



Barrett Homes

Welcome to the *whānau*.

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NEW DWELLING FOR:  
BARRETT HOMES (BAY OF PLENTY) LTD

ADDRESS:  
LOT 10, 132B HASTINGS ROAD  
PYES PA, TAURANGA

**CONCEPT PLAN APPROVAL** (confirmation to consent drawings)

Signature

Date

**CONCEPT ONLY**  
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

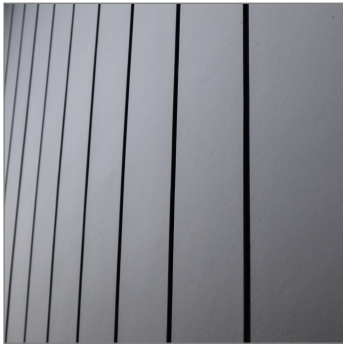


Barrett Homes

Project No:	HR10	Designed:	CY	Wind:	VERY HIGH	Drawing:	COVER SHEET	Date:	13/08/2025
Plan:	HR02 (Alt)	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOT 10, 132B HASTINGS ROAD	Sheet:	
				Council:	TCC		PYES PA, TAURANGA	Scale:	



**Roofing**  
- Longrun roofing - Trapezoidal profile



**Panel cladding**  
Innova Duragroove Smooth wide (400) panel cladding



**Metal cladding**  
- Vertically fixed Colorsteel cladding- trapezoidal



**Joinery**



**Decorative Screen**

Please note that the material images are for illustrative purposes only and may not directly represent the final product.  
For exact details, please refer to the specifiaction.  
\\bh-fs2\Projects\GM Projects\BAY OF PLENTY\Hastings Road\HR10\Concept Plans\1.1\HR10 Concept 1.1.pln  
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Barrett Homes

Project No:	HR10	Designed:	CY	Wind:	VERY HIGH	Drawing:	MATERIALITY	Date:	13/08/2025
Plan:	HR02 (Alt)	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOT 10, 132B HASTINGS ROAD	Sheet:	
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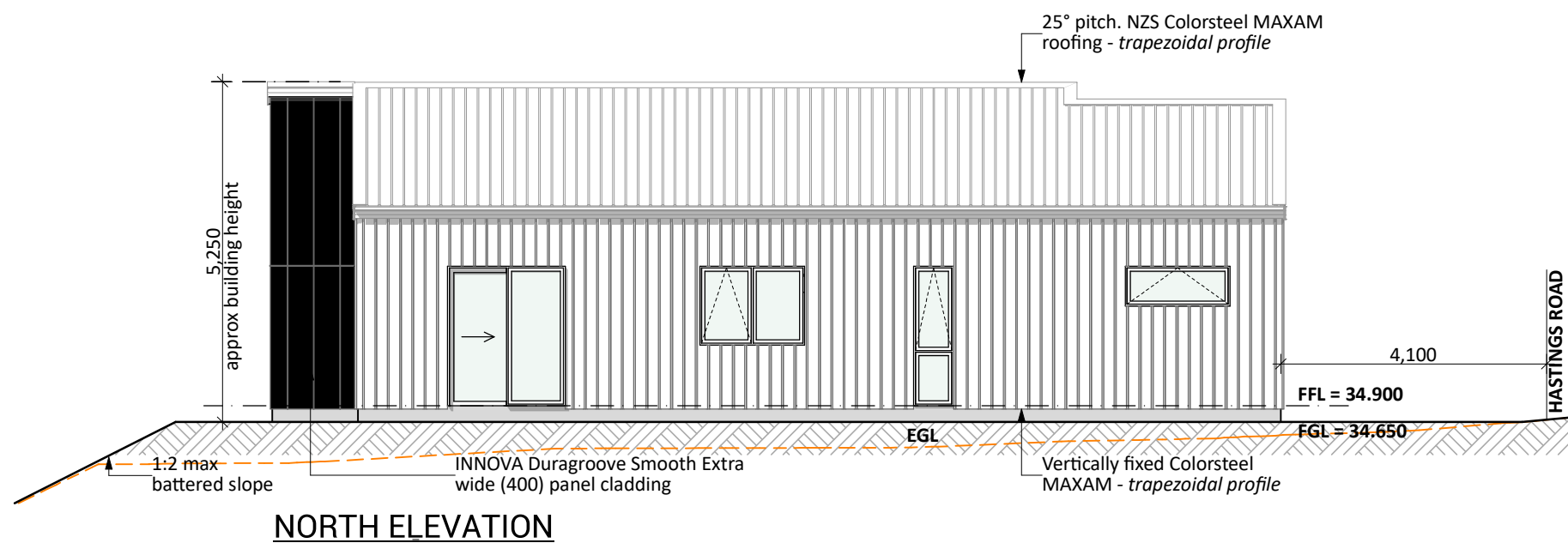
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**General Notes:**  
Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

**NZBC D1/AS1 Access**  
Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2.  
Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

