

CONTENTS:

	COVER SHEET
	MATERIALITY
1	ELEVATIONS
2	ELEVATIONS
3	SITE PLAN
4	LANDSCAPING PLAN
5	CONCEPT PLAN
6	KITCHEN & BATHROOM
7	CROSS SECTIONS
8	JOINERY SCHEDULE



NEW DWELLING FOR:
BARRETT HOMES (CENTRAL PLATEAU) LTD

ADDRESS:
LOT 549, 71 MARU TERRACE
NGA ROTO ESTATE, STAGE 14, TAUPO



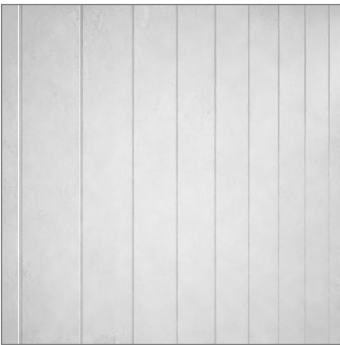
Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	COVER SHEET	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	



Roofing
- PCC Zinacore cladding
- trapezoidal profile



Brick cladding
- Painted (Flaxpod)



Panel cladding
- INNOVA Stratum (300) panel cladding
- Painted (Okarito)



Joinery
- Black

Please note that the material images are for illustrative purposes only and may not directly represent the final product. For exact details, please refer to the specification.

Y:\WGM Projects\WAIKATO\Taupo\WINGA ROTO ESTATE\STAGE 14\WINGA549\WConcept Plans\W8.3\WINGA549 - Concept 8.3.pln

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Barrett Homes

Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	MATERIALITY	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	

General Notes:
Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access
Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2.
Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

Foundation:
Ribraft floor to Firth specifications (see plan notes and details)

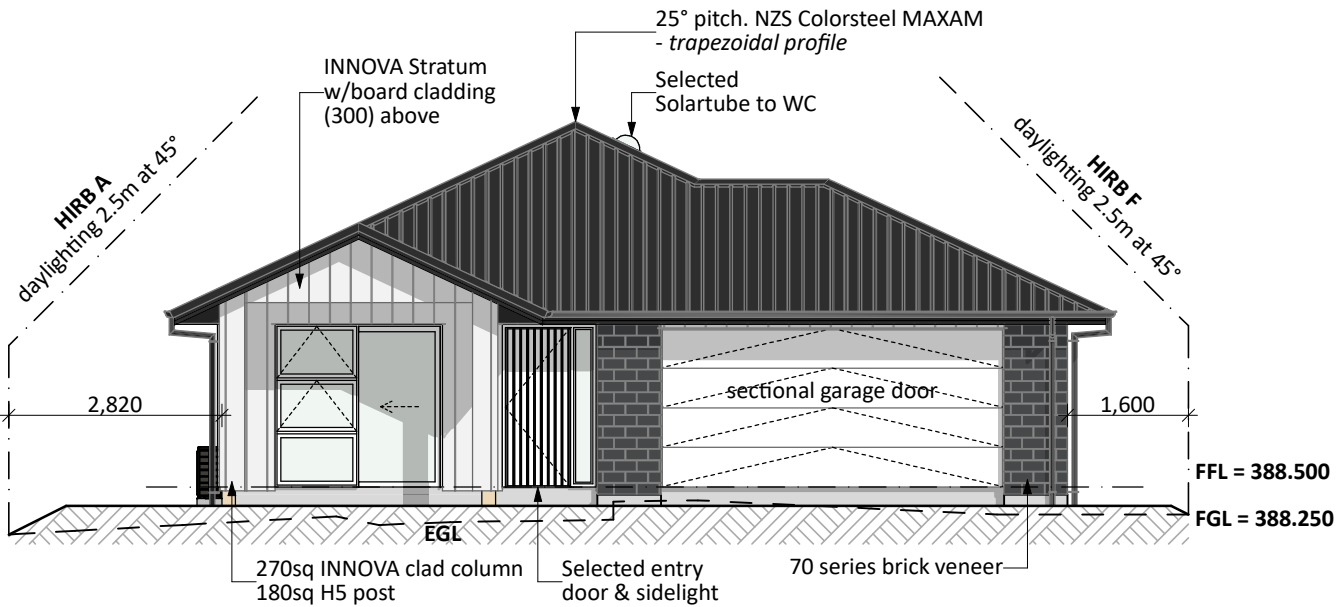
Wall Cladding:
70 series brick veneer - ensure cavity and weep holes are free from excess mortar
INNOVA Stratum w/board cladding (300)

***All claddings to be installed over FPS Weathertight System. FPS Weathertight System to be installed over timber framing strictly as per manufacturers specification.**

