



MICHAEL WOOD & CO.

Chelsea Duplex PH

Positioning & Concepts

01.15.26



Objective

A home that entertains better and reads as finished, built on the Owners' existing furnishings and décor.

Priorities, in order

1. Entertaining – the home is seen at capacity.
2. Daily function – flow, storage, usability.
3. Durability – pet-resistant, long-term.
4. Resale value.

Standards

- Existing soft seating stays, in all areas. New work harmonises to it.
- All fabrics and finishes: stain-resistant, pet-durable. No exceptions in any area.

Scope, as briefed

- Interior painting, key spaces the scope.
- Built-in millwork for storage
- New handrails, stairwell and LR terrace

Nothing structural. No reconfiguration.



THE RECOMMENDATION

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The brief identifies the work requested. The recommendation identifies the work required to achieve the Owners' objectives.

The Owners requested paint and storage. The constraint is the arrangement: the dining area and the living area are in each other's places, and the seating has no focal point. The apartment is planned for quiet occupancy and the Owners entertain at capacity. Cosmetic upgrades do not reach it.

1. The focal points swap. The dining area holds the bulk of the room and is rarely used. Reversing it gives the volume to the function that uses it, and puts the table at the terrace end – which brings the terrace into the entertaining space rather than leaving it as a view.

2. A new firebox. Mantle and stone surround. The seating faces nothing. A firebox is permanent where furniture is not: it anchors the seating and the artwork above it, and puts mass and material into a flat composition.

3. The soft seating is replaced. The dining table, chairs and one sideboard carry through. The existing seating came from one showroom in one finish – it reads as a single purchase rather than a room, and the arrangement it was bought for stops existing once the focal points swap. New work is chosen for contrast: mohair reads as luxurious beside linen, raw stone beside smooth veneer. Materials define one another.

4. Trim throughout. Trim turns openings into thresholds and walls into architecture. It also sets the order that furniture and art are composed against – without it, the new work has no framework and reads as placement rather than architecture.

5. The stairwell opens to the foyer. A full-height wall closes the foyer and stops the light at it. Removing it – replaced with a glass handrail and lighting – makes foyer, stairwell and living space one continuous approach. It is the only structural move and the largest single change to how the apartment is entered.

6. An art programme. \$150,000–250,000, 7 placements. The existing pieces are mass-produced and chosen to fill wall space. The principal walls are undefined; at this scale they should be destinations. Seven works, positioned as part of the composition rather than hung on it, hold the sight-lines the swap opens.

