

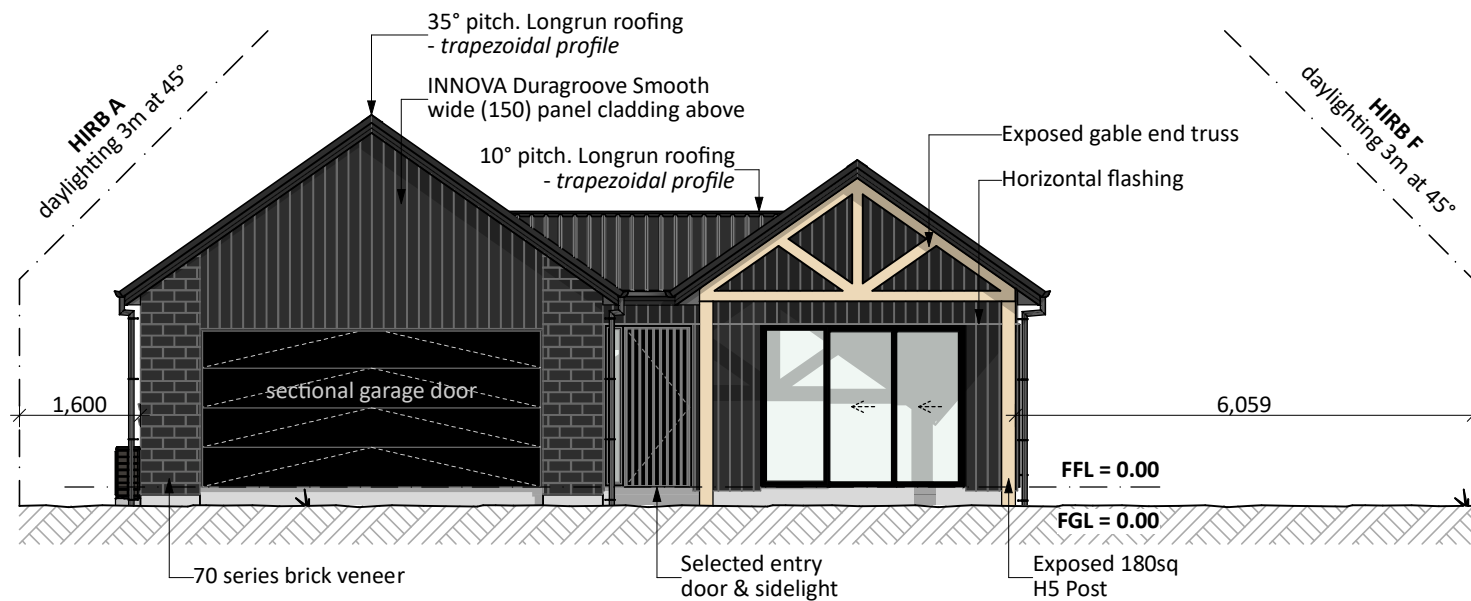
CONTENTS:

	COVER SHEET
1	ELEVATIONS
2	ELEVATIONS
3	SITE PLAN
4	CONCEPT PLAN
5	KITCHEN & BATHROOM
6	CROSS SECTION A
7	CROSS SECTION B
8	JOINERY SCHEDULE

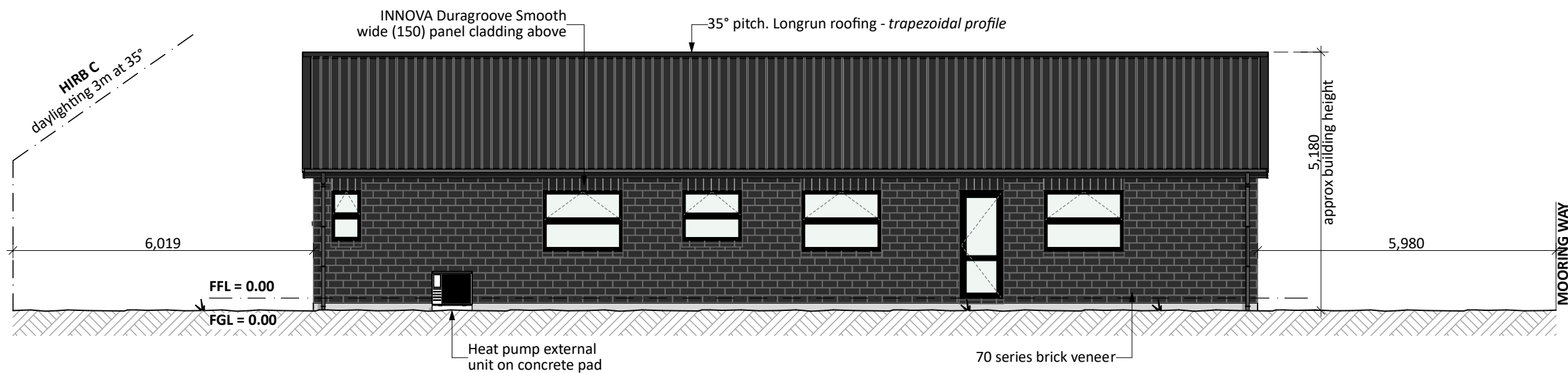
NEW DWELLING FOR:
BARRETT HOMES (NORTHLAND) LTD

ADDRESS:
LOT 8, 18 MOORING WAY,
ONE TREE POINT, WHANGAREI





NORTH ELEVATION



EAST ELEVATION

General Notes:

Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access

Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2.
Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

Foundation:

Raft floor to engineers design (see plan notes and details)

Wall Cladding:

70 series brick veneer - ensure cavity and weep holes are free from excess mortar
INNOVA Duragroove Smooth wide (150) panel cladding

Roof Cladding:

35° pitch. Longrun roofing - Trapezoidal profile

Fascia and Spouting:

COLORCOTE fascia, spouting & 80mm Ø MARLEY PVC downpipes

Joinery & Glazing:

Selected powder coated aluminium joinery with thermally improved Low E double glazing

PRELIMINARY ONLY.