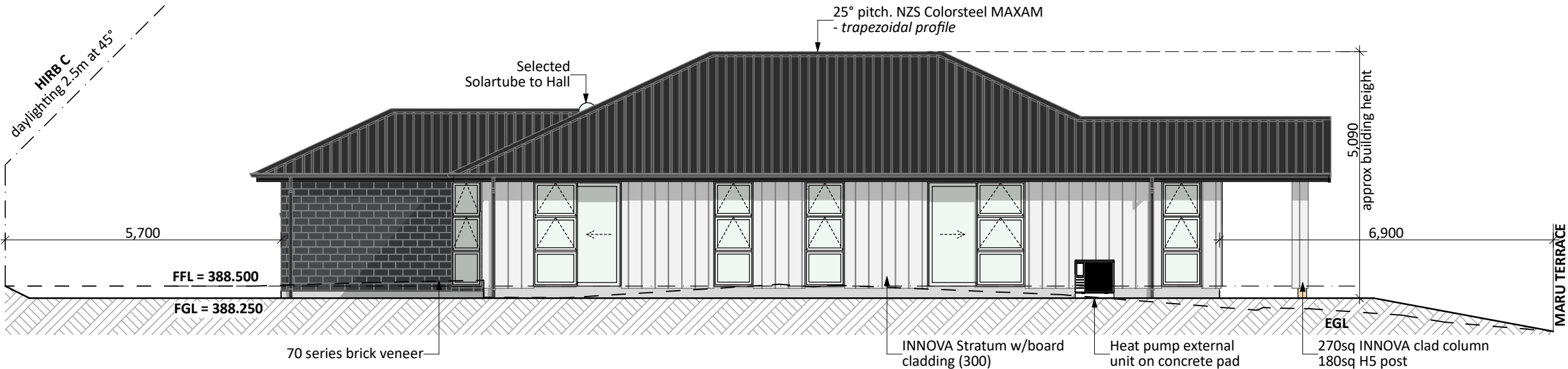
Roof Cladding:
25° pitch. NZS Colorsteel MAXAM - Trapezoidal profile

Fascia and Spouting:
COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes

Joinery & Glazing:
Selected powder coated aluminium joinery with thermally improved Low E double glazing



NORTH ELEVATION



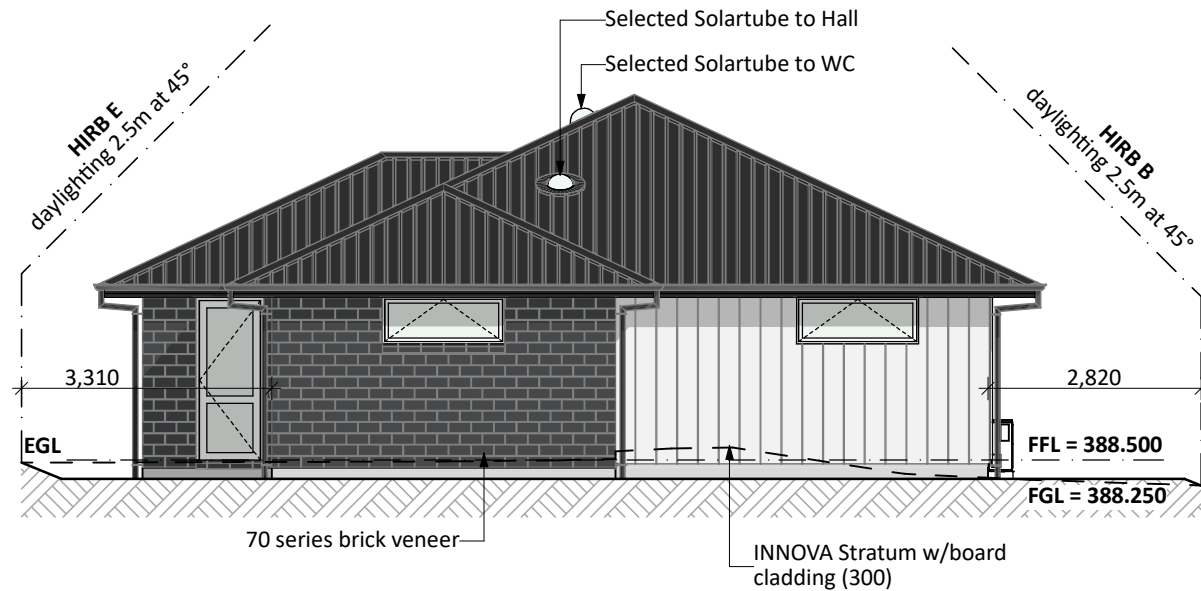
EAST ELEVATION

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature _____ Date _____

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	ELEVATIONS	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	1
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPU	Scale:	1:100



SOUTH ELEVATION

General Notes:

Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access

Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2.
Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

Foundation:

Ribraft floor to Firth specifications (see plan notes and details)

Wall Cladding:

70 series brick veneer - ensure cavity and weep holes are free from excess mortar
INNOVA Stratum w/board cladding (300)

***All claddings to be installed over FPS Weathertight System. FPS Weathertight System to be installed over timber framing strictly as per manufacturers specification.**

Roof Cladding:

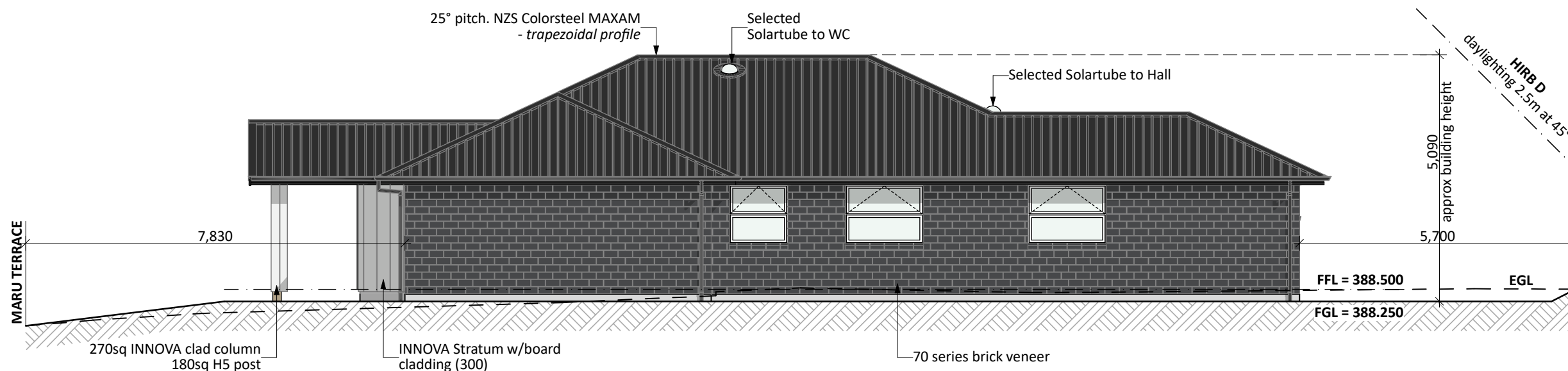
25° pitch. NZS Colorsteel MAXAM - Trapezoidal profile

