, the total number of dwellings per site shall be limited to that which enables each dwelling to meet the minimum lot area subdivision requirements for that site under SUB-S1.
2.	For dwellings not associated with a retirement village, the total number of dwellings per site is limited to one.

PREC3-S3	Maximum height
1. The maximum height of the main building used for retirement village or aged care uses shall be 14m above ground level in the area identified as '14m Maximum Height Area' in GRZ Precinct 3 Figure 1: Cashmere Oaks Outline Development Plan. Note: for the purposes of this standard, only one building within the 14m Maximum Height Area is permitted to have a maximum height of 14m. All other buildings shall comply with the maximum height of the General Residential Zone. Matters of discretion: 1. The effects of non-compliance with the standard.	
PREC3-S4	Minimum setbacks
1. Buildings or structures must not be located within 3m of the external boundaries of a site. Matters of discretion: 1. The effects of non-compliance with the standard.	
PREC3-S5	Stormwater management
1. Stormwater from buildings and hard surfaces from within the retirement village area identified in GRZ Precinct 3 Figure 1: Cashmere Oaks Outline Development Plan shall be managed and attenuated on-site using low impact urban design measures such that post-development peak flow and total discharge from the site does not exceed a pre-development scenario. 2. All stormwater from the site shall be managed and disposed of in accordance with Council Engineering Development Standards § 2023. Matters of discretion: 1. The effects of non-compliance with the standard.	
PREC3-S6	Signs
1. Permanent signs must comply with the following: - A maximum of three signs per frontage with the public road, with a total face area per sign of no more than 4m²; - The sign must relate to the activity undertaken on the site and be located fully within the site of the activity to which it relates; - Where a sign is affixed to a building the sign shall comply with the maximum height and setback requirements - All signs must comply with the sight distance requirements set out in the TR – Transport chapter;	

- e. No sign shall be located where it conceals the visibility of an existing official sign or traffic-controlling device; and
- f. No sign shall use reflective materials, be flashing, or moving.

Matters of discretion:

1. The effects of non-compliance with the standard.

PREC3 Table 1: Construction schedule for indoor noise control

Elements	Minimum construction for noise control in addition to the requirements of the New Zealand Building Code	
External walls	Wall cavity infill of fibrous insulation, batts or similar (minimum density of 9 kg/m ³)	
	Cladding and internal wall lining complying with either Options A, B, or C below:	
	Option A – Light cladding: timber weatherboard or sheet materials with surface mass between 8kg/m ² and 30kg/m ² of wall cladding	Internal lining of minimum 17kg/m ² plasterboard, such as two layers of 10mm thick high density plasterboard, on resilient/isolating mountings
	Option B – Medium cladding: surface mass between 30kg/m ² and 80kg/m ² of wall cladding	Internal lining of minimum 17kg/m ² plasterboard, such as two layers of 10mm thick high density plasterboard
	Option C – Heavy cladding: surface mass between 80kg/m ² and 220kg/m ² of wall cladding	No requirements additional to New Zealand Building Code
Roof / ceiling	Ceiling cavity infill of fibrous insulation, batts or similar (minimum density of 7kg/m ³)	
	Ceiling penetrations, such as for recessed lighting or ventilation, shall not allow additional noise break-in	
	Roof type and internal ceiling lining complying with either Options A, B, or C below:	

	Option A - Skillion roof with light cladding: surface mass up to 20kg/m ² of roof cladding	Internal lining of minimum 25kg/m ² plasterboard, such as two layers of 13mm thick high density plasterboard
	Option B - Pitched roof with light cladding: surface mass up to 20kg/m ² of roof cladding	Internal lining of minimum 17kg/m ² plasterboard, such as two layers of 10mm thick high density plasterboard
	Option C - Roof with heavy cladding: surface mass between 20kg/m ² and 60kg/m ² of roof cladding	No requirements additional to New Zealand Building Code
Glazed areas	Aluminium frames with full compression seals on opening panes	
	Glazed areas shall be less than 35% of each room floor area	
	Either double-glazing with: • a laminated pane of glass at least 6mm thick; and • a cavity between the two panes of glass at least 12mm deep; and • a second pane of glass at least 4mm thick, or • any other glazing with a minimum performance of Rw 33dB.	
Exterior doors	Exterior door with line-of-sight, to any part of the state highway road surface or to any point 3.8m above railway tracks	Solid core exterior door, minimum surface mass 24kg/m ² , with edge and threshold compression seals; or other doorset with minimum performance of Rw 30dB
	Exterior door shielded by the building so there is no line-of-sight to any parts of the state highway road surface or any points 3.8m above railway tracks	Exterior door with edge and threshold compression seals

GRZ Precinct 3 Figure 1: Cashmere Oaks Outline Development Plan



SETZ - Settlement Zone

The purpose of the Settlement Zone is to provide for small-scale coastal and rural settlements in the districts. The Settlement Zone largely comprises residential areas along with some *commercial activities* that provide services to local coastal or rural communities. The Settlement Zone also provides for tourist and traveller amenities, such as service stations, food and beverage outlets, and small-scale retail services.

The Settlement Zone applies in the following townships:

- Castlepoint;
- Riversdale;
- Cape Palliser;
- Ngawi;
- Whatarangi;
- Lake Ferry;
- Whāngaimoana; and
- South Featherston.

These townships have limited or no reticulated water services. In the Masterton District, these townships have reticulated wastewater services, but do not have reticulated water or stormwater and must provide for this on-site. In the South Wairarapa district, no reticulated water services are available in these townships and all water servicing must be provided for on site. There are no townships zoned Settlement in the Carterton District. [Within the Riversdale Terraces Precinct in the Riversdale Beach Settlement Zone minimum site sizes are larger, to maintain residential character and amenity values.](#)

Note: There may be several rules that apply to an activity, building, structure, or site. Resource consent may therefore be required under rules in this chapter as well as other chapters. Unless specifically stated in a rule, resource consent is required under each relevant rule. The steps to determine the status of an activity are set out in the General Approach section in the How the Plan Works chapter.

Objectives

SETZ-O1	Purpose of the Settlement Zone
The Settlement Zone predominantly provides larger sites for residential use and enables some community and small-scale commercial uses where they provide services to the local community.	
SETZ-O2	Character and amenity values of the Settlement Zone
Existing settlements are recognised and retain their existing character and amenity values.	

Policies

SETZ-P1	Enable appropriate and complementary activities in the Settlement Zone
Provide for activities and structures that support and maintain the character and amenity values anticipated for the zone, which provides for: a. predominantly low density <i>residential activities</i> on large sites that accommodate on-site servicing if reticulated <i>infrastructure</i> is not available in the area; b. small-scale <i>commercial</i>, tourism, hospitality, and general store activities that service the local coastal and/or rural communities and visitors; and c. <i>cultural activities</i>, <i>visitor accommodation</i>, reserves, <i>community</i> and <i>educational facilities</i> to meet the needs of local coastal and/or rural communities and visitors.	
SETZ-P2	Maintain the character and amenity values of existing settlements
Maintain the role, function, and predominant character and amenity values for the zone, particularly activities and structures by: a. ensuring the intensity of development is predominantly single detached <i>residential units</i> on single sites, on larger lot sizes, and providing for high quality and spacious on-site amenity; b. maintaining <i>building height</i>, bulk, and form that is in keeping with the character and amenity values of the existing settlements, which includes built character of predominantly 1- to 2-storey <i>residential units</i> within a generally spacious setting; c. maintaining <i>building height</i>, bulk, and location that achieves a reasonable level of sunlight access and privacy and minimises visual dominance effects to the adjoining sites;	

	d. <u>within the Riversdale Terraces Precinct, maintaining the overall subdivision density and pattern of residential development;</u> e. ensuring development that achieves attractive and safe streets and public open spaces, including by: i. providing for passive surveillance; ii. optimising front yard landscaping; and iii. minimising visual dominance of garage doors; f. providing a good standard of internal amenity within sites including useable and accessible outdoor living areas for residents; g. providing for non-residential activities where they are compatible with <i>residential activities</i> and do not detract from the character of the settlement; h. maintaining significant outlooks from within public spaces in the settlements to coastal or rural areas; i. providing for pedestrian movement within the settlement, but with minimal use of kerb and channelling, and informal streetscapes as set out in <u>Council's engineering standards Engineering Development Standard 2023</u>; and j. providing for low impact on-site <i>infrastructure</i> to service <i>residential</i> and non-residential activities.
SETZ-P3	Relocatable buildings
	Provide for relocation of buildings while requiring the completion and renovation within a reasonable timeframe by: 1. Requiring pre-inspection reports to be prepared that identify any reinstatement work required to the exterior of the building following the building relocation; 2. Ensuring that <i>relocatable buildings</i> have the same use as what they were previously designed, built, and used for; 3. Requiring a performance bond as a security measure that reinstatement works will be appropriately completed in a timely manner; and 4. Maintaining and enhancing amenity values of areas by ensuring the adverse effects of <i>relocatable buildings</i> are avoided, remedied, or mitigated.

Rules

SETZ-R1	<i>Buildings and structures, including construction, additions, and alterations</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. SETZ-S1; ii. SETZ-S2; iii. SETZ-S3; iv. SETZ-S4; v. SETZ-S5; vi. SETZ-S6; vii. SETZ-S7; viii. SETZ-S8; ix. SETZ-S9; x. SETZ-S10; and xi. SETZ-S11. b. <u>In addition, in the Riversdale Terraces Precinct, compliance is also achieved with:</u> xii. <u>SETZ-S13;</u> xiii. <u>SETZ-S14; and</u> xiv. <u>SETZ-S15.</u> Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with SETZ-R1(1). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

SETZ-R2	Demolition and removal of buildings and structures
	1. Activity status: Permitted. Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.

SETZ-R3	Relocatable buildings (excluding accessory buildings)
	1. Activity status: Permitted Where: a. <u>The site is not located within the Riversdale Terraces Precinct and Compliance</u> is achieved with: - SETZ-S1; - SETZ-S2; - SETZ-S3; - SETZ-S4; - SETZ-S5; - SETZ-S6; - SETZ-S7; - SETZ-S8; - SETZ-S9; - SETZ-S10; - SETZ-S11; and - SETZ-S12.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with SETZ-R3(1). Matters of discretion: - The matters set out in SETZ-P3. - The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met.

SETZ-R4	<i>Residential activities</i>
	1. Activity status: Permitted Where: a. There is one <i>residential unit</i> per site.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with SETZ-R4(1).

SETZ-R5	<i>Accessory buildings</i>
	1. Activity status: Permitted Where: a. The <i>accessory building</i> is used for associated <i>residential activities</i>; and b. Compliance is achieved with: i. SETZ-S1; ii. SETZ-S2; iii. SETZ-S4; iv. SETZ-S5; and v. SETZ-S7. c. <u>The site is not located in the Riversdale Terraces Precinct.</u>
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with SETZ-R5(1)(b) <u>or (c)</u>. Matters of discretion: 1. The matters set out in SETZ-O1, SETZ-O2, SETZ-P1, and SETZ P2. 2. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

SETZ-R6	<i>Papakāinga</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. SETZ-S1; ii. SETZ-S2; iii. SETZ-S3; iv. SETZ-S4; v. SETZ-S5; vi. SETZ-S6; vii. SETZ-S7; viii. SETZ-S8; ix. SETZ-S9; x. SETZ-S10; xi. SETZ-S11; and b. The <i>gross floor area</i> of all <i>community facilities</i> does not exceed 200m² per <i>site</i>.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with SETZ-R6(1). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met. 2. The adverse effects on the amenity values of nearby residential properties and public places, including privacy and cumulative effects of other nearby non-residential activities. 3. The adverse effects on traffic generation, road safety, parking, and access, including a safe pick-up and drop-off area. 4. The extent of impervious surfaces and landscaping. 5. <i>Infrastructure</i> requirements.

SETZ-R7	Residential visitor accommodation (excluding visitor accommodation)
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. SETZ-S1; ii. SETZ-S2; iii. SETZ-S3; iv. SETZ-S4; v. SETZ-S5; vi. SETZ-S6; vii. SETZ-S7; viii. SETZ-S8; ix. SETZ-S9; x. SETZ-S10; and xi. SETZ-S11. b. <u>In addition, in the Riversdale Terraces Precinct, compliance is also achieved with:</u> xii. <u>SETZ-S13;</u> xiii. <u>SETZ-S14; and</u> xiv. <u>SETZ-S15.</u>
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with SETZ-R7(1). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met. 2. The intensity and scale of the activity and adverse effects on the amenity of the surrounding area. 3. The adverse effects on adjacent residential properties, particularly noise and privacy.

SETZ-R8	<i>Home business</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. SETZ-S1; ii. SETZ-S2; iii. SETZ-S3; iv. SETZ-S4; v. SETZ-S5; vi. SETZ-S6; vii. SETZ-S7; viii. SETZ-S8; ix. SETZ-S9; x. SETZ-S10; and xi. SETZ-S11.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with SETZ-R8(1). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

SETZ-R9	<i>Educational facility</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. SETZ-S1; ii. SETZ-S2; iii. SETZ-S3; iv. SETZ-S4; v. SETZ-S5; vi. SETZ-S6;

		vii. SETZ-S7; viii. SETZ-S8; ix. SETZ-S9; x. SETZ-S10; xi. SETZ-S11; and b. The activity and primary frontage are located on a site with frontage to a strategic road, arterial road, or collector road identified on the District Planning Maps; and c. The maximum <i>gross floor area</i> of any <i>building</i> occupied by the <i>educational facility</i> is 200m² per site.
		2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with SETZ-R9(1). Matters of discretion: 1. Whether the activity is compatible with the character of the surrounding neighbourhood. 2. The intensity and scale of the activity and adverse effects on the amenity of nearby neighbouring properties and the surrounding neighbourhood, including: i. privacy and cumulative effects of other nearby non-residential activities, including noise; ii. hours of operation; iii. loss of landscaping; and iv. methods to mitigate noise for outdoor facilities. 3. Topography, site orientation, and planting. 4. The adverse effects on traffic generation, road safety, parking, access, and a safe pick-up and drop-off area, and extent to which the activity internalises adverse effects on the safe and efficient functioning of the transport network, as evidenced by a supporting Integrated Traffic Assessment. 5. The extent of impervious surfaces and landscaping. 6. Whether the activity is appropriately located on the site or whether the activity can be better located in a nearby centre or is within walking distance to a nearby centre. 7. <i>Infrastructure</i> requirements. 8. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

SETZ-R10	Healthcare activity
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. SETZ-S1; ii. SETZ-S2; iii. SETZ-S3; iv. SETZ-S4; v. SETZ-S5; vi. SETZ-S6; vii. SETZ-S7; viii. SETZ-S8; ix. SETZ-S9; x. SETZ-S10; xi. SETZ-S11; and b. The activity and primary entrance are located on a site with frontage to a strategic road, arterial road, or collector road identified on the District Planning Maps; c. The maximum <i>gross floor area</i> of any <i>building</i> occupied by the <i>healthcare activity</i> is 200m² per site; and d. The hours of operation when the site is open to visitors, patients, clients, and deliveries is between the hours of 7.00am – 6.00pm Monday to Saturday.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with SETZ-R10(1). Matters of discretion: 1. Whether the activity is compatible with the character of the surrounding neighbourhood. 2. The intensity and scale of the activity and adverse effects on the amenity of nearby neighbouring properties and the surrounding neighbourhood, including: i. privacy and cumulative effects of other nearby non-residential activities, including noise; ii. hours of operation;

	iii. loss of landscaping; and iv. methods to mitigate noise for outdoor facilities. 3. Topography, site orientation, and planting. 4. The adverse effects on traffic generation, road safety, parking, access, and a safe pick-up and drop-off area, and extent to which the activity internalises adverse effects on the safe and efficient functioning of the transport network, as evidenced by a supporting Integrated Traffic Assessment. 5. The extent of impervious surfaces and landscaping. 6. Whether the activity is appropriately located on the site or whether the activity can be better located in a nearby centre or is within walking distance to a nearby centre. 7. <i>Infrastructure</i> requirements. 8. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.
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SETZ-R11	Commercial activity
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. SETZ-S1; ii. SETZ-S2; iii. SETZ-S3; iv. SETZ-S4; v. SETZ-S5; vi. SETZ-S6; vii. SETZ-S8; viii. SETZ-S9; ix. SETZ-S10; x. SETZ-S11; and b. The activity and primary entrance are located on a site with frontage to a transit corridor identified in the District Planning Maps; and c. The maximum <i>gross floor area</i> of any <i>building</i> occupied by the <i>commercial activity</i> is 125m² per site.
	2. Activity status: Discretionary Where:

	a. Compliance is not achieved with SETZ-R11(1).
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SETZ-R12	Community facility
	1. Activity status: Permitted Where: a. Compliance is achieved with: - SETZ-S1; - SETZ-S2; - SETZ-S3; - SETZ-S4; - SETZ-S5; - SETZ-S6; - SETZ-S7; - SETZ-S8; - SETZ-S9; - SETZ-S10; - SETZ-S11; and b. The activity and primary entrance are located on a site with frontage to a transit corridor identified on the District Planning Maps; and c. The maximum <i>gross floor area</i> of the <i>building</i> occupied by the <i>community facility</i> is 200m² per site.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with SETZ-R12(1). Matters of discretion: - Whether the activity is compatible with the character of the surrounding neighbourhood. - The intensity and scale of the activity and adverse effects on the amenity of nearby neighbouring properties and the surrounding neighbourhood, including: - privacy and cumulative effects of other nearby non-residential activities, including noise; - hours of operation; - loss of landscaping; and - methods to mitigate noise for outdoor facilities.

	3. Topography, site orientation, and planting. 4. The adverse effects on traffic generation, road safety, parking, access, and a safe pick-up and drop-off area, and extent to which the activity internalises adverse effects on the safe and efficient functioning of the transport network, as evidenced by a supporting Integrated Traffic Assessment. 5. The extent of impervious surfaces and landscaping. 6. Whether the activity is appropriately located on the site or whether the activity can be better located in a nearby centre or is within walking distance to a nearby centre. 7. <i>Infrastructure</i> requirements. 8. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.
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SETZ-R13	<i>Minor residential unit</i>
	1. Activity status: Restricted discretionary Matters of discretion: 1. The intensity and scale of the activity and adverse effects on the amenity of the surrounding area. 2. The adverse effects on adjacent residential properties, particularly noise and privacy. 3. Servicing requirements, particularly whether three waters services can be provided on-site in compliance with Council's engineering standards Engineering Development Standard 2023. 4. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

SETZ-RX	<i>Emergency service facilities</i>
	1. Activity status: Restricted discretionary. Matters of discretion: 1. Whether the activity has an operational or functional need to locate in the Settlement Zone. 2. Whether the activity is compatible with the character of the surrounding neighbourhood. 3. The intensity and scale of the activity and adverse effects on the amenity of neighbouring properties and the surrounding neighbourhood, including:

		i. <u>Privacy effects;</u> ii. <u>Operational noise;</u> iii. <u>Hours of operation;</u> iv. <u>Loss of Landscaping; and</u> v. <u>Cumulative effects.</u> 4. <u>Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users.</u> 5. <u>Infrastructure requirements.</u> 6. <u>The effect of non-compliance with the relevant standard and the matters of discretion of any standard that is not met.</u>
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SETZ-R14	<i>Retirement village</i>
	1. Activity status: Discretionary

SETZ-R15	Any activity not otherwise listed in this chapter
	1. Activity status: Discretionary

SETZ-R16	<i>Industrial activities</i>
	1. Activity status: Non-complying

SETZ-R17	<i>Rural industry activities</i>
	1. Activity status: Non-complying

SETZ-R18	Primary production activities
	1. Activity status: Non-complying

Standards

SETZ-S1	Maximum <i>height</i>
1. <u>Except in the Riversdale Terraces Precinct, the maximum height of any <i>building</i> or <i>structure</i> shall be 10m above <i>ground level</i>.</u> 2. <u>In the Riversdale Terraces Precinct, the maximum height of any <i>building</i> or <i>structure</i> shall be:</u> a. <u>5m above natural ground level in Area B within the Southern Terrace as identified on the Riversdale Terraces Precinct Plan in Appendix SETZ-1; and</u> b. <u>6m above natural ground level in Areas B and C within the Northern Terrace as identified on the Riversdale Terraces Precinct Plan in Appendix SETZ-1; and</u> c. <u>Elsewhere within the precinct (Area A within the Riversdale Terraces Precinct Plan in Appendix SETZ-1), the lesser of 8m above natural ground level or the maximum height specified in any consent notice imposed on the record of title for the site as at [date of PDP becoming operative].</u>	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjoining sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation.
SETZ-S2	Maximum <i>height in relation to boundary</i>
1. 3m <i>height</i> at the boundary with a 45° recession plane on all side and rear boundaries. 2. This requirement does not apply to <i>common walls</i>, road boundaries, or access legs.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjoining sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of buildings and activities in the surrounding area.

		5. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation.
SETZ-S3	Minimum setbacks	
Front boundary setbacks: 1. <i>Buildings</i> or <i>structures</i> must not be located within 3m of the front boundary of a site; and 2. Garages and carports (either separate or integrated into the principal <i>residential unit</i>) must not be located within 5m of the front boundary of a site. Note: For the purpose of the above rule, only one boundary will be subject to a front boundary setback for corner sites. The remaining boundaries will be treated as side and/or rear boundaries. Side and rear boundary setbacks: 3. For front sites two boundaries (side or rear boundaries) shall be subject to 3m setbacks, and one boundary shall be subject to a 1.5m setback; 4. For rear sites, two boundaries (side or rear boundaries) shall be subject to 3m setbacks, and two boundaries shall be subject to 1.5m setbacks; and 5. 0m for common wall boundaries. Note: For the purpose of the above rule, a front site is a <i>site</i> with a legal road frontage of not less than 10m. A rear site is a <i>site</i> with a legal road frontage of less than 10m. A corner site means a <i>site</i> with two or more legal road frontages of not less than 10m each. Exceptions to side and rear boundary setbacks: 6. Eaves, porches, balconies, and decks or other minor building features may		Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and the character of the area. 3. Effects on the amenity values of adjoining sites, including visual dominance or loss of outlook or privacy. 4. The ability to mitigate the adverse effect through the use of screening, planting, and alternative design and/or location. 5. Any benefits, including the extent to which the reduced setback will result in a more efficient, practical, and/or better use of the balance of the site. 6. Whether there are topographical or other site constraints that make compliance with the permitted standard impractical. 7. For the <i>waterbody</i> setbacks, the effects on the values of the <i>waterbody</i>.

occupy any part of a required setback, other than the front yard setback, provided they do not encroach by more than 25% of the relevant setback distance and do not, except for eaves, exceed 2m in length. 7. Unroofed swimming pools no higher than 1m above <i>ground level</i>. 8. Rainwater tanks not exceeding a <i>height</i> above <i>ground level</i> of 1.8m. <i>Waterbody setbacks:</i> 9. 5m from any <i>surface waterbody</i>; and 10. 25m from a <i>significant waterbody</i>. This standard SETZ-S3 does not apply to: 11. Bridges and river crossings; 12. Fences.	
SETZ-S4	<i>Accessory building and minor residential unit setbacks</i>
1. No <i>accessory building</i> or <i>minor residential unit</i> is to be located in the front boundary building setback. 2. No <i>accessory building</i> is to be located within 1.5m of any side or rear boundary. 3. Exception: An <i>accessory building</i> or carport attached to a <i>residential unit</i> can infringe on a 1.5m side or rear boundary setback provided it does not occupy more than 25% of the length of the setback along any one boundary.	Matters of discretion: 1. Effect on streetscape character of the area. 2. The extent to which the <i>building</i> design can be integrated with the topography, site orientation, and landscaping. 3. Whether adequate mitigation of adverse effects can be achieved through the use of landscaping, planting, and/or alternative materials. 4. Effect on amenity values of nearby residential properties, including privacy, shading, and sense of enclosure. 5. Parking and access, safety, efficiency, and effects on on-street parking and neighbours.

SETZ-S5	Maximum fence <i>height</i>
<u>In the Riversdale Terraces Precinct, no fence, wall or screen on any boundary shall exceed a height of 1.2m.</u> <u>Outside the Riversdale Terraces Precinct, n</u>No fence, wall, or screen on any boundary with a Residential, Māori Purpose, Future Urban, Open Space and Recreation, or Rural Zone shall exceed a <i>height</i> of 1.8m above ground level.	Matters of discretion: - The location, design, and appearance of the <i>building</i> or <i>structure</i>. - Visual dominance, shading, and loss of privacy for adjoining sites. - Bulk and dominance of the <i>building</i> or <i>structure</i>. - Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. - The extent to which the additional <i>height</i> is necessary due to the physical constraints of the <i>site</i> or to mitigate noise (including road noise) if the <i>site</i> is located adjacent to a noise-emitting source. - Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, materials, and/or alternative design.
SETZ-S6	Outdoor living space
- A minimum area of <i>outdoor living space</i> must be provided as follows: - per <i>residential unit</i> at ground level: 20m² at ground level; - per <i>minor residential unit</i> at ground level: 20m² at ground level; - per <i>minor residential unit</i> located above ground floor: balcony at least 8m² and minimum dimension of 1.8m; or - per <i>residential unit</i> located above ground floor: balcony at least 8m² and minimum dimension of 1.8m. - The <i>outdoor living space</i> must:	Matters of discretion: - The residential amenity for the occupiers of the <i>residential units</i>. - Proximity of the <i>residential unit</i> to accessible public open space. - The accessibility and convenience of the <i>outdoor living space</i> for occupiers. - Whether adequate sunlight is provided to the <i>outdoor living space</i> throughout the year. - Whether the balance of open space and <i>buildings</i> will maintain the amenity anticipated for the Settlement Zone.

a. be directly accessible from a <i>habitable room</i>; b. be free of <i>buildings</i>, parking spaces, manoeuvring areas, and outdoor utility areas, except for: i. eaves up to a maximum of 600mm in width; ii. external gutters or downpipes (including their brackets) up to an additional width of 150mm; or iii. cover to provide shade for sun protection.	6. Whether topographical or other <i>site</i> constraints make compliance with the standard impractical.
SETZ-S7	Scale of <i>buildings</i>
1. The maximum <i>gross floor area</i> of any single non-residential <i>building</i> or <i>structure</i> is 200m².	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Shading and loss of privacy for adjoining sites. 3. Visual bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i>, <i>structures</i>, and activities in the surrounding area. 5. Effect on streetscape character of the area. 6. The extent to which the building design can be integrated with the topography, site orientation, and landscaping. 7. Whether the balance of open space and <i>buildings</i> and <i>structures</i> will maintain the amenity anticipated for the Settlement Zone. 8. Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.

SETZ-S8	Carparking areas
1. There is to be no contiguous carparking area containing five or more parking spaces (including access and manoeuvring areas) within any residential site.	Matters of discretion: 1. Parking and access, safety, efficiency, and effects on on-street parking and neighbours. 2. Effect on streetscape character of the area. 3. The amenity of adjoining sites, including amenity or privacy effects. 4. Whether there are topographical or other <i>site</i> constraints that make compliance with the permitted standard impractical. 5. The extent to which the design can be integrated with the topography, site orientation, and landscaping. 6. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 7. Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.
SETZ-S9	Drinking w Water supply
1. Where reticulated services are available, all buildings and activities must be provided with a connection to Council's reticulated water supply systems, which shall be in accordance with <i>Council Engineering Development Standards 2023</i>. 2. Where reticulated services are not available: a. All water supply and disposal systems shall be contained within the site that the supply or system serves and be connected to on-site wastewater systems, or an approved alternative means to dispose of sewage in a sanitary manner in accordance with Section 5.2.6 of the Wellington Water Regional Standard for Water Services December 2021. b. Where a connection to Council's reticulated system is not available,	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council water bylaws, <i>Council Engineering Development Standards 2023</i> and/or Wellington Water standards as applicable. 3. The suitability of any alternative means of providing an adequate supply of water for firefighting purposes. 4. The suitability of any alternative means of access to the firefighting water supply.

an onsite firefighting water supply, and access to that supply, must be provided in accordance with the New Zealand Fire Service Firefighting Water Supplies Code of Practice SNZ PAS 4509:2008.	
SETZ-S10	Wastewater disposal
1. Where reticulated services are available, all buildings and activities must be provided with a connection to Council's reticulated wastewater systems, which shall be in accordance with <i>Council Engineering Development Standards 2023</i>. 2. Where reticulated services are not available: a. All wastewater treatment and disposal systems shall be contained within the site that the supply or system serves and be connected to on-site wastewater systems, or an approved alternative means to dispose of sewage in a sanitary manner in accordance with Section 5.2.6 of the Wellington Water Regional Standard for Water Services December 2021. b. Any wastewater that is to be disposed to ground from any onsite servicing must be to land that is not subject to instability or inundation or used for the disposal of stormwater.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering Development Standards 2023</i>, and/or Wellington Water standards as applicable.
GRZ-S11	Stormwater management
1. All buildings and activities must provide the means for treatment, catchment, and disposal of stormwater from all impervious or potentially impervious surfaces, including, but not limited,	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering</i>

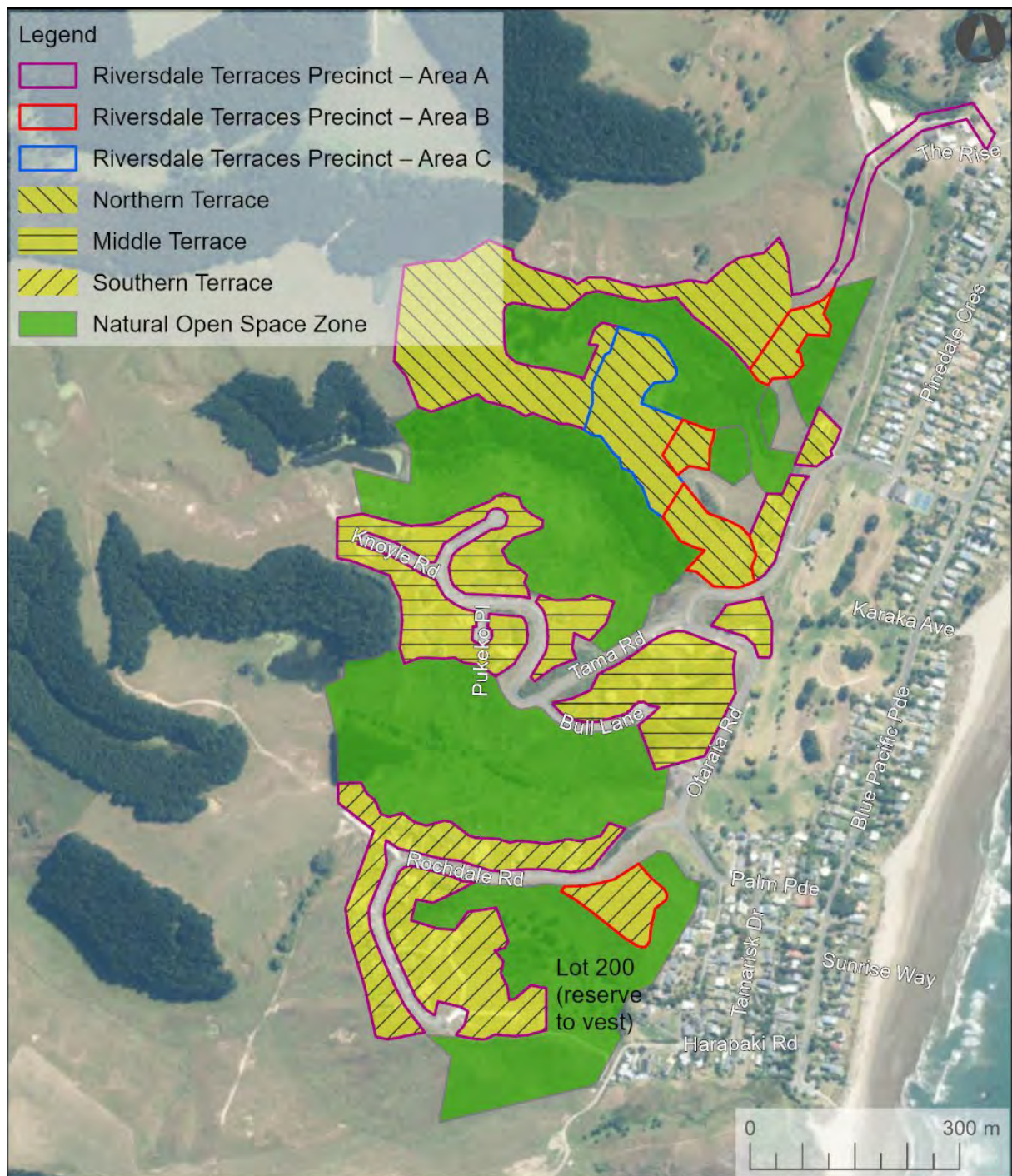
to structures, compacted soils, and sealed surfaces, which shall be in accordance with <i>Council Engineering Development Standards 2023</i>. 2. Where a connection to Council's stormwater management systems is available, all allotments must be provided with a connection at the allotment boundary, which shall be in accordance with <i>Council Engineering Development Standards 2023</i>. 3. Where the means of stormwater disposal is to ground, that area must be able and suitable to accommodate the stormwater discharge, and shall not be subject to instability, slippage, or inundation, or used for the disposal of wastewater.	<i>Development Standards 2023</i>, and/or Wellington Water standards as applicable.
SETZ-S12	Relocatable buildings
1. Building inspection report: a. Prior to the building being relocated onto a site, a building consent(s) shall be obtained that covers all matters listed below; and b. A building inspection report prepared by a Council Building Officer or other Licenced Building Practitioner shall accompany the building consent application. The report shall identify all reinstatement work required to the exterior of the building and provide an estimate of the cost for the external refurbishment works after relocation; and c. The building shall be placed on permanent foundations approved by the building consent no later than two months from the date the building is moved to the site; and	Matters of discretion: - Whether the building is structurally sound, the condition of the building, and the work needed to bring the exterior of the building up to an external visual appearance that is tidy, of an appropriate standard, and is compatible with the other buildings in the vicinity. - The requirement for any screening and landscape treatment. - The bulk, design, and location of the building in relation to the requirements of the zone. - The need for structural repairs and reinstatement of the building and the length of time for completion of that work. - The imposition of a performance bond to ensure compliance with the consent conditions.

d. All other work required to reinstate the exterior of the building, including painting if required, shall be completed within 12 months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations; and e. The owner of the site on which the relocated building is placed shall certify that the reinstatement work will be completed within the 12-month period. The site owner shall be responsible for ensuring this work is completed. 2. The transportation route and any traffic management plans shall be provided to the Council within 10 working days prior to relocating the building. 3. Previous use: a. Any relocated building intended for use as a dwelling or for visitor accommodation must have previously been designed, built, and used as a dwelling or visitor accommodation. 4. <u>Where the cost of the reinstatement works identified in accordance with Performance Standard SETZ-S12(1)(b) is greater than \$10,000 (excluding GST), a Performance bond is required that meets the following:</u> a. A refundable performance bond of 125% of the cost of external reinstatement works identified in the building inspection report under performance standard SETZ-S12(2)<u>(1)(b)</u> in cash shall be lodged	
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with the Council along with the application for building consent as a guarantee that external reinstatement works are completed. b. The bond shall be lodged in the form of a Deed annexed Appendix 6 to the District Plan. c. Subject to the provisions of the Deed, the bond will be refunded after the Council has inspected and confirmed compliance with external reinstatement requirements. Note: The Council will in good faith consider the partial release of the bond to the extent that reinstatement works are completed (i.e., on a proportional basis).	
<u>SETZ-S13</u>	<u>Riversdale Terraces Precinct: Southern Terraces setback from reserve</u>
1. <u>All dwellings shall be located no closer than 10 metres from the boundary of Lot 200 (reserve to vest) as identified on the Riversdale Terraces Precinct Plan in Appendix SETZ-1.</u>	<u>Matters of discretion:</u> 1. <u>Potential adverse effects on landscape values and whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.</u> 2. <u>The amenity of adjoining sites, including amenity or privacy effects.</u> 3. <u>Whether there are topographical or other <i>site</i> constraints that make compliance with the permitted standard impractical.</u> 4. <u>The extent to which the design can be integrated with the topography, site orientation, and landscaping.</u>
<u>SETZ-S14</u>	<u>Riversdale Terraces Precinct building exterior finish</u>

1. <u>The exterior walls and roofs of all buildings and ancillary structures shall have a reflectivity value of less than 60% and be constructed using natural materials or coloured in a range of browns, greens and greys to complement the tones found in the rural surroundings.</u>	<u>Matters of discretion:</u> 1. <u>Potential adverse effects on landscape and amenity values and whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.</u>
<u>SET-S15</u>	<u>Riversdale Terraces Precinct undergrounding of water tanks</u>
1. <u>In the Riversdale Terraces Precinct, all water tanks must be placed underground.</u>	<u>Matters of discretion:</u> 1. <u>Potential adverse effects on landscape and amenity values and whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.</u>

Appendix SETZ-1: Riversdale Terraces Precinct Plan



FUZ – Future Urban Zone

The Future Urban Zone is a transitional zone where existing land use activities (generally rural activities) are enabled, while subdivision and development is restricted until the land is comprehensively planned and rezoned for urban use in the future. Areas of land in this zone within the Carterton and South Wairarapa Districts have been identified in the Carterton Urban Growth Strategy and the South Wairarapa Spatial Plans, which have been consulted on and adopted by respective Councils. Areas of land in this zone within Masterton District have been based on an assessment of areas suitable for future development. Each of these areas requires further consideration of specific matters for future land development. This can include matters such as potential development capacity, ease of integration with existing or planned *infrastructure*, funding and availability of community services, and *natural hazards*.

