

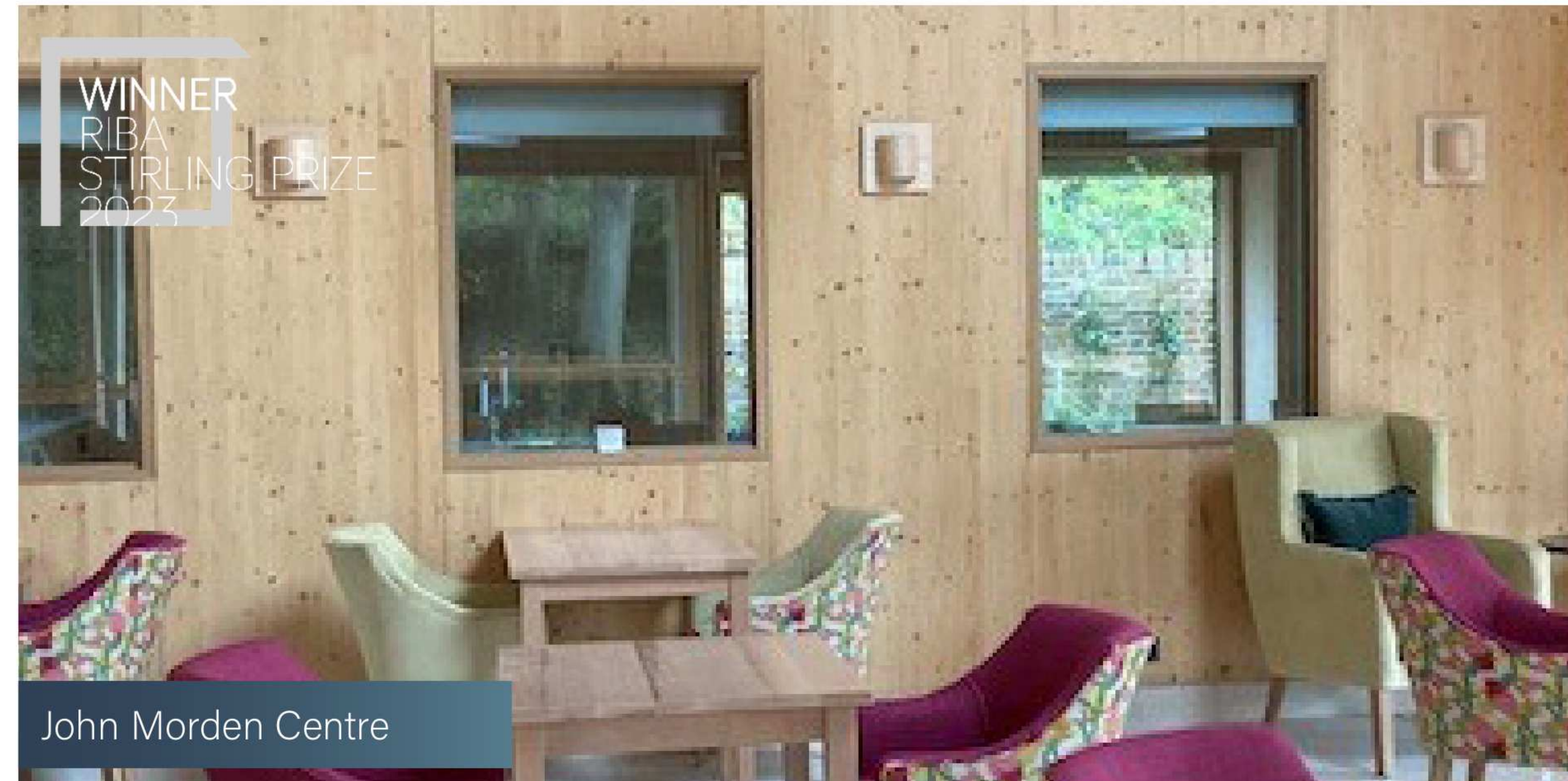


CGA | RESIDENTIAL CAPABILITY

Our Experience



The Pembridge



John Morden Centre



Abingdon Villas



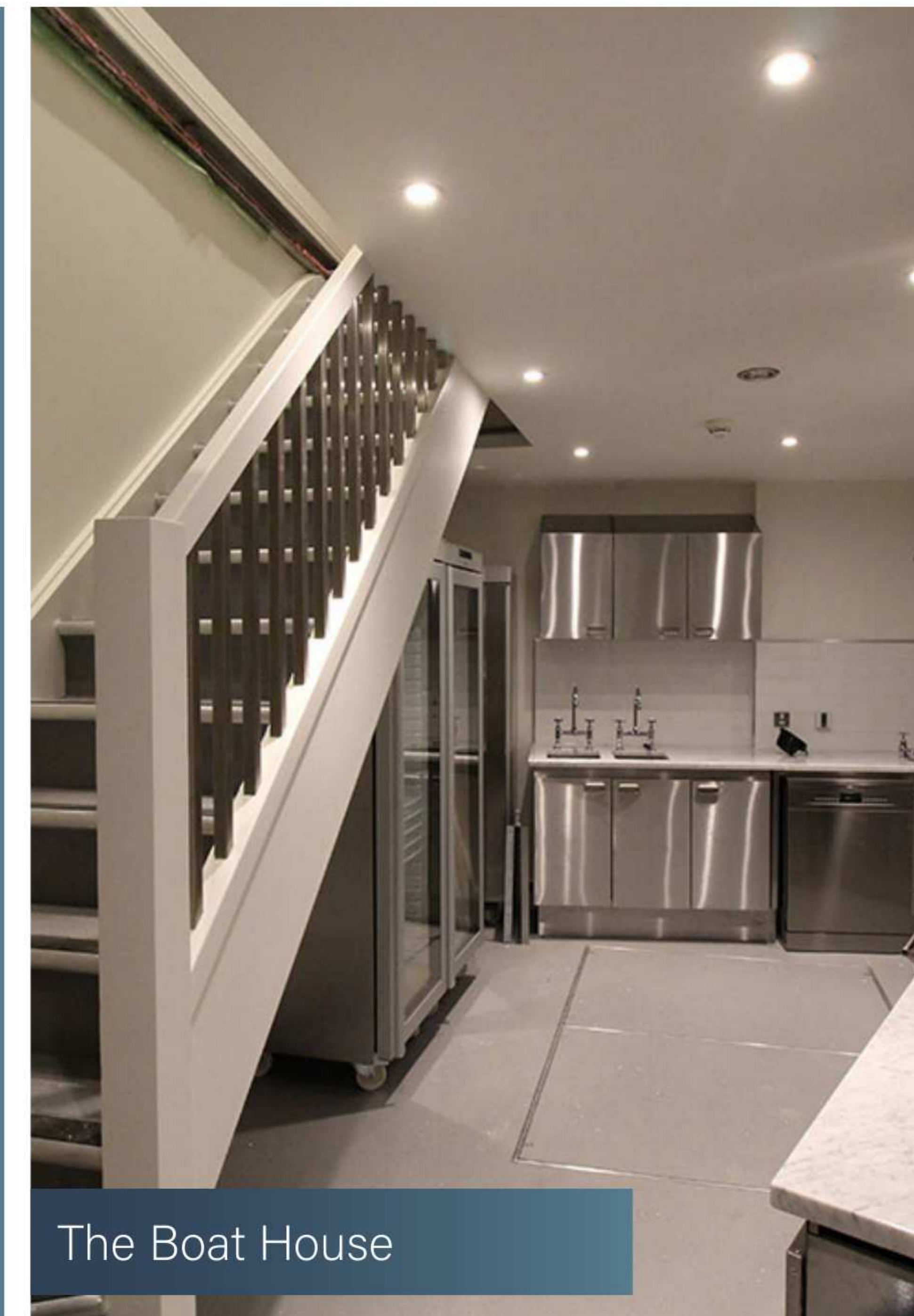
North Audley Street

At Clive Graham Associates, we bring a proactive, detail-oriented approach to every project—delivering high-quality results across the commercial, hospitality, and residential sectors. With a strong reputation