



Barrett Homes

Welcome to the *whānau*.

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NEW DWELLING FOR:
BARRETT HOMES (BAY OF PLENTY) LTD

ADDRESS:
LOTS 100-104, 89-97 PALLIDA CRESCENT
PALM SPRINGS, STAGE 17B, PAPAMOA



Barrett Homes

Project No:	PS100-104	Designed:	CY	Wind:	HIGH	Drawing:	COVER SHEET	Date:	25/06/2025
Plan:	NEW DESIGN	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOTS 100-104, 89-97 PALLIDA CRESCENT	Sheet:	
				Council:	TCC		PALM SPRINGS, STAGE 17B, PAPAMOA	Scale:	



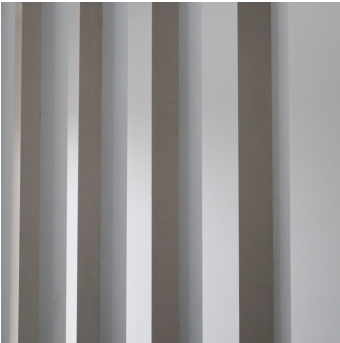
Aluminium cladding
- Flashclad aluminium exterior cladding



Joinery
- Powder coated Aluminium



Roofing
- Selected Longrun roofing
- trapezoidal profile



Decorative screen
- Powder coated Aluminium



Panel cladding
- EZPanel 50mm ACC Panel

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature Date

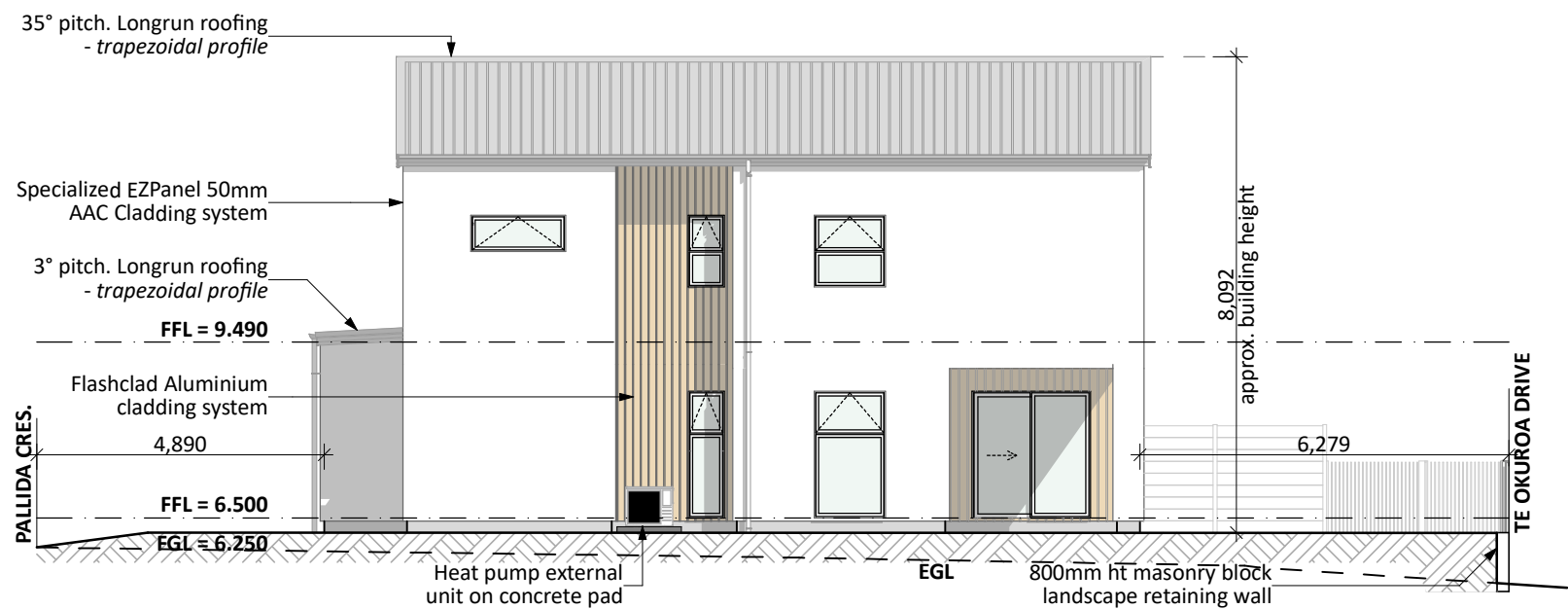
CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



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Plan:	NEW DESIGN	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOTS 100-104, 89-97 PALLIDA CRESCENT	Sheet:	
				Council:	TCC		PALM SPRINGS, STAGE 17B, PAPAMOA	Scale:	



NORTH ELEVATION

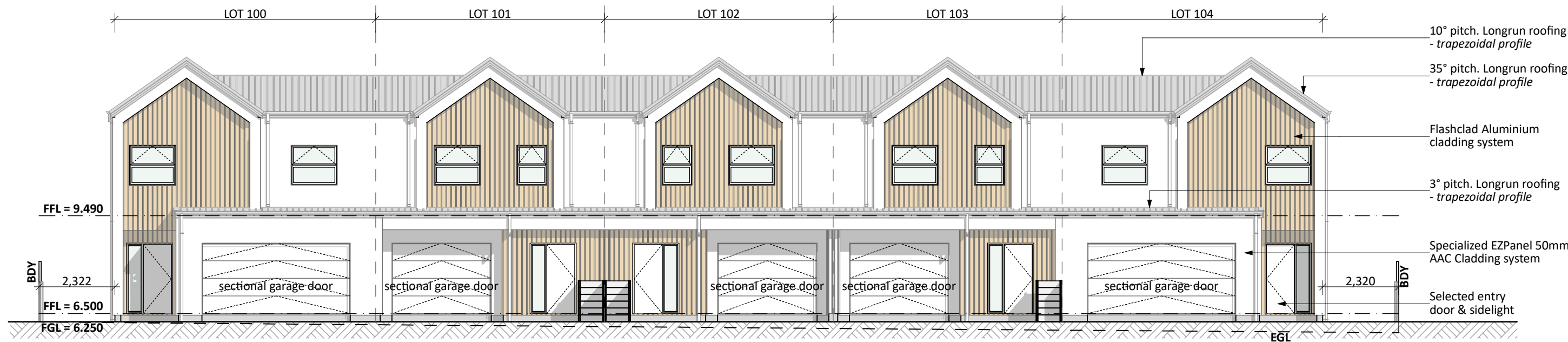


EAST ELEVATION (LOT 104)

Foundation: TC2 Baseraft floor to Kirk Roberts design (see engineers structural documentation and details)	
Wall Cladding: Specialized EzPanel 50mm AAC Panel Cladding Flashclad Aluminium exterior cladding system	
Roof Cladding: 35°, 3° & 5° pitch. Colorsteel Maxam Longrun roofing - Trapezoidal profile	
Fascia and Spouting: COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes	
Joinery & Glazing: Selected powder coated aluminium joinery with thermally improved double glazing.	
Daylighting Recession plane exemption as per RC2857 Clause 14. No applicable overshadowing envelope applies.	
CONCEPT PLAN APPROVAL (confirmation to consent drawings) <div>Signature _____ Date _____</div>	
CONCEPT ONLY MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS	



Project No: PS100-104	Designed: CY	Wind: HIGH	Drawing: ELEVATIONS	Date: 25/06/2025
Plan: NEW DESIGN	Drawn: -	EQ: 1	Client Name: BARRETT HOMES (BAY OF PLENTY) LTD	Rev:
Version: 1.1	Checked: CY	Exposure: C	Site Address: LOTS 100-104, 89-97 PALLIDA CRESCENT	Sheet: 1
		Council: TCC	PALM SPRINGS, STAGE 17B, PAPAMOA	Scale: 1:125



SOUTH ELEVATION



WEST ELEVATION (LOT 100)

