



CGA

EDUCATION CAPABILITY

Our Experience



St Louis Catholic Primary School



Park View



West London College



Waltham Forest College

At Clive Graham Associates, we bring a proactive, detail-oriented approach to every project—delivering high-quality results across the commercial, hospitality, and residential sectors. With a strong reputation for precision, collaboration, and integrity, our team excels in managing complex fit-outs, refurbishments, and new-build developments from concept to completion.

Our project experience reflects our ability to deliver on time, within budget, and to the highest standards— whether navigating tight programmes, coordinating specialist trades, or integrating bespoke design elements.

We pride ourselves on building lasting relationships with clients, consultants, and contractors alike, driving projects forward with clear communication and commercial insight.

Each project we undertake is an opportunity to demonstrate our commitment to quality, innovation, and value—ensuring our clients' visions are brought to life with confidence and care.



QMUL



UEZ QMUL Innovation Centre



Jubilee Primary School



Wentworth Primary School

Project profile

St Louis Catholic Primary School

Refurbishment

Aylesbury

We recently completed a comprehensive, multi-phased refurbishment at St Louis Catholic Primary School in Aylesbury. The project was delivered on time and in full readiness for the return of students and staff. It involved modernising key areas of the school and transforming an unused external courtyard into a bright, functional teaching space.

Project Scope

Toilet Refurbishment: the project included the installation of new toilet facilities, significantly improving hygiene, comfort, and overall usability for both students and staff.

Reception and Communal Areas: we redesigned and upgraded the school’s reception and communal areas, creating a more modern, welcoming, and functional space for all users.

Courtyard Conversion: An unused external courtyard was converted into a new teaching area. This transformation required extensive groundworks, structural steel installation, new rooflights, full mechanical and electrical services, and interior finishes to create a high-quality learning environment

Challenges and Solutions

Challenge: Converting an External Courtyard. Repurposing the courtyard required complex structural work to ensure durability and safety.

Solution: CGA installed steel supports and rooflights to maintain structural integrity while allowing natural light to fill the space, resulting in a bright and welcoming classroom.

Challenge: Delivering Multi-Phased Works on a Tight Schedule. The school’s short summer break meant the works needed to be completed within a narrow timeframe to avoid disruption to the academic year.

Solution: CGA carefully coordinated each phase of the project, ensuring that all aspects—including structural works, services, and finishes—were completed on schedule

Project Benefits

The refurbishment has greatly enhanced the school’s functionality. The addition of new toilet facilities, an improved reception, and upgraded communal areas has improved the day-to-day experience for staff and students. The conversion of the external courtyard has provided much-needed additional teaching space, making more effective use of the school’s footprint. The modern, refreshed environment has also created a more inviting atmosphere for all who use the school.

The project was completed on time and within budget. The school is extremely pleased with the results and is now enjoying modern, high-quality facilities that support both learning and community engagement.



Sector	Education
Contract Period	30 weeks
Value	£500k

Project profile

Park View School

Haringey

We recently wrapped up a dynamic summer refurbishment at Park View School in Haringey, delivering a full recladding and upgrade of the school’s sports hall. Completed on schedule and ready for action by September, the project ensured students returned to a safer, smarter, and more functional facility.

Despite the building being partially in use for summer clubs, CGA worked hand-in-hand with the school’s facilities team to keep disruption to a minimum—proving that great results don’t have to come with compromises.

Project highlights

Wall cladding replacement: Out with the old, in with the compliant. We removed outdated cladding and installed modern, regulation-compliant materials—boosting both safety and visual appeal.

AHU Platform Extension: The air handling unit platform was extended to improve access and functionality, enhancing the school’s ventilation system for a more comfortable indoor environment.

Fencing & Steelwork Refresh: New perimeter fencing and a fresh coat of paint on the steel structure gave the sports hall a clean, durable finish—built to last and look good doing it.

Challenges met head on

Summer activity coordination: With summer clubs in full swing, timing was everything. We collaborated closely with the school to schedule works around activities, ensuring zero disruption.

