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NEW DWELLING FOR:  
BARRETT HOMES

ADDRESS:  
LOT546, WOOING TREE ESTATE  
, CROMWELL



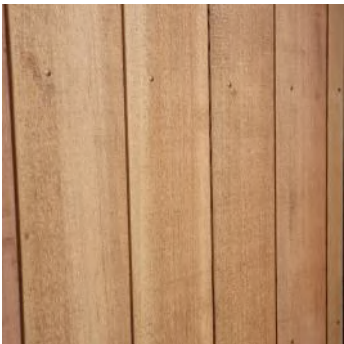
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Project No:	T03	Designed:	ED	Wind:	HIGH	Drawing:	COVER SHEET	Date:	18/11/2024
Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOOING TREE ESTATE	Sheet:	
				Council:	CODC		, CROMWELL	Scale:	





**Panel Cladding**  
James Hardie Axon panel smooth  
(400) cladding - painted



**Natural cladding**  
*Vertical clear Cedar w/board  
-Stained*



**Roofing**  
PCC Zinacore roofing - *trapezoidal  
profile*



**Joinery**

*\*The above materiality is for look & feel purposes only*

C:\Users\Wshaun.glassford\OneDrive - Barrett Homes\Sales, Concepts and Builds\WCROMWELL\WOOING TREE STAGE 4\Lot 546 WT\WT546 - Mark 1.pln  
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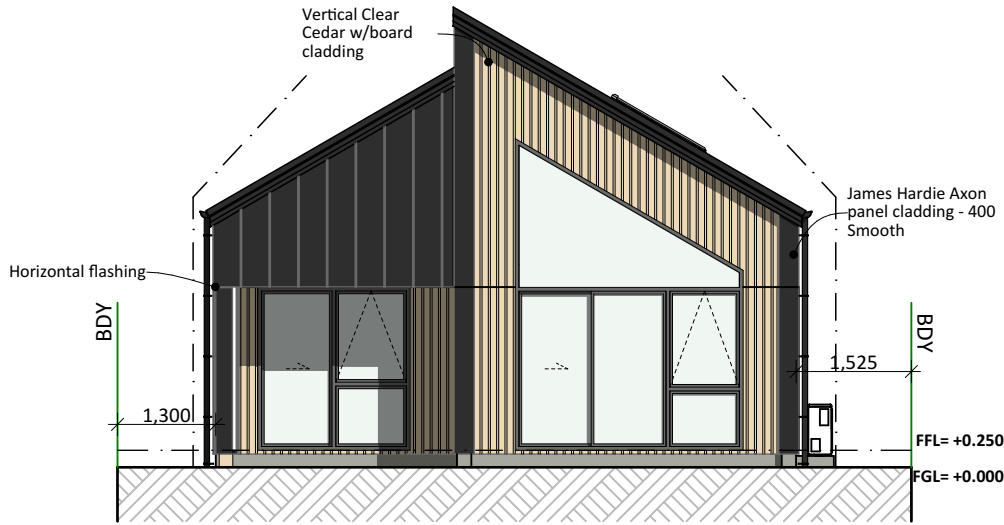
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Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOOING TREE ESTATE	Sheet:	
			design@barretthomes.co.nz	Council:	CODC		, CROMWELL	Scale:	

**General Notes:**  
Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundation. No liability shall be held by designer with this concrete.

**NZBC D1/AS1 Access**  
Minimum slip resistance to steps and landings Concrete or H5 timber steps to all access points, min. 150mm below finished floor level

- Foundation:**  
Engineered Maxraft 300 foundation (refer to notes and details)
- Wall Cladding:**  
James Hardie Axon panel cladding - 400 Smooth  
Vertical Clear Cedar w/board cladding
- Roof Cladding:**  
30° pitch. PCC Zinacore roofing - Trapezoidal profile
- Fascia and Spouting:**  
COLORCOTE fascia, spouting & 80mm Ø downpipes
- Joinery:**  
Selected powder coated aluminium joinery with thermally improved Low E double glazing.