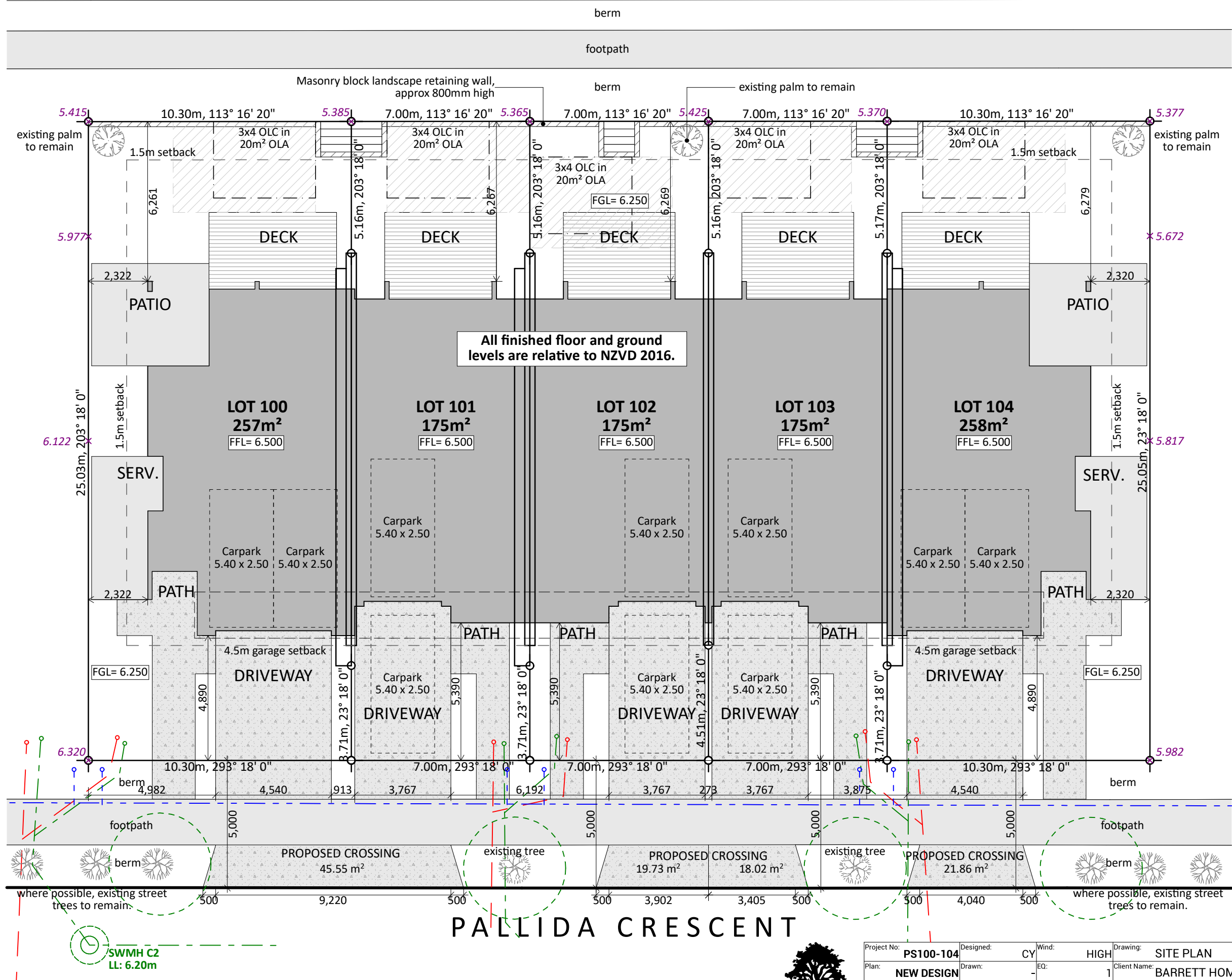
Foundation: TC2 Baseraft floor to Kirk Roberts design (see engineers structural documentation and details)	
Wall Cladding: Specialized EzPanel 50mm AAC Panel Cladding Flashclad Aluminium exterior cladding system	
Roof Cladding: 35°, 3° & 5° pitch. Colorsteel Maxam Longrun roofing - Trapezoidal profile	
Fascia and Spouting: COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes	
Joinery & Glazing: Selected powder coated aluminium joinery with thermally improved double glazing.	
Daylighting Recession plane exemption as per RC2857 Clause 14. No applicable overshadowing envelope applies.	
CONCEPT PLAN APPROVAL (confirmation to consent drawings) <u>Signature</u> _____ <u>Date</u> _____	
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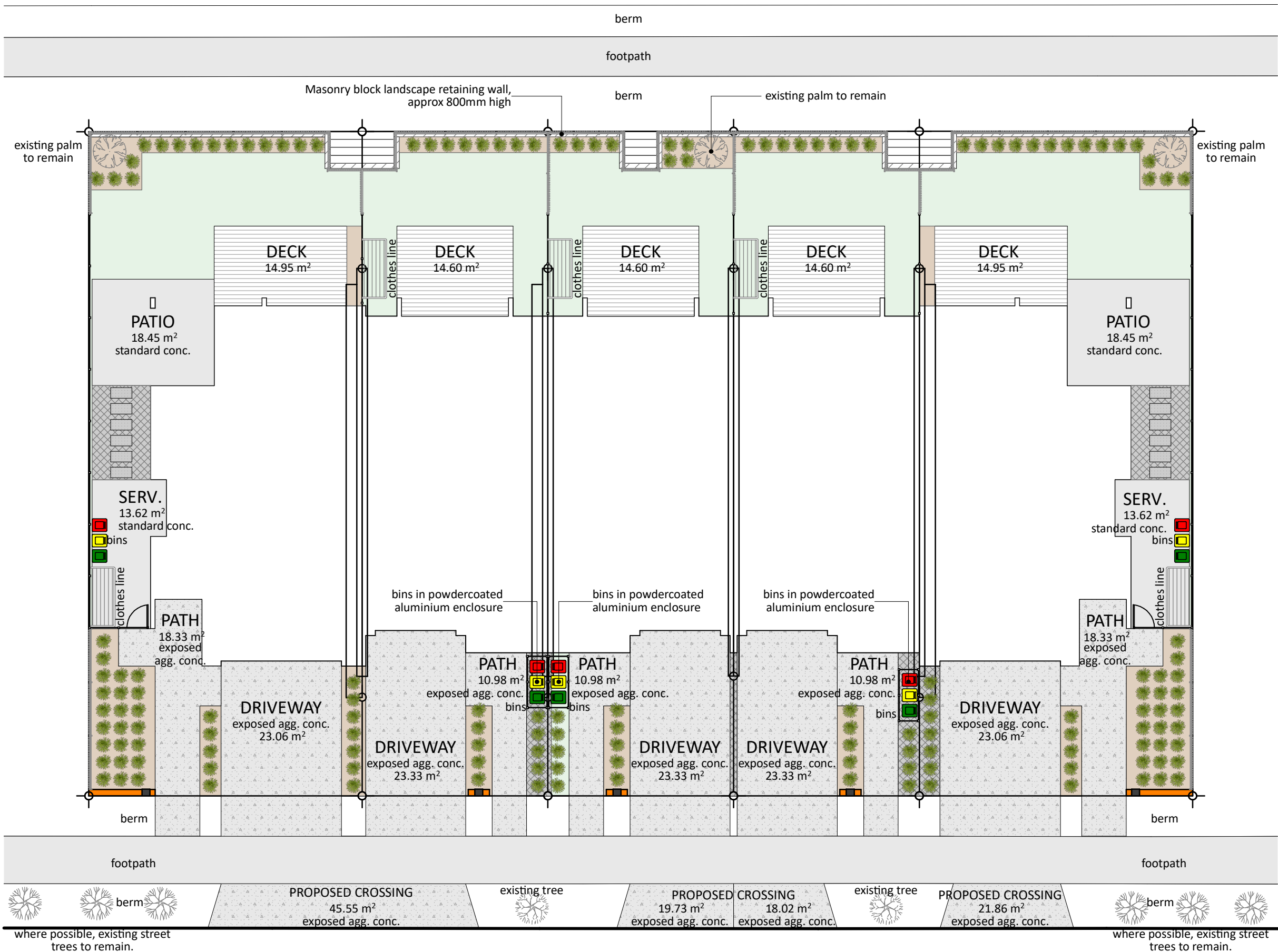
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		Council: TCC	PALM SPRINGS, STAGE 17B, PAPAMOA	Scale: 1:125

TE OKUROA DRIVE



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TE OKUROA DRIVE



LANDSCAPE

- 'goldrush' pebble or similar
- Exposed aggregate
- Selected Decking
- Pavers
- Standard concrete
- grass
- Barked garden bed
- conc. mowing strip

MISC.

- Bins
- Clothesline (not to be fixed to acoustic wall)
- Letter box (masonry insert type)
- Gate - custom StabiFence
- 25 series masonry column - plaster finish & colour to match house
- Paladin Fencing
- StabiFence Fencing

PLANTING

- Syagrus Romanzoffiana
 - Pseudopanax Sabre
 - Sorbus Aucuparia
 - Hedge - Corokia / Ficus Tuffi or Broadway Mint Griselinia (1.2m min plant height)
- Please note: plant species to vary

CONCEPT
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Signature

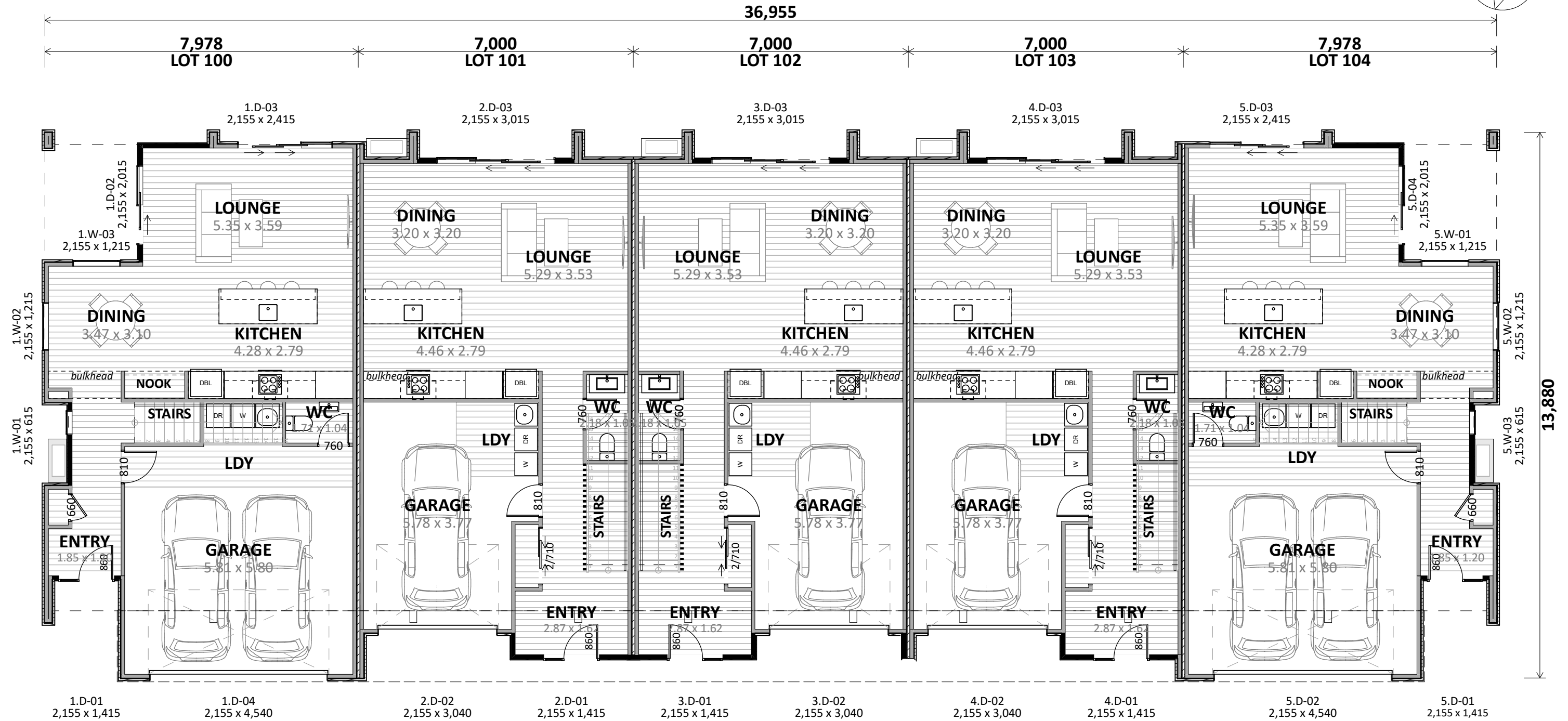
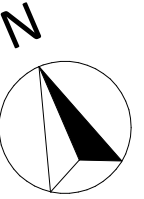
CONCEPT
MINOR V/
DURING WORKING DRAWINGS DUE TO BRACING
REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE
CONDITIONS