for precision, collaboration, and integrity, our team excels in managing complex fit-outs, refurbishments, and new-build developments from concept to completion.

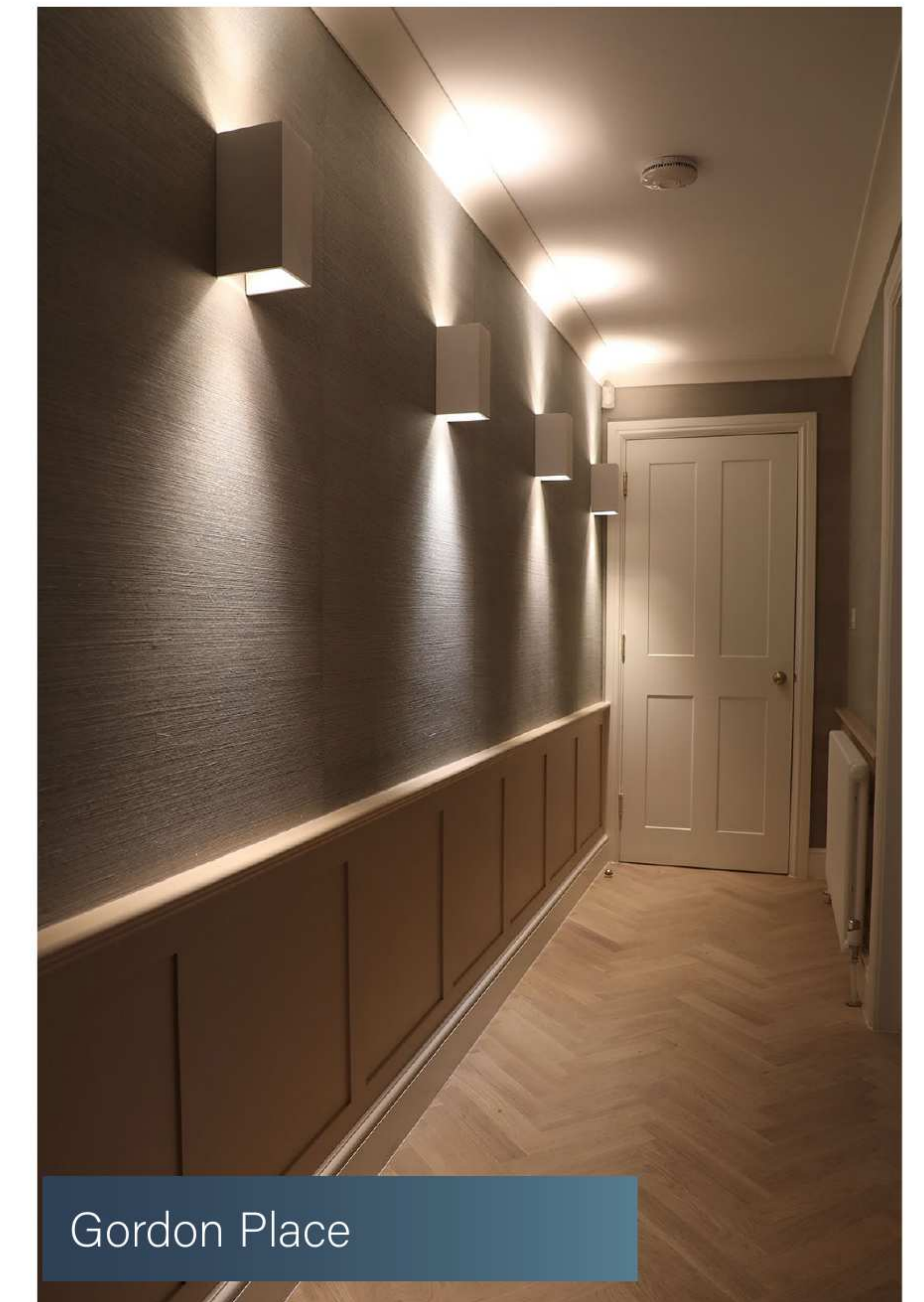
Our project experience reflects our ability to deliver on time, within budget, and to the highest standards— whether navigating tight programmes, coordinating specialist trades, or integrating bespoke design elements.