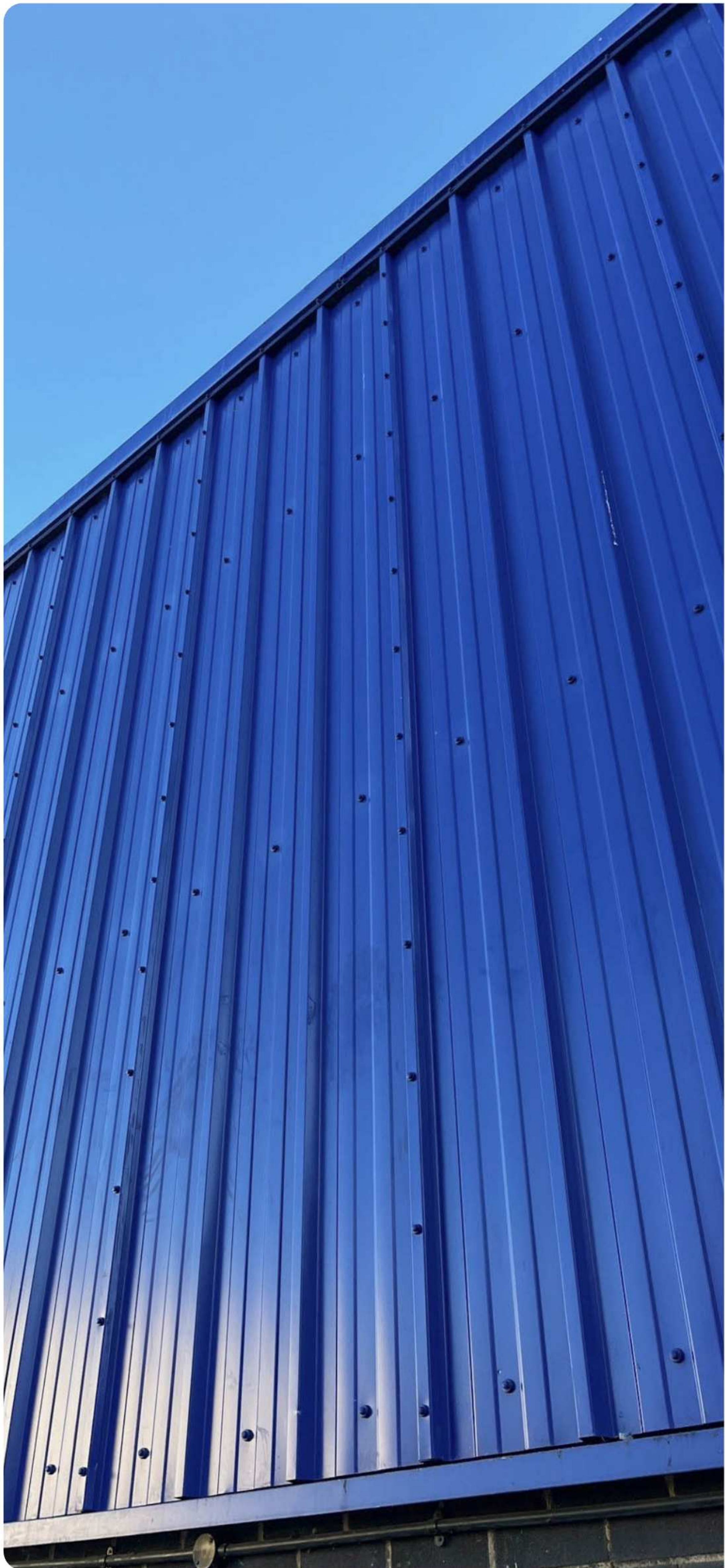
Compliance with evolving regulations: Replacing non-compliant cladding required precision and expertise. We delivered with fully compliant materials that also improved energy efficiency and safety.

The school gained

- Stronger Safety Standards: The new cladding meets today’s regulations, creating a safer space for students and staff.
- Improved Aesthetics & Longevity: Fresh finishes and fencing have revitalized the building’s look and resilience.
- Better Functionality: The upgraded AHU platform means easier maintenance and better air quality.

The Result

Delivered on time and within the £320k budget, this JCT Intermediate contract with CDPs gave Park View School a fully upgraded, regulation-ready sports hall—just in time for the new academic year.



