



Barrett Homes

Welcome to the *whānau*.

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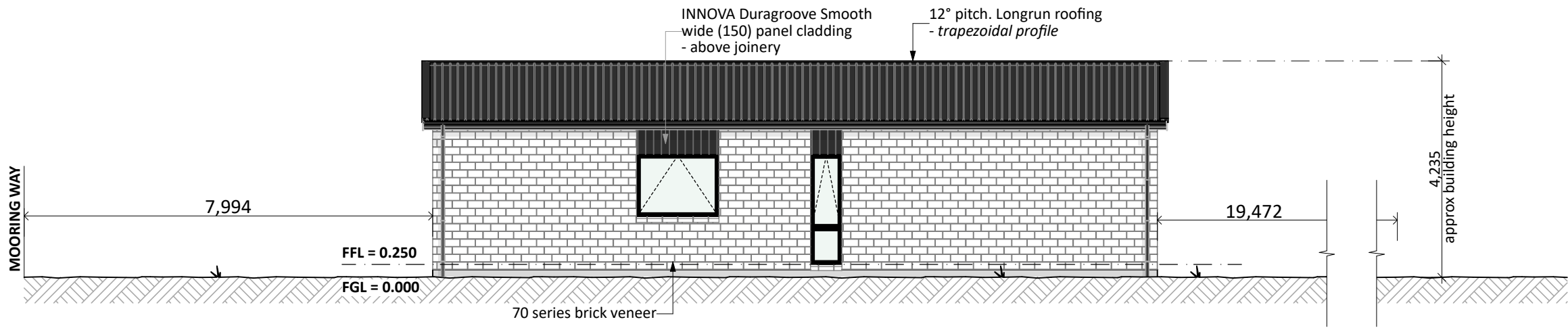
	COVER SHEET
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4	LANDSCAPING PLAN
5	CONCEPT PLAN
6	KITCHEN & BATHROOM
7	CROSS SECTIONS
8	JOINERY SCHEDULE

NEW DWELLING FOR:
DMJ PROPERTIES LTD

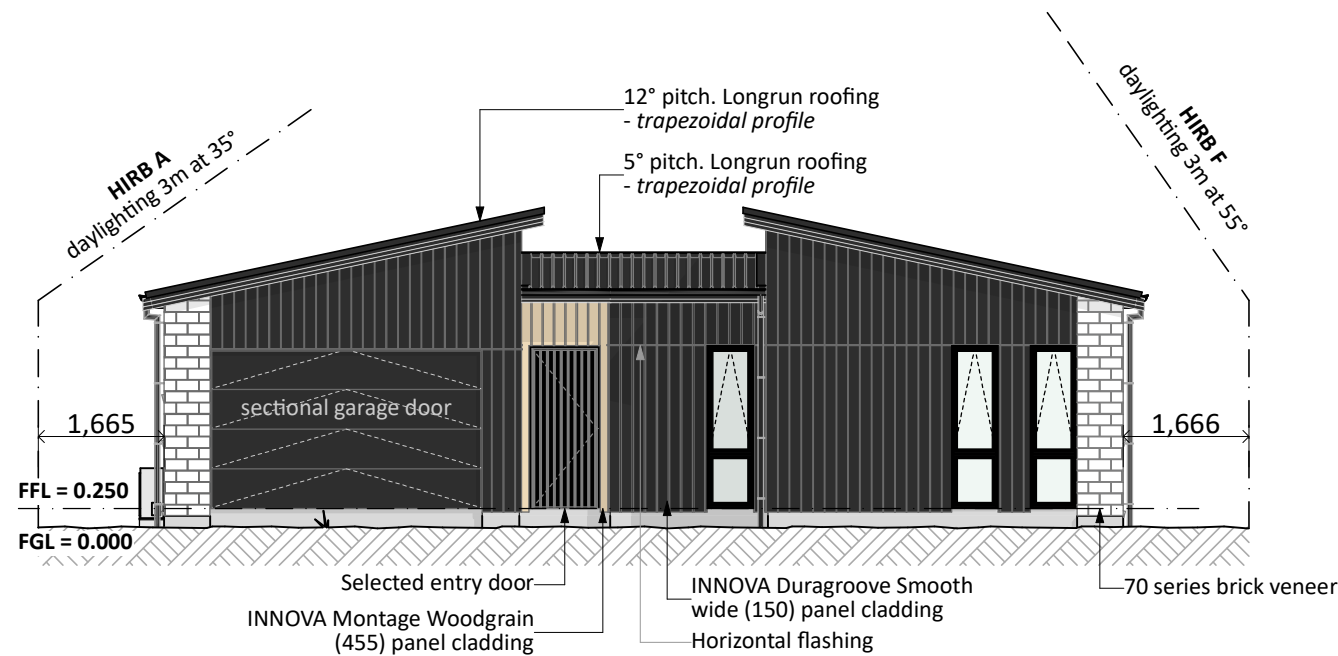
ADDRESS:
LOT 2, 6 MOORING WAY
ONE TREE POINT, WHANGAREI



Project No:	MOOR2	Designed:	DP	Wind:	HIGH	Drawing:	COVER SHEET	Date:	10/08/2026
Plan:	NGA51	Drawn:	-	EQ:	1	Client Name:	DMJ PROPERTIES LTD	Rev:	
Version:	2.1	Checked:	KB	Exposure:	D	Site Address:	LOT 2, 6 MOORING WAY	Sheet:	
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	



NORTH ELEVATION



EAST ELEVATION

General Notes:

Any encroachments shown are to be confirmed by a registered surveyor prior to commencement of foundations. No liability shall be held by designer with this confirmation.