Elevations are subject to the following:
- Site Levels

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

Signature

Date

CONCEPT ONLY

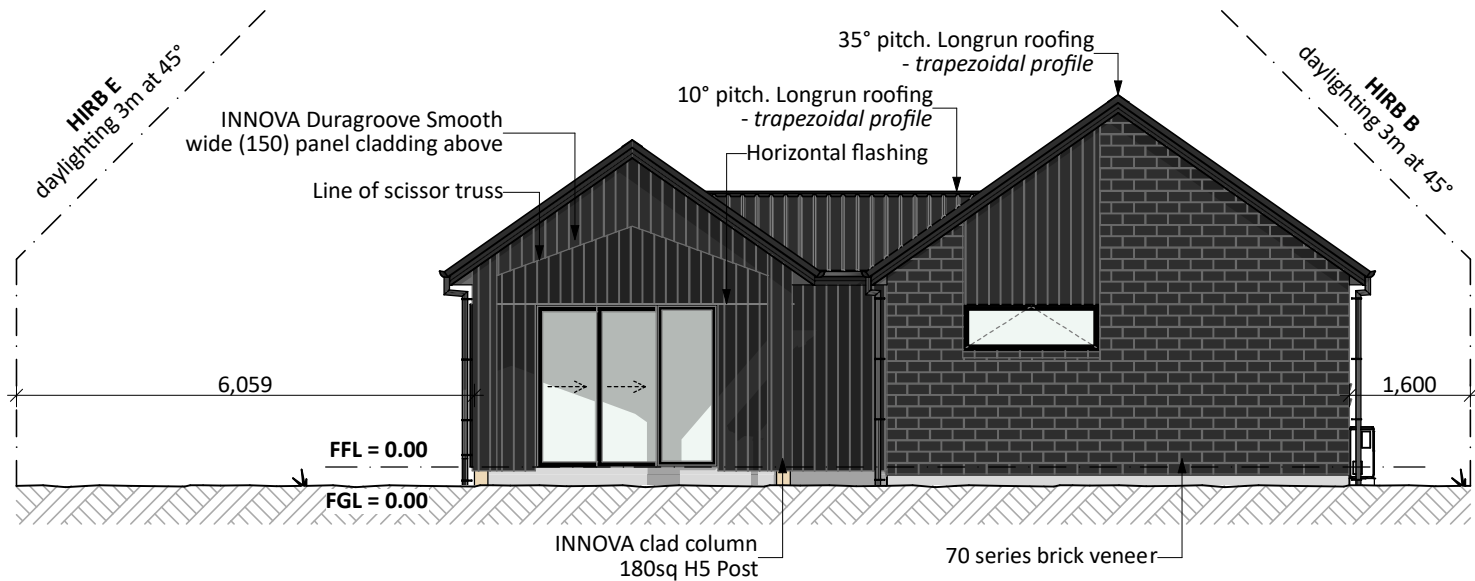
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

DRAFT

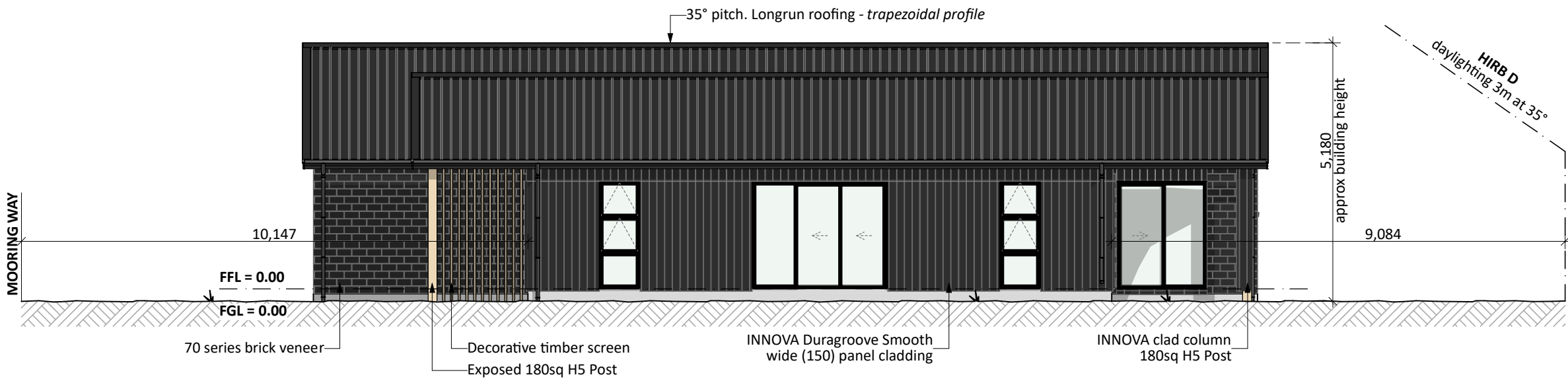


Barrett Homes

Project No:	MOOR8	Designed:	DP	Wind:	HIGH	Drawing:	ELEVATIONS	Date:	4/04/2025
Plan:	RU7	Drawn:	-	EQ:	-	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	-
Version:	1.1	Checked:	KB	Exposure:	-	Site Address:	LOT 8, 18 MOORING WAY,	Sheet:	1
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:100