**PRELIMINARY ONLY.**  
Elevations are subject to the following:  
- Site Levels  
- Developer Approval



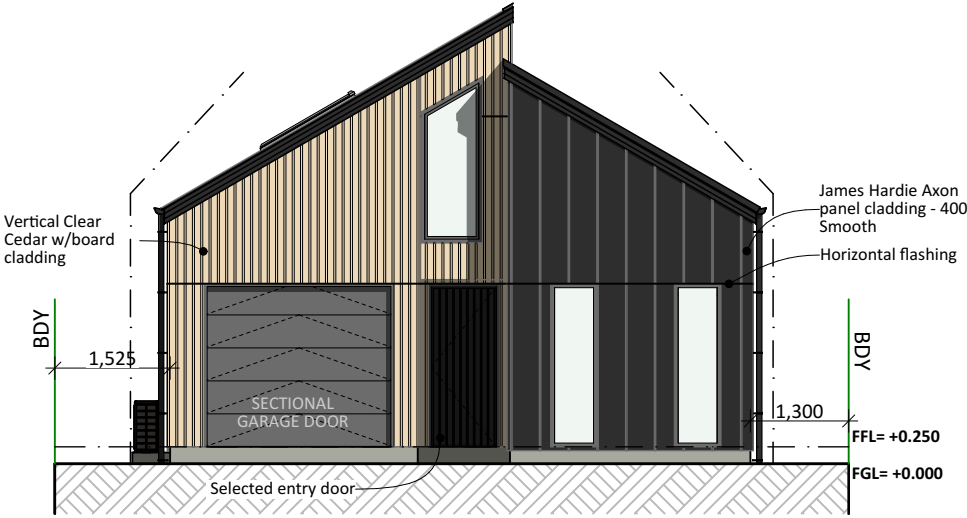
NORTH ELEVATIONS



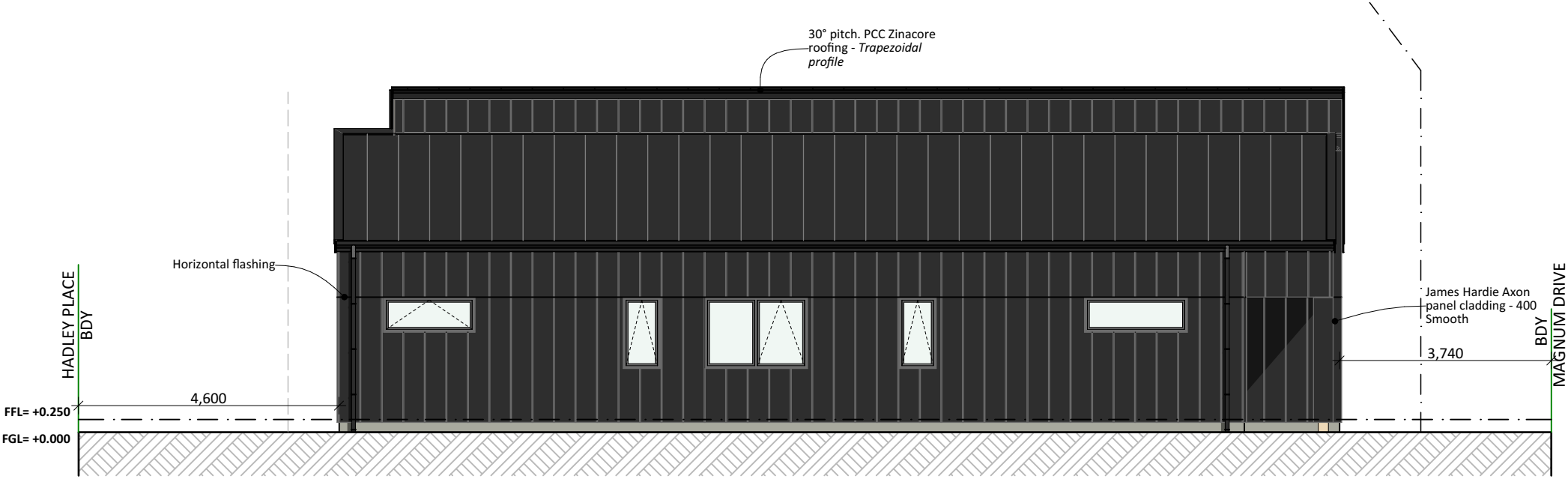
EAST ELEVATIONS



Project No:	T03	Designed:	ED	Wind:	HIGH	Drawing:	ELEVATIONS	Date:	18/11/2024
Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOONG TREE ESTATE	Sheet:	1
				Council:	CODC		, CROMWELL	Scale:	



SOUTH ELEVATIONS



EAST ELEVATIONS

**General Notes:**  
Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundation. No liability shall be held by designer with this concrete.

**NZBC D1/AS1 Access**  
Minimum slip resistance to steps and landings Concrete or H5 timber steps to all access points, min. 150mm below finished floor level

- Foundation:**  
Engineered Maxraft 300 foundation (refer to notes and details)

**Wall Cladding:**  
James Hardie Axon panel cladding - 400 Smooth  
Vertical Clear Cedar w/board cladding

**Roof Cladding:**  
30° pitch. PCC Zinacore roofing - Trapezoidal profile

**Fascia and Spouting:**  
COLORCOTE fascia, spouting & 80mm Ø downpipes

**Joinery:**  
Selected powder coated aluminium joinery with thermally improved Low E double glazing.

**PRELIMINARY ONLY.**  
Elevations are subject to the following:  
- Site Levels  
- Developer Approval



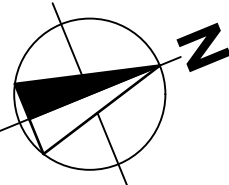
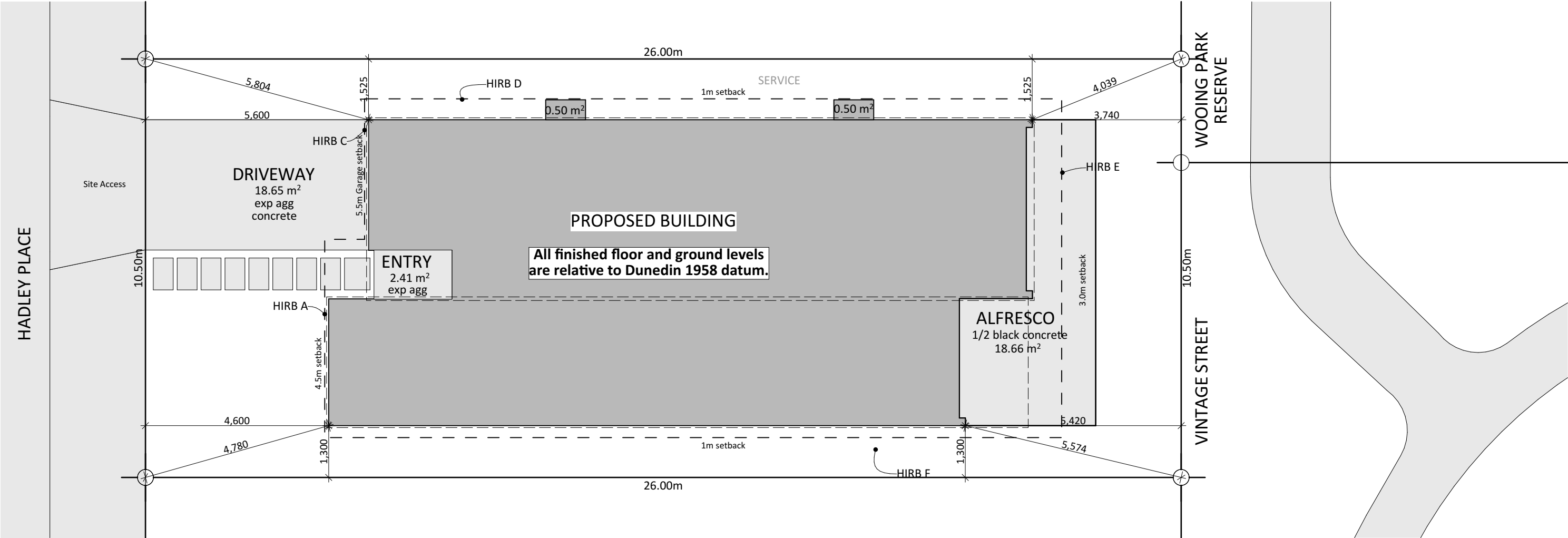
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Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOONG TREE ESTATE	Sheet:	2
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Information required /awaiting confirmation:

- As Built information.
- Service connection location.
- Subdivision resource consent (if any)
- Site levels/contours
- Final Geotech report

NOTE: SITE BOUNDARIES ARE PRELIMINARY ONLY.