NZBC D1/AS1 Access

Minimum slip resistance to steps and landings in accordance with NZBC D1/AS1 Table 2.
Concrete or H5 timber step to all access points, min. 150mm and max. 190mm below finished floor level.

CJ = Control joint

Foundation:

Raft floor to engineers design (see plan notes and details)

Wall Cladding:

70 series brick veneer - ensure cavity and weep holes are free from excess mortar
INNOVA Duragroove Smooth wide (150) panel cladding
INNOVA Montage Woodgrain (455) panel cladding

Roof Cladding:

12° & 5° pitch. Longrun roofing - Trapezoidal profile

Fascia and Spouting:

COLORCOTE fascia, spouting & 80mm Ø MARLEY PVC downpipes

Joinery & Glazing:

Selected powder coated aluminium joinery with thermally improved Low E double glazing

PRELIMINARY ONLY.

Elevations are subject to the following:
- Site Levels

CONCEPT PLAN APPROVAL (confirmation to consent drawings)

Signature

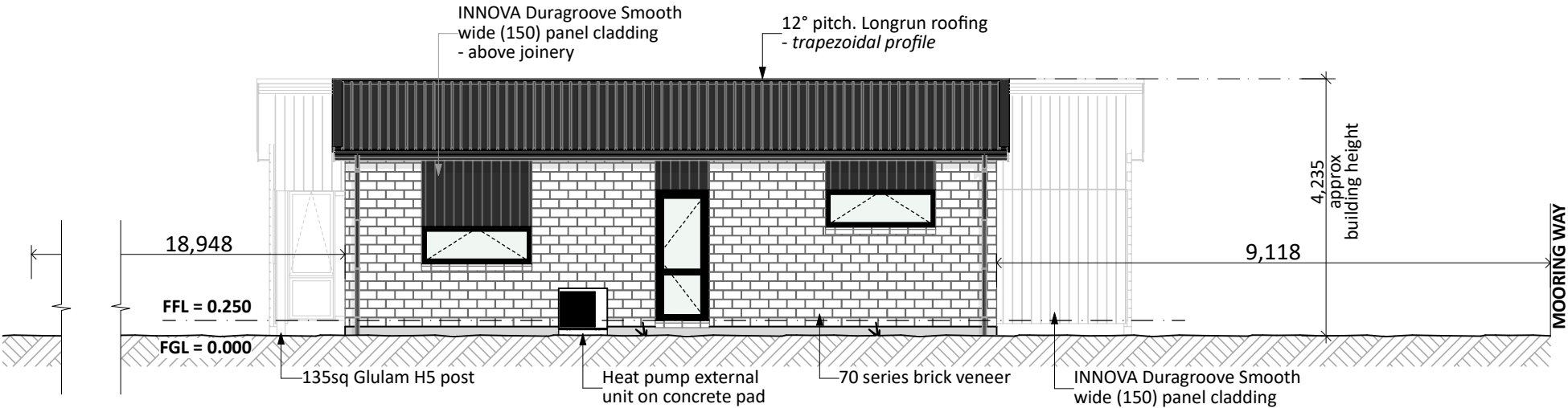
Date

CONCEPT ONLY

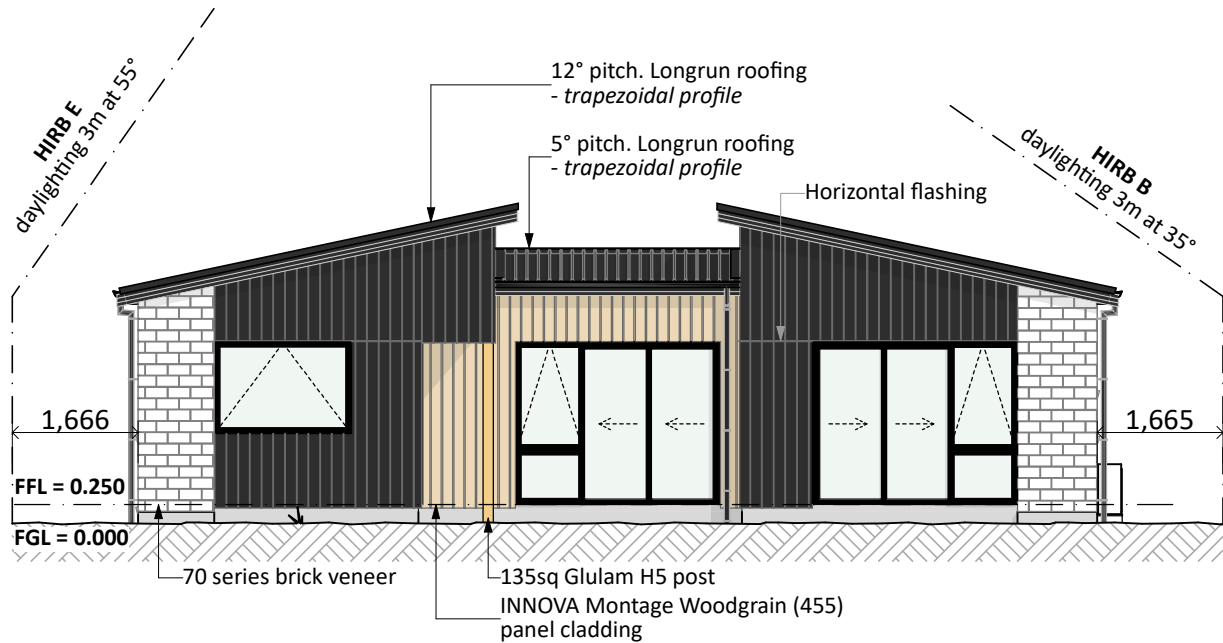
MINOR VARIATIONS TO THE PLANS MAY BE NECESSARY DURING WORKING DRAWINGS DUE TO BRACING REQUIREMENTS, ENGINEERING AND UNFORSEEN SITE CONDITIONS