Fascia and Spouting:

COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes

Joinery & Glazing:

Selected powder coated aluminium joinery with thermally improved Low E double glazing



WEST ELEVATION

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

Signature

Date

CONCEPT ONLY

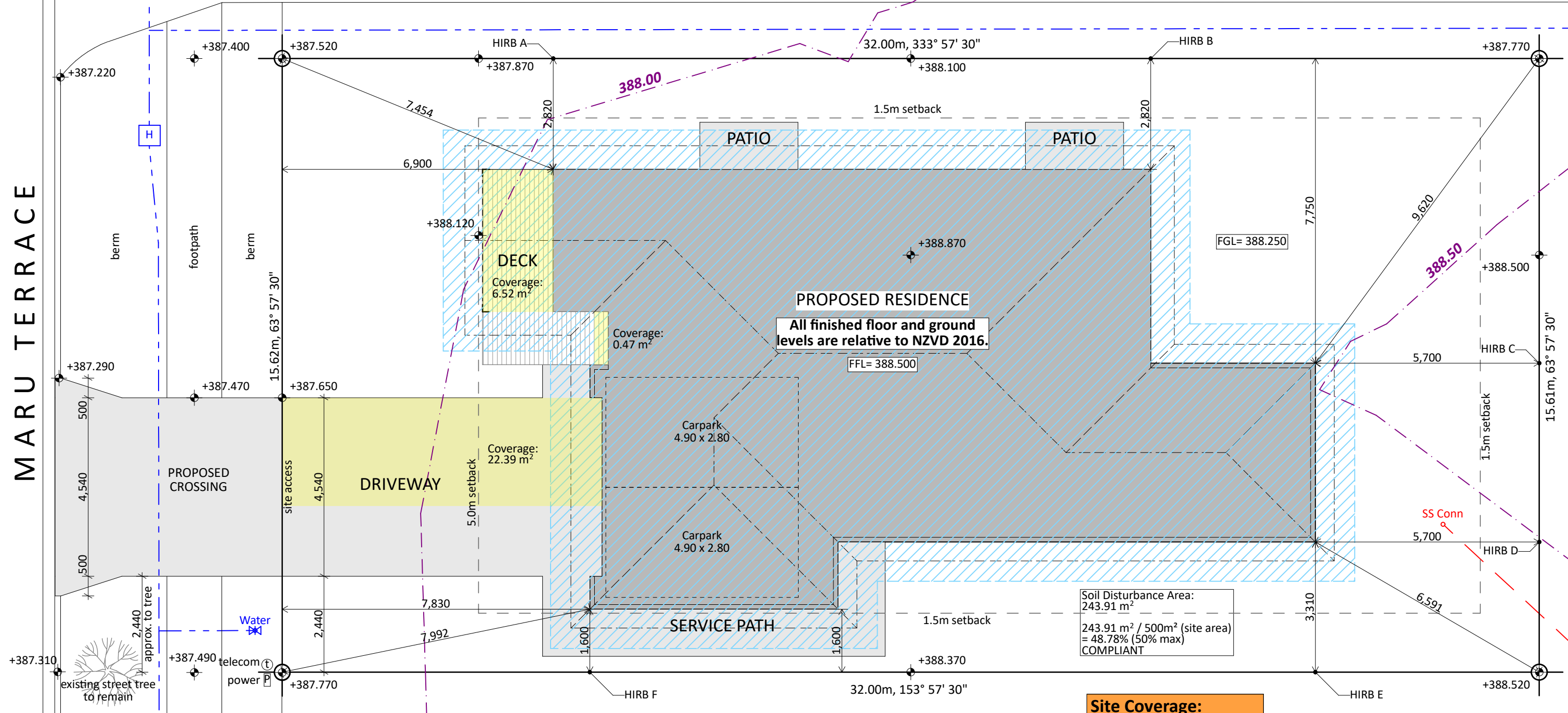
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Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	ELEVATIONS	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	2
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPU	Scale:	1:100

MARU TERRACE

ACCESS LOT 762



Site Coverage:

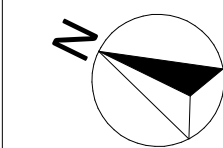
166.57 m² (House area) + 6.99m² (eaves over 600mm) / 500m² (site area) = 34.71%
Living Zone = GRZ
Max coverage = 40%
COMPLIANT

Plot Ratio:
166.57 m² (House area) / 500m² (site area) = 33.31%
Max Plot Ratio = 40%
(TDC - GRZ-5-2)
COMPLIANT

Total Coverage:
166.57 m² (House area) + 22.39m² (Impervious Area) / 500m² (site area) = 37.79%
Max Total Coverage = 50%
(TDC - GRZ-5-3)
COMPLIANT

