



Barrett Homes

Welcome to the *whānau*.

CONTENTS:

	COVER SHEET
1	ELEVATIONS
2	ELEVATIONS
3	SITE PLAN
4	LANDSCAPING PLAN
5	CONCEPT PLAN
6	KITCHEN & BATHROOM
7	CROSS SECTIONS
8	JOINERY SCHEDULE

NEW DWELLING FOR:
BARRETT HOMES (NORTHLAND) LTD

ADDRESS:
LOT 6, 14 MOORING WAY
ONE TREE POINT, WHANGAREI



Project No:	MOOR6	Designed:	JL	Wind:	HIGH	Drawing:	COVER SHEET	Date:	29/07/2026
Plan:	New Design	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.0	Checked:	KB	Exposure:	D	Site Address:	LOT 6, 14 MOORING WAY	Sheet:	
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	

General Notes:
Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access
Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2.
Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

Foundation:
Raft floor to engineers design (see plan notes and details)

Wall Cladding:
70 series brick veneer - ensure cavity and weep holes are free from excess mortar
Innova Duragroove Smooth wide (150) panel cladding

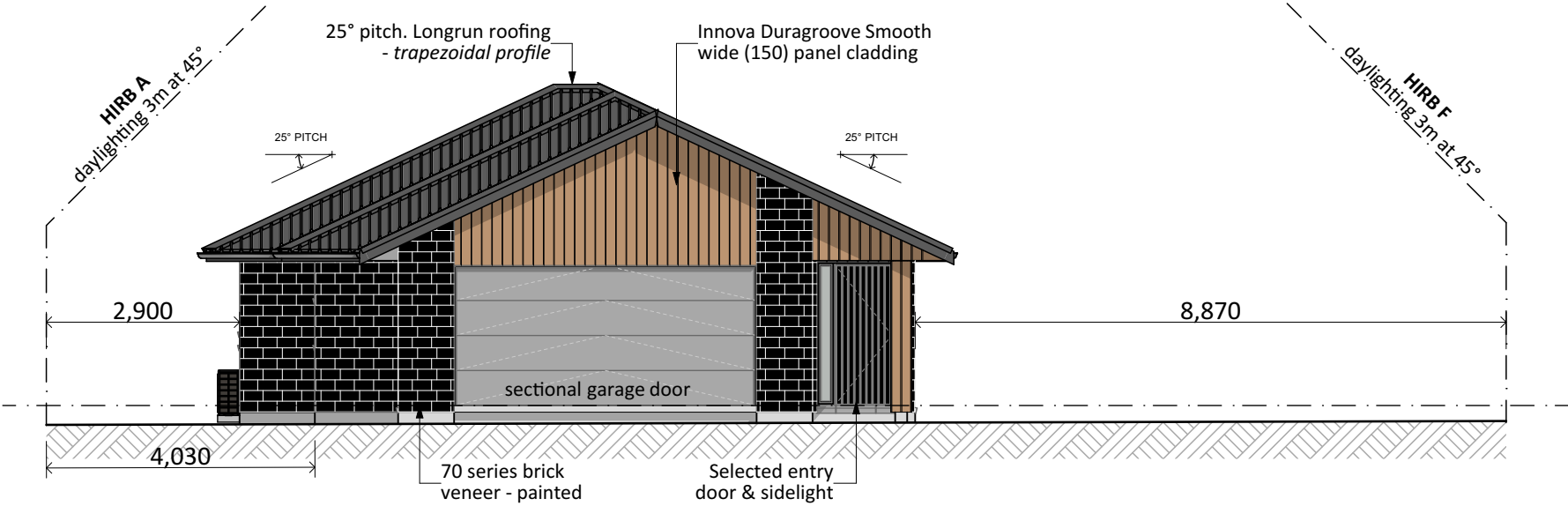
Roof Cladding:
25° pitch. Longrun roofing - *Trapezoidal profile*

Fascia and Spouting:
COLORCOTE fascia, spouting & 80mm Ø MARLEY PVC downpipes

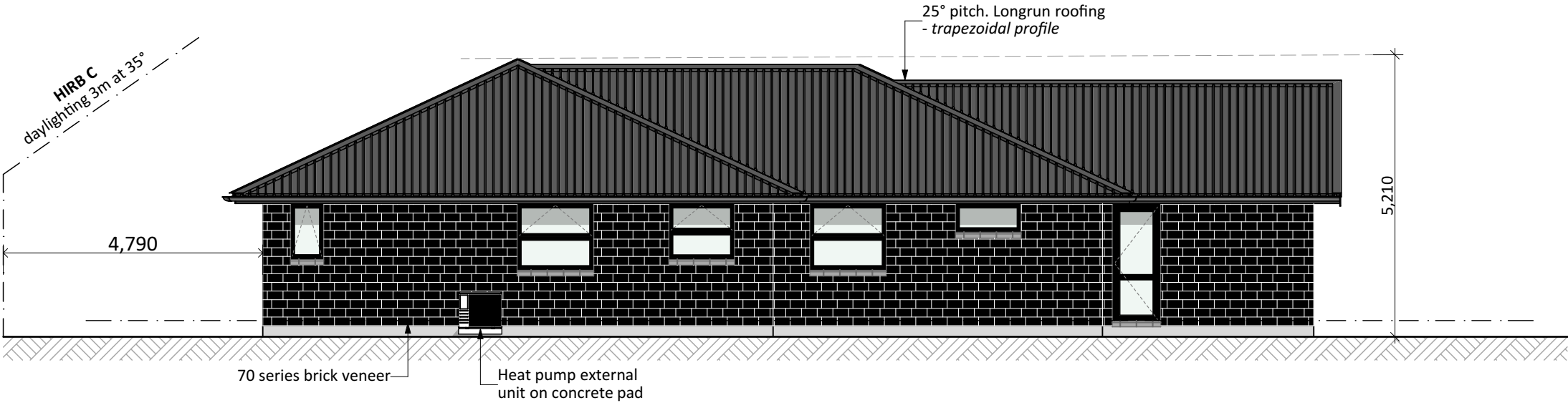
Joinery & Glazing:
Selected powder coated aluminium joinery with thermally improved Low E double glazing

