



# Barrett Homes

Welcome to the *whānau*.

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3 SITE PLAN
4 LANDSCAPING PLAN
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**NEW DWELLING FOR:**  
**BARRETT HOMES (CENTRAL PLATEAU) LTD**

**ADDRESS:**  
**LOT 549, 71 MARU TERRACE**  
**NGA ROTO ESTATE, STAGE 14, TAUPO**



Barrett Homes

Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	COVER SHEET	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	



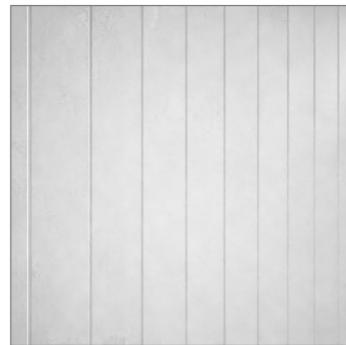
### Roofing

- PCC Zinacore cladding
- trapezoidal profile



### Brick cladding

- Painted (Flaxpod)



### Panel cladding

- INNOVA Stratum (300) panel cladding
- Painted (Okarito)



### Joinery

- Black

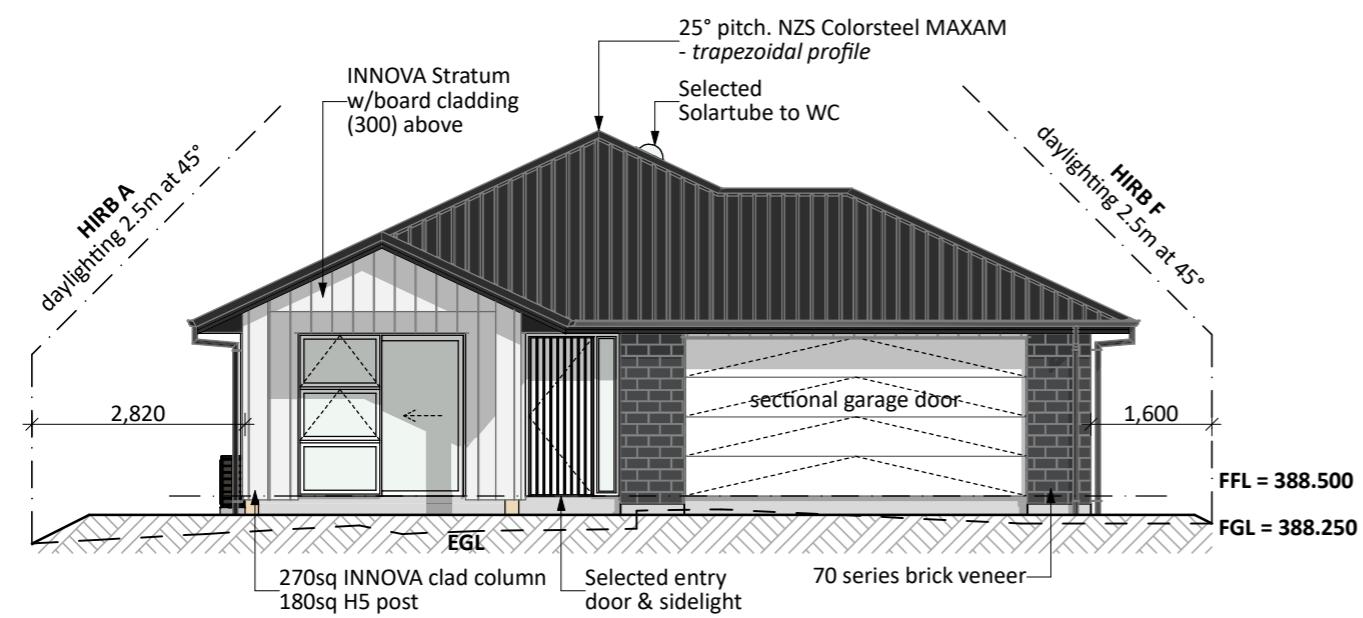
Please note that the material images are for illustrative purposes only and may not directly represent the final product. For exact details, please refer to the specification.

Y:WGM Projects\WAIKATO\Taupo\NGA ROTO ESTATE\STAGE 14\NGA549\Concept Plans\8.3\NGA549 - Concept 8.3.pln

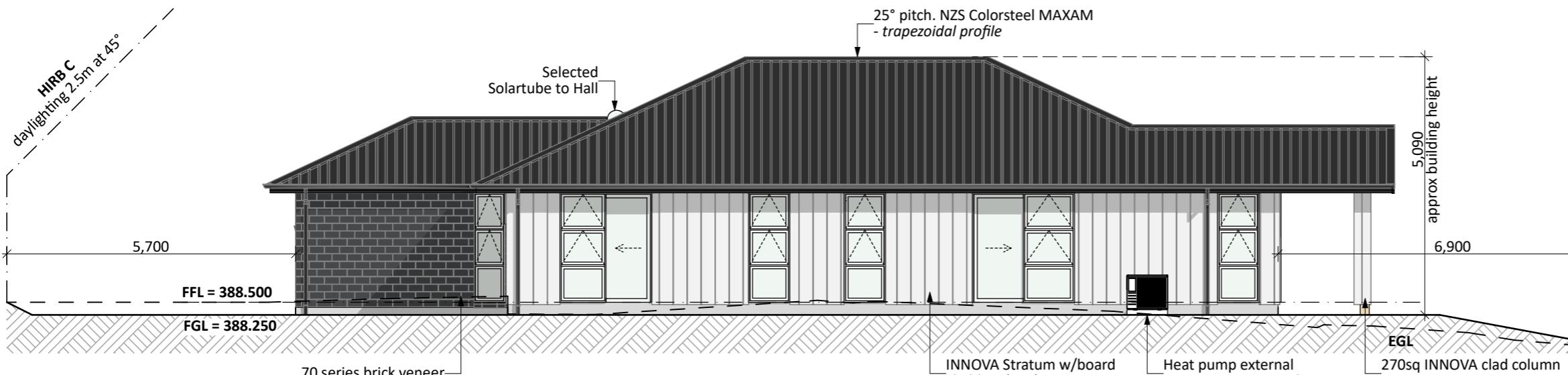
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Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	MATERIALITY	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	