Project No:	MOOR2	Designed:	DP	Wind:	HIGH	Drawing:	ELEVATIONS	Date:	10/08/2026
Plan:	NGA51	Drawn:	-	EQ:	1	Client Name:	DMJ PROPERTIES LTD	Rev:	
Version:	2.1	Checked:	KB	Exposure:	D	Site Address:	LOT 2, 6 MOORING WAY	Sheet:	1
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:100



SOUTH ELEVATION



WEST ELEVATION

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12° & 5° pitch. Longrun roofing - *Trapezoidal profile*

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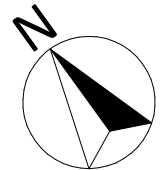
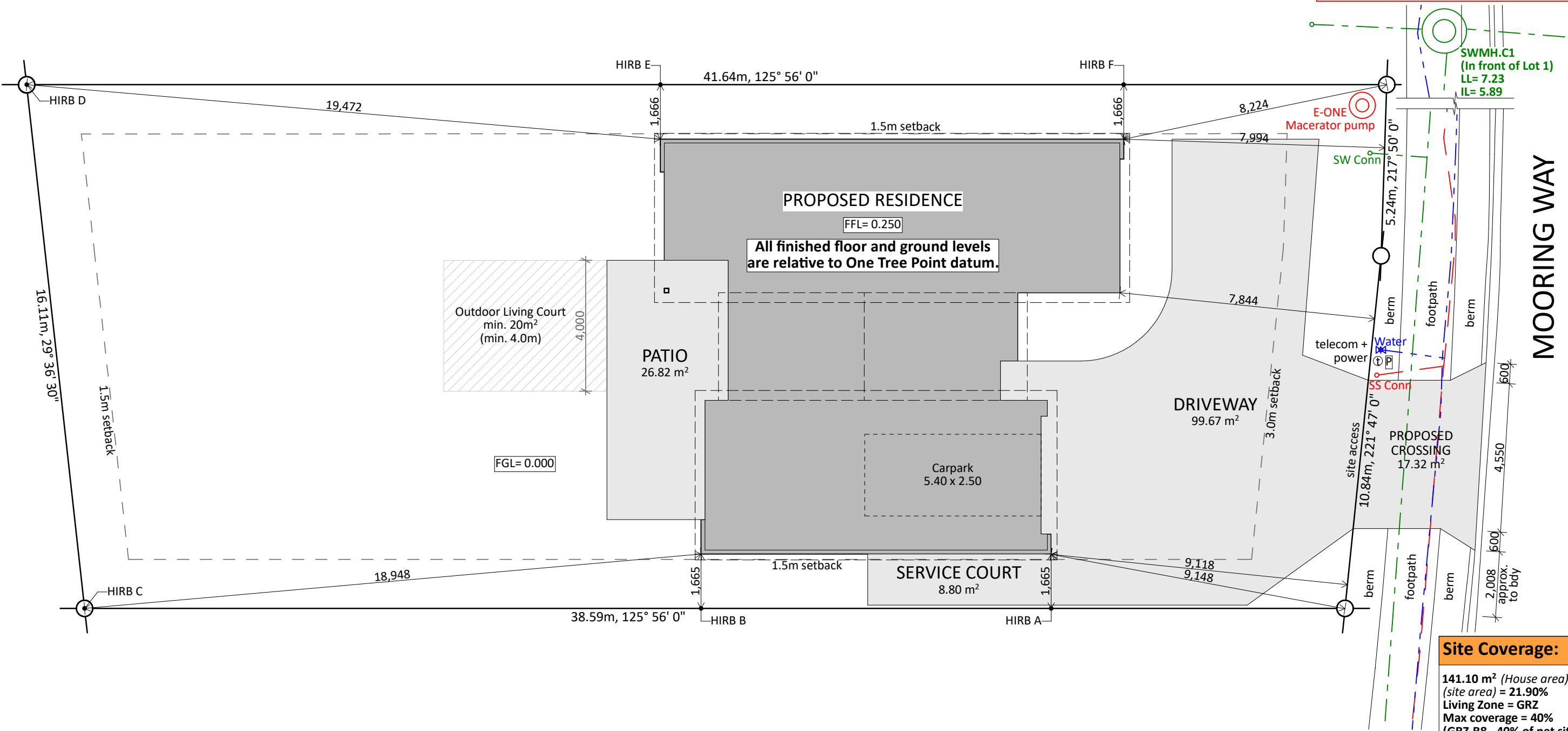
CONCEPT ONLY

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Plan:	NGA51	Drawn:	-	EQ:	1	Client Name:	DMJ PROPERTIES LTD	Rev:	
Version:	2.1	Checked:	KB	Exposure:	D	Site Address:	LOT 2, 6 MOORING WAY	Sheet:	2
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:100