When the land is ready to be developed for urban purposes, it will be rezoned to enable that to occur (e.g., to a residential or commercial zone). The strategies, plans, and other work undertaken to identify areas suitable for future development have also identified that some further requirements such as structure planning or master planning for *infrastructure* and transport networks will be required. These requirements ensure that development progresses in an integrated and cohesive way.

Until such time as the additional requirements are completed and the land is rezoned, land within this zone may be used for a range of rural activities such as agricultural, pastoral, and horticultural activities. Ad hoc subdivision and urban development, intensive rural activities, *rural industries*, and rural-lifestyle subdivisions are discouraged in the Future Urban Zone. These types of activities are restricted to limit the fragmentation of land so as to maintain the land's character, amenity, and productive capability in the interim, and to ensure that land uses do not compromise the future urban use of the land.

There may be a number of rules that apply to an activity, building, structure, or site. Resource consent may therefore be required under rules in this chapter as well as other chapters. Unless specifically stated in a rule, resource consent is required under each relevant rule. The steps to determine the status of an activity are set out in the General Approach section in the How the Plan Works chapter.

Objectives

FUZ-O1	Purpose of the Future Urban Zone
The Future Urban Zone enables existing uses and ensures that inappropriate subdivision and development does not compromise the efficient and effective transition from rural to urban environments and any necessary development of strategic three waters and transport <i>infrastructure</i> <u>and additional infrastructure</u> .	
FUZ-O2	Character and amenity values of the Future Urban Zone
The Future Urban Zone supports existing rural uses and maintains the character and amenity values of the General Rural Zone until such time as it is rezoned for urban purposes.	
FUZ-O3	Maintaining the development potential of the Future Urban Zone
Use and development in the Future Urban Zone does not result in any of the following: a. <i>structures</i> and <i>buildings</i> of a scale and form that will restrict or prevent future urban development; b. the efficient and effective operation of the local and wider transport network being compromised; c. the need for significant upgrades, provision, or extension to the wastewater, water supply, or stormwater networks, any other <i>infrastructure</i> in advance of planned future urban development, or any planned <i>infrastructure</i> upgrades; d. the efficient provision of <i>infrastructure</i> being compromised; e. <i>reverse sensitivity</i> effects when urban development occurs; f. <i>reverse sensitivity</i> effects on existing rural activities or infrastructure; g. the efficient form or nature of future urban development being compromised; or h. development that does not align with or compromises the outcomes of any relevant growth strategy, master plan, or structure plan regarding provision of <i>infrastructure</i> and roading corridors.	

Policies

FUZ-P1	Allow activities that are compatible with the Future Urban Zone
Provide for use and development of land in the Future Urban Zone where it supports the policies of the General Rural Zone, except where that use and development is inconsistent with FUZ-P2, FUZ-P3, and FUZ-P4, and where it does not compromise the strategic outcomes identified in growth planning documents adopted by the Councils.	
FUZ-P2	Manage activities that are potentially incompatible with the Future Urban Zone
Only allow activities in the Future Urban Zone and areas in immediately adjoining zones where it can be demonstrated that: a. the site design, layout and scale of the activity is compatible with the <u>purpose</u>, character and amenity values of the Future Urban Zone; b. it results in one principal <i>residential unit</i> and one <i>minor residential unit</i> per site; c. servicing can be achieved on-site in the first instance or subsequently by reticulated means where this does not compromise future strategic outcomes; d. areas of <i>indigenous vegetation</i> are retained where practicable; e. it does not compromise the future intended use of the Future Urban Zone; f. it avoids constraining the establishment of activities otherwise anticipated within the Future Urban Zone; and g. there are measures to internalise effects and avoid conflict arising from potential reverse sensitivity effects on activities anticipated in the Future Urban Zone. h. Enable additional infrastructure and services that support the future use of the area.	
FUZ-P3	Avoid activities that are incompatible with the Future Urban Zone
Avoid use and development that may result in one or more of the following: a. <i>structures</i> and <i>buildings</i> of a scale and form that will hinder or prevent future urban development; b. compromising the efficient and effective operation and provision of the local and wider transport network and/or three waters <i>infrastructure</i>; c. require significant unplanned and/or unfunded upgrade, provision, or extension to the wastewater, water supply, or stormwater networks or other <i>infrastructure</i>; d. give rise to <i>reverse sensitivity</i> effects when future urban development occurs;	

e. give rise to <i>reverse sensitivity</i> effects in relation to existing rural activities or <i>infrastructure</i>; f. undermine the form or nature of future urban development; or g. are in advance of detailed <i>infrastructure</i> planning, design funding, and/or commissioning.	
FUZ-P4	Avoid subdivision within the Future Urban Zone
Avoid subdivision that will result in the fragmentation of land compromising future urban development, in particular urban form and the provision of three waters and transport <i>infrastructure</i>.	
FUZ-P5	Relocatable buildings
Provide for relocation of buildings while requiring the completion and renovation within a reasonable timeframe by: a. Requiring pre-inspection reports to be prepared that identify any reinstatement work required to the exterior of the building following the building relocation; b. Ensuring that <i>relocatable buildings</i> have the same use as what they were previously designed, built, and used for; c. Requiring a performance bond as a security measure that reinstatement works will be appropriately completed in a timely manner; and d. Maintaining and enhancing amenity values of areas by ensuring the adverse effects of <i>relocatable buildings</i> are avoided, remedied, or mitigated.	

Rules

FUZ-R1	<i>Buildings and structures, including construction, additions, and alterations</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. FUZ-S1; ii. FUZ-S2; iii. FUZ-S3; iv. FUZ-S5; v. FUZ-S6; and vi. FUZ-S7. Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with FUZ-R1(1). Matters of discretion: 1. The matters set out in FUZ-P1, FUZ-P2, FUZ-P3, and FUZ-P4. 2. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

FUZ-R2	<i>Demolition or removal of buildings and structures</i>
	1. Activity status: Permitted. Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.

FUZ-R3	<i>Relocatable buildings (excluding accessory buildings)</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. FUZ-S1; ii. FUZ-S2; iii. FUZ-S3; iv. FUZ-S5;

		v. FUZ-S6; vi. FUZ-S7; and vii. FUZ-S8.
		2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with FUZ-R3(1). Matters of discretion: 1. The matters set out in FUZ-P5. 2. The effect of non-compliance with the relevant standard that and the matters of discretion of any standard that is not met.

FUZ-R4		Residential activities
		1. Activity status: Permitted Where: a. Compliance is achieved with: i. FUZ-S1; ii. FUZ-S2; iii. FUZ-S3; iv. FUZ-S5; v. FUZ-S6; and vi. FUZ-S7. b. The number of residential units does not exceed: i. one <i>residential unit</i> per <i>site</i>; and ii. one <i>minor residential unit</i> that has a gross floor area of no more than 80m² per <i>site</i>.
		2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with FUZ-R4(1)(a). Matters of discretion: 1. The matters set out in FUZ-P1, FUZ-P2, FUZ-P3, and FUZ-P4. 2. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.
		3. Activity status: Discretionary Where: a. Compliance is not achieved with FUZ-R4(1)(b).

FUZ-R5	<i>Accessory buildings and structures</i>
	1. Activity status: Permitted Where: a. The <i>accessory building</i> is used for activities that are Permitted within the Future Urban Zone; and b. Compliance is achieved with: i. FUZ-S1; ii. FUZ-S2; and iii. FUZ-S3.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with FUZ-R5(1). Matters of discretion: 1. The matters set out in FUZ-P1, FUZ-P2, FUZ-P3, and FUZ-P4. 2. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

FUZ-R6	<i>Papakāinga</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. FUZ-S1; ii. FUZ-S2; iii. FUZ-S3; iv. <u>FUZ-S5; and</u> v. FUZ-S7. b. The <i>gross floor area</i> of all <i>community facilities</i> does not exceed 200m² per <i>site</i>.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with FUZ-R6(1). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

	2. The adverse effects on the amenity values of nearby residential properties and public places, including privacy and cumulative effects of other nearby <i>non-residential activities</i>. 3. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 4. The extent of impervious surfaces and landscaping. 5. <i>Infrastructure</i> requirements.
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FUZ-R7	<i>Residential visitor accommodation (excluding visitor accommodation)</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. FUZ-S1; ii. FUZ-S2; iii. FUZ-S3; and iv. <u>FUZ-S5</u>. b. The activity only occurs within existing <i>residential units</i>.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with FUZ-R7(1). Matters of discretion: 1. The extent to which the intensity and scale of the activity may adversely impact on the amenity of the surrounding area. 2. The extent of adverse effects on adjacent residential properties, particularly noise and privacy. 3. Alignment with any relevant growth strategy, master plan, or structure plan. 4. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

FUZ-R8	Home business
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. FUZ-S1; ii. FUZ-S2; iii. FUZ-S3; and iv. FUZ-S5. b. There is a maximum of one <i>residential unit</i> and one <i>minor residential unit</i> per <i>site</i> (excluding <i>accessory buildings</i>); c. No more than 50m² of total <i>gross floor area</i> of all <i>buildings</i> on a <i>site</i> is used for the <i>home business</i>; d. No more than 2 persons (fulltime equivalent) who reside off the premises may be employed in the activity; and e. No <i>outdoor storage</i> of goods and materials.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with FUZ-R8(1)(a), (b), (d), or (e). Matters of discretion: 1. Whether the activity is compatible with the character of the surrounding neighbourhood. 2. The extent to which the intensity and scale of the activity may adversely impact on the amenity of neighbouring properties and the surrounding neighbourhood, particularly noise, privacy, and the effects on the safe and efficient functioning of the transport network generated by the activity. 3. Whether the activity is appropriately located in the Future Urban Zone. 4. Whether the adverse effects of the activity can be avoided, remedied, or mitigated. 5. Alignment with any relevant growth strategy, master plan, or structure plan. 6. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.
	3. Activity status: Non-complying Where: a. Compliance is not achieved with FUZ-R8(1)(c).

FUZ-R9	Primary production, excluding keeping of goats, quarrying activities, intensive <u>primary production farming</u>, and rural industry
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. FUZ-S1; ii. FUZ-S2; and iii. FUZ-S3.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with FUZ-R9(1).

FUZ-R10	Conservation activities
	1. Activity status: Permitted.

FUZ-R11	Rural produce retail
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. FUZ-S1; ii. FUZ-S2; iii. FUZ-S3; and iv. FUZ-S4; b. There is only one <i>rural produce retail</i> activity per <i>site</i>; c. The <i>gross floor area</i> is no more than 40m²; and d. The activity does not use direct vehicle access to a State Highway.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with FUZ-R11(1).

FUZ-R12	<i>Quarrying activities</i>
	1. Activity status: Permitted Where: a. It is a <i>farm quarry</i>.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with FUZ-R12(1).

FUZ-R13	<i>Seasonal worker accommodation</i>
	1. Activity status: Restricted discretionary Matters of discretion: 1. Number of workers accommodation required to enable the <i>primary production</i> activity. 2. Alignment with any relevant growth strategy, master plan, or structure plan. 3. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

FUZ-R14	<i>Any activity not otherwise listed in this chapter</i>
	1. Activity status: Discretionary.

FUZ-R15	<i>Intensive farming</i>
	1. Activity status: Non-complying.

FUZ-R16	<i>Retirement village</i>
	1. Activity status: Non-complying.

FUZ-R17	<i>Community facility</i>
	1. Activity status: Non-complying.

FUZ-R18	Healthcare activity
	1. Activity status: Non-complying.

FUZ-R19	<i>Commercial activities</i>
	1. Activity status: Non-complying.

FUZ-R20	<i>Industrial activities</i>
	1. Activity status: Non-complying.

FUZ-R21	<i>Rural industry activities</i>
	1. Activity status: Non-complying.

Standards

FUZ-S1	Maximum <i>height</i>
1. The maximum height of any <i>building</i> or <i>structure</i> shall be: a. 10m above <i>ground level</i> for any <i>residential unit</i>; b. 15m above <i>ground level</i> for any frost <i>protection fan</i>; c. 12m above <i>ground level</i> for all other <i>buildings</i> and <i>structures</i>,	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Visual dominance, shading, and loss of privacy for <i>residential units</i> on adjoining sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation. 5. Whether topographical or other <i>site</i> constraints make compliance with the standard impractical. 6. Any potential electromagnetic effects caused by the structure where it is within 1km of a radio transmission mast.
FUZ-S2	Maximum <i>height in relation to boundary</i>
1. 3m <i>height</i> above <i>ground level</i> at the boundary with a 45° recession plane on all side and rear boundaries.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Visual dominance, shading, and loss of privacy for <i>residential units</i> on adjoining sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Whether an increase in building height results from site constraints or a response to <i>natural hazard</i> mitigation. 5. Whether topographical or other <i>site</i> constraints make compliance with the standard impractical.

FUZ-S3	Minimum setbacks
1. Front boundary setbacks: a. <i>Buildings</i> or <i>structures</i> must not be located within 3m of the front boundary of a site. b. Garages and carports (either separate or integrated into the principal <i>residential unit</i>) must not be located within 5m of the front boundary of a site. Note: For the purpose of the above rule, only one boundary will be subject to a front boundary setback for corner sites. The remaining boundaries will be treated as side and/or rear boundaries. 2. Side and rear boundary setbacks: a. For front sites, two boundaries (side or rear boundaries) shall be subject to 3m setbacks, and one boundary shall be subject to a 1.5m setback. b. For rear sites, two boundaries (side or rear boundaries) shall be subject to 3m setbacks, and two boundaries shall be subject to 1.5m setbacks. c. 0m for <i>common wall</i> boundaries. Note: For the purpose of the above rule, a front site is a <i>site</i> with a legal road frontage of not less than 10m. A rear site is a <i>site</i> with a legal road frontage of less than 10m. A corner site means a <i>site</i> with two or more legal road frontages of not less than 10m each. Exceptions to side and rear boundary setbacks: a. Eaves, porches, balconies and decks or other minor building features may occupy any part of a required setback, other than the front yard setback,	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Site topography and orientation and whether the building can be more appropriately located to minimise adverse visual amenity effects or maintain, enhance, or restore indigenous biodiversity values. 3. Effects on nearby properties, including outlook, privacy, shading, and sense of enclosure. 4. The extent to which the reduction in the setback is necessary due to the shape or natural and physical features of the site. 5. The ability to mitigate the adverse effect through the use of screening, planting, and alternative design. 6. The extent to which the reduction in setback would affect the future ability for road widening requirements. 7. Methods to avoid or mitigate reverse sensitivity effects.

provided they do not encroach by more than 25% of the relevant setback distance and do not, except for eaves, exceed 2m in length. b. Unroofed swimming pools no higher than 1m above ground level. c. Rainwater tanks with a diameter not exceeding 3.5m and height above ground level not exceeding 3m. d. For sites less than 4,500m², <i>accessory buildings</i> may be located up to 1.5m from the side and rear. 3. <i>Waterbody</i> setbacks: a. 10m from any <i>surface waterbody</i>; or b. 25m from a <i>significant waterbody</i>. 4. <i>Residential units</i> must also not be located within: a. <u>10m of a lawfully established primary production activity under separate ownership or adjacent rural zone;</u> b. 40m of the edge of a plantation forest under separate ownership; c. 300m of a boundary with untreated agricultural effluent disposal areas; d. 300m of an effluent holding pond; or e. 500m of an <i>intensive-farming primary production</i> activity under separate ownership. This standard FUZ-S3 does not apply to: 1. Bridges and river crossings; 2. Fences.	
FUZ-S4	Transport requirements for rural produce retail activities
1. Must comply with RTS 3: Guidelines for Establishing Rural Selling Places.	There are no matters of discretion for this standard.

FUZ-S5	Drinking <u>W</u> ater supply
1. Where reticulated services are available, all buildings and activities must be provided with a connection to Council's reticulated water supply systems, which shall be in accordance with <i>Council Engineering <u>Development</u> Standards 2023</i>. 2. Where reticulated services are not available: a. All water supply and disposal systems shall be contained within the site that the supply or system serves and be connected to on-site wastewater systems, or an approved alternative means to dispose of sewage in a sanitary manner in accordance with Section 5.2.6 of the Wellington Water Regional Standard for Water Services December 2021. b. Where a connection to Council's reticulated system is not available, an onsite firefighting water supply, and access to that supply, must be provided in accordance with the New Zealand Fire Service Firefighting Water Supplies Code of Practice SNZ PAS 4509:2008.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council water bylaws, <i>Council Engineering <u>Development</u> Standards 2023</i> and/or Wellington Water standards as applicable. 3. The suitability of any alternative means of providing an adequate supply of water for firefighting purposes. 4. The suitability of any alternative means of access to the firefighting water supply.
FUZ-S6	Wastewater disposal
1. Where reticulated services are available, all buildings and activities must be provided with a connection to Council's reticulated wastewater systems, which shall be in accordance with <i>Council Engineering <u>Development</u> Standards 2023</i>. 2. Where reticulated services are not available:	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering <u>Development</u> Standards 2023</i>, and/or Wellington Water standards as applicable.

a. All wastewater treatment and disposal systems shall be contained within the site that the supply or system serves and be connected to on-site wastewater systems, or an approved alternative means to dispose of sewage in a sanitary manner in accordance with Section 5.2.6 of the Wellington Water Regional Standard for Water Services December 2021. b. Any wastewater that is to be disposed to ground from any onsite servicing must be to land that is not subject to instability or inundation or used for the disposal of stormwater.	
FUZ-S7	Stormwater management
1. All buildings and activities must provide the means for treatment, catchment, and disposal of stormwater from all impervious or potentially impervious surfaces, including, but not limited, to structures, compacted soils, and sealed surfaces, which shall be in accordance with <i>Council Engineering Development Standards 2023</i>. 2. Where a connection to Council's stormwater management systems is available, all allotments must be provided with a connection at the allotment boundary, which shall be in accordance with <i>Council Engineering Development Standards 2023</i>. 3. Where the means of stormwater disposal is to ground, that area must be able and suitable to accommodate the stormwater discharge, and shall not be subject to instability, slippage, or inundation, or used for the disposal of wastewater.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering Development Standards 2023</i>, and/or Wellington Water standards as applicable.
FUZ-S8	Relocatable buildings

1. Building inspection report: a. Prior to the building being relocated onto a site, a building consent(s) shall be obtained that covers all matters listed below; and b. A building inspection report prepared by a Council Building Officer or other Licenced Building Practitioner shall accompany the building consent application. The report shall identify all reinstatement work required to the exterior of the building and provide an estimate of the cost for the external refurbishment works after relocation; and c. The building shall be placed on permanent foundations approved by the building consent no later than two months from the date the building is moved to the site; and d. All other work required to reinstate the exterior of the building, including painting if required, shall be completed within 12 months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations; and e. The owner of the site on which the relocated building is placed shall certify that the reinstatement work will be completed within the 12-month period. The site owner shall be responsible for ensuring this work is completed. 2. The transportation route and any traffic management plans shall be provided to the Council within 10 working days prior to relocating the building.	Matters of discretion: 1. Whether the building is structurally sound, the condition of the building, and the work needed to bring the exterior of the building up to an external visual appearance that is tidy, of an appropriate standard, and is compatible with the other buildings in the vicinity. 2. The requirement for any screening and landscape treatment. 3. The bulk, design, and location of the building in relation to the requirements of the zone. 4. The need for structural repairs and reinstatement of the building and the length of time for completion of that work. 5. The imposition of a performance bond to ensure compliance with the consent conditions.
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3. Previous use: a. Any relocated building intended for use as a dwelling or for visitor accommodation must have previously been designed, built, and used as a dwelling or visitor accommodation. 4. <u>Where the cost of the reinstatement works identified in accordance with Performance Standard FUZ-S8(1)(b) is greater than \$10,000 (excluding GST), a Performance bond is required that meets the following:</u> a. A refundable performance bond of 125% of the cost of external reinstatement works identified in the building inspection report under performance standard FUZ-S8(2)<u>(1)(b)</u> in cash shall be lodged with the Council along with the application for building consent as a guarantee that external reinstatement works are completed. b. The bond shall be lodged in the form of a Deed annexed Appendix 6 to the District Plan. c. Subject to the provisions of the Deed, the bond will be refunded after the Council has inspected and confirmed compliance with external reinstatement requirements. Note: The Council will in good faith consider the partial release of the bond to the extent that reinstatement works are completed (i.e., on a proportional basis).	
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MUZ - Mixed Use Zone

Areas of Mixed Use Zone are generally located on the edge of the General Industrial Zone or Town Centre Zone and adjacent to residential areas. The purpose of the Mixed Use Zone is to provide for a compatible mixture of *commercial*, light *industrial*, *residential*, *recreational*, and *community activities*.

The Mixed Use Zone provides for *trade supplier activities* that may be unsuited to the Town Centre Zone because of the effects they generate or due to the unavailability of sites large enough to accommodate footprint requirements. Limits on the range and scale of activities in the Mixed Use Zone will ensure the viability and vibrancy of the town centres is not compromised.

Existing *residential activities* form a compatible part of the Mixed Use Zone as commercial and light industrial development has taken into account effects on these activities when establishing. However, over time there is expected to be a transition away from separate *residential uses* and new stand-alone residential development is discouraged.

The Hood Aerodrome Development Area (overlay) applies to an area adjacent to the Hood Aerodrome, as detailed in the District Plan Maps. Hood Aerodrome is a strategic and highly valuable asset to the Wairarapa Region. This overlay provides for a range of aviation related activities, including some limited residential, commercial, light industrial, recreational, community, emergency service and educational activities that support the function and operation of the Hood Aerodrome.

There may be a number of rules that apply to an activity, building, structure, or site. Resource consent may therefore be required under rules in this chapter as well as other chapters. Unless specifically stated in a rule, resource consent is required under each relevant rule. The steps to determine the status of an activity are set out in the General Approach section in the How the Plan Works chapter.

Objectives

MUZ-O1	Purpose of the Mixed Use Zone
The Mixed Use Zone provides a compatible mixture of <i>residential</i> , <i>commercial</i> , light <i>industrial</i> , <i>recreational</i> , and <i>community activities</i> .	
MUZ-O2	Character and amenity values of the Mixed Use Zone
Mixed use areas provide a safe, accessible, and functional working and complementary residential environment with well-designed buildings and sites that reflect the mix of activities in the zone and contribute positively to and integrate well with the surrounding area.	
MUZ-O3	Protection of the Town Centre Zone

The type and scale of activities is limited in the Mixed Use Zone to ensure they do not undermine the viability and vibrancy of the Town Centre Zone.	
MUZ-O4	Interzone management
The amenity values of any adjacent Residential or Open Space and Recreation Zone are protected from the adverse effects of activities within the Mixed Use Zone.	
MUZ-O5	Hood Aerodrome Development Area
<u>The Hood Aerodrome Development Area enables a range of aviation-related activities including <i>hangar-homes</i>, community facilities and commercial uses that support and enhance the aviation function, character and visitor experience of the Hood Aerodrome Development Area while ensuring that these activities do not compromise the safe, efficient and ongoing operation of the adjacent Hood Aerodrome.</u>	

Policies

MUZ-P1	Compatible use and development
Allow use and development that is compatible with the purpose, character, and amenity values of the Mixed Use Zone, where: a. the design and scale of any <i>buildings</i> is compatible with the surrounding area; b. there is adequate existing and/or planned <i>infrastructure</i> to service the activity; and c. the activity is not of a scale and nature that it would undermine the purpose, function, and amenity values of the Town Centre Zone. Compatible activities may include the following (where they can meet the above criteria): d. <i>residential activities</i> <u>and <i>papakāinga</i></u> consistent with MUZ-P3; e. <i>healthcare activities</i>; f. <i>visitor accommodation</i>; g. <i>industrial activities</i> (excluding <i>noxious or offensive industry</i>); h. <i>community facilities</i>; i. <i>trade suppliers</i>; and j. <i>recreation activities</i> ; <u>and</u> k. <u><i>community corrections activities</i></u>.	
MUZ-P2	Incompatible use and development
Avoid activities that are incompatible with the purpose, character, and amenity values of the Mixed Use Zone and/or activities that will result in:	

a. the establishment of activities in the Mixed Use Zone if it is more appropriate that they be located in the Town Centre Zone or the General Industrial Zone to achieve the District Plan's objectives and policies; b. <i>reverse sensitivity</i> effects and/or conflict with permitted activities; and/or c. adverse effects that cannot be avoided, or appropriately remedied or mitigated. Incompatible activities include <i>noxious or offensive industry</i>.	
MUZ-P3	Residential activities
Provide for existing legally established <i>residential activities</i>, and new <i>residential activity</i> where: a. the <i>residential unit</i> and activity are a component of and complementary to commercial or other permitted activities on the site and do not comprise a standalone residential development; b. the <i>residential unit</i> and activity is located entirely above ground floor or at the rear of a commercial or other permitted activity; c. any <i>residential unit</i> is designed to: - ensure that indoor noise and ventilation levels are appropriate for occupants; and - provide amenity for residents in respect to privacy and residential <i>outdoor living space</i>; d. <i>reverse sensitivity</i> effects on commercial and <i>industrial activities</i> are minimised; and e. it is consistent with the Centres Design Guide.	
MUZ-P4	Other activities
Only allow for other activities not covered by MUZ-P1, MUZ-P2, or MUZ-P3 where: a. the commercial viability and vibrancy of the Town Centre Zone is protected by limiting the establishment of out of town centre large-scale commercial development including medium-large-scale retail, <i>business services</i>, <i>entertainment activities</i>, and <i>food and beverage activities</i>; b. any significant adverse effects on character, amenity, and <i>reverse sensitivity</i> effects, can be avoided, remedied, or mitigated; c. the design, intensity, and scale of the activity is consistent with the anticipated character and amenity values of the Mixed Use Zone and the surrounding area; d. there is adequate existing and/or planned <i>infrastructure</i> to service the activity;	

	e. the design and location of any parking areas, vehicle access, and servicing arrangements maintain streetscape amenity and do not compromise pedestrian safety; and f. it is consistent with the Centres Design Guide.
MUZ-P5	Managing effects on other areas
Ensure that adverse effects from activities on nearby areas, particularly the Residential and Open Space and Recreation zones, are minimised by requiring: a. <i>buildings and structures</i> to be set back from Residential, Rural, and Open Space and Recreation zones; and b. screening of <i>industrial activities, outdoor storage</i> areas, and servicing areas.	
MUZ-P6	<i>Relocatable buildings</i>
Provide for the relocation of buildings while requiring the completion and renovation within a reasonable timeframe by: a. Requiring pre-inspection reports to be prepared that identify any reinstatement work required to the exterior of the building following the building relocation; b. Ensuring that relocatable buildings have the same use as what they were previously designed, built and used for; c. Requiring a performance bond as a security that reinstatement works will be appropriately completed in a timely manner; and d. Maintaining and enhancing the amenity values of areas by ensuring the adverse effects of relocatable buildings are avoided, remedied or mitigated.	
MUZ-P7	<u>Compatible use and development within the Hood Aerodrome Development Area</u>
<u>Allow use and development that is compatible with the purpose, character, and amenity values of the Hood Aerodrome Development Area, where:</u> a. <u>the design and scale of any <i>buildings</i> is compatible with the surrounding area;</u> b. <u>there is adequate existing and/or planned <i>infrastructure</i> to service the activity; and</u> c. <u>the activity is not of a scale and nature that it would undermine the purpose, function, and amenity values of the Town Centre Zone.</u> <u>Compatible activities may include the following:</u> a. <u><i>hangar-homes</i>; and</u> b. <u><i>other aviation related activities.</i></u>	

MUZ-P8	<u>Incompatible use and development within the Hood Aerodrome Development Area</u>
<u>Avoid activities that are incompatible with the purpose, character, and amenity values of the Hood Aerodrome Development Area that will result in:</u> a. <u>Adverse effects on the safe, efficient, and ongoing operation of the Hood Aerodrome;</u> b. <u>Increased potential for reverse sensitivity conflicts with aviation-related activities;</u> c. <u>loss of the aviation-related character or visitor experience of the area; or</u> d. <u>Incompatibility with the intended mix of aviation-supporting, commercial, or community uses.</u> <u>Incompatible activities include and residential activities, commercial activities and industrial activities that are not aviation related.</u>	

Rules

MUZ-R1	<i>Buildings and structures, including construction, additions, and alterations</i> <u>(excluding buildings and structures within the Hood Aerodrome Development Area)</u>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. MUZ-S1; ii. MUZ-S2; iii. MUZ-S3; iv. MUZ-S4; v. MUZ-S6; vi. MUZ-S8; vii. MUZ-S9; and viii. MUZ-S10; and b. For residential units: i. no more than two <i>residential units</i> occupy the site; ii. any <i>residential unit</i> is located entirely above ground floor or at the rear of a commercial or other permitted activity; and iii. compliance is achieved with MUZ-S7; and c. Any addition or alteration to a <i>residential unit</i> existing at the date of plan notification does not result in an increase in <i>gross floor area</i>.

		Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.
		2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with MUZ-R1(1)(a) or (b)(iii) . Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion of any standard that is not met.
		3. Activity status: Discretionary Where: a. Compliance is not achieved with MUZ-R1(1)(b)(i),(ii) or (c).

MUZ-R2	Demolition or removal of <i>buildings</i> and <i>structures</i>
	1. Activity status: Permitted Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.

MUZ-R3	<i>Relocatable buildings (excluding accessory buildings, <u>or any buildings and structures within the Hood Aerodrome Development Area</u>)</i>
	1. Activity status: Permitted Where: a. For residential units: i. no more than two residential units occupy the site; ii. any residential unit is located entirely above ground floor or at the rear of a commercial or other permitted activity; and b. Compliance is achieved with: i. MUZ-S1; ii. MUZ-S2; iii. MUZ-S3; iv. MUZ-S4; v. MUZ-S6; vi. MUZ-S7; vii. MUZ-S8; viii. MUZ-S9; ix. MUZ-S10; and

		x. MUZ-S11.
		2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with MUZ-R3(1)(b). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standards that is not met.
		3. Activity status: Discretionary Where: a. Compliance is not achieved with MUZ-R3(1)(a).

MUZ-R4	<i>Residential activities</i>
	1. Activity status: Permitted Where: a. The <i>residential activity</i> is within a <i>residential unit</i> that complies with MUZ-R1(1) or MUZ-R3; <u>or</u> b. <u>In the Hood Aerodrome Development Area, the <i>residential activity</i> is within a <i>hangar home</i> that complies with MUZ-R5(1)(b).</u>
	2. Activity status: Discretionary Where: a. Compliance is not achieved with MUZ-R4(1)(a).
	3. <u>Activity status: Non-Complying</u> <u>Where:</u> <u>a. Compliance is not achieved with MUZ-R4(1)(b)</u>

<u>MUZ-RXX</u>	<u>Buildings and structures, including construction, additions, and alterations within the Hood Aerodrome Development Area</u>
	4. <u>Activity status: Permitted</u> <u>Where:</u> a. <u>Compliance is achieved with:</u> i. <u>MUZ-S1;</u> ii. <u>MUZ-S3;</u>

	iii. <u>MUZ-S4;</u> iv. <u>MUZ-S5;</u> v. <u>MUZ-S6;</u> vi. <u>MUZ-S8;</u> vii. <u>MUZ-S9;</u> viii. <u>MUZ-S10; and</u> ix. <u>NOISE-S4; and</u> x. <u>TR-R6(1).</u> b. <u>For <i>hangar homes</i>, compliance is achieved with:</u> i. <u>MUZ-R5(1)(a).</u> c. <u>For any new <i>building</i> to contain a noise sensitive activity, all habitable rooms must comply with the acoustic requirements of NOISE-S4 for the Hood Aerodrome Air Noise Boundary.</u>
	5. <u>Activity status: Discretionary</u> <u>Where:</u> a. <u>Compliance is not achieved with MUZ-R5(1)(a).</u>
	6. <u>Activity status: Non-Complying</u> <u>Where:</u> a. <u>Compliance is not achieved with:</u> i. <u>MUZ-R5(1)(a)(x); or</u> ii. <u>MUZ-R5(1)(b)</u>

<u>MUZ-RX</u>	<u>Papakāinga (except in the Hood Aerodrome Development Area)</u>
	1. <u>Activity status: Permitted</u> <u>Where:</u> a. <u>The <i>residential</i> component of the activity is within a <i>residential unit</i> that complies with MUZ-R1(1) or MUZ-R3.</u>
	2. <u>Activity status: Discretionary</u> <u>Where:</u> a. <u>Compliance is not achieved with MUZ-RX(1).</u>

<u>MUZ-RX</u>	<u>Community Corrections Facility (not including buildings and structures) (except in the Hood Aerodrome Development Area)</u>
	1. <u>Activity status: Permitted</u> <u>Where:</u>

		a. <u>Compliance is achieved with:</u> i. <u>MUZ-S6.</u>
		<u>2. Activity status: Restricted discretionary</u> <u>Where:</u> a. <u>Compliance is not achieved with MUZ-RX(1).</u> <u>Matters of discretion:</u> <u>1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.</u>

MUZ-R5		<i>Healthcare activities</i> <u>(except in the Hood Aerodrome Development Area)</u>
		1. Activity status: Permitted <u>Where:</u> a. Compliance is achieved with: ii. MUZ-S6.
		2. Activity status: Restricted discretionary <u>Where:</u> a. Compliance is not achieved with MUZ-R5(1). <u>Matters of discretion:</u> 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

MUZ-R6		<i>Visitor accommodation</i> <u>(except in the Hood Aerodrome Development Area)</u>
		1. Activity status: Permitted <u>Where:</u> a. Compliance is achieved with: i. MUZ-S6.
		2. Activity status: Restricted discretionary <u>Where:</u> a. Compliance is not achieved with MUZ-R6(1). <u>Matters of discretion:</u>

	1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.
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MUZ-R7	<i>Industrial activities excluding noxious or offensive industry (except in the Hood Aerodrome Development Area)</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. MUZ-S5; and ii. MUZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with MUZ-R7(1). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

MUZ-R8	<i>Community facilities not including buildings and structures (except in the Hood Aerodrome Development Area)</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. MUZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with MUZ-R8(1). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

MUZ-R9	<i>Trade suppliers</i> <u>(except in the Hood Aerodrome Development Area)</u>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. MUZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with MUZ-R9(1). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

MUZ-R10	<i>Recreation activities</i> <u>(except in the Hood Aerodrome Development Area)</u>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. MUZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with MUZ-R10(1). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

MUZ-R11	<i>Emergency service facilities</i> <u>(except in the Hood Aerodrome Development Area)</u>
	1. Activity status: Restricted discretionary Matters of discretion:

	1. Effects on the safe and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 2. Operational noise. 3. Amenity effects on adjacent sites and nearby residential zones, and on established residential activities or sensitive activities. 4. Hours of operation. 5. Operational or functional need to locate in the zone. 6. Compatibility with the existing streetscape amenity values.
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MUZ-R12	<i>Drive-through activities</i> <u>(except in the Hood Aerodrome Development Area)</u>
	1. Activity status: Restricted discretionary Matters of discretion: 1. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 2. Operational noise. 3. Amenity effects on nearby residential zones, and on established <i>residential activities</i> or <i>sensitive activities</i>. 4. Hours of operation. 5. Compatibility with the existing streetscape amenity values.