NORTH ELEVATION



EAST ELEVATION

#### General Notes:

Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

#### NZBC D1/AS1 Access

Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2. Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

#### Foundation:

Ribraft floor to Firth specifications (see plan notes and details)

#### Wall Cladding:

70 series brick veneer - ensure cavity and weep holes are free from excess mortar  
INNOVA Stratum w/board cladding (300)

\*All claddings to be installed over FPS Weathertight System. FPS Weathertight System to be installed over timber framing strictly as per manufacturers specification.

#### Roof Cladding:

25° pitch. NZS Colorsteel MAXAM - Trapezoidal profile

#### Fascia and Spouting:

COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes

#### Joinery & Glazing:

Selected powder coated aluminium joinery with thermally improved Low E double glazing

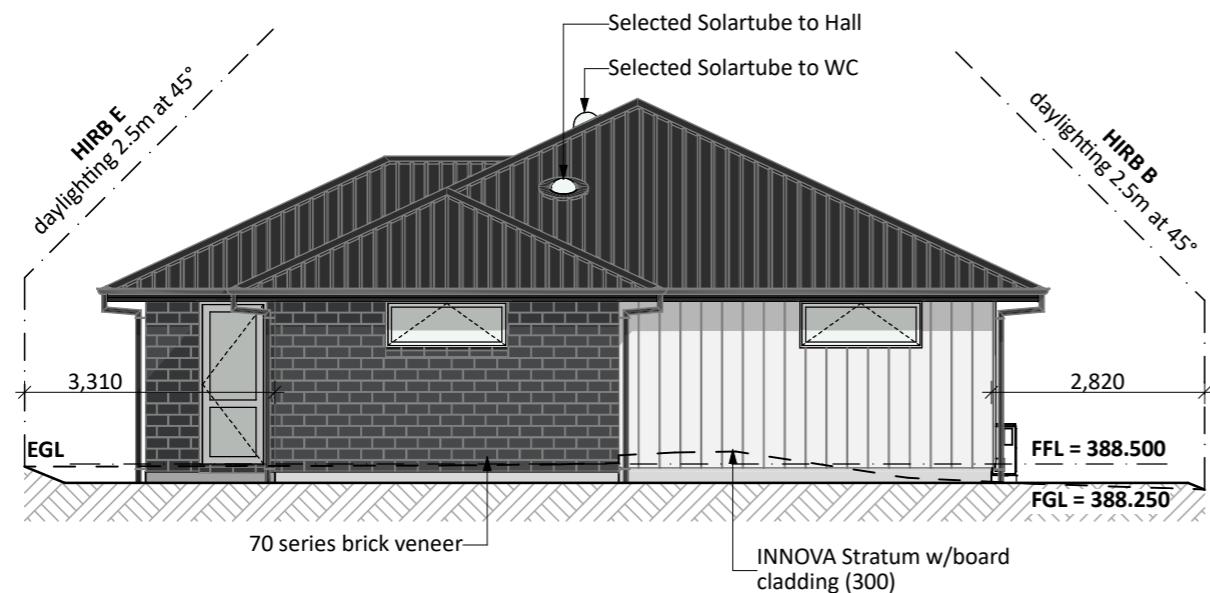
**CONCEPT PLAN APPROVAL** (confirmation to consent drawings)  
Signature \_\_\_\_\_ Date \_\_\_\_\_

**CONCEPT ONLY**  
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

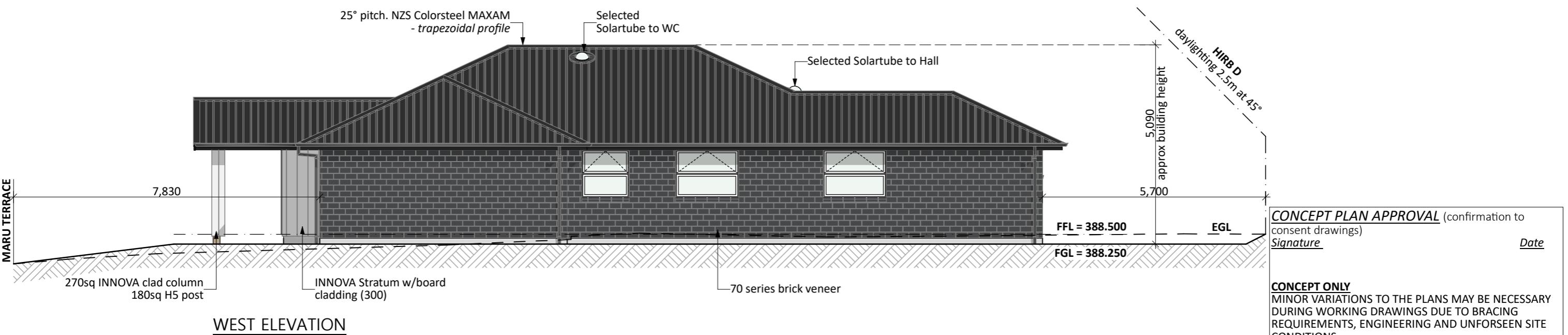
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Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	1



design@barretthomes.co.nz	Council:	TDC	NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	1:100
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SOUTH ELEVATION