We pride ourselves on building lasting relationships with clients, consultants, and contractors alike, driving projects forward with clear communication and commercial insight.

Each project we undertake is an opportunity to demonstrate our commitment to quality, innovation, and value—ensuring our clients' visions are brought to life with confidence and care.



The Boat House



Gordon Place

Project profile

The Pembridge

Notting Hill Gate

We pride ourselves on our ability to sensitively deliver modern design with heritage character, constructing spaces that resonate with both contemporary luxury and timeless elegance. The Pembridge, located at the prestigious corner of Notting Hill Gate and Pembridge Gardens, presents period properties reimagined and thoughtfully converted into beautiful homes that speak to their Victorian heritage, combining both contemporary living and historical charm.

Scope and Overview

Situated in the vibrant heart of Notting Hill, The Pembridge mixed use development harmonises period architecture with modern living. The scheme comprises retail space at ground and basement and nineteen 1-3 bedroom residential apartments at first, second, third and fourth floors. There are eight different apartment types presented in two subtly different finishes palettes, “modern” and “heritage.”

CGA's Shell & Core Of Retail Space & High-End Residential Fit-Out

The Pembridge is characterised by its ‘modern heritage’ design, with apartments boasting bespoke finishes including panelled walls, parquet flooring, and marble bathrooms. CGA prepared the commercial/retail flexible space located at the ground and basement levels to shell and core standard, ready for the occupation and bespoke fit out of the retailer.

Solutions through Value Engineering

Mechanical Systems: We optimised costs and efficiency by transitioning from a Mitsi to a Daikin air conditioning ASHP system. This change not only reduced expenses but also streamlined the installation process.

Ventilation Solutions: By upgrading to a higher specification MVHR system, we eliminated the need for conventional ducted kitchen extract systems. This resulted in a more efficient system that offered cost savings and improved the overall building performance.