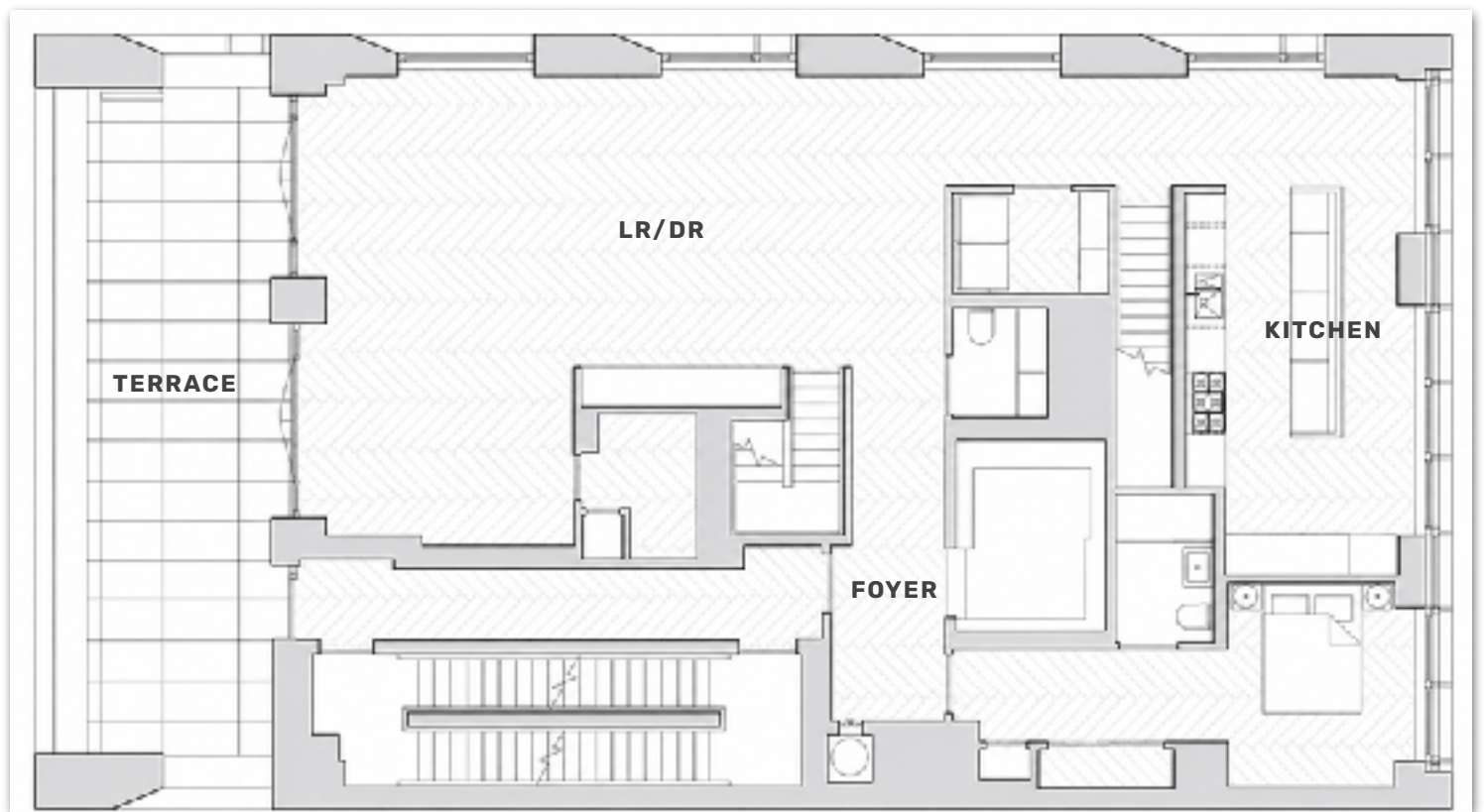
One standard, not briefed. Lighting: 3000K directional LED, CRI 90+, layered and dimmable throughout. At 2700K everything takes an amber cast – whites go yellow, marble veining and timber grain flatten, and the artwork shifts. 3000K is close to what galleries light at, and it dims to intimacy in the evening while staying accurate when the home is at capacity.



THE ROOMS

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Five rooms, reordered and refinished. The rest of the apartment stands.





The developer put dining in the centre of the floor and seating at the window. The Owners live the other way round: living takes the full terrace frontage, dining moves to the terrace's own end.

The table loses a leaf – they rarely sat eight – and the terrace carries the overflow when the home is at capacity. What was a formal eight-seat room becomes a living space that opens to the outside and a dining area that extends onto it.

The firebox lands on the stair wall, facing the seating. It is the focal point the room has never had, and the anchor the new furniture is composed around.