WEST ELEVATION

**General Notes:**  
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**NZBC D1/AS1 Access:**  
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Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

**Foundation:**  
Ribraft floor to Firth specifications (see plan notes and details)

**Wall Cladding:**  
70 series brick veneer - ensure cavity and weep holes are free from excess mortar  
INNOVA Stratum w/board cladding (300)

\*All claddings to be installed over FPS Weathertight System. FPS Weathertight System to be installed over timber framing strictly as per manufacturers specification.

**Roof Cladding:**  
25° pitch. NZS Colorsteel MAXAM - Trapezoidal profile

**Fascia and Spouting:**  
COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes

**Joinery & Glazing:**  
Selected powder coated aluminium joinery with thermally improved Low E double glazing

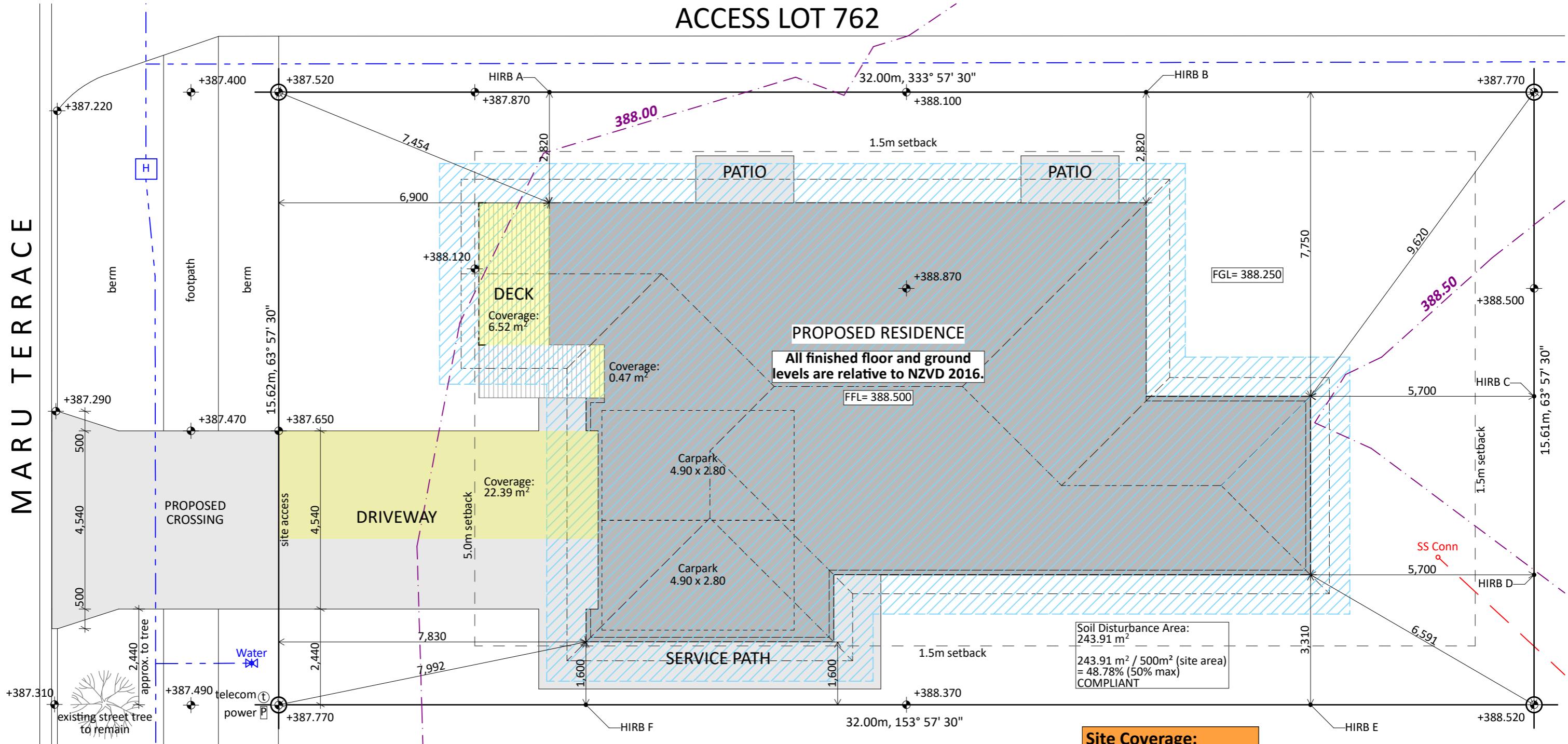
**CONCEPT PLAN APPROVAL** (confirmation to consent drawings)  
Signature \_\_\_\_\_ Date \_\_\_\_\_