Site Info:

LOT: 549
DP: 581637
AREA: 500m²



CONCEPT PLAN APPROVAL (confirmation to consent drawings)

Signature _____ Date _____

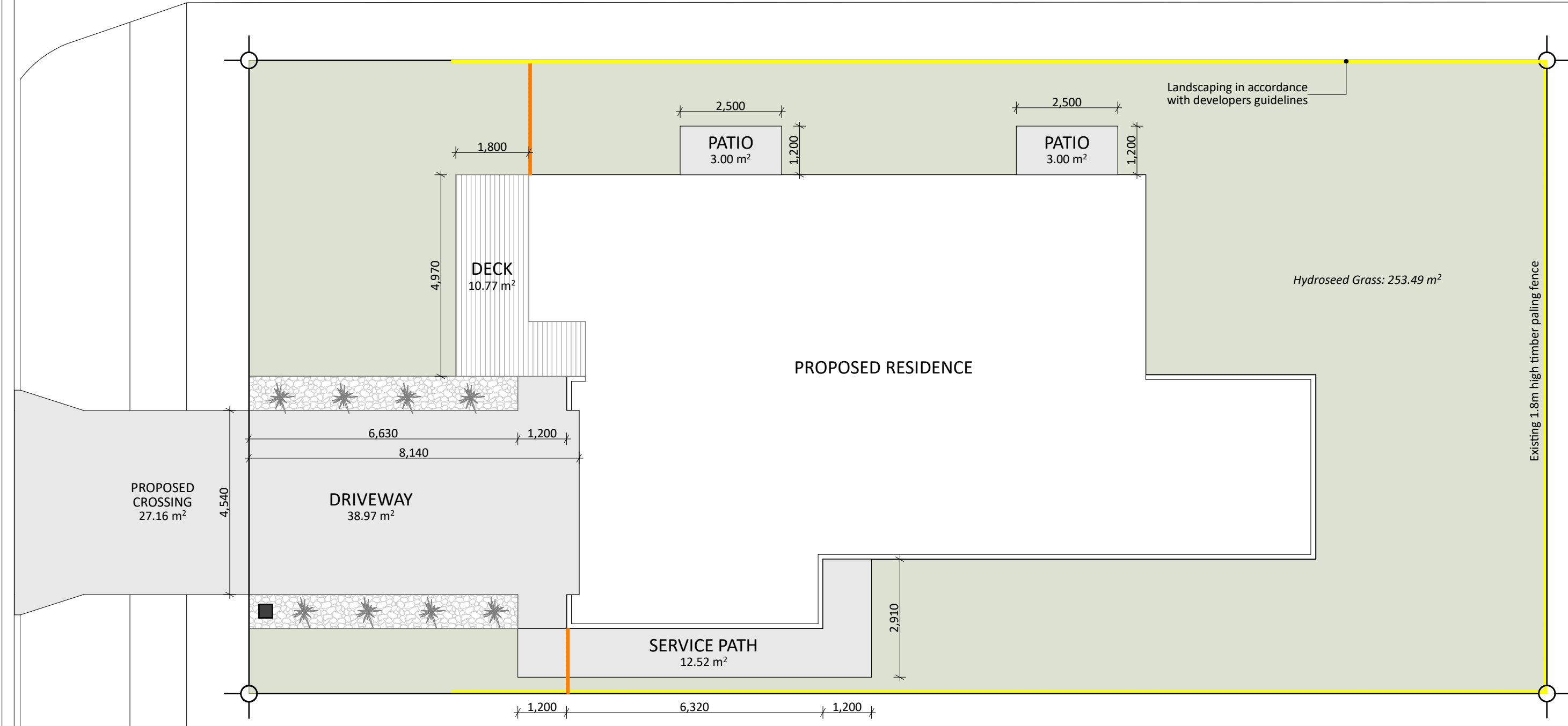
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MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



Project No: NGA549	Designed: DP	Wind: HIGH	Drawing: SITE PLAN	Date: 12/11/2025
Plan: PUKATEA (ALT)	Drawn: -	EQ: 2	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev: -
Version: 8.3	Checked: KB	Exposure: B	Site Address: LOT 549, 71 MARU TERRACE	Sheet: 3
		Council: TDC	NGA ROTO ESTATE, STAGE 14, TAUPU	Scale: 1:100

ACCESS LOT 762

MARU TERRACE



Landscape Key:

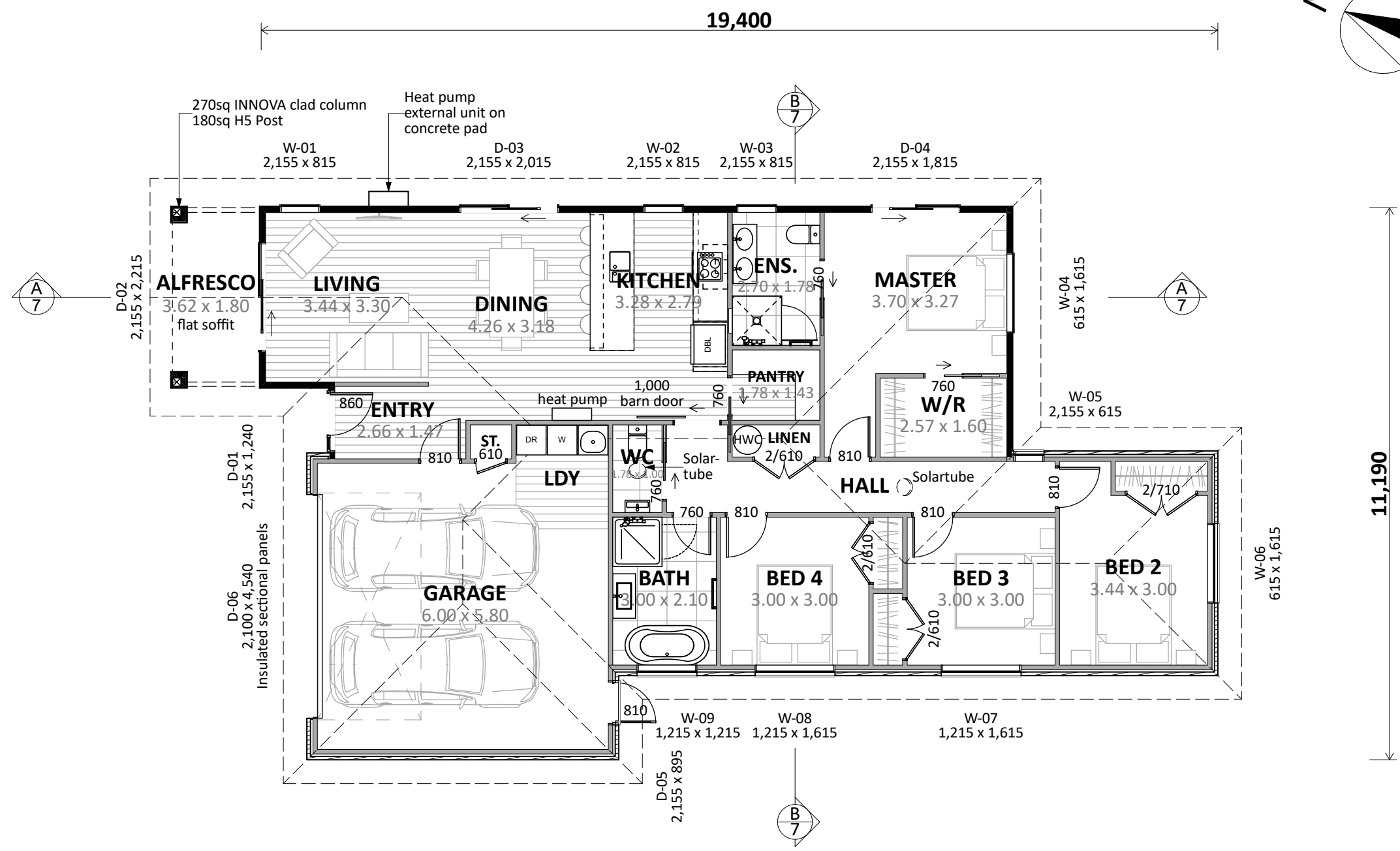
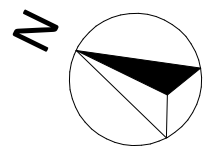
- HydroSeed Grass
- Riverstones
- 1.8m Timber Fence
- Fence & Gate
- Specimen Tree

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature Date

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Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	LANDSCAPING PLAN	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	4
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPU	Scale:	1:100



CHANGES TO PLAN:
- BED 2 layout revised.
- Previous full height window to BED 2 removed.

Plan Notes:
2.425 Stud height throughout
All joinery 2155 head height
Flat soffit to Alfresco
Solartube to WC and Hall

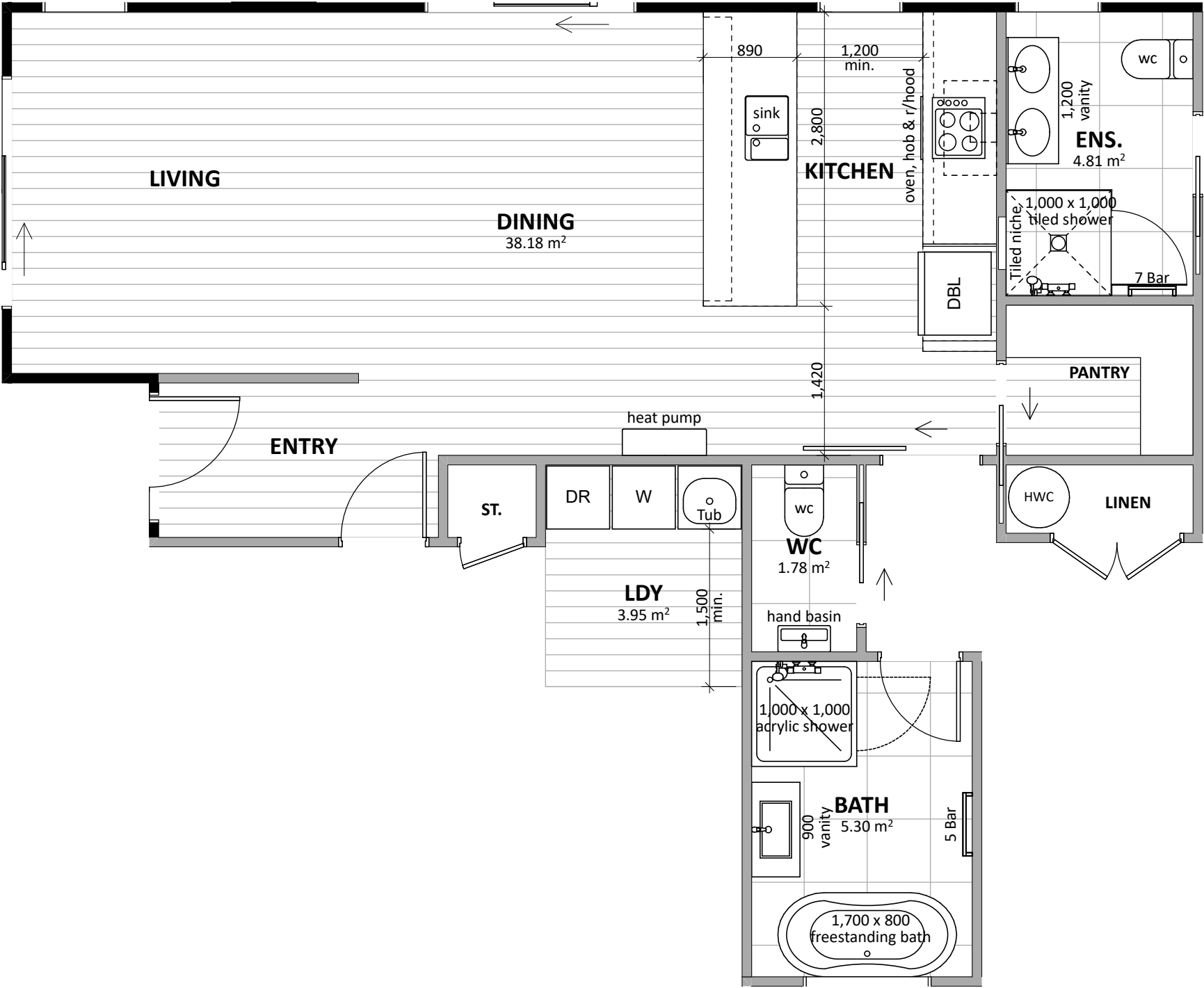
Floor Area:
Area o/frame: 162.90 m ² Area o/foundation: 166.57 m ²
Floor Area (for covenant) 166.57m ² + 6.52m ² (covered alfresco) = 173.09m ² Garage area = 37.12m ² (o/foundation) Total (less garage) = 173.09m ² - 37.12m ² = 135.97m ² (min. 130m ²)
Cladding Key:
INNOVA Stratum 300 Brick Veneer