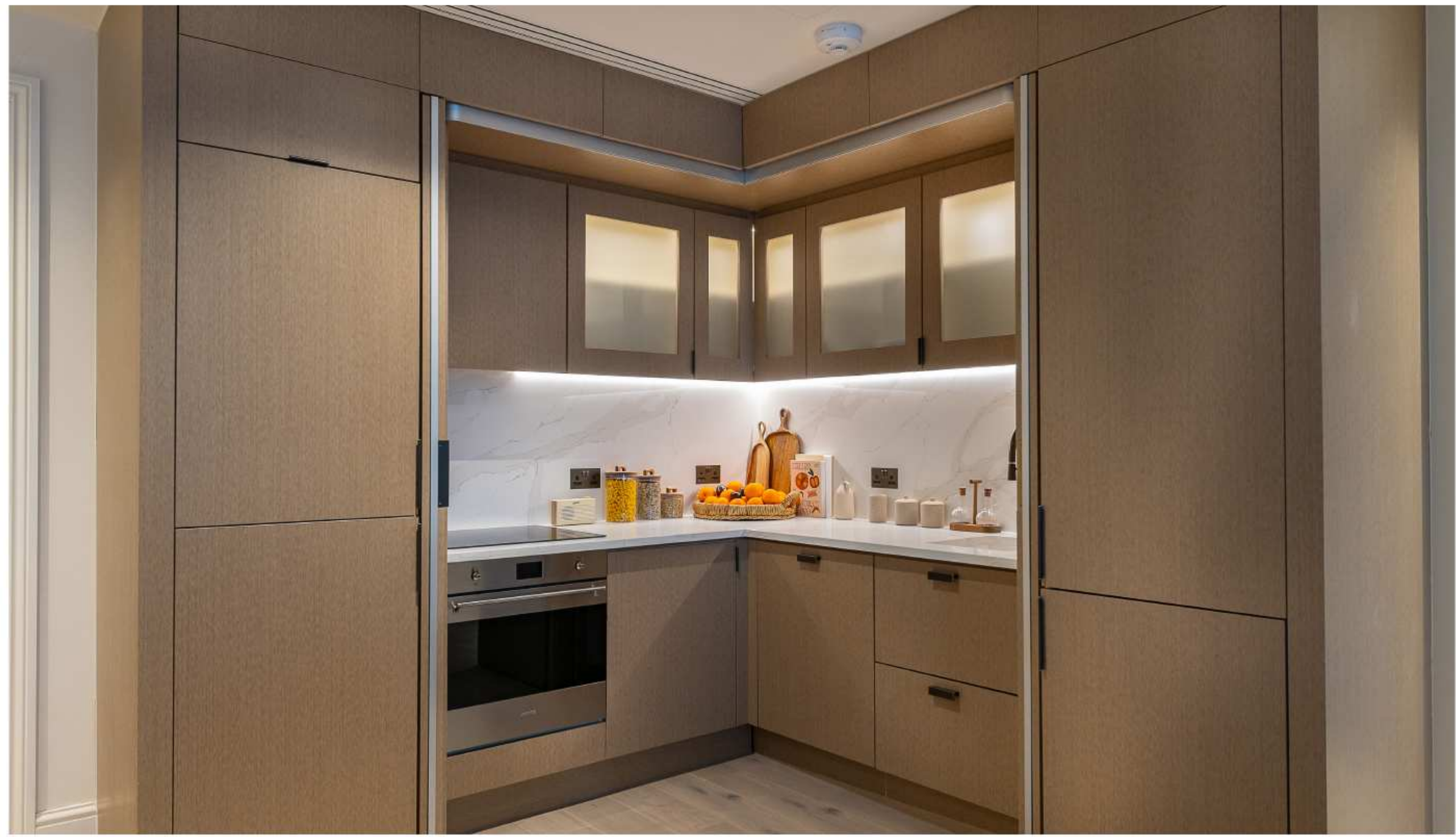
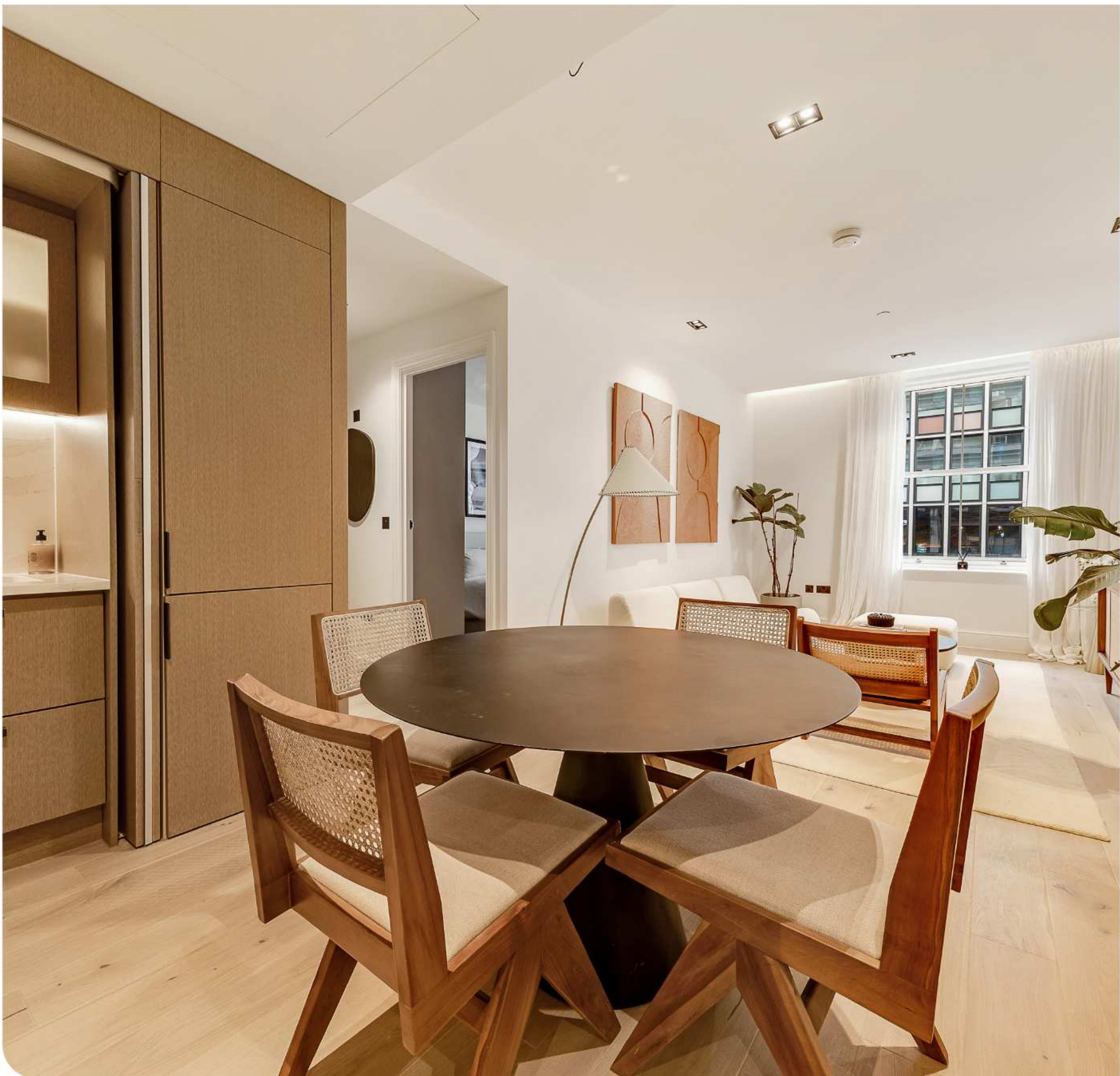
Lighting and Heating: Lighting and Heating Adjustments to the track and lighting specifications and the transition to an acoustic cradle underfloor heating system achieved equal quality with better lead times and cost-effectiveness, while also enhancing acoustic and thermal performance.