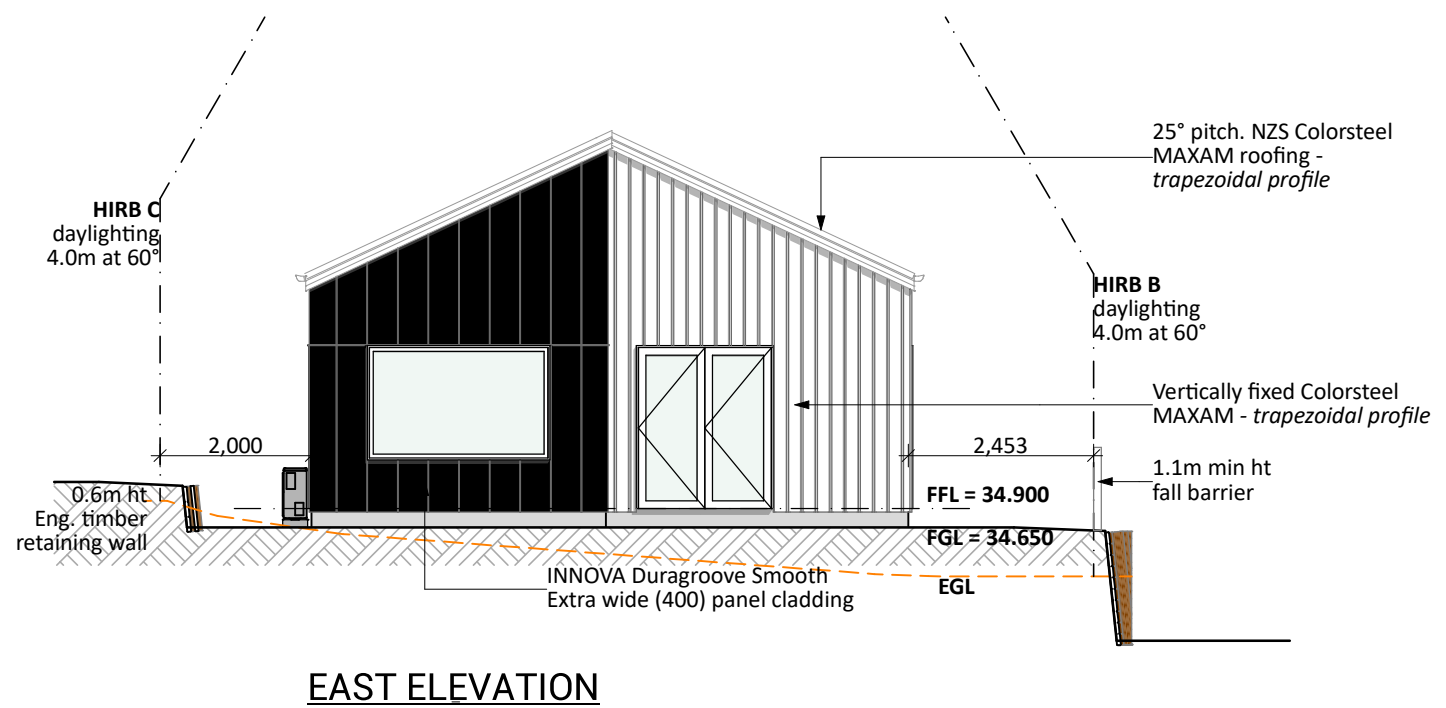
**Foundation:**  
Ribraft floor to Firth specifications (see plan notes and details)

**Wall Cladding:**  
Vertically fixed Colorsteel - trapezoidal  
Innova Duragroove Smooth Extra wide (400) panel cladding

**Roof Cladding:**  
25° pitch. Longrun roofing - *Trapezoidal profile*

**Fascia and Spouting:**  
COLORCOTE fascia and spouting with 80mm Ø Alipipes - powder coated aluminium downpipes

**Joinery:**  
Selected powder coated aluminium joinery with thermally improved Low E double glazing



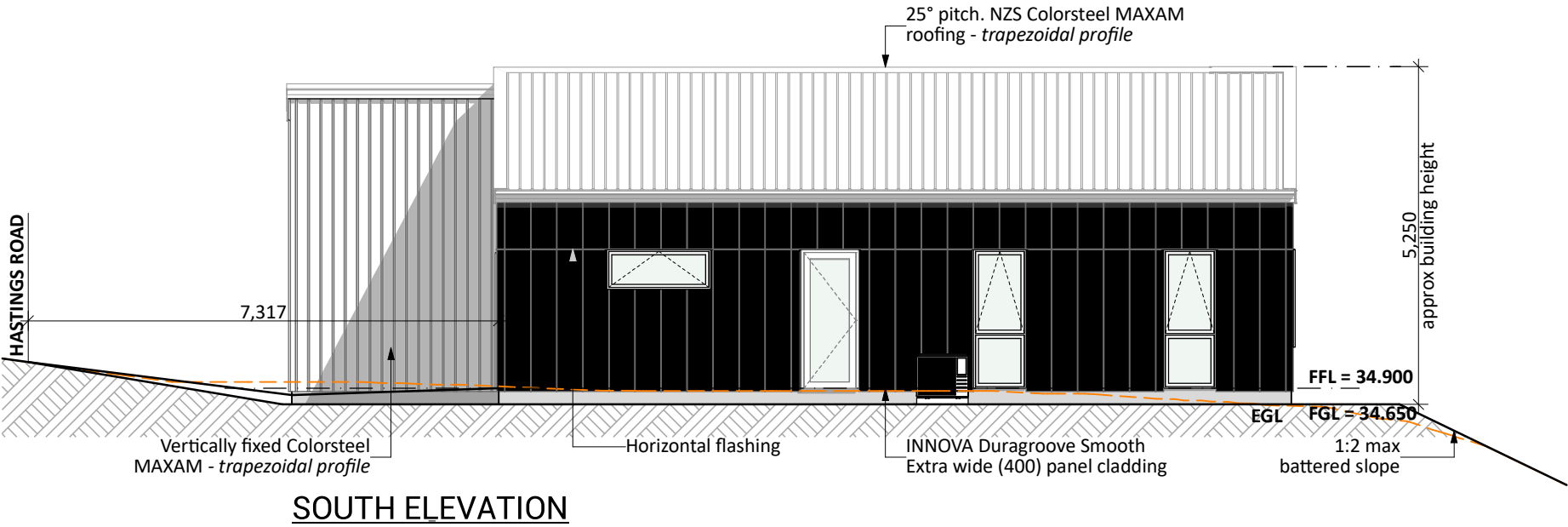
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Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOT 10, 132B HASTINGS ROAD	Sheet:	1
				Council:	TCC		PYES PA, TAURANGA	Scale:	1:100