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Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	ELEVATIONS	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	2
						Council:	TDC	Scale:	1:100

# ACCESS LOT 762

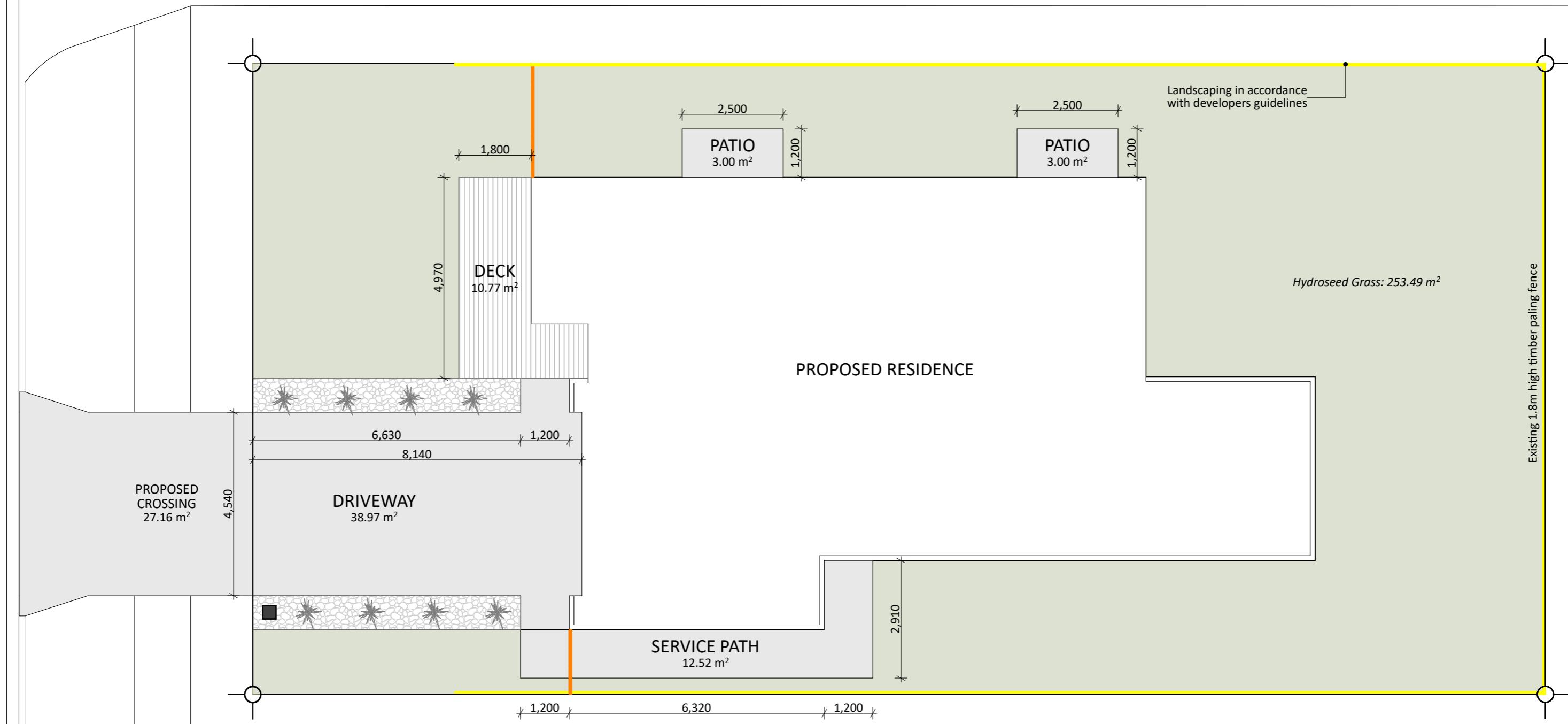
## MARU TERRACE



Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	SITE PLAN	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	3