PALLIDA CRESCENT



Barrett Homes

Project No: PS100-104	Designed: CY	Wind: HIGH	Drawing: LANDSCAPING PLAN	Date: 25/06/2025
Plan: NEW DESIGN	Drawn: -	EQ: 1	Client Name: BARRETT HOMES (BAY OF PLENTY) LTD	Rev:
Version: 1.1	Checked: CY	Exposure: C	Site Address: LOTS 100-104, 89-97 PALLIDA CRESCENT	Sheet: 4
		Council: TCC	PALM SPRINGS, STAGE 17B, PAPAMOA	Scale: 1:150



ENGINEERING REQUIRED:

- Bracing portals
- Midfloor beams
- Foundations
- Stairwell balustrade screen
- Stairwell half wall balustrade
- Feature decorative screens to frontage

Plan Notes:
2.575 Stud height throughout Ground Floor
All joinery 2155 head height
DVS to Living area.
Hebel Intertency Wall

Floor Areas:

Lot 100 o/frame: 94.35 m²
Lot 101 o/frame: 86.17 m²
Lot 102 o/frame: 86.05 m²
Lot 103 o/frame: 86.05 m²
Lot 104 o/frame: 94.35 m²

Cladding Key:

- AAC Panel
- Aluminium Flashclad

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

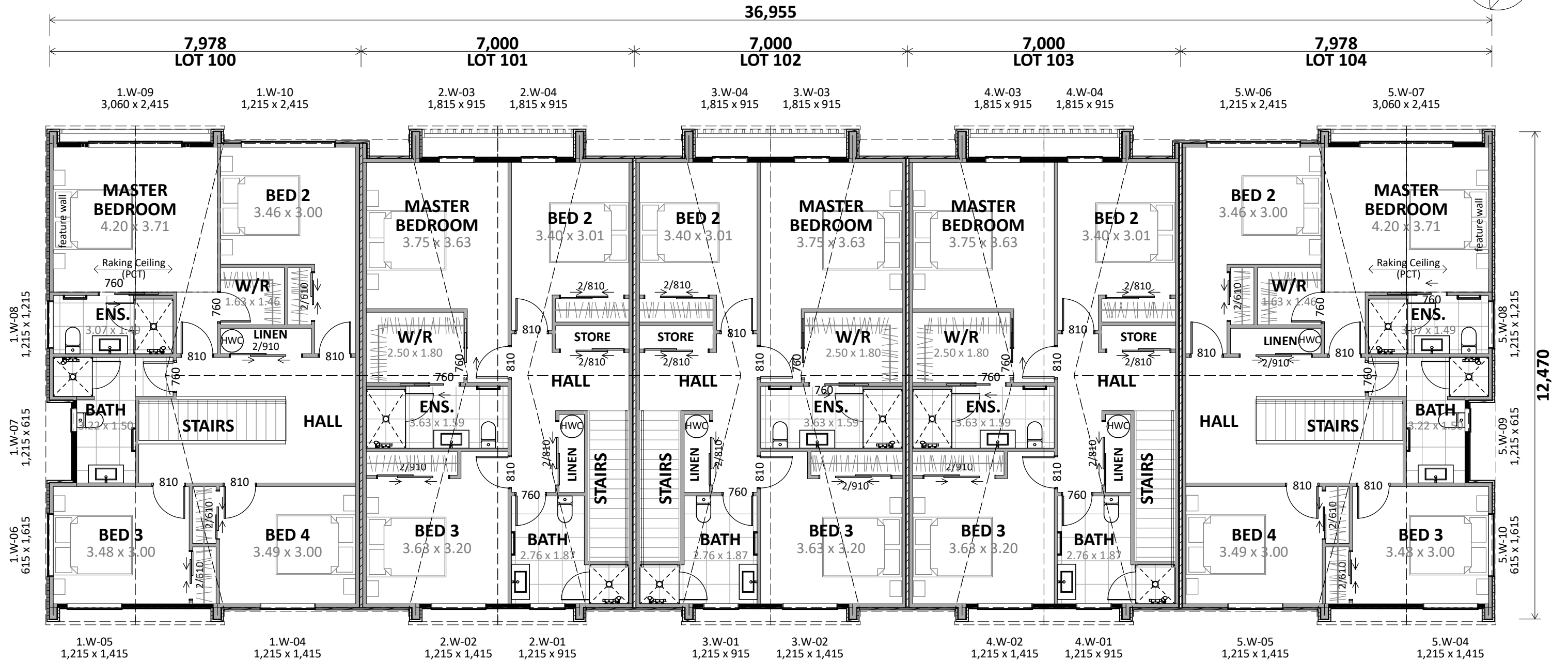
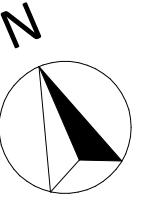
Signature _____ Date _____

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Barrett Homes

Project No:	PS100-104	Designed:	CY	Wind:	HIGH	Drawing:	GROUND FLOOR PLAN	Date:	25/06/2025
Plan:	NEW DESIGN	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
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				Council:	TCC		PALM SPRINGS, STAGE 17B, PAPAMOA	Scale:	1:100



- ENGINEERING REQUIRED:**
- Bracing portals
 - Midfloor beams
 - Foundations
 - Stairwell balustrade screen
 - Stairwell half wall balustrade
 - Feature decorative screens to frontage

Plan Notes:
2.425 Stud height throughout First Floor
All joinery 2155 head height
DVS to Bedrooms
Hebel Intertency Wall

Floor Areas:

Lot 100 o/frame: 89.19 m²
Lot 101 o/frame: 75.67 m²

Lot 103 o/frame: 75.67 m²
Lot 104 o/frame: 89.19 m²

Cladding Key:

- AAC Panel
- Aluminium Flashclad

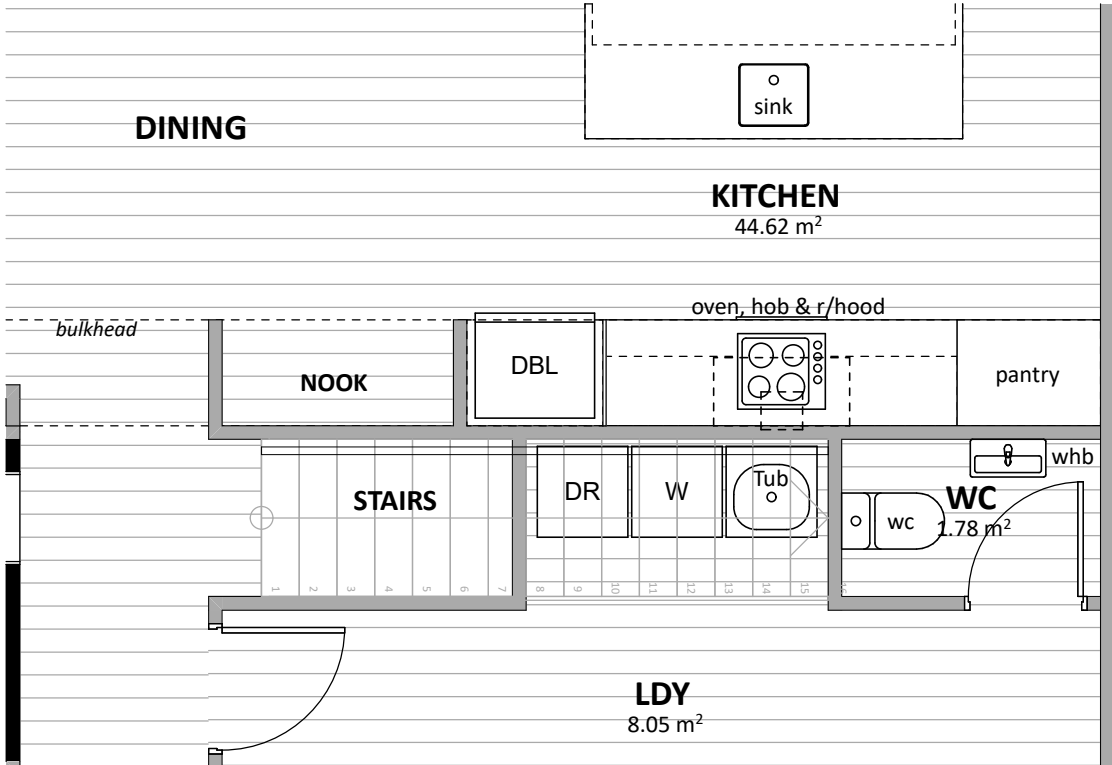
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Signature Date

