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NEW DWELLING FOR:
BARRETT HOMES (CENTRAL PLATEAU) LTD

ADDRESS:
LOT 25, 41 ANNIE ARANUI DRIVE
MISSION HILLS, STAGE 1A, NAPIER

Project No:	MH25 (SH)	Designed:	KB/DP	Wind:	HIGH	Drawing:	COVER SHEET	Date:	3/06/2026
Plan:	WT223 (SH)	Drawn:	-	EQ:	3	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	1.1	Checked:	KB	Exposure:	C	Site Address:	LOT 25, 41 ANNIE ARANUI DRIVE	Sheet:	
			design@barretthomes.co.nz	Council:	NAPIER CITY		MISSION HILLS, STAGE 1A, NAPIER	Scale:	1:1



Roofing
- NZS Colorsteel MAXAM -
Trapezoidal profile



Joinery
- Black



Panel cladding
- INNOVA Stratum w/board
cladding (300)



Brick cladding
- Charcoal



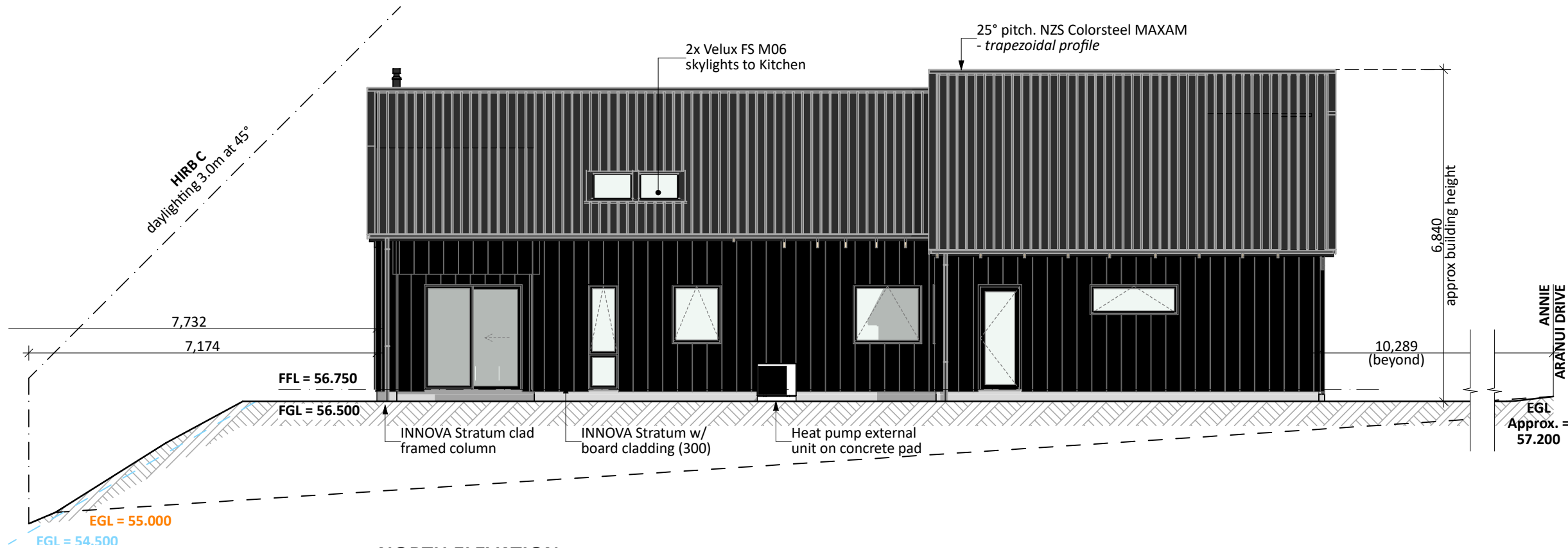
Natural cladding
- Vertical JSC TMT Amba

Please note that the material images are for illustrative purposes only and may not directly represent the final product. For exact details, please refer to the specification.

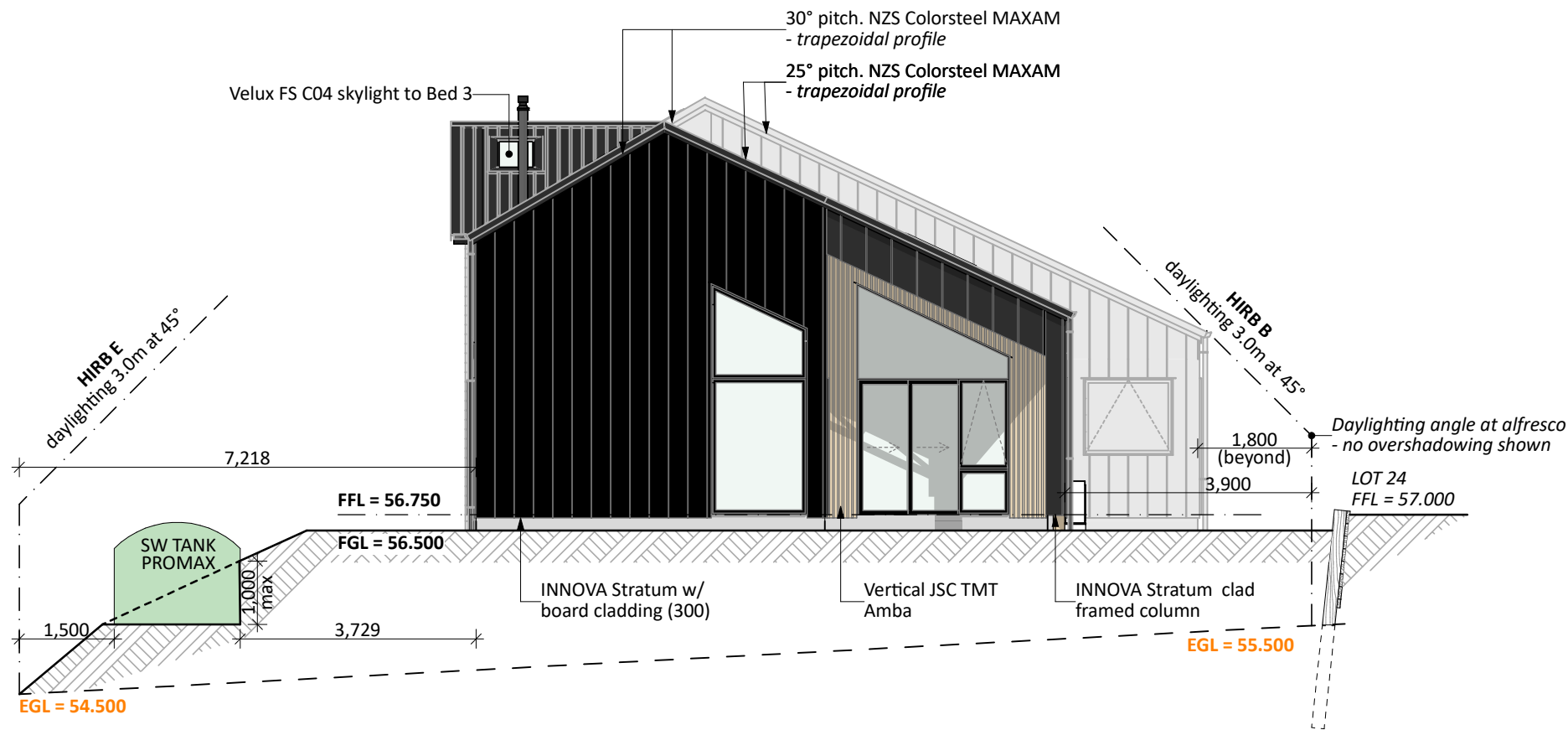
Y:\GM Projects\HAWKES BAY\Mission Hills - Napier\MH25 (SHOW HOME)\Consent Plans\MH25 (SH) - Consent 1.1.pln
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Project No:	MH25 (SH)	Designed:	KB/DP	Wind:	HIGH	Drawing:	MATERIALITY	Date:	3/06/2026
Plan:	WT223 (SH)	Drawn:	-	EQ:	3	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	1.1	Checked:	KB	Exposure:	C	Site Address:	LOT 25, 41 ANNIE ARANUI DRIVE	Sheet:	
				Council:	NAPIER CITY		MISSION HILLS, STAGE 1A, NAPIER	Scale:	