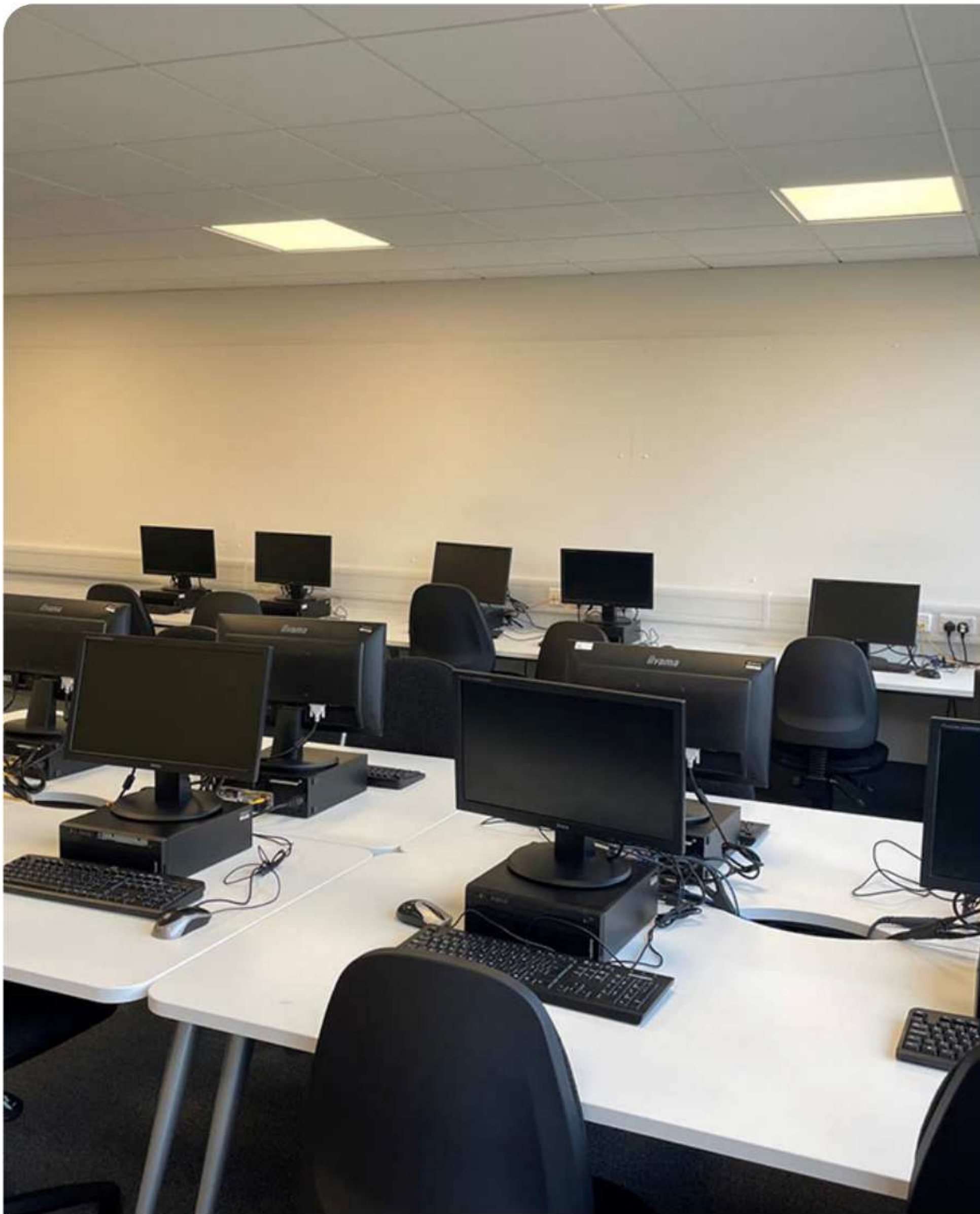
Sector	Education
Contract Period	8 weeks
Value	£320k

Project profile

West London College

Walthamstow

We were appointed by the West London Colleges to undertake refurbishment works within two colleges. The works were all in occupied colleges and the project was completed under a tight time frame. CGA worked with the in house maintenance with key isolations on power and fire alarm systems to ensure no disruptions to the adjoining areas to allow for a continuation of the daily college activities. The scope included new floor finishes in all classrooms and teaching rooms. The introduction of new lighting systems, standard layout teaching walls and AV, new Dado trunking layout with power & Data outlets, paint finishes throughout, new lighting system to sports hall, external works, a complete overhaul of the reception area, new Male & Female sports changing room finishes including IPS panel cubical.