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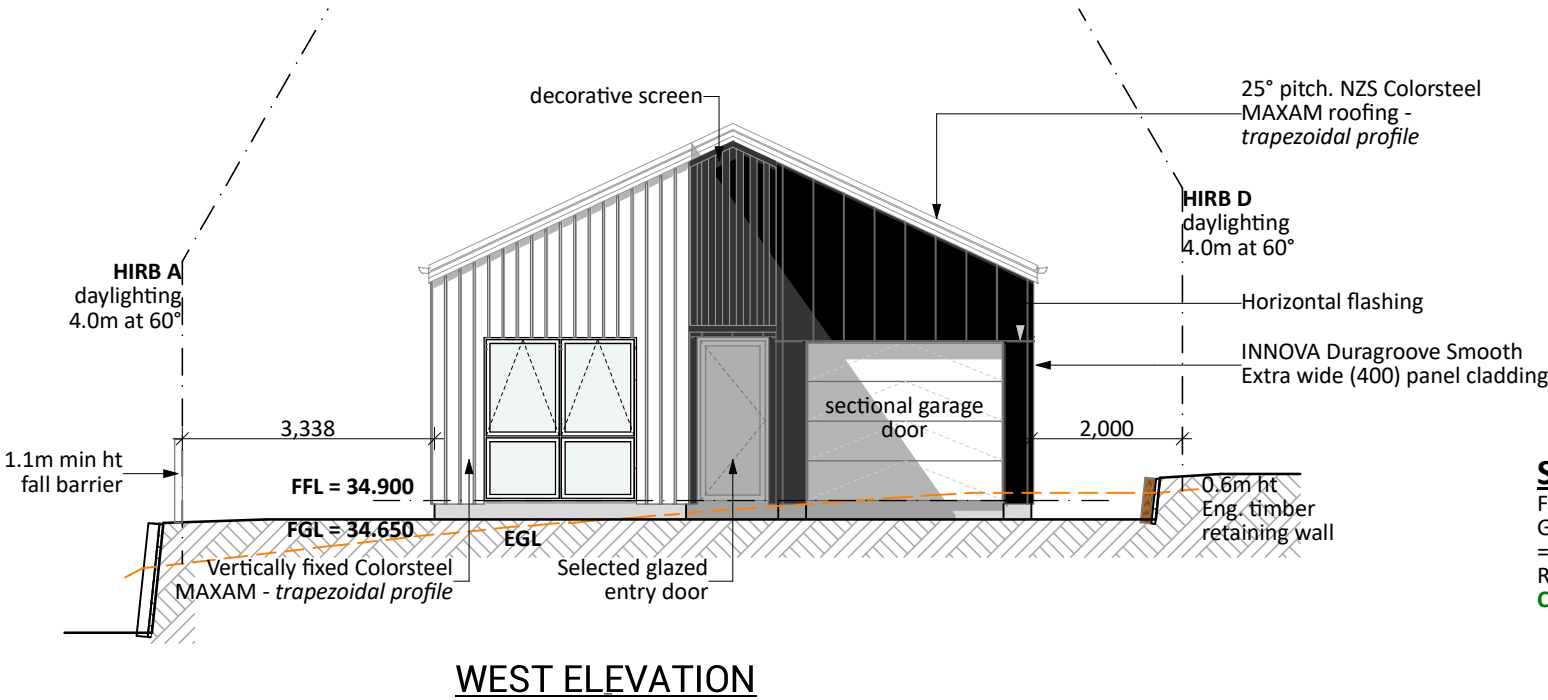
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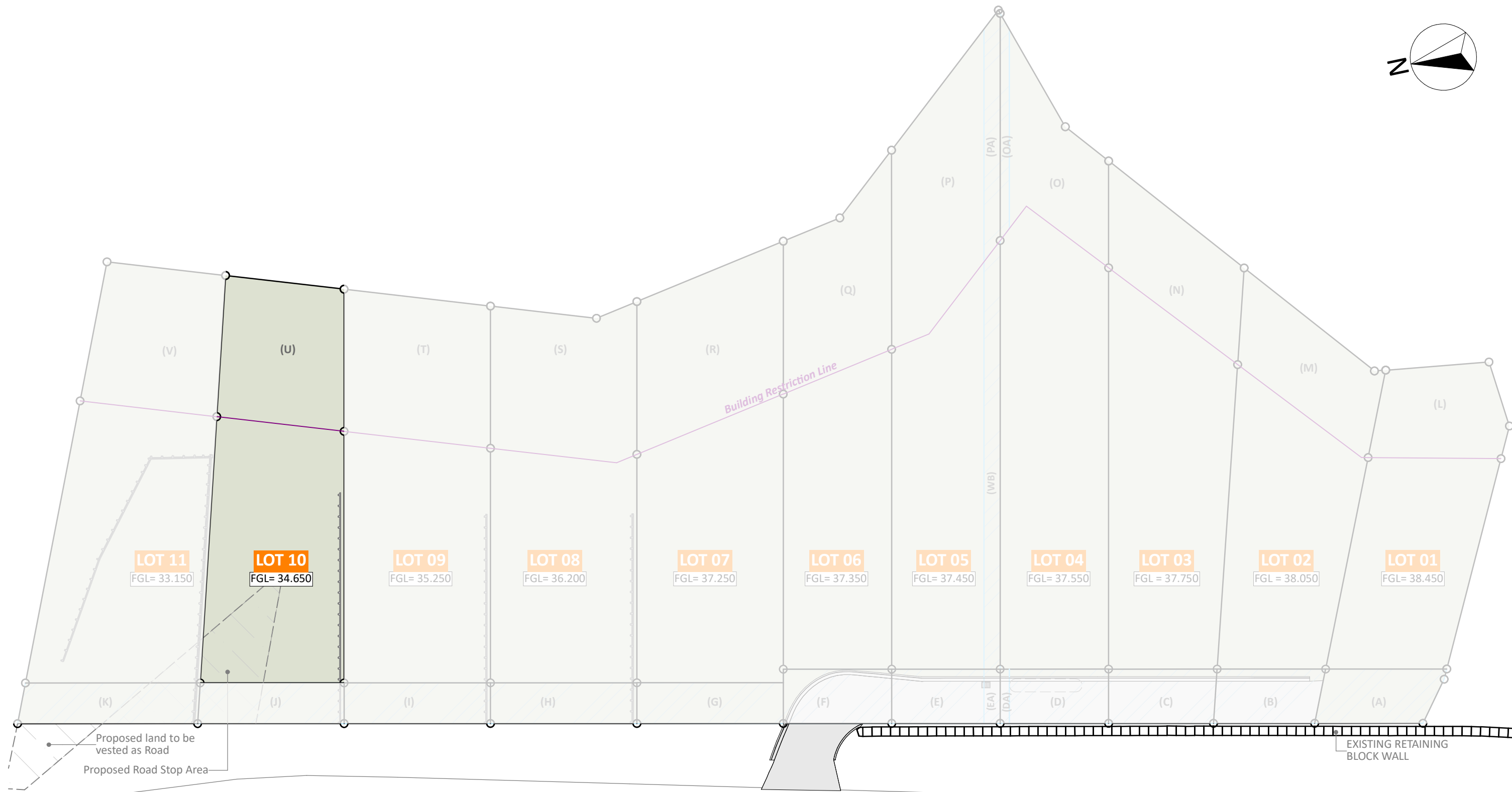
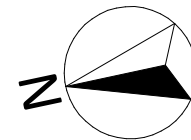
**Street Front Glazing: West Elevation**  
Facade Area: 30.29m<sup>2</sup>  
Glazing Area: 6.38m<sup>2</sup>  
= 21.06%  
Rule 14B.2.10: 20% min. glazing required  
**COMPLIANT**