NORTH ELEVATION



EAST ELEVATION

General Notes:

Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access

Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2. Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

Foundation:

Ribraft floor to Firth specifications (see plan notes and details)

Wall Cladding:

Premier Brick - 70 series estate brick veneer (charcoal) - ensure cavity and weep holes are free from excess mortar
INNOVA Stratum w/board cladding (300)
Vertical JSC TMT Amba

***All claddings to be installed over FPS Weathertight System. FPS Weathertight System to be installed over timber framing strictly as per manufacturers specification.**

Roof Cladding:

30° & 25° pitch. NZS Colorsteel MAXAM - Trapezoidal profile

Fascia and Spouting:

COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes

Joinery & Glazing:

Selected powder coated aluminium joinery with thermally improved Low E double glazing

PRELIMINARY ONLY.

Elevations are subject to the following:

- Site Levels
- Retaining Wall

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

Signature

Date

CONCEPT ONLY

MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS

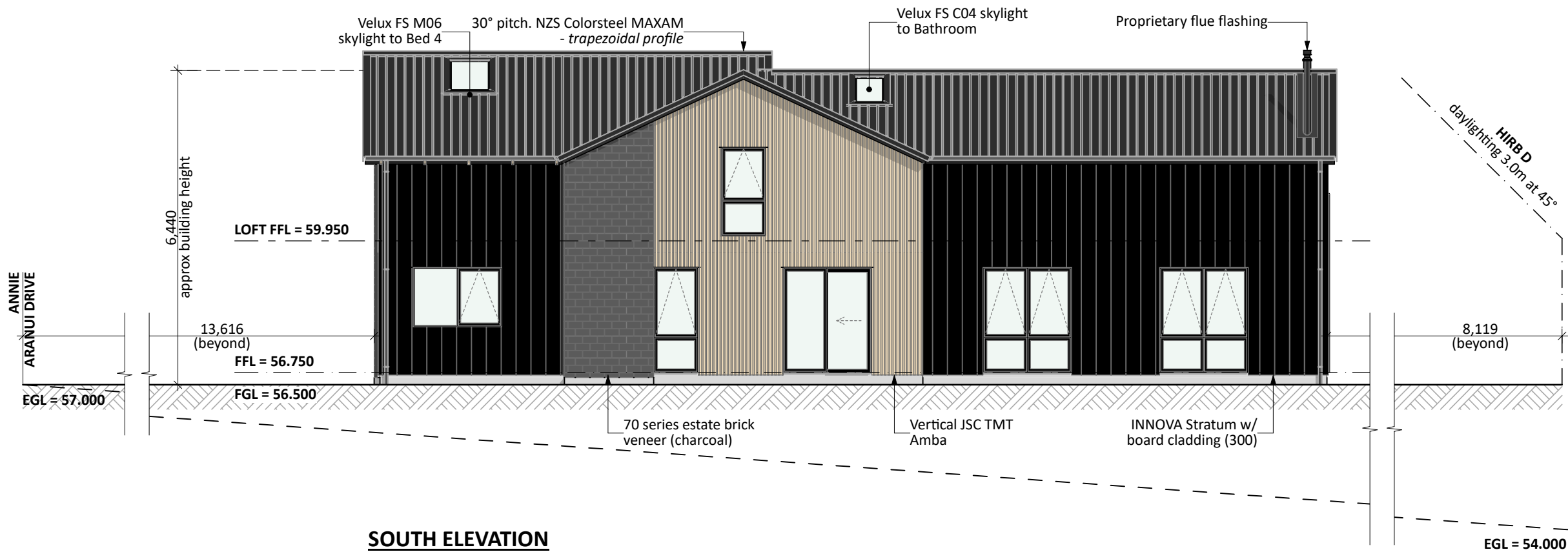
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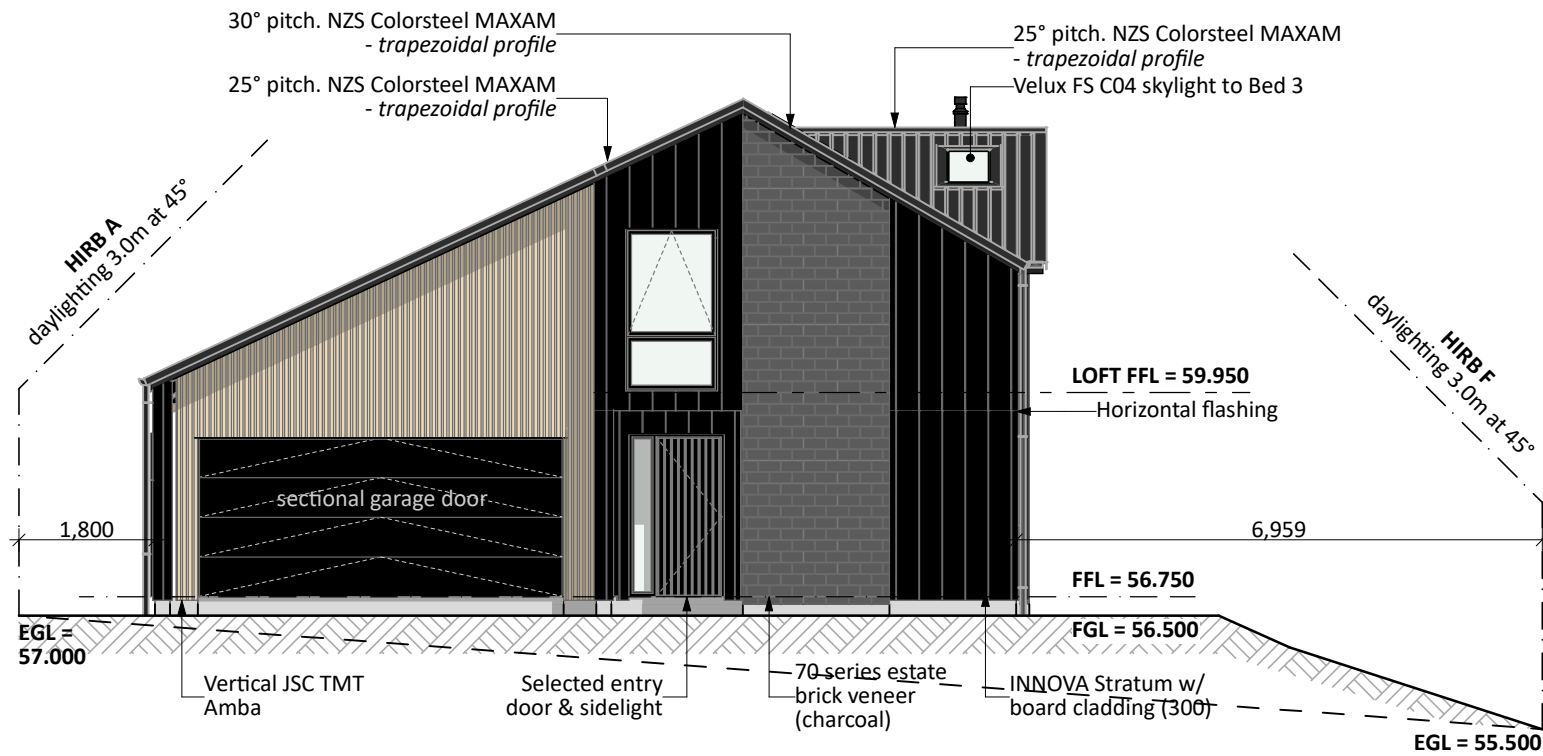