<u>MUZ-RXXX</u>	<i>Aviation-Related Activities within the Hood Aerodrome Development Area</i>
	1. <u>Activity status: Restricted Discretionary</u> <u>Where:</u> a. <u>The activity complies with:</u> i. <u>MUZ-RXX(1); and</u> ii. <u>NOISE-S4; and</u> iii. <u>For any new <i>building</i> to contain a noise sensitive activity, all habitable rooms must comply with the acoustic requirements of NOISE-S4 for the Hood Aerodrome Air Noise Boundary.</u>

	<u>Matters of discretion:</u> 1. <u>Effects on the safe and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users.</u> 2. <u>The effect of non-compliance with any relevant standard that is not met and the matters of discretion of any standard that is not met.</u> 3. <u>Amenity effects on adjacent sites and nearby residential zones, and on established residential activities or sensitive activities.</u> 4. <u>Hours of operation.</u> 5. <u>Operational or functional need to locate in the Hood Development Area.</u> 6. <u>Compatibility with the Hood Aerodrome.</u>
	2. <u>Activity Status: Discretionary</u> <u>Where:</u> a. <u>The activity does not comply with MUZ-R11(1).</u>

MUZ-R13	<i>Educational facilities</i> <u>(except in the Hood Aerodrome Development Area)</u>
	1. Activity status: Discretionary

MUZ-R14	<i>Retail activities</i> <u>(except in the Hood Aerodrome Development Area)</u>
	1. Activity status: Discretionary

MUZ-R15	<i>Food and beverage activities</i> <u>(except in the Hood Aerodrome Development Area)</u>
	1. Activity status: Discretionary

MUZ-R16	<i>Business services</i> <u>(except in the Hood Aerodrome Development Area)</u>
	1. Activity status: Discretionary

MUZ-R17	Any activity not otherwise listed in this chapter <u>(except in the Hood Aerodrome Development Area)</u>
	1. Activity status: Discretionary

MUZ-R18	<i>Entertainment activities</i> <u>(except in the Hood Aerodrome Development Area)</u>
	1. Activity status: Discretionary

MUZ-R19	<i>Noxious or offensive industry</i>
All zones	1. Activity status: Non-complying

<u>MUZ-RXXXX</u>	<u>Any other activity within the Hood Aerodrome Development Area, other than Hangar Homes and Aviation-Related Activities</u>
	1. <u>Activity status: Non-complying</u>

Standards

MUZ-S1	Maximum height
1. The maximum <i>height</i> of any <i>building</i> or <i>structure</i> shall be: a. 15m above <i>ground level</i> in Featherston, Carterton, and Masterton; and b. 12m above <i>ground level</i> in Greytown and Martinborough.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation.

		6. The relevant matters contained in the Centres Design Guide.
MUZ-S2	Maximum height in relation to boundary	
1. For sites adjoining a Residential or Open Space and Recreation Zone, the <i>buildings</i> shall meet the height recession requirement for the Residential Zone or Open Space and Recreation Zone in relation to the relevant boundary. This shall not apply to road boundaries.		Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from site constraints or a response to <i>natural hazard</i> mitigation. 6. The relevant matters contained in the Centres Design Guide.
MUZ-S3	Minimum setbacks	
1. <i>Buildings</i> or <i>structures</i> must not be located within: a. 3m of any boundary with a Residential, Rural, or Open Space and Recreation Zone; b. 5m of any <i>surface waterbody</i>; and c. 25m of a <i>significant waterbody</i>- <u>and</u> d. <u>5m from any boundary with a rail designation</u> 2. Exceptions to boundary setbacks: a. Unroofed swimming pools no higher than 1m above <i>ground level</i>.		Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and the character of the area. 3. Effects on the amenity values of adjacent sites, including visual dominance or loss of outlook or privacy. 4. The ability to mitigate the adverse effect through the use of screening, planting, and alternative design and/or location. 5. Any benefits, including the extent to which the reduced setback will result

b. Rainwater tanks not exceeding a height above ground level of 1.8m. 3. This standard MUZ-S3 does not apply to: a. Bridges and river crossings. b. Fences.	in a more efficient, practical, and/or better use of the balance of the site. 6. Whether there are topographical or other site constraints that make compliance with the permitted standard impractical. 7. For the surface waterbody setbacks, the effects on the values of the surface waterbody. 8. The relevant matters contained in the Centres Design Guide. 9. <u>For rail designation boundary setbacks:</u> a. <u>Location of the building or structure;</u> b. <u>Any methods of providing for building maintenance within the site boundaries on a permanent basis;</u> c. <u>The outcome of any consultation with KiwiRail.</u>
MUZ-S4	Maximum fence <i>height</i>
1. No fence, wall, or screen on any boundary with a Residential, Māori Purpose, Future Urban, Open Space and Recreation, or Rural Zone shall exceed a <i>height above ground level</i> of 1.8m.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. The extent to which the additional <i>height</i> is necessary due to the physical constraints of the <i>site</i> or to mitigate noise (including road noise) if the <i>site</i> is located adjacent to a noise-emitting source. 6. Whether adequate mitigation of adverse effects can be achieved

		through planting, screening, landscaping, and/or alternative design.
MUZ-S5	Screening of <i>industrial</i> activities	
1. An <i>industrial activity</i> shall provide screening from any Residential, Open Space and Recreation, Rural, or Commercial and Mixed Use zoned site that is adjoining or opposite (across a road). The screening shall comprise either: a. a densely planted buffer of at least 2m width, reaching a <i>height</i> of 1.8m within two years of the industrial activity commencing; or b. a solid fence or wall at least 1.8m in <i>height</i>.		Matters of discretion: 1. The extent to which landscaping is able to effectively screen the activity. 2. The visual impact of the <i>industrial activity</i> on the streetscape and surrounding environment. 3. The overall landscaping provided on the <i>site</i>.
MUZ-S6	Outdoor storage or servicing area screening	
1. Any <i>outdoor storage</i> or servicing area that is: a. more than 10m²; and b. visible from a Residential, Open Space and Recreation, Māori Purpose Zone, Future Urban Zone, Rural, or Town Centre or Neighbourhood Centre zoned site or from a formed public road, shall be effectively screened from that site/road. The screening shall comprise either: c. a densely planted buffer of at least 2m width, reaching a height of 1.8m within two years of the activity commencing; or d. a solid fence or wall at least 1.8m in <i>height</i>.		Matters of discretion: 1. The extent to which landscaping is able to effectively screen the activity. 2. The visual impact of the activity on the streetscape and surrounding environment. 3. The overall landscaping provided on the <i>site</i>. 4. The relevant matters contained in the Centres Design Guide.

MUZ-S7	Outdoor living space for residential units
1. Each residential unit must be provided with an outdoor living space that: a. If above ground floor: i. has a minimum area of 8m²; ii. has a minimum dimension of 1.8m; and b. If at ground floor, has a minimum area of 20m²; and c. is directly accessible from a <i>habitable room</i> in the <i>residential unit</i> to which it relates. 2. For multi-unit housing, at or above ground floor, outdoor living spaces may be grouped cumulatively by area in one communally accessible location, in which case it may be located at ground floor, or located directly adjacent to a unit.	Matters of discretion: 1. The amenity and quality of the streetscape. 2. The amenity for the occupiers of the <i>residential units</i>. 3. The relevant matters contained in the Centres Design Guide.
MUZ-S8	Drinking-water supply
1. All buildings and activities must be provided with a connection to Council's reticulated water supply systems, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard 2023</i> and/or Wellington Water standards as applicable.
MUZ-S9	Wastewater disposal
1. All buildings and activities must be provided with a connection to Council's reticulated wastewater systems, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard 2023</i>, and/or Wellington Water standards as applicable.

MUZ-S10	Stormwater management
1. All buildings and activities must provide the means for treatment, catchment, and disposal of stormwater from all impervious or potentially impervious surfaces, including, but not limited, to structures, compacted soils and sealed surfaces, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>. 2. Where a connection to Council's stormwater management systems is available, all allotments must be provided with a connection at the allotment boundary, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>. 3. Where the means of stormwater disposal is to ground, that area must be able and suitable to accommodate the stormwater discharge, and shall not be subject to instability, slippage, or inundation, or used for the disposal of wastewater.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard 2023</i>, and/or Wellington Water standards as applicable.
MUZ-S11	Relocatable buildings
1. Building Inspection Report a. Prior to the building being relocated onto a site, a building consent(s) shall be obtained that covers all of the matters listed below; and b. A building inspection report prepared by a Council Building Officer or other Licensed Building Practitioner shall accompany the building consent application. The report is to identify all reinstatement work required to the exterior of the building and an estimate of the costs for the external refurbishment works after relocation; and	Matters of discretion: 1. Whether the building is structurally sound, the condition of the building and the works needed to bring the exterior of the building up to an external visual appearance that is tidy, of appropriate standard, and compatible with other buildings in the vicinity. 2. The requirement for any screening and landscape treatment. 3. The bulk, design and location of the building in relation to the requirements of the zone. 4. The need for structural repairs and reinstatement of the building and the

c. The building shall be placed on permanent foundations approved by the building consent, no later than two months from the date the building is moved to the site; and d. All other work required to reinstate the exterior of any relocatable building, including painting if required, shall be completed within twelve months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations; and e. The owner of the site on which the relocatable building is placed shall certify that the reinstatement work will be completed within the twelve-month period. The site owner shall be responsible for ensuring this work is completed. 2. The transportation route and any traffic management plans shall be provided to the Council no later than 10 working days before relocating the building. 3. Previous Use a. Any relocatable building intended for use as a residential unit or for visitor accommodation must have previously been designed, built and used as a residential unit or for visitor accommodation. 4. <u>Where the cost of the reinstatement works identified in accordance with Performance Standard MUZ-S11(1)(b) is greater than \$10,000 (excluding GST), a Performance Bond is required that meets the following:</u>	length of time for completion of that work. 5. The imposition of a performance bond to ensure compliance with the consent conditions.
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a. A refundable performance bond of 125% of the cost of external reinstatement works identified in the Building Inspection Report under Performance Standard MUZ-S11(2)<u>(1)(b)</u> in cash to be lodged with the Council along with application for building consent as a guarantee that external reinstatement works are completed. b. The bond shall be lodged in terms of the form of Deed annexed as Appendix 6 to the District Plan. c. Subject to the provisions of the Deed, the bond will be refunded after the Council has inspected and confirmed compliance with external reinstatement requirements. Note: The Council will in good faith consider the partial release of the bond to the extent that reinstatement works are completed (i.e. on a proportional basis).	
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NCZ - Neighbourhood Centre Zone

The Neighbourhood Centre Zone provides for small-scale convenience-based business and *retail activities* that serve the day to day needs of the local neighbourhood. The zones allow for a limited range of activities at a scale appropriate to the residential neighbourhoods they are located in.

The Neighbourhood Centre Zone applies to small discrete areas located in residential neighbourhoods in Masterton and to the local shops in Riversdale and Castlepoint.

There may be a number of rules that apply to an activity, building, structure, or site. Resource consent may therefore be required under rules in this chapter as well as other chapters. Unless specifically stated in a rule, resource consent is required under each relevant rule. The steps to determine the status of an activity are set out in the General Approach section in the How the Plan Works chapter.

Objectives

NCZ-O1	Purpose of the Neighbourhood Centre Zone
The Neighbourhood Centre Zone provides for a limited range of small-scale <i>commercial</i> and <i>community activities</i> that service the needs of the immediate residential neighbourhood.	
NCZ-O2	Character and amenity values of the Neighbourhood Centre Zone
Development in neighbourhood centres is of a low to medium density and scale and reflects the character of the surrounding residential neighbourhood. The built environment is well-designed and contributes positively to the residential context.	
NCZ-O3	Protection of the Town Centre Zone
The type and scale of activities is limited in the Neighbourhood Centre Zone to ensure they do not undermine the viability and vibrancy of the Town Centre Zone.	
NCZ-O4	Interzone management
The effects of use and development within the Neighbourhood Centre Zone are managed within the zone and at the interface with any neighbouring Residential or Open Space and Recreation Zone.	

Policies

NCZ-P1	Compatible use and development
Allow use and development that is compatible with the purpose, character, and amenity values of the Neighbourhood Centre Zone, where: a. the activity services the needs of the surrounding neighbourhood; b. the design and scale of any <i>buildings</i> is of a low to medium density and scale, in keeping with the surrounding residential neighbourhood, and enhances the streetscape; c. there is adequate existing and/or planned <i>infrastructure</i> to service the activity; and d. the activity is not of a scale and nature that it would undermine the purpose, function, and amenity values of the Town Centre Zone. Compatible activities may include the following (where they can meet the above criteria): a. <i>Food and beverage activities</i>; b. <i>Retail activities</i>; c. <i>Healthcare activities</i>; and d. <i>Residential activities</i>.	
NCZ-P2	Incompatible use and development
Avoid activities, including <i>industrial activities</i> <u>and <i>Primary Production activities</i></u>, that are incompatible with the purpose, character, and amenity values of the Neighbourhood Centre Zone.	
NCZ-P3	Residential activities
Provide for <i>residential activity</i> where: a. it is located entirely above ground floor or at the rear of a commercial or other permitted activity; b. it does not interrupt or preclude an ongoing active street frontage that provides a positive interface with the public space; c. any <i>residential unit</i> is designed to: i. ensure that indoor noise and ventilation levels are appropriate for occupants; and provide amenity for residents in respect to privacy and residential <i>outdoor living space</i>; and ii. <i>reverse sensitivity</i> effects on <i>commercial activities</i> are minimised. d. it is consistent with the Centres Design Guide.	

NCZ-P4	Other activities
a. Only allow for activities not covered by NCZ-P1, NCZ-P2, or NCZ-P3 where: i. the activity is not of a scale and nature that it would undermine the purpose, function, and amenity values of the Town Centre Zone; ii. any significant adverse effects on character, amenity, pedestrian focused spaces, and <i>reverse sensitivity</i> effects, can be avoided, remedied, or mitigated; iii. the intensity and scale of the activity is of a low to medium density and scale, consistent with the anticipated character and amenity values of the Neighbourhood Centre Zone and the surrounding residential neighbourhood; iv. there is adequate existing and/or planned infrastructure to service the activity; v. the design and location of any parking areas, vehicle access, and servicing arrangements maintain streetscape amenity and does not compromise pedestrian safety; and vi. it is consistent with the Centres Design Guide.	
NCZ-P5	Managing effects on other areas
Ensure that adverse effects from activities on nearby areas, particularly the Residential and Open Space and Recreation zones, are minimised by requiring: a. buildings and structures to be set back from Residential and Open Space and Recreation Zones; and b. screening of <i>outdoor storage areas</i> and servicing areas.	
NCZ-P6	Relocatable buildings
Provide for the relocation of buildings while requiring the completion and renovation within a reasonable timeframe by: a. Requiring pre-inspection reports to be prepared that identify any reinstatement work required to the exterior of the building following the building relocation; b. Ensuring that relocatable buildings have the same use as what they were previously designed, built and used for; c. Requiring a performance bond as a security that reinstatement works will be appropriately completed in a timely manner; and d. Maintaining and enhancing the amenity values of areas by ensuring relocatable buildings avoid, remedy or mitigate their adverse effects.	

Rules

NCZ-R1	<i>Buildings and structures, including construction, additions, and alterations</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. NCZ-S1; ii. NCZ-S2; iii. NCZ-S3; iv. NCZ-S4; v. NCZ-S5 vi. NCZ-S7; vii. NCZ-S8; viii. NCZ-S9; and b. For residential units: i. no more than two <i>residential units</i> occupy the site; ii. any <i>residential unit</i> is located entirely above ground floor or at the rear of a commercial or other permitted activity; and iii. compliance is achieved with NCZ-S6. Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with NCZ-R1(1)(a) or (b)(iii). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion of any standard that is not met.
	3. Activity status: Restricted discretionary Where: a. Compliance is not achieved with NCZ-R1(1)(b)(i). Matters of discretion: 1. The relevant matters contained in the Centres Design Guide. 2. The effect of the intensity and scale of the activity, the building design, siting, form, and external appearance and compatibility with the planned character and residential amenity of the zone and nearby residential properties. 3. Site layout and design and consideration of topography, site orientation, and planting.

	4. The effect on amenity values of adjacent residential properties, including privacy, shading, and sense of enclosure. 5. Provision of adequate privacy, outdoor living space, storage space/utility and/or refuse areas for each <i>residential unit</i>. 6. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 7. Impervious surfaces and landscaping. 8. Capacity of existing infrastructure to service the activity, including three waters infrastructure. 9. Extent of compliance with any relevant standards and the matters of discretion of any standard that is not met.
	4. Activity status: Discretionary Where: a. Compliance is not achieved with NCZ-R1(1)(b)(ii).

NCZ-R2	Demolition or removal of <i>buildings</i> and <i>structures</i>
	1. Activity status: Permitted Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.

NCZ-R3	Relocatable <i>buildings</i> (excluding <i>accessory buildings</i>)
	1. Activity status: Permitted Where: a. For residential units: i. no more than two <i>residential units</i> occupy the site; and ii. Any <i>residential unit</i> is located entirely above ground floor or at the rear of a commercial or other permitted activity; and b. Compliance is achieved with: i. NCZ-S1; ii. NCZ-S2; iii. NCZ-S3; iv. NCZ-S4; v. NCZ-S5; vi. NCZ-S6; vii. NCZ-S7; viii. NCZ-S8;

		ix. NCZ-S9; and x. NCZ-S10.
		2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with NCZ-R3(1)(b). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.
		3. Activity status: Restricted discretionary Where: a. Compliance is not achieved with NCZ-R3(1)(a)(i). Matters of discretion: 1. The relevant matters contained in the Centres Design Guide. 2. The effect of the intensity and scale of the activity, the building design, siting, form, and external appearance and compatibility with the planned character and residential amenity of the zone and nearby residential properties. 3. Site layout and design and consideration of topography, site orientation, and planting. 4. The effect on amenity values of adjacent residential properties, including privacy, shading, and sense of enclosure. 5. Provision of adequate privacy, outdoor living space, storage space/utility and/or refuse areas for each <i>residential unit</i>. 6. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 7. Impervious surfaces and landscaping. 8. Capacity of existing infrastructure to service the activity, including three waters infrastructure. 9. Extent of compliance with any relevant standards and the matters of discretion of any standard that is not met.
		4. Activity status: Discretionary Where: a. Compliance is not achieved with NCZ-R3(1)(a)(ii).

NCZ-R4		Residential activities
		1. Activity status: Permitted Where: a. The <i>residential activity</i> is within a <i>residential unit</i> that complies with NCZ-R1(1) or NCZ-R3(1).
		2. Activity status: Discretionary Where: a. Compliance is not achieved with NCZ-R4(1).

NCZ-R5		Food and beverage activities
		1. Activity status: Permitted Where: a. Compliance is achieved with: i. NCZ-S5.
		2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with NCZ-R5(1). Matters of discretion: 1. The matters of discretion for NCZ-S5.

NCZ-R6		Retail activities
		1. Activity status: Permitted Where: a. <i>Gross floor area</i> is limited to 100m²; and b. Compliance is achieved with: i. NCZ-S5.
		2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with NCZ-R6(1)(b). Matters of discretion:

		1. The effect of non-compliance with the relevant standard and the matters of discretion of any standard that is not met.
		3. Activity status: Discretionary Where: a. Compliance is not achieved with NCZ-R6(1)(a).

NCZ-R7		Healthcare activities
		1. Activity status: Permitted Where: a. Compliance is achieved with: i. NCZ-S5.
		2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with NCZ-R7(1). Matters of discretion: 1. The matters of discretion for NCZ-S5.

NCZ-R8		Community facilities not including buildings and structures
		1. Activity status: Restricted discretionary Matters of discretion: 1. The adverse effects on the amenity values of nearby residential properties and public places, including: i. privacy and cumulative effects of other nearby non-residential activities; ii. noise; iii. hours of operation; and iv. loss of mature trees and landscaping. 2. Whether high quality on-site amenity values can be achieved. 3. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 4. The extent of impervious surfaces and landscaping. 5. <i>Infrastructure</i> requirements.

NCZ-R9	<i>Business services</i>
	1. Activity status: Restricted discretionary Matters of discretion: 1. Intensity and scale of the activity, including hours of operation. 2. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 3. Effects on streetscape and character of the zone and the residential area. 4. Effects on amenity values of nearby residential properties. 5. Whether the activity can be better located in the Town Centre Zone. 6. <i>Infrastructure</i> requirements.

<u>NCZ-RX</u>	<u><i>Emergency service facilities</i></u>
	1. <u>Activity status: Restricted discretionary</u> <u>Matters of discretion:</u> 1. <u>Whether the activity has an operational or functional need to locate in the Neighbourhood Centre Zone.</u> 2. <u>Whether the activity is compatible with the character of the surrounding environment and existing streetscape amenity.</u> 3. <u>The intensity and scale of the activity and adverse effects on the amenity of neighbouring properties and the surrounding neighbourhood, including:</u> i. <u>Privacy effects;</u> ii. <u>Operational noise;</u> iii. <u>Hours of operation;</u> iv. <u>Loss of Landscaping; and</u> v. <u>Cumulative effects.</u> 4. <u>Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users.</u> 5. <u>Infrastructure requirements.</u>

	6. <u>The effect of non-compliance with the relevant standard and the matters of discretion of any standard that is not met.</u>
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NCZ-R10	<i>Trade suppliers</i>
	1. Activity status: Discretionary

NCZ-R11	<i>Entertainment activities</i>
	1. Activity status: Discretionary

NCZ-R12	<i>Educational facilities</i>
	1. Activity status: Discretionary

NCZ-R13	<i>Visitor accommodation</i>
	1. Activity status: Discretionary

NCZ-R14	<i>Recreation activities</i>
	1. Activity status: Discretionary

NCZ-R15	<i>Drive through activities</i>
	1. Activity status: Discretionary

NCZ-R16	Any activity not otherwise listed in this chapter
	1. Activity status: Discretionary

NCZ-R17	<i>Industrial activities</i>
	2. Activity status: Non-complying

<u>NCZ-RX</u>	<u><i>Primary Production activities</i></u>
	<u>1. Activity status: Non-complying</u>

Standards

NCZ-S1	Maximum <i>height</i>
1. The maximum <i>height</i> of any <i>building</i> or <i>structure</i> shall be 10m above <i>ground level</i>.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation. 6. The relevant matters contained in the Centres Design Guide.
NCZ-S2	Maximum <i>height in relation to boundary</i>
1. For sites adjoining a Residential or Open Space and Recreation Zone, the <i>building</i> shall meet the height recession requirement for the Residential or Open Space and Recreation Zone in relation to the relevant boundary. This shall not apply to road boundaries.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of buildings and activities in the surrounding area. 5. Whether an increase in building <i>height</i> results from site constraints or

		a response to <i>natural hazard</i> mitigation. 6. The relevant matters contained in the Centres Design Guide.
NCZ-S3	Minimum setbacks	
1. <i>Buildings or structures</i> must not be located within: a. 3m of any boundary with a Residential, Rural, or Open Space and Recreation Zone; or b. 5m of any <i>surface waterbody</i>. 2. Exceptions to boundary setbacks: a. Unroofed swimming pools no higher than 1m above <i>ground level</i>. b. Rainwater tanks not exceeding a height above ground level of 1.8m. 3. This standard NCZ-S3 does not apply to: a. Bridges and river crossings. b. Fences.		Matters of discretion: 1. The location, design, and appearance of the building or structure. 2. Effects on streetscape and the character of the area. 3. Effects on the amenity values of adjacent sites, including visual dominance or loss of outlook or privacy. 4. The ability to mitigate the adverse effect through the use of screening, planting, and alternative design and/or location. 5. Any benefits, including the extent to which the reduced setback will result in a more efficient, practical, and/or better use of the balance of the site. 6. Whether there are topographical or other site constraints that make compliance with the permitted standard impractical. 7. For the surface waterbody setbacks, the effects on the values of the surface waterbody. 8. The relevant matters contained in the Centres Design Guide.
NCZ-S4	Maximum fence <i>height</i>	
1. No fence, wall, or screen on any boundary with a Residential, Māori Purpose, Future Urban, Open Space and Recreation, or Rural Zone shall exceed a <i>height</i> above <i>ground level</i> of 1.8m.		Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>.

	4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 3. The extent to which the additional <i>height</i> is necessary due to the physical constraints of the <i>site</i> or to mitigate noise (including road noise) if the <i>site</i> is located adjacent to a noise-emitting source. 4. Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.
NCZ-S5	<i>Outdoor storage or servicing area screening</i>
1. Any <i>outdoor storage</i> or servicing area that is: a. more than 10m²; and b. visible from a Residential, Open Space and Recreation, Māori Purpose Zone, Future Urban Zone, Rural, or Town Centre or Neighbourhood Centre zoned site, or from a formed public road, shall be effectively screened from that site/road. The screening shall comprise either: a. a densely planted buffer of at least 2m width, reaching a <i>height</i> of 1.8m within two years of the activity commencing; or b. a solid fence or wall at least 1.8m in <i>height</i>.	Matters of discretion: 1. The extent to which landscaping is able to effectively screen the activity. 2. The visual impact of the activity on the streetscape and surrounding environment. 3. The overall landscaping provided on the <i>site</i>. 4. The relevant matters contained in the Centres Design Guide.
NCZ-S6	<i>Outdoor living space for residential units</i>
1. Each <i>residential unit</i> must be provided with an <i>outdoor living space</i> that: a. If above ground floor:	Matters of discretion: 1. The amenity and quality of the streetscape.

i. has a minimum area of 8m²; ii. has a minimum dimension of 1.8m; and b. If at ground floor, has a minimum area of 20m²; and c. is directly accessible from a habitable room in the <i>residential unit</i> to which it relates. 2. For multi-unit housing, at or above ground floor, outdoor living spaces may be grouped cumulatively by area in one communally accessible location in which case it may be located at ground floor or located directly adjacent to a unit.	2. The amenity for the occupiers of the <i>residential units</i>. 3. The relevant matters contained in the Centres Design Guide.
NCZ-S7	Drinking wWater supply
1. All buildings and activities must be provided with a connection to Council's reticulated water supply systems, which shall be in accordance with <i>Council's Engineering Development Standard <u>2023</u></i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard <u>2023</u></i> and/or Wellington Water standards as applicable.

NCZ-S8	Wastewater disposal	
1. All buildings and activities must be provided with a connection to Council's reticulated wastewater systems, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard 2023</i>, and/or Wellington Water standards as applicable.	
NCZ-S9	Stormwater management	
1. All buildings and activities must provide the means for treatment, catchment, and disposal of stormwater from all impervious or potentially impervious surfaces, including, but not limited, to structures, compacted soils and sealed surfaces, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>. 2. Where a connection to Council's stormwater management systems is available, all allotments must be provided with a connection at the allotment boundary, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>. 3. Where the means of stormwater disposal is to ground, that area must be able and suitable to accommodate the stormwater discharge, and shall not be subject to instability, slippage, or inundation, or used for the disposal of wastewater.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard 2023</i>, and/or Wellington Water standards as applicable.	
NCZ-S10	Relocatable buildings	
4. Building Inspection Report a. Prior to the building being relocated onto a site, a building consent(s) shall be obtained that covers all of the matters listed below; and	Matters of discretion: 1. Whether the building is structurally sound, the condition of the building and the works needed to bring the exterior of the building up to an	

b. A building inspection report prepared by a Council Building Officer or other Licensed Building Practitioner shall accompany the building consent application. The report is to identify all reinstatement work required to the exterior of the building and an estimate of the costs for the external refurbishment works after relocation; and c. The building shall be placed on permanent foundations approved by the building consent, no later than two months from the date the building is moved to the site; and d. All other work required to reinstate the exterior of any relocatable building, including painting if required, shall be completed within twelve months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations; and e. The owner of the site on which the relocatable building is placed shall certify that the reinstatement work will be completed within the twelve-month period. The site owner shall be responsible for ensuring this work is completed. 5. The transportation route and any traffic management plans shall be provided to the Council no later than 10 working days before relocating the building. 6. Previous Use a. Any relocatable building intended for use as a residential unit or for visitor accommodation must have previously been designed, built and	external visual appearance that is tidy, of appropriate standard, and compatible with other buildings in the vicinity. 2. The requirement for any screening and landscape treatment. 3. The bulk, design and location of the building in relation to the requirements of the zone. 4. The need for structural repairs and reinstatement of the building and the length of time for completion of that work. 5. The imposition of a performance bond to ensure compliance with the consent conditions.
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used as a residential unit or for visitor accommodation. 7. <u>Where the cost of the reinstatement works identified in accordance with Performance Standard NCZ-S10(1)(b) is greater than \$10,000 (excluding GST), a Performance Bond is required that meets the following:</u> a. A refundable performance bond of 125% of the cost of external reinstatement works identified in the Building Inspection Report under Performance Standard NCZ-S10(2)<u>(1)(b)</u> in cash to be lodged with the Council along with application for building consent as a guarantee that external reinstatement works are completed. b. The bond shall be lodged in terms of the form of Deed annexed as Appendix 6 to the District Plan. c. Subject to the provisions of the Deed, the bond will be refunded after the Council has inspected and confirmed compliance with external reinstatement requirements. Note: The Council will in good faith consider the partial release of the bond to the extent that reinstatement works are completed (i.e. on a proportional basis).	
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GIZ - General Industrial Zone

The purpose of the General Industrial Zone is to provide for a range of *industrial activities*. The *industrial activities* contained within this zone are an important resource for the Wairarapa, and consequentially for its social and economic wellbeing.

Large areas of General Industrial Zone land are generally located near key freight routes (State Highway 2 and the Wairarapa rail line). Smaller General Industrial Zone areas are also located in each of the towns across the Wairarapa.

While industrial buildings are generally utilitarian in appearance, some areas in the General Industrial Zone are highly visible from roads and adjacent zones, and therefore higher levels of amenity are expected.

Industrial activities may emit objectionable odour, dust, or noise, and large-scale *industrial activities* with the potential to create adverse effects are expected in the General Industrial Zone. Smaller-scale *industrial activities*, and those with lesser impacts on amenity, are more appropriate in the Mixed Use Zone. New non-industrial activities that require higher levels of amenity and are sensitive activities, e.g. residential and noise-sensitive activities, are explicitly directed away from the General Industrial Zone. However, some ancillary activities, and activities that are not suitable in other zones, are anticipated in this zone.

There may be a number of rules that apply to an activity, building, structure, or site. Resource consent may therefore be required under rules in this chapter as well as other chapters. Unless specifically stated in a rule, resource consent is required under each relevant rule. The steps to determine the status of an activity are set out in the General Approach section in the How the Plan Works chapter.

Objectives

GIZ-O1	Purpose of the General Industrial Zone
The General Industrial Zone provides for a range of <i>industrial activities</i> that: a. can function efficiently and effectively within acceptable levels of environmental quality and amenity; and b. support the wellbeing and prosperity of the Wairarapa.	
GIZ-O2	Character and amenity values of the General Industrial Zone
The character and amenity values of the General Industrial Zone primarily consist of: a. large utilitarian <i>buildings</i> on large sites; b. large, open yard areas that provide <i>loading</i>, manoeuvring, and <i>parking</i> for site users; c. <i>buildings</i> and <i>outdoor storage</i> areas that are designed, screened, and located to maintain the amenity values of adjacent zones;	

d. landscaped frontages along State Highways and boundaries with other zones; and e. activities that have the potential to generate amenity effects at a scale or intensity that is not acceptable in other zones.	
GIZ-O3	Protection of General Industrial Zone
The role and function of the General Industrial Zone is not compromised by non-industrial or incompatible <u>or sensitive</u> activities.	
GIZ-O4	Commercial activities in the General Industrial Zone
<i>Commercial activities</i> are limited in the General Industrial Zone to ensure the viability and vibrancy of the Commercial and Mixed Use Zones is not compromised.	
GIZ-O5	Waingawa Industrial Area
Waingawa Industrial Area is developed in an integrated, efficient, and comprehensive manner.	

Policies

GIZ-P1	Adequate land for industrial activities
Provide adequate serviced land in the General Industrial Zone for the existing and future industrial development needs of the Wairarapa and limit <i>industrial activities</i> in other zones.	
GIZ-P2	Compatible use and development
Enable use and development that is compatible with the purpose, character, and amenity values of the General Industrial Zone.	
GIZ-P3	Incompatible use and development
Avoid non-industrial activities in the General Industrial Zone unless the activities: a. are <i>ancillary</i> to an industrial activity; or b. provide goods or services essential to industrial activities and have an <i>operational need</i> to locate in the General Industrial Zone; c. do not create potential <i>reverse sensitivity</i> effects that may constrain <i>industrial activities</i>; <u>and</u> d. do not detract from the viability and vibrancy of the Commercial and Mixed Use Zones where these activities may be more appropriately located; <u>and</u>	

e. <u>have an operational need or functional need to locate in the General Industrial Zone;</u> <u>or</u> f. <u>are the operation, maintenance, upgrading, or development of the National Grid.</u>	
GIZ-P4	Effects of industrial activities
Ensure that adverse effects from industrial activities on other zones are minimised by requiring: a. that <i>buildings</i> and <i>structures</i> are set back from Residential and Open Space and Recreation zones; b. screening of industrial activities where these are adjacent or opposite (across a road) from any site zoned Residential, Open Space and Recreation, Rural or Commercial and Mixed Use; c. landscaping of boundaries in the Waingawa Industrial Area Structure Plan where these are adjacent or opposite (across a road) from Rural zoned sites; d. screening of <i>outdoor storage</i> and servicing areas is provided where these are visible from public roads, Residential, Open Space and Recreation, Rural, and Commercial and Mixed Use zones; and e. noise and light emissions are managed to an acceptable level for the site and surrounding area.	
GIZ-P5	Sensitive activities
Restrict <u>Avoid</u> activities that could be sensitive to the effects of industrial activities from being located within, or in close proximity to, the General Industrial Zone.	
GIZ-P6	Waingawa Industrial Area
Ensure within the Waingawa Industrial Area subdivision, development, and activities are designed, located, constructed, and operated in accordance with the Waingawa Industrial Area Structure Plan and the Waingawa Structure Plan Design Guide.	
GIZ-P7	Relocatable buildings
Provide for the relocation of buildings while requiring the completion and renovation within a reasonable timeframe by: a. Requiring pre-inspection reports to be prepared that identify any reinstatement work required to the exterior of the building following the building relocation; b. Ensuring that relocatable buildings have the same use as what they were previously designed, built and used for;	

- c. Requiring a performance bond as a security that reinstatement works will be appropriately completed in a timely manner; and
- d. Maintaining and enhancing the amenity values of areas by ensuring relocatable buildings avoid, remedy or mitigate their adverse effects.

Rules

GIZ-R1	<i>Buildings and structures, including construction, additions, and alterations</i>
	1. Activity status: Permitted a. Where compliance is achieved with the following standards: i. GIZ-S1; ii. GIZ-S2; iii. GIZ-S3; iv. GIZ-S4; v. GIZ-S7; vi. GIZ-S8; vii. GIZ-S9; and viii. GIZ-S10. Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GIZ-R1(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).

GIZ-R2	<i>Demolition or removal of buildings and structures</i>
	1. Activity status: Permitted. Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.

GIZ-R3	<i>Relocatable buildings (excluding accessory buildings)</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. GIZ-S1; ii. GIZ-S2; iii. GIZ-S3; iv. GIZ-S4; v. GIZ-S7; vi. GIZ-S8; vii. GIZ-S9; viii. GIZ-S10; and ix. GIZ-S11.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GIZ-R3(1). Matters of discretion: 1. The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

GIZ-R4	<i>Industrial activities (excluding ancillary activities)</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. GIZ-S5; ii. GIZ-S6; and iii. GIZ-S7; and iv. <u>GIZ-S10.</u>
	2. Activity status: Discretionary Where: a. Compliance is not achieved with GIZ-R4(1).

GIZ-R5	Ancillary activities to an industrial activity
	1. Activity status: Permitted Where: a. The activity is ancillary to an <i>industrial activity</i> on the site; b. The activity's <i>gross floor area</i> does not exceed 20% of all buildings on the site; and c. Compliance is achieved with: i. GIZ-S5; ii. GIZ-S6; and iii. GIZ-S7; and iv. <u>GIZ-S10.</u>
	2. Activity status: Discretionary Where: a. Compliance is not achieved with GIZ-R5(1).

GIZ-R6	Residential activities
	3. Activity status: Permitted Where: a. The <i>residential activity</i> is ancillary to an <i>industrial activity</i> on the site; b. There is no more than one <i>residential unit</i> per site and <u>whose duties require them to live on-site.</u> c. The occupier of the <i>residential unit</i> works on the same site; and d. <u>The gross floor area of the residential unit does not exceed 60m².</u>
	4. Activity status: Discretionary <u>Non-Complying</u> Where: a. Compliance is not achieved with GIZ-R6(1).

GIZ-R7	<i>Retail activity not ancillary to an industrial activity</i>
	1. Activity status: Permitted Where: a. The <i>gross floor area</i> of the activity does not exceed 80m².
	2. Activity status: Discretionary Where: a. Compliance is not achieved with GIZ-R7(1).

<u>GIZ-RX</u>	<u>Community corrections activity</u>
	1. <u>Activity status: Permitted</u> Where: a. <u>Compliance is achieved with:</u> i. <u>GIZ-S5;</u> ii. <u>GIZ-S6;</u> iii. <u>GIZ-S7; and</u> iv. <u>GIZ-S10.</u>
	2. <u>Activity status: Discretionary</u> Where: a. <u>Compliance is not achieved with GIZ-RX(1).</u>

GIZ-R8	<i>Drive-through activities</i>
	1. Activity status: Restricted discretionary Matters of discretion: 1. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 2. Operational noise. 3. Amenity effects on nearby residential zones, and on established residential activities or sensitive activities. 4. Hours of operation.