Information required/awaiting confirmation:
•Site levels/contours



Site Info:
LOT: 2
DP: 599307
AREA: 644m²

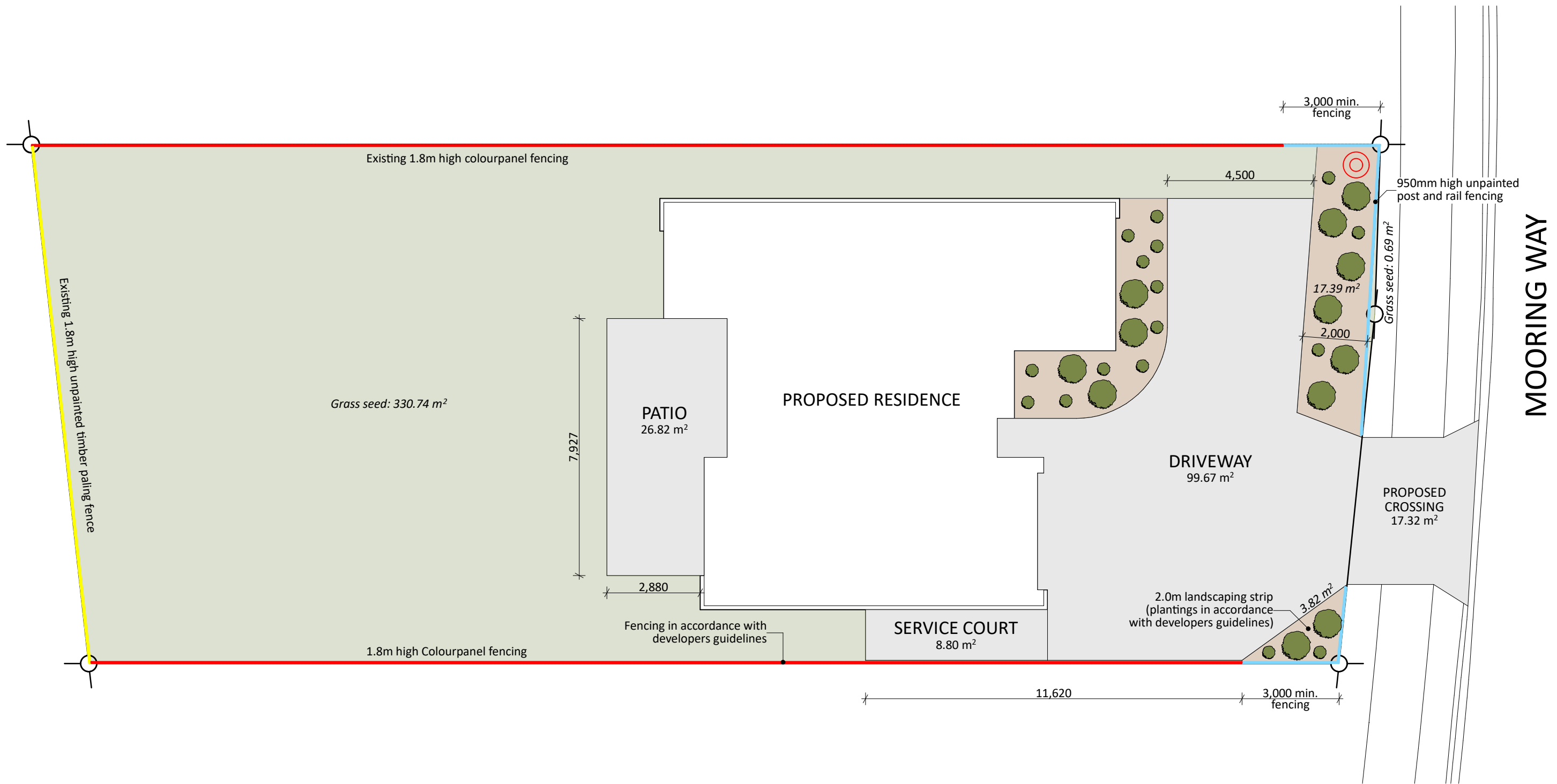
Site Coverage:
141.10 m² (House area) / 644m² (site area) = 21.90%
Living Zone = GRZ
Max coverage = 40%
(GRZ-R8 - 40% of net site area)
COMPLIANT
Impervious areas:
284.04m² (Impervious area) / 644m² (site area) = 44.10%
Max Impervious area = 60%
(GRZ-R7 - 60% of net site area)
COMPLIANT

CONCEPT PLAN APPROVAL (confirmation to consent drawings)
Signature _____ **Date** _____
CONCEPT ONLY
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NOTE: SEWER MACERATOR PUMP REQUIRED
Macerator pump required prior to connection to sewer system.



Project No:	MOOR2	Designed:	DP	Wind:	HIGH	Drawing:	SITE PLAN	Date:	10/08/2026
Plan:	NGA51	Drawn:	-	EQ:	1	Client Name:	DMJ PROPERTIES LTD	Rev:	
Version:	2.1	Checked:	KB	Exposure:	D	Site Address:	LOT 2, 6 MOORING WAY	Sheet:	3
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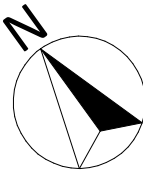


Landscape Key:

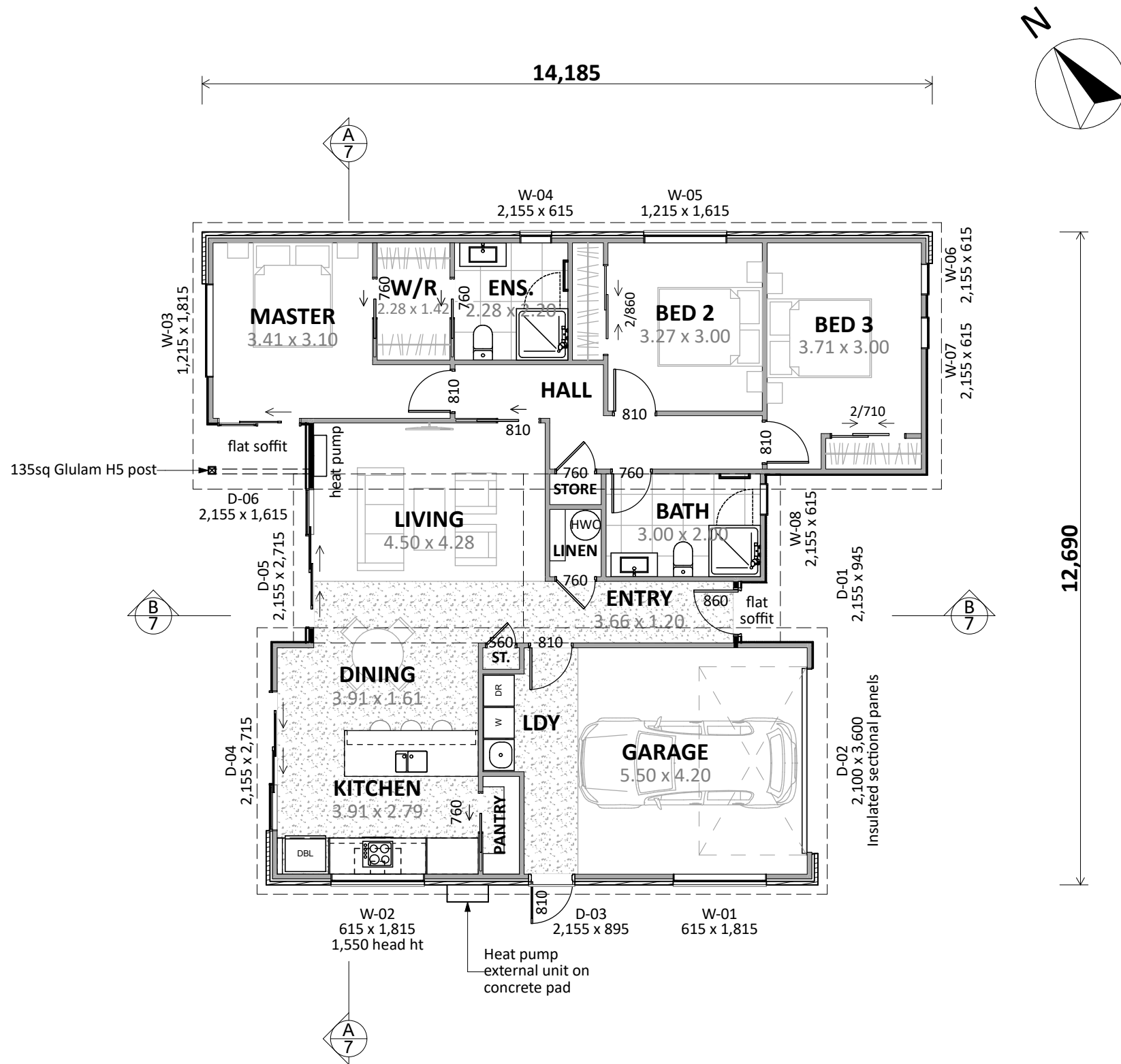
- Grass seed
- Mulch
- 1.8m high Colourpanel Fencing
- 950mm high unpainted Post & Rail Fencing
- Existing 1.8m high Timber unpainted Paling Fencing
- Selected Grass Plantings

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Signature Date

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Project No:	MOOR2	Designed:	DP	Wind:	HIGH	Drawing:	LANDSCAPING PLAN	Date:	10/08/2026
Plan:	NGA51	Drawn:	-	EQ:	1	Client Name:	DMJ PROPERTIES LTD	Rev:	
Version:	2.1	Checked:	KB	Exposure:	D	Site Address:	LOT 2, 6 MOORING WAY	Sheet:	4
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:125



CHANGES TO PLAN:
- Centred W-02 to room.
- Relocated fridge to other side of kitchen.
- Pantry hinge door to cavity slider.

ENGINEERING REQUIRED:
- Foundation

Plan Notes:
2.415 Stud height throughout
All joinery 2155 head height
Flat soffit to Entry

Floor Area:

Area o/frame: 137.77 m²
Area o/foundation: 141.10 m²

Cladding Key:

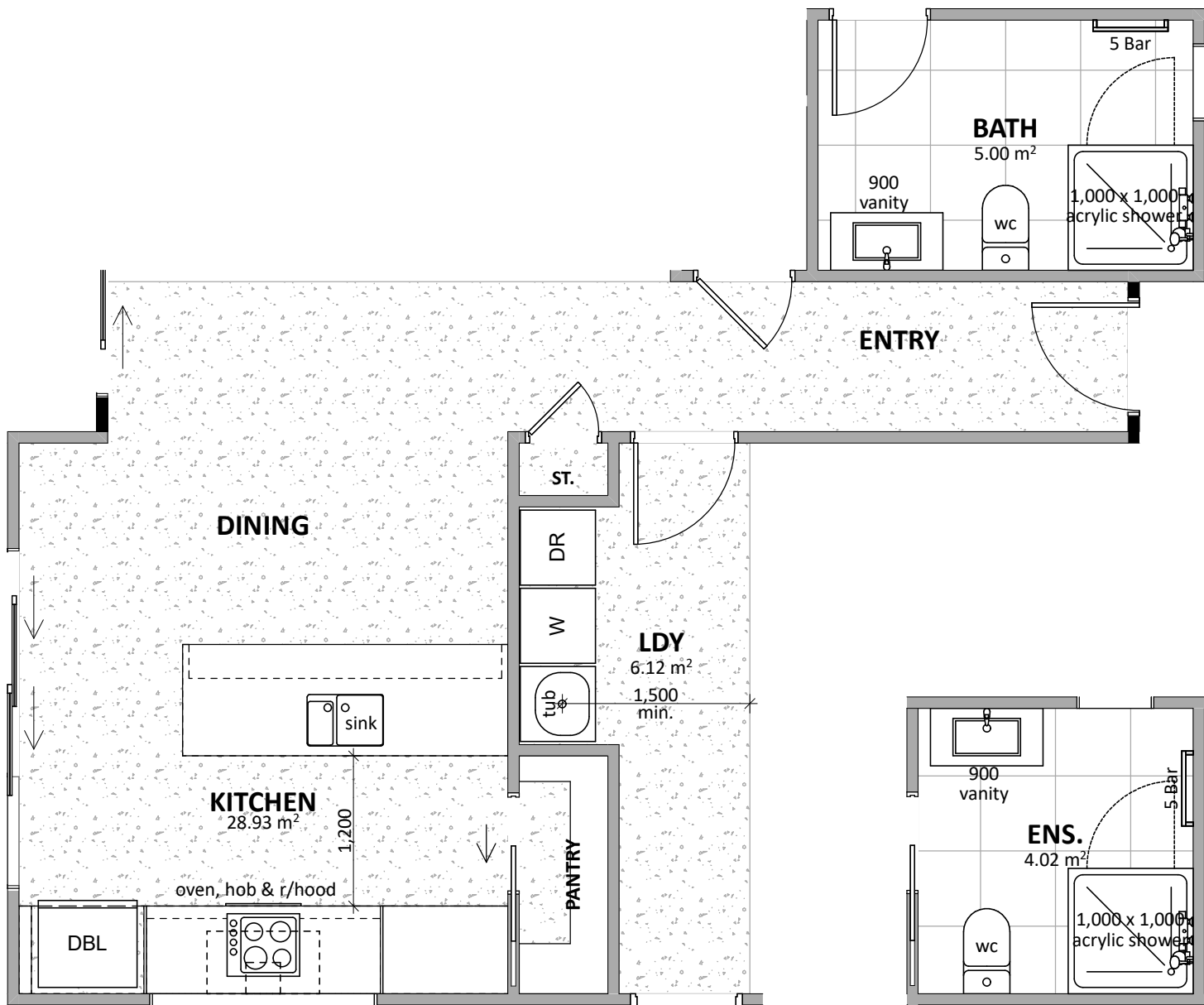
- INNOVA Duragroove
- INNOVA Montage
- Brick Veneer

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Signature Date

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Version:	2.1	Checked:	KB	Exposure:	D	Site Address:	LOT 2, 6 MOORING WAY	Sheet:	5
				Council:	WDC		ONE TREE POINT, WHANGAREI	Scale:	1:100



Floor Types Key:

 = Conc Floor  = Tiled Floor

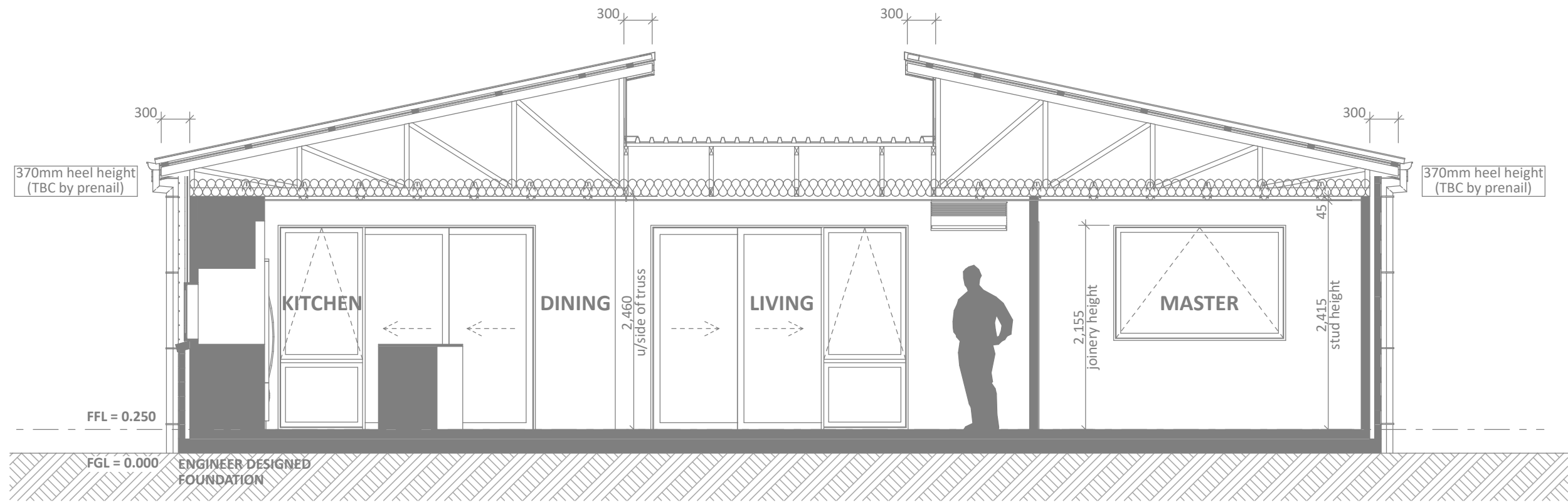
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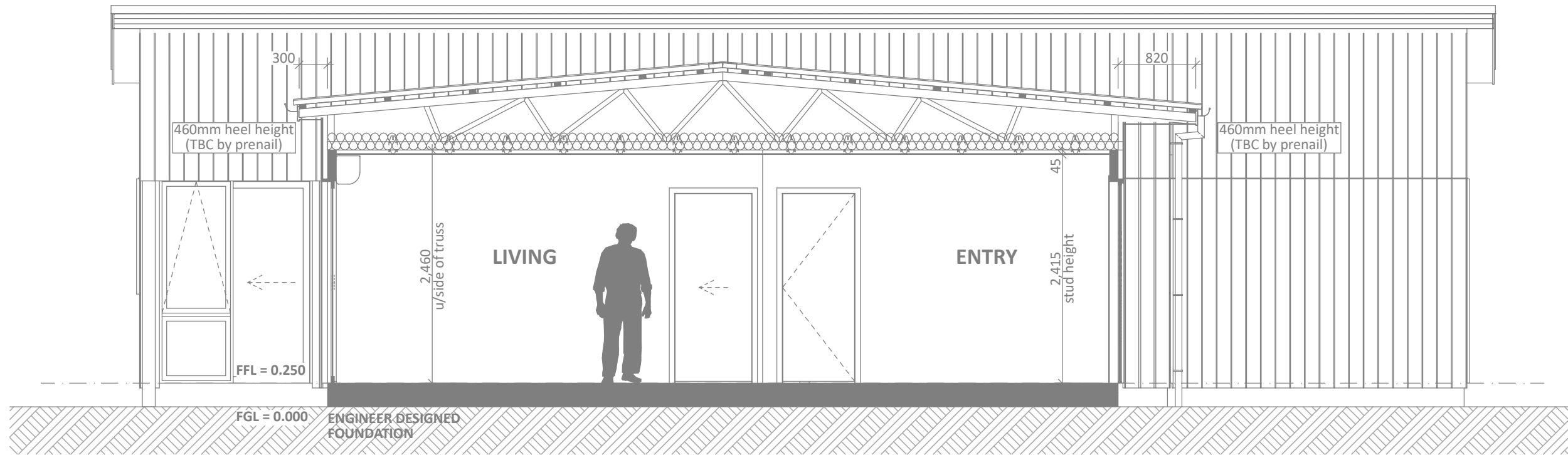
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Project No:	MOOR2	Designed:	DP	Wind:	HIGH	Drawing:	KITCHEN & BATHROOM	Date:	10/08/2026
Plan:	NGA51	Drawn:	-	EQ:	1	Client Name:	DMJ PROPERTIES LTD	Rev:	
Version:	2.1	Checked:	KB	Exposure:	D	Site Address:	LOT 2, 6 MOORING WAY	Sheet:	6
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CROSS SECTION A
SCALE 1:50



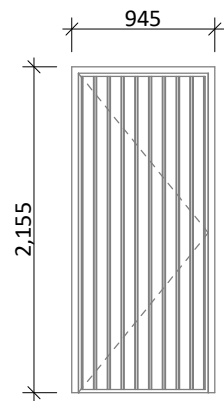
CROSS SECTION B
SCALE 1:50

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Signature Date

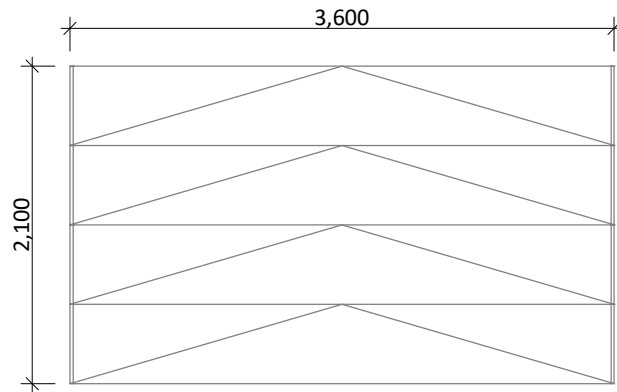
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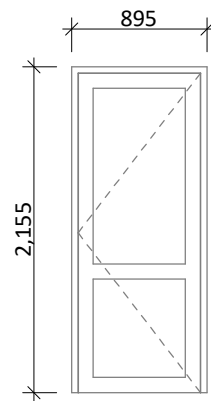
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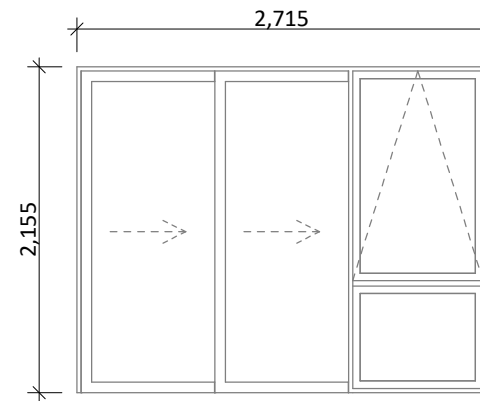
D-01
Rebated Joinery
860 door leaf