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature **Date**

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



NORTH ELEVATION



EAST ELEVATION



Project No:	MOOR6	Designed:	JL	Wind:	HIGH	Drawing:	ELEVATIONS	Date:	29/07/2026
Plan:	New Design	Drawn:	-	EQ:	1	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.0	Checked:	KB	Exposure:	D	Site Address:	LOT 6, 14 MOORING WAY	Sheet:	1
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:100

General Notes:
Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access
Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2.
Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

Foundation:
Raft floor to engineers design (see plan notes and details)

Wall Cladding:
70 series brick veneer - ensure cavity and weep holes are free from excess mortar
Innova Duragroove Smooth wide (150) panel cladding

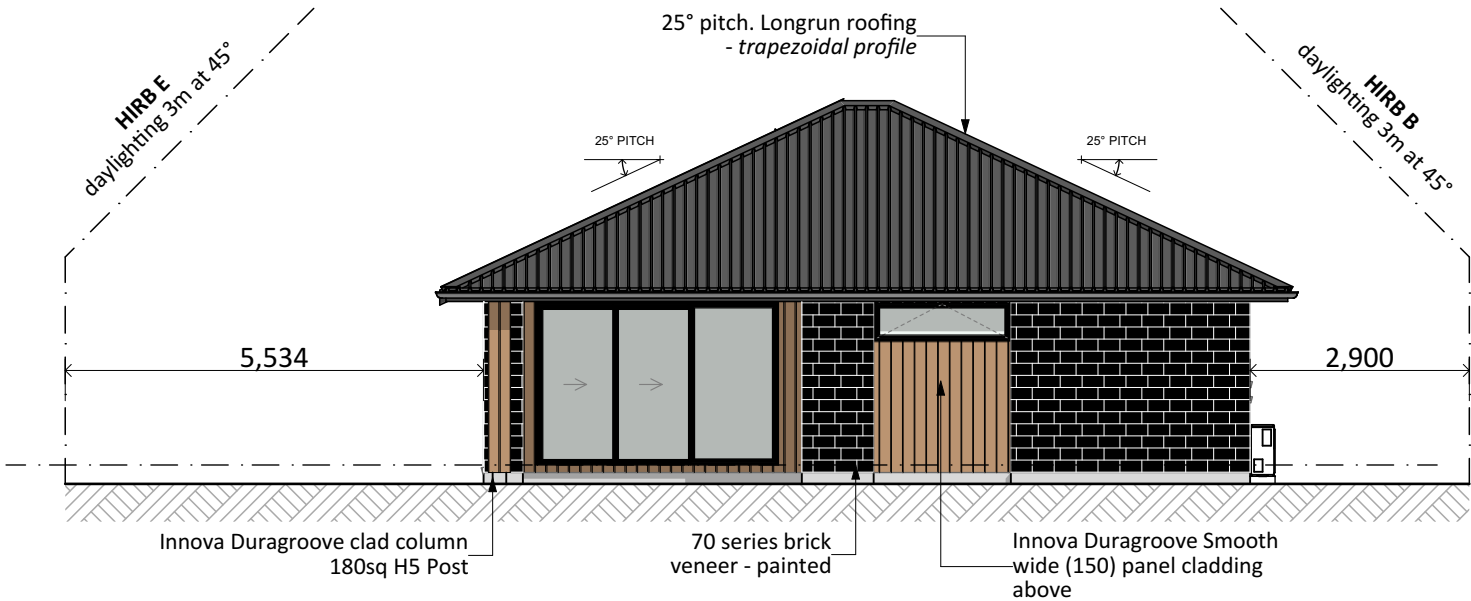
Roof Cladding:
25° pitch. Longrun roofing - *Trapezoidal profile*

Fascia and Spouting:
COLORCOTE fascia, spouting & 80mm Ø MARLEY PVC downpipes

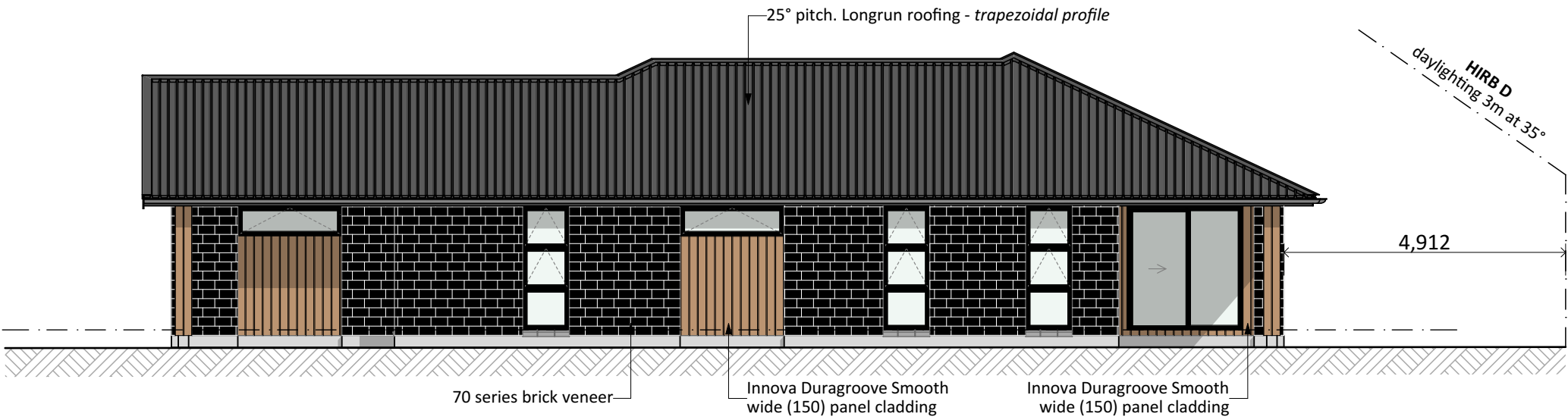
Joinery & Glazing:
Selected powder coated aluminium joinery with thermally improved Low E double glazing