Sector	Education
Contract Period	8 weeks
Value	£550k

Project profile

Waltham Forest College

Walthamstow

The refurbishment and modernisation project at Waltham Forest College focused on enhancing educational facilities while preserving the building’s historic integrity. The project began with a thorough assessment and planning phase to minimize disruption, followed by a complete strip out of existing finishes in classrooms, teaching rooms, and the reception area.

Upgrades included new floor finishes, advanced lighting systems, and integrated AV systems in classrooms to create modern, functional learning environments. The reception area was revitalised with high quality finishes and bespoke joinery, providing a welcoming and professional entrance to the college. Light refurbishments were carried out in nine WCs, with new flooring, wall coverings, and LED lighting enhancing both aesthetics and energy efficiency.

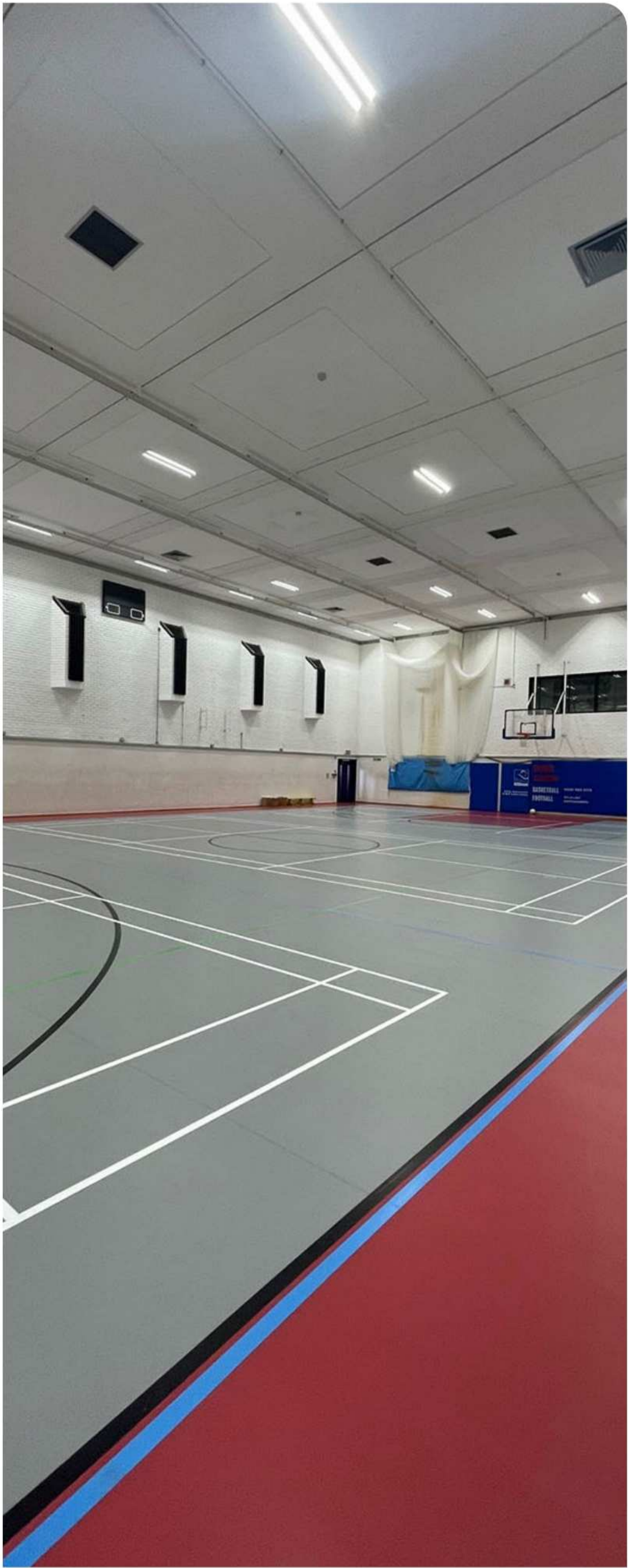
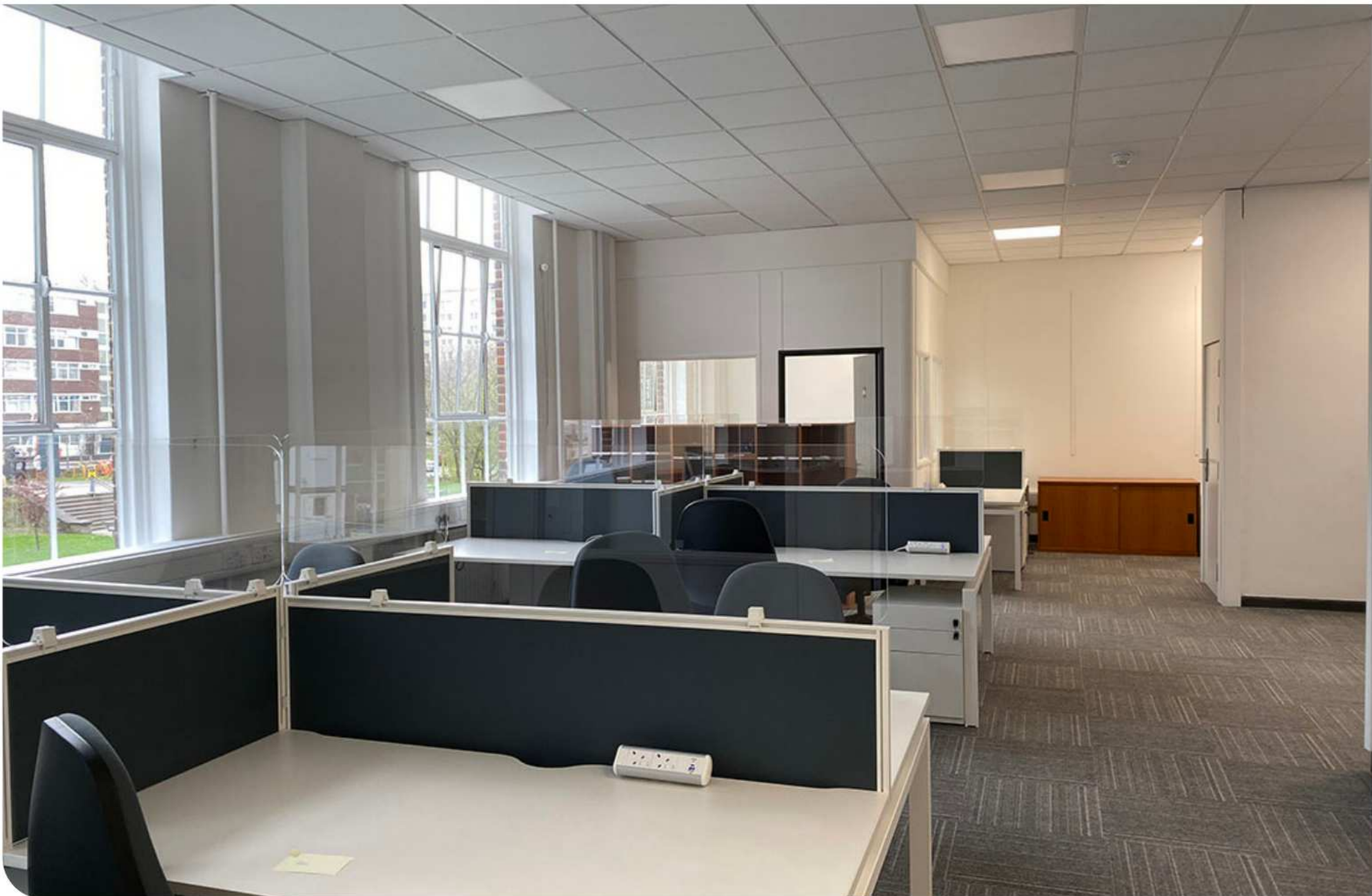
Additional refurbishments targeted the student services area, staff kitchen, and corridors, updating these spaces with modern finishes. Mechanical, electrical, and plumbing works included HVAC upgrades for better energy efficiency, as well as new power and lighting installations to support the improved facilities. These efforts ensured a seamless blend of modern amenities with the building’s historical character, allowing the college to remain fully operational throughout the project.

Lessons learnt

Preserving Historic Integrity While Modernising: Balancing the need for modernisation with the preservation of the building’s historic features required careful planning and execution. This highlighted the importance of early and detailed assessments to ensure that modern upgrades complement and do not compromise historical elements.

Minimising Disruption Through Collaboration: Close collaboration with stakeholders was crucial in minimising disruption to ongoing activities. Effective communication and planning ensured that the project progressed smoothly without significantly impacting the college’s operations.