EXISTING**PROPOSED**



LR/DR - FINISHES

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PAINT

**ALL - B. Moore
Cement Gray**

WALLCOVERING

**LR - P. Jeffries
Bestowed**

WALLCOVERING

**DR - Anthology
Vitruvius**

STONE

**FIRE BOX -
Nemo Opus**

VENEER

**ALL - Shinnoki
Frozen Walnut**



TERRACE

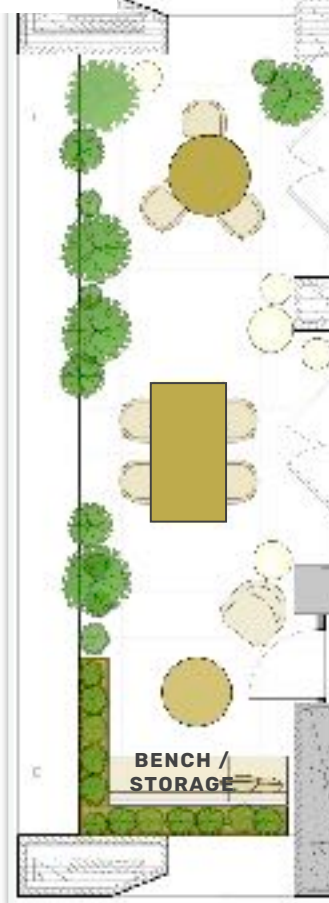
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Both options develop it as an outdoor room. The Corten scheme adds a planter wall that conceals irrigation, lighting and sound feeds, plus a flip-up storage bench. The Owners chose it.

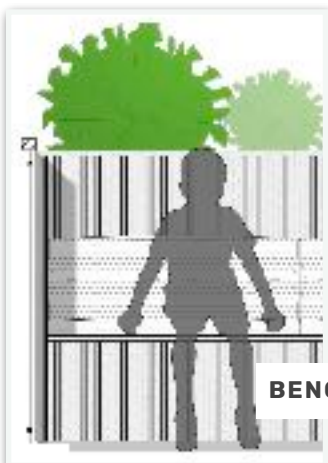
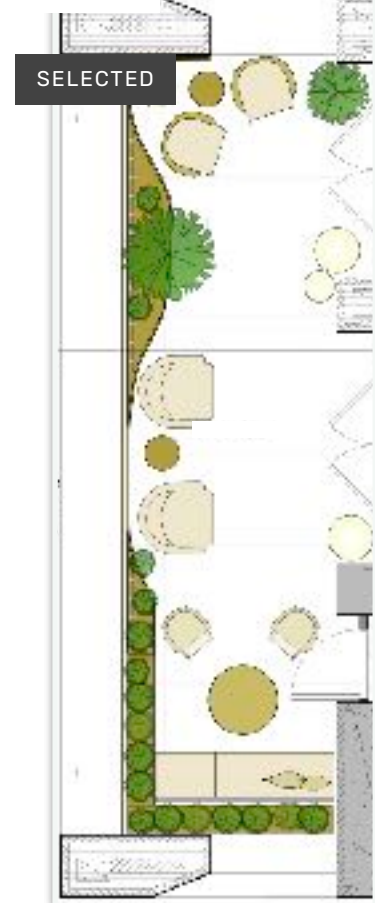
EXISTING



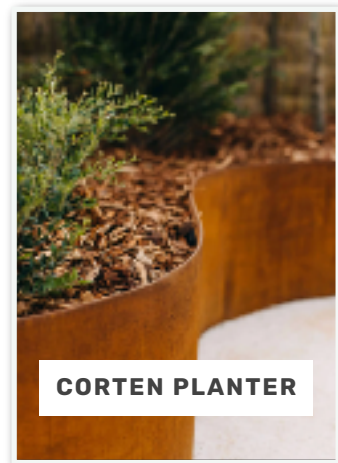
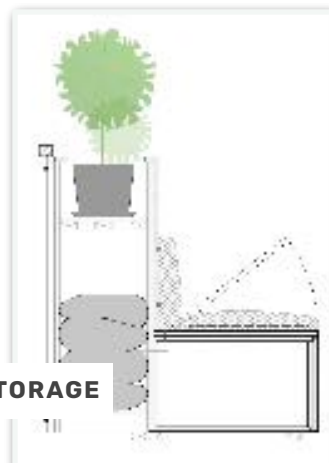
OPTION 1



OPTION 2



BENCH / STORAGE



CORTEN PLANTER



TERRACE - CONCEPT

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FOYER

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A full-height wall closed the foyer and stopped the light at it. Removing it – replaced with a glass handrail and lighting – makes foyer, stairwell and living space one continuous approach.

EXISTING



PROPOSED



One move. The whole entry opens.



FOYER - CONCEPT

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PRIMARY BR

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The room was flat – nothing on the walls, no depth. Two wall coverings bring texture and colour the space had none of. Trim defines the threshold from the hall.