# ACCESS LOT 762

## MARUTERACE



### Landscape Key:

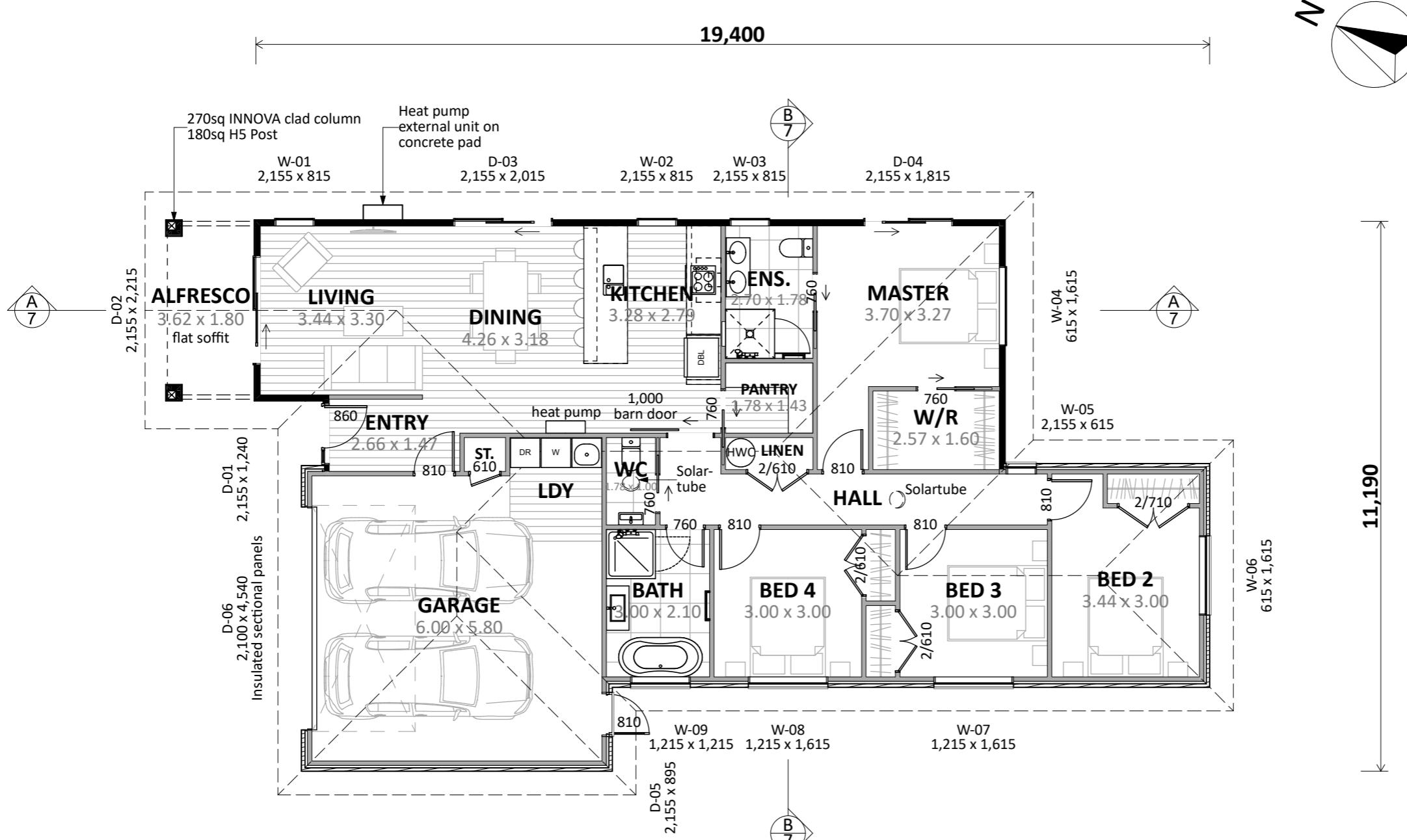
The legend consists of four entries: 1) a light green square representing 'HydroSeed Grass'; 2) a patterned square representing 'Riverstones'; 3) a yellow horizontal bar representing '1.8m Timber Fence'; and 4) an orange horizontal bar representing 'Fence & Gate'. Below the fence/gate entry is a stylized tree icon representing a 'Specimen Tree'.

**CONCEPT PLAN APPROVAL** (confirmation to  
consent drawings)  
Signature \_\_\_\_\_ Date \_\_\_\_\_

**CONCEPT ONLY**  
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REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE  
CONDITIONS



Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	LANDSCAPING PLAN	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	4
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	1:100



**CHANGES TO PLAN:**  
**- BED 2 layout revised.**  
**- Previous full height window to BED 2 removed.**

**Plan Notes:**  
2.425 Stud height throughout  
All joinery 2155 head height  
Flat soffit to Alfresco  
Solartube to WC and Hall

## Floor Area:

Area o/frame: 162.90 m<sup>2</sup>  
Area o/foundation: 166.57 m<sup>2</sup>

**Floor Area (for covenant)**  
166.57m<sup>2</sup> + 6.52m<sup>2</sup> (covered alfresco) = 173.09m<sup>2</sup>  
Garage area = 37.12m<sup>2</sup>  
(o/foundation)  
Total (less garage) = 173.09m<sup>2</sup> - 37.12m<sup>2</sup> = 135.97m<sup>2</sup> (min.  
130m<sup>2</sup>)