Bespoke Joinery and Doorsets Through careful value engineering, we achieved high-quality finishes using cost-effective materials like veneer and lookalike quartz, without compromising on the luxurious feel of the interiors. Additionally, the selection of an alternative supplier for ‘Crittall’ specified doorsets not only met but exceeded client expectations in terms of quality and design flexibility.

Challenges and Solutions

Minimising Neighbourhood Disruption: Ensuring the uninterrupted function of the existing neighbouring retail spaces on a busy high street and adjacent to the Notting Hill Gate TFL underground entrance was paramount. Through strategic planning and continuous communication with stakeholders, we successfully maintained live services and ensured safety and comfort for all parties involved.

The Outcome: Luxury modern living meets quality Victorian charm in one of London’s most sought-after neighbourhoods. By marrying traditional elegance with contemporary luxury and employing strategic value engineering, we have delivered a development that stands as a benchmark for mixed-use projects.



Sector	High End Residential
Contract Period	94 weeks
Value	£8m

Project profile

24-26 Hereford Square

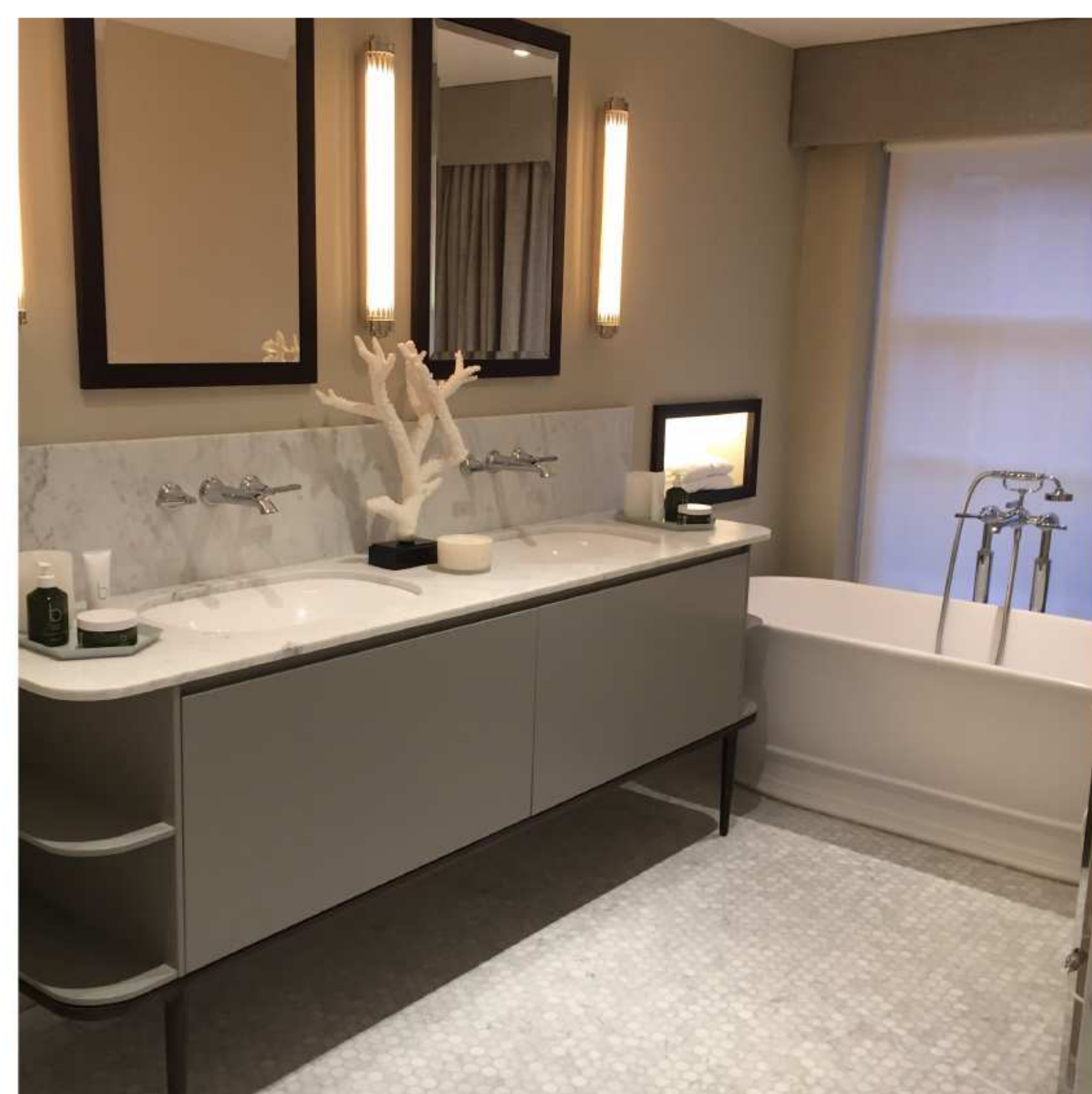
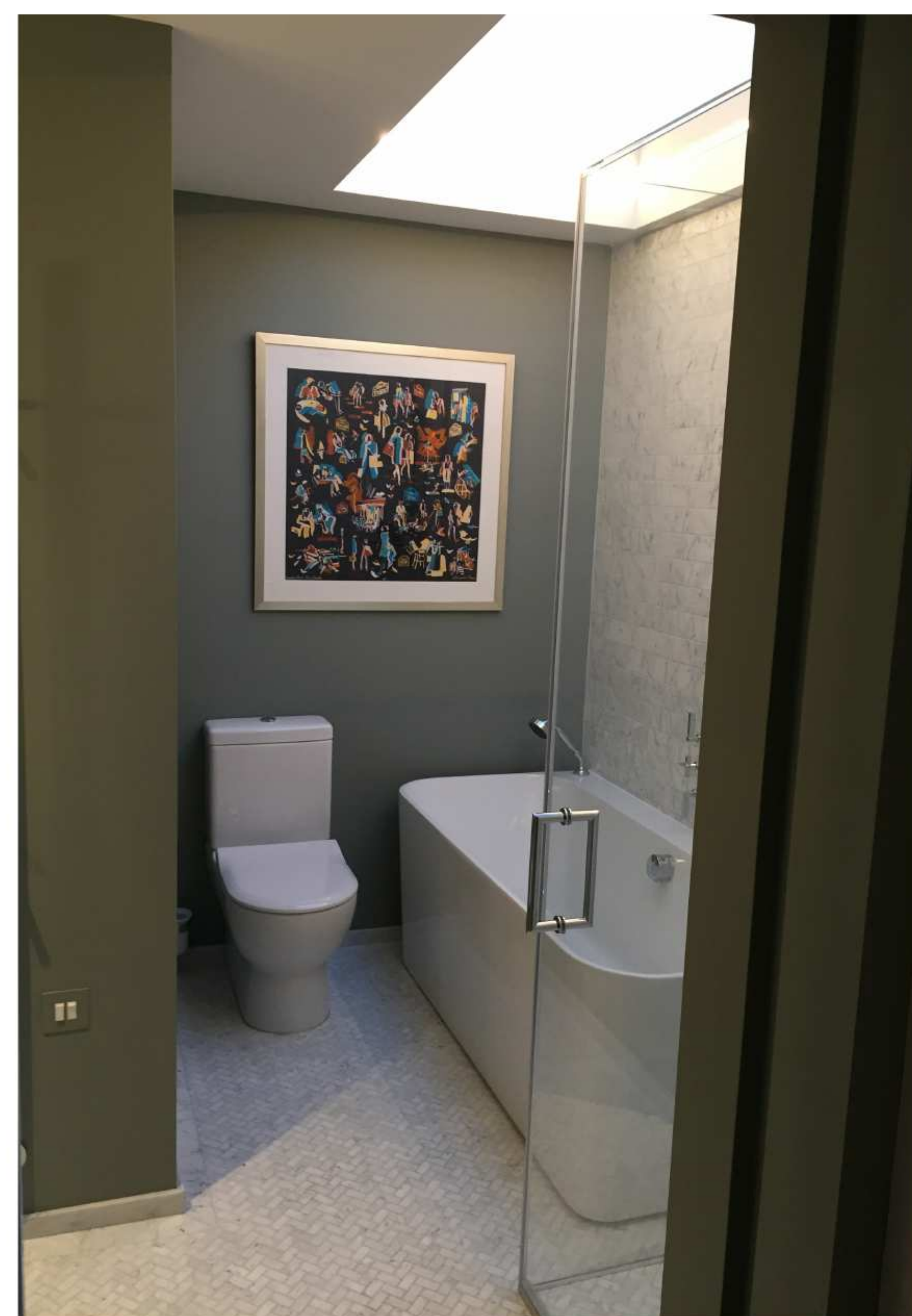
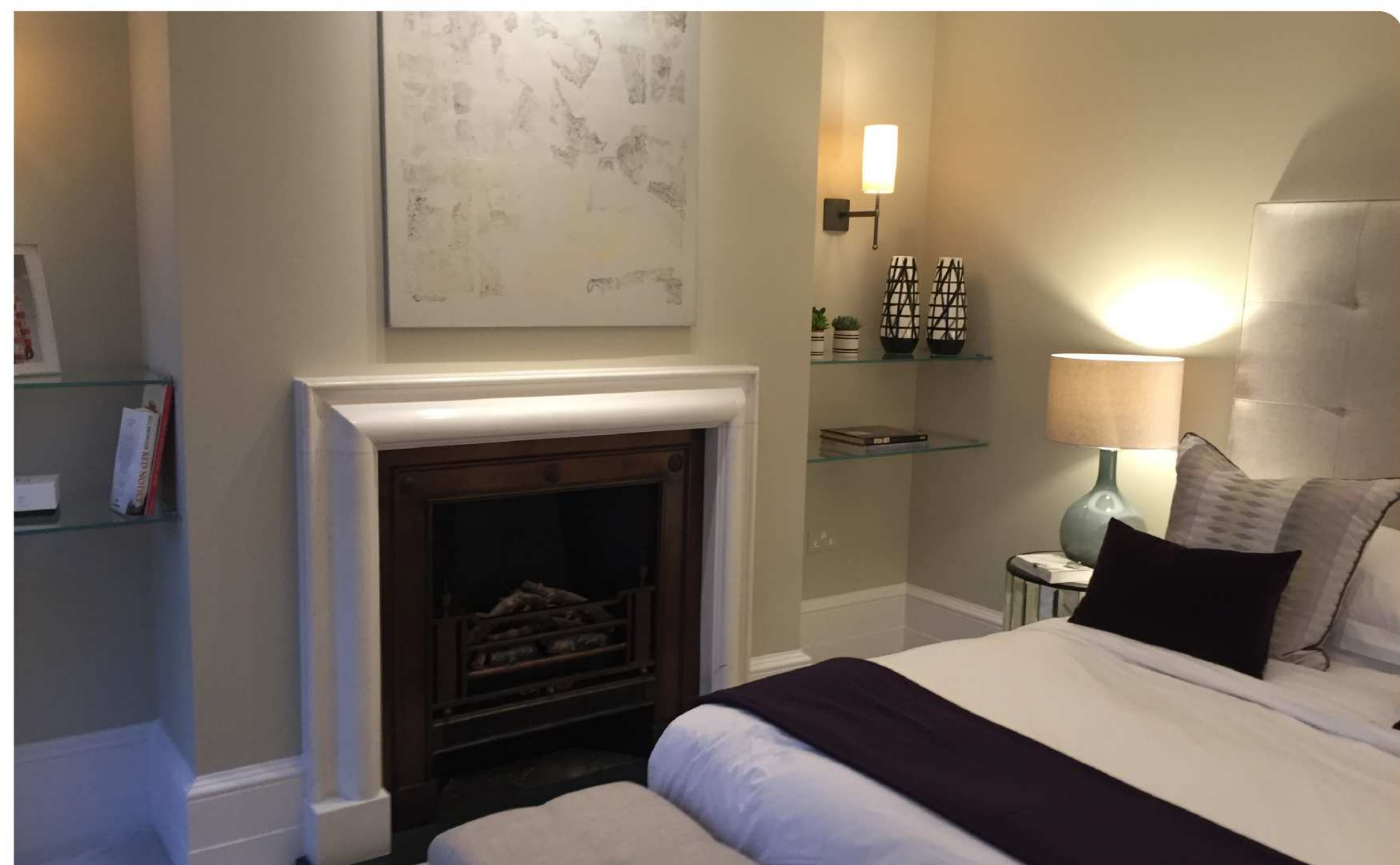
London