SOUTH ELEVATION



WEST ELEVATION

General Notes:

Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access

Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2.
Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

Foundation:

Raft floor to engineers design (see plan notes and details)

Wall Cladding:

70 series brick veneer - ensure cavity and weep holes are free from excess mortar
INNOVA Duragroove Smooth wide (150) panel cladding

Roof Cladding:

35° pitch. Longrun roofing - Trapezoidal profile

Fascia and Spouting:

COLORCOTE fascia, spouting & 80mm Ø MARLEY PVC downpipes

Joinery & Glazing:

Selected powder coated aluminium joinery with thermally improved Low E double glazing

PRELIMINARY ONLY.

Elevations are subject to the following:
- Site Levels

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

Signature

Date

CONCEPT ONLY

MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

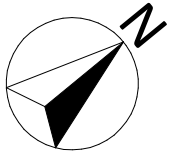
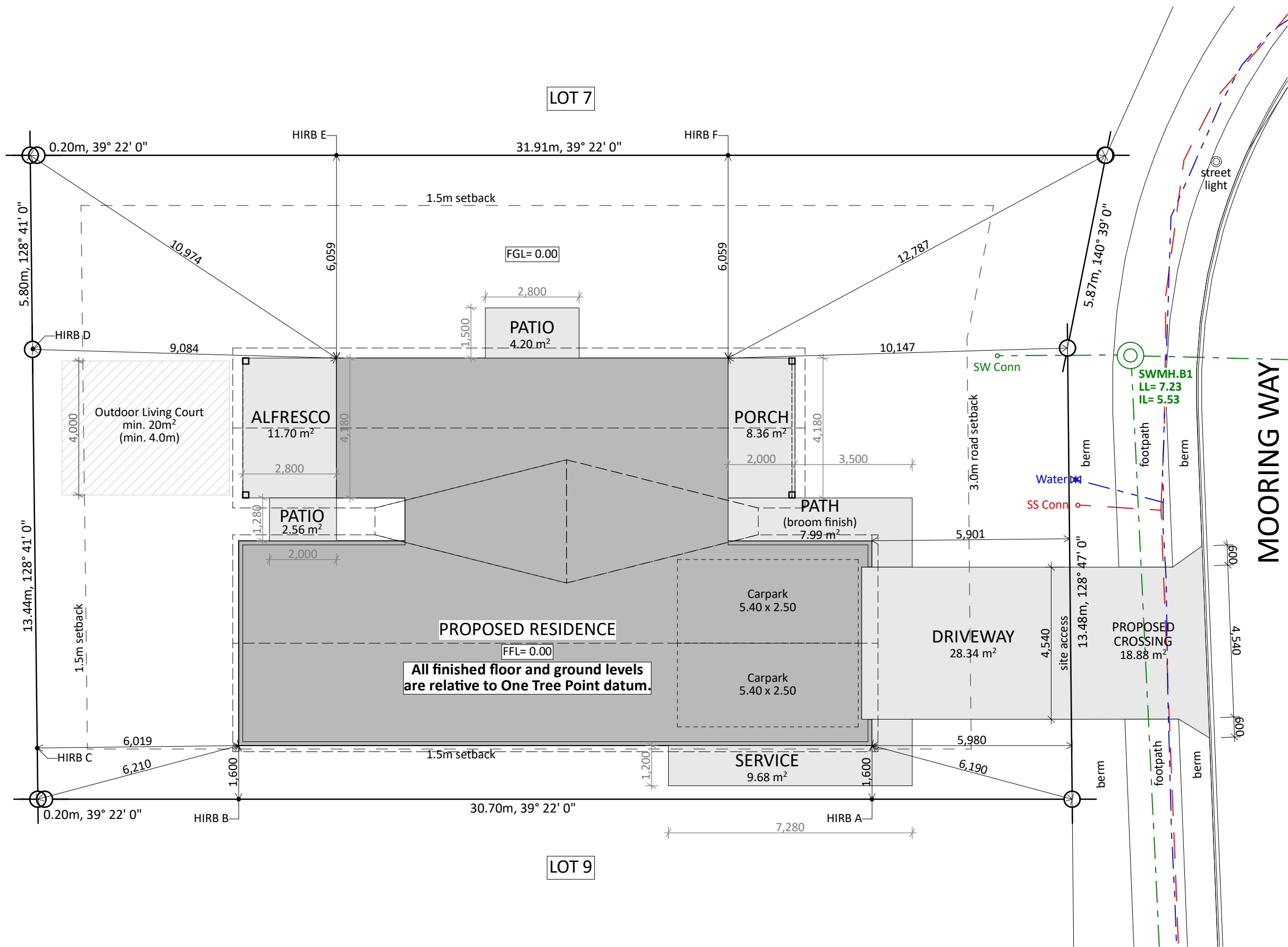
DRAFT