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Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOT 10, 132B HASTINGS ROAD	Sheet:	2
				Council:	TCC		PYES PA, TAURANGA	Scale:	1:100



# HASTINGS ROAD

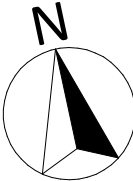
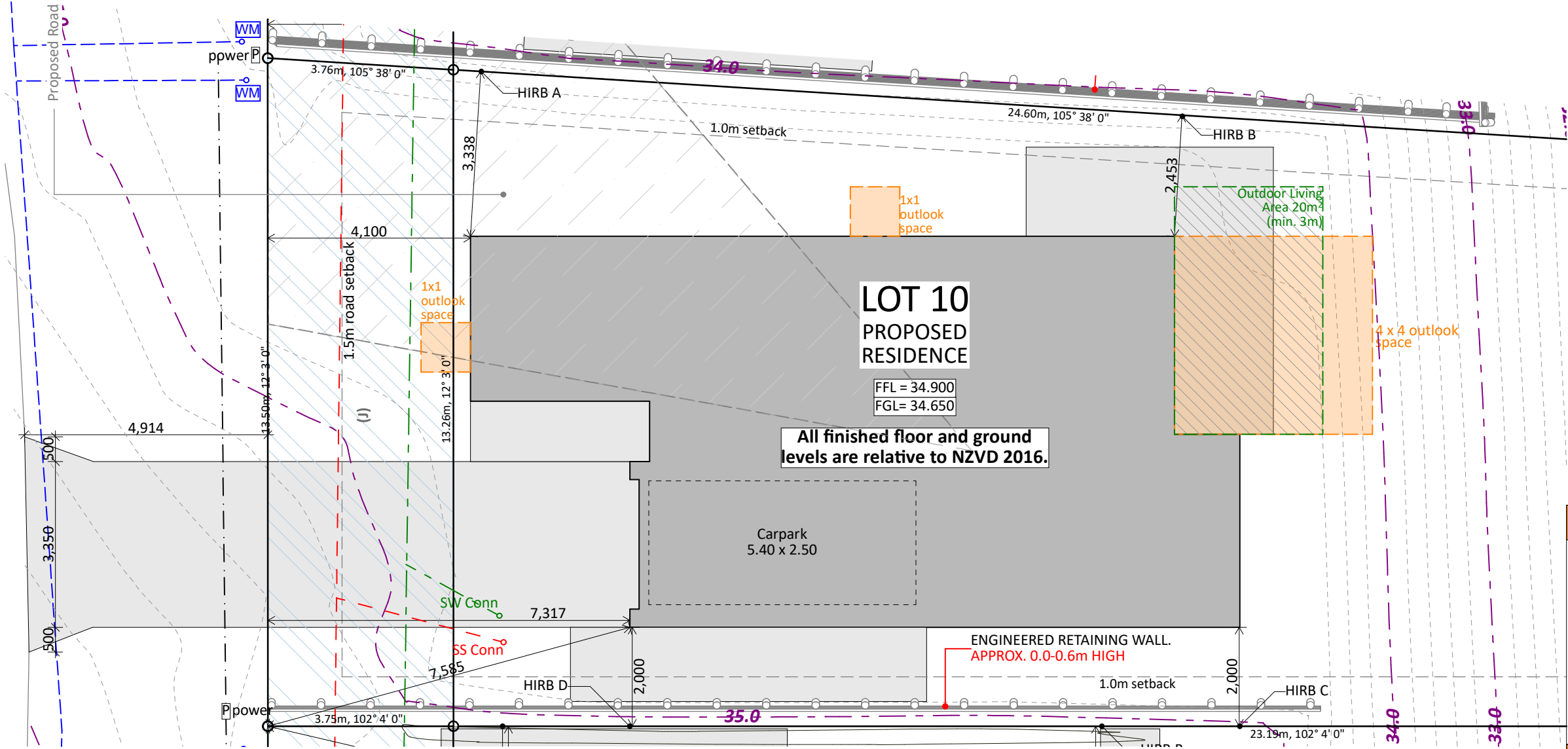
EASEMENT (A, B, C, D, DA, E, EA, F) (Right of way)
EASEMENT (B, C, D, DA, E, EA, F) (Right to convey water, electricity and telecommunications)
EASEMENT (EA, WB, PA) (Right to convey electricity)
EASEMENT (A, B, C, D, DA, E, EA, F, G, H, I, J, K) (Right to drain water and sewage)
LAND COVENANTS (L, M, N, O, P, Q, R, S, T, U, V) (Building Restriction Line)

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Barrett Homes

Project No: HR10	Designed: CY	Wind: VERY HIGH	Drawing: LOCATION PLAN	Date: 13/08/2025
Plan: HR02 (Alt)	Drawn: -	EQ: 1	Client Name: BARRETT HOMES (BAY OF PLENTY) LTD	Rev:
Version: 1.1	Checked: CY	Exposure: C	Site Address: LOT 10, 132B HASTINGS ROAD	Sheet: 3
		Council: TCC	PYES PA, TAURANGA	Scale:



Site Info:

LOT: 10  
DP: 612184  
AREA: 497m²

Site Planning Info:

Planning Zone:  
Medium Density Residential

Yard Setbacks (minimum): (Rules 14B.2.3 & 14B.2.4)  
Front: 1.5m  
Side: 1.0m  
Rear: 1.0m  
**COMPLIANT**

Coverage Calculations:  
Max coverage = 50% (Rule 14B.2.6a)  
Max impervious area = 70% (Rule 14B.2.6b)

Site Coverage:

101.86 m² (Footprint) / 497m² (site area) = 23.47%  
**COMPLIANT**

Impervious areas:  
101.86 m² (Footprint) + 43.12m² (Impervious area)  
/ 497m² (site area) = 30.58%  
**COMPLIANT**