Comprehensive Planning for Integrated Systems: The integration of advanced lighting, AV systems, and HVAC upgrades underscored the need for comprehensive planning. Ensuring all systems are designed to work together from the outset helps avoid compatibility issues and delays during installatio.



Sector	Education
Contract Period	8 weeks
Value	£Confidential

Project profile

Wentworth Primary School

Dartford

We completed a high-profile sports hall refurbishment project at Wentworth Primary School in Dartford. This project involved a full demolition and reconstruction of the existing roof, which had previously collapsed. The works were comprehensive, incorporating modern insulation and waterproofing systems to ensure long-term durability and energy efficiency.

The project scope consisted of the following elements:

Roof Reconstruction: Complete demolition of the collapsed roof and installation of a new insulated waterproofing system, enhancing the building’s energy efficiency and structural integrity.

Sports Hall Refurbishment: Major refurbishment works including the installation of new M&E services, modern windows, high-quality flooring, fire doors, and redecoration to refresh and upgrade the facility.

Extension Construction: Construction of a small extension to the existing sports hall to provide additional space and functionality.

Temporary Works: Implementation of temporary structural supports to ensure safety and continuity of work during the construction phase.

Challenges and Solutions

The project involved demolishing and reconstructing a collapsed roof, coordinating complex M&E, steel, and roofing designs under a tight schedule, and maintaining school operations with minimal disruption.

We swiftly demolished the collapsed structure, installed new steel lintels, and applied an insulated waterproofing system to improve durability and efficiency. Wefast-tracked the design and early procurement of long-lead items to stay on schedule. Temporary structural supports and early watertightness enabled smooth internal works, ensuring the school remained functional throughout and allowing the hall to be ready for end-of-year celebrations.

Key Benefits

The new roof structure and fire doors significantly improve the safety and security of the sports hall. The new insulated waterproofing system helps reduce energy costs and improves the overall sustainability of the building. Upgraded M&E services, flooring, and windows provide a more functional and aesthetically pleasing environment for students and staff.

The newly refurbished sports hall at Wentworth Primary School was delivered on time and within budget, providing a modern, safe, and energy-efficient space for the school’s activities and events.



Sector	Education
Contract Period	17 weeks
Value	£750k

Project profile

Jubilee Primary School

Brixton

The works for the Jubilee Primary project involved a comprehensive refurbishment and reconfiguration of the existing facilities, specifically designed to accommodate home economics classrooms. The project commenced with the strip-out and removal of outdated elements, including redundant partitions, skirtings, boxings, false walls, electrical systems, and other fixtures such as doors and frames. Existing furniture and floor finishes were carefully removed and safely stored, and ceilings were stripped out for access, with the potential for reuse.

Following the strip-out, new partitions were installed, including sliding folding partitions for classrooms that were both acoustic and fire-rated. The construction of new metal stud partitions and fire-rated boxes around existing columns was completed, along with the formation of new openings for door frames. New single and double doors, all fire-rated and equipped with vision panels, were installed throughout the site.