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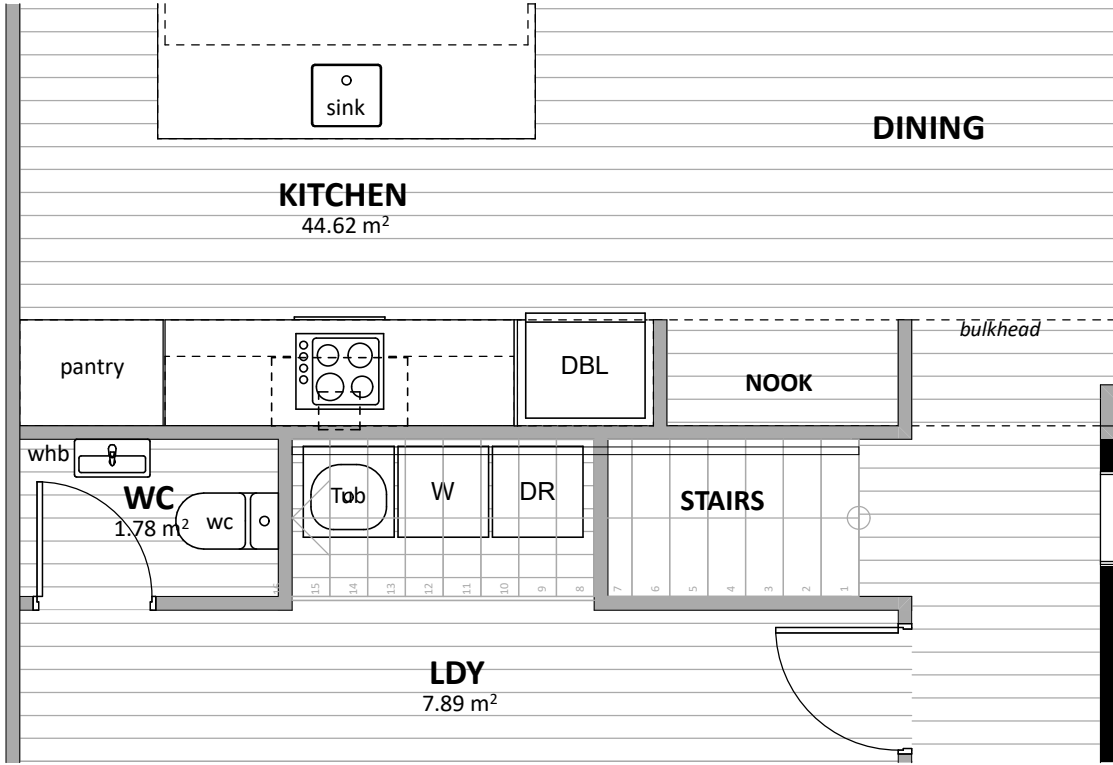
Barrett Homes

Project No:	PS100-104	Designed:	CY	Wind:	HIGH	Drawing:	FIRST FLOOR PLAN	Date:	25/06/2025
Plan:	NEW DESIGN	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
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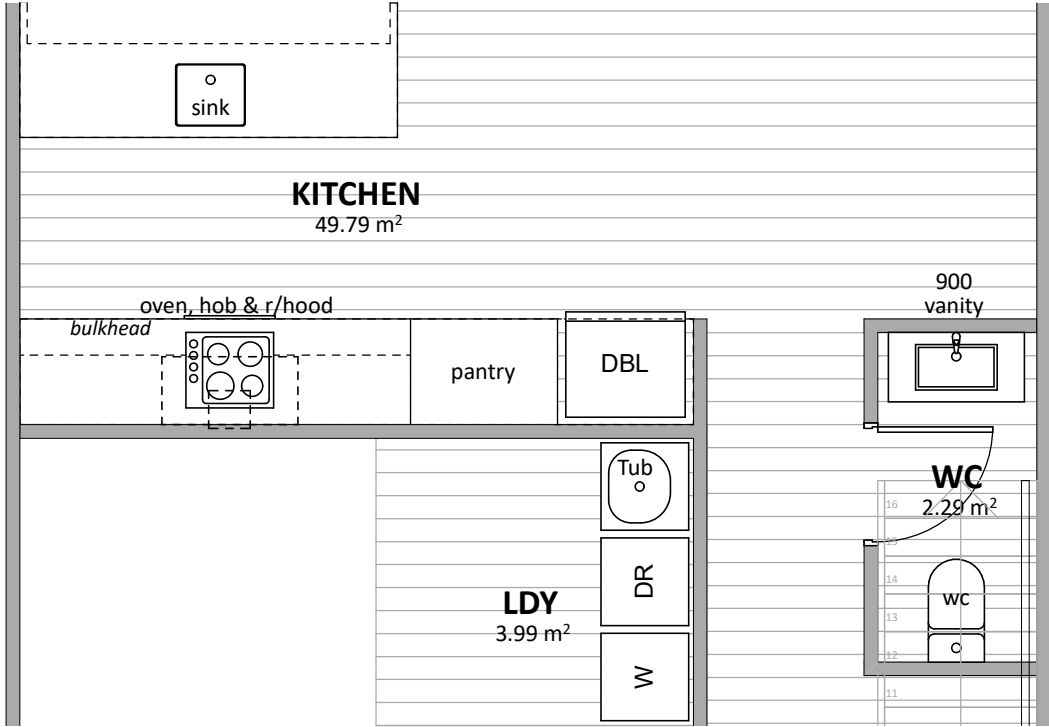
LOT 100 GROUND FLOOR WET AREAS

SCALE 1:50



LOT 104 GROUND FLOOR WET AREAS



SCALE 1:50



LOTS 101-103 GROUND FLOOR WET AREAS

SCALE 1:50

Floor Types Key:

 = Vinyl Floor  = Tiled Floor

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

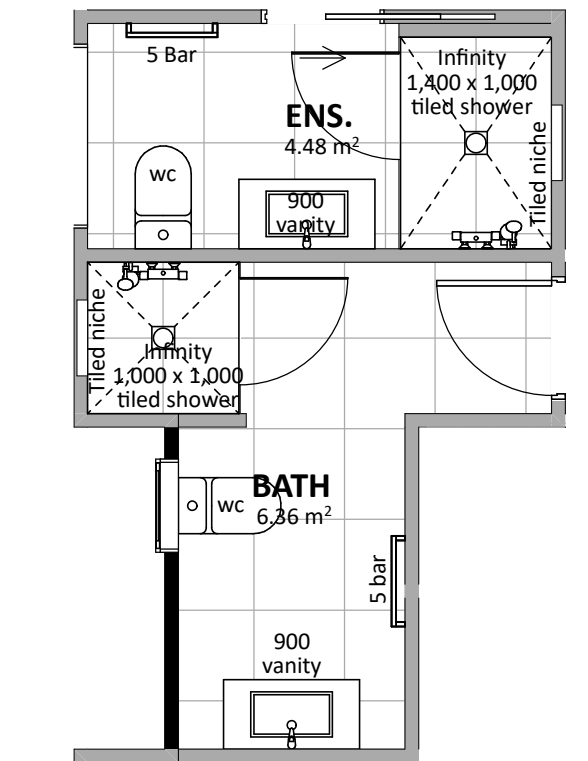
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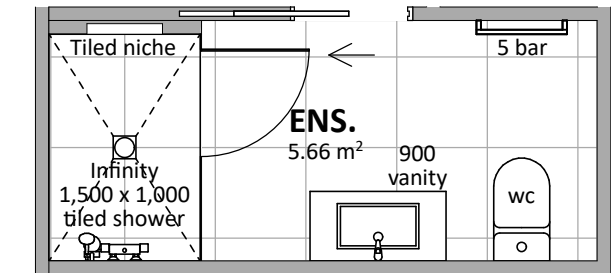
Barrett Homes

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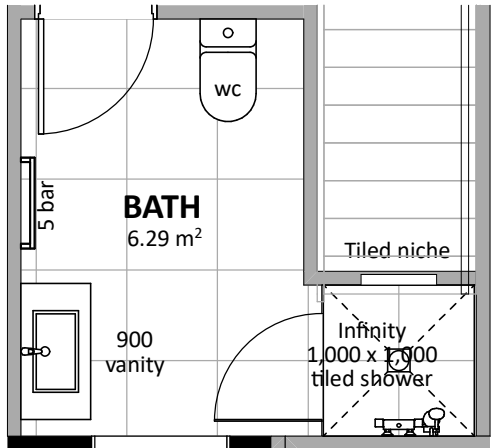
LOT 100 FIRST FLOOR WET AREAS