GIZ-R9	<i>Rural industry activity</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. GIZ-S5; ii. GIZ-S6; and iii. GIZ-S7; and iv. <u>GIZ-S10.</u>
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with GIZ-R9(1). Matters of discretion: 1. The matters of discretion for any infringed standard(s).

GIZ-R10	<i>Emergency service facilities</i>
	1. Activity status: Restricted discretionary Matters of discretion: 1. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 2. Operational noise. 3. Amenity effects on nearby residential zones, and on established residential activities or sensitive activities. 4. Hours of operation. 5. Operational or functional need to locate in the zone. 6. Compatibility with the existing streetscape amenity values.

GIZ-R11	<i>Trade suppliers</i>
	1. Activity status: Discretionary.

GIZ-R12	<i>Business services</i>
	1. Activity status: Discretionary.

GIZ-R13	<i>Waste management facility</i>
	1. Activity status: Discretionary .

GIZ-R14	Any activity not otherwise listed in this chapter
	1. Activity status: Discretionary .

Standards

GIZ-S1	Maximum <i>height</i>
1. The maximum <i>height</i> of any <i>building</i> or <i>structure</i> shall be 15m above <i>ground level</i>.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation. 6. <u>Any potential electromagnetic effects caused by the structure where it is within 1 km of a radio transmission mast.</u> Safety risks for any structure higher than 47m within 1000m of Radio New Zealand's facilities at Waingawa.
GIZ-S2	Maximum <i>height in relation to boundary</i>
1. For sites adjoining a Residential or Open Space and Recreation zone, the <i>building</i> shall meet the <i>height in relation to boundary</i> requirement for the Residential or Open Space and Recreation zone on the shared boundary. This shall not apply to road boundaries.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Visual dominance, shading, and loss of privacy for adjacent Residential or Open Space zoned sites. 3. Bulk and dominance of the building or structure. 4. Compatibility with the anticipated scale, proportion, and context of buildings and activities in the surrounding area. 5. Whether an increase in building height results from site constraints or a response to <i>natural hazard</i> mitigation.

GIZ-S3	Minimum setbacks
1. <i>Buildings or structures</i> must not be located within: a. 5m of all boundaries adjoining another zone; b. 5m of any <i>surface waterbody</i>; and c. 25m of a <i>significant waterbody</i>. d. 5m of any rail designation boundary. 2. Exceptions to boundary setbacks: a. Rainwater tanks not exceeding a <i>height</i> above <i>ground level</i> of 1.8m. 3. This standard GIZ-S3 does not apply to: a. Bridges and river crossings. b. Fences.	Matters of discretion: 1. The amenity of adjacent Residential and Open Space zoned sites including amenity or privacy effects. 2. Screening, planting, and landscaping of the building or structure. 3. Any benefits, including the extent to which the reduced setback will result in a more efficient, practical, and better use of the balance of the site. 4. Whether there are topographical or other site constraints that make compliance with the permitted standard impractical. 5. For rail designation boundary setbacks: a. The location of the building or structure. b. Any methods of providing for building maintenance within the site boundaries. c. The outcome of consultation with KiwiRail.
GIZ-S4	Maximum fence <i>height</i>
1. No fence, wall, or screen on any boundary with a Residential, Māori Purpose, Future Urban, Open Space and Recreation, or Rural Zone shall exceed a <i>height</i> above <i>ground level</i> of 1.8m.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. The extent to which the additional <i>height</i> is necessary due to the physical constraints of the site or to mitigate noise (including road noise) if the site is located adjacent to a noise-emitting source.

		6. Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.
GIZ-S5	Screening of industrial activities	
1. <u>Except in the Waingawa Industrial Area</u>, an industrial <i>activity</i> shall provide screening from any site zoned Residential, Open Space and Recreation, Rural, Māori Purpose, Future Urban, or Commercial and Mixed Use that is adjoining or opposite (across a road). The screening shall comprise either: a. a densely planted buffer of at least 2m width, reaching a <i>height</i> of 1.8m within two years of the <i>industrial activity</i> commencing; or b. a solid fence or wall at least 1.8m in <i>height</i>.		Matters of discretion: 1. The effectiveness of screening the <i>industrial activity</i>. 2. The visual impact of the activity on the streetscape and environment in the adjacent zone. 3. The overall landscaping provided on the <i>site</i>.
GIZ-S6	Outdoor storage or servicing area screening	
1. <u>Except in the Waingawa Industrial Area</u>, any <i>outdoor storage</i> or servicing area that is a. more than 10m²; and b. visible from a Residential, Open Space and Recreation, Rural, Māori Purpose, Future Urban, or Commercial and Mixed Use zoned site, or from a formed public road, shall be effectively screened from that site/road. The screening shall comprise either: c. a densely planted buffer of at least 2m width, reaching a height of 1.8m within two years		Matters of discretion: 1. The extent to which landscaping is able to effectively screen the activity. 2. The visual impact of the activity on the streetscape and environment in the adjacent zone. 3. The overall landscaping provided on the <i>site</i>.

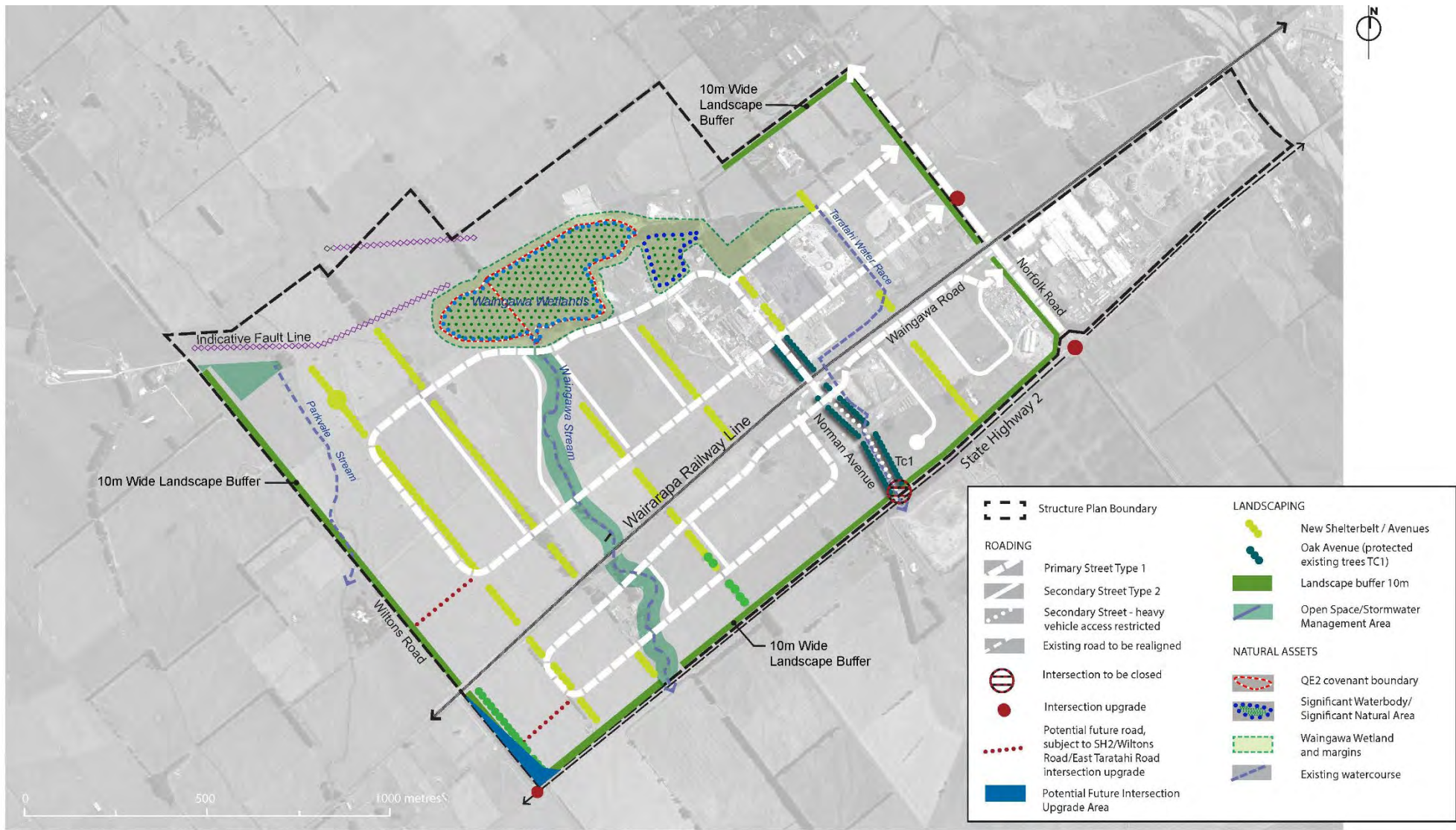
of the industrial activity commencing; or d. a solid fence or wall at least 1.8m in height.	
GIZ-S7	Waingawa Industrial Area
1. Development within Waingawa Industrial Area shall be in accordance with the Waingawa Industrial Area Structure Plan in Appendix GIZ-1.	Matters of discretion: 1. Screening, planting, and landscape treatment. 2. The siting, external appearance, and design, likely to be visible from a public road. 3. Roading, access, and parking. 4. Protection of natural areas and notable trees. 5. Noise, dust, and odour management. 6. Waingawa Structure Plan Design Guide.
GIZ-S8	Drinking Water supply
1. All buildings and activities must be provided with a connection to Council's reticulated water supply systems, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard 2023</i> and/or Wellington Water standards as applicable.
GIZ-S9	Wastewater disposal
1. All buildings and activities must be provided with a connection to Council's reticulated wastewater systems, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard 2023</i>, and/or Wellington Water standards as applicable.
GIZ-S10	Stormwater management

1. All buildings and activities must provide the means for treatment, catchment, and disposal of stormwater from all impervious or potentially impervious surfaces, including, but not limited, to structures, compacted soils and sealed surfaces, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>. 2. Where a connection to Council's stormwater management systems is available, all allotments must be provided with a connection at the allotment boundary, which shall be in accordance with <i>Council's Engineering Development Standard</i>. 3. Where the means of stormwater disposal is to ground, that area must be able and suitable to accommodate the stormwater discharge, and shall not be subject to instability, slippage, or inundation, or used for the disposal of wastewater.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard 2023</i>, and/or Wellington Water standards as applicable.
GIZ-S11	<i>Relocatable buildings</i>
1. Building Inspection Report a. Prior to the <i>building</i> being relocated onto a site, a building consent(s) shall be obtained that covers all of the matters listed below; and b. A building inspection report prepared by a Council Building Officer or other Licensed Building Practitioner shall accompany the building consent application. The report is to	Matters of discretion: 1. Whether the building is structurally sound, the condition of the building and the works needed to bring the exterior of the building up to an external visual appearance that is tidy, of appropriate standard, and compatible with other buildings in the vicinity. 2. The requirement for any screening and landscape treatment.

identify all reinstatement work required to the exterior of the building and an estimate of the costs for the external refurbishment works after relocation; and c. The <i>building</i> shall be placed on permanent foundations approved by the building consent, no later than two months from the date the <i>building</i> is moved to the <i>site</i>; and d. All other work required to reinstate the exterior of any <i>relocatable building</i>, including painting if required, shall be completed within twelve months of the building being delivered to the <i>site</i>. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations; and e. The owner of the <i>site</i> on which the <i>relocatable building</i> is placed shall certify that the reinstatement work will be completed within the twelve-month period. The <i>site</i> owner shall be responsible for ensuring this work is completed. 2. The transportation route and any traffic management plans shall be provided to the Council no later than 10 working days before relocating the building. 3. Previous Use a. Any <i>relocatable building</i> intended for use as a <i>residential unit</i> or for <i>visitor</i>	3. The bulk, design and location of the building in relation to the requirements of the zone. 4. The need for structural repairs and reinstatement of the building and the length of time for completion of that work. 5. The imposition of a performance bond to ensure compliance with the consent conditions.
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<i>accommodation</i> must have previously been designed, built and used as a <i>residential unit</i> or for <i>visitor accommodation</i>. 4. <u>Where the cost of the reinstatement works identified in accordance with Performance Standard GIZ-S11(1)(b) is greater than \$10,000 (excluding GST), a Performance Bond is required that meets the following:</u> a. A refundable performance bond of 125% of the cost of external reinstatement works identified in the Building Inspection Report under Performance Standard GIZ-S11(2)<u>(1)(b)</u> in cash to be lodged with the Council along with application for building consent as a guarantee that external reinstatement works are completed. b. The bond shall be lodged in terms of the form of Deed annexed as Appendix 6 to the District Plan. c. Subject to the provisions of the Deed, the bond will be refunded after the Council has inspected and confirmed compliance with external reinstatement requirements. Note: The Council will in good faith consider the partial release of the bond to the extent that reinstatement works are completed (i.e. on a proportional basis).	
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Appendix GIZ-1: Waingawa Structure Plan



NOSZ – Natural Open Space Zone

The purpose of the Natural Open Space zone is to recognise and provide for open spaces that contain high natural, ecological, and landscape values. Natural Open Space is often located along *waterbodies* and the edge of the *coastal environment* and has a high degree of biodiversity requiring recognition, maintenance, and/or enhancement. It includes significant areas in rural environments that are held in public ownership and managed for conservation purposes, including the Remutaka, Tararua, and Aorangi Forest Parks and Lake Wairarapa.

A low level of development and built form is anticipated within this zone to retain the natural/biodiversity values within natural open space areas.

Some of the land in the Natural Open Space Zone is subject to Reserve Management Plans prepared under the Reserves Act 1977. While Reserve Management Plans determine what types of land uses are appropriate for public open spaces that are classified as reserves, the RMA is responsible for managing the effects on the environment of activities taking place on those reserves.

Some land is held or managed under the Conservation Act 1987 and may be subject to a Conservation Management Strategy or Conservation Management Plan. Section 4(3) of the RMA permits certain activities undertaken by the Crown on land held or managed under the Conservation Act 1987.

There may be a number of rules that apply to an activity, building, structure, or site. Resource consent may therefore be required under rules in this chapter as well as other chapters. Unless specifically stated in a rule, resource consent is required under each relevant rule. The steps to determine the status of an activity are set out in the General Approach section in the How the Plan Works chapter.

Objectives

NOSZ-O1	Purpose of the Natural Open Space Zone
The natural environment in the Natural Open Space Zone is retained or enhanced and any activities, <i>buildings</i> , and other <i>structures</i> are compatible with the characteristics of the zone.	
NOSZ-O2	Character and amenity values of the Natural Open Space Zone
The indigenous biodiversity, ecological, cultural, landscape, and/or historic heritage values of the Natural Open Space Zone are retained or enhanced. Undeveloped open or vegetated areas and expanses of land containing minimal buildings are the predominant characteristic of the Natural Open Space Zone.	

NOSZ-O3	Mana whenua values
Open spaces incorporate and reflect mana whenua values and provide opportunities for tangata whenua to use open spaces for recreational and cultural uses that enhance Māori wellbeing.	

Policies

NOSZ-P1	Compatible activities
Only allow activities, <i>buildings</i> , and <i>structures</i> which are compatible with the purpose, character, and amenity values of the Natural Open Space Zone and are consistent with any applicable Reserve Management Plan or Conservation Management Strategy or Plan, while ensuring their design, scale, and intensity reflects the purpose, character, and amenity values of the Zone.	
NOSZ-P2	Potentially compatible activities
Only allow activities that are compatible with the purpose, character, and amenity values of the Natural Open Space Zone, and manage these activities, considering whether they are: a. consistent with any applicable Conservation Management Strategy or Plan, Reserve Management Plan, or reserve status under the Reserves Act 1977; b. ancillary to and/or support other activities within the open space area; c. of a scale and location compatible with the purpose, character, and amenity values of the area; d. not constraining of the establishment and operation of other activities within the open space area, compromising safety, or restricting of public access to and across open space; e. of a form, scale, location, and nature that will not compromise established or planned open space activities in Reserve Management Plans or Conservation Management Strategies or Plans and result in any conflict; f. compatible with the natural, indigenous biodiversity, ecological, cultural, landscape, and/or historic heritage values of the area; and g. able to be serviced with adequate <i>infrastructure</i> and services.	
NOSZ-P3	Incompatible activities and development
Avoid use and development that is incompatible with the purpose, character, and amenity values of the Natural Open Space Zone or any applicable Reserve Management Plan or	

Conservation Management Strategy or Plan, unless there is a <i>functional or operational need</i> to establish on the site.	
NOSZ-P4	Maintaining character and amenity
Ensure effects generated by activities are of a type, scale, and level to maintain the character and amenity of the Natural Open Space Zone and surrounding Zone, including by: a. ensuring a predominance of openness and vegetation; b. providing separation distances and minimising the number, type, bulk, and location of <i>structures</i>; and c. limiting coverage of open space land by <i>structures</i>.	
NOSZ-P5	Relocatable buildings
Provide for the relocation of buildings while requiring the completion and renovation within a reasonable timeframe by: a. requiring pre-inspection reports to be prepared that identify any reinstatement work required to the exterior of the building following the building relocation; b. ensuring that relocatable buildings have the same use as what they were previously designed, built and used for; c. requiring a performance bond as a security that reinstatement works will be appropriately completed in a timely manner; and d. maintaining and enhancing the amenity values of areas by ensuring the adverse effects of relocatable buildings are avoided, remedied or mitigated.	

Rules

NOSZ-R1	<i>Buildings and structures, including construction, additions, and alterations</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. NOSZ-S1; ii. NOSZ-S2; iii. NOSZ-S3; iv. NOSZ-S4; v. NOSZ-S5; vi. NOSZ-S6; vii. NOSZ-S7; viii. NOSZ-S8; and

	ix. NOSZ-S10. Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with NOSZ-R1(1)(a)(i) - (viii). Matters of discretion: 1. The matters of discretion of any standard that is not met.
	3. Activity status: Discretionary Where: a. Compliance is not achieved with NOSZ-R1(1)(a)(ix).

NOSZ-R2	Demolition or removal of <i>buildings</i> and <i>structures</i>
	1. Activity status: Permitted Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.

NOSZ-R3	Relocatable buildings (excluding any building that is not to be used as a residential unit)
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. NOSZ-S1; ii. NOSZ-S2; iii. NOSZ-S3; iv. NOSZ-S5; v. NOSZ-S6; vi. NOSZ-S7; vii. NOSZ-S8; viii. NOSZ-S9; and ix. NOSZ-S10.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with NOSZ-R3(1)(a)(i) - (viii). Matters of discretion:

		1. The matters set out in NOSZ-P5. 2. The matters of discretion of any standard that is not met.
		3. Activity status: Discretionary Where: a. Compliance is not achieved with NOSZ-R3(1)(a)(ix).

NOSZ-R4	<i>Recreation activities</i>
	1. Activity status: Permitted

NOSZ-R5	<i>Customary activities</i>
	1. Activity status: Permitted

NOSZ-R6	<i>Park management activities</i>
	1. Activity status: Permitted

NOSZ-R7	<i>Conservation activities</i>
	1. Activity status: Permitted

NOSZ-R8	<i>Grazing</i>
	1. Activity status: Permitted

NOSZ-R9	<i>Camping ground</i>
	1. Activity status: Permitted Where: a. The activity is limited to the use of existing tramping huts, the use of existing buildings on the site, and the use of tents, caravans, or motorhomes; and b. The site is operated by Council, the Department of Conservation, or by a licensed operator under the Camping Ground Regulations 1985.

	2. Activity status: Discretionary Where: a. Compliance is not achieved with NOSZ-R9(1).
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NOSZ-R10	<i>Residential activity ancillary to park management activities, conservation activities, or camping ground</i>
	1. Activity status: Permitted Where: a. There is only one <i>residential unit</i> per site; and b. The occupier of the <i>residential unit</i> lives and works on site.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with NOSZ-R10(1).

NOSZ-RX	<u>Emergency service facility</u>
	1. <u>Activity status: Restricted discretionary.</u> <u>Matters of discretion:</u> 1. <u>Whether the activity has an operational or functional need to locate in the Natural Open Space Zone.</u> 2. <u>Whether the activity is compatible with other activities on the site and the natural character of the surrounding area.</u> 3. <u>The intensity and scale of the activity and adverse effects on the amenity of neighbouring sites and the surrounding area, including:</u> i. <u>Natural, ecological, and landscape values;</u> ii. <u>Privacy effects;</u> iii. <u>Operational noise;</u> iv. <u>Hours of operation;</u> v. <u>Loss of Landscaping; and</u> vi. <u>Cumulative effects.</u> 4. <u>Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users.</u> 5. <u>Infrastructure requirements.</u>

	6. <u>The effect of non-compliance with the relevant standard and the matters of discretion of any standard that is not met.</u>
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NOSZ-R11	Any activity not otherwise listed in this chapter
	1. Activity status: Discretionary

NOSZ-R12	<i>Motorised outdoor recreation activity</i>
	1. Activity status: Non-complying

NOSZ-R13	<i>Industrial activities</i>
	1. Activity status: Non-complying

NOSZ-R14	<i>Residential activities</i> not otherwise listed in this chapter
	1. Activity status: Non-complying

Standards

NOSZ-S1	Maximum <i>height</i>
1. No <i>building</i> or <i>structure</i> shall exceed a <i>height</i> of 5m above <i>ground level</i>.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on open space character of the zone. 3. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjoining sites. 4. Bulk and dominance of the <i>building</i> or <i>structure</i>. 5. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 6. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation.
NOSZ-S2	Maximum <i>height in relation to boundary of zone</i>
1. All <i>buildings</i> and <i>structures</i> must be contained beneath a line of 45° measured into the site from any point 3m vertically above <i>ground level</i> along any Rural or Residential zone boundary.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjoining sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of buildings and activities in the surrounding area. 5. Whether an increase in building <i>height</i> results from site constraints or a response to <i>natural hazard</i> mitigation.

NOSZ-S3	Minimum setbacks	
1. <i>Buildings or structures</i> must not be located within: a. 5m of any boundary adjoining another zone; b. 5m of any <i>surface waterbody</i>; or c. 25m of any <i>significant waterbody</i>. d. <u>4m from any boundary with a rail designation.</u> 2. Exceptions to boundary setbacks: a. Unroofed swimming pools no higher than 1m above <i>ground level</i>. b. Rainwater tanks not exceeding a height above ground level of 1.8m. 3. This standard NOSZ-S3 does not apply to: a. Bridges and river crossings. b. Fences.	Matters of discretion: 1. The location, design, and appearance of the <i>building or structure</i>. 2. Effects on streetscape and the character of the area. 3. Effects on the amenity values of adjoining sites, including visual dominance or loss of outlook or privacy. 4. The ability to mitigate the adverse effect through the use of screening, planting, and alternative design and/or location. 5. Any benefits, including the extent to which the reduced setback will result in a more efficient, practical, and/or better use of the balance of the site. 6. Whether there are topographical or other site constraints that make compliance with the permitted standard impractical. 7. For the <i>waterbody</i> setbacks, the effects on the values of the <i>waterbody</i>. 8. <u>For rail designation boundary setbacks:</u> a. <u>The location of the building or structure.</u> b. <u>Any methods of providing for building maintenance within the site boundaries.</u> c. <u>The outcome of consultation with KiwiRail.</u>	
NOSZ-S4	Maximum fence height	
1. No fence, wall, or screen on any boundary with a Residential, Māori Purpose, Future Urban, Open Space and Recreation, or Rural Zone shall exceed a <i>height</i> above <i>ground level</i> of 1.8m.	Matters of discretion: 1. The location, design, and appearance of the building or structure. 2. Visual dominance, shading, and loss of privacy for adjacent sites.	

	3. Bulk and dominance of the building or structure. 4. Compatibility with the anticipated scale, proportion, and context of buildings and activities in the surrounding area. 5. The extent to which the additional height is necessary due to the physical constraints of the site or to mitigate noise (including road noise) if the site is located adjacent to a noise-emitting source. 6. Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.
NOSZ-S5	On-site services
1. Where a connection to the Council's reticulated water supply system or reticulated wastewater system is not available, all water supply and wastewater treatment and disposal systems must be contained within the site that the supply or system serves and be connected to on-site wastewater systems, or an approved alternative means to dispose of sewage in a sanitary manner in accordance with Section 5.2.6 of the Wellington Water Regional Standard for Water Services December 2021. 2. Any wastewater that is to be disposed to ground from any onsite servicing must be to land that is not subject to instability or inundation or used for the disposal of stormwater. 3. All new buildings must comply with the New Zealand Fire Service Firefighting Water Supplies Code of Practice SNZ PAS 4509:2008.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council water bylaws, <i>Council Engineering Standards 2023</i> and/or Wellington Water standards as applicable.

NOSZ-S6	Drinking Water supply
1. Where a connection to the Council's reticulated water supply system is available, all buildings and activities must be provided with a connection to Council's reticulated water supply systems, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council water bylaws, <i>Council Engineering <u>Development Standards 2023</u></i> and/or Wellington Water standards as applicable.
NOSZ-S7	Wastewater disposal
1. Where a connection to the Council's reticulated wastewater system is available, all buildings and activities must be provided with a connection to Council's reticulated wastewater systems, which shall be in accordance with <i>Council <u>Development Engineering Standards 2023</u></i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering <u>Development Standards 2023</u></i>, and/or Wellington Water standards as applicable.
NOSZ-S8	Stormwater management
1. All buildings and activities must provide the means for treatment, catchment, and disposal of stormwater from all impervious or potentially impervious surfaces, including, but not limited, to structures, compacted soils and sealed surfaces, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>. 2. Where a connection to Council's stormwater management systems is available, all allotments must be provided with a connection at the allotment boundary, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>. 3. Where the means of stormwater disposal is to ground, that area must be able and	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering <u>Development Standards 2023</u></i>, and/or Wellington Water standards as applicable.

suitable to accommodate the stormwater discharge, and shall not be subject to instability, slippage, or inundation, or used for the disposal of wastewater.	
NOSZ-S9	Relocatable Buildings
1. Building Inspection Report - Prior to the building being relocated onto a site, a building consent(s) shall be obtained that covers all of the matters listed below; and - A building inspection report prepared by a Council Building Officer or other Licensed Building Practitioner shall accompany the building consent application. The report is to identify all reinstatement work required to the exterior of the building and an estimate of the costs for the external refurbishment works after relocation; and - The building shall be placed on permanent foundations approved by the building consent, no later than two months from the date the building is moved to the site; and - All other work required to reinstate the exterior of any relocatable building, including painting if required, shall be completed within twelve months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations; and - The owner of the site on which the relocatable building is placed shall certify that the reinstatement work will be completed within the twelve-month period. The site owner shall be	Matters of discretion: - Whether the building is structurally sound, the condition of the building and the works needed to bring the exterior of the building up to an external visual appearance that is tidy, of appropriate standard, and compatible with other buildings in the vicinity. - The requirement for any screening and landscape treatment. - The bulk, design and location of the building in relation to the requirements of the zone. - The need for structural repairs and reinstatement of the building and the length of time for completion of that work. - The imposition of a performance bond to ensure compliance with the consent conditions.

responsible for ensuring this work is completed. 2. The transportation route and any traffic management plans shall be provided to the Council no later than 10 working days before relocating the building. 3. Previous Use a. Any relocatable building intended for use as a residential unit or for visitor accommodation must have previously been designed, built and used as a residential unit or for visitor accommodation. 4. <u>Where the cost of the reinstatement works identified in accordance with Performance Standard NOSZ-S9(1)(b) is greater than \$10,000 (excluding GST), a Performance Bond is required that meets the following:</u> a. A refundable performance bond of 125% of the cost of external reinstatement works identified in the Building Inspection Report under Performance Standard NOSZ-S9(1)(b) in cash to be lodged with the Council along with application for building consent as a guarantee that external reinstatement works are completed. b. The bond shall be lodged in terms of the form of Deed annexed as Appendix 6 to the District Plan. c. Subject to the provisions of the Deed, the bond will be refunded after the Council has inspected and confirmed compliance with external reinstatement requirements. Note: The Council will in good faith consider the partial release of the bond to the extent that reinstatement works are completed (i.e. on a proportional basis).	
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NOSZ-S10	Maximum <i>gross floor area</i>
1. No individual <i>building</i> or <i>structure</i> shall exceed a <i>gross floor area</i> of 50m ² .	No matters of discretion.

OSZ – Open Space Zone

The purpose of the Open Space Zone is to provide for a range of passive and active *recreational activities*, along with limited facilities and *structures* that are associated with those activities. Land in the Open Space Zone is generally characterised by a sense of openness and a low level of development. It includes parks, playgrounds, *community facilities*, and informal recreation spaces in a range of sizes, locations, settings, and communities. The zone also includes existing council owned cemeteries.

Some of the land in the Open Space Zone is subject to Reserve Management Plans prepared under the Reserves Act 1977. While Reserve Management Plans determine what types of land uses are appropriate for public open spaces that are classified as reserves, the RMA is responsible for managing the effects on the environment of activities taking place on those reserves.

There may be a number of rules that apply to an activity, building, structure, or site. Resource consent may therefore be required under rules in this chapter as well as other chapters. Unless specifically stated in a rule, resource consent is required under each relevant rule. The steps to determine the status of an activity are set out in the General Approach section in the How the Plan Works chapter.

Objectives

OSZ-01	Purpose of the Open Space Zone
The Open Space Zone is predominantly used for a range of passive and active <i>recreational</i> and <i>community activities</i> , along with associated facilities and <i>structures</i> necessary to support such activities.	
OSZ-02	Character and amenity values of the Open Space Zone
The predominant character and amenity values of the Open Space Zone are maintained or enhanced and not compromised by incompatible activities or <i>structures</i> , including: a. a sense of openness, other than on sites specifically dedicated to a larger scale of built development of recreation or <i>community facilities</i>; b. a low level of development, with few structures to support <i>recreational</i> and <i>community activities</i> and parks management; and c. safe, accessible, and connected public spaces.	

OSZ-O3	Mana whenua values
Open spaces incorporate and reflect mana whenua values and provide opportunities for tangata whenua to use open spaces for recreational and cultural uses that enhance Māori wellbeing.	

Policies

OSZ-P1	Compatible activities
Enable activities, <i>buildings</i> , and <i>structures</i> which are compatible with the purpose, character, and amenity values of the Open Space Zone and consistent with any applicable Reserve Management Plan, while ensuring their design, scale, and intensity reflects the purpose, character, and amenity values of the Zone.	
OSZ-P2	Potentially compatible activities
Only allow activities that are compatible with the purpose, character, and amenity values of the Open Space Zone, considering whether they are: a. consistent with any applicable Reserve Management Plan or reserve status under the Reserves Act 1977; b. ancillary to and/or support other activities within the open space area; c. of a scale and location compatible with the purpose, character, and amenity values of the area; d. not constraining the establishment and operation of other activities within the open space area, compromising safety, or restricting of public access to and across open space; e. of a form, scale, location, and nature that will not compromise established or planned open space activities in Reserve Management Plans and result in any conflict; and f. able to be serviced with adequate <i>infrastructure</i> and services.	
OSZ-P3	Incompatible activities and development
Avoid use and development that is incompatible with the purpose, character, and amenity values of the Open Space Zone or any applicable Reserve Management Plan, unless there is a <i>functional</i> or <i>operational need</i> to establish on the site.	

OSZ-P4	Maintaining character and amenity
Ensure effects generated by activities are of a type, scale, and level to maintain the character and amenity of the Open Space Zone and surrounding Zone, including by: a. providing separation distances and minimising the number, type, bulk, and location of <i>structures</i>; and b. limiting coverage of open space land by <i>structures</i>.	
OSZ-P5	Relocatable buildings
Provide for the relocation of buildings while requiring the completion and renovation within a reasonable timeframe by: a. requiring pre-inspection reports to be prepared that identify any reinstatement work required to the exterior of the building following the building relocation; b. ensuring that relocatable buildings have the same use as what they were previously designed, built and used for; c. requiring a performance bond as a security that reinstatement works will be appropriately completed in a timely manner; and d. maintaining and enhancing the amenity values of areas by ensuring the adverse effects of relocatable buildings are avoided, remedied or mitigated.	

Rules

OSZ-R1	<i>Buildings and structures, including construction, additions, and alterations</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. OSZ-S1; ii. OSZ-S2; iii. OSZ-S3; iv. OSZ-S4; v. OSZ-S5; vi. OSZ-S6; vii. OSZ-S7; viii. OSZ-S8; and ix. OSZ-S10. Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.

	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with OSZ-R1(1)(a)(i) – (viii). Matters of discretion: 1. The matters of discretion of any standard that is not met.
	3. Activity status: Discretionary Where: a. Compliance is not achieved with OSZ-R1(1)(a)(ix).

OSZ-R2	Demolition or removal of <i>buildings</i> and <i>structures</i>
	1. Activity status: Permitted Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.

OSZ-R3	<i>Relocatable buildings</i> (excluding any <i>building</i> that is not to be used as a <i>residential unit</i>)
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. OSZ-S1; ii. OSZ-S2; iii. OSZ-S3; iv. OSZ-S5; v. OSZ-S6; vi. OSZ-S7; vii. OSZ-S8; viii. OSZ-S9; and ix. OSZ-S10.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with OSZ-R3(1)(a)(i) - (viii). Matters of discretion: 1. The matters set out in OSZ-P5. 2. The matters of discretion of any standard that is not met.

	3. Activity status: Discretionary Where: a. Compliance is not achieved with OSZ-R3(1)(a)(ix).
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OSZ-R4	<i>Recreation activities</i>
	1. Activity status: Permitted

OSZ-R5	<i>Community gardens</i>
	1. Activity status: Permitted

OSZ-R6	<i>Community facilities not including buildings and structures</i>
	1. Activity status: Permitted

OSZ-R7	<i>Customary activities</i>
	1. Activity status: Permitted

OSZ-R8	<i>Park management activities</i>
	1. Activity status: Permitted

OSZ-R9	<i>Conservation activities</i>
	1. Activity status: Permitted

OSZ-R10	Burials associated with existing cemeteries and urupā
	1. Activity status: Permitted

OSZ-R11	Grazing
	1. Activity status: Permitted

OSZ-R12	Camping ground
	1. Activity status: Permitted Where: a. The site is operated by Council or by a licensed operator under the Camping Grounds Regulations 1985; b. The camping ground has no more than 10 camp sites; and c. The site is connected to the reticulated wastewater network or use is restricted to self-contained vehicles.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with OSZ-R12(1).

OSZ-R13	<i>Residential activity ancillary to park management activities, conservation activities or camping ground</i>
	1. Activity status: Permitted Where: a. There is only one residential unit per site; and b. The occupier of the residential unit lives and works on site.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with OSZ-R13(1).

OSZ-R14	Markets
	1. Activity status: Permitted Where: a. The market occurs at Memorial Square, Carterton; b. The market does not occur more than one day a week; and c. The market makes use of existing buildings or structures or any structures are of a temporary nature and are removed at the end of the market day. Note: This rule does not apply to those temporary markets that are permitted by TEMP-R2.

	2. Activity status: Discretionary Where: a. Compliance is not achieved with OSZ-R14(1).
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OSZ-RX	<i>Emergency service facility</i>
	1. <u>Activity status: Restricted discretionary.</u> <u>Matters of discretion:</u> 1. <u>Whether the activity has an operational or functional need to locate in the Open Space Zone.</u> 2. <u>Whether the activity is compatible with other activities on the site and the character of the site and surrounding neighbourhood.</u> 3. <u>The intensity and scale of the activity and adverse effects on the amenity of neighbouring properties and the surrounding area, including:</u> i. <u>Privacy effects;</u> ii. <u>Operational noise;</u> iii. <u>Hours of operation;</u> iv. <u>Loss of Landscaping; and</u> v. <u>Cumulative effects.</u> 4. <u>Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users.</u> 5. <u>Infrastructure requirements.</u> 6. <u>The effect of non-compliance with the relevant standard and the matters of discretion of any standard that is not met.</u>

OSZ-R15	<i>Motorised outdoor recreation activity</i>
	1. Activity status: Discretionary

OSZ-R16	Any activity not otherwise listed in this chapter
	1. Activity status: Discretionary

OSZ-R17	<i>Industrial activities</i>
	1. Activity status: Non-complying

OSZ-R18	<i>Residential activities not otherwise listed in this chapter</i>
	1. Activity status: Non-complying

Standards

OSZ-S1	<i>Maximum height</i>	
1. No <i>building</i> or <i>structure</i> shall exceed a <i>height</i> of 10m above <i>ground level</i> , except: a. A light pole must not exceed a maximum <i>height</i> above <i>ground level</i> of 18m.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on open space character of the zone. 3. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjoining sites. 4. Bulk and dominance of the <i>building</i> or <i>structure</i>. 5. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 6. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation.	
OSZ-S2	<i>Maximum height in relation to boundary of zone</i>	
1. All <i>buildings</i> and <i>structures</i> must be contained beneath a line of 45° measured into the site from any point 3m vertically above <i>ground level</i> along any Rural or Residential zone boundary.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjoining sites.	