Concept plans shown are indicative as site boundaries may change. This is subject to the release of the Record of Title.



Site Information:

Lot: 546  
DP: 596413  
Area: 273m²

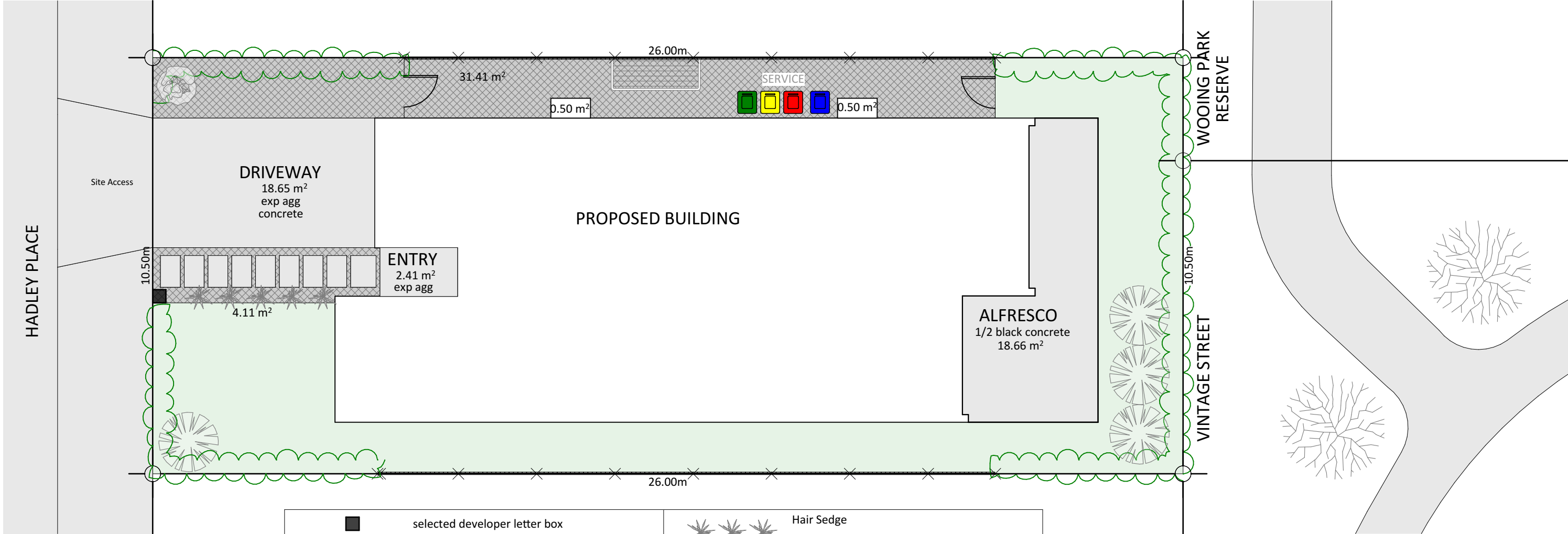
Site Coverage:

122.07 m² (House area) / 273m² (site area) = 44.71%  
Living Zone = Med Dence -  
Max coverage = 45%



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Project No:	T03	Designed:	ED	Wind:	HIGH	Drawing:	SITE PLAN	Date:	18/11/2024
Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOONG TREE ESTATE	Sheet:	3
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selected developer letter box

smart wall wooden fence & gates - unstained

schist gravel

800x500 exposed aggregate concrete pavers  
- 100mm spacing with schist gravel between