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature **Date**

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



SOUTH ELEVATION



WEST ELEVATION

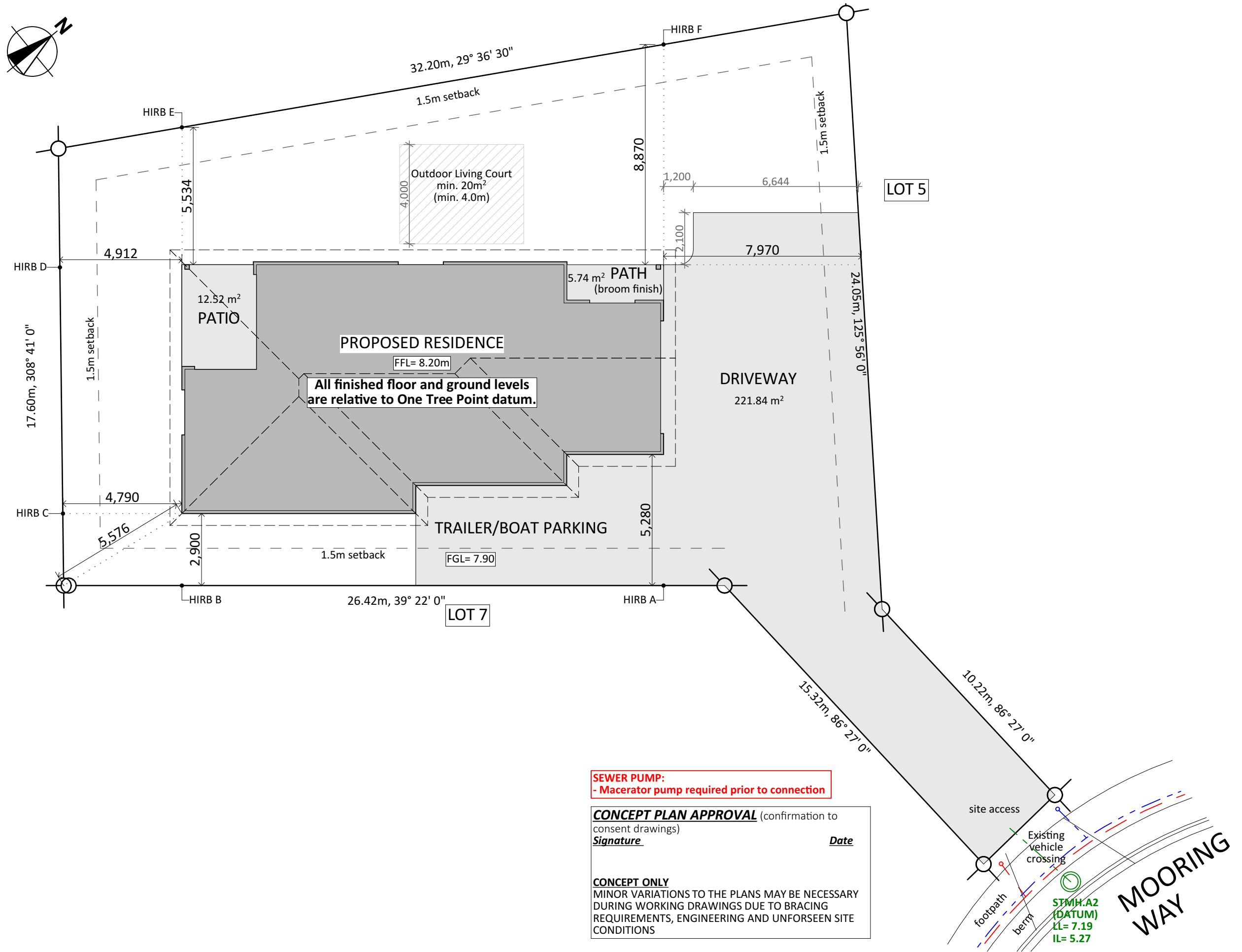


Project No:	MOOR6	Designed:	JL	Wind:	HIGH	Drawing:	ELEVATIONS	Date:	29/07/2026
Plan:	New Design	Drawn:		EQ:	1	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.0	Checked:	KB	Exposure:	D	Site Address:	LOT 6, 14 MOORING WAY	Sheet:	2
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:100