	3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from site constraints or a response to <i>natural hazard</i> mitigation.
OSZ-S3	Minimum setback
1. <i>Buildings</i> or <i>structures</i> must not be located within: a. 5m of any boundary adjoining another zone; b. 5m of any <i>surface waterbody</i>; or c. 25m of any <i>significant waterbody</i>. d. <u>5m from any boundary with a rail designation.</u> 2. Exceptions to boundary setbacks: a. Unroofed swimming pools no higher than 1m above <i>ground level</i>. b. Rainwater tanks not exceeding a height above ground level of 1.8m. 3. This standard OSZ-S3 does not apply to: a. Bridges and river crossings. b. Fences.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and the character of the area. 3. Effects on the amenity values of adjoining sites, including visual dominance or loss of outlook or privacy. 4. The ability to mitigate the adverse effect through the use of screening, planting, and alternative design and/or location. 5. Any benefits, including the extent to which the reduced setback will result in a more efficient, practical, and/or better use of the balance of the site. 6. Whether there are topographical or other site constraints that make compliance with the permitted standard impractical. 7. For the <i>surface waterbody</i> setbacks, the effects on the values of the <i>surface waterbody</i>. 8. <u>For rail designation boundary setbacks:</u> a. <u>The location of the building or structure;</u> b. <u>Any methods of providing for building maintenance within the site boundaries;</u>

		c. The outcome of consultation with KiwiRail.
OSZ-S4	Maximum fence height	
1. No fence, wall, or screen on any boundary with a Residential, Māori Purpose, Future Urban, Open Space and Recreation, or Rural Zone shall exceed a <i>height</i> above <i>ground level</i> of 1.8m.		Matters of discretion: 1. The location, design, and appearance of the building or structure. 2. Visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the building or structure. 4. Compatibility with the anticipated scale, proportion, and context of buildings and activities in the surrounding area. 5. The extent to which the additional height is necessary due to the physical constraints of the site or to mitigate noise (including road noise) if the site is located adjacent to a noise-emitting source. 6. Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.
OSZ-S5	On-site services	
1. Where a connection to the Council's reticulated water supply system or reticulated wastewater system is not available, all water supply and wastewater treatment and disposal systems must be contained within the site that the supply or system serves and be connected to on-site wastewater systems, or an approved alternative means to dispose of sewage in a sanitary manner in accordance with Section 5.2.6 of the Wellington Water Regional Standard for Water Services December 2021. 2. Any wastewater that is to be disposed to ground from any onsite servicing must be		Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council water bylaws, <i>Council Engineering Development Standards 2023</i> and/or Wellington Water standards as applicable.

to land that is not subject to instability or inundation or used for the disposal of stormwater. 3. All new buildings must comply with the New Zealand Fire Service Firefighting Water Supplies Code of Practice SNZ PAS 4509:2008.	
OSZ-S6	Drinking Water supply
1. Where a connection to the Council's reticulated water supply system is available, all buildings and activities must be provided with a connection to Council's reticulated water supply systems, which shall be in accordance with <i>Council Engineering Development Standards 2023</i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council water bylaws, <i>Council Engineering Development Standards 2023</i> and/or Wellington Water standards as applicable.
OSZ-S7	Wastewater disposal
1. Where a connection to the Council's reticulated wastewater system is available, all buildings and activities must be provided with a connection to Council's reticulated wastewater systems, which shall be in accordance with <i>Council Engineering Development Standards 2023</i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering Development Standards 2023</i>, and/or Wellington Water standards as applicable.
OSZ-S8	Stormwater management
1. All buildings and activities must provide the means for treatment, catchment, and disposal of stormwater from all impervious or potentially impervious surfaces, including, but not limited, to structures, compacted soils and sealed surfaces, which shall be in accordance with <i>Council Engineering Development Standards 2023</i>. 2. Where a connection to Council's stormwater management systems is	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering Development Standards 2023</i>, and/or Wellington Water standards as applicable.

available, all allotments must be provided with a connection at the allotment boundary, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>. 3. Where the means of stormwater disposal is to ground, that area must be able and suitable to accommodate the stormwater discharge, and shall not be subject to instability, slippage, or inundation, or used for the disposal of wastewater.	
OSZ-S9	Relocatable Buildings
1. Building Inspection Report - Prior to the building being relocated onto a site, a building consent(s) shall be obtained that covers all of the matters listed below; and - A building inspection report prepared by a Council Building Officer or other Licensed Building Practitioner shall accompany the building consent application. The report is to identify all reinstatement work required to the exterior of the building and an estimate of the costs for the external refurbishment works after relocation; and - The building shall be placed on permanent foundations approved by the building consent, no later than two months from the date the building is moved to the site; and - All other work required to reinstate the exterior of any relocatable building, including painting if required, shall be completed within twelve months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure	Matters of discretion: - Whether the building is structurally sound, the condition of the building and the works needed to bring the exterior of the building up to an external visual appearance that is tidy, of appropriate standard, and compatible with other buildings in the vicinity. - The requirement for any screening and landscape treatment. - The bulk, design and location of the building in relation to the requirements of the zone. - The need for structural repairs and reinstatement of the building and the length of time for completion of that work. - The imposition of a performance bond to ensure compliance with the consent conditions.

services and closing in and ventilation of the foundations; and e. The owner of the site on which the relocatable building is placed shall certify that the reinstatement work will be completed within the twelve-month period. The site owner shall be responsible for ensuring this work is completed. 2. The transportation route and any traffic management plans shall be provided to the Council no later than 10 working days before relocating the building. 3. Previous Use a. Any relocatable building intended for use as a residential unit or for visitor accommodation must have previously been designed, built and used as a residential unit or for visitor accommodation. 4. <u>Where the cost of the reinstatement works identified in accordance with Performance Standard OSZ-S9(1)(b) is greater than \$10,000 (excluding GST), a Performance Bond is required that meets the following:</u> a. A refundable performance bond of 125% of the cost of external reinstatement works identified in the Building Inspection Report under Performance Standard OSZ-S9(1)(b) in cash to be lodged with the Council along with application for building consent as a guarantee that external reinstatement works are completed. b. The bond shall be lodged in terms of the form of Deed annexed as Appendix 6 to the District Plan. c. Subject to the provisions of the Deed, the bond will be refunded after the Council has inspected and confirmed	
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compliance with external reinstatement requirements. Note: The Council will in good faith consider the partial release of the bond to the extent that reinstatement works are completed (i.e. on a proportional basis).	
OSZ-S10	Maximum <i>gross floor area</i>
1. No individual <i>building</i> shall exceed a <i>gross floor area</i> of 100m².	No matters of discretion.

SARZ – Sport and Active Recreation Zone

The purpose of the Sport and Active Recreation Zone is to provide for areas used predominantly for a range of indoor and outdoor sport and active *recreational activities* and associated facilities and *structures*, including larger-scale *buildings*.

This Zone applies to open space that provides for a range of sport and *recreation activities* including organised sport and recreation for local and regional communities in parks, sports grounds, and multi-sport facilities. Such areas will normally have associated *buildings* such as club rooms, spectator stands, changing sheds, or toilet facilities. Examples include Memorial Park Masterton, Gladstone Sports Complex, Colin Pugh Sports Bowl, and Solway Showgrounds.

Sport and recreation areas are predominantly characterised by large open space areas with associated buildings and facilities that vary in scale depending on the sport and recreation activities that take place there. The level of development anticipated in this Zone is expected to be higher than the Open Space Zone and can involve a mix of temporary and permanent structures and activities and generate noise, light, and traffic effects in surrounding neighbourhoods.

Some of the land in the Sport and Active Recreation Zone is subject to Reserve Management Plans prepared under the Reserves Act 1977. While Reserve Management Plans determine what types of land uses are appropriate for public open spaces that are classified as reserves, the RMA is responsible for managing the effects on the environment of activities taking place on those reserves.

There may be a number of rules that apply to an activity, building, structure, or site. Resource consent may therefore be required under rules in this chapter as well as other chapters. Unless specifically stated in a rule, resource consent is required under each relevant rule. The steps to determine the status of an activity are set out in the General Approach section in the How the Plan Works chapter.

Objectives

SARZ-O1	Purpose of the Sport and Active Recreation Zone
The Sport and Active Recreation Zone supports a range of indoor and outdoor sport and active <i>recreational, community, and cultural activities</i> and associated facilities and <i>structures</i> .	
SARZ-O2	Character and amenity values of the Sport and Active Recreation Zone
The predominant character and amenity values of the Sport and Active Recreation Zone are maintained, and where possible enhanced, and are characterised by:	

- a. indoor and outdoor sport and active *recreation activities* and ancillary activities and structures;
- b. a larger scale of built development that supports *recreation* and *community activities*;
- c. compatible multi-functional use and co-location of activities and *structures*; and
- d. safe, accessible, and connected public spaces.

Policies

SARZ-P1	Compatible activities
Enable activities, <i>buildings</i> , and <i>structures</i> which are compatible with the purpose, character, and amenity values of the Sport and Active Recreation Zone and consistent with any applicable Reserve Management Plan, while ensuring their design, scale, and intensity reflects the purpose, character, and amenity values of the Zone.	
SARZ-P2	Potentially compatible activities
Only allow activities that are compatible with the purpose, character, and amenity values of the Sport and Active Recreation Zone, considering whether they are: a. consistent with any applicable Reserve Management Plan or reserve status under the Reserves Act 1977; b. ancillary to and/or support other activities within the open space area; c. of a scale and location compatible with the purpose, character, and amenity values of the area in which the activity or structure is located; d. not constraining the establishment and operation of other activities within the open space area, compromising safety, or restricting of public access to and across open space; e. of a form, scale, location, and nature that will not compromise established or planned open space activities in Reserve Management Plans and result in any conflict; and f. able to be serviced with adequate <i>infrastructure</i> and services.	
SARZ-P3	Incompatible activities and development
Avoid use and development that is incompatible with the purpose, character, and amenity values of the Sport and Active Recreation Zone or any applicable Reserve Management Plan, unless there is a <i>functional</i> or <i>operational need</i> to establish on the site.	

SARZ-P4	Maintaining character and amenity
Ensure effects generated by activities are of a type, scale, and level to maintain the character and amenity of the Sport and Active Recreation Zone and surrounding zones, including by: a. ensuring the level of openness and vegetation and built development of recreation or community facilities reflects the purpose, character, and amenity values of the area of open space; b. ensuring <i>buildings</i> are suitably located and of an appropriate size for the proposed activity; c. providing visual separation between new <i>buildings</i> and existing <i>buildings</i> on neighbouring properties; and d. integrating new <i>buildings</i> and <i>structures</i> with existing built form.	
SARZ-P5	Relocatable buildings
Provide for the relocation of buildings while requiring the completion and renovation within a reasonable timeframe by: a. requiring pre-inspection reports to be prepared that identify any reinstatement work required to the exterior of the building following the building relocation; b. ensuring that relocatable buildings have the same use as what they were previously designed, built and used for; c. requiring a performance bond as a security that reinstatement works will be appropriately completed in a timely manner; and d. maintaining and enhancing the amenity values of areas by ensuring the adverse effects of relocatable buildings are avoided, remedied or mitigated.	

Rules

SARZ-R1	<i>Buildings and structures, including construction, additions, and alterations</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. SARZ-S1; ii. SARZ-S2; iii. SARZ-S3; iv. SARZ-S4; v. SARZ-S5;

	vi. SARZ-S6; vii. SARZ-S7; viii. SARZ-S8; and ix. SARZ-S10. Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with SARZ-R1(1)(a)(i) – (viii). Matters of discretion: 1. The matters of discretion of any standard that is not met.
	3. Activity status: Discretionary Where: a. Compliance is not achieved with SARZ-R1(1)(a)(ix).

SARZ-R2	Demolition or removal of <i>buildings</i> and <i>structures</i>
	1. Activity status: Permitted Note: Refer to TEMP-R1 for permitted activity standards for activities ancillary to or incidental to construction and demolition.

SARZ-R3	Relocatable buildings (excluding any <i>building</i> that is not to be used as a <i>residential unit</i>)
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. SARZ-S1; ii. SARZ-S2; iii. SARZ-S3; iv. SARZ-S5; v. SARZ-S6; vi. SARZ-S7; vii. SARZ-S8; viii. SARZ-S9; and ix. SARZ-S10.
	2. Activity status: Restricted discretionary Where:

		a. Compliance is not achieved with SARZ-R3(1)(a)(i) - (viii). Matters of discretion: 1. The matters set out in SARZ-P5. 2. The matters of discretion of any standard that is not met.
		3. Activity status: Discretionary Where: a. Compliance is not achieved with SARZ-R3(1)(a)(ix).

SARZ-R4	<i>Recreation activities</i>
	1. Activity status: Permitted

SARZ-R5	<i>Community gardens</i>
	1. Activity status: Permitted

SARZ-R6	<i>Community facilities not including buildings and structures</i>
	1. Activity status: Permitted

SARZ-R7	<i>Customary activities</i>
	1. Activity status: Permitted

SARZ-R8	<i>Park management activities</i>
	1. Activity status: Permitted

SARZ-R9	<i>Conservation activities</i>
	1. Activity status: Permitted

SARZ-R10	<i>Grazing</i>
	1. Activity status: Permitted

SARZ-R11	Camping ground
	1. Activity status: Permitted Where: a. The site is operated by Council or by a licensed operator under the Camping Grounds Regulations 1985; b. The camping ground has no more than 10 camp sites; and c. The site is connected to the reticulated wastewater network or use is restricted to self-contained vehicles.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with SARZ-R11(1).

SARZ-R12	<i>Residential activity ancillary to park management activities, conservation activities, or camping ground</i>
	1. Activity status: Permitted Where: a. There is only one residential unit per site; and b. The occupier of the residential unit lives and works on site.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with SARZ-R12(1).

SARZ-R13	Markets
	1. Activity status: Permitted Where: a. The market occurs at Solway Showgrounds; b. The market does not occur more than one day a week; and c. The market makes use of existing <i>buildings</i> or <i>structures</i> or any structures are of a temporary nature and are removed at the end of the market day.

	2. Activity status: Discretionary Where: d. Compliance is not achieved with SARZ-R13(1).
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SARZ-RX	<i>Emergency service facility</i>
	1. <u>Activity status: Restricted discretionary.</u> <u>Matters of discretion:</u> 1. <u>Whether the activity has an operational or functional need to locate in the Sport and Active Recreation Zone.</u> 2. <u>Whether the activity is compatible with other activities on the site and the character of the site and surrounding neighbourhood.</u> 3. <u>The intensity and scale of the activity and adverse effects on the amenity of neighbouring properties and the surrounding area, including:</u> i. <u>Privacy effects;</u> ii. <u>Operational noise;</u> iii. <u>Hours of operation;</u> iv. <u>Loss of Landscaping; and</u> v. <u>Cumulative effects.</u> 4. <u>Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users.</u> 5. <u>Infrastructure requirements.</u> 6. <u>The effect of non-compliance with the relevant standard and the matters of discretion of any standard that is not met.</u>

SARZ-R14	<i>Motorised outdoor recreation activity</i>
	1. Activity status: Discretionary

SARZ-R15	Any activity not otherwise listed in this chapter
	1. Activity status: Discretionary

SARZ-R16	<i>Industrial activities</i>
	1. Activity status: Non-complying

SARZ-R17	<i>Residential activities not otherwise listed in this chapter</i>
	1. Activity status: Non-complying

Standards

SARZ-S1	<i>Maximum height</i>	
1. No <i>building</i> or <i>structure</i> shall exceed a <i>height</i> of 10m above <i>ground level</i> , except: a. A light pole must not exceed a maximum <i>height</i> above <i>ground level</i> of 18m.	Matters of discretion:	1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on open space character of the zone. 3. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjoining sites. 4. Bulk and dominance of the <i>building</i> or <i>structure</i>. 5. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 6. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation.
SARZ-S2	<i>Maximum height in relation to boundary of zone</i>	
1. All <i>buildings</i> and <i>structures</i> must be contained beneath a line of 45° measured into the site from any point 3m vertically above <i>ground level</i> along any Rural or Residential zone boundary.	Matters of discretion:	1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjoining sites.

	3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from site constraints or a response to <i>natural hazard</i>.
SARZ-S3	Minimum setbacks
1. <i>Buildings</i> or <i>structures</i> must not be located within: a. 5m of any boundary adjoining another zone; b. 5m of any <i>surface waterbody</i>; c. 25m of any <i>significant waterbody</i>; or d. <u>5m from any boundary with a rail designation.</u> 2. Exceptions to boundary setbacks: a. Unroofed swimming pools no higher than 1m above <i>ground level</i>. b. Rainwater tanks not exceeding a height above ground level of 1.8m. 3. This standard SARZ-S3 does not apply to: a. Bridges and river crossings. b. Fences.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and the character of the area. 3. Effects on the amenity values of adjoining sites, including visual dominance or loss of outlook or privacy. 4. The ability to mitigate the adverse effect through the use of screening, planting, and alternative design and/or location. 5. Any benefits, including the extent to which the reduced setback will result in a more efficient, practical, and/or better use of the balance of the site. 6. Whether there are topographical or other site constraints that make compliance with the permitted standard impractical. 7. For the <i>waterbody</i> setbacks, the effects on the values of the <i>waterbody</i>. 8. <u>For rail designation boundary setbacks:</u> a. <u>The location of the building or structure.</u> b. <u>Any methods for providing for building maintenance within the site boundaries.</u>

		c. The outcome of consultation with KiwiRail.
SARZ-S4	Maximum fence <i>height</i>	
1. No fence, wall, or screen on any boundary with a Residential, Māori Purpose, Future Urban, Open Space and Recreation, or Rural Zone shall exceed a <i>height</i> above <i>ground level</i> of 1.8m.		Matters of discretion: 1. The location, design, and appearance of the building or structure. 2. Visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the building or structure. 4. Compatibility with the anticipated scale, proportion, and context of buildings and activities in the surrounding area. 5. The extent to which the additional height is necessary due to the physical constraints of the site or to mitigate noise (including road noise) if the site is located adjacent to a noise-emitting source. 6. Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.
SARZ-S5	On-site services	
1. Where a connection to the Council's reticulated water supply system or reticulated wastewater system is not available, all water supply and wastewater treatment and disposal systems must be contained within the site that the supply or system serves and be connected to on-site wastewater systems, or an approved alternative means to dispose of sewage in a sanitary manner in accordance with Section 5.2.6 of the Wellington Water Regional Standard for Water Services December 2021. 2. Any wastewater that is to be disposed to ground from any onsite servicing must be		Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council water bylaws, <i>Council Engineering Development Standards 2023</i> and/or Wellington Water standards as applicable.

to land that is not subject to instability or inundation or used for the disposal of stormwater. 3. All new buildings must comply with the New Zealand Fire Service Firefighting Water Supplies Code of Practice SNZ PAS 4509:2008.	
SARZ-S6	Drinking Water supply
1. Where a connection to the Council's reticulated water supply system is available, all buildings and activities must be provided with a connection to Council's reticulated water supply systems, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council water bylaws, <i>Council Engineering <u>Development Standards 2023</u></i> and/or Wellington Water standards as applicable.
SARZ-S7	Wastewater disposal
1. Where a connection to the Council's reticulated wastewater system is available, all buildings and activities must be provided with a connection to Council's reticulated wastewater systems, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering <u>Development Standards 2023</u></i>, and/or Wellington Water standards as applicable.
SARZ-S8	Stormwater management
1. All buildings and activities must provide the means for treatment, catchment, and disposal of stormwater from all impervious or potentially impervious surfaces, including, but not limited, to structures, compacted soils and sealed surfaces, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>. 2. Where a connection to Council's stormwater management systems is	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council Engineering <u>Development Standards 2023</u></i>, and/or Wellington Water standards as applicable.

available, all allotments must be provided with a connection at the allotment boundary, which shall be in accordance with <i>Council Engineering <u>Development Standards 2023</u></i>. 3. Where the means of stormwater disposal is to ground, that area must be able and suitable to accommodate the stormwater discharge, and shall not be subject to instability, slippage, or inundation, or used for the disposal of wastewater.	
SARZ-S9	Relocatable Buildings
1. Building Inspection Report - Prior to the building being relocated onto a site, a building consent(s) shall be obtained that covers all of the matters listed below; and - A building inspection report prepared by a Council Building Officer or other Licensed Building Practitioner shall accompany the building consent application. The report is to identify all reinstatement work required to the exterior of the building and an estimate of the costs for the external refurbishment works after relocation; and - The building shall be placed on permanent foundations approved by the building consent, no later than two months from the date the building is moved to the site; and - All other work required to reinstate the exterior of any relocatable building, including painting if required, shall be completed within twelve months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure	Matters of discretion: - Whether the building is structurally sound, the condition of the building and the works needed to bring the exterior of the building up to an external visual appearance that is tidy, of appropriate standard, and compatible with other buildings in the vicinity. - The requirement for any screening and landscape treatment. - The bulk, design and location of the building in relation to the requirements of the zone. - The need for structural repairs and reinstatement of the building and the length of time for completion of that work. - The imposition of a performance bond to ensure compliance with the consent conditions.

services and closing in and ventilation of the foundations; and e. The owner of the site on which the relocatable building is placed shall certify that the reinstatement work will be completed within the twelve-month period. The site owner shall be responsible for ensuring this work is completed. 2. The transportation route and any traffic management plans shall be provided to the Council no later than 10 working days before relocating the building. 3. Previous Use a. Any relocatable building intended for use as a residential unit or for visitor accommodation must have previously been designed, built and used as a residential unit or for visitor accommodation. 4. <u>Where the cost of the reinstatement works identified in accordance with Performance Standard GRUZ-S8(1)(b) is greater than \$10,000 (excluding GST), a Performance Bond is required that meets the following:</u> b. A refundable performance bond of 125% of the cost of external reinstatement works identified in the Building Inspection Report under Performance Standard SARZ-S9(1)(b) in cash to be lodged with the Council along with application for building consent as a guarantee that external reinstatement works are completed. c. The bond shall be lodged in terms of the form of Deed annexed as Appendix 6 to the District Plan. d. Subject to the provisions of the Deed, the bond will be refunded after the	
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Council has inspected and confirmed compliance with external reinstatement requirements. Note: The Council will in good faith consider the partial release of the bond to the extent that reinstatement works are completed (i.e. on a proportional basis).	
SARZ-S10	Maximum <i>gross floor area</i>
1. No individual <i>building</i> shall exceed a <i>gross floor area</i> of 150m².	No matters of discretion.

TCZ - Town Centre Zone

This zone applies to the town centres in Masterton, Carterton, Greytown, Featherston, and Martinborough. The town centres function as the principal commercial and community hubs for their surrounding residential and rural communities. The town centres have the highest density of development.

Carterton and the South Wairarapa towns are generally characterised by 1-2 storey buildings adjacent to the footpath, with verandas and retail display windows. Each of the towns has a unique character that is largely derived from their historic heritage, where the architectural and aesthetic values are particularly important to retain and enhance in the management of these town centres.

Masterton, as the largest urban area in the Wairarapa, has a larger central commercial zone. The town centre, centred on Queen Street, is largely contained within two major streets (Chapel and Dixon), and most recent retail development has been well accommodated within this area, with adequate capacity for further development.

There may be a number of rules that apply to an activity, building, structure, or site. Resource consent may therefore be required under rules in this chapter as well as other chapters. Unless specifically stated in a rule, resource consent is required under each relevant rule. The steps to determine the status of an activity are set out in the General Approach section in the How the Plan Works chapter.

Objectives

TCZ-01	Purpose of the Town Centre Zone
Town centres are the principal focal point of a community and provide vibrant areas where a range of appropriately scaled <i>commercial, community, cultural, and recreational activities</i> are enabled.	
TCZ-02	Character and amenity values of the Town Centre Zone
Town centres are safe and attractive urban environments, containing well-designed <i>structures</i> that contribute positively to a sense of place, provide community focal points, and are of low- to medium-density scale.	
TCZ-03	Accessible and safe environments
Town centres provide an accessible and safe environment for people to live, work, and play.	
TCZ-04	Interzone management

The amenity values of any adjacent Residential or Open Space and Recreation Zone are protected from the adverse effects of activities within the Town Centre Zone.	
TCZ-O5	Masterton town centre
Masterton's town centre is the principal retail and servicing area of the Wairarapa and is the primary location for a wide range of <i>retail</i> and <i>business service activities</i> of varying scales.	
TCZ-O6	Carterton town centre
Carterton's town centre enables new and innovative design that complements the surrounding streetscape while providing for diversity in <i>building</i> form, use, and appearance.	
TCZ-O7	Active street frontages
The areas identified as active street frontages are attractive pedestrian-oriented focal points for Masterton and Carterton's town centres.	
TCZ-O8	South Wairarapa town centres - values
The special characteristics and historic heritage values of the town centres of Featherston, Greytown, and Martinborough are maintained and enhanced.	
TCZ-O9	South Wairarapa town centres - activities
A range of <i>commercial activities</i> and other compatible activities are provided for within the town centres of Featherston, Greytown, and Martinborough.	

Policies

TCZ-P1	Compatible use and development
Allow use and development that is compatible with the purpose, character, and amenity values of the Town Centre Zone, where: a. the activity services the needs of the local community; b. the design and scale of any <i>buildings</i> enhances the streetscape; and c. there is adequate existing and/or planned <i>infrastructure</i> to service the activity; <u>and</u> d. <u>the activity supports the use of and/or linkages for active and public transport.</u> Compatible activities may include the following (where they can meet the above criteria): e. Commercial activities, including retail, business services, and food and beverage activities; f. Community facilities;	

	g. Entertainment activities; h. Educational facilities; i. Healthcare activities; and j. Visitor accommodation.
TCZ-P2	Incompatible use and development
Avoid activities that are incompatible with the purpose, character, and amenity values of the Town Centre Zone. Incompatible activities include: a. <i>Industrial activities</i>; b. <i>Primary production</i>; c. Rural industry; and d. <i>Drive-through activities</i> on active street frontages and historic heritage precincts within the Town Centre Zone.	
TCZ-P3	Residential activities
Provide for <i>residential activity</i> <u>including multi-unit housing and papakāinga</u> where: a. it is located entirely above ground floor or at the rear of a <i>commercial activity</i> or other permitted activity; b. it does not interrupt or preclude an ongoing active street frontage that provides a positive interface with the public space; c. any <i>residential unit</i> is designed to: i. ensure that indoor noise and ventilation levels are appropriate for occupants; and ii. provide amenity for residents in respect to privacy and residential <i>outdoor living space</i>; d. <i>reverse sensitivity</i> effects on <i>commercial activities</i> are minimised; <u>and</u> e. it is consistent with the Centres Design Guide; <u>and</u> f. <u>The level of density contributes to the vibrancy and viability of town centres without compromising the ability for sites to provide for compatible uses and development listed in TCZ-P1 in that location.</u>	
TCZ-P4	Other activities
Only allow for other activities, including larger-scale activities, where:	

a. any significant adverse effects on character, amenity, pedestrian focused spaces, and <i>reverse sensitivity</i> effects, can be avoided, remedied, or mitigated; b. the intensity and scale of the activity is consistent with the anticipated character and amenity values of the Town Centre Zone and the surrounding area; and c. the design and location of any parking areas, vehicle access, and servicing arrangements maintain streetscape amenity and do not compromise pedestrian safety.	
TCZ-P5	Managing effects on other zones
New development in the Town Centre Zone complements the amenity of adjacent areas, particularly Residential and Open Space Zones.	
TCZ-P6	Town centre vibrancy
Protect the commercial viability and vibrancy of the town centres by limiting out of town centre large-scale commercial development.	
TCZ-P7	Masterton town centre
Within Masterton town centre: a. Recognise and protect the pedestrian environment of Masterton's town centre by maintaining active street frontages, including controlling the provision and form of verandas, the amount of display windows on shop frontages and limiting vehicle access across pedestrian routes. b. Provide for large-scale vehicle-oriented activities outside the identified active street frontages in Masterton's town centre.	
TCZ-P8	Carterton town centre
Within Carterton town centre: a. Recognise and protect the active street frontages in Carterton's town centre by controlling the provision and form of verandas, the amount of display windows on shop frontages, and limiting vehicle access across pedestrian routes. b. Apply specific design criteria to new <i>buildings</i> and <i>alterations</i> or <i>additions</i> to existing <i>building</i> frontages to ensure they are in keeping with the character of the town centre. c. Encourage development that complements the scale, form, and appearance of the town centre.	
TCZ-P9	Built form on active street frontages

Promote cohesive intensive forms of development within the Carterton and Masterton town centres that provide a pleasant pedestrian environment on Queen St (Masterton) and High St (Carterton), with vehicle servicing, parking, and access on to other streets.	
TCZ-P10	Interface with public space
Provide for development that: a. creates a positive and sympathetic interface with the public space; b. ensures any parking, storage, and servicing areas are provided in a manner that is visually unobtrusive and preferably located within or to the back of the <i>building</i>; c. along active street frontages identified on the planning maps, creates a positive interface with the public space and contributes to well defined open spaces through: i. <i>buildings</i> that are oriented towards the front boundary of the site; ii. a veranda or other form of shelter for pedestrians; iii. transparent glazing on the ground floor that allows visibility into and out of commercial frontages and reflects whether it is a primary or secondary frontage; and iv. an obvious public entrance; and d. is consistent with the Centres Design Guide.	
TCZ-P11	South Wairarapa town centres
Within the South Wairarapa town centres: a. Avoid development and uses in the heritage precincts that have significant adverse effects on the special characteristics and historic heritage values of those precincts. b. Provide for new development and uses within the heritage precincts that are compatible with their special characteristics and historic heritage values. c. Promote a pleasant pedestrian-oriented retail environment. d. Encourage use and development that promotes the town centres as the focal point for their communities.	
TCZ-P12	Relocatable buildings
Provide for the relocation of buildings while requiring the completion and renovation within a reasonable timeframe by: a. Requiring pre-inspection reports to be prepared that identify any reinstatement work required to the exterior of the building following the building relocation; b. Ensuring that relocatable buildings have the same use as what they were previously designed, built and used for;	

- c. Requiring a performance bond as a security that reinstatement works will be appropriately completed in a timely manner; and
- d. Maintaining and enhancing the amenity values of areas by ensuring relocatable buildings avoid, remedy or mitigate their adverse effects.

Rules

TCZ-R1	<i>Buildings and structures, including construction, additions, and alterations</i>
	1. Activity status: Permitted a. Where compliance is achieved with: i. TCZ-S1; ii. TCZ-S2; iii. TCZ-S3; iv. TCZ-S4; v. TCZ-S6; vi. TCZ-S8; vii. TCZ-S9; and viii. TCZ-S10; and b. Where a <i>building</i> is located on an active street frontage, compliance is achieved with the following standards: i. TCZ-S7; and c. For residential units: i. no more than two <i>residential units</i> occupy the site; ii. any <i>residential unit</i> is located entirely above ground floor or at the rear of a commercial or other permitted activity; and iii. compliance is achieved with TCZ-S5. Note: Refer to TEMP-R1 for permitted activity standards for activities <i>ancillary</i> to or incidental to construction and demolition.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with TCZ-R1(1)(a) or (b) or (c)(iii). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).
	3. Activity status: Restricted discretionary

	Where: a. Compliance is not achieved with TCZ-R1(1)(c)(i). Matters of discretion: 1. The relevant matters contained in the Centres Design Guide. 2. The effect of the intensity and scale of the activity, the building design, siting, form, and external appearance and compatibility with the planned character and amenity of the zone. 3. Site layout and design and consideration of topography, site orientation, and planting. 4. The effect on amenity values of adjacent residential properties, including privacy, shading, and sense of enclosure. 5. Provision of adequate privacy, outdoor living space, storage space/utility and/or refuse areas for each <i>residential unit</i>. 6. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 7. Impervious surfaces and landscaping. 8. Capacity of existing infrastructure to service the activity, including three waters infrastructure. 9. Extent of compliance with any relevant standards and the matters of discretion of any standard that is not met.
	4. Activity status: Discretionary Where: a. Compliance is not achieved with TCZ-R1(1)(c)(ii).

TCZ-R2	Demolition or removal of <i>buildings</i> and <i>structures</i>
	1. Activity status: Permitted a. On an active street frontage, where the demolition or removal of a <i>building</i>: i. is required to avoid imminent threat to life and/or property; ii. is required for the purpose of constructing a new <i>building</i>, or <i>additions</i> or <i>alterations</i> to an existing <i>building</i>; iii. enables the creation of <i>public space</i> or private <i>outdoor living space</i>; or b. The demolition or removal involves a <i>structure</i>; or

	c. The demolition or removal activity is not located on an active street frontage. Note: Refer to TEMP-R1 for permitted activity standards for activities <i>ancillary</i> to or incidental to construction and demolition.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with TCZ-R2(1).

TCZ-R3	<i>Relocatable buildings (excluding accessory buildings)</i>
	1. Activity status: Permitted Where: a. For residential units: - no more than two residential units occupy the site; and - any <i>residential unit</i> is located entirely above ground floor or at the rear of a commercial or other permitted activity; and b. Compliance is achieved with: - TCZ-S1; - TCZ-S2; - TCZ-S3; - TCZ-S4; - TCZ-S5; - TCZ-S6; - TCZ-S7; - TCZ-S8; - TCZ-S9; - TCZ-S10; and - TCZ-S11.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with TCZ-R3(1)(b). Matters of discretion: The effect of non-compliance with any relevant standard and the matters of discretion of any standard that is not met.

	3. Activity status: Restricted discretionary Where: a. Compliance is not achieved with NCZ-R3(1)(a)(i). Matters of discretion: 1. The relevant matters contained in the Centres Design Guide. 2. The effect of the intensity and scale of the activity, the building design, siting, form, and external appearance and compatibility with the planned character and residential amenity of the zone and nearby residential properties. 3. Site layout and design and consideration of topography, site orientation, and planting. 4. The effect on amenity values of adjacent residential properties, including privacy, shading, and sense of enclosure. 5. Provision of adequate privacy, outdoor living space, storage space/utility and/or refuse areas for each <i>residential unit</i>. 6. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 7. Impervious surfaces and landscaping. 8. Capacity of existing infrastructure to service the activity, including three waters infrastructure. 9. Extent of compliance with any relevant standards and the matters of discretion of any standard that is not met.
	4. Activity status: Discretionary Where: a. Compliance is not achieved with TCZ-R3(1)(a)(ii).

TCZ-R4	<i>Business services</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. TCZ-S6.
	2. Activity status: Restricted discretionary Where:

	a. Compliance is not achieved with TCZ-R4(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).
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TCZ-R5	<i>Retail activities</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. TCZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with TCZ-R5(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).

TCZ-R6	<i>Food and beverage activities</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. TCZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with TCZ-R6(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).

TCZ-R7	<i>Community facilities</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. TCZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with TCZ-R7(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).

TCZ-R8	<i>Entertainment activities</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. TCZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with TCZ-R8(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).

TCZ-R9	<i>Educational facilities</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. TCZ-S6.

	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with TCZ-R9(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).
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TCZ-R10	<i>Healthcare activities</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. TCZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with TCZ-R10(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).

TCZ-R11	<i>Visitor accommodation</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. TCZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with TCZ-R11(1). Matters of discretion:

	1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).
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TCZ-R12	<i>Residential activities</i>
	1. Activity status: Permitted Where: a. The <i>residential activity</i> is within a <i>residential unit</i> that complies with TCZ-R1 or TCZ-R3.
	2. Activity status: Discretionary Where: a. Compliance is not achieved with TCZ-R12(1).

TCZ-R13	<i>Recreation activities</i>
	1. Activity status: Permitted Where: a. Compliance is achieved with: i. TCZ-S6.
	2. Activity status: Restricted discretionary Where: a. Compliance is not achieved with TCZ-R13(1). Matters of discretion: 1. The effect of non-compliance with the relevant standard and the matters of discretion for any infringed standard(s).

TCZ-RX	<i>Papakāinga</i>
	1. <u>Activity status: Permitted</u> <u>Where:</u> a. <u>The <i>residential</i> component of the activity is within a <i>residential unit</i> that complies with TCZ-R1(1) or TCZ-R3.</u>

	2. <u>Activity status: Discretionary</u> <u>Where:</u> a. <u>Compliance is not achieved with TCZ-RX(1).</u>
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TCZ-R14	<i>Trade suppliers</i>
	1. Activity status: Discretionary Where: a. The activity is not located inside a heritage precinct or on an active street frontage.
	2. Activity status: Non-complying Where: a. The activity is located inside a heritage precinct or on an active street frontage.