Barrett Homes

Project No:	MOOR8	Designed:	DP	Wind:	HIGH	Drawing:	ELEVATIONS	Date:	4/04/2025
Plan:	RU7	Drawn:	-	EQ:	-	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	-
Version:	1.1	Checked:	KB	Exposure:	-	Site Address:	LOT 8, 18 MOORING WAY,	Sheet:	2
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:100

Information required/awaiting confirmation:
•Site levels/contours



Site Info:	
LOT: 8	
DP: 599307	
AREA: 598m ²	
Site Coverage:	
175.64 m ² (House area) / 598m ² (site area) = 29.37%	
Living Zone = GRZ	
Max coverage = 35%	
(GRZ-R8 - 40% of net site area)	
Impervious areas:	
260.95m ² (Impervious area) / 598m ² (site area) = 43.63%	
Max Impervious area = 60%	
(GRZ-R7 - 60% of net site area)	

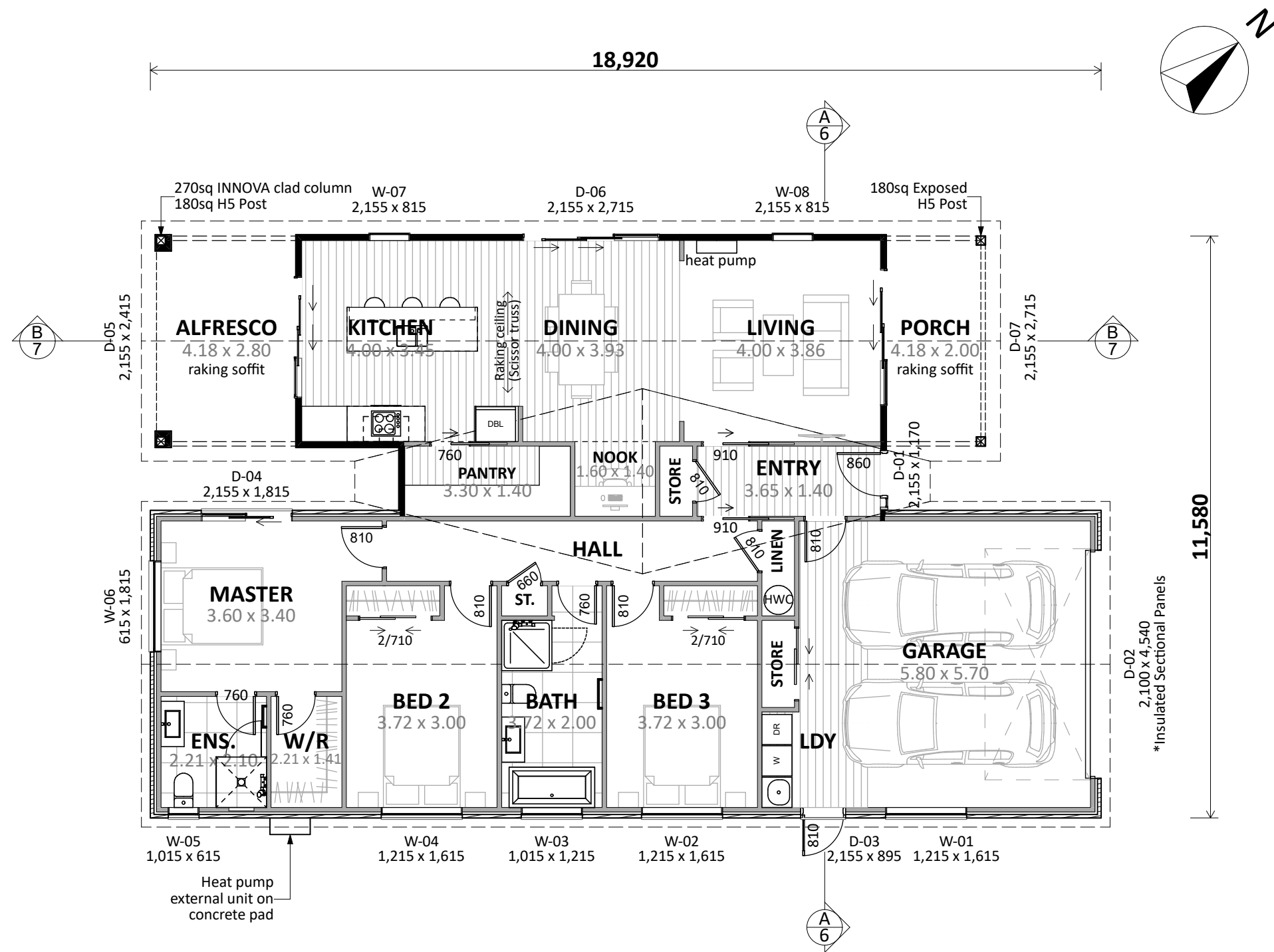
CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature _____ Date _____

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

DRAFT



Project No: MOOR8	Designed: DP	Wind: HIGH	Drawing: SITE PLAN	Date: 4/04/2025
Plan: RUA7	Drawn: -	EQ: -	Client Name: BARRETT HOMES (NORTHLAND) LTD	Rev: -
Version: 1.1	Checked: KB	Exposure: -	Site Address: LOT 8, 18 MOORING WAY,	Sheet: 3
		Council: WDC	ONE TREE POINT, WHANGAREI	Scale: 1:120