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
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Project No: NGA549	Designed: DP	Wind: HIGH	Drawing: CONCEPT PLAN	Date: 12/11/2025
Plan: PUKATEA (ALT)	Drawn:	EQ: 2	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:
Version: 8.3	Checked: KB	Exposure: B	Site Address: LOT 549, 71 MARU TERRACE	Sheet: 5
		Council: TDC	NGA ROTO ESTATE, STAGE 14, TAUPU	Scale: 1:100



Floor Types Key:

= Vinyl Floor = Tiled Floor

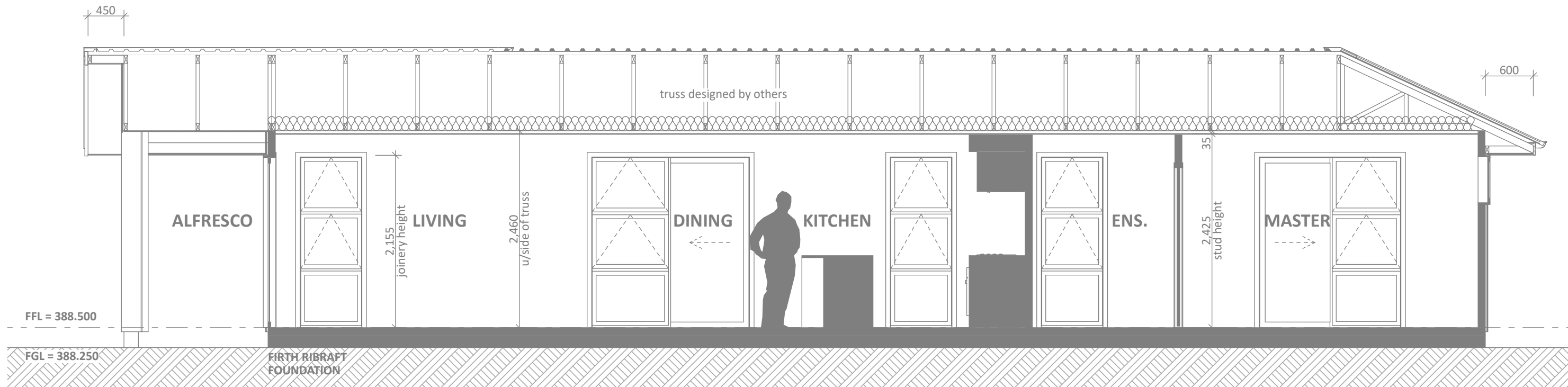
CONCEPT PLAN APPROVAL (confirmation to consent drawings)