SCALE 1:50



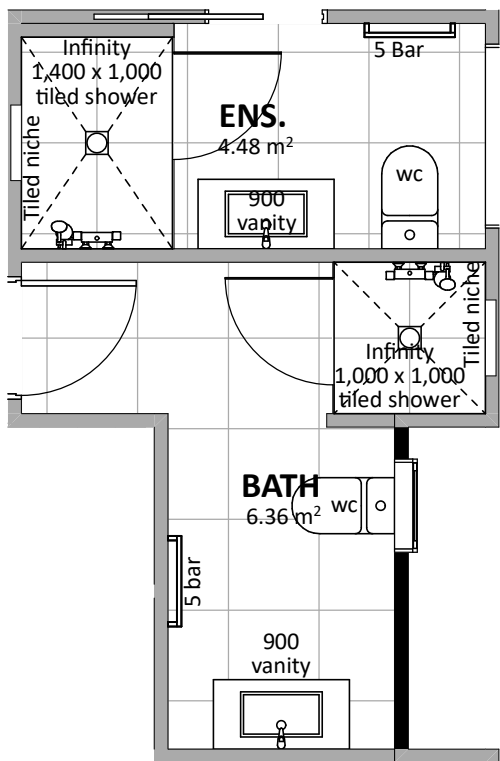
LOTS 101-103 FIRST FLOOR ENSUITE

SCALE 1:50



LOTS 101-103 FIRST FLOOR BATHROOM

SCALE 1:50





LOT 104 FIRST FLOOR WET AREAS

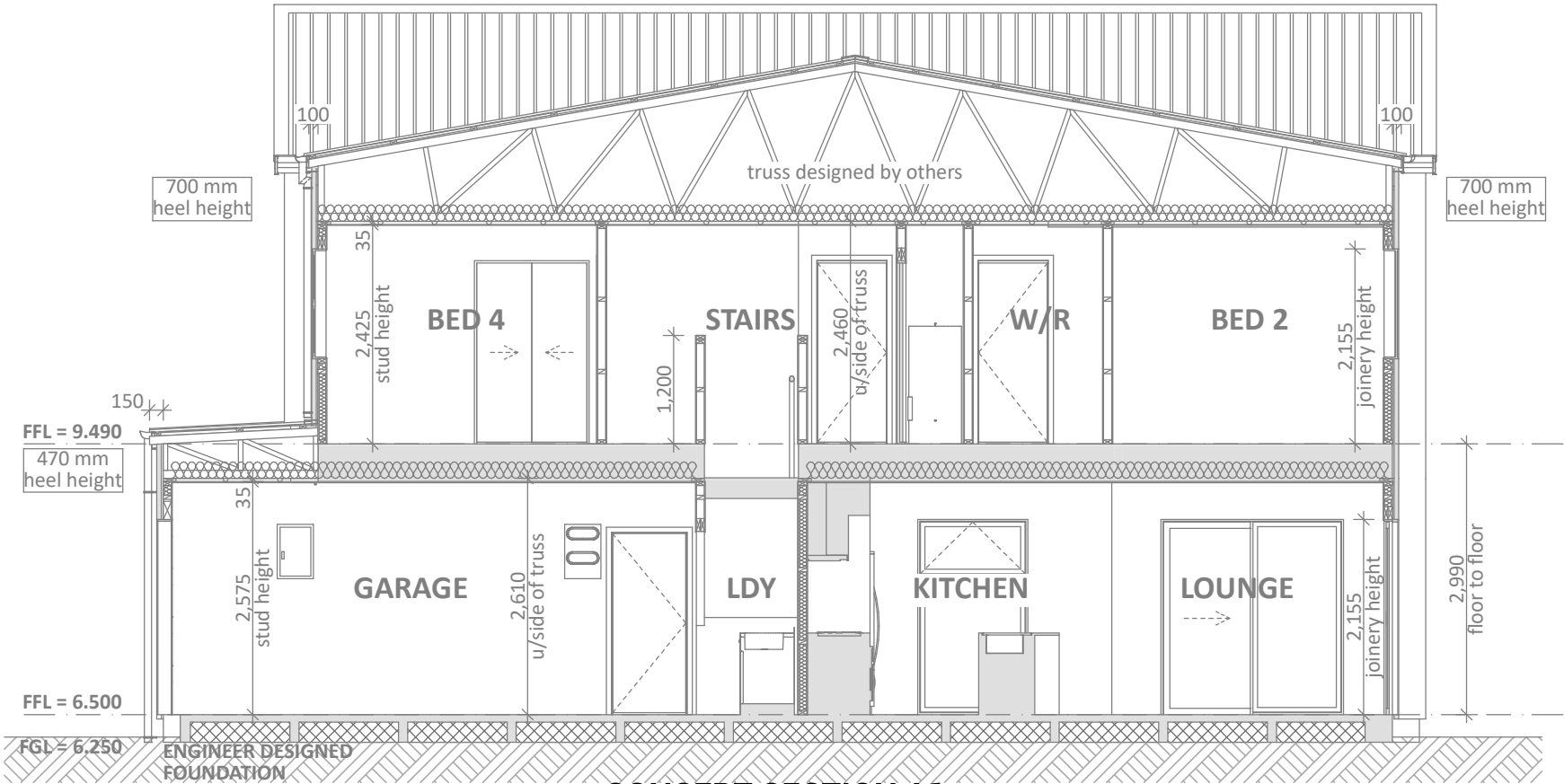
SCALE 1:50



Barrett Homes

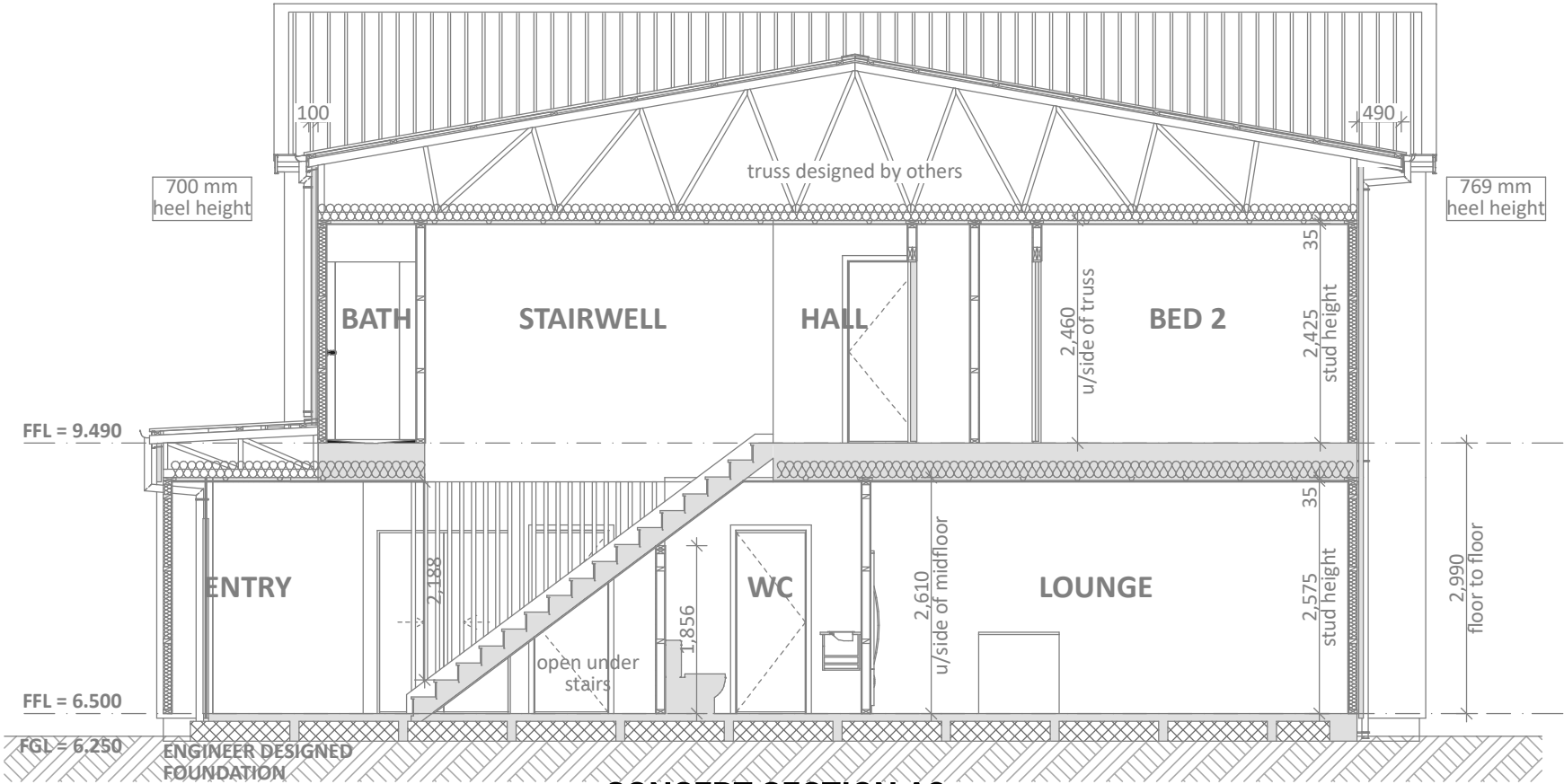
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				Council:	TCC		PALM SPRINGS, STAGE 17B, PAPAMOA	Scale:	1:50

Floor Types Key:	
	= Vinyl Floor
	= Tiled Floor
CONCEPT PLAN APPROVAL (confirmation to consent drawings)	
<u>Signature</u>	<u>Date</u>
CONCEPT ONLY MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS	



CONCEPT SECTION A1

SCALE 1:75



CONCEPT SECTION A2

SCALE 1:75

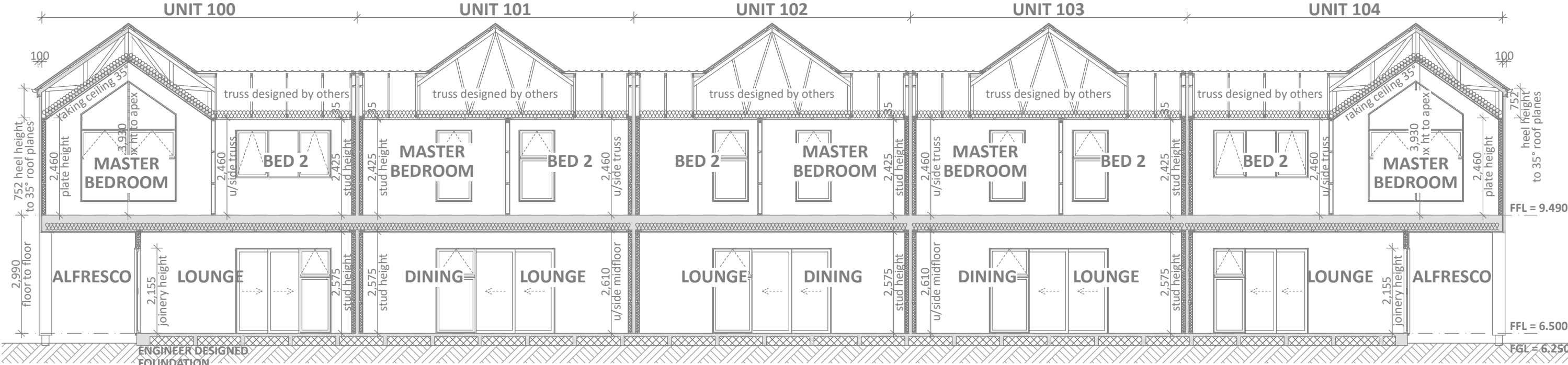
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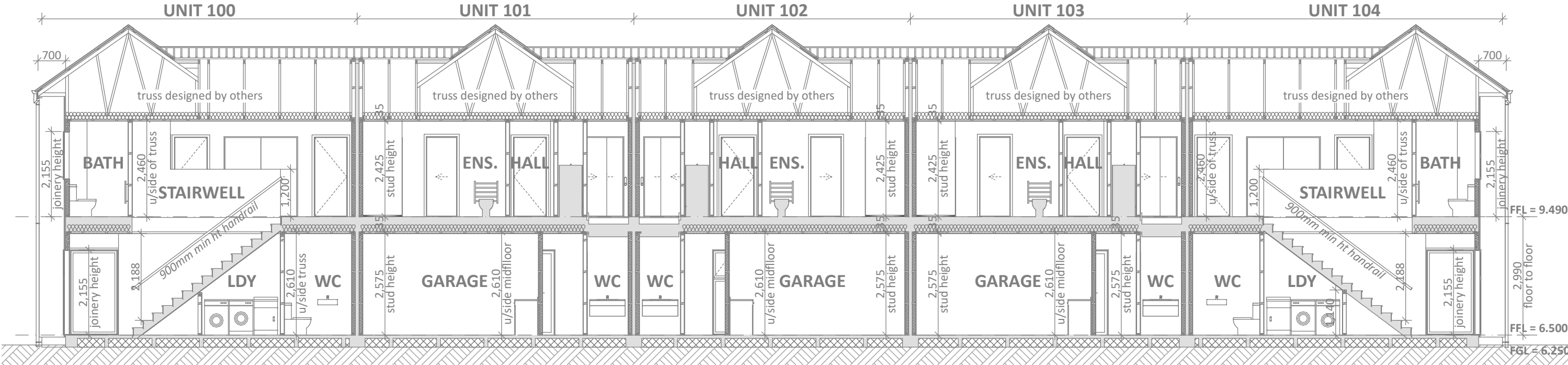