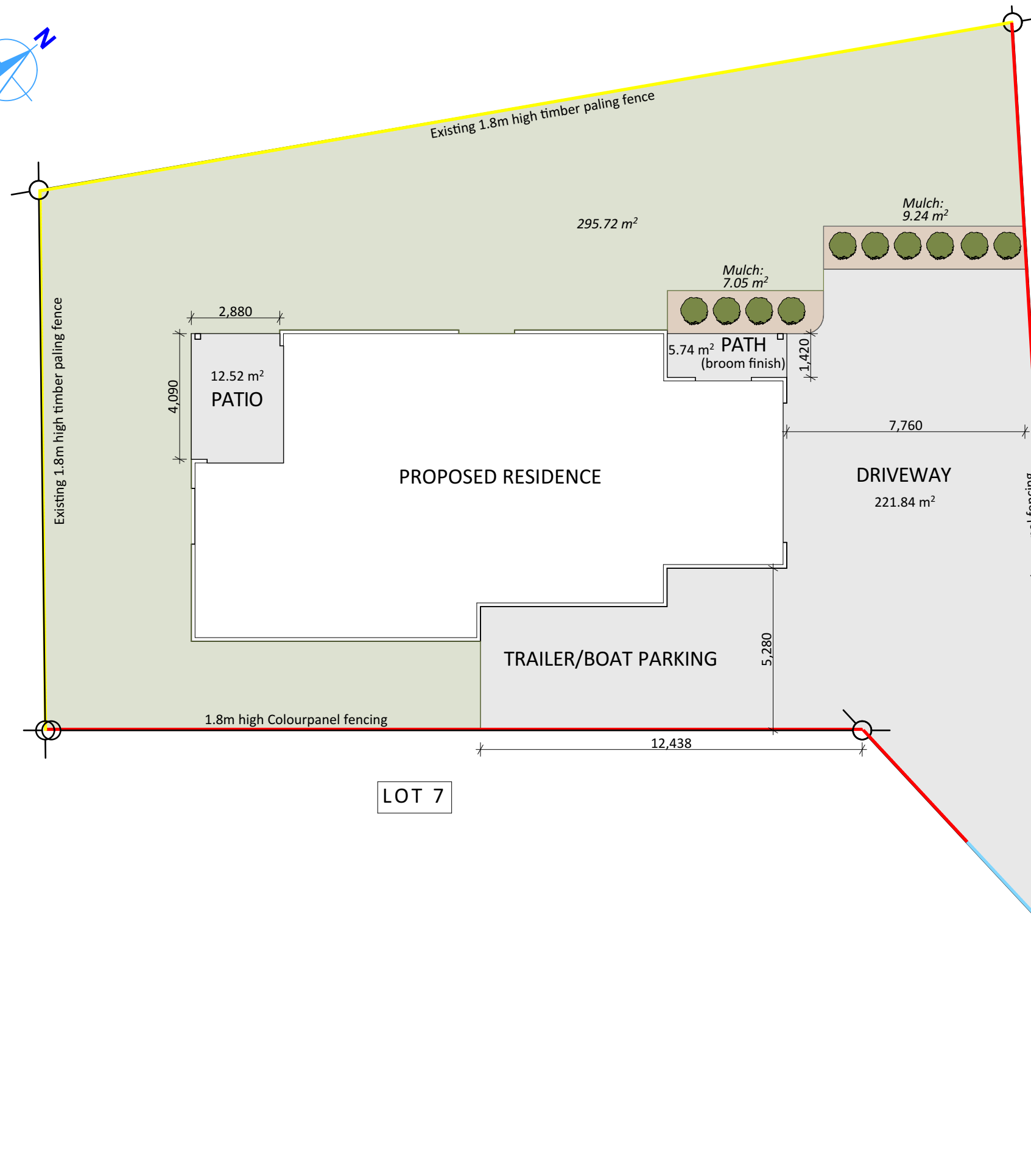
SITE
14 MOORING WAY,
ONE TREE POINT
LOT 6
DP 599307
AREA - 713m²
FLOOR AREA: 159.86m²

- SITE
WIND ZONE HIGH
WIND REGION A
EARTHQUAKE 1
EXPOSURE D
CLIMATE 1
SNOW LOADING NO
RAINFALL INT. 40-50mm/hr
- GENERAL RESIDENTIAL ZONE
WITH COASTAL ENVIRONMENT
OVERLAY
- MAX HEIGHT - 8m
PROPOSED - 5.18m
COMPLIES
- OUTDOOR LIVING COURT
20m² MIN DIMENSION 4m
COMPLIES
- RECESSION PLANE - 3m + 45°
COMPLIES
- BOUNDARY SETBACKS -1.5m
ROAD SETBACK - 3m
COMPLIES
- GRZ - R8 - BUILDING COVERAGE
40% MAX
713X0.40 = 285.2m² MAX
CURRENTLY = 198.2m² = 27.9%
COMPLIES
- GRZ-R7 - MAX. IMPERVIOUS AREA
60% = 427.8m² - CURRENTLY, ROOF