## Cladding Key:

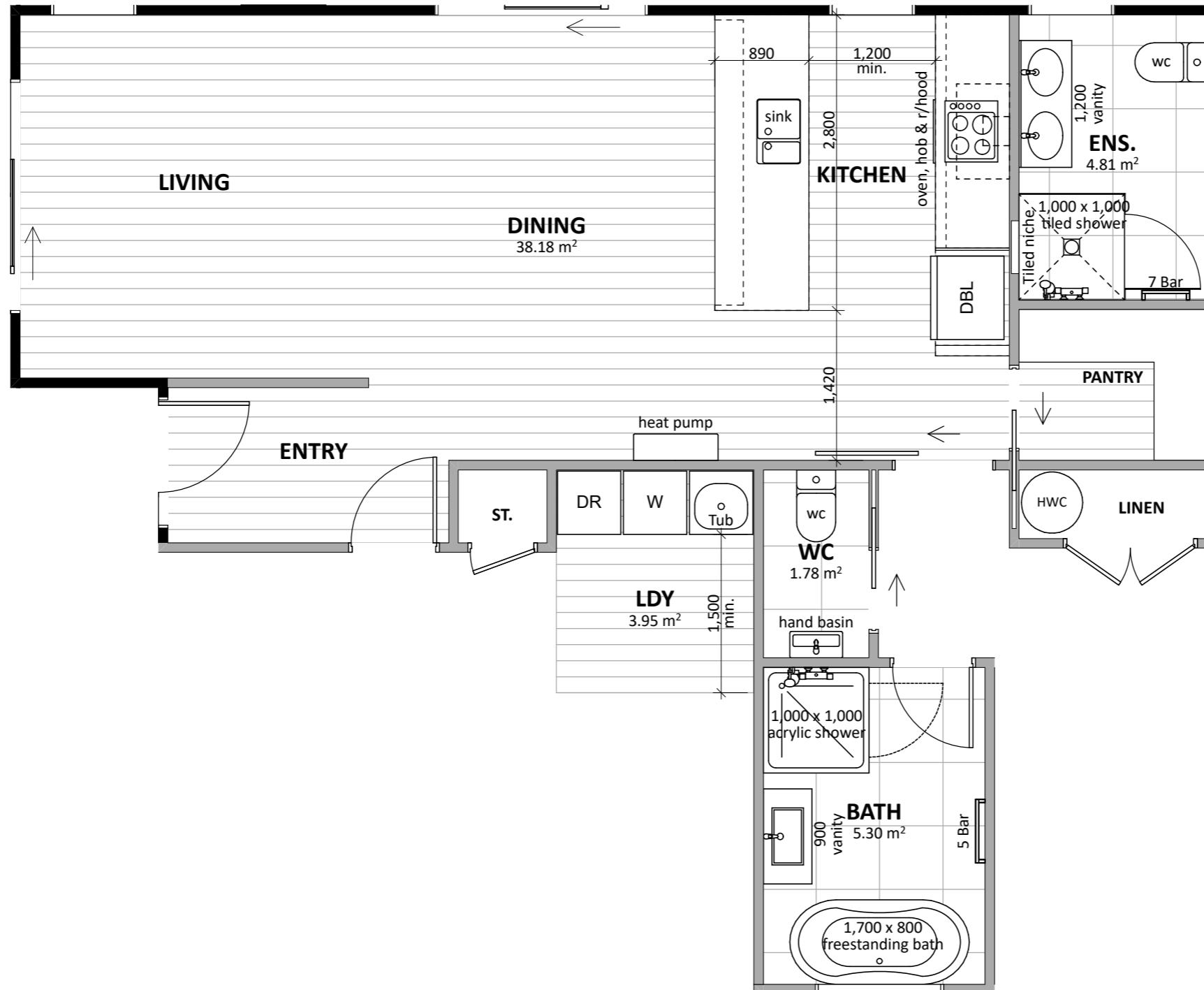
## **INNOVA Stratum 300**

**CONCEPT PLAN APPROVAL** (confirmation to  
consent drawings)  
*Signature* *Date*

**CONCEPT ONLY**  
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CONDITIONS



Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	CONCEPT PLAN	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	5
S		design@barretthomes.co.nz	Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	1:100	