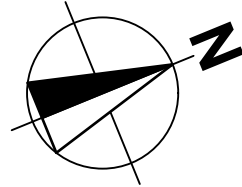
Hair Sedge

hedging - Pittosporum Kohuhu

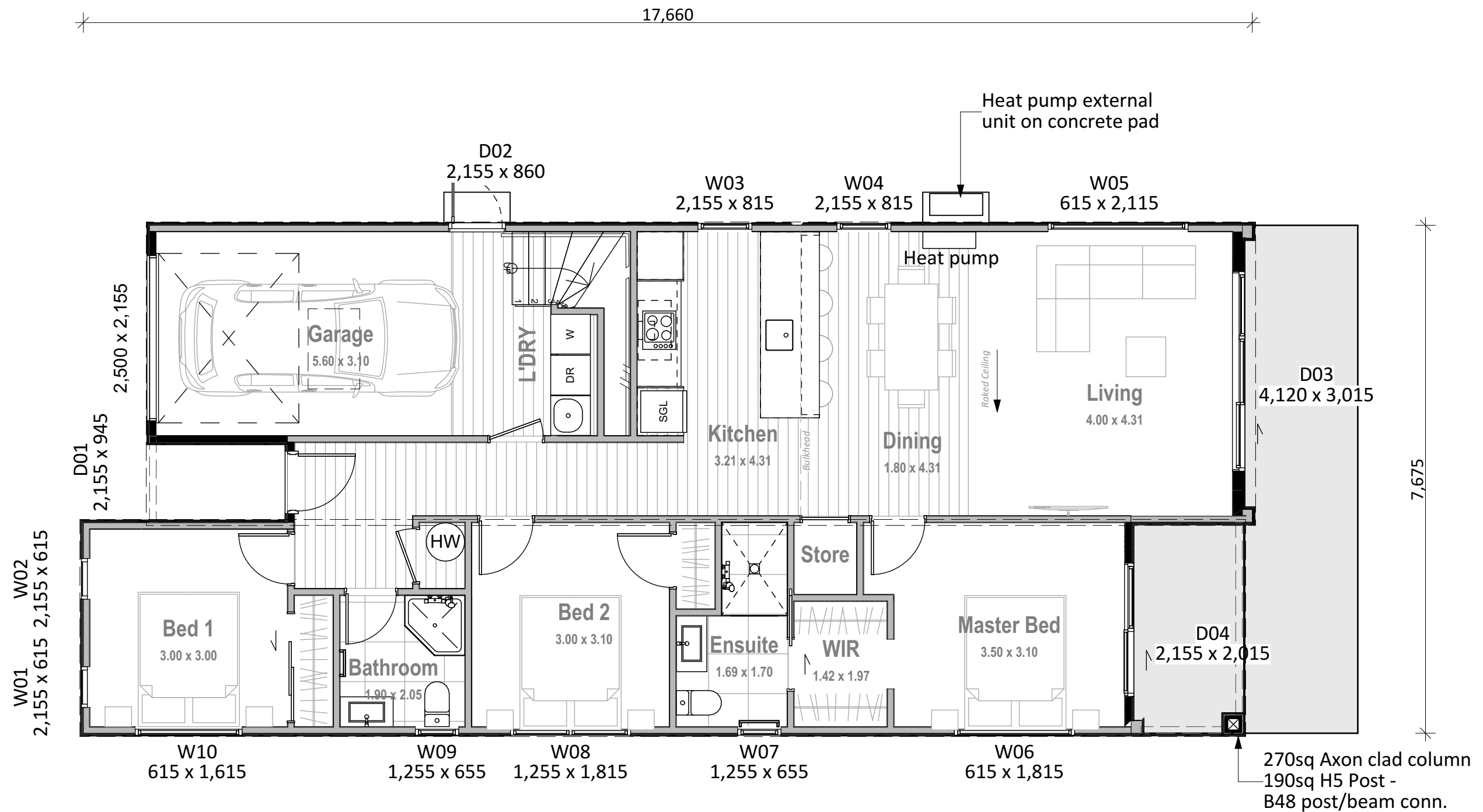
specimen tree no. 1 - Cherry

specimen tree no. 2 - Ribbonwood

clothesline



Project No:	T03	Designed:	ED	Wind:	HIGH	Drawing:	LANDSCAPING PLAN	Date:	18/11/2024
Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOOING TREE ESTATE	Sheet:	4
			design@barrethomes.co.nz	Council:	CODC		, CROMWELL	Scale:	1:100



**H1 REQUIREMENTS:**  
- R2.8 Wall Insulation to 90mm walls  
- Ribraft hotedge Extra + 50mm EPS under slab  
- R7.0 Superbatt Roof Insulation

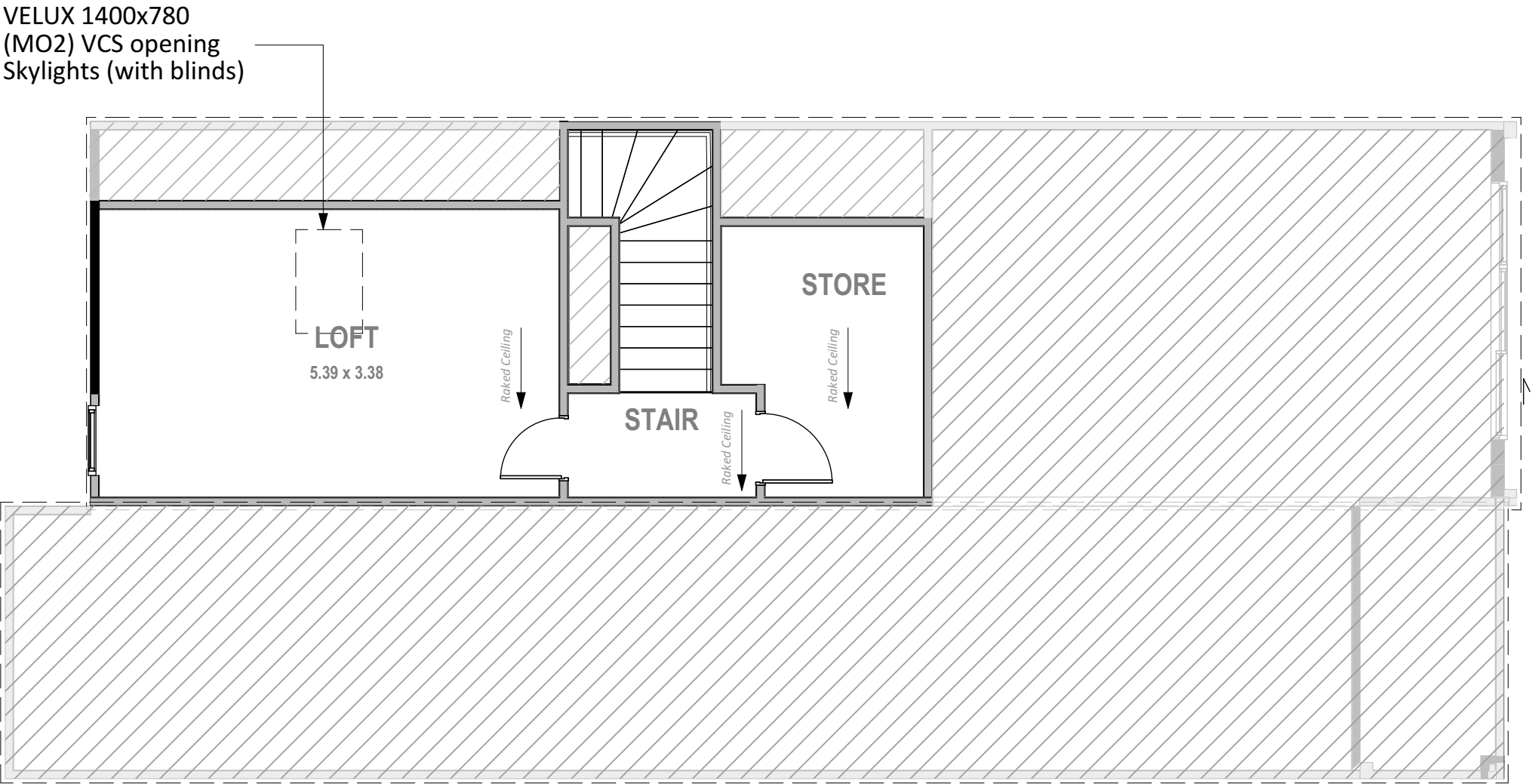


Project No:	T03	Designed:	ED	Wind:	HIGH	Drawing:	CONCEPT PLAN	Date:	18/11/2024
Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOONG TREE ESTATE	Sheet:	5
				Council:	CODC		, CROMWELL	Scale:	1:100