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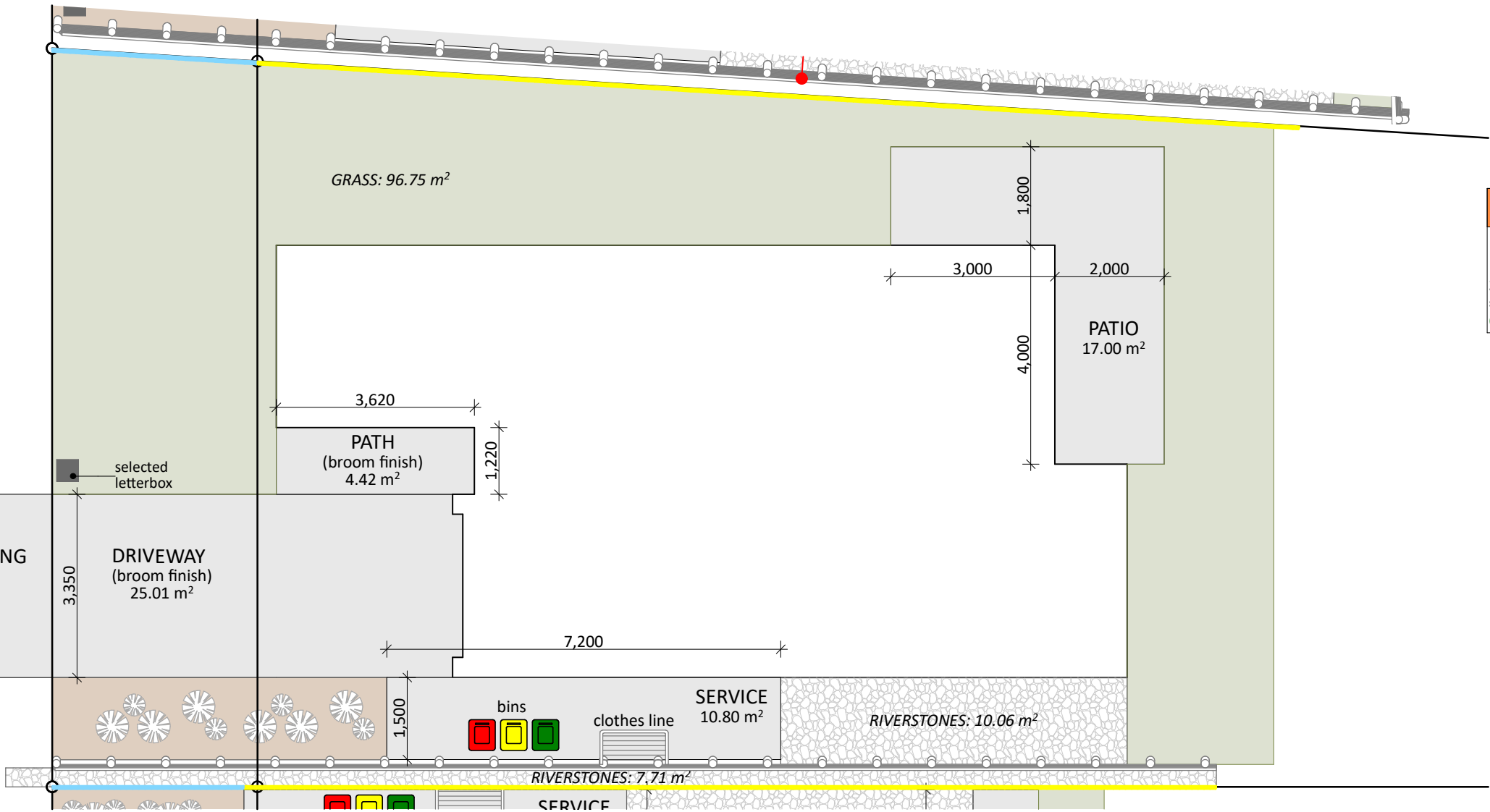
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Project No:	HR10	Designed:	CY	Wind:	VERY HIGH	Drawing:	SITE PLAN	Date:	13/08/2025
Plan:	HR02 (Alt)	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOT 10, 132B HASTINGS ROAD	Sheet:	4
				Council:	TCC		PYES PA, TAURANGA	Scale:	1:100

HASTINGS ROAD



LANDSCAPING KEY:

- GRASS
- MULCH
- CONCRETE (broom finish)
- RIVERSTONE (or similar)
- HEDGE/SELECTED PLANTINGS
- 1.8m NEIGHBOUR FRIENDLY FENCE
- 1.2m NEIGHBOUR FRIENDLY FENCE

Landscaping Area:

Minimum = 20% (Rule 14B.2.11a)

337.91m<sup>2</sup> (Landscaped Area) / 497m<sup>2</sup> (site area)