Barrett Homes

Project No: PS100-104	Designed: CY	Wind: HIGH	Drawing: CROSS SECTIONS	Date: 25/06/2025
Plan: NEW DESIGN	Drawn: -	EQ: 1	Client Name: BARRETT HOMES (BAY OF PLENTY) LTD	Rev:
Version: 1.1	Checked: CY	Exposure: C	Site Address: LOTS 100-104, 89-97 PALLIDA CRESCENT	Sheet: 9
		Council: TCC	PALM SPRINGS, STAGE 17B, PAPAMOA	Scale: 1:75



CONCEPT SECTION B1
SCALE 1:100



CONCEPT SECTION B2
SCALE 1:100

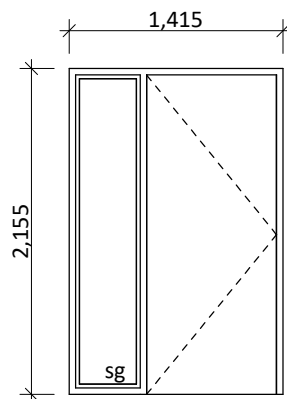
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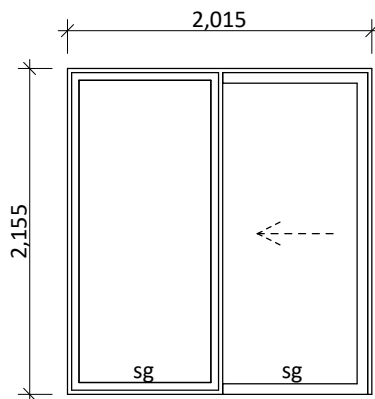


Barrett Homes

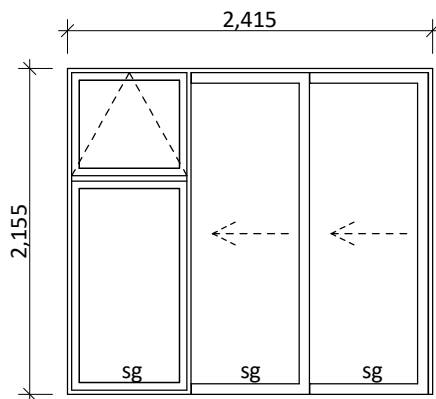
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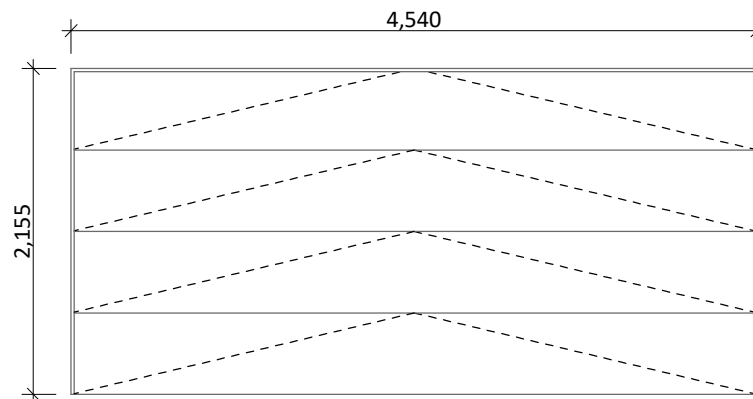
1.D-01
Rebated joinery
860 door leaf



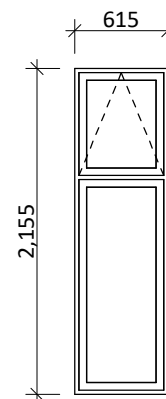
1.D-02
Rebated joinery



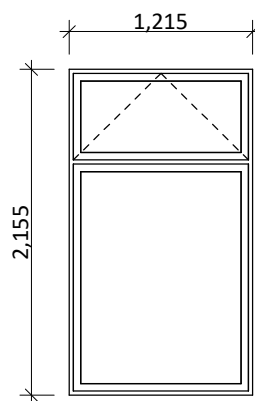
1.D-03
Rebated joinery



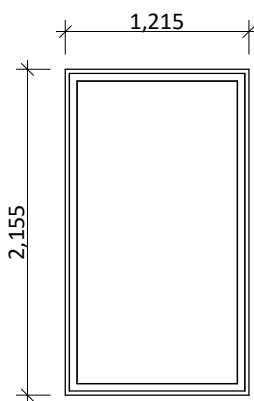
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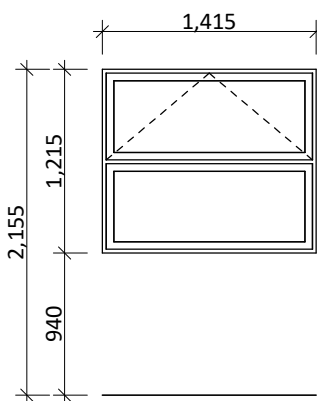
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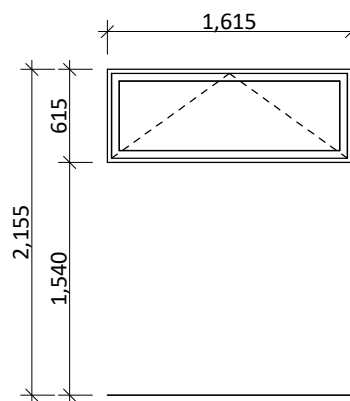
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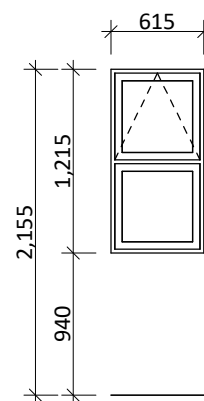
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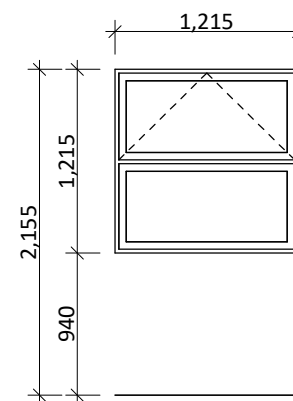
1.W-04, 1.W-05
safety stays



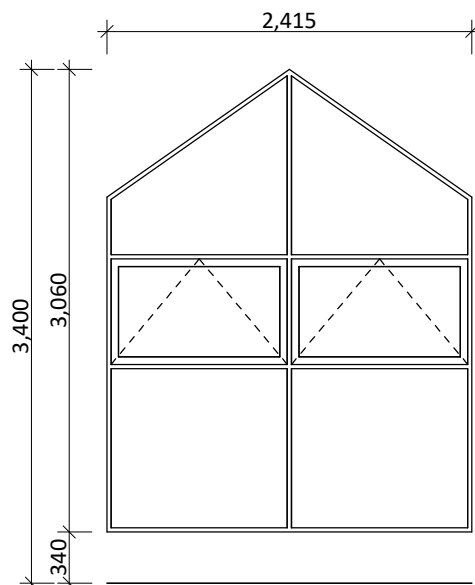
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safety stays



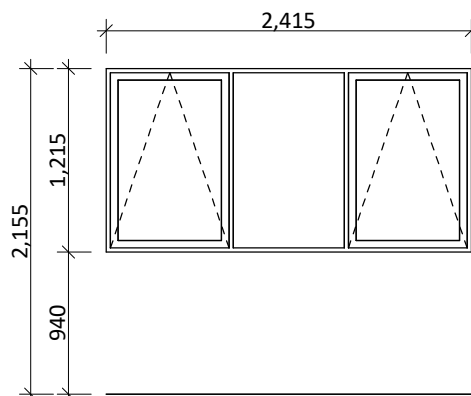
1.W-07
obsc/sg
safety stays



1.W-08
obsc/sg
safety stays



1.W-09
safety stays



1.W-10
safety stays

General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

Thermally improved double glazing to all window and door joinery excluding garage joinery.

Glazing in accordance with NZS 4223 & 2016 amendments.

All glazing clear float unless noted anywhere, (refer to joinery schedule)

- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.

- Doors with glazing area > 0.75m² = safety glass

- Doors with glazing area < 0.75m² = 5mm annealed

- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.

sg = Safety glass as required by standards, joinery manufacturer to take precedence

ss = Safety stays (in accordance with NZBC:F4 clause 2.0)

obsc = Obscure glass

REBATED JOINERY

Rebated joinery sizes are to be confirmed with joinery manufacturer.