AREA 198.7m² + DRIVEWAY/
PARKING 196.9m² = 395.6m²
COMPLIES

All finished floor and
ground levels
are relative to One Tree
Point datum.



Project No:	MOOR6	Designed:	JL	Wind:	HIGH	Drawing:	SITE PLAN	Date:	29/07/2026
Plan:	New Design	Drawn:		EQ:	1	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.0	Checked:	KB	Exposure:	D	Site Address:	LOT 6, 14 MOORING WAY	Sheet:	3
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	



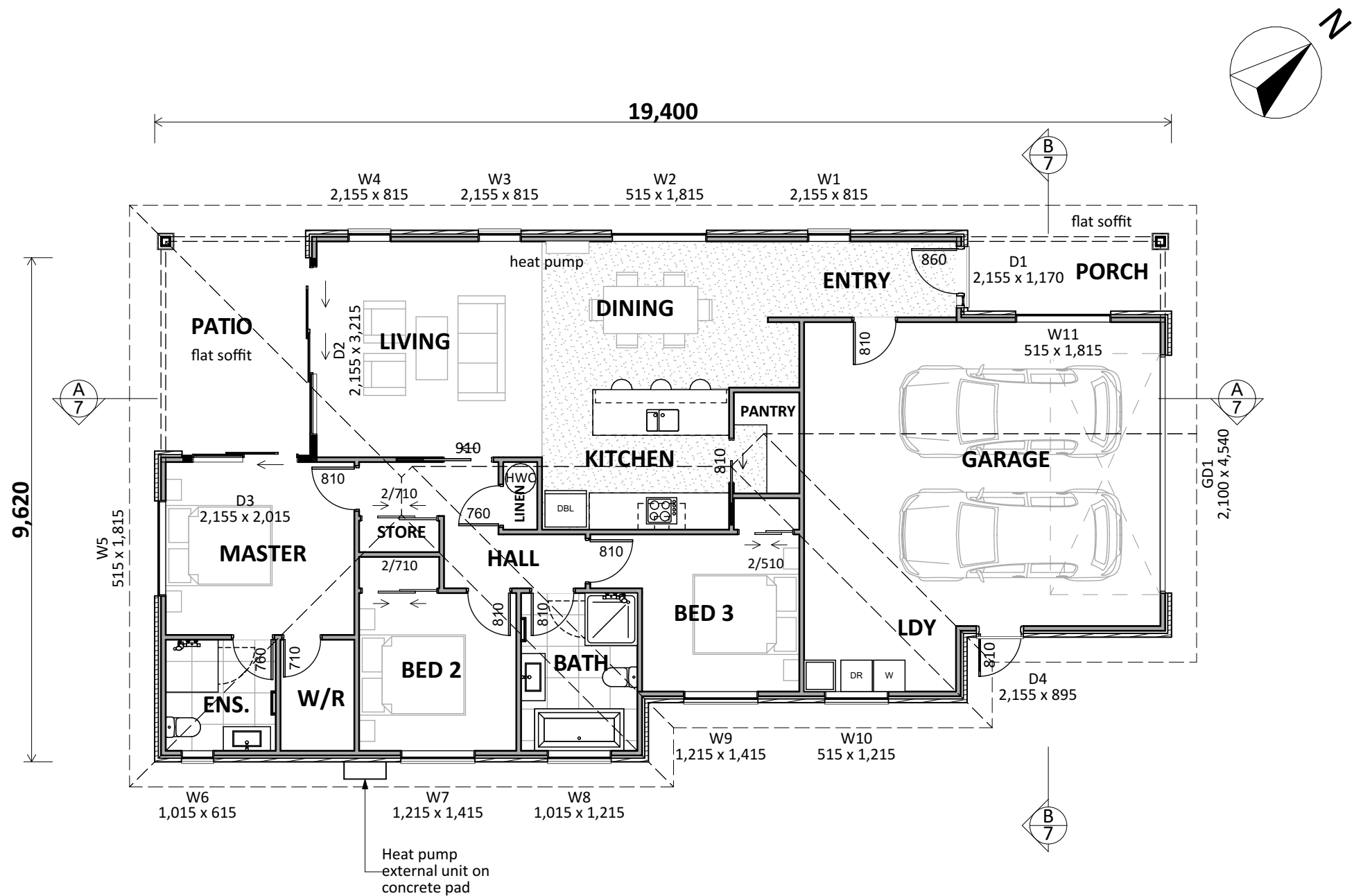
Landscape Key:	
	Grass
	Mulch with Plantings
	1.8m Colourpanel Fencing
	1.0m Post & Rail Fencing
	1.8m Existing Timber Paling Fencing
	Selected Grass Plantings