CGA recently completed three high-end properties in the exclusive area of South Kensington. The buildings have been restored to their original 1800s Italiante appearance with modern facility upgrades.

The white stucco fronted townhouses are newly constructed using a combination of modern building materials and traditional styling. Each house provides 6 bedrooms combined with generous living and entertainment space.

The works included:

- Lighting reconfiguration with Lutron lighting systems throughout.
- Timber-engineered floors,
- Bespoke cinema finishes with sound-proof and insulated walls.
- Installation of traditional fireplaces with reclaimed hearth and surrounds.
- Hi-tech AV system installed in every room.
- Tailor made stair insulation with traditional timber moulding and steel spindles.
- Bespoke kitchen on lower ground floor.



Sector	High End Residential
Contract Period	60 weeks
Value	£2.7m

Project profile

Modern College
Blackheath

The John Morden Centre is a RIBA Stirling Prize award winning day care facility, designed to consolidate various amenities for the retirement living residents of Morden College, Grade I listed properties in Blackheath, London.

CGA constructed the new build linking CLT superstructure, with insulated panels for structurals walls and pavillion roofs comprises contemporary materials and features such as glulam columns, zinc and green roofs. The space aims to combat social isolation among older residents, paying homage to the historic architecture with elements such as a colonnade, distinctive roofscape, and traditional brickwork.

The generous social spaces in the new building are linked by a winding colonnade that opens up to landscaped gardens, featuring unique roofs and chimneys for stacked ventilation, echoing the architectural profile of the surrounding historic buildings. The project was design and installed to meet BREEAM standards and exceeded airtight requirements and acoustic level for a project of this nature

The fit out of the project involved minimalistic, natural finishes to compliment the CLT structure. The public spaces of the college –dining room, chapel, library– form additions to the main quadrangle connected by a colonnade. M&E included Hi spec under floor heating and cooling, and new wiring was installed with the ability to be future proof via a rewirable system, Aa considerate drainage system was integrated into surrounding ground and not infrastructure drainage, PV panels were introduced.

Emphasis and importance was placed upon sustainability, energy efficiency and carbon reduction to meet BREEAM standards, via materials, upgrading heating systems and improving insulation.



Sector	Residential / Care
Contract Period	52 weeks
Value	£5.5m

Project profile

Abingdon Villas

Kensington

This exceptional project involved the extensive underground expansion and complete refurbishment of a premier property in Kensington, commissioned by a high-profile celebrity from the music industry. The residence now spans five meticulously designed floors, showcasing high-end finishes and bespoke features throughout.

Structural and Architectural Enhancements

The project included the construction of a double basement beneath the existing three-storey terraced house. A robust Pudlo waterproof shell was installed, complemented by a secondary Newton System damp-proofing solution to ensure long-term structural integrity and moisture protection.

A striking floating staircase connects the lower ground floor to the basement, enhancing the architectural flow and adding a contemporary design element. The lower levels feature polished concrete flooring with integrated underfloor heating, combining modern aesthetics with comfort.