**Plan Notes:**  
2.460 Stud height throughout  
All joinery 2155 head height  
Raking ceiling over loft space

**Floor Area:**  
Area o/foundation: 122.07 m<sup>2</sup>

**Cladding Key:**  
JH 400 Smooth  
Vertical Cedar w/board



**H1 REQUIREMENTS:**  
- R2.8 Wall Insulation to 90mm walls  
- Ribraft hotedge Extra + 50mm EPS under slab  
- R7.0 Superbatt Roof Insulation



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Project No:	T03	Designed:	ED	Wind:	HIGH	Drawing:	LOFT PLAN	Date:	18/11/2024
Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOONG TREE ESTATE	Sheet:	6
				Council:	CODC		, CROMWELL	Scale:	1:100

**Plan Notes:**  
2.460 Stud height throughout  
All joinery 2155 head height  
Raking ceiling over loft space

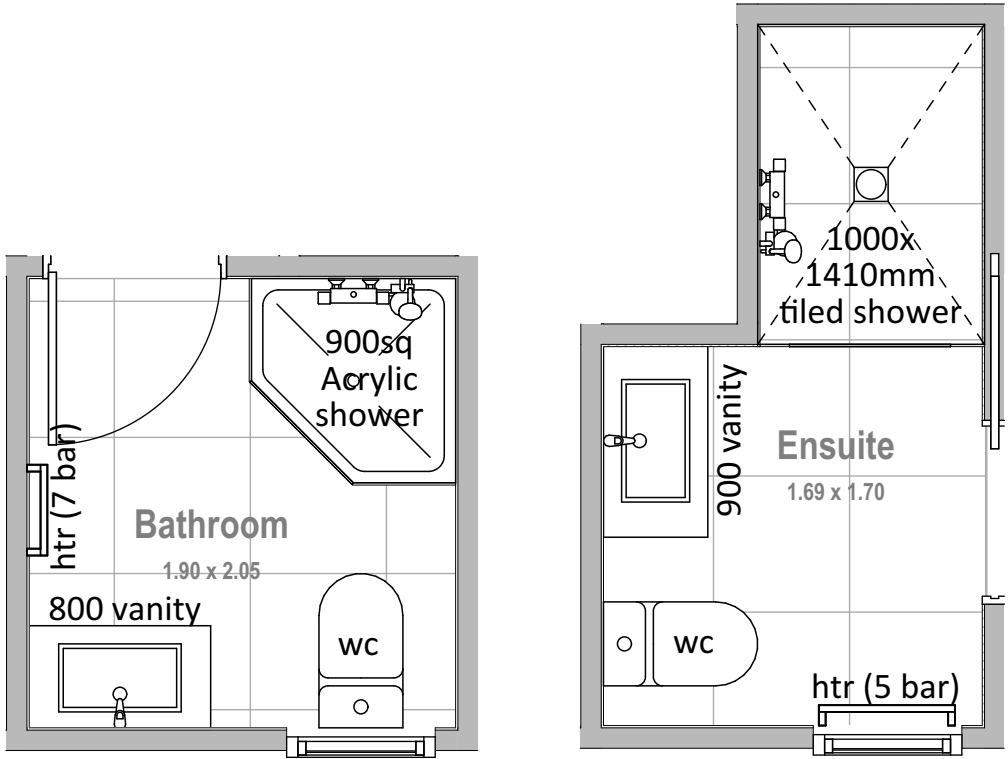
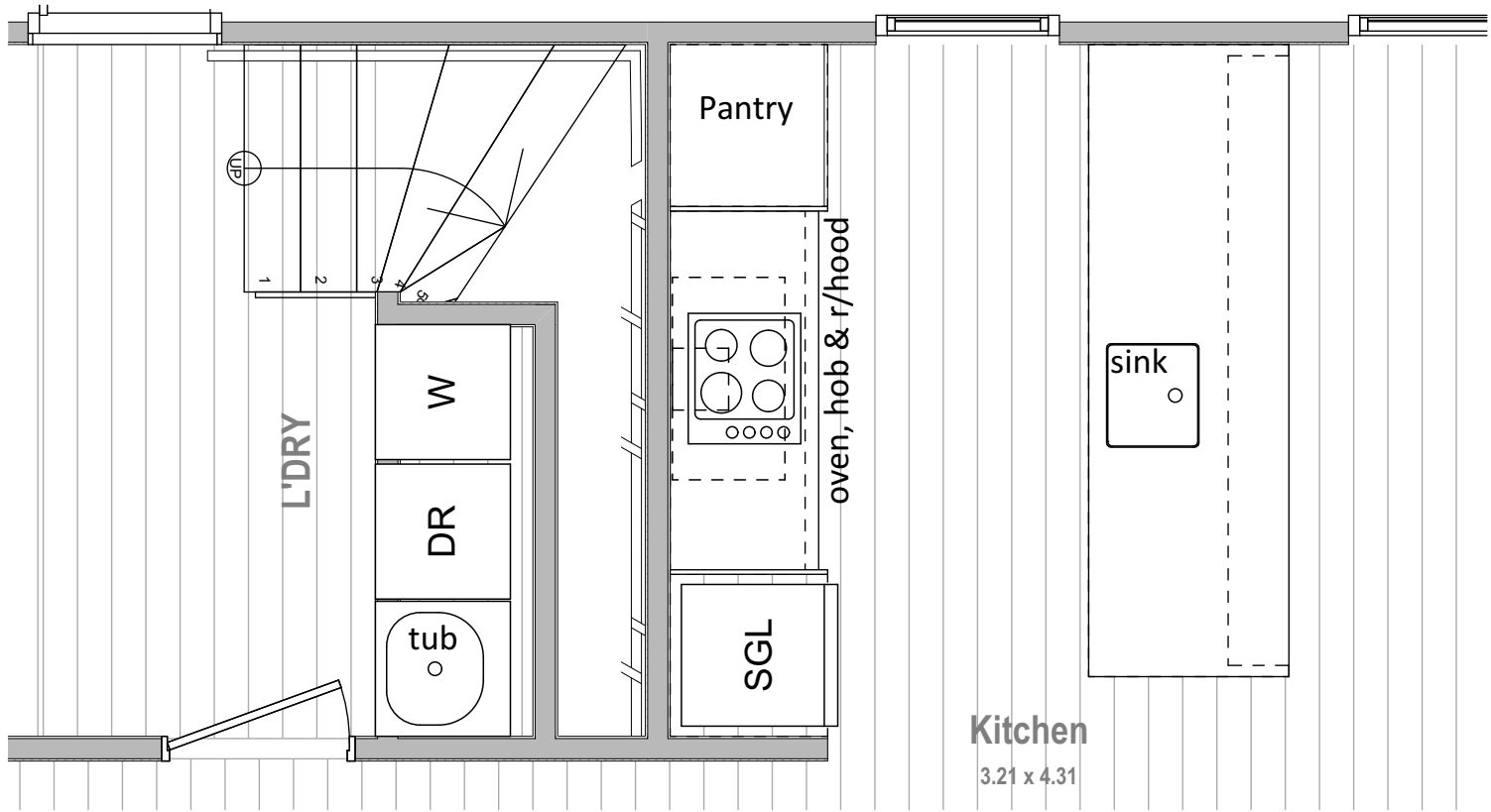
**Floor Area:**