ENGINEERING REQUIRED:
- Foundation

Plan Notes:
2.415 Stud height throughout
All joinery 2155 head height
Raking ceiling to Living, Dining, Kitchen (scissor trusses)
Raking soffit to Alfresco (scissor trusses)
Raking soffit to Porch (rafters)
Insulation to Garage walls, ceiling and door

Floor Area:

Area o/frame: 171.39 m²
Area o/foundation: 175.64 m²

Cladding Key:

INNOVA Duragroove
Brick Veneer

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

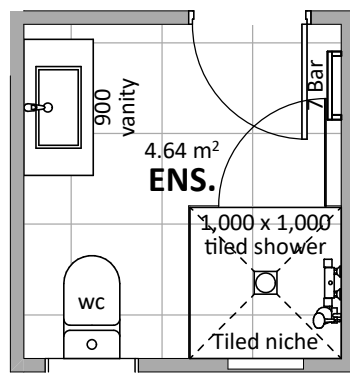
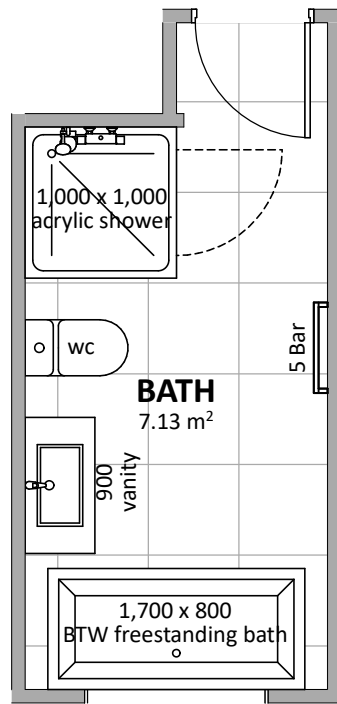
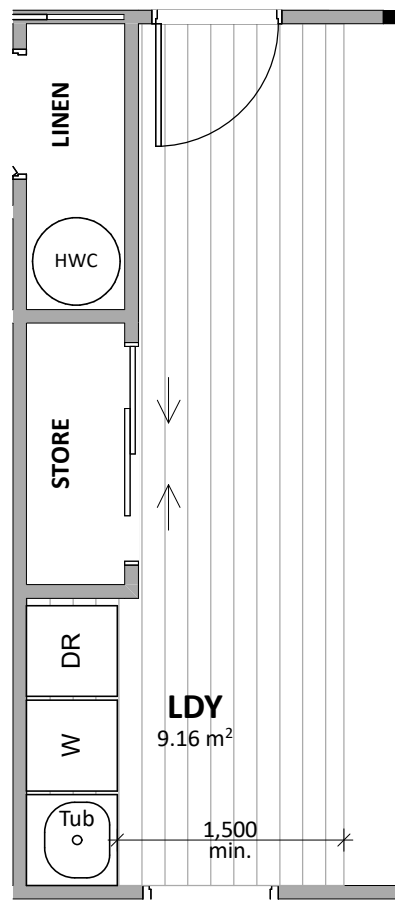
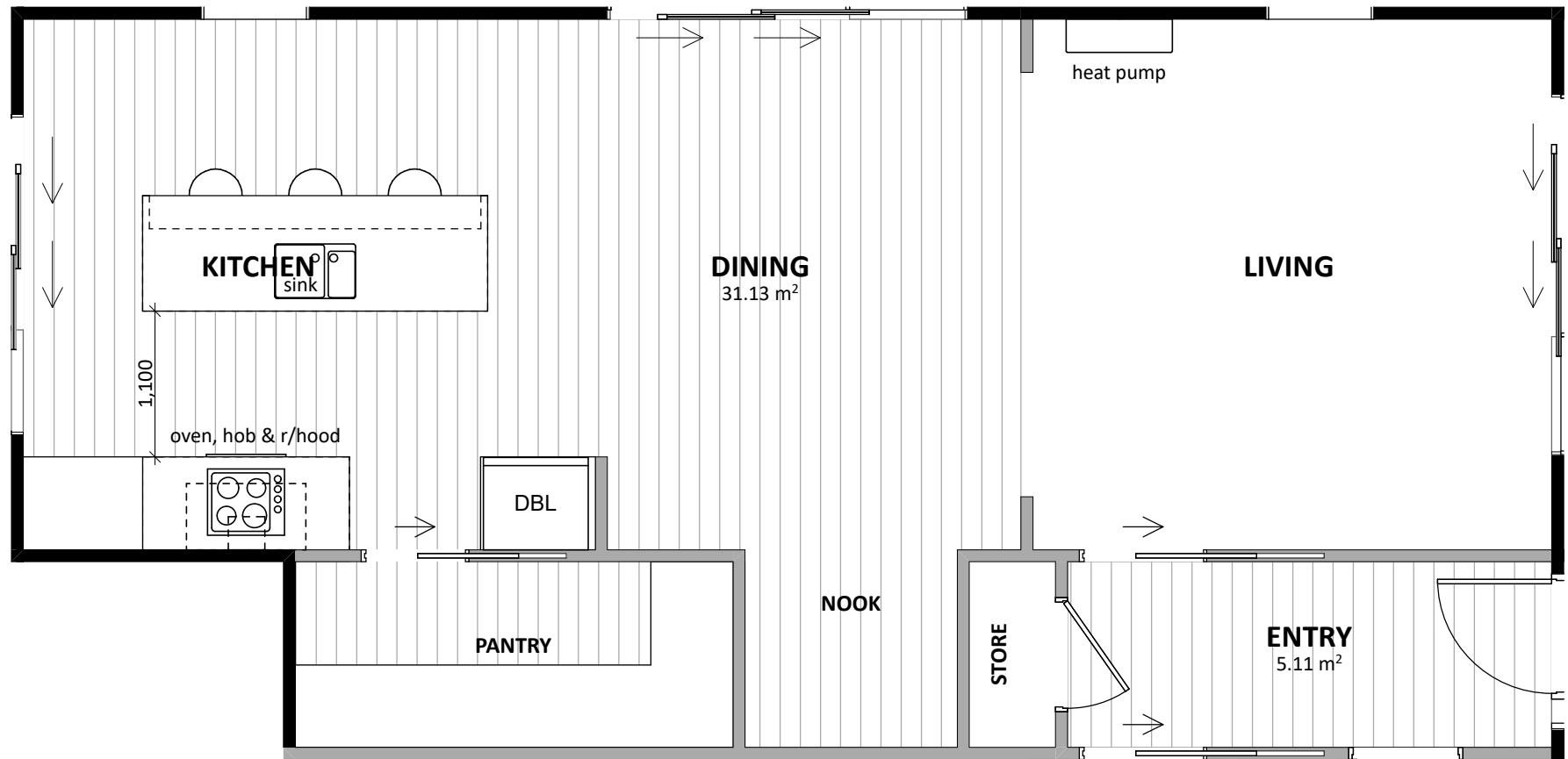
Signature _____ Date _____