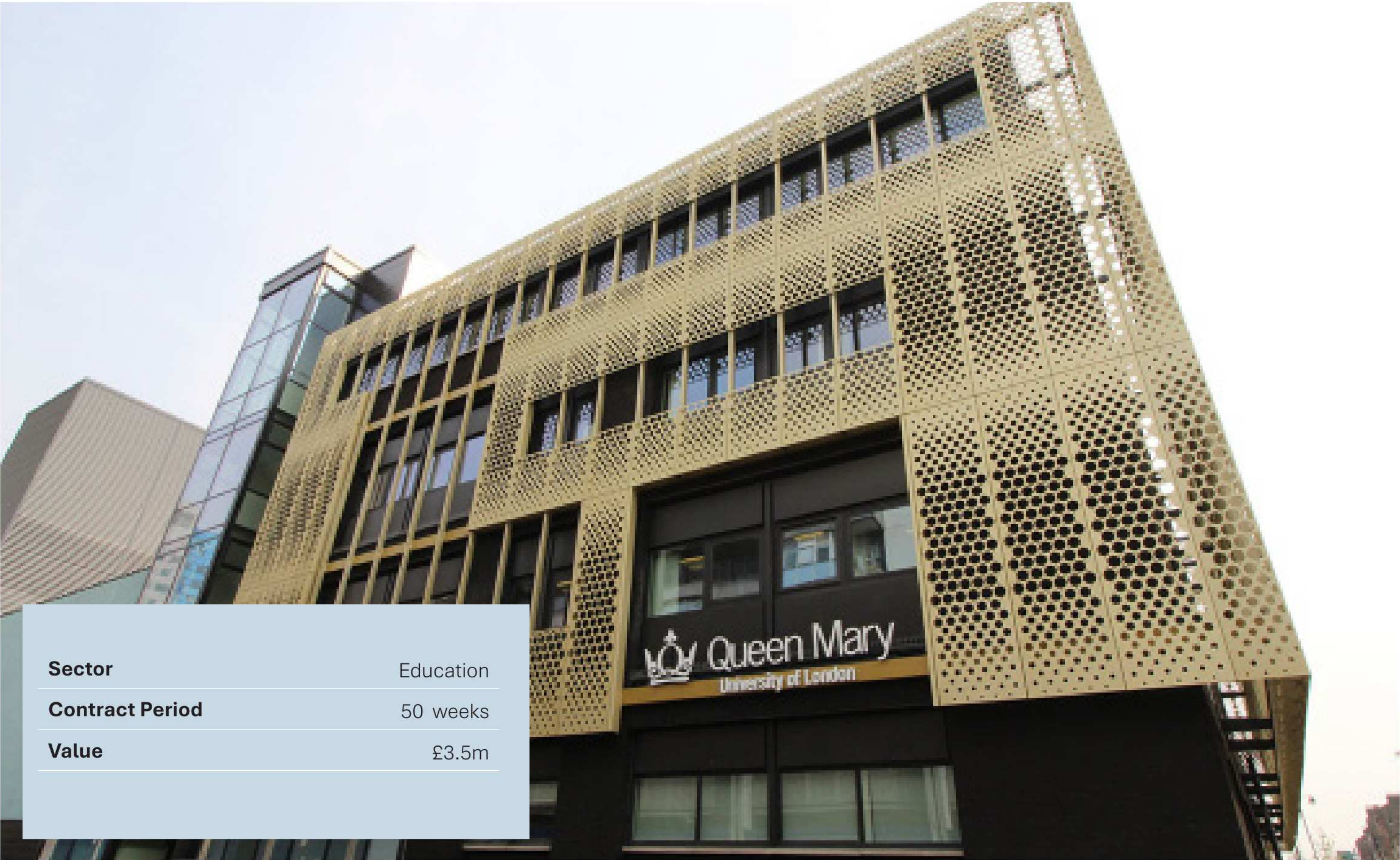
The washroom facilities were entirely overhauled. This included the installation of new ceiling pattresses, H Frame hoists, and electrical systems in the DDA WC. Pupil and staff WCs were fitted with new cubicles, washbasins, hand driers, and necessary drainage connections. Non-slip vinyl flooring was laid across all WCs, and new carpet tiles were installed in corridors, offices, classrooms, and the newly created home economics spaces.

Finishing touches included the adaptation and restoration of suspended ceilings, extensive wall tiling in WCs, and full-scale decoration of all areas, including new and retained walls, skirtings, and ceilings. Electrical and mechanical systems were also updated, with modifications to power, lighting, data, and Wi-Fi systems, as well as the extension of existing heating and fire alarm systems to accommodate the new layout. Finally, new extract fans were installed in both pupil and staff WCs to improve ventilation.