= 67.98%

COMPLIANT

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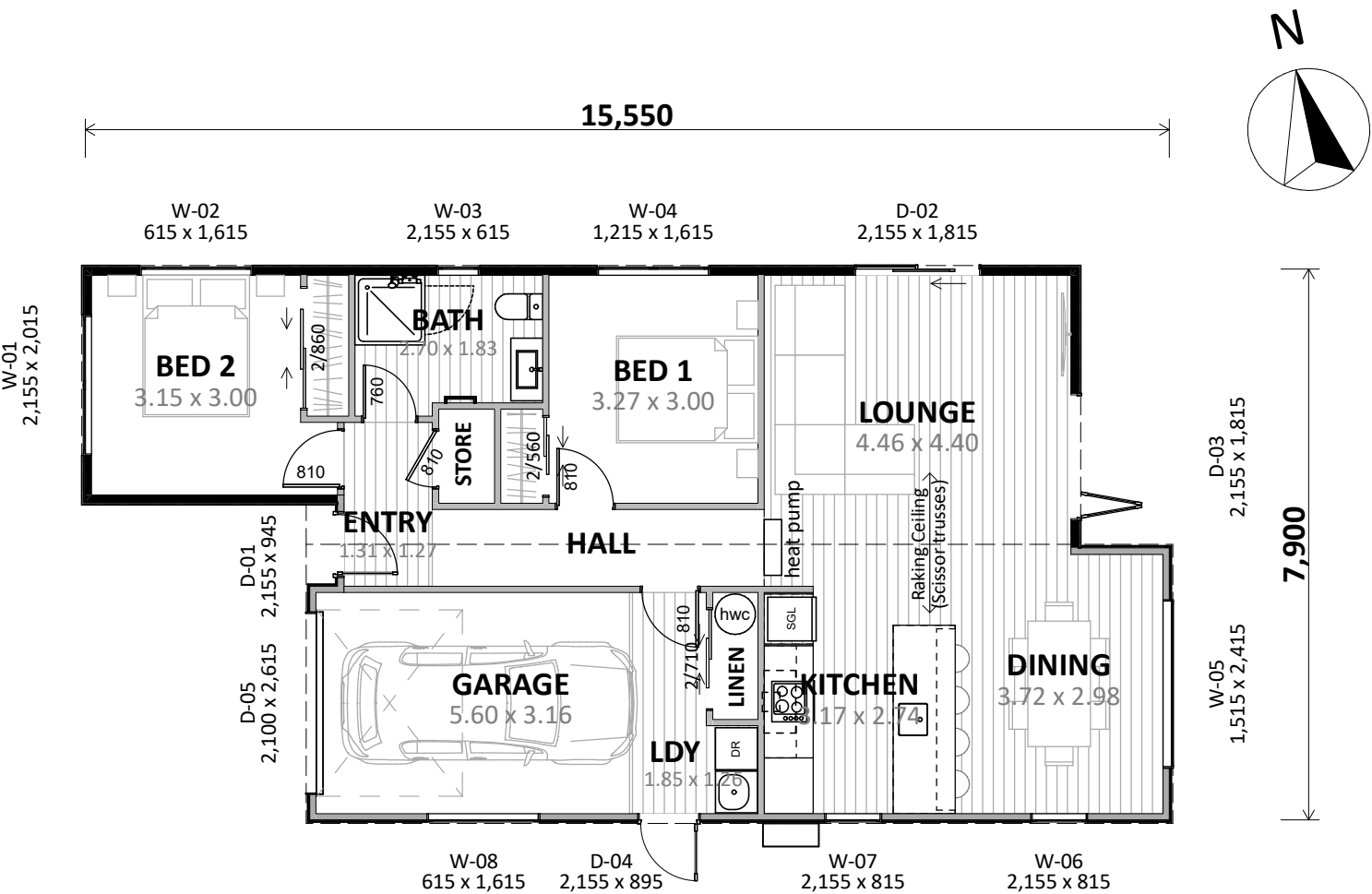


Barrett Homes

Project No:	HR10	Designed:	CY	Wind:	VERY HIGH	Drawing:	LANDSCAPING PLAN	Date:	13/08/2025
Plan:	HR02 (Alt)	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOT 10, 132B HASTINGS ROAD	Sheet:	5
				Council:	TCC		PYES PA, TAURANGA	Scale:	1:100



Project No:	HR10	Designed:	CY	Wind:	VERY HIGH	Drawing:	CONCEPT PLAN	Date:	13/08/2025
Plan:	HR02 (Alt)	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOT 10, 132B HASTINGS ROAD	Sheet:	6
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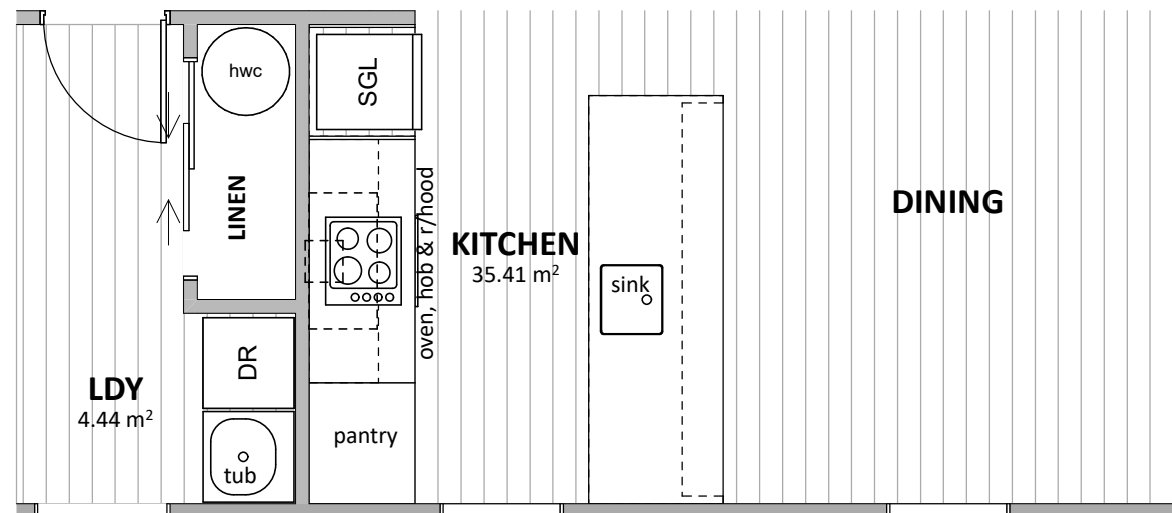


Plan Notes:  
2.425 Stud height throughout  
All joinery 2155 head height  
Raking ceiling to Kitchen, Dining & Lounge (Scissor Trusses)