Area o/foundation:	122.07 m <sup>2</sup>
Area o/loft:	31.88 m <sup>2</sup>
Area Combined:	153.95m <sup>2</sup>

**Cladding Key:**

	JH 400 Smooth
	Vertical Cedar w/board



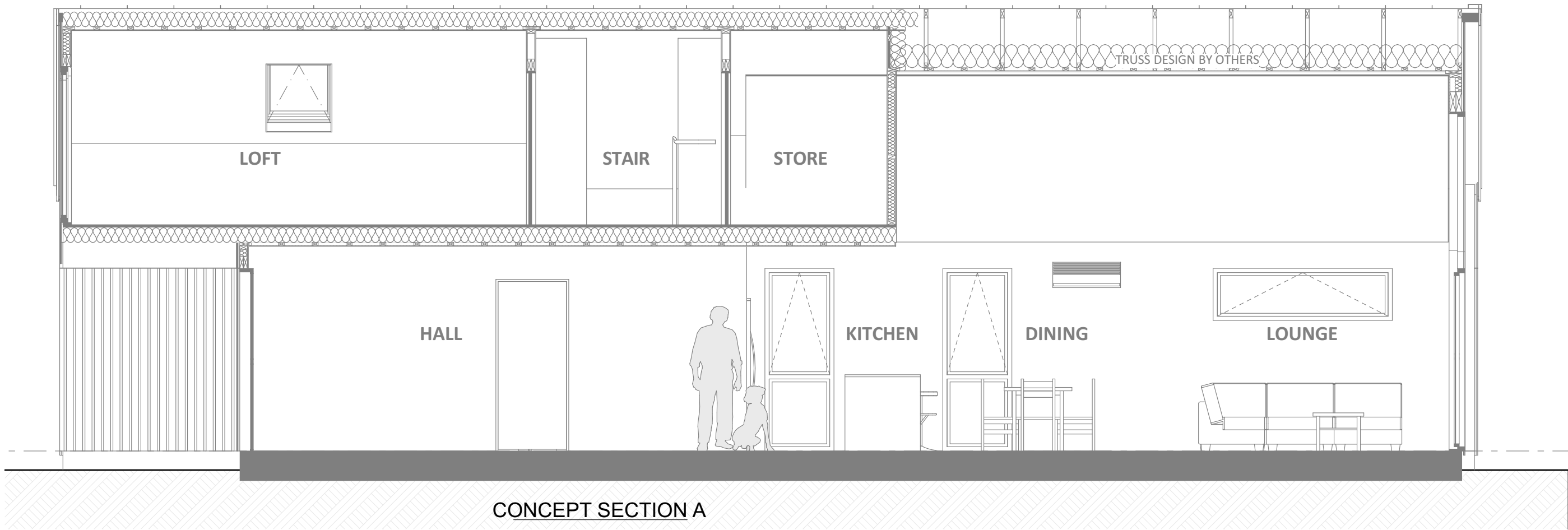


Floor Types Key	
	Tiles
	vinyl planking

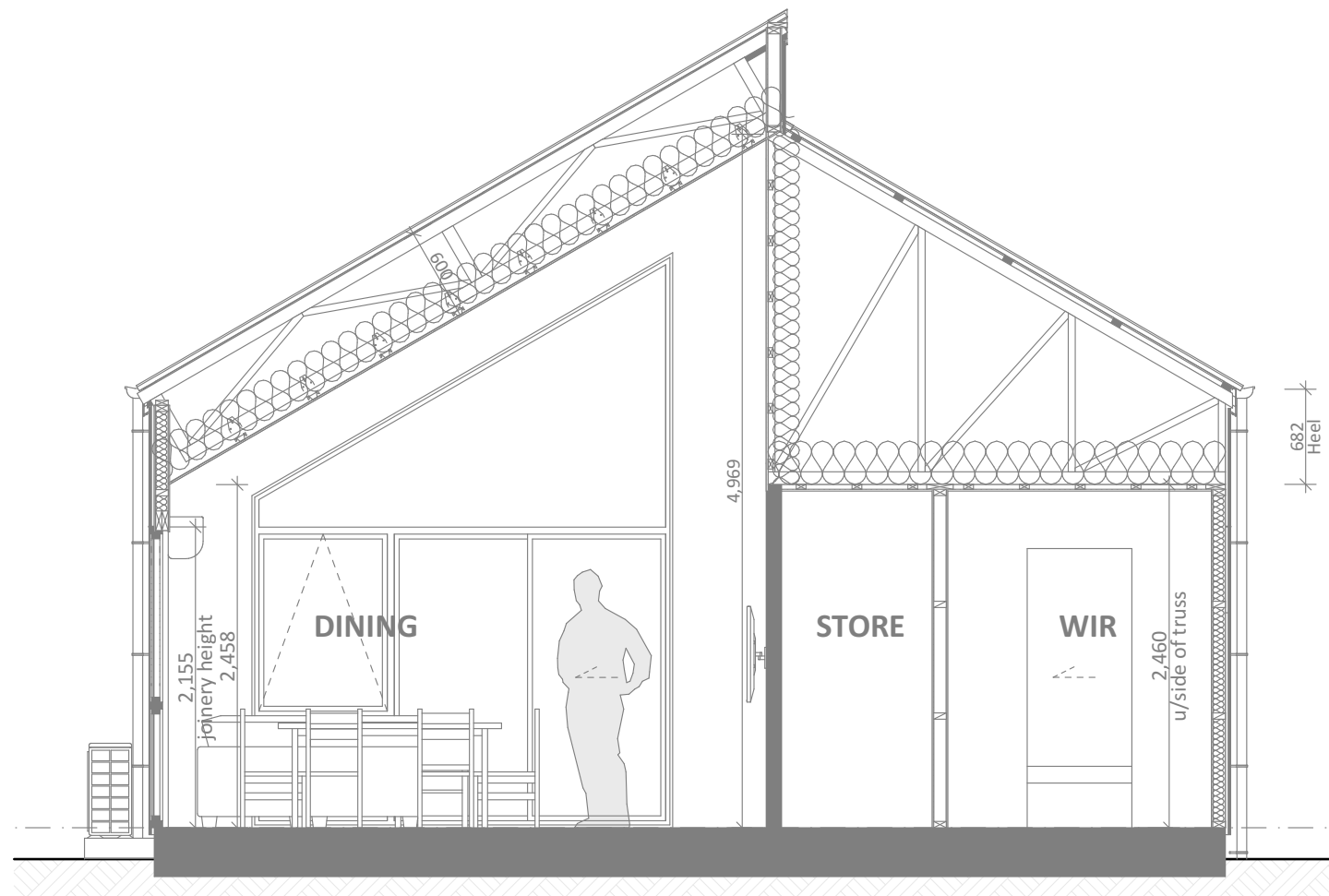


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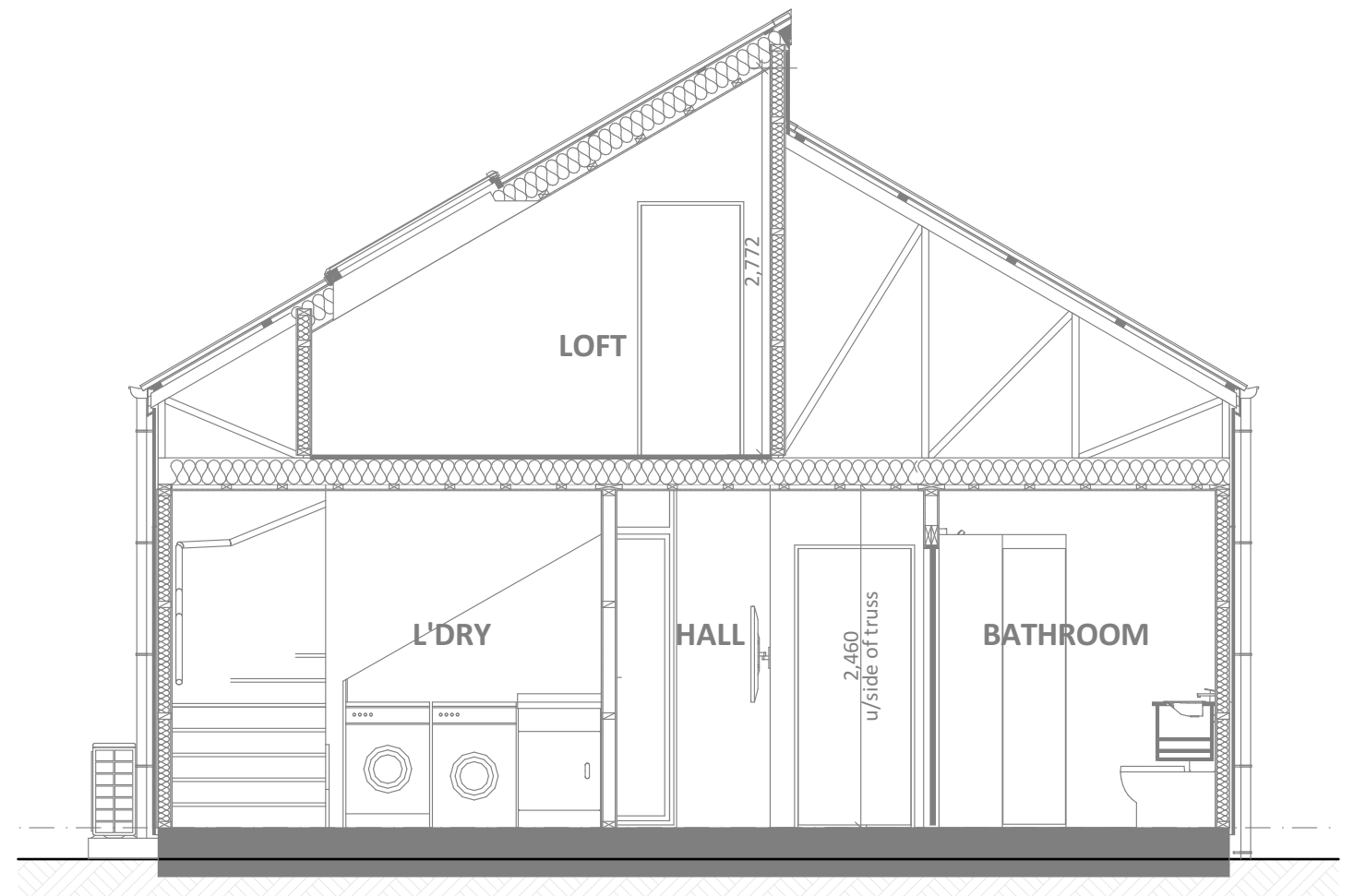
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Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOONG TREE ESTATE	Sheet:	7
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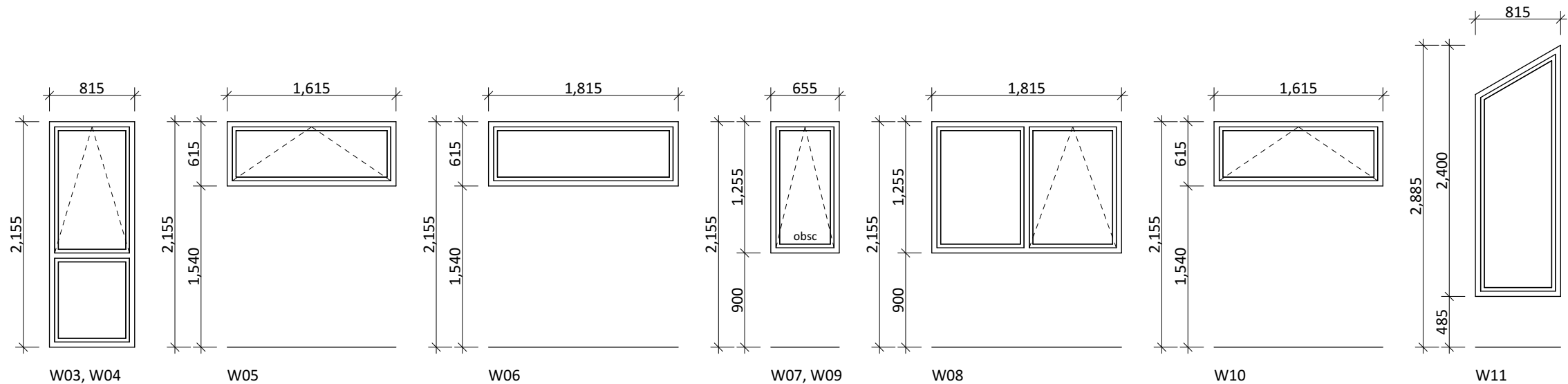
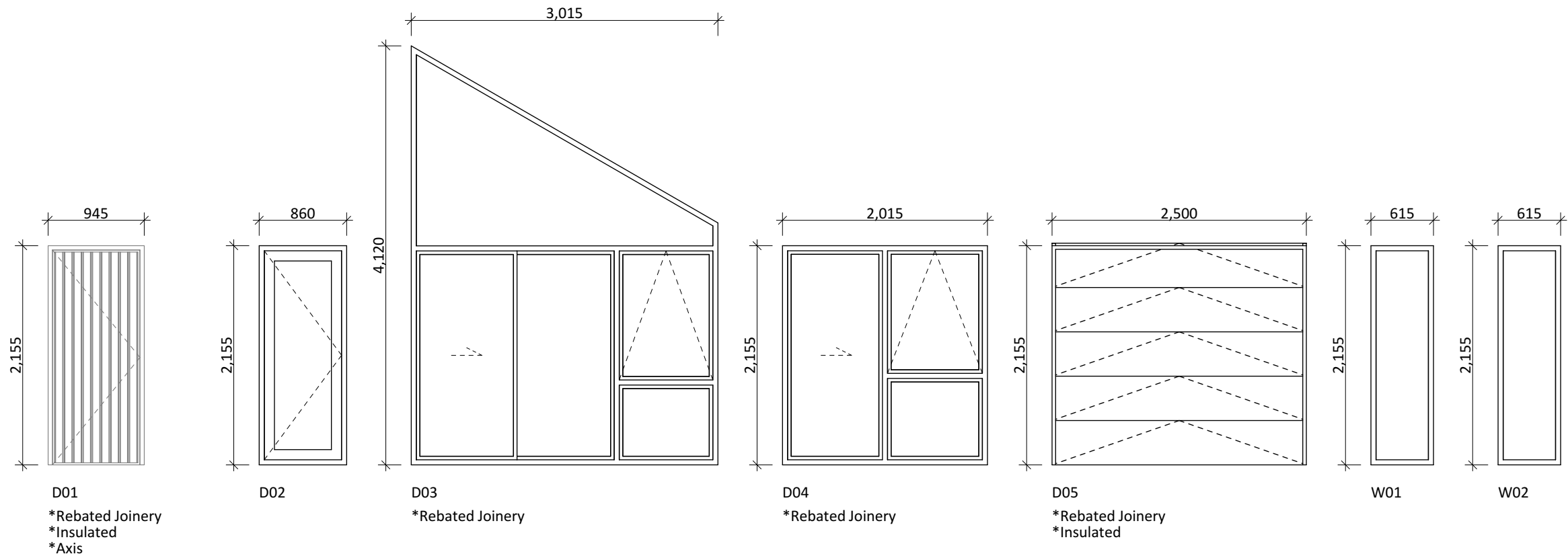