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Project No: MH25 (SH)	Designed: KB/DP	Wind: HIGH	Drawing: ELEVATIONS	Date: 3/06/2026
Plan: WT223 (SH)	Drawn: -	EQ: 3	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:
Version: 1.1	Checked: KB	Exposure: C	Site Address: LOT 25, 41 ANNIE ARANUI DRIVE	Sheet: 1
		Council: NAPIER CITY	MISSION HILLS, STAGE 1A, NAPIER	Scale: 1:100



SOUTH ELEVATION



WEST ELEVATION

General Notes:

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NZBC D1/AS1 Access

Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2. Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

Foundation:

Ribraft floor to Firth specifications (see plan notes and details)

Wall Cladding:

Premier Brick - 70 series estate brick veneer (charcoal) - ensure cavity and weep holes are free from excess mortar
INNOVA Stratum w/board cladding (300)
Vertical JSC TMT Amba

***All claddings to be installed over FPS Weathertight System. FPS Weathertight System to be installed over timber framing strictly as per manufacturers specification.**

Roof Cladding:

30° & 25° pitch. NZS Colorsteel MAXAM - Trapezoidal profile

Fascia and Spouting:

COLORCOTE fascia & spouting with 80mm Ø Alipipes - powder coated aluminium downpipes

Joinery & Glazing:

Selected powder coated aluminium joinery with thermally improved Low E double glazing

PRELIMINARY ONLY.

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- Site Levels
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Project No: MH25 (SH)	Designed: KB/DP	Wind: HIGH	Drawing: ELEVATIONS	Date: 3/06/2026
Plan: WT223 (SH)	Drawn: -	EQ: 3	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:
Version: 1.1	Checked: KB	Exposure: C	Site Address: LOT 25, 41 ANNIE ARANUI DRIVE	Sheet: 2
	design@barrethomes.co.nz	Council: NAPIER CITY	MISSION HILLS, STAGE 1A, NAPIER	Scale: 1:100