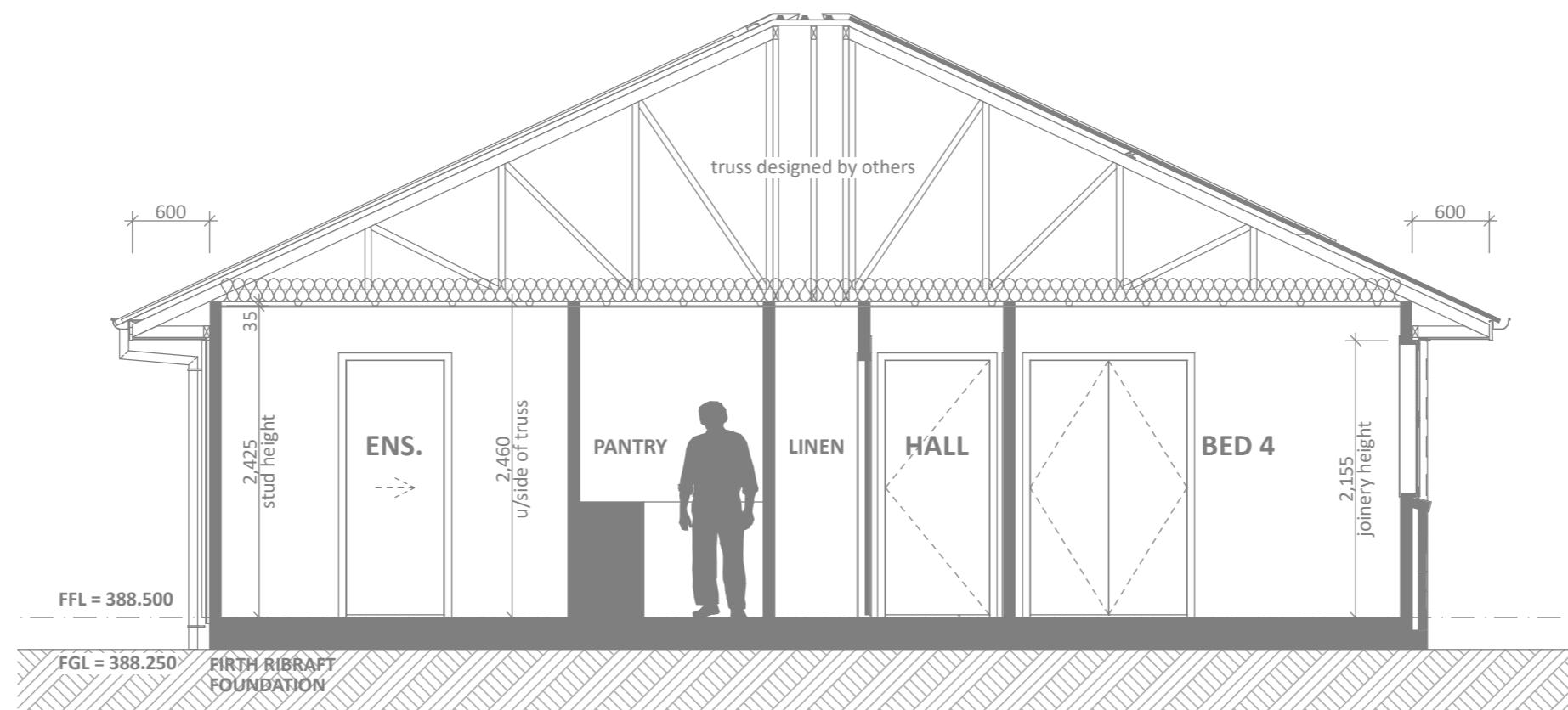
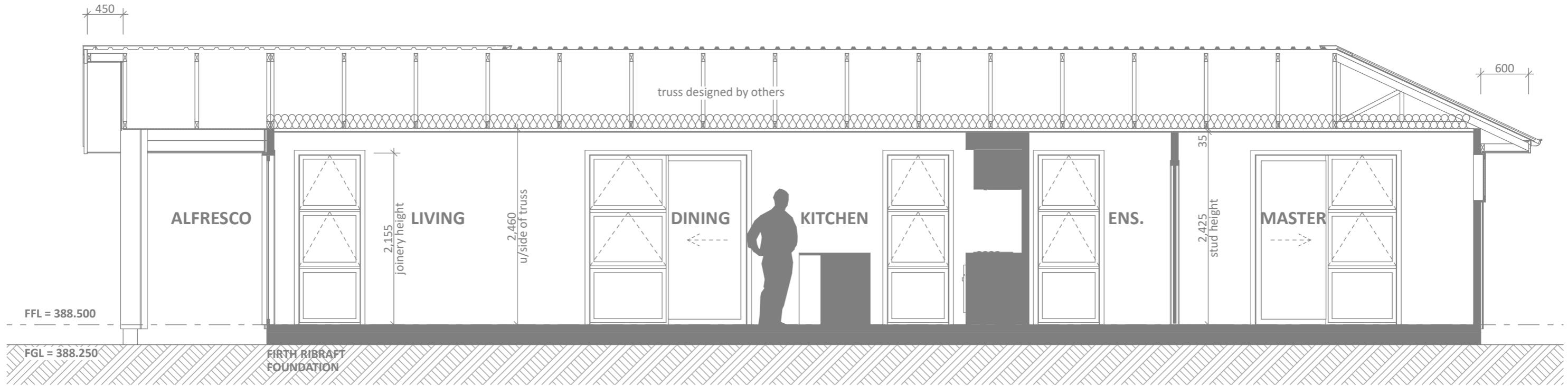
Floor Types Key:	
	= Vinyl Floor

**CONCEPT PLAN APPROVAL** (confirmation to  
consent drawings)  
*Signature* *Date*

**CONCEPT ONLY**  
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY  
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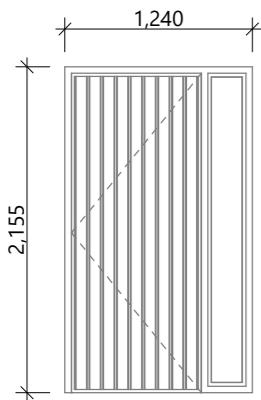
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Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	6



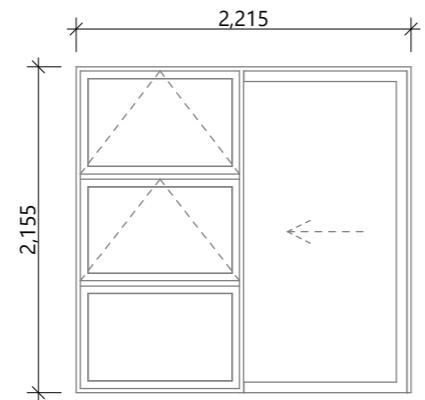


<b>CONCEPT PLAN APPROVAL</b> (confirmation to consent drawings)					
<i>Signature</i> _____ <i>Date</i> _____					
<b>CONCEPT ONLY</b> MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS					

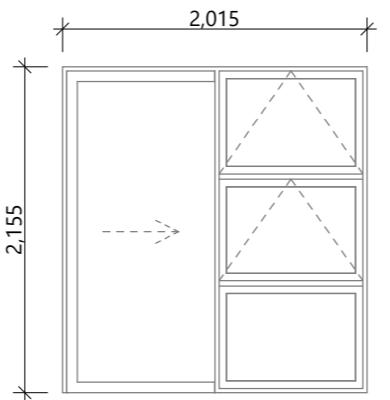
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Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	7