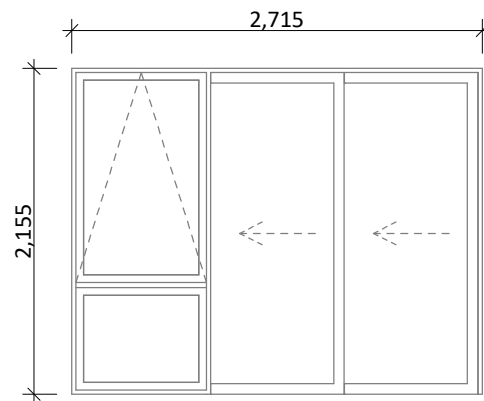
D-02
Insulated sectional panels



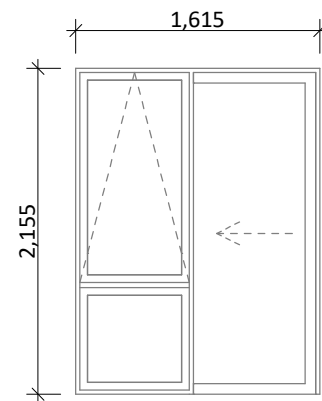
D-03
810 door leaf



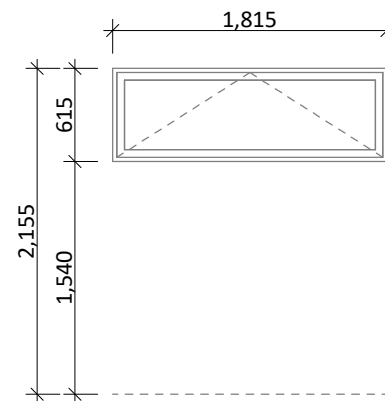
D-04
Rebated Joinery



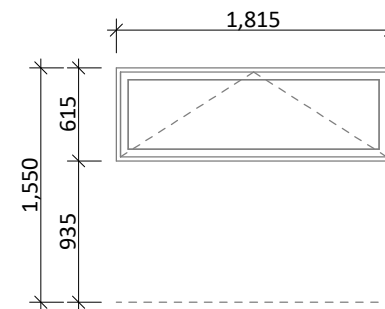
D-05
Rebated Joinery



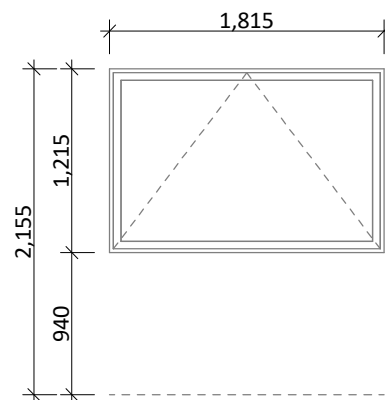
D-06
Rebated Joinery



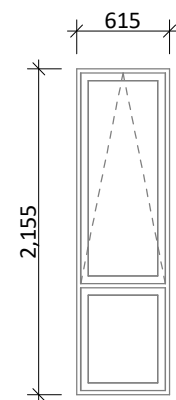
W-01



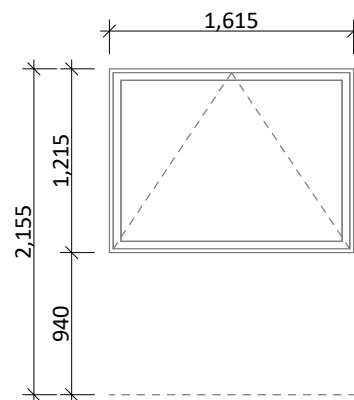
W-02
1,550 head ht



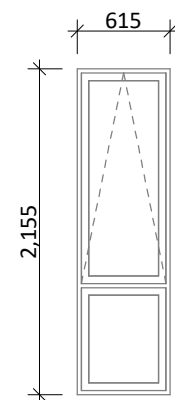
W-03



W-04, W-08
sg/obsc



W-05



W-06, W-07

General notes:

Aluminium joinery head heights to be 2.155m (excludes rebated joinery units). Refer to floor plan for door & window sizes. Joinery schedule & sizes to be confirmed on site PRIOR to manufacture

Thermally improved double glazing to all window and door joinery including garage joinery.

Glazing in accordance with NZS 4223 & 2016 amendments.

All glazing clear float unless noted anywhere, (refer to joinery schedule)

- Low level glazing = Any glazing within 800mm from FFL, depending on size and proportions, safety glass or 5mm annealed will be required.

- Doors with glazing area > 0.75m² = safety glass

- Doors with glazing area < 0.75m² = 5mm annealed

- Side panels within 800mm of a door = safety glass, side panels not within 800mm of door considered a window.

sg = Safety glass as required by standards, joinery manufacturer to take precedence

ss = Safety stays (in accordance with NZBC:F4 clause 2.0)

obsc = Obscure glass

REBATED JOINERY

Rebated joinery sizes are to be confirmed with joinery manufacturer.

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<u>Signature</u>	<u>Date</u>
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Plan:	NGA51	Drawn:	-	EQ:	1	Client Name:	DMJ PROPERTIES LTD	Rev:	
Version:	2.1	Checked:	KB	Exposure:	D	Site Address:	LOT 2, 6 MOORING WAY	Sheet:	8
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