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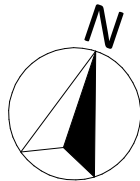
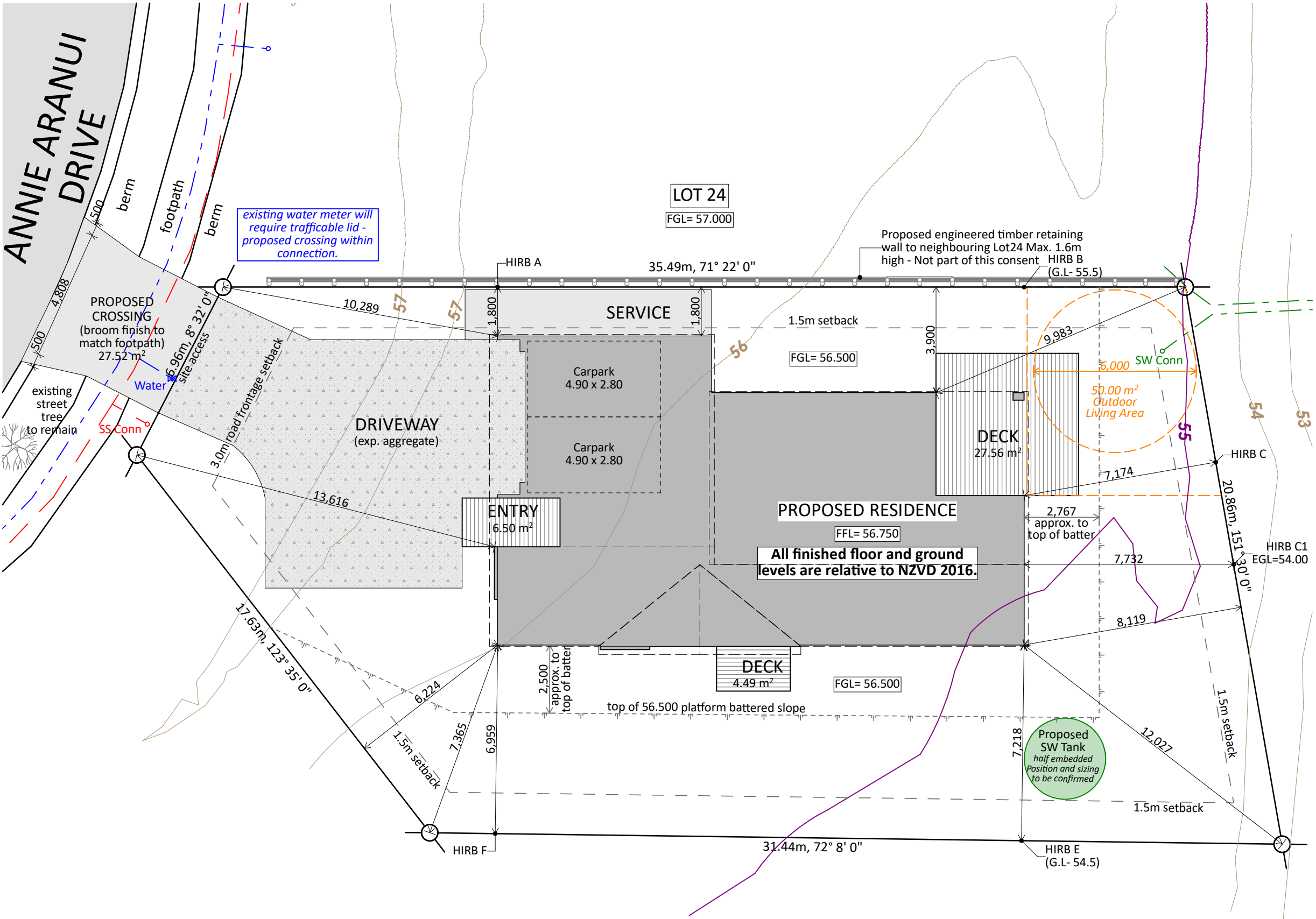
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Project No:	MH25 (SH)	Designed:	KB/DP	Wind:	HIGH	Drawing:	LOCATION PLAN	Date:	3/06/2026
Plan:	WT223 (SH)	Drawn:	-	EQ:	3	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	1.1	Checked:	KB	Exposure:	C	Site Address:	LOT 25, 41 ANNIE ARANUI DRIVE	Sheet:	3
				Council:	NAPIER CITY		MISSION HILLS, STAGE 1A, NAPIER	Scale:	1:200



Site Info:

LOT: 25
DP: 602451
AREA: 735m²

Site Coverage:

176.10 m² (House area) / 735m² (site area) = 23.93%
Max coverage = 50% (Rule 51B.87)
COMPLIANT

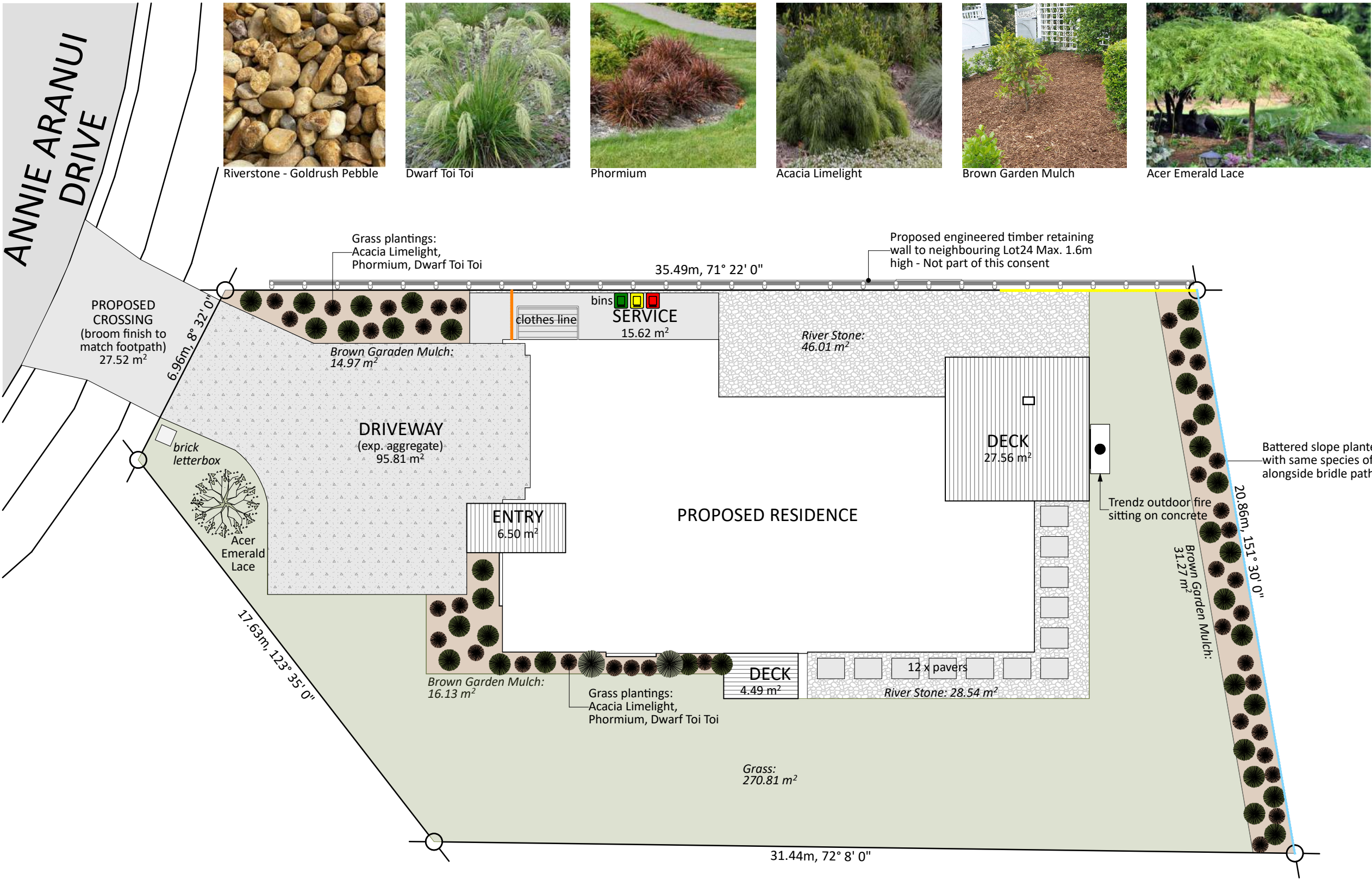
Site Planning Info:

Planning Zone:
Mission Special Character - Res Precinct

Yard Setbacks (minimum): (Rule 51B.84)
Garage: 5.0m
Front: 3.0m
Sides: 1.5m
Rear: 1.5m
COMPLIANT

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Landscape Key:

HydroSeed Grass

Riverstones

Mulch

1.2m permeable Fence

1.8m Timber Fence

Fence & Gate

Selected Grass Plantings

Selected tree

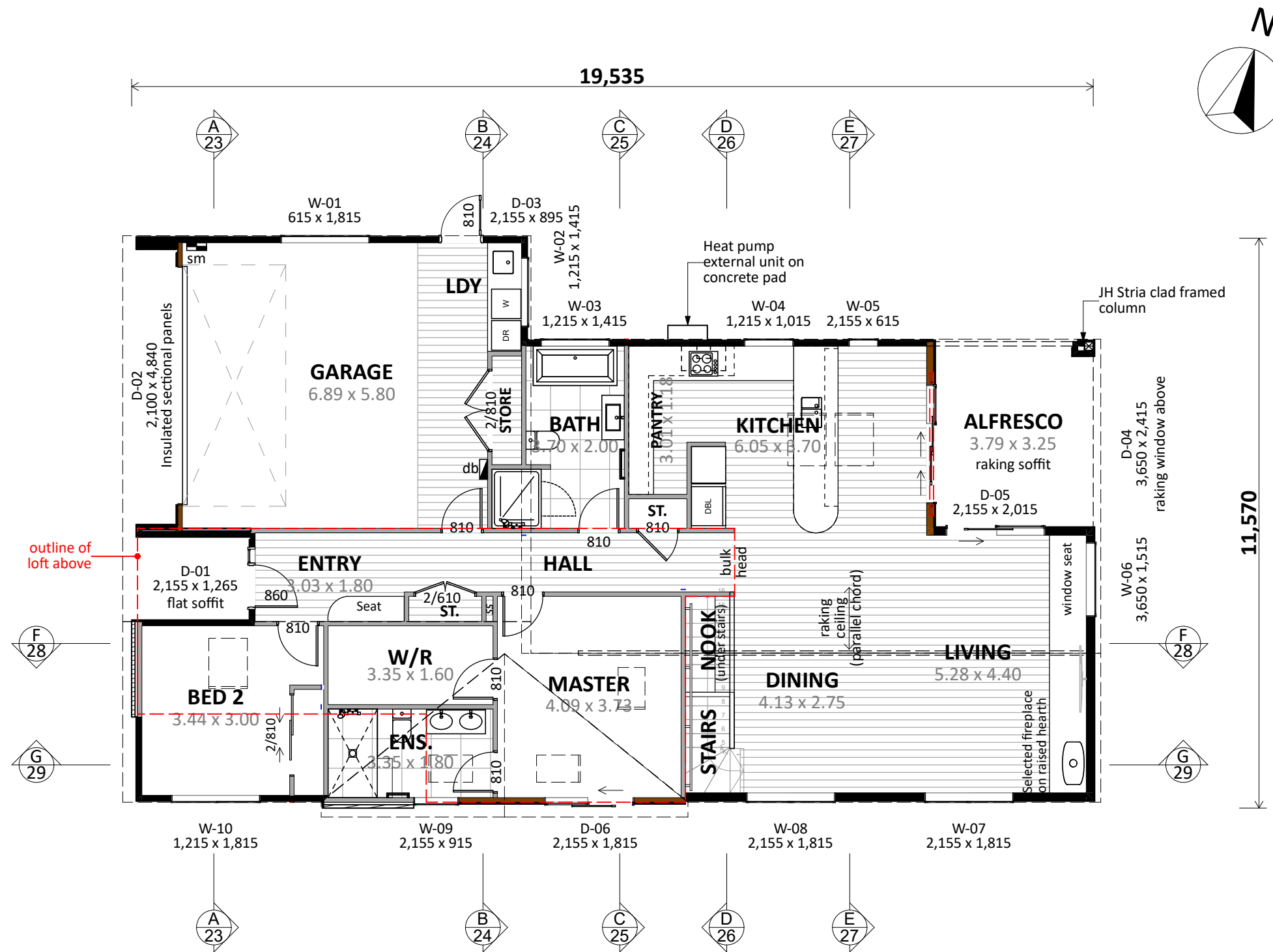
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Signature

Date

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Plan Notes:
2.425 Stud height throughout
All joinery 2155 head height
Raking ceiling to Kitchen, Dining, Living, Alfresco
(parallel truss chord)

Floor Area:

Area o/frame: 175.65 m²
Area o/foundation: 176.10 m²

Cladding Key:

INNOVA Stratum Panel

Vertical Cedar

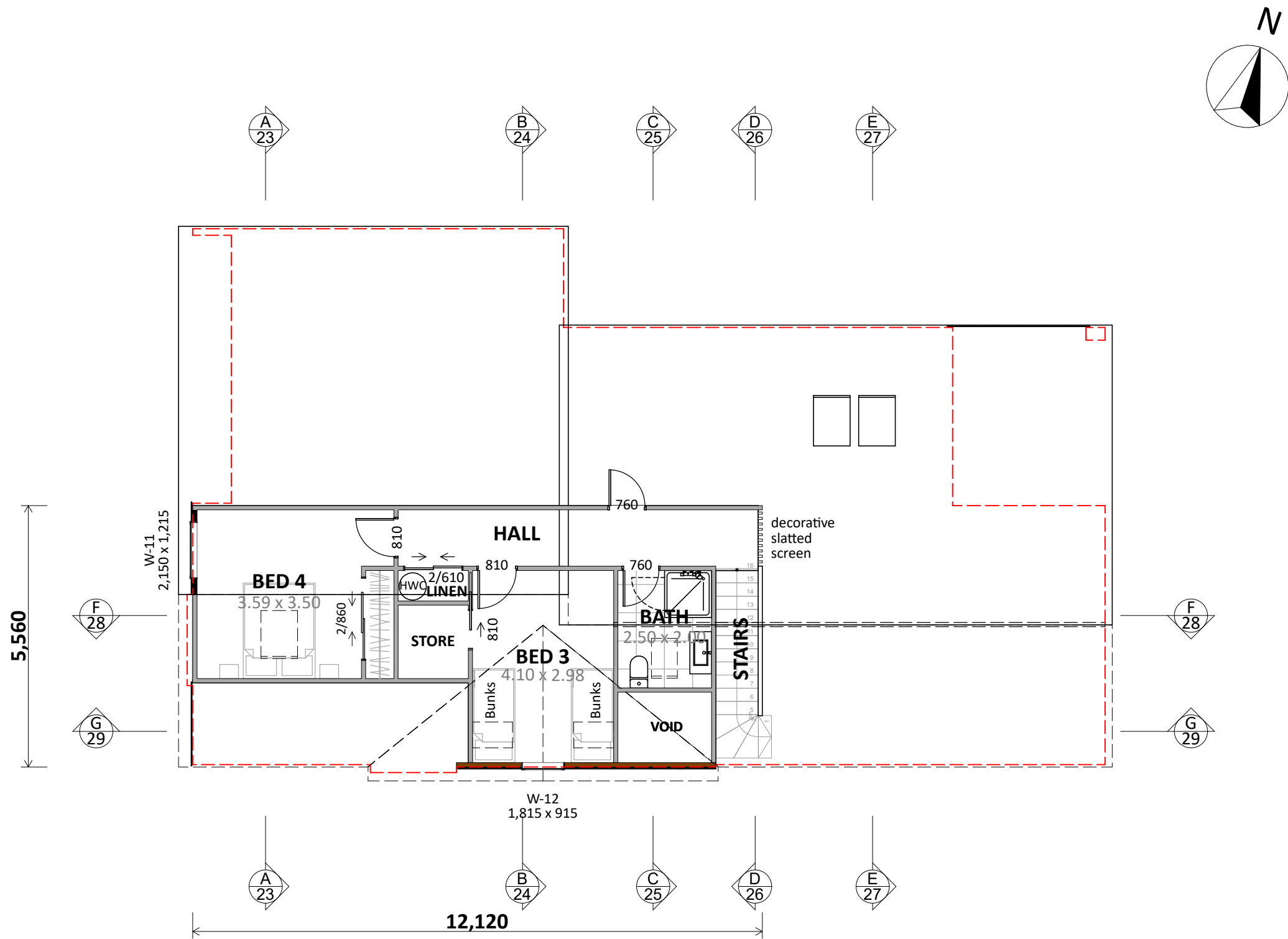
Brick Veneer

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Signature _____ Date _____

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Project No:	MH25 (SH)	Designed:	KB/DP	Wind:	HIGH	Drawing:	CONCEPT FLOOR PLAN	Date:	3/06/2026
Plan:	WT223 (SH)	Drawn:	-	EQ:	3	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	1.1	Checked:	KB	Exposure:	C	Site Address:	LOT 25, 41 ANNIE ARANUI DRIVE	Sheet:	6
				Council:	NAPIER CITY		MISSION HILLS, STAGE 1A, NAPIER	Scale:	1:100



Plan Notes:
2.425 Stud height throughout
All joinery 2155 head height
Raking ceiling to Kitchen, Dining, Living, Alfresco
(parallel truss chord)

Floor Area:

Area o/frame: 175.65 m²
Area o/foundation: 176.10 m²

Cladding Key:

INNOVA Stratum Panel

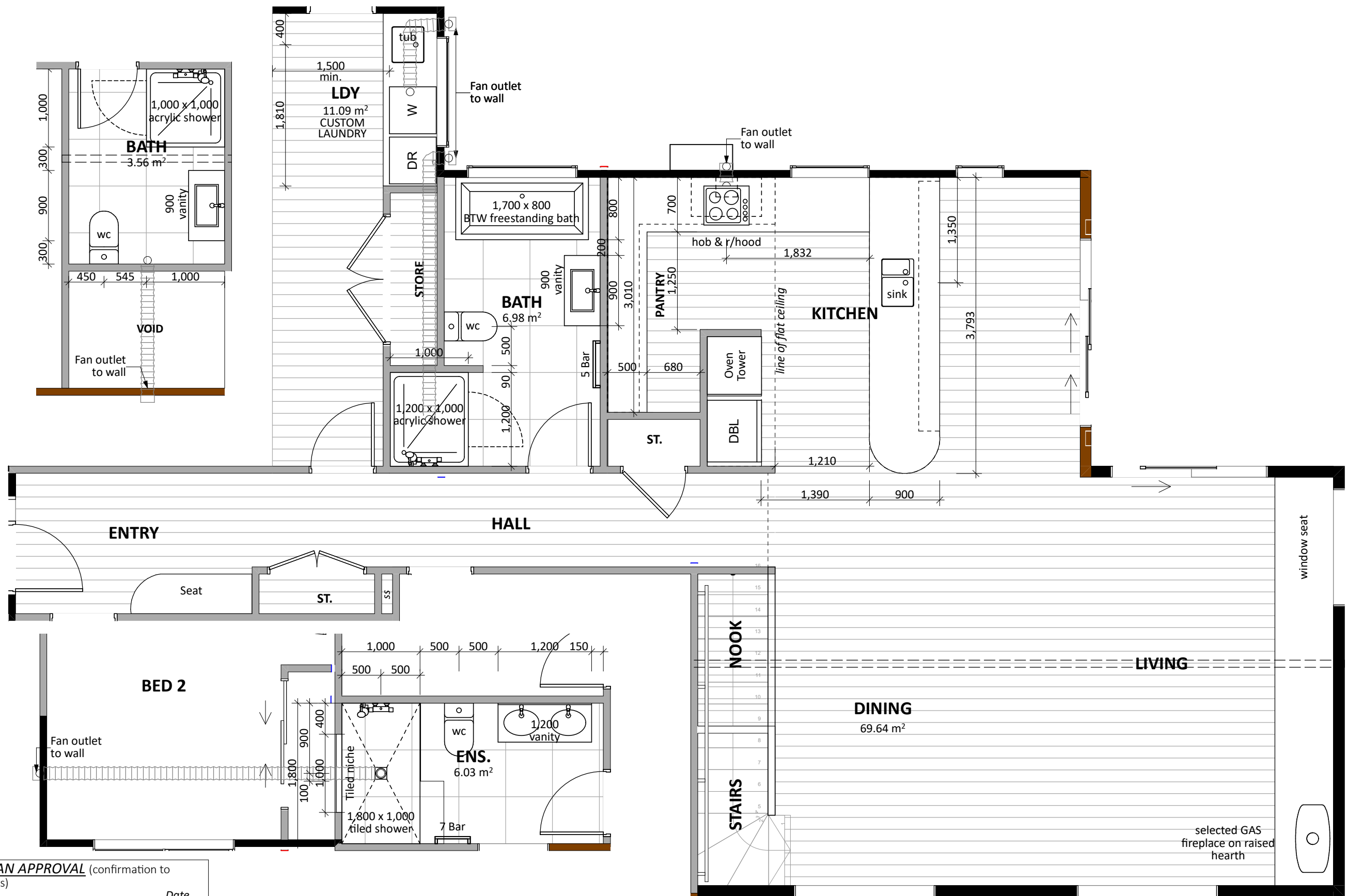
Vertical Cedar

Brick Veneer

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
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Project No: MH25 (SH)	Designed: KB/DP	Wind: HIGH	Drawing: CONCEPT LOFT PLAN	Date: 3/06/2026
Plan: WT223 (SH)	Drawn: -	EQ: 3	Client Name: BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:
Version: 1.1	Checked: KB	Exposure: C	Site Address: LOT 25, 41 ANNIE ARANUI DRIVE	Sheet: 7
	design@barretthomes.co.nz	Council: NAPIER CITY	MISSION HILLS, STAGE 1A, NAPIER	Scale: 1:100



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Signature _____ *Date* _____

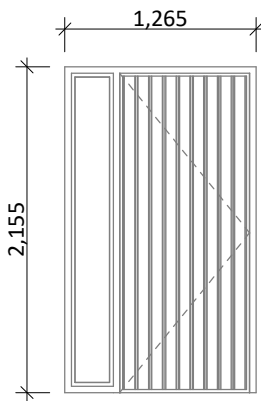
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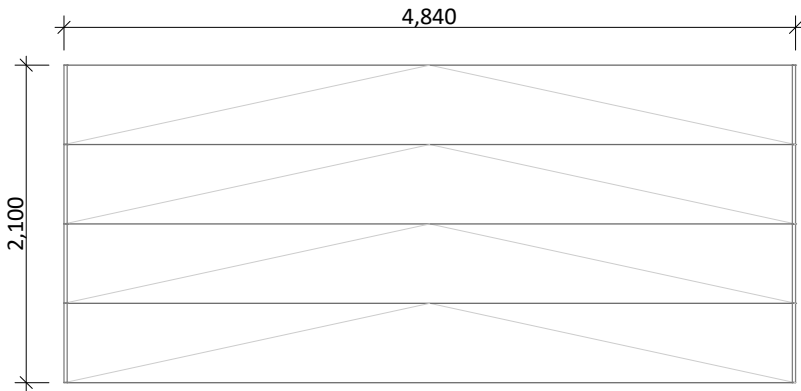


Project No:	MH25 (SH)	Designed:	KB/DP	Wind:	HIGH	Drawing:	KITCHEN & BATHROOM	Date:	3/06/2026
Plan:	WT223 (SH)	Drawn:	-	EQ:	3	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	1.1	Checked:	KB	Exposure:	C	Site Address:	LOT 25, 41 ANNIE ARANUI DRIVE	Sheet:	8
				Council:	NAPIER CITY		MISSION HILLS, STAGE 1A, NAPIER	Scale:	1:50

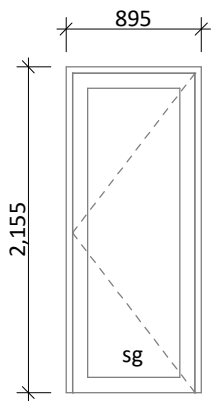
Floor Types Key:
 = Vinyl Floor  = Tiled Floor