Signature _____ Date _____

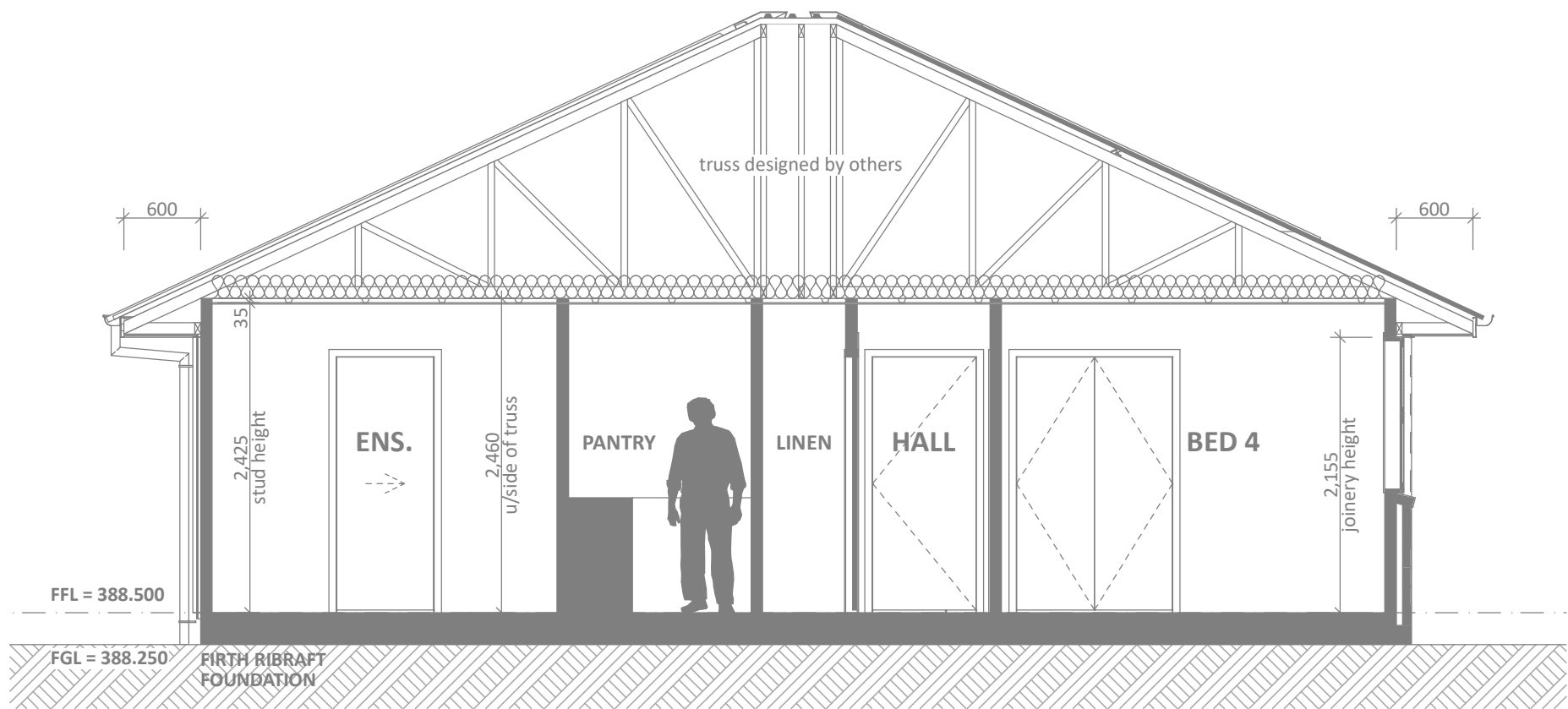
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MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



Project No:	NGA549	Designed:	DP	Wind:	HIGH	Drawing:	KITCHEN & BATHROOM	Date:	12/11/2025
Plan:	PUKATEA (ALT)	Drawn:	-	EQ:	2	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	8.3	Checked:	KB	Exposure:	B	Site Address:	LOT 549, 71 MARU TERRACE	Sheet:	6
				Council:	TDC		NGA ROTO ESTATE, STAGE 14, TAUPO	Scale:	1:50



CROSS SECTION A
SCALE 1:50



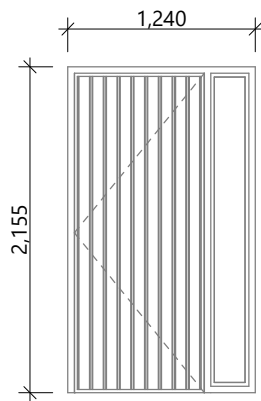
CROSS SECTION B
SCALE 1:50

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature *Date*

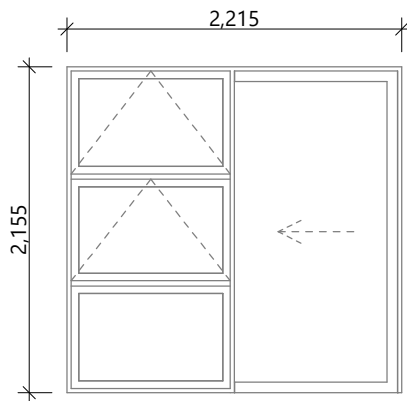
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MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



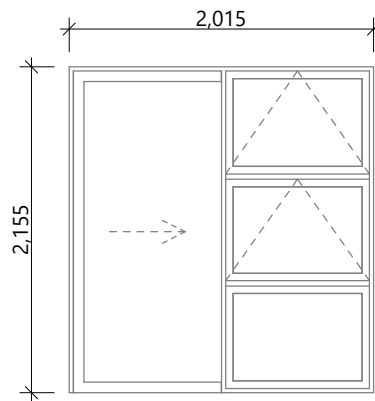
Project No: NGA549	Designed: DP	Wind: HIGH	Drawing: CROSS SECTIONS	Date: 12/11/2025
Plan: PUKATEA (ALT)	Drawn: -	EQ: 2	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev: -
Version: 8.3	Checked: KB	Exposure: B	Site Address: LOT 549, 71 MARU TERRACE	Sheet: 7
		Council: TDC	NGA ROTO ESTATE, STAGE 14, TAUPU	Scale: 1:50