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature Date

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



Project No:	MOOR6	Designed:	JL	Wind:	HIGH	Drawing:	LANDSCAPING PLAN	Date:	29/07/2026
Plan:	New Design	Drawn:		EQ:	1	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.0	Checked:	KB	Exposure:	D	Site Address:	LOT 6, 14 MOORING WAY	Sheet:	4
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	



ENGINEERING REQUIRED:
- Foundation

Plan Notes:
2.415 Stud height throughout
All joinery 2155 head height

Floor Area:

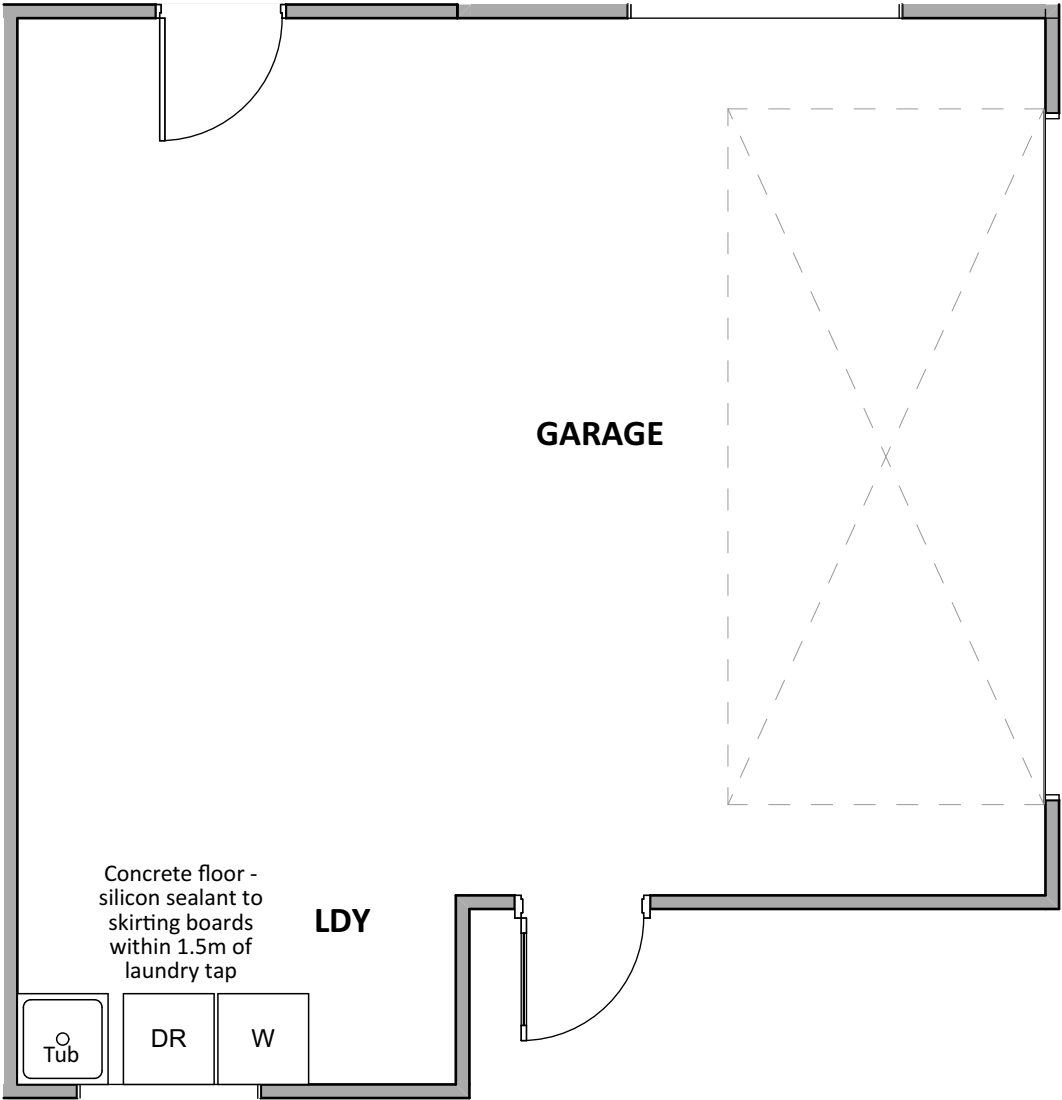
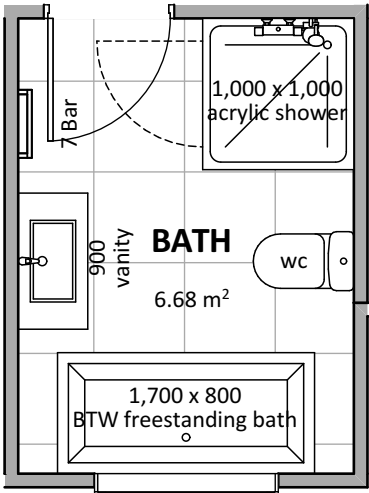
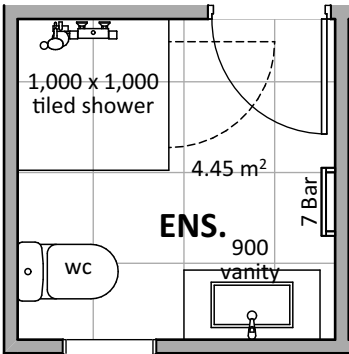
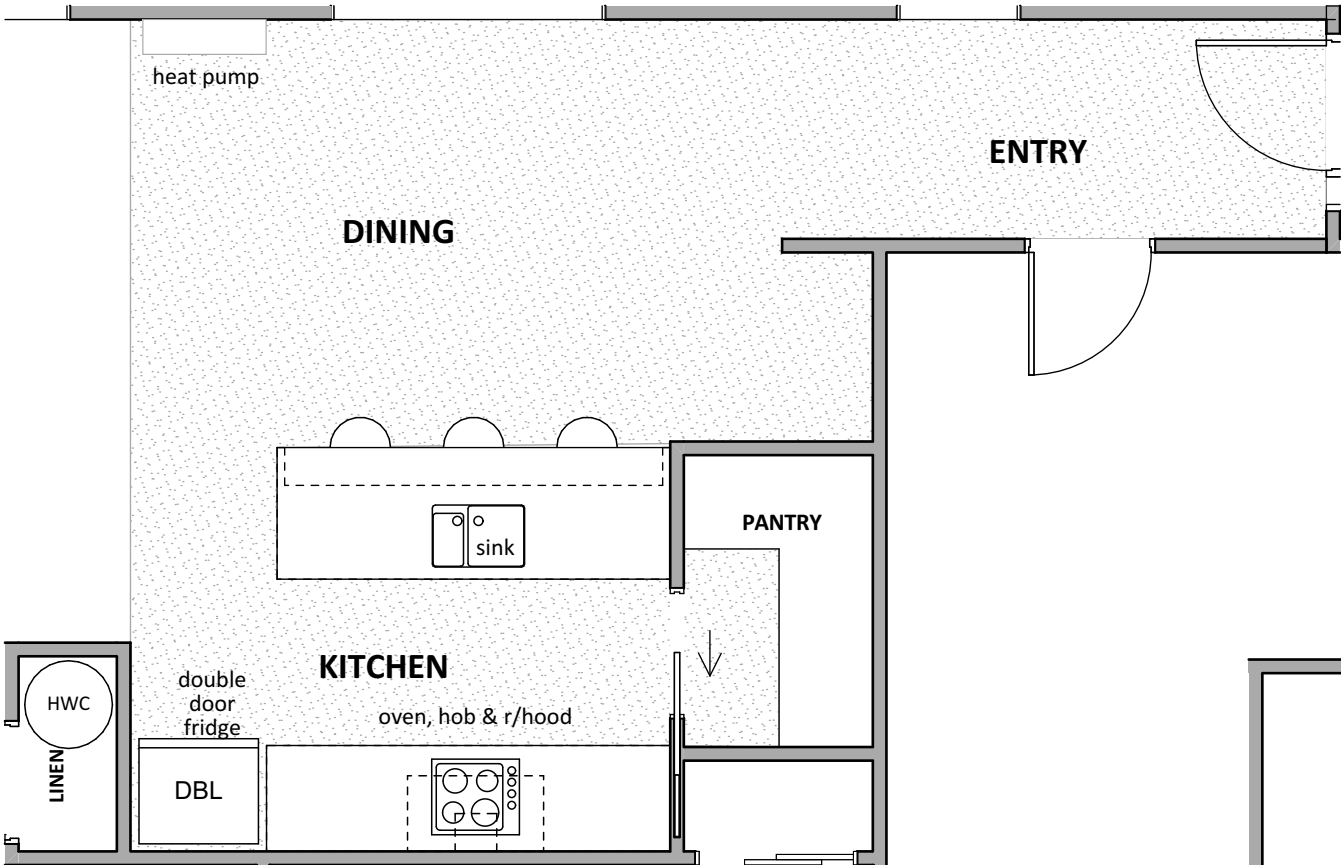
Area o/frame: 155.42 m²
Area o/foundation: 159.65 m²

Cladding Key:

— Innova Duragroove
— Brick Veneer

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature Date

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



Floor Types Key:	
	= Polished Concrete Floor
	= Tiled Floor

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

Signature

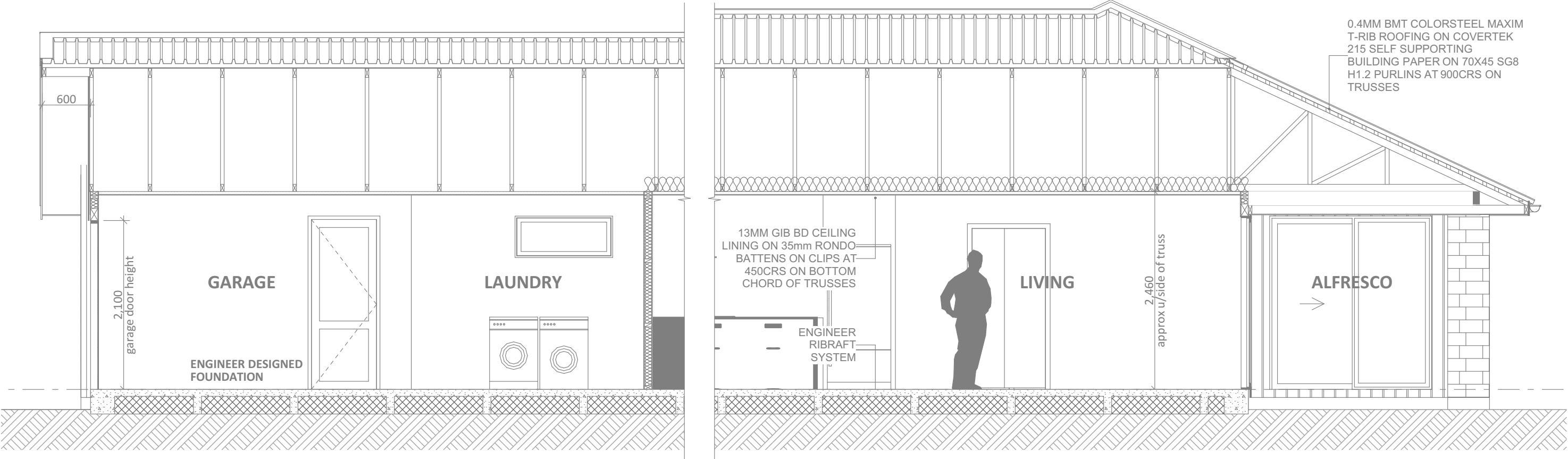
Date

CONCEPT ONLY

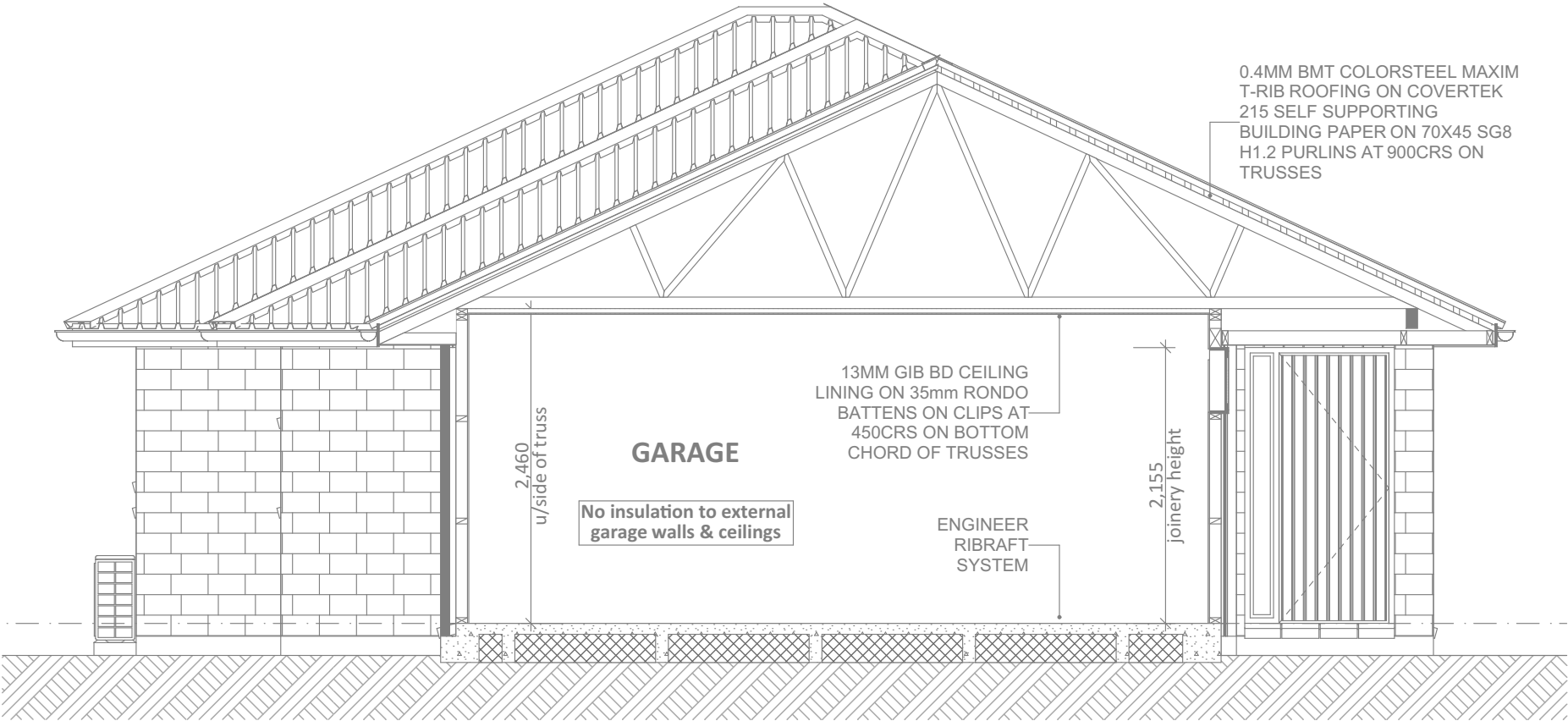
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



Project No:	MOOR6	Designed:	JL	Wind:	HIGH	Drawing:	KITCHEN & BATHROOM	Date:	29/07/2026
Plan:	New Design	Drawn:		EQ:	1	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.0	Checked:	KB	Exposure:	D	Site Address:	LOT 6, 14 MOORING WAY	Sheet:	6
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:50, 1:1



CROSS SECTION A



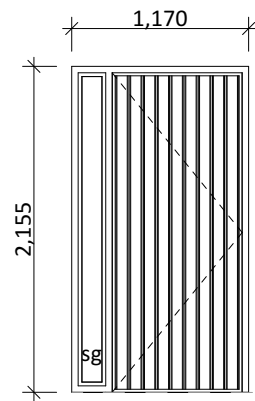
CROSS SECTION B

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature _____ **Date** _____

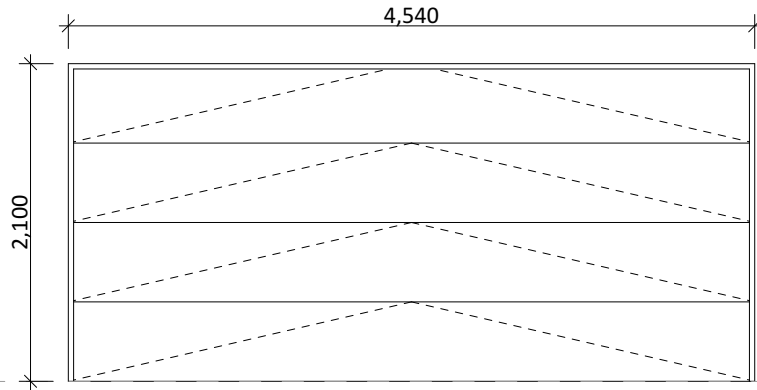
CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