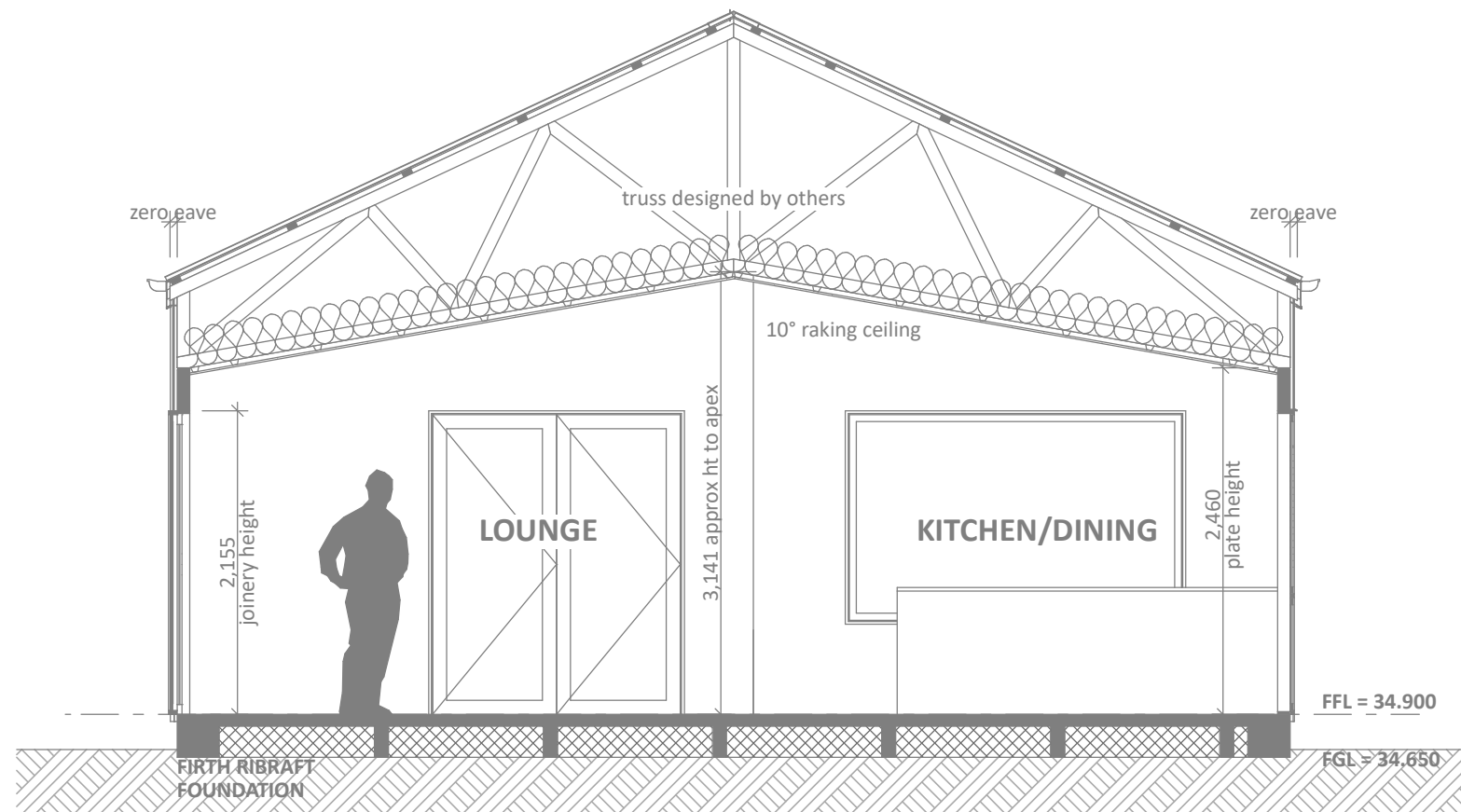
Floor Area:
Area o/frame: 101.86 m <sup>2</sup>
Cladding Key:
Vert Profiled Metal
INNOVA Duragroove

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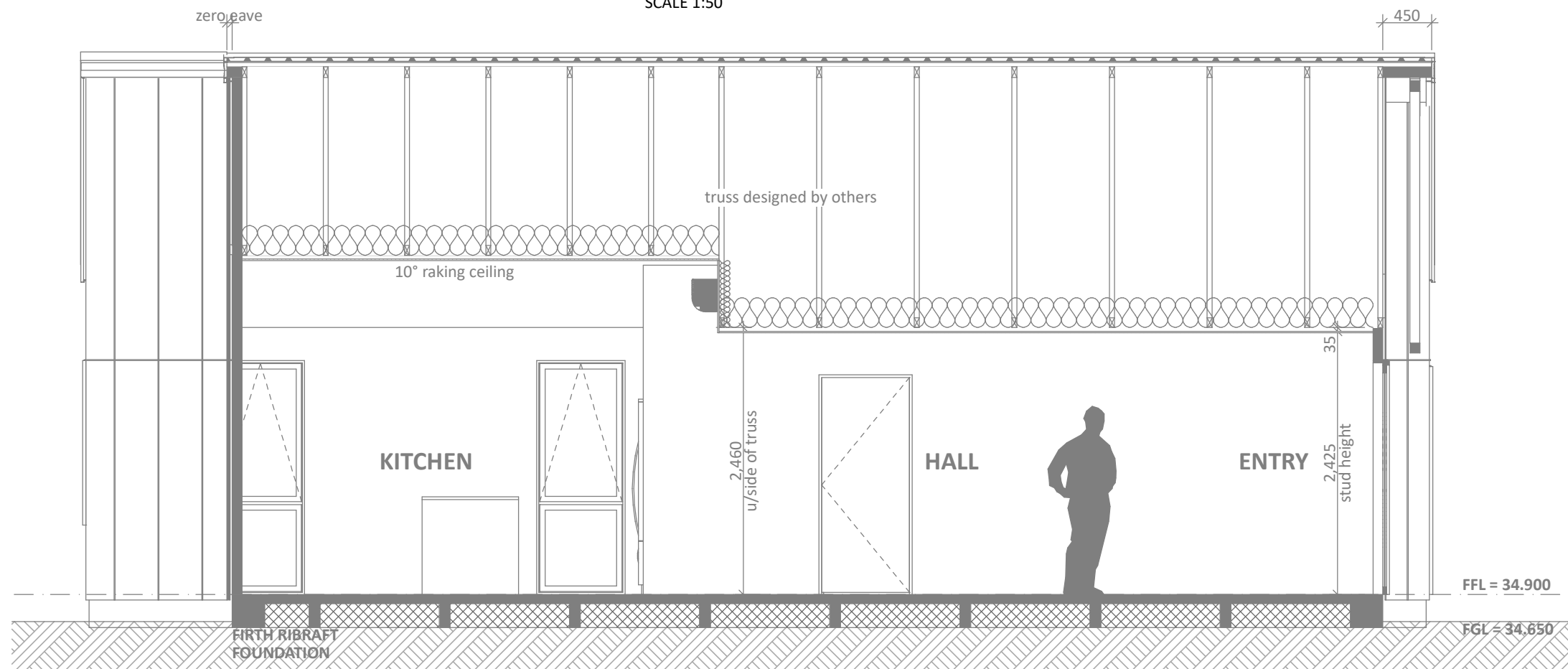




Project No:	HR10	Designed:	CY	Wind:	VERY HIGH	Drawing:	KITCHEN & BATHROOM	Date:	13/08/2025
Plan:	HR02 (Alt)	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
Version:	1.1	Checked:	CY	Exposure:	C	Site Address:	LOT 10, 132B HASTINGS ROAD	Sheet:	7
		design@barretthomes.co.nz		Council:	TCC	PYES PA, TAURANGA		Scale:	1:50