<u>TCZ-RX</u>	<u>Emergency Service Facilities</u>
	1. <u>Activity status: Restricted discretionary.</u> <u>Matters of discretion:</u> 1. <u>Whether the activity has an operational or functional need to locate in the Town Centre Zone.</u> 2. <u>Whether the activity is compatible with the character of the surrounding environment and existing streetscape amenity.</u> 3. <u>The intensity and scale of the activity and amenity of neighbouring properties and the surrounding neighbourhood, including:</u> i. <u>Privacy effects;</u> ii. <u>Operational noise;</u> iii. <u>Hours of operation;</u> iv. <u>Loss of Landscaping; and</u> v. <u>Cumulative effects.</u> 4. <u>Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users.</u> 5. <u>Infrastructure requirements.</u>

	6. <u>The effect of non-compliance with the relevant standard and the matters of discretion of any standard that is not met.</u>
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TCZ-R15	<i>Drive-through activities</i>
	1. Activity status: Restricted discretionary Where: a. The activity is not located inside a heritage precinct or on an active street frontage. Matters of discretion: 1. Effects on the safe, effective, and efficient functioning of the transport network, site access, parking, servicing, and traffic generation, including safety for pedestrians, cyclists, and other road users. 2. Operational noise. 3. Amenity effects on nearby residential zones, and on established <i>residential activities</i> or <i>sensitive activities</i>. 4. Hours of operation. 5. Compatibility with the existing streetscape amenity values.
	2. Activity status: Non-complying Where: a. The activity is located inside a heritage precinct or on an active street frontage.

TCZ-R16	Any activity not otherwise provided for in this chapter
	1. Activity status: Discretionary

TCZ-R17	<i>Industrial activities</i>
	1. Activity status: Non-complying

TCZ-R18	<i>Primary production</i>
	1. Activity status: Non-complying

Standards

TCZ-S1	Maximum <i>height</i>
1. The maximum <i>height</i> of any <i>building</i> or <i>structure</i> shall be: a. 15m above <i>ground level</i> in Featherston, Carterton, and Masterton; and b. 12m above <i>ground level</i> in Greytown and Martinborough.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of <i>buildings</i> and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from <i>site</i> constraints or a response to <i>natural hazard</i> mitigation. 6. The relevant matters contained in the Centres Design Guide.
TCZ-S2	Maximum <i>height in relation to boundary</i>
1. For sites adjoining a Residential or Open Space and Recreation zone, the building shall meet the height in relation to boundary requirement for the Residential or Open Space and Recreation zone in relation to the relevant boundary. This shall not apply to road boundaries.	Matters of discretion: 1. The location, design, and appearance of the <i>building</i> or <i>structure</i>. 2. Effects on streetscape and amenity values of nearby properties, including visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the <i>building</i> or <i>structure</i>. 4. Compatibility with the anticipated scale, proportion, and context of buildings and activities in the surrounding area. 5. Whether an increase in <i>building height</i> results from site constraints or a response to <i>natural hazard</i> mitigation. 6. The relevant matters contained in the Centres Design Guide.

TCZ-S3	Minimum setbacks	
1. <i>Buildings or structures</i> must not be located within: a. 3m from any boundary with a Residential or Open Space and Recreation Zone; b. 5m from any surface waterbody; c. <u>5m from any boundary with a rail designation.</u> 2. Exceptions to boundary setbacks: a. Unroofed swimming pools no higher than 1m above <i>ground level</i>. b. Rainwater tanks not exceeding a height above ground level of 1.8m. 3. This standard TCZ-S3 does not apply to: a. Bridges and river crossings. b. Fences.	Matters of discretion: 1. The location, design, and appearance of the building or structure. 2. Effects on streetscape and the character of the area. 3. Effects on the amenity values of adjacent sites, including visual dominance or loss of outlook or privacy. 4. The ability to mitigate the adverse effect through the use of screening, planting, and alternative design and/or location. 5. Any benefits, including the extent to which the reduced setback will result in a more efficient, practical, and/or better use of the balance of the site. 6. Whether there are topographical or other site constraints that make compliance with the permitted standard impractical. 7. For the waterbody setbacks, the effects on the values of the waterbody. 8. The relevant matters contained in the Centres Design Guide. 9. <u>For rail designation boundary setbacks:</u> a. <u>Location of the building or structure;</u> b. <u>Any methods of providing for building maintenance within the site boundaries on a permanent basis;</u> c. <u>The outcome of any consultation with KiwiRail.</u>	
TCZ-S4	Maximum fence height	
1. No fence, wall, or screen on any boundary with a Residential, Māori Purpose, Future Urban, Open Space and Recreation, or Rural Zone shall exceed a <i>height above ground level</i> of 1.8m.	Matters of discretion: 1. The location, design, and appearance of the building or structure. 2. Visual dominance, shading, and loss of privacy for adjacent sites. 3. Bulk and dominance of the building or structure.	

	4. Compatibility with the anticipated scale, proportion, and context of buildings and activities in the surrounding area. 5. The extent to which the additional height is necessary due to the physical constraints of the site or to mitigate noise (including road noise) if the site is located adjacent to a noise-emitting source. 6. Whether adequate mitigation of adverse effects can be achieved through planting, screening, landscaping, and/or alternative design.
TCZ-S5	Outdoor living space for residential units
1. Each residential unit must be provided with an outdoor living space that: a. If above ground floor: i. has a minimum area of 8m²; ii. has a minimum dimension of 1.8m; and b. If at ground floor, has a minimum area of 20m²; c. is directly accessible from a habitable room in the residential unit to which it relates. 2. For multi-unit housing, at or above ground floor, outdoor living spaces may be grouped cumulatively by area in one communally accessible location in which case it may be located at ground floor, or located directly adjacent to a residential unit.	Matters of discretion: 1. The amenity and quality of the streetscape. 3. The amenity for the occupiers of the residential units. 4. The relevant matters contained in the Centres Design Guide.
TCZ-S6	Outdoor storage or servicing area screening
1. Any <i>outdoor storage</i> area or servicing area that is: a. more than 10m²; and b. visible from a site in the Residential, Open Space and	Matters of discretion: 1. The extent to which landscaping is able to effectively screen the outdoor storage or servicing area.

Recreation, Māori Purpose Zone, Future Urban Zone, or Commercial and Mixed Use zoned site, or from a formed public road, shall be effectively screened from that site/road. The screening shall comprise either: c. a densely planted buffer of at least 2m width, reaching a height of 1.8m within two years of the activity commencing; or d. a solid fence or wall at least 1.8m in height.	2. The visual impact of the activity on the streetscape and surrounding environment. 3. The overall landscaping provided on the <i>site</i>. 4. The relevant matters contained in the Centres Design Guide.
TCZ-S7	New buildings or additions or alterations to a building on an active street frontage
1. New buildings, or additions or alterations to a building on an active street frontage shall meet the following standards: 2. The ground floor of a building shall have glazing that covers 75% of the frontage facing the road boundary, that is not painted or obscured. 3. Buildings shall be built across 100% of the width of the site (excluding any existing vehicle accessway) 4. Building location: a. all buildings shall be built to the site frontage/road boundary of the site, or b. where buildings are not constructed to the site frontage/road boundary, the building is to be setback no more than 10m from the site frontage/road boundary, and the area between the site frontage/road boundary and building is to be developed and used for outdoor dining or hospitality purposes.	Matters of discretion: 1. Visual alignment with adjacent buildings. 2. Convenience, safety, and comfort for pedestrians. 3. Consideration of the Centres Design Guide. 4. Operational and <u>or</u> functional requirements of the activity. 5. The relevant matters contained in the Centres Design Guide. Notification: 1. An application for a restricted discretionary activity that does not comply with this standard will be decided without public notification but may be limited notified.

5. Where a building is built to the site frontage/road boundary of the site: a. buildings shall have a veranda extending the full length of the frontage and shall adjoin existing verandas on adjacent buildings. b. verandas shall be 3m in depth or 300mm back from the kerb line, whichever is the lesser. c. verandas shall be not less than 2.5m above the footpath. 6. All buildings shall provide at least one pedestrian entrance at the street or facing the street. 7. No new vehicle crossings shall be constructed.	
TCZ-S8	Drinking wWater supply
1. All buildings and activities must be provided with a connection to Council's reticulated water supply systems, which shall be in accordance with <i>Councils Engineering Development Standard 2023</i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 8. The relevant standards of Council water bylaws, <i>Council's Engineering Development Standard 2023</i> and/or Wellington Water standards as applicable.
TCZ-S9	Wastewater disposal
1. All buildings and activities must be provided with a connection to Council's reticulated wastewater systems, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 2. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard 2023</i>, and/or Wellington Water standards as applicable.

TCZ-S10	Stormwater management
1. All buildings and activities must provide the means for treatment, catchment, and disposal of stormwater from all impervious or potentially impervious surfaces, including, but not limited, to structures, compacted soils and sealed surfaces, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>. 2. Where a connection to Council's stormwater management systems is available, all allotments must be provided with a connection at the allotment boundary, which shall be in accordance with <i>Council's Engineering Development Standard 2023</i>. 3. Where the means of stormwater disposal is to ground, that area must be able and suitable to accommodate the stormwater discharge, and shall not be subject to instability, slippage, or inundation, or used for the disposal of wastewater.	Matters of discretion: 1. The suitability of any alternative servicing and infrastructure options. 4. The relevant standards of Council's water bylaws, <i>Council's Engineering Development Standard 2023</i>, and/or Wellington Water standards as applicable.
TCZ-S11	Relocatable buildings
1. Building Inspection Report a. Prior to the building being relocated onto a site, a building consent(s) shall be obtained that covers all of the matters listed below; and b. A building inspection report prepared by a Council Building Officer or other Licensed Building Practitioner shall accompany the building consent application. The report is to identify all reinstatement work required to the exterior of the building and an estimate of the costs for the external refurbishment works after relocation; and c. The building shall be placed on permanent foundations approved by the	Matters of discretion: 1. Whether the building is structurally sound, the condition of the building and the works needed to bring the exterior of the building up to an external visual appearance that is tidy, of appropriate standard, and compatible with other buildings in the vicinity. 5. The requirement for any screening and landscape treatment. 6. The bulk, design and location of the building in relation to the requirements of the zone. 7. The need for structural repairs and reinstatement of the building and the

building consent, no later than two months from the date the building is moved to the site; and d. All other work required to reinstate the exterior of any relocatable building, including painting if required, shall be completed within twelve months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations; and e. The owner of the site on which the relocatable building is placed shall certify that the reinstatement work will be completed within the twelve-month period. The site owner shall be responsible for ensuring this work is completed. 2. The transportation route and any traffic management plans shall be provided to the Council no later than 10 working days before relocating the building. 3. Previous Use a. Any relocatable building intended for use as a residential unit or for visitor accommodation must have previously been designed, built and used as a residential unit or for visitor accommodation. 4. <u>Where the cost of the reinstatement works identified in accordance with Performance Standard TCZ-S11(1)(b) is greater than \$10,000 (excluding GST), a Performance Bond is required that meets the following:</u> a. A refundable performance bond of 125% of the cost of external reinstatement works identified in the Building Inspection Report under Performance Standard TCZ-	length of time for completion of that work. 8. The imposition of a performance bond to ensure compliance with the consent conditions.
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S11(2)<u>(1)(b)</u> in cash to be lodged with the Council along with application for building consent as a guarantee that external reinstatement works are completed. b. The bond shall be lodged in terms of the form of Deed annexed as Appendix 6 to the District Plan. c. Subject to the provisions of the Deed, the bond will be refunded after the Council has inspected and confirmed compliance with external reinstatement requirements. Note: The Council will in good faith consider the partial release of the bond to the extent that reinstatement works are completed (i.e. on a proportional basis).	
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Wairarapa

Residential Design Guide



Te Kaunihera ā-Rohe o Taratahi
CARTERTON
DISTRICT COUNCIL



SOUTH WAIRARAPA
DISTRICT COUNCIL
Kia Reretahi Tātau

Multi-Unit

Introduction

Intent

This Multi-Unit Design Guide supports the Wairarapa Combined District Plan by providing guidance to integrate multi-unit developments into the surrounding existing and planned residential context within the **General Residential Zone**. It promotes positive design outcomes for multi-unit developments, in residential zones and backs these up with best-practice guidance and examples. Multi-unit development refers to developments which provide more than one home on a single site.

This Design Guide is structured into ~~four~~ **three** sections:

- **Site Layout** covers the design elements that concern the siting of the development and how this relates to the surrounding context (open space, streets and neighbouring residential buildings).
- **Built Form & Appearance** covers elements related to the shape of the building and its relationship to the surrounding environment both on and off-site.
- **Amenity, Landscape and Sustainability** covers how to integrate the building into the site to improve both the experience and function.

Each section provides **section heading** (sometimes accompanied by explanatory text) and numbered **guidelines** which help achieve these outcomes. Indicative **diagrams** and **photographs** provide supporting examples of the guidelines. **Advice notes** provide more detailed examples or explain the guideline further. This format is outlined on the following page.

Using this guide as part of a Resource Consent

The District Plan contains a number of objectives and policies that will be relevant in the context of multi-unit residential development. This design guide is intended to assist with the assessment of a proposal in meeting these objectives and policies where a consent is required. The design guide is also referred to as a Matter of Discretion within a number of District Plan rules.

General guidance

Where a proposal is a permitted activity, use of this guide is strongly encouraged to help inform the development to achieve best practice design outcomes.

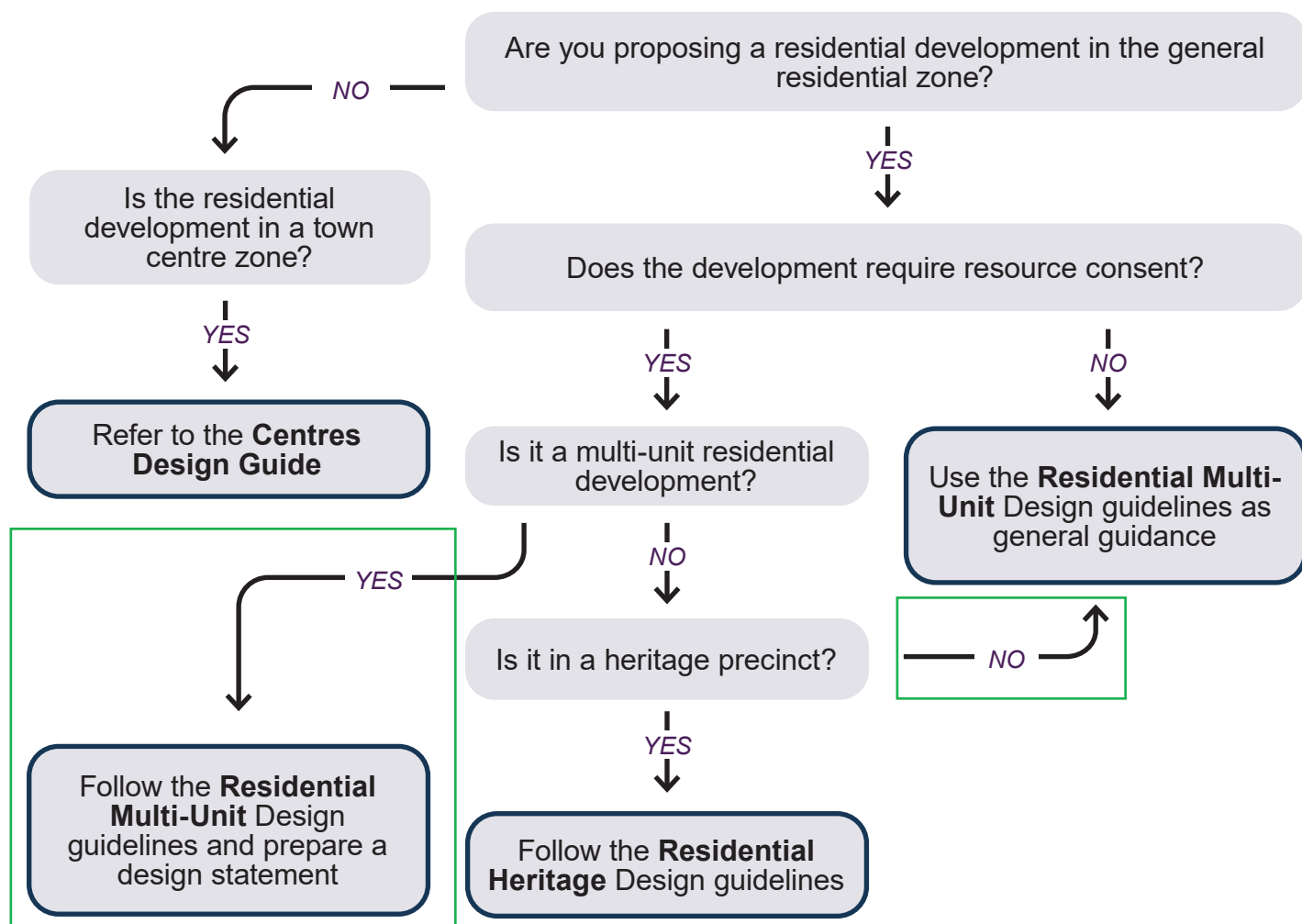
Preparation of a Design Statement

It is expected that a Design Statement will be included within the resource consent application to explain how the proposal meets the principles and guidelines of the Design Guide. The Design Statement provides applicants with the opportunity to explain which guidelines are relevant to the proposal, and how they have been applied.

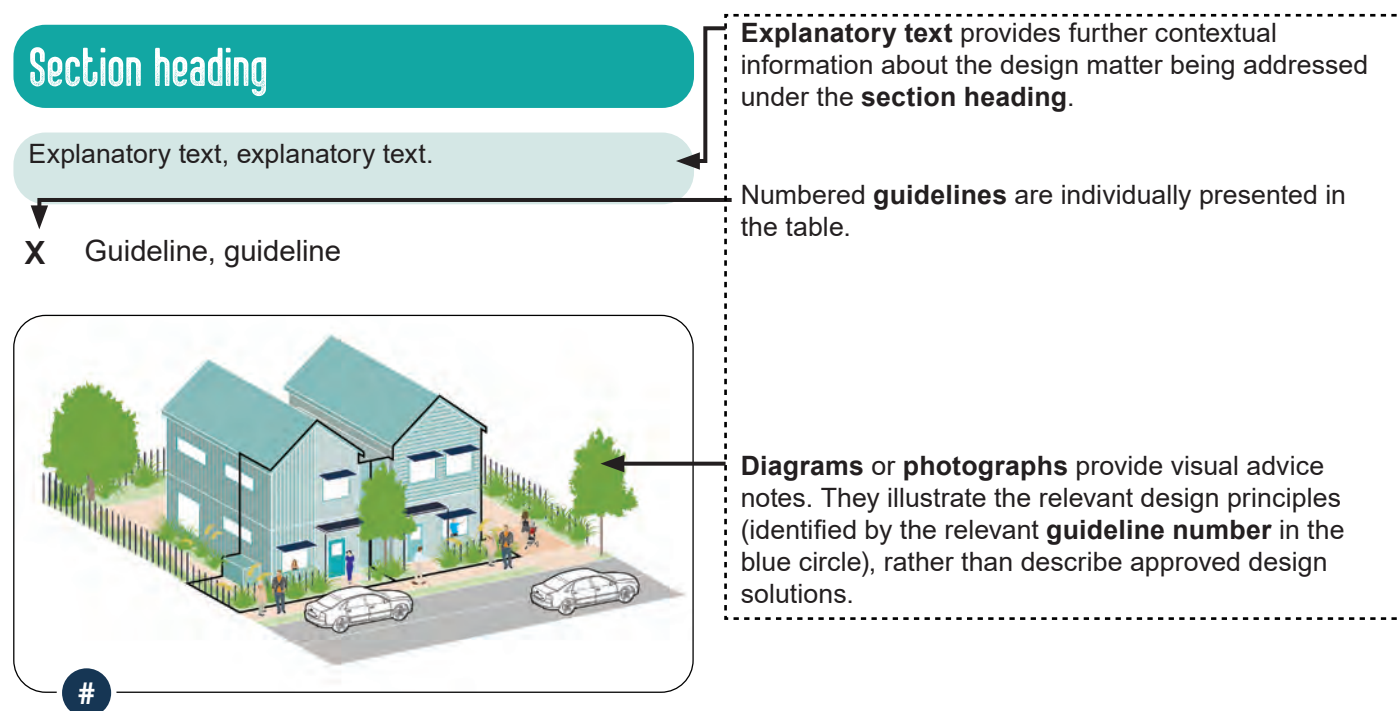
A Design Statement should include:

- A description of the proposal (site and context);
- An overarching statement that explains how the proposal meets the relevant design **principles**
- A description of how the proposal meets each relevant **guideline**;
- Where the proposal does not meet a **guideline**, a description of:
 - *the alternative approach taken;*
 - *why this is appropriate; and*
 - *how the alternative approach enables the proposal to meet the overarching design principles.*

When to use this guide



How to use this Guide



How to use this Guide

Application of Design Guide

The Multi-Unit Residential Design Guide applies to any multi-unit development within the **General Residential Zone**. While intended for multi-unit development, many of these guidelines are relevant for all residential development and can be used as general guidance.

These guidelines only refer to the site and site context. For design advice relating to the interior function of the building, further design advice can be found in the Ministry for the Environment's *National Medium Density Design Guide*.

Design Principles

Design Principles

The way we design buildings to respond to the surrounding context influences the way we experience our urban environments, both on-site and at a wider scale. How a building looks is subjective, good design is about successfully integrating new buildings into the existing environment, to help transition into the planned environment. It also provides functional and comfortable living environments. The following principles have been developed to promote high quality design that contributes to the existing and future urban residential environment of the Wairarapa. These principles describe the design outcomes that are sought to be achieved by the design guidelines.

Integrate and connect new housing with public realm and surroundings

Provide appropriate built form and design that assists transition from a low density environment to a medium density one as residential development increases

All new development is designed to contribute positively to the amenity, visual quality and vibrancy of the streetscape

Allow for increased density while providing an appropriate level of privacy and enjoyment of private residential spaces

Dwellings are designed to enable a range of people to access, live in and enjoy them, regardless of any disability or stage in life.

New development responds to the unique characteristics of the surrounding natural and built environment

Where applicable, contribute to or respond to the area's character and heritage values

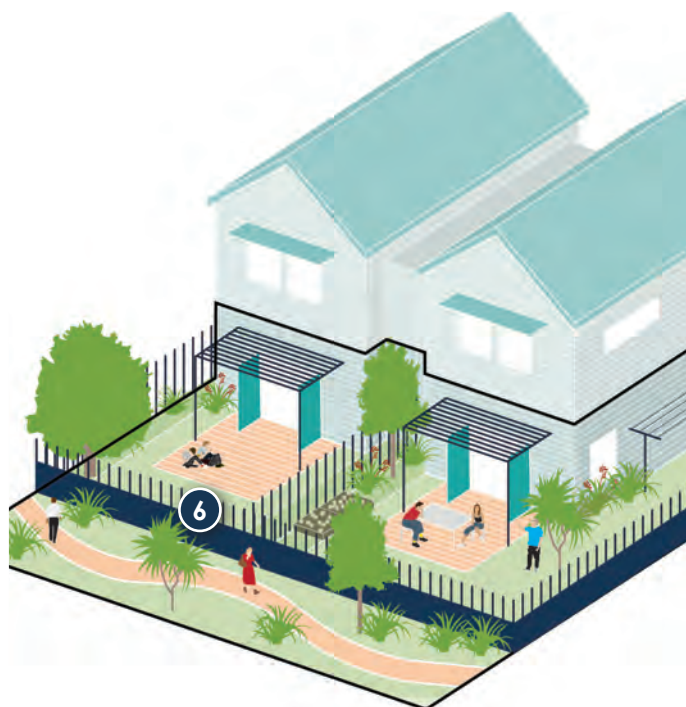
Site Layout

Siting and street frontage

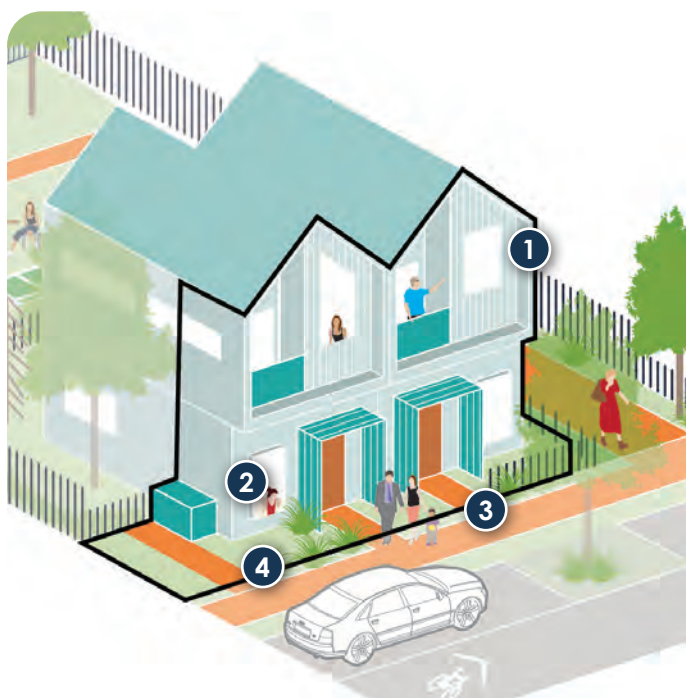
The configuration of a development on a site and its relation to adjoining public space is an important consideration to ensure good amenity and reduce overshadowing and privacy effects on adjoining sites. Having a defined front and back, as well as a clear delineation between public, semi-public and private spaces contributes to the legibility of the site and street.

The setback and frontage of a building also contribute to a socially active and safe environment, while the front yard provides additional amenity for residents and a setting for the dwelling.

- 1 Design buildings so that the front of the dwelling(s) is facing the street or public space.
- 2 Configure dwellings so that kitchen, living or dining ~~there are habitable~~ spaces are located at the front of the building, with windows or balconies overlooking the street or public space.



- 3 Design entrances (and letter boxes) to be clear and direct from the street to the front door to help visitors understand where to go and enhance community safety.
- 4 Use low planting or visually-open fencing within the front yard. This creates an important buffer between the street or accessway and the private home that can enhance the safety and comfort of residents.
- 5 Where rear units are located towards the back of the site and therefore do not front a street or public space, the same principles apply as above, however to the accessway rather than the street.
- 6 Where a primary outdoor living space fronts a street or public space, a taller fence may be appropriate. Design this fence to be at least 50% visually permeable.



Access and movement

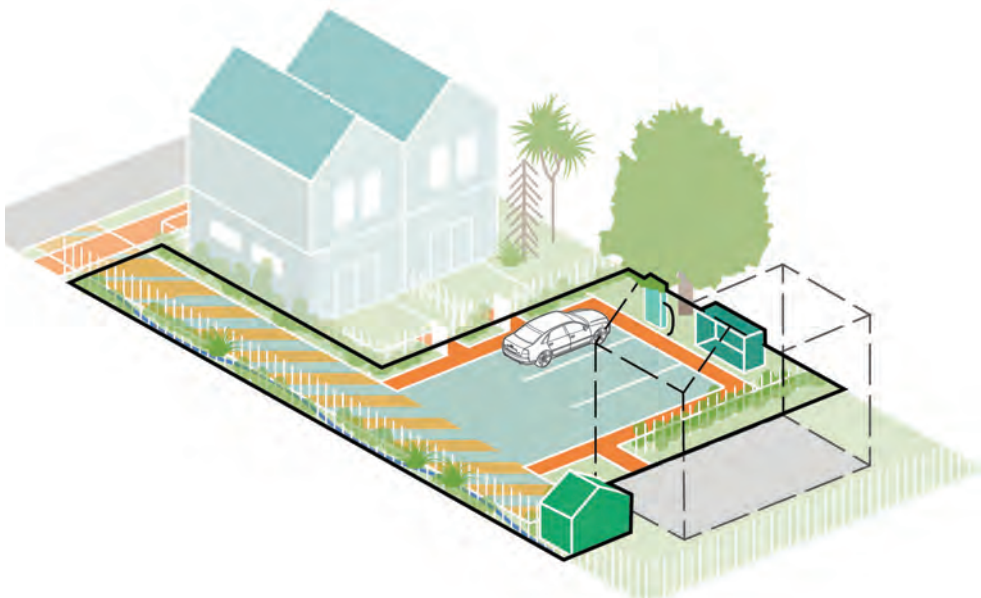
The location, type and design of pedestrian and vehicle access can have a significant bearing on the streetscape, site layout and building design.

Circulation networks should be legible and provide a safe environment for pedestrians and cyclists.

Garages should be sensitively integrated into any development as they can have a significant impact on its overall layout and design as well as on the associated streetscape.



- 7 Minimise the number of additional vehicle crossings provided for any new development.
- 8 Use landscape treatment to screen and provide visual breaks in large communal parking areas.
- 9 Design garages and carports to be set back behind from the front façade of the dwelling(s) to minimise visual dominance and increase visibility of main pedestrian entries.
- 10 For multi-unit developments, consider a common location for car parking. This enables the site to be used for efficiently, and can reduce the amount of hardstand.
- 11 Differentiate pedestrian access from vehicle access through variation in surface treatment or texture. Preferably, pedestrian and vehicle access should also be separated by a buffer such as vegetation or a raised surface.
- 12 Locate communal parking deep into the site off the street, and screened by buildings and landscape features.
- 13 Consider providing pedestrian connections through the site to nearby public transport stops.



Outdoor living space

Outdoor living space is an important consideration when designing intensive residential developments and should be considered early on in the design process to ensure it is an integral part of the development.

Higher densities often result in a reduction in the amount of outdoor space available to residents, influencing the sense of privacy and level of individual amenity experienced. Outdoor space allows residents to be able to enjoy a range of activities, express personal and creative identity around their property and, in the case of communal open space, provide for casual social interactions.

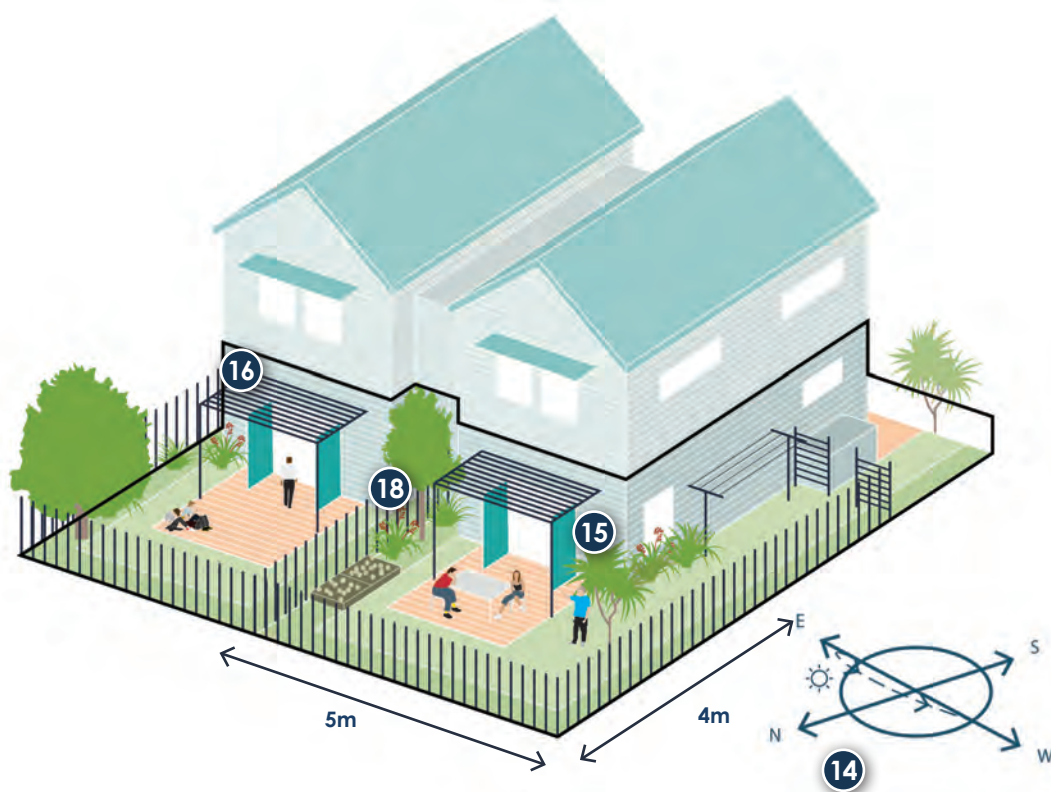
14
13 Locate primary outdoor living spaces so that they are oriented to the north, east or west for maximum sunlight.

15
14 Design primary outdoor living spaces to have direct access off well-used internal living spaces (such as lounge or dining areas).

16
15 Consider the need to provide shade in the summer months, either through vegetation such as deciduous trees, or through methods that integrate with the building, such as eaves, verandas or balconies

17
16 Provide functional outdoor living space by carefully considering the dimensions of the space. Wide or square spaces (i.e. ones that allow for the placement of outdoor furniture) are more efficient than long and narrow spaces.

18
17 Provide screening and landscaping to increase privacy for residents, and reduce overlooking into neighbouring properties.



Storage, waste and service areas

Integrating storage, waste and service areas into the overall site design can have a beneficial effect on the amenity and quality of a development. Considering how waste is managed, stored and collected, as well as the location of storage, including bicycle storage, and service areas, helps to minimise visible clutter that could create lower standards of amenity and poorer impressions of an area.

19 External storage (including for bicycles, recreational or maintenance equipment) should be convenient, secure, and integrated as part of the [site building](#) design.

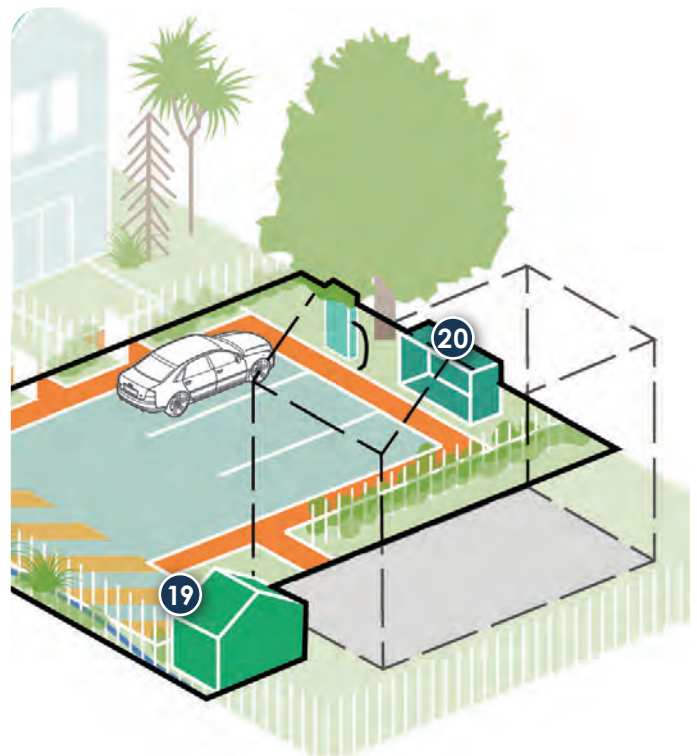
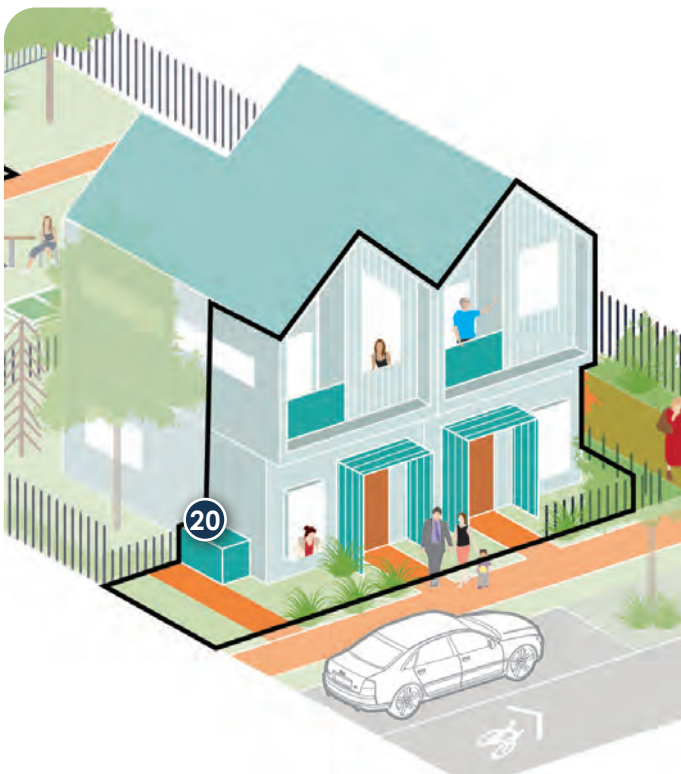
20 Where developments cannot locate storage or service areas in the side or backyard, minimise the visual impacts of these by integrating them into the design of the dwelling and appropriately screening or landscaping these from the street.

21 Locate communal storage spaces so that they are accessible from common spaces.

22 Locate delivery and rubbish collection areas at the rear or side of the building and away from pedestrian environments and residential activities. This avoids potential health and safety hazards or nuisances for adjacent dwellings or outdoor living spaces.