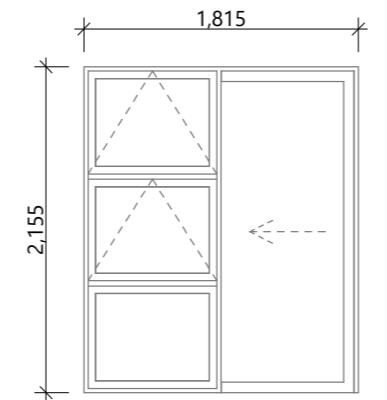
D-01  
Rebated Joinery  
860 Door Leaf



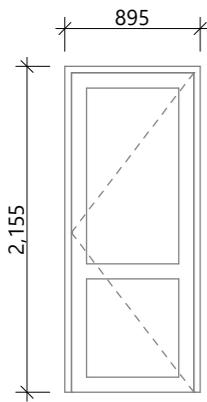
D-02  
Rebated Joinery



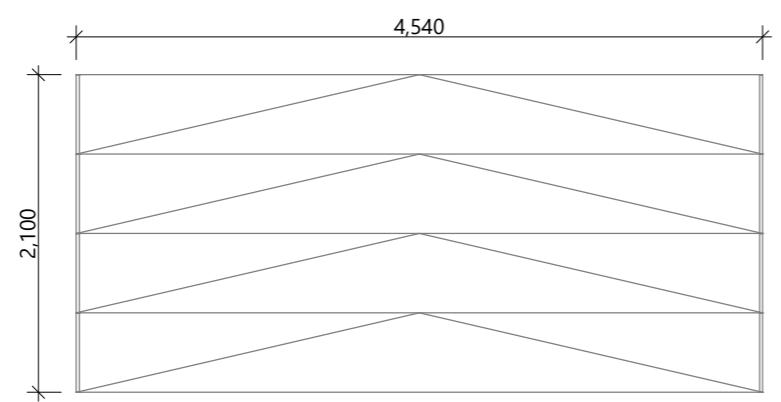
D-03  
Rebated Joinery



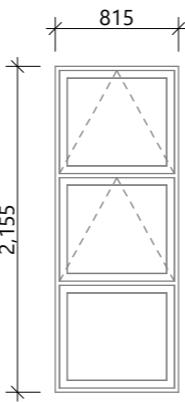
D-04  
Rebated Joinery



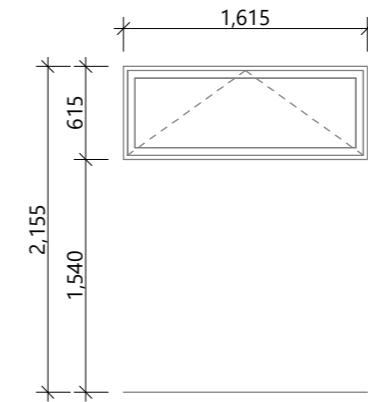
D-05  
810 Door Leaf



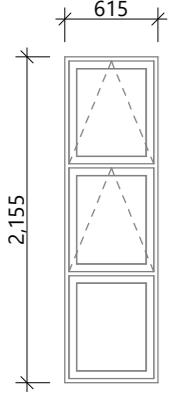
D-06  
Insulated sectional panels



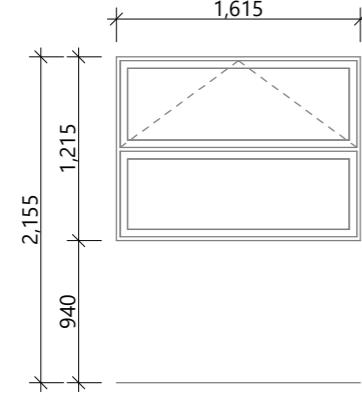
W-01, W-02, W-03  
W-03: sg/obsc



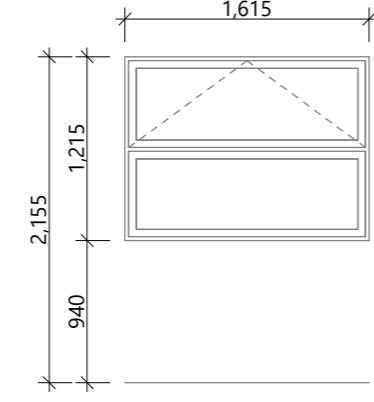
W-04, W-06



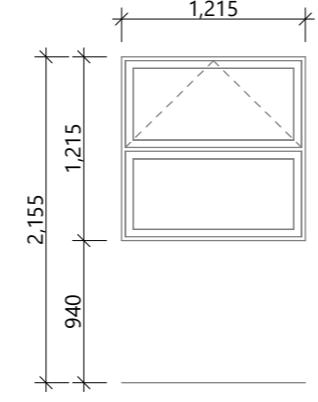
W-05



W-07



W-08



W-09  
sg/obsc

### General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

Thermally improved double glazing to all window and door joinery including garage joinery.

Glazing in accordance with NZS 4223 & 2016 amendments.

All glazing clear float unless noted anywhere, (refer to joinery schedule)

- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.

- Doors with glazing area > 0.75m<sup>2</sup> = safety glass

- Doors with glazing area < 0.75m<sup>2</sup> = 5mm annealed

- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.

sg = Safety glass as required by standards, joinery manufacturer to take precedence  
ss = Safety stays (in accordance with NZBC:F4 clause 2.0)  
obsc = Obscure glass

### REBATED JOINERY

Rebated joinery sizes are to be confirmed with joinery manufacturer.

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Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	JOINERY SCHEDULE	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	8