**CONCEPT SECTION A**  
SCALE 1:50



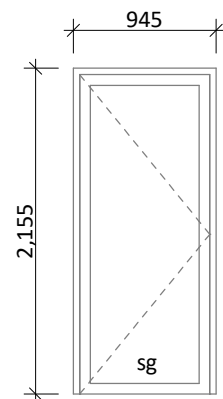
**CONCEPT SECTION B**  
SCALE 1:50

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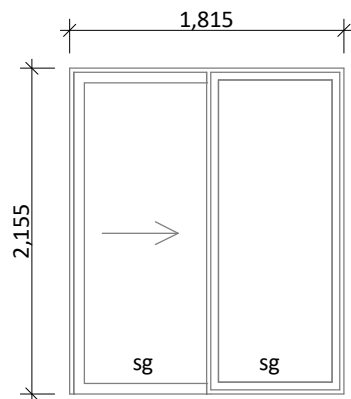
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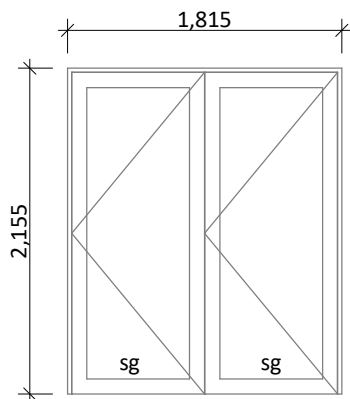
Project No:	HR10	Designed:	CY	Wind:	VERY HIGH	Drawing:	CROSS SECTIONS	Date:	13/08/2025
Plan:	HR02 (Alt)	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
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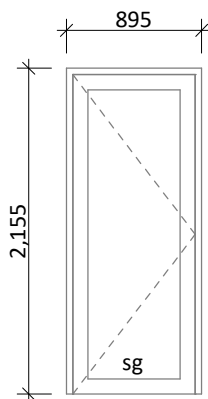
D-01  
Rebated joinery  
860 door leaf



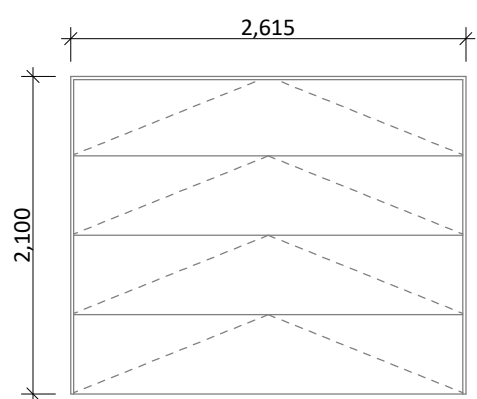
D-02  
Rebated joinery



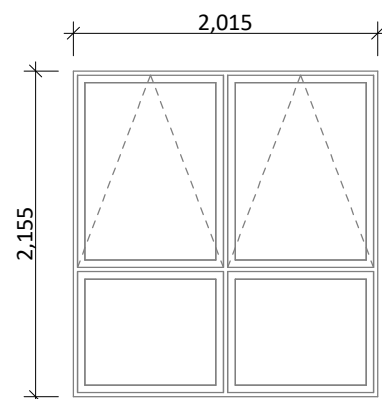
D-03  
Rebated joinery



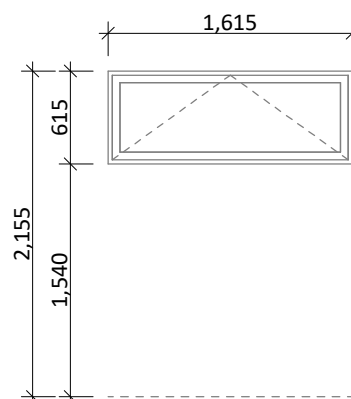
D-04  
810 door leaf



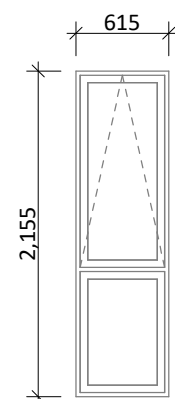
D-05



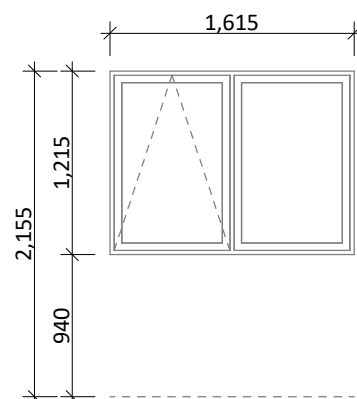
W-01



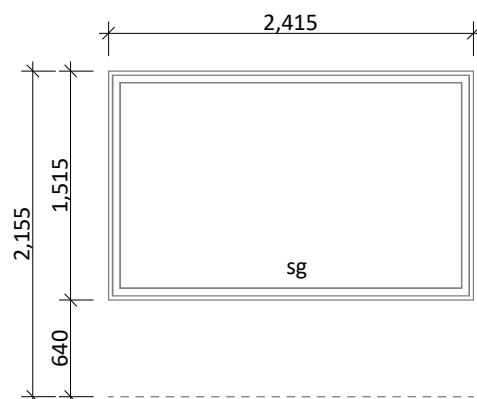
W-02, W-08



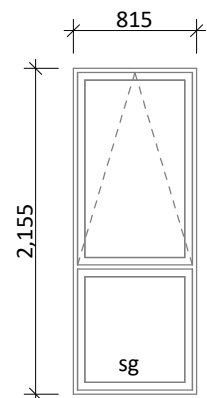
W-03  
obsc/sg



W-04



W-05



W-06, W-07

**General notes:**

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture  
Thermally improved double glazing to all window and door joinery.  
Glazing in accordance with NZS 4223 & 2016 amendments.  
All glazing clear float unless noted anywhere, (refer to joinery schedule)  
- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.  
- Doors with glazing area > 0.75m<sup>2</sup> = safety glass  
- Doors with glazing area < 0.75m<sup>2</sup> = 5mm annealed  
- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.  
sg = Safety glass as required by standards, joinery manufacturer to take precedence  
ss = Safety stays (in accordance with NZBC:F4 clause 2.0)  
obsc = Obscure glass

**REBATED JOINERY**  
Rebated joinery sizes are to be confirmed with joinery manufacturer.

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Plan:	HR02 (Alt)	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (BAY OF PLENTY) LTD	Rev:	
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				Council:	TCC		PYES PA, TAURANGA	Scale:	1:50