23 Waste areas should be able to accommodate all waste bins and have a clear connection to the collection area.

24 Locate storage and service areas away from the street, other public spaces and commonly used communal areas. These are generally best located in the side or backyard, and obscured from public view.



Built Form and Appearance

Building mass and height

Building height contributes to achieving more intensive residential development as it can enable more effective utilisation of a site while maintaining a low footprint. A visually attractive design can help to mitigate any potential adverse effects arising as a result of building mass and height.

In the Wairarapa region a pattern of single dwellings on individual sites predominate. In light of the increased level of intensification anticipated by the District Plan it is important that the layout and form of any new, larger scale development considers its context and its relationship with the surrounding environment.

25 Design building mass and height to create visual interest, minimise physical dominance, and minimise potential shading or privacy effects on neighbouring sites.

26
25 If a mix of building heights are provided on site, consider locating the tallest building elements on the street. Benefits include more eyes on the street and increased privacy for residents on site.

27
26 To minimise the effects of physical dominance, consider: breaking the form of the building using variation in facade treatment. Examples include:

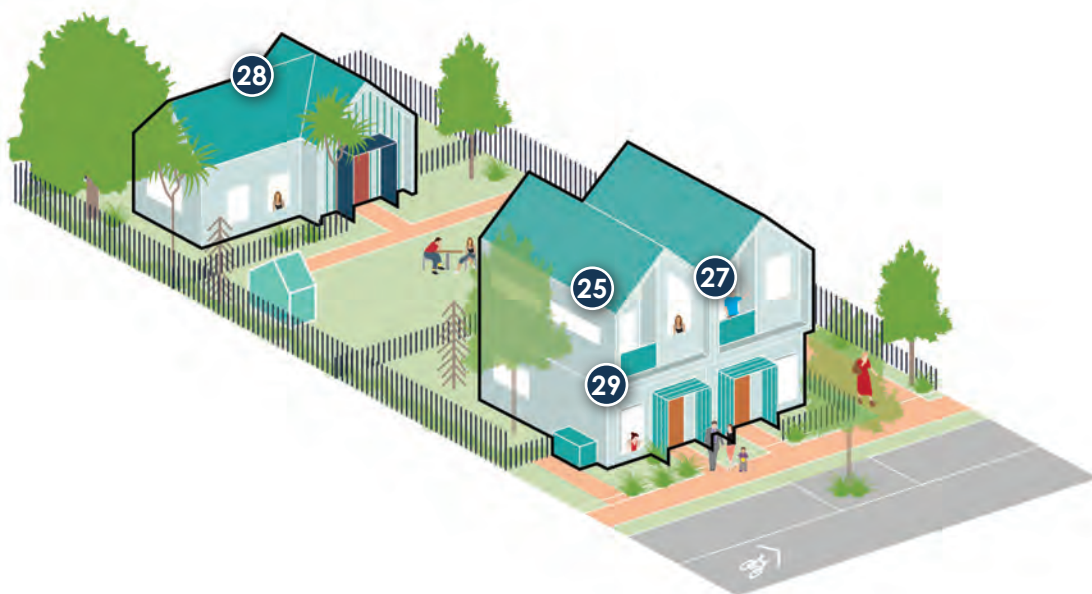
- a. *stepping the upper stories back from the street;*
- b. *introducing variations in facade treatment (for example, through balconies, shading devices or porches);*
- c. *create visual interest through modulation*

28
27 Reduce the effects of building mass by introducing variation into the roof line.

29
28 Break up walls through well composed building elements that provide visual relief and interest, while serving important functions. For instance, porches, balconies, and screens can offer weather protection, sun shading, help identify front doors, provide private open space, enhance community safety, and protect privacy.

30
29 Avoid long, linear, blank walls without doors, windows or associated design features.

31
30 Varying forms, features and materials is not just limited to buildings. This could apply to other larger-scale features, such as fences, storage sheds and bin storage.



Built Form and Appearance

Materials

Building design and use of materials make an important contribution to the effective integration of higher density residential development into the street environment.

The main factors that influence the appearance of a building are scale, modulation and the articulation of its form and façade. The choice of materials used can also affect the appearance of a development, how well it performs and endures over time and its ongoing sustainability and resilience.

32 Consider increasing the visual prominence of buildings on corner sites through the use of different materials, colours or roofline.

33 Where possible, use robust materials that are easy to maintain and retain their long term appearance. This is particularly important in areas that are prone to increased wear such as communal spaces.

34 Where possible, use sympathetic or complementary colours and materials, including those that are locally sourced.

Entrances

The entrance to a building makes an important contribution to the way a building is experienced.

Balconies and entrances provide visual interest by breaking up a façade; they also add a human scale to intensive residential developments and can positively contribute to the overall appearance of a building when designed well.

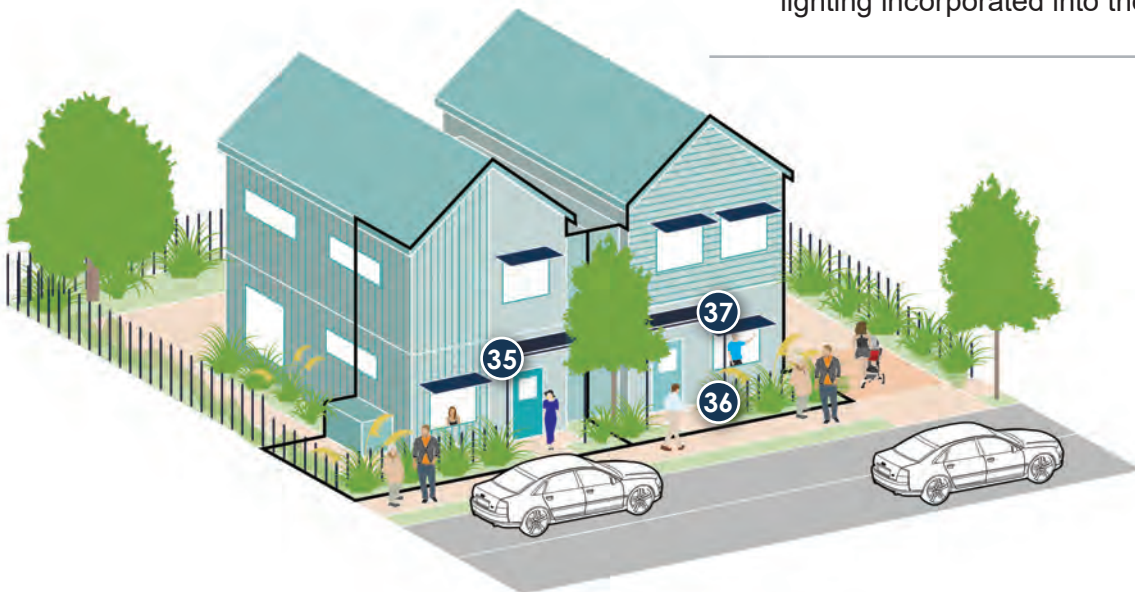
Visible activity on the ground floor and street facing façade enhances public safety through passive surveillance and creates opportunities for social interaction.

Balconies also offer a good way of providing outdoor living space on a street facing façade and contribute to reducing the effects of building mass.

35 Consider subtle variation to entrances (e.g. colour, design), or enable occupants to personalise in order to differentiate units and increase legibility.

36 ~~Ensure entrances (as well as address and letterbox) are clearly defined and visible from the street to enable them to be easily located and accessed.~~

36 Design entrances to provide weather shelter (e.g. canopies or overhangs) with suitable lighting incorporated into the design.



Amenity and Sustainability

Landscape treatment and design

Landscape design can greatly improve the amenity, experience and integration of intensive residential development into a street or neighbourhood. The implementation of carefully considered landscape design can help to enhance different design elements, such as the screening or softening of hardstanding areas (driveways, parking, services areas), mitigate the effects of building bulk and offer amenity and environmental benefits.

Coordinating landscaping and water management early in the building and site design process can increase opportunities to more effectively integrate landscape treatment into outdoor living space, traffic circulation routes, service locations and the interface between the public and private domain.

37 Where possible, retain [indigenous and](#) mature and healthy vegetation [and trees](#) and integrate these into the site development.

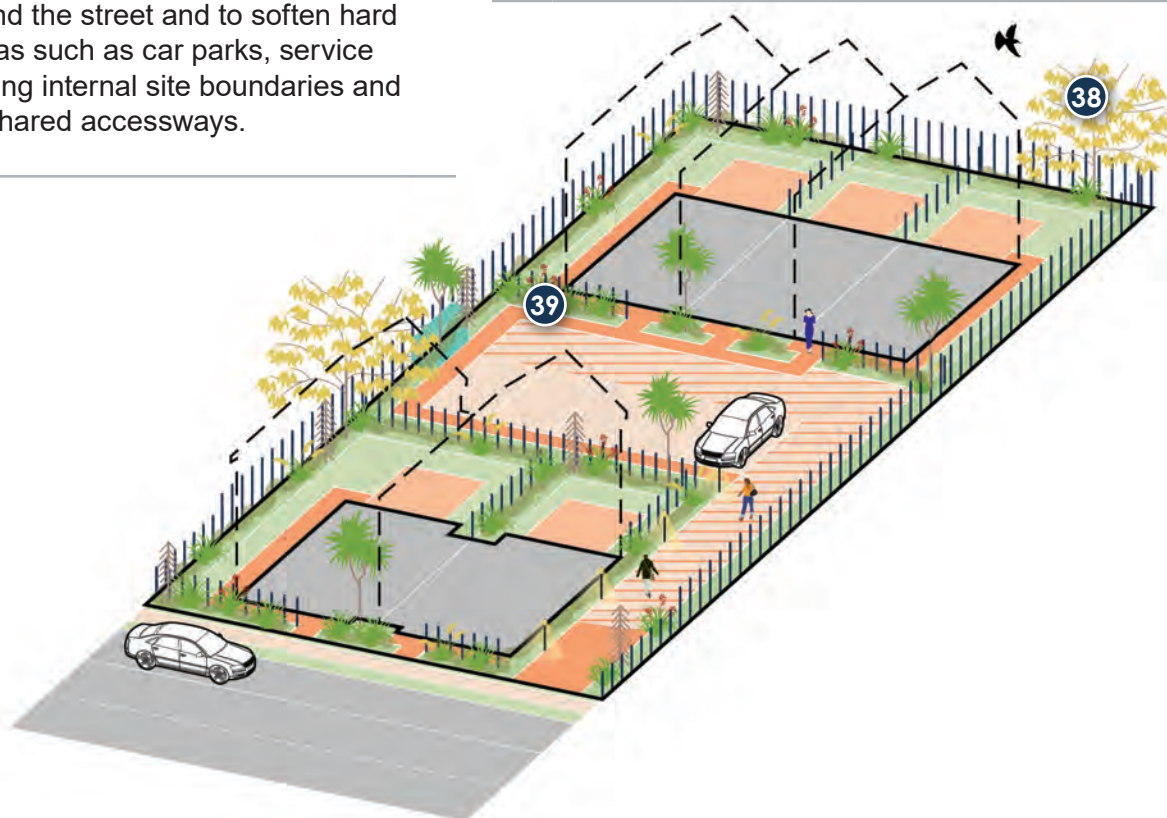
38 Use planting to improve the outlook from dwellings and the street and to soften hard surface areas such as car parks, service areas or along internal site boundaries and driveways/shared accessways.

39 Where possible, maximise opportunities for robust landscape treatment and permeable surfaces in footpaths, roofs, courtyards, and rear yards. Consider using hedging or climbing plants where space is constrained.

40 Where possible, choose plants that are [indigenous and](#) appropriate to the climatic conditions and character of the area; planting species that require low maintenance and attract local bird life is also encouraged.

41 Where possible, use hard landscape elements such as low walls, kerbs or raised beds within the design as these can provide protection to plants and, where integrated into the site design, can add to the visual amenity of outdoor spaces.

42 Integrate permeable stormwater surfaces, [rain gardens, tree pits](#) and other low impact urban design initiatives into the overall design [to manage potential adverse effects on stormwater quality and quantity](#). The use of permeable paving in locations such as parking spaces/areas is encouraged.



Sunlight, daylight and energy efficiency

Adequate access to natural light is an important consideration in designing the layout of a site, particularly any opportunities to capitalise on a northern aspect. It is also a key consideration in siting and designing the internal layout of associated dwellings as it not only provides a warm and pleasant internal living environment but helps to increase energy efficiency.

An energy efficient home promotes sustainable living, limits the impact on the environment by relying on sustainable energy sources and can produce long term cost savings to residents.

Integrating efficient passive design into a building contributes to a more comfortable indoor environment by increasing the thermal stability, reducing indoor condensation and promoting natural ventilation; it also helps reduce energy usage.

Energy efficiency should be considered during all phases of development, from planning and design (e.g. internal layout and building systems) through to construction (e.g. minimising waste) and long term maintenance (e.g. using durable materials).

43 Orient the house and key rooms for sunlight and warmth to improve energy efficiency. This is best achieved by aligning longer façades to maximise the benefits of the sun, placing main living areas on the north or west side, and providing generous ceiling heights.

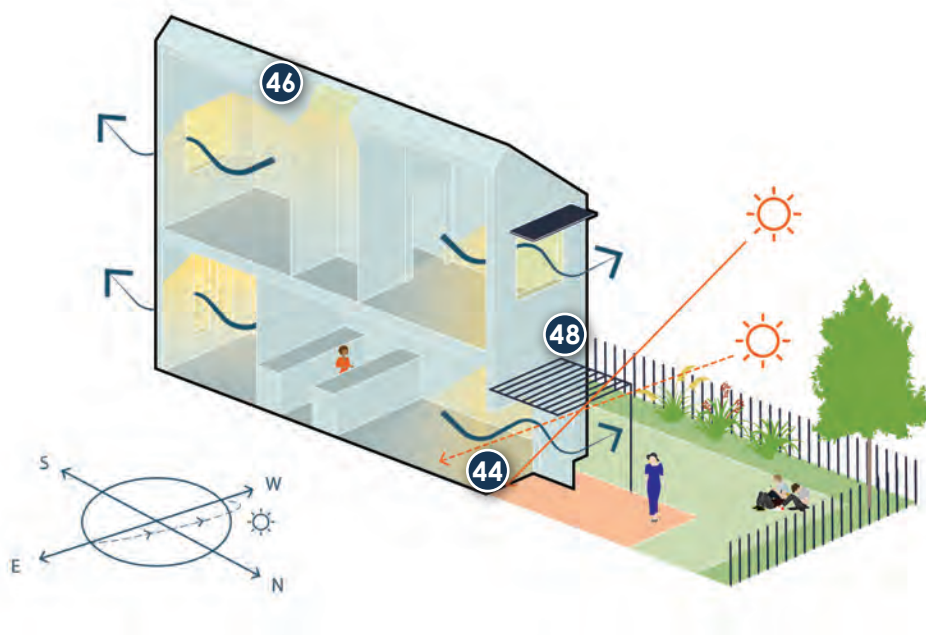
44 If buildings are relatively deep and narrow, **consider using** larger floor to ceiling windows to allow for deeper sunlight penetration.

45 Consider the use of skylights, atriums or light wells to provide sunlight access to internal spaces with no external walls.

46 In order to maintain sunlight access, high level windows or louvres should be considered where privacy is an issue.

47 Consider shading devices, such as deeper eaves, louvres, and balconies, help maintain indoor comfort in the summer, while still allowing sunlight to heat rooms in the winter.

48 **Where appropriate,** limit the total window surface on south facing façades to prevent heat loss in winter.



Amenity and Sustainability

Privacy and safety

The orientation of dwellings and their interface with public and communal open spaces are important safety and privacy considerations. In designing for safety and privacy, adequate account needs to be taken of the relationship of new and adjoining buildings to ensure a successful balance is achieved between protecting private amenity and providing opportunities for passive surveillance.

49 Orientate ~~houses or their~~ outlook to the street and internal spaces within the development. This is a good way to redirect or extend views, manage privacy and provide access to more sunlight.

50 Consider staggering window locations in buildings that face each other, to limit direct views into adjacent habitable rooms.

51 Clearly delineate boundaries between private, communal and public spaces as this increases user perceptions of safety and helps to identify intruders.

52 Strategically locate communal open space to encourage passive surveillance within the development and of adjoining [public realm sites](#).

53 Design external lighting to enhance wayfinding and community safety.

54 Where outdoor living space is provided in the form of a balcony, locate and design balconies to overlook streets, public open spaces, or communal outdoor living spaces.



Heritage

Introduction

Intent

This guideline applies to the labelled heritage precincts in Wairarapa. These are

- **Masters Crescent Heritage Precinct**
- **Victoria Street Heritage Precinct**
- **Greytown Heritage Precinct** (*areas zoned for residential purposes only*)

The aim of the guideline is to provide advice for those wishing to undertake additions, alterations, or major maintenance projects to existing buildings or new developments within these precinct.

Getting Started

Before working on any design or building project, gather what information you can about the original building (materials, type, style, siting) to guide the character of alterations and additions. Any work to your property beyond minor maintenance, will require resource consent from the Council, however there is no charge for this. Council can also provide one hour of free consultation with a conservation architect and help with some of the maintenance costs (\$50/year is put aside for each house).

For more than minor alterations, it is advisable to consult an architect with the skills and experience of working with older buildings. Consider the character and form of adjacent buildings and the effect that the proposed building work will have on them.

Masters Crescent Heritage Precinct

This guideline applies to the heritage precinct of Masters Crescent in Masterton. The aim of the guideline is to provide advice for those wishing to undertake additions, alterations, or major maintenance projects to existing buildings or new developments within this precinct.

The value of heritage precincts

The heritage precinct of Masters Crescent in Masterton is valued as a significant, intact example of the first Labour Government's innovative model state housing programme of the 1940s. The state house is a valued and iconic feature of the New Zealand landscape and an important element of our national identity. Built from the best materials of the day and designed by architects, state houses embody simple and robust design. The overall layout and design of the area takes its cue from the garden city movement of the early twentieth century. The garden city ideals are expressed in the fenceless front gardens and the sense of open space. The maintenance and restoration of heritage houses, as well as alterations/new developments in this area, should be carried out in ways consistent with the uniqueness and long-term value of the area. These guidelines are designed to protect the unique qualities of the area without stifling people's desire to make their own place.

Housing Types

The house designs of Masters Crescent are derived from popular architectural styles of the times.

English Domestic Revival

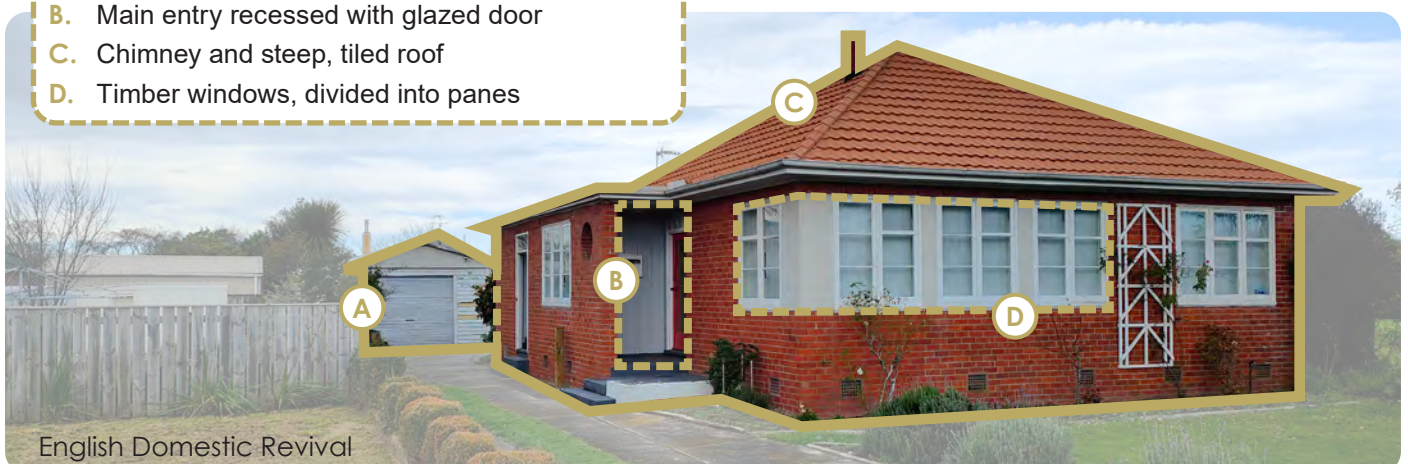
The majority of the houses are designed in this style. This style developed from the farmhouses and cottages of rural England with contributions from the Arts and Crafts Movement.

Key Elements of English Domestic Revival

- asymmetrical
- steep pitched gable or hipped tiled roofs
- detached and semi-detached house type
- painted weatherboard, brick or cement render
- use of 'lean-to' additions at side or rear
- main entry at the front or side of house
- entry doors glazed
- windows are timber and divided into panes
- chimneys
- plastered foundation walls (plinth)

Design Elements

- A. Garage set back from street
- B. Main entry recessed with glazed door
- C. Chimney and steep, tiled roof
- D. Timber windows, divided into panes



English Domestic Revival

Masters Crescent Heritage Precinct

Moderne Style

There are some examples of the Moderne Style. The Moderne style originates from the Modern Movement in Europe and was sleek and streamlined and characterised by rounded corners, horizontal lines, parapet walls concealing flat roofs and smooth wall surfaces.

Key Elements of Moderne Style

- asymmetrical
- flat roof behind parapet wall
- face brick or plastered external walls
- use of 'add on' forms, which reduce in height towards the rear of the section
- main entry at the front or side of house and located in a recessed porch
- entry doors glazed
- windows are timber and divided into panes
- some windows wrap around external corners
- some windows are circular
- horizontal banding
- plastered foundation walls (plinth)
- chimneys

Alterations to Houses in the Precincts

Alterations to properties in the precinct should be in keeping with the existing character of the area.

Alterations Checklist

Alterations or additions to an existing property should consider the following:

Houses

- whether the addition is in keeping with the original style
- the impact that the addition will have on its surroundings
- extending to the rear of the house to minimise impact to the streetscape
- ensure that as much of the original facade is maintained with front alterations
- use materials and finishes that complement the existing house rather than alter it.
- avoid plastering on face brickwork

Garages and gardens

- avoid additions or garages at the front of the section so that the open aspect of the house to the street may be retained.
- garages or carports at the side of houses should be set behind the front wall of the house
- gardens should fit with the open feel of existing
- properties and high front fences should be avoided.



New Houses in the Precinct

In the Masters Crescent area each of the existing houses contributes to the overall heritage values of the area. A new house should not attempt to replicate the existing houses in Masters Crescent but should respond and be sympathetic to its older neighbours.

New houses should fit the existing rhythm of street setbacks and enclosure. Existing setbacks from the road and side boundaries as well as orientation should be maintained. High front boundary walls or fences should be avoided.

Garages should be integrated with houses and setback from the house front.

The size and scale of new houses should be similar to the existing houses. If a larger house is desired, it should be articulated to reduce its bulk with smaller forms towards the front of the site to fit the streetscape.

Trees and landscaping can help integrate a new house with its neighbours. Existing trees should be retained if possible.

Victoria Street Heritage Precinct

This guideline applies to the heritage precinct of Victoria Street in Masterton. The aim of the guideline is to provide advice for those wishing to undertake additions, alterations, or major maintenance projects to existing buildings or new developments within this precinct.

The value of heritage precincts

The heritage precinct of Victoria Street in Masterton is valued for its high quality housing from a cross section of eras, representative of early and developing Masterton. The subdivision of James Wrigley's farm to create Victoria and Albert Streets in 1878 was the first major subdivision of suburban land outside the town, which was laid out in 1954. Victoria Street was considered a very desirable address in the period 1880-1910 - the quality of many of the houses reflects this. This precinct has value for its link to Masterton's history, as well as for its distinct, high quality character, adding to Masterton's sense of place.

The maintenance and restoration of heritage buildings, as well as alterations/new developments should be sympathetic to this heritage character so that they add to the value of the streetscape and preserve this important part of Masterton's heritage.

Streetscape character

The character of streetscape comes from a combination of elements: a predominance of original cottages and villas, a consistency of one or two storey houses with common setbacks from the street edge, and a limited range of materials, detailing and colours reflecting the times in which the houses were built.

Housing types

The house designs of Victoria Street were based on overseas domestic building styles and were modified to suit local conditions such as climate, and the supply and cost of building materials.

Design Elements

- A. Corrugated iron roof
- B. Front verandah
- C. Low picket front fence
- D. Projecting room with bay window

Cottages

Early dwellings on Victoria Street (1879-1881) were workers' houses or small cottages. Cottages had two or four small rooms under a hip or gable roof with a lean-to kitchen at the rear.

Key Elements of Victorian Cottages

- symmetry
- central corridor with one room on each side
- front verandah
- painted timber walls and corrugated iron roof
- a low stud (wall) height of 2.4m (8ft)
- house close to, or right on street boundary
- low picket front fence

Villas

Villas were larger, more complex houses than cottages. They gradually evolved to become more decorative in late Victorian and Edwardian eras. The most notable examples of villas in Victoria Street were built by the Byford brothers, who were renowned for their fine carpentry and craftsmanship.

Key Elements of Villas

- projecting front room(s) with bay windows
- stud height of up to 3.6m (12ft)
- greater complexity to roof forms than cottages
- decorative timber work



Victoria Street Heritage Precinct

Bungalows

Victoria Street contains some examples of the 'Arts and Crafts' bungalow style built in the 1920s. These houses have low pitched, sweeping roofs with deep verandah porches and large front gardens.

House additions and alterations

Alterations or additions to an existing house should consider the following:

- whether the addition is in keeping with the type, style, materials, and details of the original.
- minimising changes to the original house.
- changes at the front of the house have perhaps
- the greatest potential to adversely affect the character of the precinct, therefore consider
- extending to the rear of the house.
- ensure that as much of the original facade is maintained with front alterations

Materials and Details

The materials and details of houses reflects the era in which they were built. Consider the following:

- use materials, features and forms that are appropriate for the age and style of the house. (This should be considered even for minor repairs and maintenance to the exterior of the house).
- avoid mixing features from different periods.
- avoid using modern materials such as aluminium windows and doors, which are incompatible with the original style.



Parking

As a general rule, try to 'hide' parking or make it as unobtrusive as possible to minimise effects to the streetscape. Consider the following:

- new garages or carports should be located to avoid impact on the streetscape (preferably at side or rear of the house). If located at the side of houses, place behind the front wall of the house.
- garages, carports and accessory buildings should use materials and colours that match the house.
- when on-site parking is required and it is not possible to fit this at the side or rear, an open parking space is preferable to a structure in front of the house. Planting and paving can be used to 'soften' the appearance and make the most of limited space.

Fences and Planting

Traditionally front gardens were designed for public display with low fences and decorative planting.

Consider the following:

- choose front fences that match the era of the house
- front fences should be low and no more than 1m high. Side fences (behind the rear of the house) and rear fences may be higher.
- gates for driveways and paths from the street should maintain the fence line.
- planting should be designed with consideration to enhancing the streetscape.
- decorative planting will generally suit in the front yard.



Design Elements

- A. Deep verandah porch
- B. Low pitch roof

Greytown Heritage Precinct

This Design Guide applies to properties in the residential areas of Main Street Greytown that extend north and south of the town centre. In these residential areas there are nearly 300 residential properties and some public or semi-public facilities. In addition to private properties on each side of Main Street, the road itself, plus footpaths and services, are important to the overall character and experience of Greytown.

The purpose of the Guide is to provide assistance to property owners to maintain and develop the distinctive heritage character of Greytown's Main Street.

The value of heritage precincts

The town centre is characterised by a clearly defined concentration of closely spaced heritage buildings at the street edge, encouraging public access and a lively range of commercial and retail activity.

In contrast, the adjacent residential properties are characterised, at their best, by mature gardens that provide private settings for relatively modest detached timber dwellings that are only partly seen from the street through a screen of foliage. Main Street is distinguished from State Highway 2 by the existence of wide asphaltic footpaths both sides of the road, roadside parking spaces, and (in the town centre) new street lights that resemble gas-fired lamps. In the remainder of the street there are the usual overhead cable services and underground piped services. Apart from some Photinia shrubs at the northern end of the residential extension, there are no street trees, although mature trees on some of the private properties overhang the footpath, giving an avenue-like impression in parts of Main Street.

Design Elements

- A. Simple roof form (gabled)
- B. Steep roof pitch
- C. Painted weatherboard

Main buildings (house)

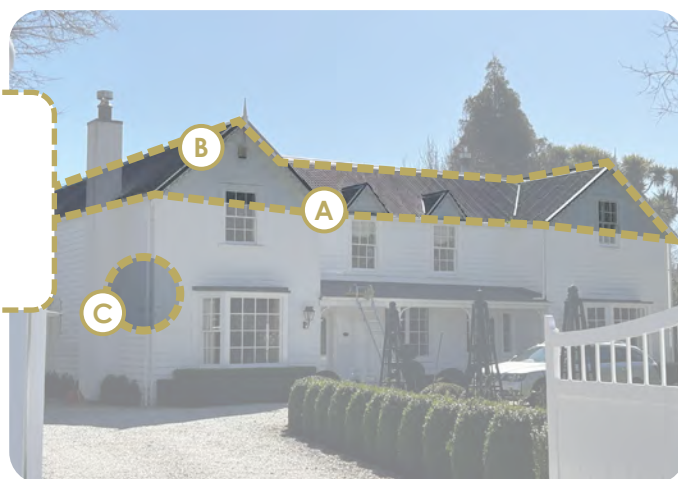
- Seen from the street, the main buildings have a simple plan and roof form – e.g. single-fronted with veranda or central porch and hip or gable roof, or double-fronted (bay villa type); roof pitch is steep, about 30 degrees or more with the roof surface facing the street and visible from the street.
- The main buildings are modest in size and overall proportions, e.g. single storied with a hip or gable roof, or single-storied with attic rooms and dormer windows.
- Elements and arrangement of elements in the design (roof, veranda, porch, windows, doors, symmetry, rhythm etc.) follow historic precedent, or are a harmonious contemporary adaptation of these elements, their composition and proportions.

Secondary buildings (garage, etc)

- Garages are separate from the main building, or is an inconspicuous lean-to carport at the side of the main building, or is out of view behind the main building.
- If seen from the street, the garage structures and door are inconspicuous, e.g. painted in a mid to dark tone and 'cool' hue so that it 'recedes' visually, and/or in shadow from nearby trees.

Building materials and colours

- Materials follow historic precedent (painted weatherboards, corrugated iron roof, timber windows brick chimney, etc.) or are modern materials that are in harmony with heritage craft tradition.
- Painted surfaces are in traditional colours characteristic of older houses in the street.



Greytown Heritage Precinct

Driveway and parking area

- Driveway surface is inconspicuous and modest in scale, e.g. drive is narrow (one vehicle width) dark surfaced (asphalt or gravel or other surface/ material that tends to visually merge with nearby ground and absorbs light).
- Driveway does not draw attention to the garage or garage door(s).
- On-site parking and turning areas are inconspicuous or not visible from the street.
- Footpath crossing is single lane (less than 3m), asphalt to match the footpath.



Design Elements

- A. Simple roof form (hipped)
- B. Front verandah
- C. Painted weatherboard
- D. Driveway is narrow and contains gravel surface
- E. Garage is separate

Garden trees

- Front and side garden areas contain mature trees that soften the profile of buildings and fencelines; trees frame entrance ways and driveways; trees place ancillary buildings and fences in shadow, reducing their visual impact
- Back garden areas have mature trees that appear above the roof outline when viewed from the street, forming a backdrop to the building
- Recently planted gardens have trees that will mature to have the positive attributes outlined above

Front and side boundaries

- Front fence is about a metre high, made of painted timber pickets or wire mesh, through and over which plants protrude, softening the outline and reducing the visual 'solidity' of the fence; colours follow colonial traditions, avoiding strong or primary hues.
- Front boundary is clearly defined by a combination of fencing and mature, well-maintained plants, creating a formal or semi-formal continuous edge between the street and private property, for the width of the property (except for driveway and/or front path); the overall impression is of a screen of planting, through and/or over which it is possible to catch glimpses of the front garden and building, e.g. roof, and front façade or front entry.
- Where properties feature unavoidable elements that are inconsistent with heritage design attributes: To the extent that properties have a building with negative attributes (see Table 1) the building is they are more or less densely screened with hedge-like boundary planting; plants are mostly evergreen species, providing year-round screening of the property.
- Where side boundaries are visible from the street, e.g. along driveways, there are mature trees and shrubs that disguise the fenceline and partly block views of neighbouring buildings.

Design Elements

- A. Front fence is about 1m high, made of painted pickets.







Wairarapa

Centres Design Guide

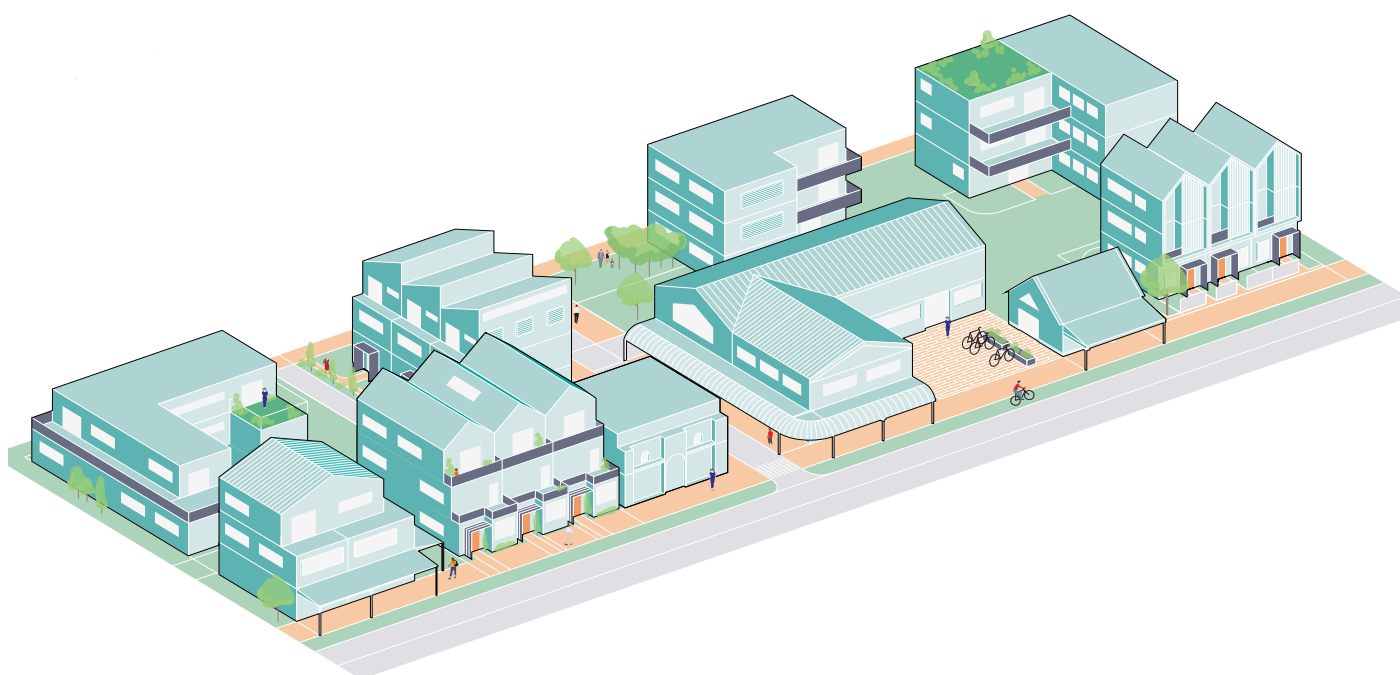
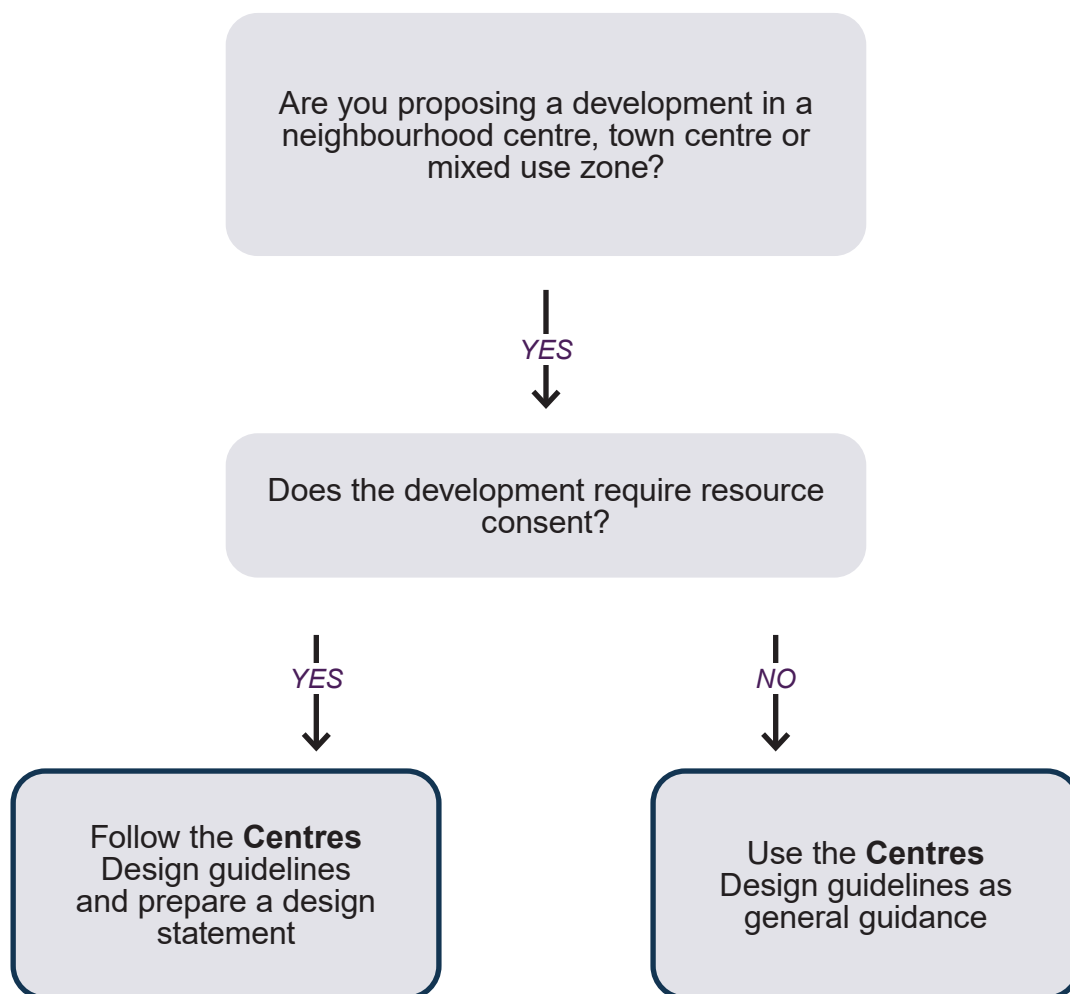


Te Kaunihera-ā-Rohe o Taratahi
CARTERTON
DISTRICT COUNCIL



SOUTH WAIRARAPA
DISTRICT COUNCIL
Kia Reretahi Tātau

When to use this guide



Design Principles

Design Principles

The way we design buildings to respond to the surrounding context influences the way we experience our urban environments, both on-site and at a wider scale. How a building looks is subjective, good design is about successfully integrating new buildings into the existing environment, to help transition into the planned environment. It also provides functional and comfortable living environments. The following principles have been developed to promote high quality design that contributes to the existing and future urban environment of the Wairarapa. These principles describe the design outcomes that are sought to be achieved by the design guidelines. They differ slightly between **M**asterton, **C**arterton and **S**outh Wairarapa as indicated by the letters.