Sector	Education
Contract Period	6 weeks
Value	£400k

QMUL Whitechapel

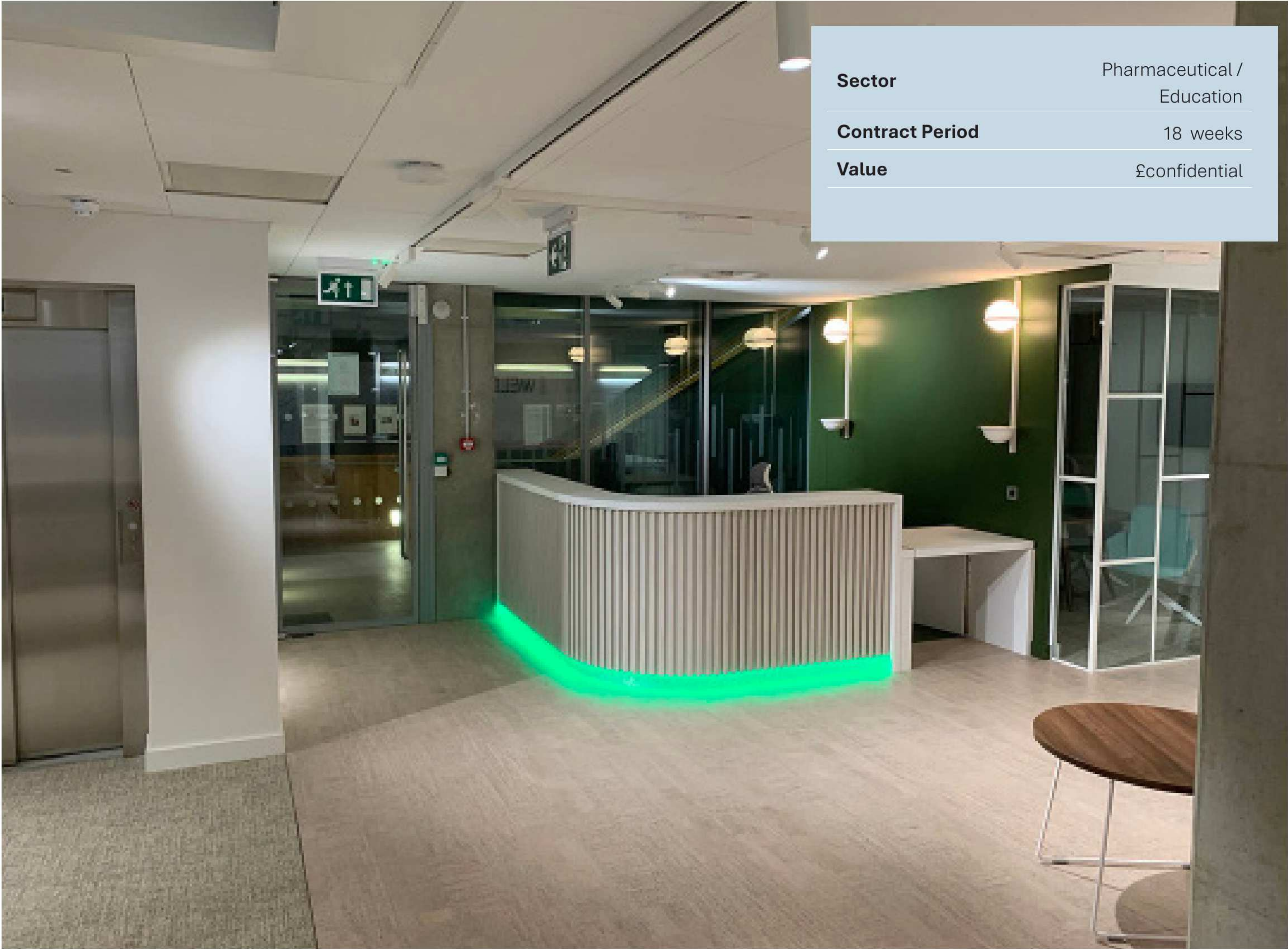


Sector	Education
Contract Period	50 weeks
Value	£3.5m

The project at QMUL included the design and build Facade works. The cladding included 5mm gauge aluminium panels, 1000mm wide and 4000mm tall. Designed, engineered and manufactured by Baileys UK Cladding specialist with design coordination by us on a D&B project. The panels were hung off steel PFC primary framework that was tied back into the buildings ring beam at slab levels via pockets opened in the existing facade on cantilever box sections. The Cladding rain screen had a bespoke design with only a hand full of manufacturers and anodising companies in the UK able to accommodate panels of that size. The works also consisted of replacing glass modules to existing window extrusions, a full overhaul of spray paint finishes to all spandrel panels and window profiles, complete refurbishment of existing brickwork, and staining.

UEZ QMUL Innovation Whitechapel

The project scope included the strip out and demolition of existing finishes back to CAT A then the refurbishment of two floors worth of training areas with bright new modern finishes and services off the landlords supplies. Some of the finishes included Hunter Douglas ceilings, New reception desk, Planet loft glazed partitions, New floor finishes, Feature wall graphics, Finishes, Cork flooring New mechanical layout throughout as well as New lighting and New AV to meeting rooms



Sector	Pharmaceutical / Education
Contract Period	18 weeks
Value	£confidential



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