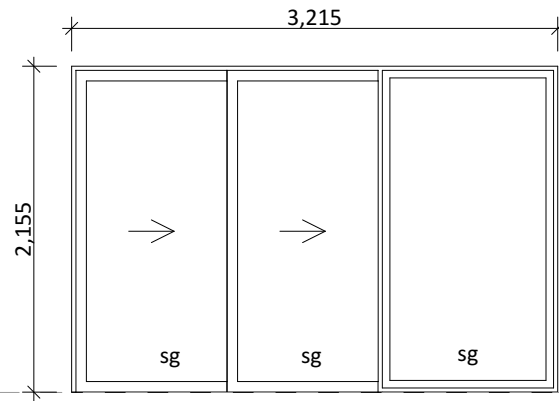
Project No:	MOOR6	Designed:	JL	Wind:	HIGH	Drawing:	CROSS SECTIONS	Date:	29/07/2026
Plan:	New Design	Drawn:		EQ:	1	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.0	Checked:	KB	Exposure:	D	Site Address:	LOT 6, 14 MOORING WAY	Sheet:	7
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	



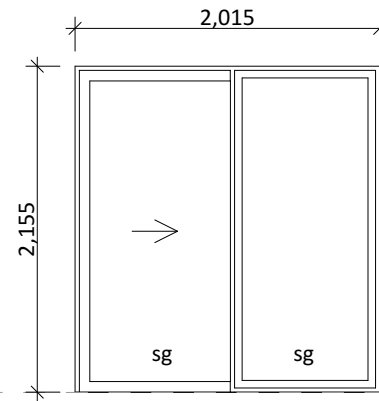
D1
*Rebated Joinery
*860 Door Leaf



GD1



D2
*Rebated Joinery



D3
*Rebated Joinery

General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

Thermally improved double glazing to all window and door joinery excluding garage joinery.

Glazing in accordance with NZS 4223 & 2016 amendments.

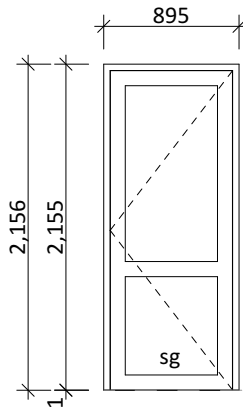
All glazing clear float unless noted anywhere, (refer to joinery schedule)

- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.
- Doors with glazing area > 0.75m² = safety glass
- Doors with glazing area < 0.75m² = 5mm annealed
- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.

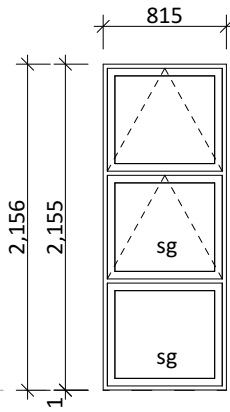
sg = Safety glass as required by standards, joinery manufacturer to take precedence
ss = Safety stays (in accordance with NZBC:F4 clause 2.0)
obsc = Obscure glass

REBATED JOINERY

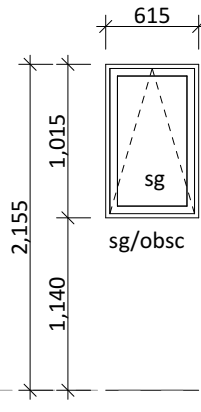
Rebated joinery sizes are to be confirmed with joinery manufacturer.



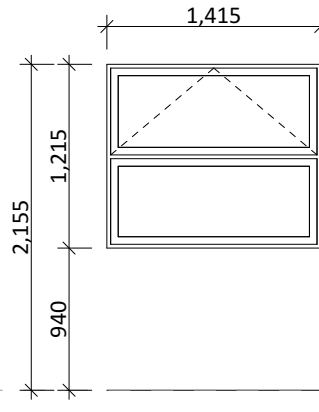
D4
*810 Door Leaf



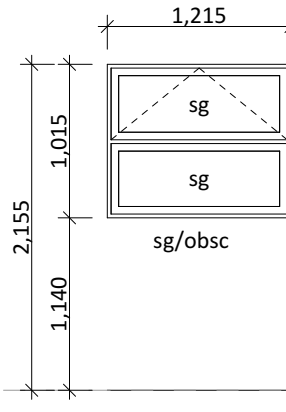
W1, W3, W4



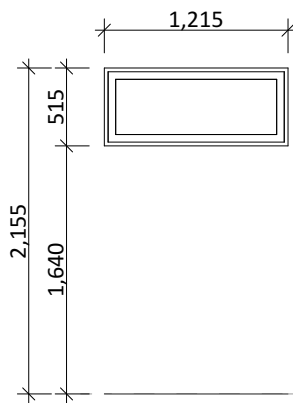
W6



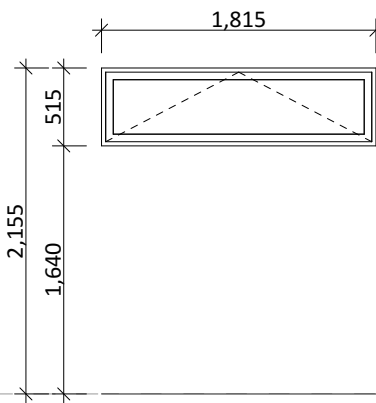
W7, W9



W8



W10



W11, W2, W5

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

Signature _____ Date _____

CONCEPT ONLY
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



Project No:	MOOR6	Designed:	JL	Wind:	HIGH	Drawing:	JOINERY SCHEDULE	Date:	29/07/2026
Plan:	New Design	Drawn:		EQ:	1	Client Name:	BARRETT HOMES (NORTHLAND) LTD	Rev:	
Version:	1.0	Checked:	KB	Exposure:	D	Site Address:	LOT 6, 14 MOORING WAY	Sheet:	8
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:50