Principles	Centres		
Integrate and connect with public realm and surroundings	M	C	S
Provide appropriate built form and design	M	C	S
New development in the <i>active street frontage</i> areas provide good visual connection between the building and the street and contribute to attractive, safe public spaces.	M	C	
All new development is designed to contribute positively to the amenity, visual quality and vibrancy of the Town Centre.	M	C	S
Create an accessible and safe environment for young and old, by contributing to a legible Town Centre zone and a clear hierarchy of street networks	M	C	S
Contribute to a playful environment by using and enhancing the friendly and quirky character of the Town's community		C	
Promote mixed-use development that contributes to a vibrant and appealing heart that is functional and active		C	
Contribute to the Town's characteristics that make it a great visitor destination			S
Contribute to the Town's character and heritage values			S
Combine the Town's heritage, art and culture with contemporary design	M	C	

About this Guide

Intent

This Centres Design Guide supports the Wairarapa Combined District Plan by providing guidance to integrate developments into the surrounding existing and planned context within the **Neighbourhood Centre**, **Town Centre** and **Mixed Use** zones. It promotes positive design outcomes for public space, commercial, mixed-use and residential developments in centres zones and backs these up with best-practice guidance and examples.

This Design Guide is structured into four sections:

- **Site Layout** covers the design elements that concern the siting of the development and how this relates to the surrounding context (open space, streets and buildings).
- **Built Form & Appearance** covers elements related to the shape of the building and its relationship to the surrounding environment both on and off-site.
- **Amenity, Landscape and Sustainability** covers how to integrate the building into the site to improve both the experience and function.
- **Signage and Verandahs** covers finer detailed design elements that are unique to the Wairarapa.

Each section provides **section heading** (sometimes accompanied by explanatory text) and numbered **guidelines** which help achieve these outcomes. Indicative **diagrams** and **photographs** provide supporting examples of the guidelines. **Advice notes** provide more detailed examples or explain the guideline further. This format is outlined on the following page.

Using this guide as part of a Resource Consent

The District Plan contains a number of objectives and policies that will be relevant in the context of higher density residential, commercial and mixed -use development. This design guide is intended to assist with the assessment of a proposal in meeting these objectives and policies where a consent is required. The design guide is also referred to as a Matter of Discretion within a number of District Plan rules.

General guidance

Where a proposal is a permitted activity, use of this guide is strongly encouraged to help inform the development to achieve best practice design outcomes.

Preparation of a Design Statement

It is expected that a Design Statement will be included within the **resource consent** application to explain how the proposal meets the principles and guidelines of the Design Guide. The Design Statement provides applicants with the opportunity to explain which guidelines are relevant to the proposal, and how they have been applied.

A Design Statement should include:

- A description of the proposal (site and context);
- An overarching statement that explains how the proposal meets the relevant design **principles**
- A description of how the proposal meets each relevant **guideline**;
- Where the proposal does not meet a **guideline**, a description of:
 - *the alternative approach taken;*
 - *why this is appropriate; and*
 - *how the alternative approach enables the proposal to meet the overarching design principles.*

How to use this Guide

Section heading

Explanatory text, explanatory text.

X Guideline, guideline

X Guideline, guideline

Advice note, advice note

Explanatory text provides further contextual information about the design matter being addressed under the **section heading**.

Numbered **guidelines** are individually presented in the table.

Advice notes provide additional context to or examples for the guideline. These are not prescriptive.

Diagrams or **photographs** provide visual advice notes. They illustrate the relevant design principles (identified by the relevant **guideline number** in the blue circle), rather than describe approved design solutions.

Captions provide further details about what the diagram or photo is displaying.

Special advice notes provide additional context and advice for specific areas.

Image caption

#

S

Heritage advice notes

South Wairarapa has strong heritage design elements in the town centres of Featherston, Martinborough and Greytown. Responding to design context in a heritage environment requires additional consideration. **Heritage advice notes** are provided alongside **guidelines**. The heritage advice note is relevant to South Wairarapa, as indicated by the coloured circle/s in the top right corner.

M

C

S

Centre specific advice notes

District Plan rules may require additional consideration in some areas. Which area the advice note is relevant to is indicated by the coloured circle/s in the top right corner.

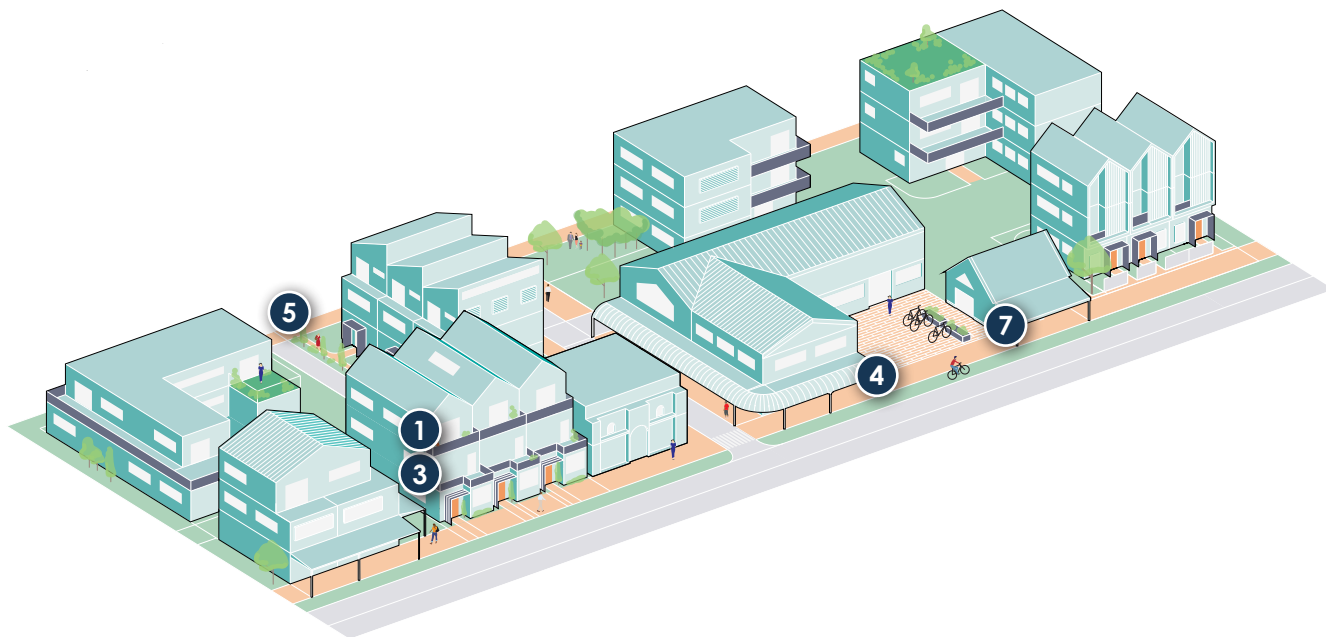
Application of Design Guide

The Centres Design Guide applies to any development within the **Neighbourhood Centre**, **Town Centre** and **Mixed Use** zones. As the guidelines are based on universal design principles, they will vary in relevance.

There are some differences between the design principles sought between **Masterton**, **Carterton** and **South Wairarapa**. Where the guidelines apply is indicated by an **M**, **C** or **S**. South Wairarapa is also subject to **heritage advice notes** (explained left).

These guidelines only refer to the site and site context. For design advice relating to the interior function of the building, further design advice can be found in the Ministry for the Environment's *National Medium Density Design Guide*.

Site Layout



Siting and street Frontage

The configuration of a building on a site and its relationship to the street and adjoining public space are important considerations to ensure good amenity and reduce overshadowing on public space and adjoining residential or open space zones. Having a defined front and back, as well as a clear delineation between public, semi-public and private spaces contributes to the legibility of the site and street.

An active frontage of a building also contributes to a socially active and safe environment and provides amenity for visitors and residents.



Active frontage advice note

While all new development should seek to provide a positive street interface through some active frontage, some areas in Masterton and Carterton are subject to an Active Frontage overlay. Glazing on the ground floor in these areas should contribute to street interest and activity and provide passive surveillance. This is the ideal place to locate actively occupied parts of a building including shop fronts, hospitality, appropriate offices so that they overlook the street.

- 1 Design the orientation and form of the building to ensure it fits within the block pattern and network of the Zone and contributes to the legibility, permeability and functionality of the wider block structure.
- 2 Design buildings to orientate towards, any street, footpath or communal space and contribute to the general continuity of frontage along the street
- 3 Ensure the appearance of the ground floor has a human-scale relationship with the street, pedestrian paths of other communal spaces. The façade should be visually interesting, using appropriate materials and detailing, preferably with a permeable appearance and active street edge.
- 4 Consider using setbacks to create open space, particularly adjacent to buildings that perform a civic purpose.

Connectivity, access and parking

Prioritising the pedestrian experience is vital to create safe neighbourhoods and healthy communities. New developments have the opportunity to create or enhance existing links. Integrating access and bicycle parking as a priority into the design is important for arrival experience, function, safety and accessibility.

- 5 Where possible, on large block sites, create pedestrian connections between street to create a finer grain block pattern encourages with comfortable and sheltered walking routes.
- 6 Design new mid-block connections to contribute to safe and comfortable pedestrian environments.

Consider:

- a. *Designing the frontages of mid-block laneways with entrances and display windows,*
- b. *Incorporating natural landscape elements,*
- c. *Using bollards, and;*
- d. *Incorporating hardscape elements such as bollards, seating and variation in paving treatment.*

- 7 Locate visitor bicycle parking at grade and close to building entrances and open space.
- 8 Locate and design new vehicle crossings to support pedestrian safety and priority on the footpath. Minimise additional crossings where possible.
- 9 Locate and design on-site car parking and loading areas so that they are not visually dominant elements at the street edge.

Where parking fronts the street, screen it in a manner that is integrated with the composition of the building elevation.

- 10 Use landscape treatment to screen and provide visual breaks in large communal parking areas

- 11 Design pedestrian access routes to be universally accessible to people of all ages and abilities.

- 12 Differentiate pedestrian access from vehicle access through variation in surface treatment or texture. Preferably, pedestrian and vehicle access should also be separated by a buffer such as vegetation or a raised surface.



Private and communal outdoor space

Private and communal outdoor space refers to the space provided for residents multi-unit dwellings or apartments. Where private outdoor space is limited or compromised, communal outdoor space can help to provide meaningful outdoor amenity for residents.

- 13 Locate primary outdoor living spaces so that they are oriented to the north, east or west for maximum sunlight. Consider design and placement of shading devices for the summer months.
- 14 Provide for functional outdoor living space by carefully considering the dimensions and location of the space.
Wide or square spaces (i.e. ones that allow for the placement of outdoor furniture) are more efficient than ones that are long and narrow.
- 15 Provide screening and landscaping to increase privacy for residents, and reduce overlooking into neighbouring properties.
- 16 Where communal outdoor living space is provided, design it
 - a. so that it is conveniently accessible to the residential units on site; and
 - b. to consider the number of residents it is intended to serve.*It should encourage opportunities for social interactions between users by incorporating seating, barbecue, sporting or play equipment into the design. If communal open space is provided for on the roof ensure that it is easily accessible by all residents, and has sufficient landscaping in the form of raised garden beds or green walls*
- 17 ~~Consider using screening for functional elements like heat pumps in private and communal outdoor living spaces.~~
Functional elements such as heat pumps and other building services should be visually unobtrusive or screened, especially in communal outdoor living spaces.

Public outdoor space

Public open space refers to space that is accessible for the general public. New developments in centres may need or wish to include public open space as part of their design. The success of public open spaces relies on integration into the design and wider context.

- 18 Where possible, design communal open spaces to be universally accessible to people of all ages and abilities.
- 19 Where possible, locate, ~~and~~ orient and design open space to:
 - maximise direct solar exposure during parts of the day when the space is anticipated to be mostly used; ~~and~~
 - ~~to~~-protect from the predominant wind direction; and
 - consider impact of frosts (using non-slip materials).
- 20 Consider providing shade ~~the need to provide~~ for summer sun shade, through methods that integrate with the design of the space such as tree cover, eaves, verandas or balconies.
- 21 Where relevant, use opportunities to reference local landmarks and distinctive features (e.g. historical and cultural references) that contribute to a sense of place and belonging.
- 22 Provide lighting in public spaces that are appropriate to be used or passed through at night.
- 23 Use robust materials that are easy to maintain and retain their long term appearance. This is particularly important in public spaces that are prone to increased wear.
- 24 Integrate new street furniture in a way that is sympathetic to the surrounding context

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Advice notes on public space adjacent to heritage buildings

New additions or alterations to public space should respect the location and features of existing heritage buildings and artefacts. When providing modern upgrades such as seating or bike racks, integrate them in a way that is accessible and functional to the use of the feature but is sympathetic to the surrounding context.



Planter boxes are spaced the same width as the balcony details. The tree is setback from the street-fronting details.

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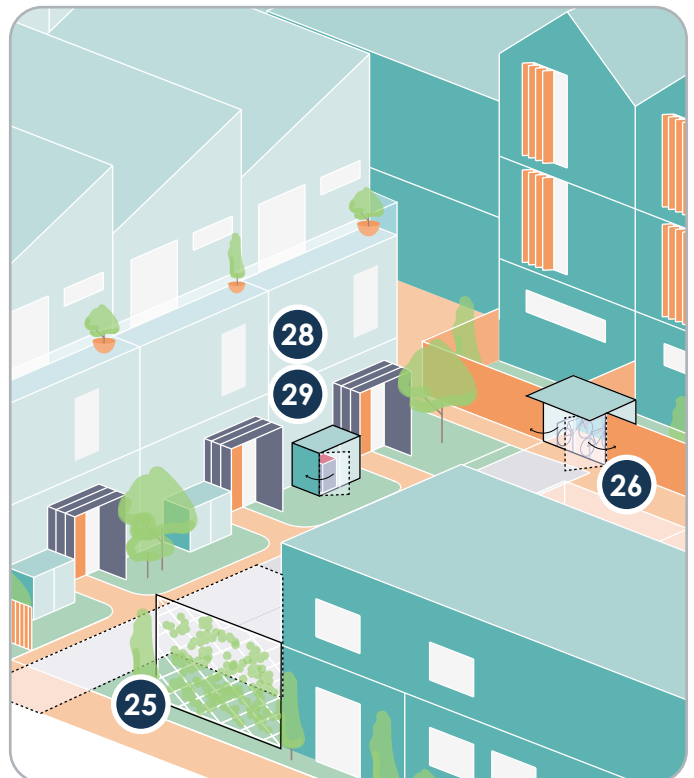
Storage, waste and service areas

Integrating necessary utility areas into the site is vital for a functioning site while retaining high amenity areas.

- 25** Ensure loading or service areas do not impede access to adjacent buildings or compromise the quality and continuity of the street edge.

This can be achieved by locating loading areas away from the street edge, preferably to the side or rear of buildings. Where it fronts the street, screen it in a manner that is integrated with the composition of the building elevation.

- 26** Long-term bicycle storage for residents is encouraged. Design this to be convenient, secure, and integrated as part of the building design.
- 27** Consider providing outdoor space for the storage of recreational or maintenance equipment, or other large household items.
- 28** Locate delivery and rubbish collection areas at the rear or side of the building and away from pedestrian environments and residential activities. This avoids potential health and safety hazards or nuisances for adjacent dwellings or outdoor living spaces.
- 29** Waste areas should be able to accommodate all waste bins and have a clear connection to the collection area.



Built Form and Appearance



Building mass and height

The height and massing of a development contributes to the built form and is one of the more significant factors in determining the impact a building will have on its surrounding environment.

30 To minimise the effects of physical dominance, consider: breaking the form of the building using variation in facade treatment. Examples include:

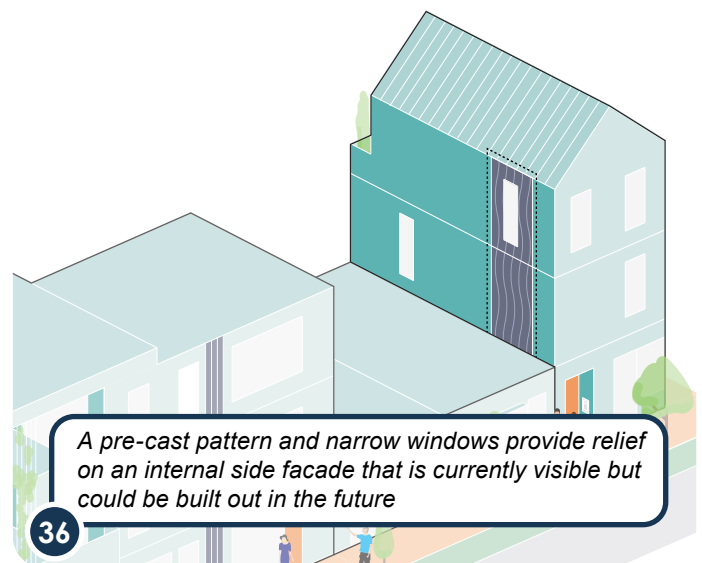
- a. stepping the upper stories back from the street;*
- b. introducing variations in facade treatment (for example, through balconies, shading devices or porches);*
- c. create visual interest through modulation*

31 Design the building to reinforce the shape of the street or public space it is fronting.

32 Avoid long, linear, blank walls without doors, windows or associated design features.

33 Consider increasing the visual prominence of buildings on corner sites through the use of different materials, colours or roofline where this would create a focal point that supports visual interest, legibility and wayfinding.

34 Provide variety and visual interest in the roof form of lower scale, large floor plate buildings to screen plant and service enclosures from public view.



Built Form and Appearance

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Advice notes on built form in heritage ~~precincts~~ areas

New additions or alterations to buildings on the street should respect the form and scale of existing heritage buildings. The vertical and horizontal modulations that were used on the facades of Victorian buildings help to establish their scale and create rhythm.

Verandahs, bands of windows and decorative cornices were used to create horizontal modulation, visually providing a base, middle and top to buildings. Horizontal modulation also gives expression to the floors within the buildings and helps to achieve a more human scale by visually breaking up the bulk of the external facade.

Some buildings also have vertical modulation, achieved through the use of columns, pilasters or verandah posts which together with the spacing of windows creates rhythm as an essentially unifying feature of the streetscape.

Materials and Facade articulation

The main factors that influence the appearance of a building are scale, modulation and the articulation of its form and facade. The building design and use of materials make an important contribution to the effective integration of higher density development into the street environment.

Manipulation of light and shadow in the facade can make the scale of a building and its associated components appear more vivid.

The choice of materials used can affect the appearance of a development and how it contributes to the public realm. It can also affect how it performs and endures over time as well as its ongoing sustainability and resilience.

A visually attractive design can help to mitigate any potential adverse effects resulting from building height and/or bulk and enhance the centres experience of visitors and residents alike.

35 The design of the building, as well as the choice of materials used, should recognise and reflect the level of intensification planned in the immediate and surrounding areas. In particular, consideration should be given to:

- a. *setback from the street / continuity of along the street edge;*
- b. *scale and bulk;*
- c. *roofline;*
- d. *placement of windows, entrances and other articulation in the facade;*
- e. *presence of distinct character or built heritage in the surrounding environment.*

36 Where possible, add design details to the rear and side facades of the building, particularly where there is a transition to a lower density environment.

37 Where possible, design buildings to accommodate a range of uses and to enable change in use over time (e.g. by providing generous ceiling heights).

38 Use design opportunities to create distinctive points of identity along the street front to enhance wayfinding and promote the uniqueness of the Wairarapa Centres

39 Design buildings on corner sites to positively address both visible street frontages.

This may be through architectural features that wrap the corner, windows of the same proportion on both facades and reduced setbacks on both boundaries.



Built Form and Appearance

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Advice notes on materials and details in heritage precincts areas

Much of the character of heritage precincts comes from the use of consistent techniques, materials, details and exterior finishes. New additions or developments should use colours and materials that pick up on the heritage buildings to complement the streetscape.

Entrances

The entrance to a building makes an important contribution to the way a building is experienced. Balconies and entrances provide visual interest by breaking up a façade; they also add a human scale to intensive developments and can positively contribute to the overall appearance of a building when designed well. Visible activity on the ground floor and street facing façade enhances public safety through passive surveillance and creates opportunities for social interaction.

- 40** Ensure entrances (including addresses and letterboxes for multi-unit dwellings) are clearly defined and visible from the street to enable them to be easily located and accessed.
- 41** Design residential entrances on the ground floor to have a distinct appearance that differentiates it from a commercial entrance.
- 42** Incorporate all-weather shelter (e.g. canopies or overhangs) with suitable lighting into the entrance design.



41 Residential entrances are distinct from commercial

Responding to context

The surrounding urban fabric will have a unique set of characteristics that contributes to the local context. Both existing and planned context play a role in shaping new development.

- 43** Design any new development to respond to unique characteristics in its surroundings where it will contribute to a cohesive streetscape.
- 44** Where possible, ensure that new buildings retain any visual links to unique and/or prominent features in the surrounding environment where practical.
- 45** If developing near a to a site or area of significance to Māori, consideration should be given to the degree to which the development overlooks or interacts with the site or area of significance, including:
 - a. minimising the obstruction of existing views between the site or
 - b. area of significance and surrounding maunga

Built Form and Appearance

Responding to context in heritage precincts areas

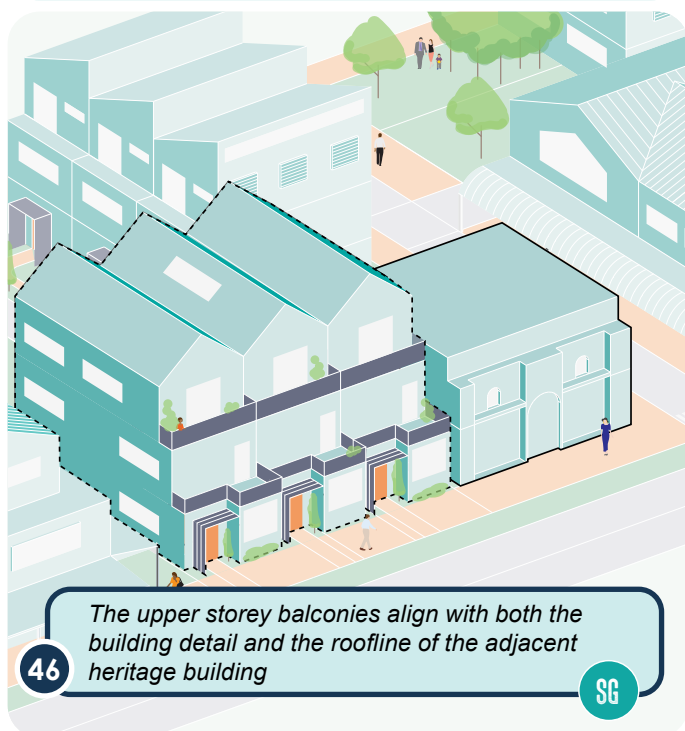
- 46** ~~Where relevant, e~~ Consider the relationship between new buildings or parts of buildings and adjacent heritage buildings.

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Advice notes on responding to context in heritage precincts areas

If developing adjacent to a heritage building, consideration should be given to:

- *The alignment and setback between buildings and adjacent heritage buildings;*
- *The relationship between the scale, built form, facade materiality and elevation alignments of new buildings or parts of buildings to the form, materiality and elevation alignments of adjacent heritage buildings;*
- *The design and arrangement of windows and openings in relation to those of adjacent heritage buildings.*



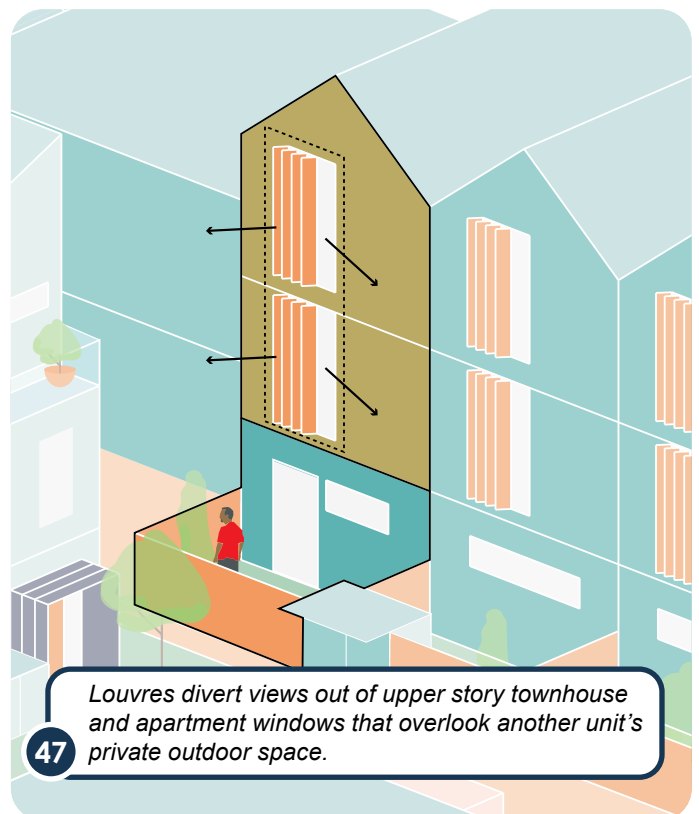
Privacy and safety

It is important to provide a balance between expected privacy for building occupants and users residents (on new and neighbouring developments) while providing opportunities for passive surveillance and safety.

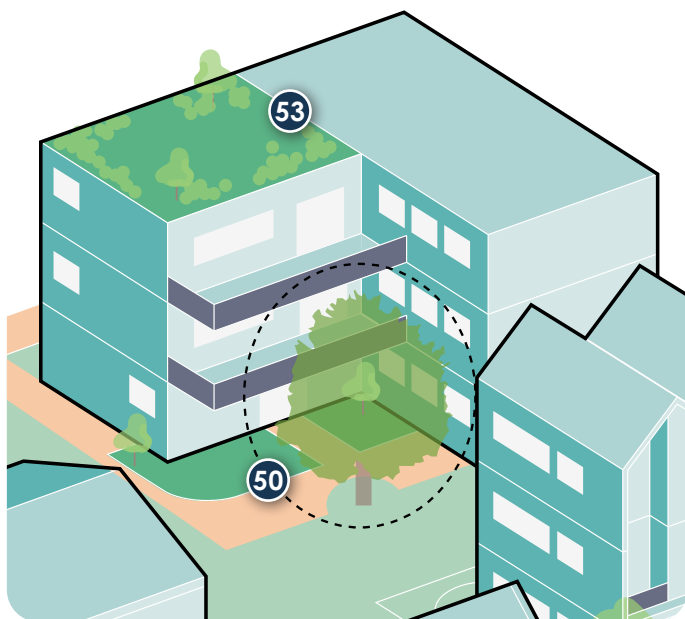
- 47** In order to maintain sunlight access, high level windows or louvres should be considered where privacy or overlooking is an issue.

This might include screening, obscured glazing or high-sill windows.

- 48** Where outdoor living space is provided in the form of a balcony, locate and design balconies to overlook streets, public open spaces, or communal outdoor living spaces.
- 49** Clearly delineate boundaries between private, communal and public spaces to provide reassurance of territorial ownership



Amenity, landscape and sustainability



Landscape treatment and design

Landscape design can greatly improve the amenity, experience and integration of more intensive forms of development into a street or neighbourhood. The implementation of carefully considered landscape design can help to enhance different design elements, such as the screening or softening of hardstanding areas (e.g. parking, services areas), mitigate the effects of building bulk and offer environmental benefits.

Coordinating landscaping and water management early in the building and site design process can increase opportunities to more effectively integrate landscape treatment into outdoor open space, traffic circulation routes, service locations and the interface between the public and private domain.

- 50 Where possible, retain existing [indigenous, mature and healthy vegetation](#) [and trees](#) integrate into the site development.
- 51 Choose plants that are appropriate to the climatic conditions, scale and character of the area; planting species that [are indigenous](#), require low maintenance and attract local bird life is also encouraged.

- 52 Where possible, provide and locate trees that will provide shade in summer and allow light in winter.

- 53 Maximise opportunities for robust landscape treatment and permeable surfaces in footpaths, roofs, courtyards, and rear yards. Consider using hedging or climbing plants where space is constrained.

- 54 Integrate permeable stormwater surfaces, [rain gardens, tree pits](#) and other low impact urban design initiatives into the overall design [to manage potential adverse effects on stormwater quality and quantity](#)

Sunlight, daylight and wind

Adequate access to natural light is an important consideration in designing the layout of a site, particularly any opportunities to capitalise on a northern aspect.

Significant differences in building heights can create wind effects that can compromise the safety and comfort of the public realm. It is also a key consideration in siting and designing the internal layout of associated dwellings as it not only provides a warm and pleasant internal living environment but helps to increase energy efficiency.

- 55 Design taller buildings to minimise wind impacts at the street levels or provide strategic shelter as an integrated part of the design
- 56 Consider the use of eaves or strategic screening to help limit sunlight penetration in summer, to prevent applicable indoor spaces (particularly those with a northern [and western](#) aspect) from overheating.
- 57 Where possible, design dwellings with habitable spaces facing north, west or east to maximise sunlight access.

Signage and Verandahs

Energy efficiency

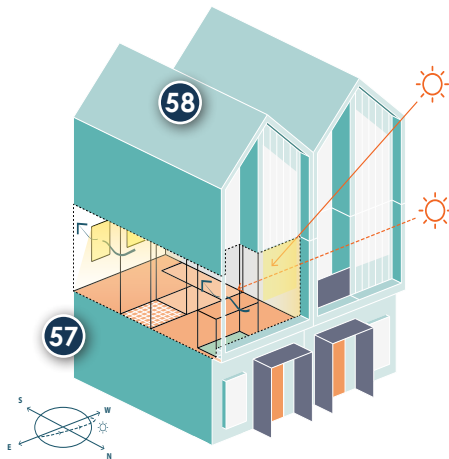
Integrating efficient passive design into a building contributes to a more comfortable indoor environment by increasing the thermal stability, reducing indoor condensation and promoting natural ventilation; it also helps reduce energy usage.

Energy efficiency should be considered during all phases of development, from planning and design (e.g. internal layout and building systems) through to construction (e.g. minimising waste) and long term maintenance (e.g. using durable materials).

- 58** Consider using solar exposure and local wind patterns to capitalise on natural forms of heating and window ventilation and reduce the need for mechanical systems.

- 59** Limit the total window surface on south facing façades to prevent heat loss in winter.

This is not relevant where the Active Frontage rule applies



General Signage

A clear hierarchy and appropriate scale of signage is informed by the relationship with other developments along the street or adjacent open space characteristics.

Signs incorporating simple backgrounds, borders and text are preferable to complex graphics. If brightly coloured signs are used, enclose them within a frame that complements the architectural features of the building.

- 60** Minimise visually disrupting, obscuring or dominating the architectural features on buildings, such as windows, doors, verandahs and columns.

- 61** Reduce potential for visual clutter by clustering signage together and containing it within the built form profile or skyline of the development.

A cohesive 'family' of signage with consistent colour, design, size and placement can help.

- 62** Minimise the illumination of signs.

If illumination is used, this should be static, avoiding uncharacteristic flashing or animated signs that could become a source of annoyance for residents or distract motorists.

- 63** Limit the prominence of signage and advertising so that it is a recessive element in the streetscape and visual clutter is minimised.

Signage and Verandahs

Signage in Heritage Precincts Areas

The size, location and colours of signs can detract from the character of the streetscape. The size and choice of lettering should also be sympathetic to the style and proportions of the frontage. Signs should keep in style with the building.

64 Where relevant, ensure signs do not obscure historic building details or important vistas.

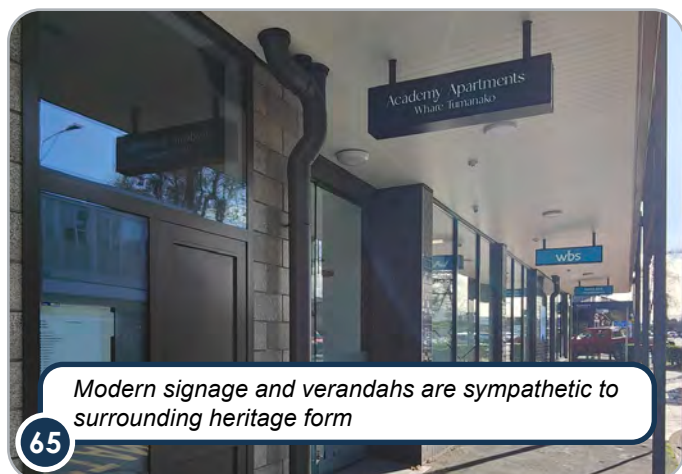
65 Integrate signage into the style of the building.

Consider: hand-painted by a signwriter, replicating old style signs, using traditional painted timber and individual metal letters.

Avoid: Plastic and reflective materials, illuminated, neon or flashing signs.



Signage is integrated into the heritage style of the building



Modern signage and verandahs are sympathetic to surrounding heritage form

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Advice notes on sign types:

Fascia signs

This is the traditional and most visible location for the main signage. As they are integral to the shop front, do not place large modern signs or backing boards over the original building. Painted lettering (by a signwriter) coloured to contrast with the fascia or cut-out free-standing letters fixed to the fascia are the two most appropriate signage types for Greytown fascias.

Window signs

Painting or etching business names or opening hours is a valuable location for signage. Avoid painting/etching into original glass of heritage building and avoid detracting from the building's style and quality.

Projecting Signage

Traditionally these have been rectangular timber signs hung from metal brackets. The sign should reflect the area's heritage, but modern options can be appropriate so long as they are integrated into the building's design.

Free Standing Signs

To avoid street clutter, use one sign per property of a suitable design. These are best suited for non-traditional units, such as those without a shop frontage.



Te Kaunihera-ā-Rohe o Taratahi
CARTERTON
DISTRICT COUNCIL



SOUTH WAIRARAPA
DISTRICT COUNCIL
Kia Reretahi Tātau