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

Signature

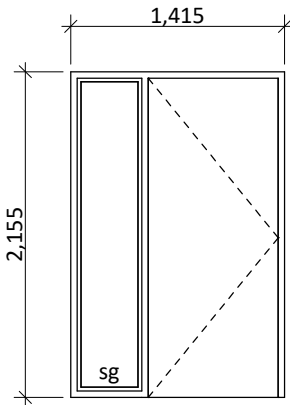
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CONCEPT ONLY

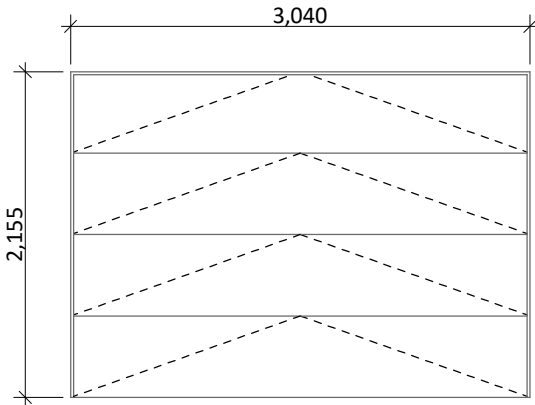
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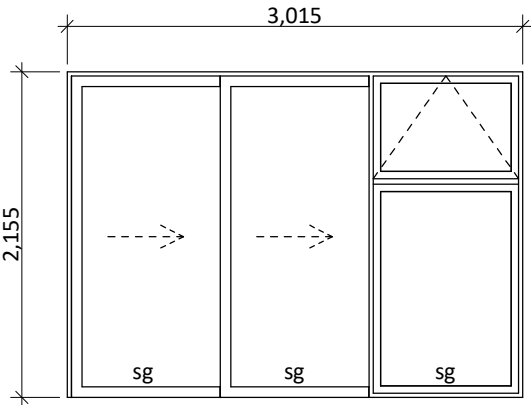
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Plan:	NEW DESIGN	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOTS 100-104, 89-97 PALLIDA CRESCENT	Sheet:	11
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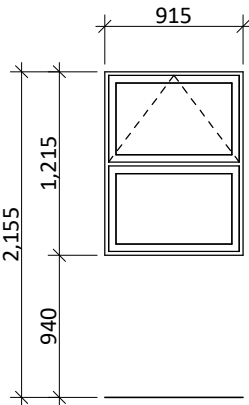
2.D-01
Rebated joinery
860 door leaf



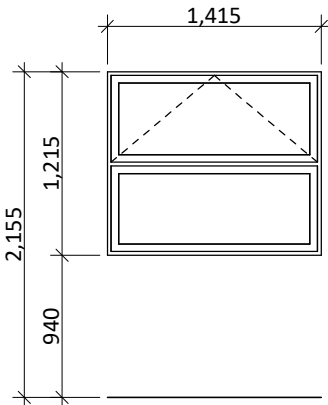
2.D-02



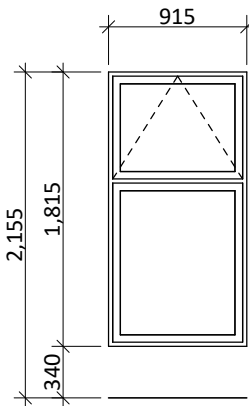
2.D-03
Rebated joinery



2.W-01
safety stays



2.W-02
safety stays



2.W-03, 2.W-04

General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

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- Glazing in accordance with NZS 4223 & 2016 amendments.
All glazing clear float unless noted anywhere, (refer to joinery schedule)
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ss = Safety stays (in accordance with NZBC:F4 clause 2.0)
obsc = Obscure glass

REBATED JOINERY

Rebated joinery sizes are to be confirmed with joinery manufacturer.



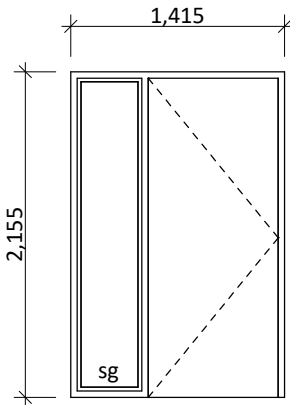
Barrett Homes

Project No:	PS100-104	Designed:	CY	Wind:	HIGH	Drawing:	JOINERY SCHEDULE - LOT 101	Date:	25/06/2025
Plan:	NEW DESIGN	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOTS 100-104, 89-97 PALLIDA CRESCENT	Sheet:	12
				Council:	TCC		PALM SPRINGS, STAGE 17B, PAPAMOA	Scale:	1:50

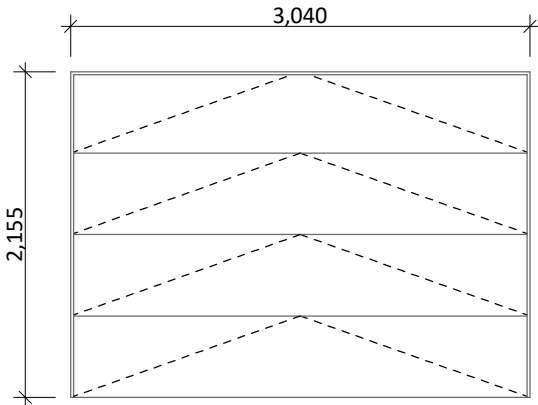
CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

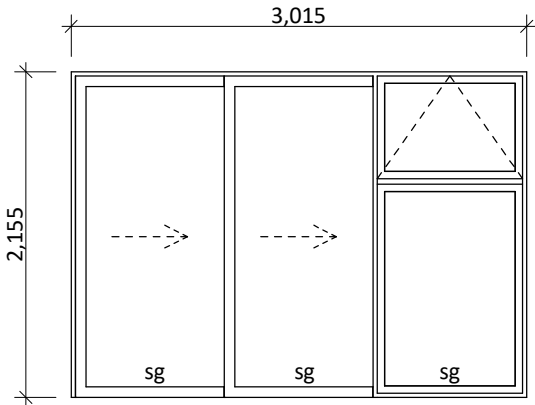
Date



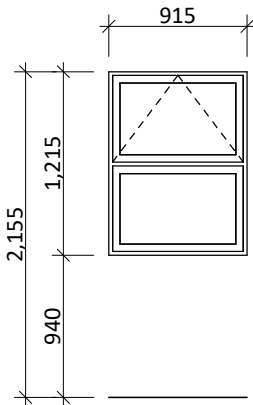
3.D-01
Rebated joinery
860 door leaf



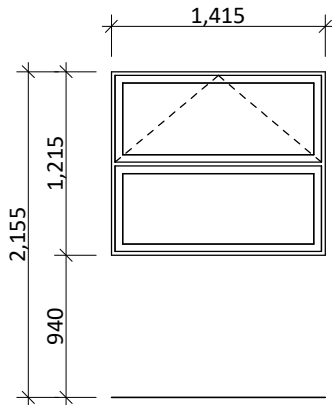
3.D-02



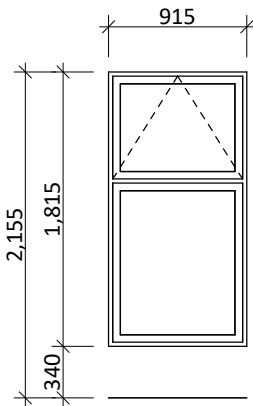
3.D-03
Rebated joinery



3.W-01
safety stays



3.W-02
safety stays



3.W-03, 3.W-04

General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

Thermally improved double glazing to all window and door joinery excluding garage joinery.

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ss = Safety stays (in accordance with NZBC:F4 clause 2.0)
obsc = Obscure glass

REBATED JOINERY

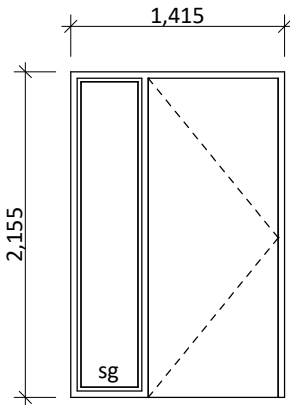
Rebated joinery sizes are to be confirmed with joinery manufacturer.

CONCEPT PLAN APPROVAL (confirmation to consent drawings)	
<u>Signature</u>	<u>Date</u>
CONCEPT ONLY MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS	

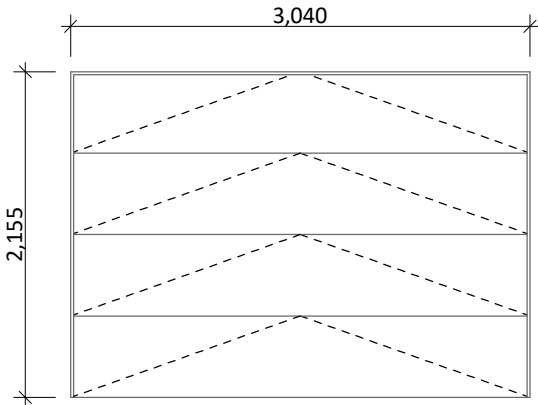


Barrett Homes

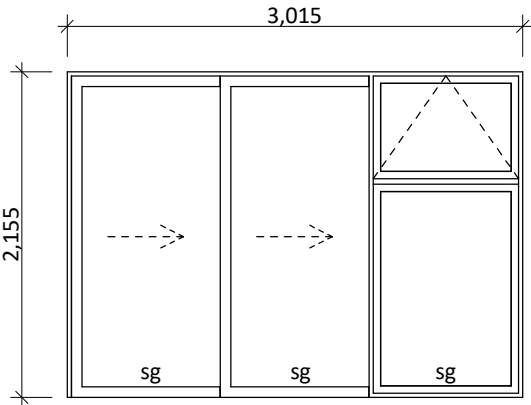
Project No:	PS100-104	Designed:	CY	Wind:	HIGH	Drawing:	JOINERY SCHEDULE - LOT 102	Date:	25/06/2025
Plan:	NEW DESIGN	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOTS 100-104, 89-97 PALLIDA CRESCENT	Sheet:	13
				Council:	TCC		PALM SPRINGS, STAGE 17B, PAPAMOA	Scale:	1:50



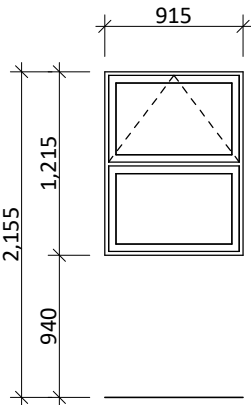
4.D-01
Rebated joinery
860 door leaf



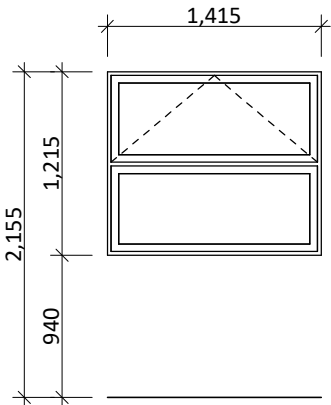
4.D-02



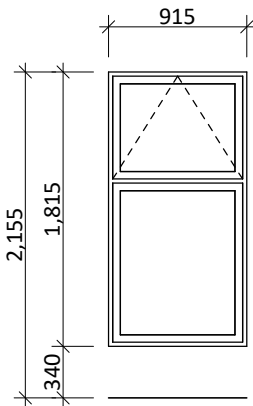
4.D-03
Rebated joinery



4.W-01
safety stays



4.W-02
safety stays



4.W-03, 4.W-04

General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

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obsc = Obscure glass

REBATED JOINERY

Rebated joinery sizes are to be confirmed with joinery manufacturer.