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

DRAFT



Project No:	MOOR8	Designed:	DP	Wind:	HIGH	Drawing:	CONCEPT PLAN	Date:	4/04/2025
Plan:	RUA7	Drawn:	-	EQ:	-	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	-
Version:	1.1	Checked:	KB	Exposure:	-	Site Address:	LOT 8, 18 MOORING WAY,	Sheet:	4
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:100

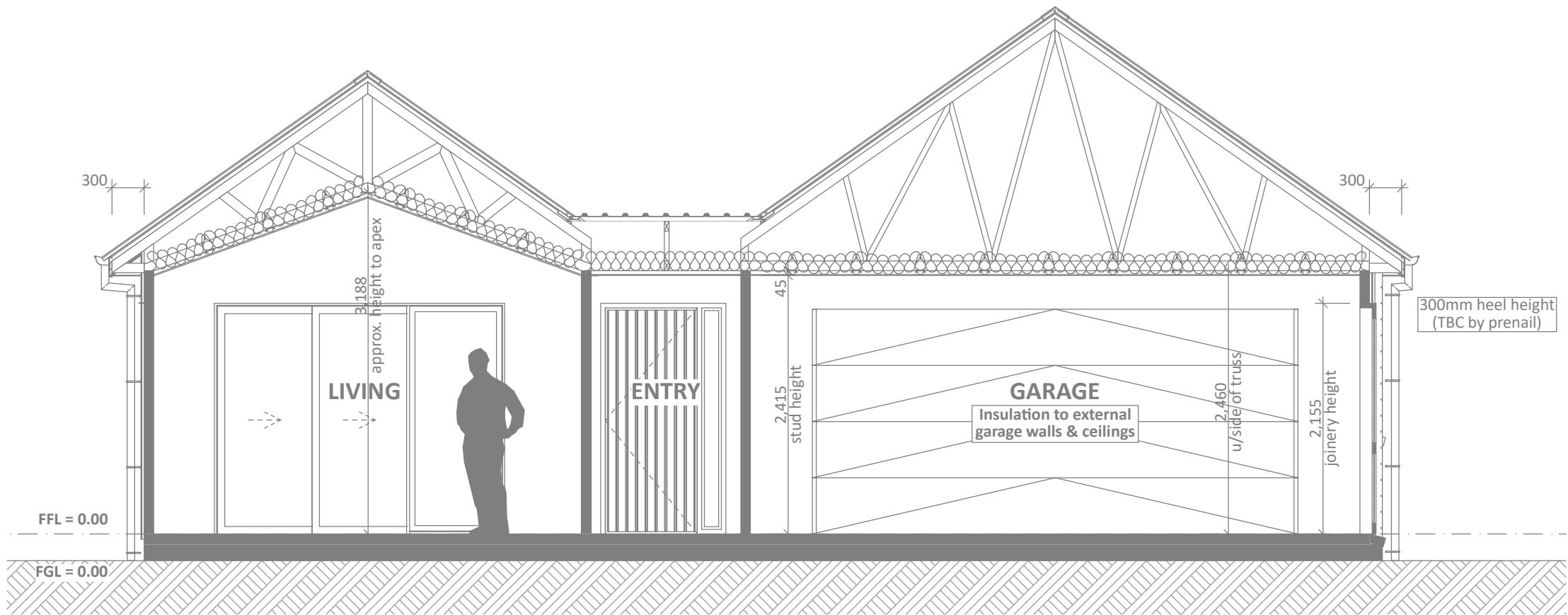


Floor Types Key:	
	= Vinyl Floor
	= Tiled Floor
CONCEPT PLAN APPROVAL (confirmation to consent drawings)	
<u>Signature</u>	<u>Date</u>
CONCEPT ONLY MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS	