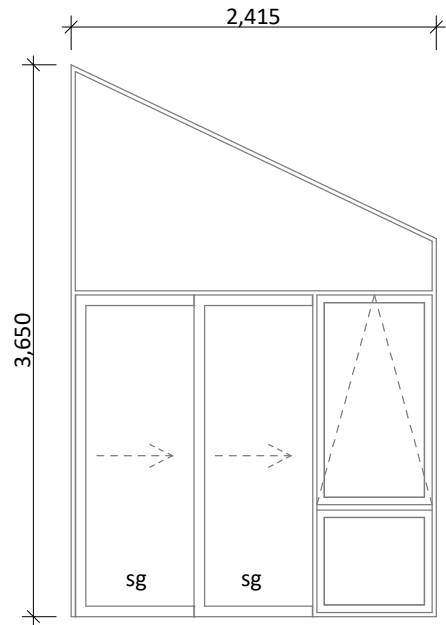
D-01
Rebated Joinery
860 door leaf



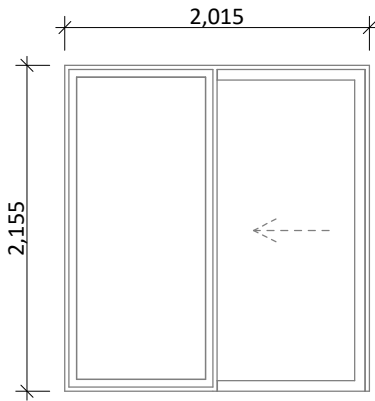
D-02
Insulated sectional panels



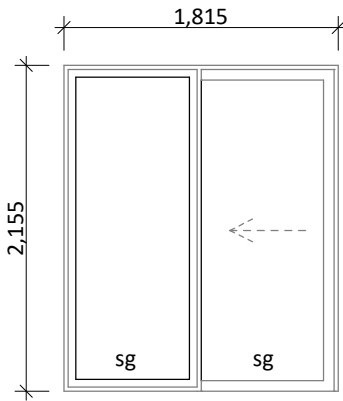
D-03
810 door leaf



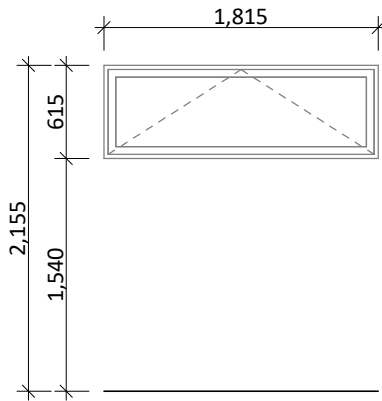
D-04
Rebated Joinery



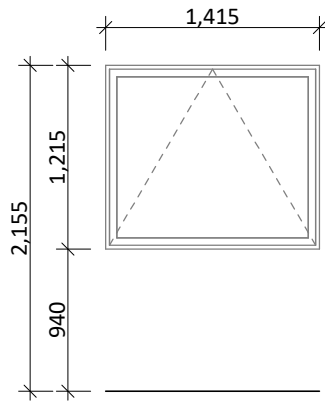
D-05
Rebated Joinery



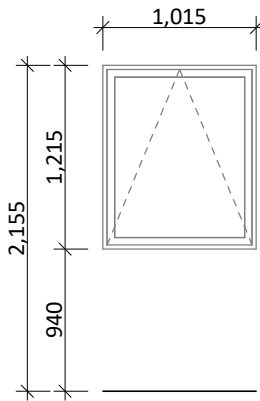
D-06
Rebated Joinery



W-01



W-02, W-03
W-03: obsc/sg



W-04

General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

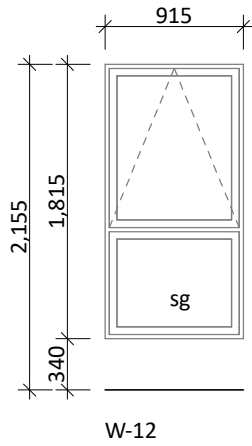
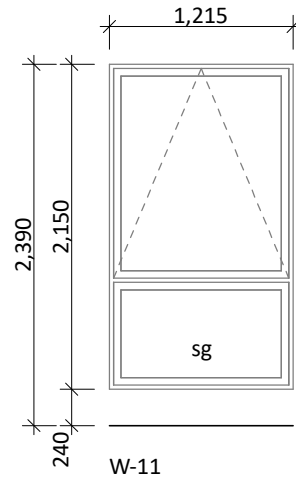
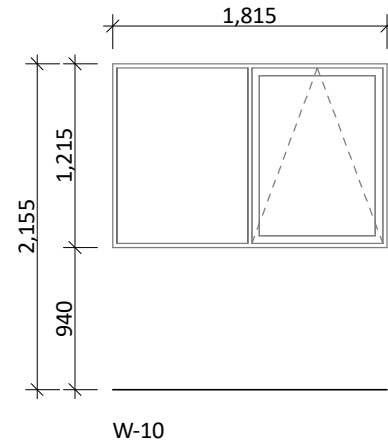
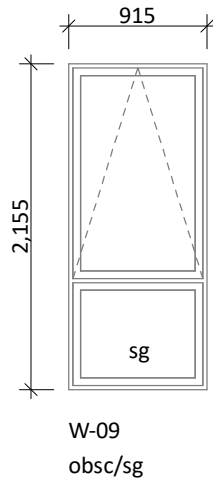
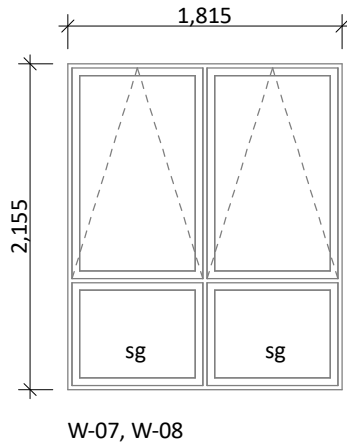
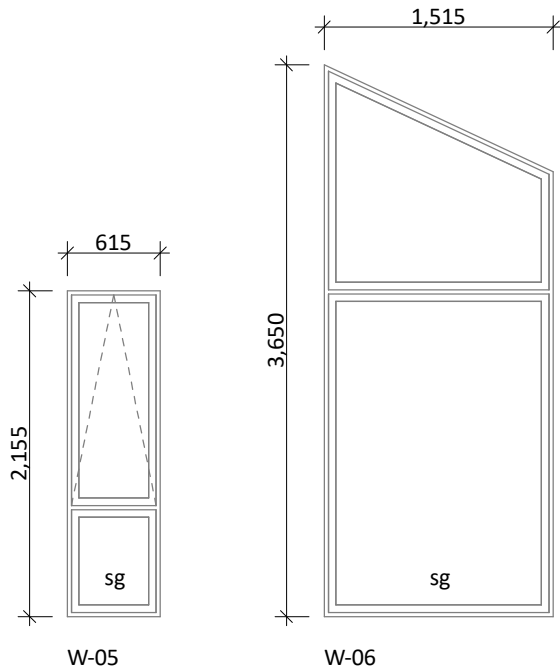
Thermally improved double glazing to all window and door joinery including garage joinery.

Glazing in accordance with NZS 4223 & 2016 amendments.
All glazing clear float unless noted anywhere, (refer to joinery schedule)
- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.
- Doors with glazing area > 0.75m² = safety glass
- Doors with glazing area < 0.75m² = 5mm annealed
- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.

sg = Safety glass as required by standards, joinery manufacturer to take precedence
ss = Safety stays (in accordance with NZBC:F4 clause 2.0)
obsc = Obscure glass

REBATED JOINERY

Rebated joinery sizes are to be confirmed with joinery manufacturer.



General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

Thermally improved double glazing to all window and door joinery including garage joinery.

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Project No:	MH25 (SH)	Designed:	KB/DP	Wind:	HIGH	Drawing:	JOINERY SCHEDULE	Date:	3/06/2026
Plan:	WT223 (SH)	Drawn:	-	EQ:	3	Client Name:	BARRETT HOMES (CENTRAL PLATEAU) LTD	Rev:	
Version:	1.1	Checked:	KB	Exposure:	C	Site Address:	LOT 25, 41 ANNIE ARANUI DRIVE	Sheet:	10
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