CONCEPT PLAN APPROVAL

(confirmation to consent drawings)

Signature

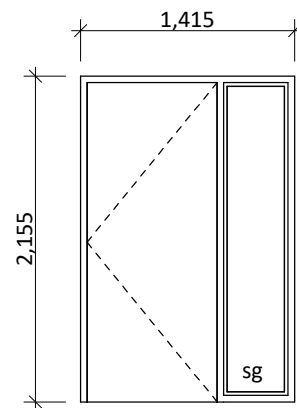
Date

CONCEPT ONLY

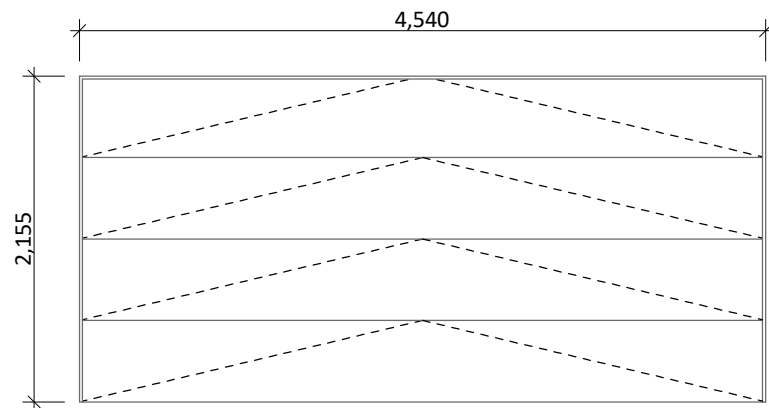
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



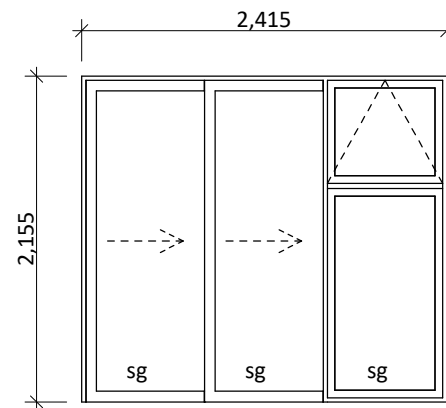
Project No:	PS100-104	Designed:	CY	Wind:	HIGH	Drawing:	JOINERY SCHEDULE - LOT 103	Date:	25/06/2025
Plan:	NEW DESIGN	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOTS 100-104, 89-97 PALLIDA CRESCENT	Sheet:	14
				Council:	TCC		PALM SPRINGS, STAGE 17B, PAPAMOA	Scale:	1:50



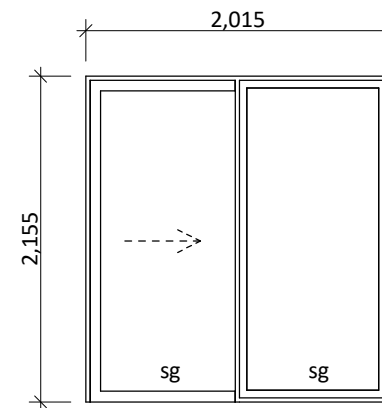
5.D-01
Rebated joinery
860 door leaf



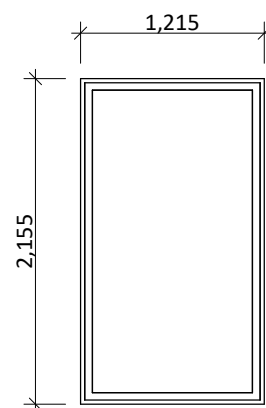
5.D-02



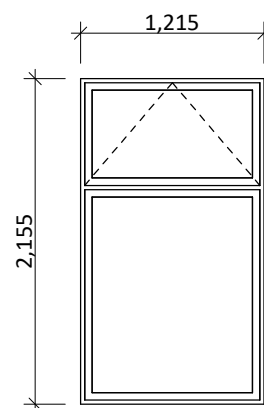
5.D-03
Rebated joinery



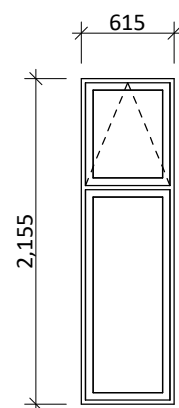
5.D-04
Rebated joinery



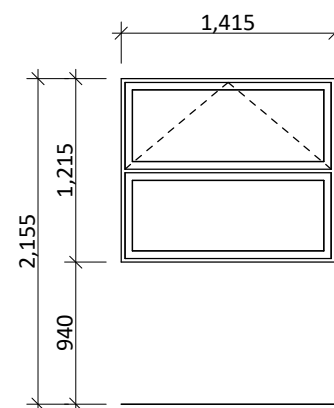
5.W-01



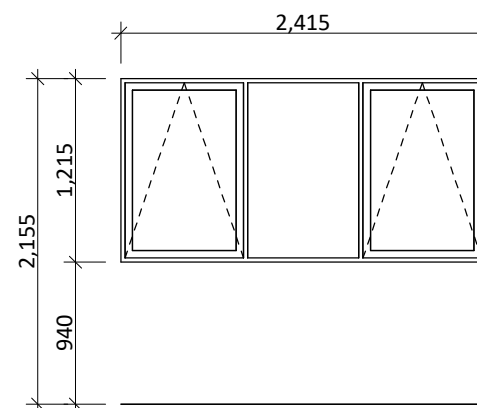
5.W-02



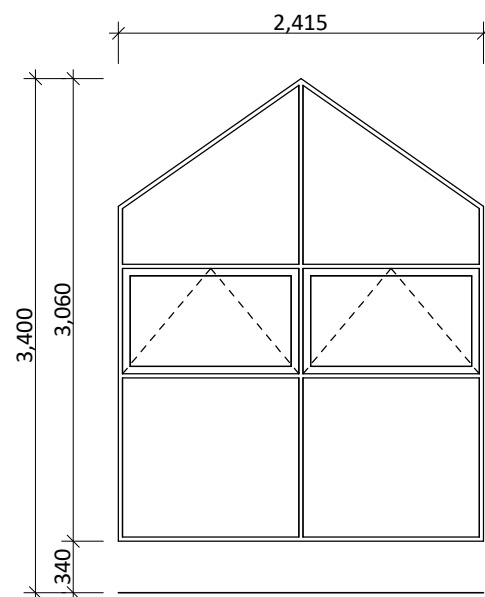
5.W-03



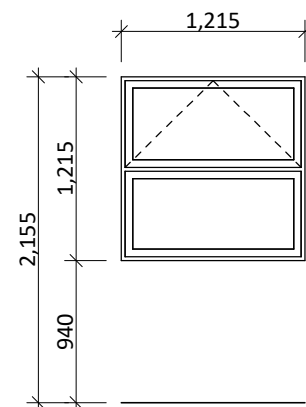
5.W-04, 5.W-05
safety stays



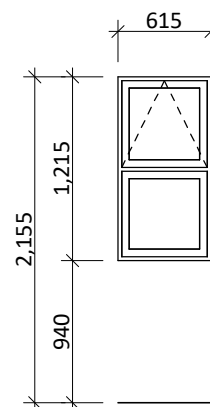
5.W-06
safety stays



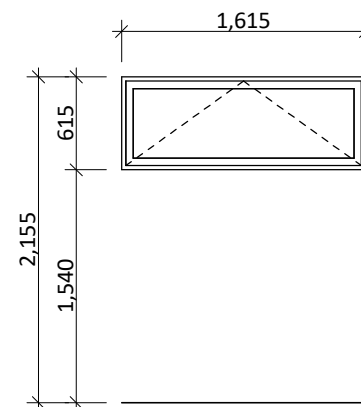
5.W-07
safety stays



5.W-08
obsc/sg
safety stays



5.W-09
obsc/sg
safety stays



5.W-10
safety stays

General notes:

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REBATED JOINERY

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CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature Date

CONCEPT ONLY
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Barrett Homes

Project No: PS100-104	Designed: CY	Wind: HIGH	Drawing: JOINERY SCHEDULE - LOT 104	Date: 25/06/2025
Plan: NEW DESIGN	Drawn: -	EQ: 1	Client Name: BARRETT HOMES (BAY OF PLENTY) LTD	Rev:
Version: 1.1	Checked: CY	Exposure: C	Site Address: LOTS 100-104, 89-97 PALLIDA CRESCENT	Sheet: 15
	design@barrethomes.co.nz	Council: TCC	PALM SPRINGS, STAGE 17B, PAPAMOA	Scale: 1:50