DRAFT



Project No:	MOOR8	Designed:	DP	Wind:	HIGH	Drawing:	KITCHEN & BATHROOM	Date:	4/04/2025
Plan:	RUA7	Drawn:	-	EQ:	-	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	-
Version:	1.1	Checked:	KB	Exposure:	-	Site Address:	LOT 8, 18 MOORING WAY,	Sheet:	5
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:50



CONCEPT SECTION A
SCALE 1:50

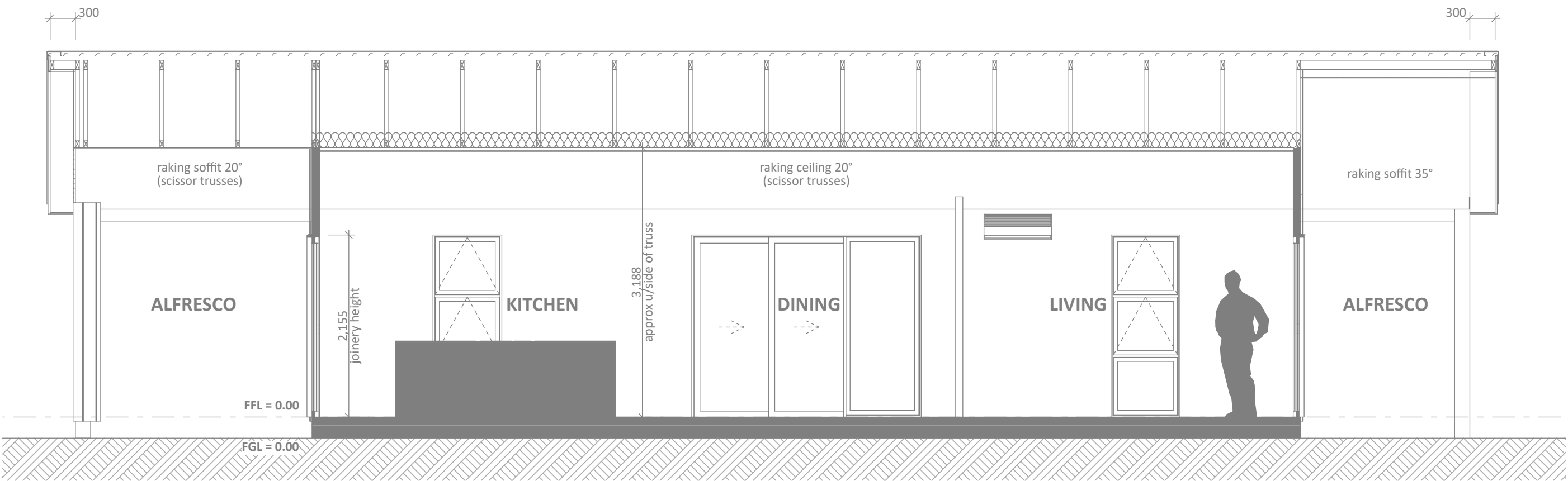
CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature Date

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

DRAFT



Project No:	MOOR8	Designed:	DP	Wind:	HIGH	Drawing:	CROSS SECTION A	Date:	4/04/2025
Plan:	RUA7	Drawn:	-	EQ:	-	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.1	Checked:	KB	Exposure:	-	Site Address:	LOT 8, 18 MOORING WAY,	Sheet:	6
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:50



CONCEPT SECTION B
SCALE 1:50

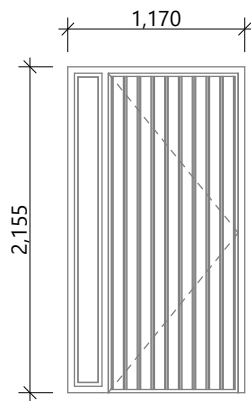
CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature Date

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

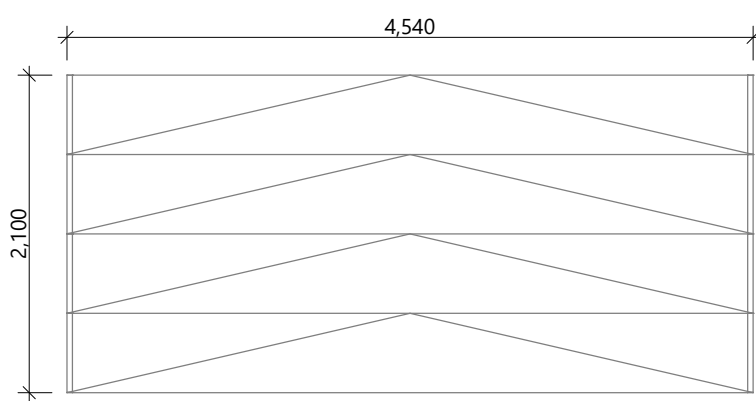
DRAFT



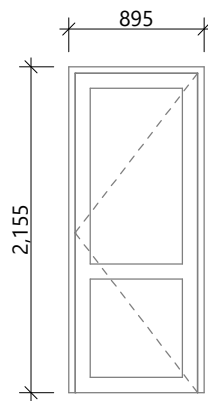
Project No:	MOOR8	Designed:	DP	Wind:	HIGH	Drawing:	CROSS SECTION B	Date:	4/04/2025
Plan:	RUA7	Drawn:	-	EQ:	-	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.1	Checked:	KB	Exposure:	-	Site Address:	LOT 8, 18 MOORING WAY,	Sheet:	7
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:50