EXISTING



PROPOSED





PRIMARY BR - CONCEPT

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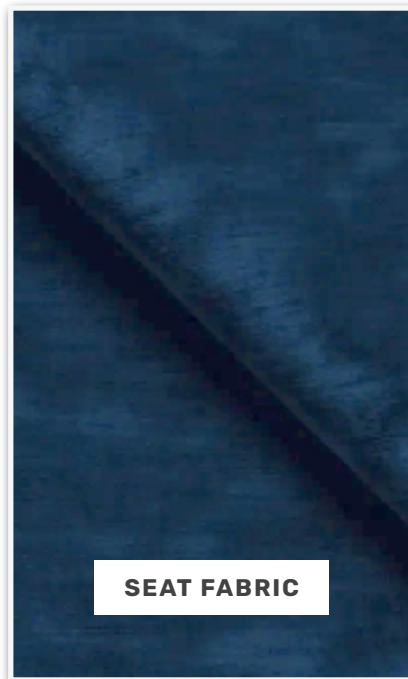




KITCHEN

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Two moves. Pendants over the island break the room's hard geometry and put light where the prep happens. A custom upholstered window seat softens the hard surfaces and adds a place to sit that



SEAT FABRIC

Kravet Bromo Velvet



PILLOW FABRIC

Scalamandré Shiso



BUDGET, TEAM & TIMELINE

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Preliminary ranges, set at the positioning stage. They are planning benchmarks, not a quote – actual costs depend on site conditions, selections and final scope.

RENOVATION			
Item	Range		Comments
General contractor	\$ 175,000	\$ 300,000	Preliminary scope
Floor refinish	\$ 25,000	\$ 45,000	Select areas
Miscellaneous	\$ 10,000	\$ 20,000	COs, NWOs, existing conditions
Estimate	\$ 210,000	\$ 365,000	

INTERIOR CURATION			
Item	Range		Comments
Furniture	\$ 50,000	\$ 100,000	Custom L-shaped sofa
Decorative lighting	\$ 25,000	\$ 50,000	2x's chandeliers
Rugs	\$ 20,000	\$ 50,000	Custom LR
Art	\$ 150,000	\$ 250,000	7 placements
Decor	\$ 2,500	\$ 3,500	Vases, etc.
Wallcovering + labour	\$ 5,000	\$ 10,000	DR & Primary BR
Fabrics + labour	\$ 7,500	\$ 12,500	LR & Kitchen
Estimate	\$ 260,000	\$ 476,000	

TEAM REQUIREMENTS / SPECIALTY CONSULTANTS			
Item	Range		Comments
A/V Smart Home	\$ 15,000	\$ 20,000	Entertaining areas
Acoustic Engineer	\$ 2,500	\$ 5,000	Primary BR
Architect	\$ 10,000	\$ 15,000	Pricing drawings
Art Framing / Installers	\$ 20,000	\$ 35,000	7 placements
Closet Systems	\$ 20,000	\$ 30,000	Primary BR
Expeditor, bldg. mgmt., DOB filing	\$ 5,000	\$ 15,000	DOB likely not required
Fabric Stain Protection	\$ 2,500	\$ 5,000	Entertaining areas
Moving / Warehousing	\$ 15,000	\$ 25,000	Staging new furnishings
Windowcoverings	\$ 25,000	\$ 35,000	LR & Primary BR
Estimate	\$ 115,000	\$ 185,000	

TOTAL \$ 585,000 \$ 1,026,000

Ranges summed. Actual costs will fall within the range.



WHAT COMES NEXT

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This document completes the positioning work. What follows is optional, and taken in whatever combination serves the project – each phase stands on its own.

Design Development – the concepts here refined into buildable documentation.

Team Building – identifying, vetting and contracting the architect, GC and specialists. Selected for temperament as much as competence.

Scope Development – proposals, contracts and approvals reviewed; roles, scope and schedule fixed before construction.

Implementation – construction monitored against the documents: requisitions and change orders qualified, non-conforming work caught, the project closed out.

Engage any, in any order the project needs.