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Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOONG TREE ESTATE	Sheet:	8
				Council:	CODC		, CROMWELL	Scale:	



CONCEPT SECTION B



CROSS SECTION C



**General notes:**  
Aluminium joinery head heights to be 2.155m (excludes rebated joinery units & includes Garage door). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

APL Residential series aluminium joinery with thermally improved glazing, to all window and door joinery including garage joinery.

Glazing in accordance with NZS 4223 & 2016 amendments.  
All glazing clear float unless noted anywhere, (refer to joinery schedule)

- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.  
- Doors with glazing area > 0.75m<sup>2</sup> = safety glass  
- Doors with glazing area < 0.75m<sup>2</sup> = 5mm annealed  
- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.

sg = Safety glass as required by standards, joinery manufacturer to take precedence  
ss = Safety stays (in accordance with NZBC:F4 clause 2.0)  
obsc = Obscure glass

**REBATED JOINERY**  
Rebated joinery sizes are to be confirmed with joinery manufacturer.



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Project No:	T03	Designed:	ED	Wind:	HIGH	Drawing:	JOINERY SCHEDULE	Date:	18/11/2024
Plan:	T03	Drawn:	SG	EQ:	2	Client Name:	BARRETT HOMES	Rev:	
Version:	2.1	Checked:	DC	Exposure:	B	Site Address:	LOT546, WOOLING TREE ESTATE	Sheet:	10
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