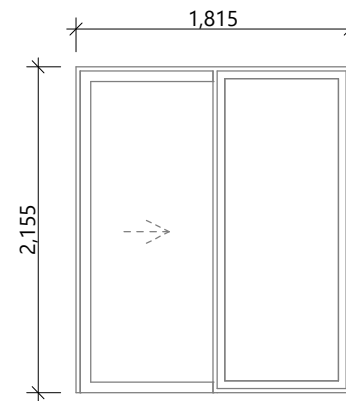
D-01
*Rebated Joinery
*860 Door Leaf



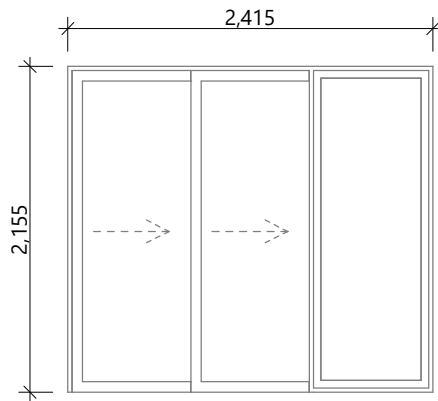
D-02
*Insulated Sectional Panels



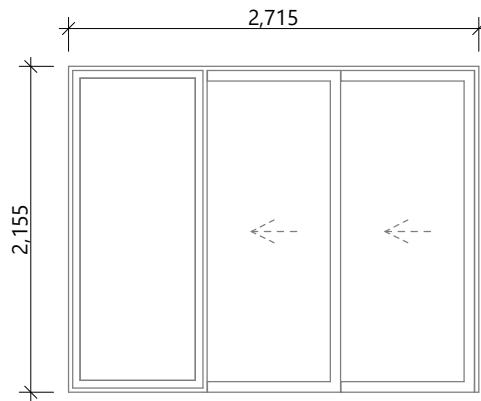
D-03
*810 Door Leaf



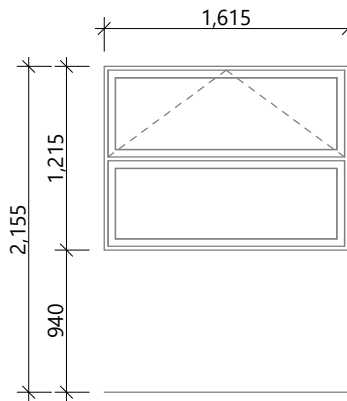
D-04
*Rebated Joinery



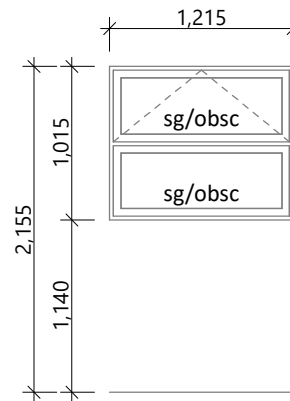
D-05
*Rebated Joinery



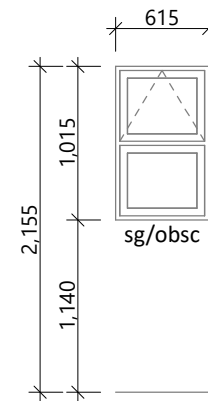
D-06, D-07
*Rebated Joinery



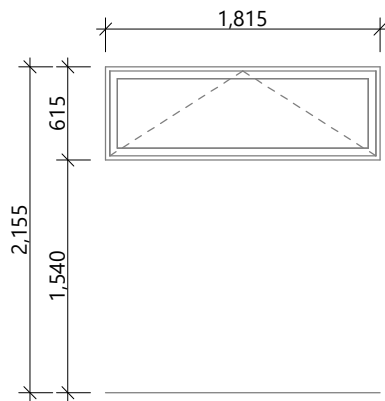
W-01, W-02, W-04



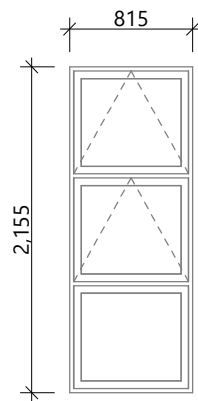
W-03



W-05



W-06



W-07, W-08

General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

Thermally improved double glazing to all window and door joinery including garage joinery.

Glazing in accordance with NZS 4223 & 2016 amendments.
All glazing clear float unless noted anywhere, (refer to joinery schedule)
- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.
- Doors with glazing area > 0.75m² = safety glass
- Doors with glazing area < 0.75m² = 5mm annealed
- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.

sg = Safety glass as required by standards, joinery manufacturer to take precedence
ss = Safety stays (in accordance with NZBC:F4 clause 2.0)
obsc = Obscure glass

REBATED JOINERY

Rebated joinery sizes are to be confirmed with joinery manufacturer.

CONCEPT PLAN APPROVAL (confirmation to consent drawings)	
<u>Signature</u>	<u>Date</u>
CONCEPT ONLY MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS	

DRAFT



Project No:	MOOR8	Designed:	DP	Wind:	HIGH	Drawing:	JOINERY SCHEDULE	Date:	4/04/2025
Plan:	RUA7	Drawn:	-	EQ:	-	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.1	Checked:	KB	Exposure:	-	Site Address:	LOT 8, 18 MOORING WAY,	Sheet:	8
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:50