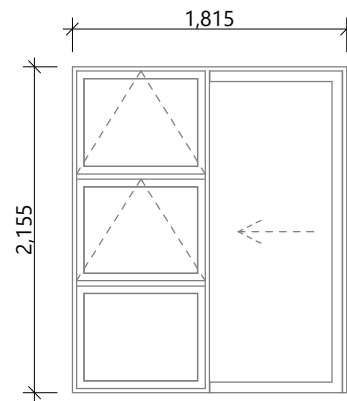
D-01
Rebated Joinery
860 Door Leaf



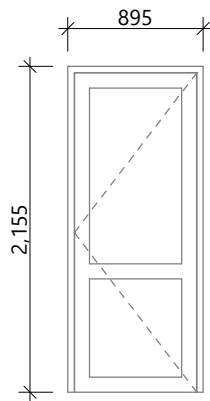
D-02
Rebated Joinery



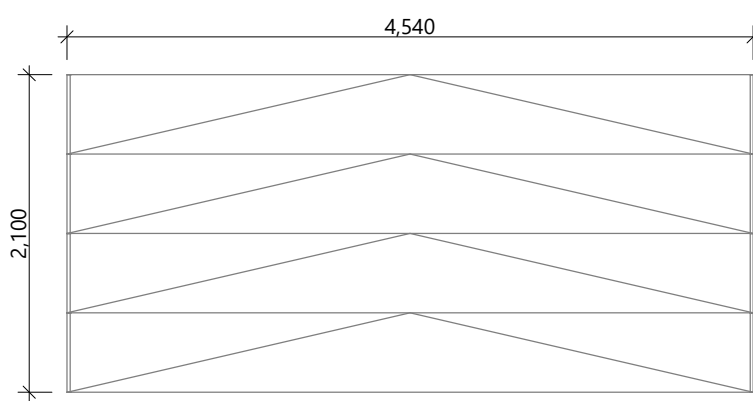
D-03
Rebated Joinery



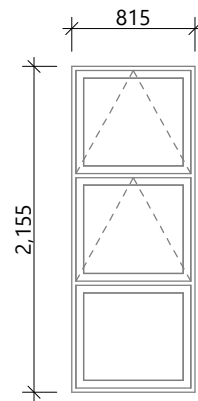
D-04
Rebated Joinery



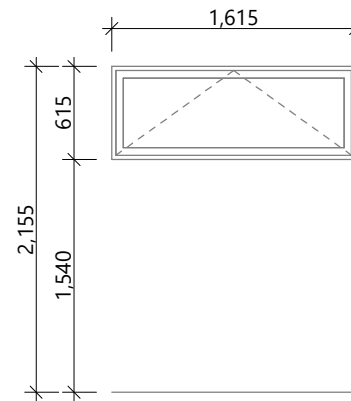
D-05
810 Door Leaf



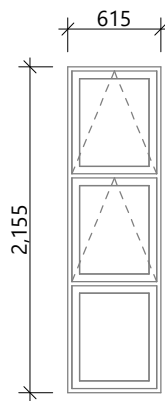
D-06
Insulated sectional panels



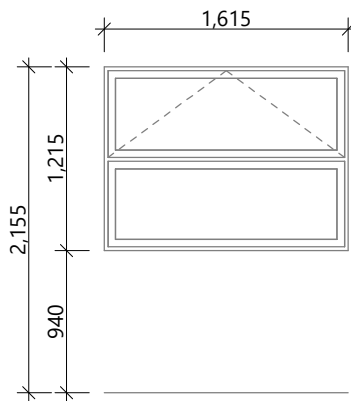
W-01, W-02, W-03
W-03: sg/obsc



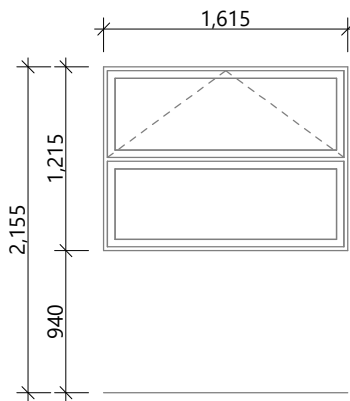
W-04, W-06



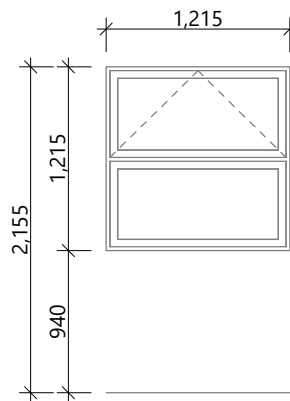
W-05



W-07



W-08



W-09
sg/obsc

General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

Thermally improved double glazing to all window and door joinery including garage joinery.

Glazing in accordance with NZS 4223 & 2016 amendments.
All glazing clear float unless noted anywhere, (refer to joinery schedule)
- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.
- Doors with glazing area > 0.75m² = safety glass
- Doors with glazing area < 0.75m² = 5mm annealed
- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.

sg = Safety glass as required by standards, joinery manufacturer to take precedence
ss = Safety stays (in accordance with NZBC:F4 clause 2.0)
obsc = Obscure glass

REBATED JOINERY

Rebated joinery sizes are to be confirmed with joinery manufacturer.

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature Date

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Project No: NGA549	Designed: DP	Wind: HIGH	Drawing: JOINERY SCHEDULE	Date: 12/11/2025
Plan: PUKATEA (ALT)	Drawn: -	EQ: 2	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:
Version: 8.3	Checked: KB	Exposure: B	Site Address: LOT 549, 71 MARU TERRACE	Sheet: 8
		Council: TDC	NGA ROTO ESTATE, STAGE 14, TAUPU	Scale: 1:50