Basement Features

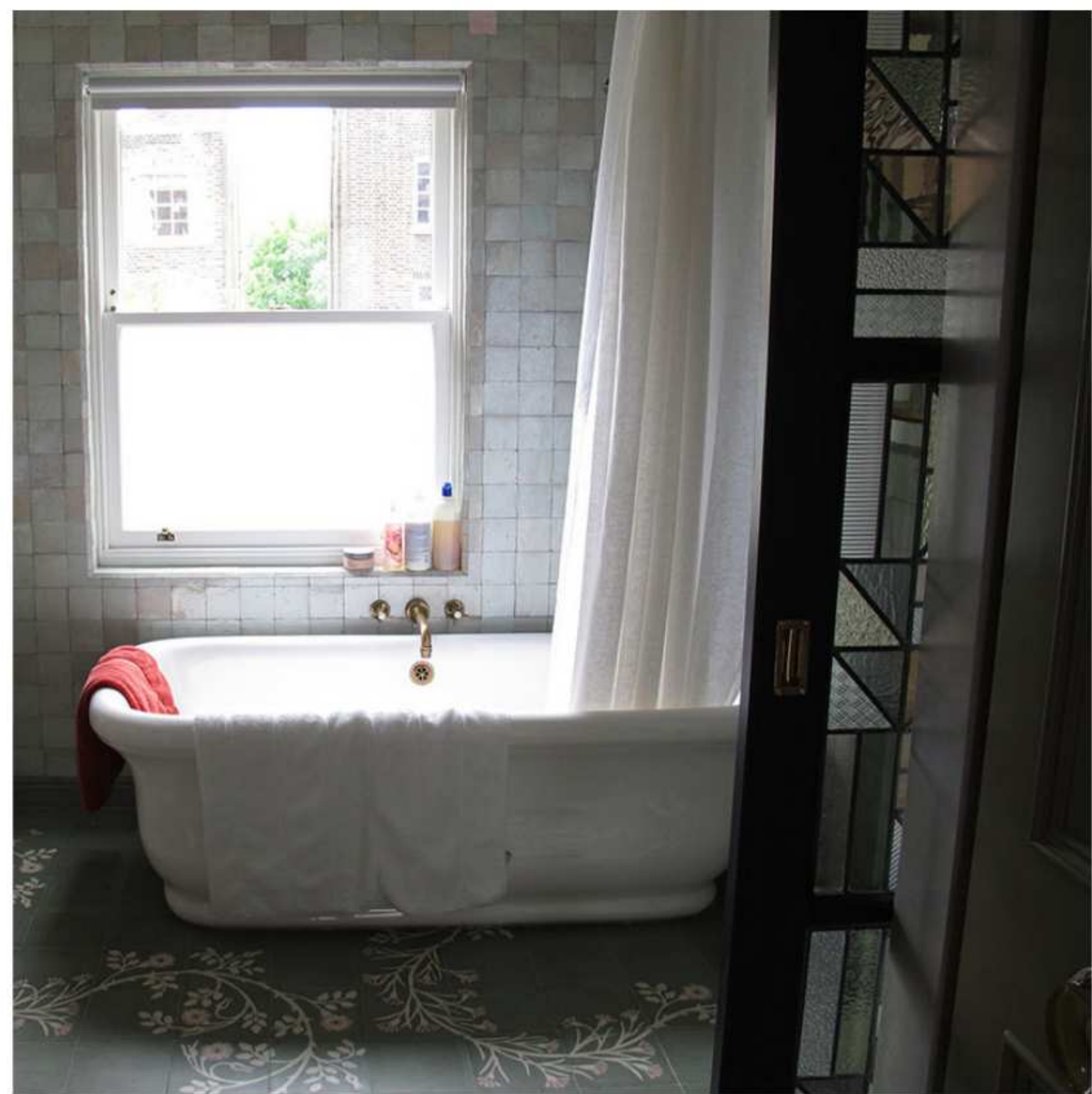
The newly constructed basement houses a fully equipped office, a self-contained flat with independent access, two W/Cs, and extensive bespoke cabinetry for storage. A standout feature is the cinema room, which includes a state-of-the-art AV system and custom wood paneling. This space opens onto a glass light well that transforms into a serene outdoor ‘Zen’ room, offering a unique blend of indoor luxury and outdoor tranquility.

Lower Ground Floor Design

The lower ground floor has been thoughtfully designed to cater to family living. It includes a dedicated children’s TV room and a bespoke kitchen fitted with custom cabinetry, a fish scale tile splashback, and a handcrafted concrete slab worktop. The kitchen opens onto a paved patio area with a raised grass section, accessible via two separate staircases, creating a seamless connection between indoor and outdoor spaces.

Upper Floors

The first floor accommodates two children’s bedrooms, each designed with comfort and functionality in mind. The second floor has been transformed into a stunning mezzanine-style master suite, featuring an elegant ensuite bathroom with a luxurious steam shower.



Sector	High End Residential
Contract Period	44 weeks
Value	£1.9m

Project profile

North Audley Street Apartments

Mayfair

This high-end residential project involved the complete fit-out of luxury flats located on prestigious North Audley Street in Mayfair. Designed for the premium rental market, the development spans multiple floors and includes bespoke finishes, advanced construction detailing, and refined architectural features.

On the first and second floors, three luxury flats were fitted out on each level, tailored specifically for discerning tenants in the high-end rental sector. The third, fourth, and fifth floors were developed into three expansive triplex flats, each spanning three floors and featuring private roof terraces. These exclusive residences were valued at approximately £4.5 million each.

In addition to the residential units, the project included the fit-out of common areas, a reception space, and basement works, ensuring a cohesive and luxurious experience throughout the building.

We were responsible for all party walls and internal partitions, as well as the installation of suspended ceilings, light troughs, bulkheads, and recessed features in all bedrooms. We supplied switchable glass for the bathrooms, adding a modern and functional touch, and installed all timber paneling to enhance the bathroom interiors.

The ceiling grid system was constructed using MF metal components, including MF7 support channels fixed to the slab or sub-grid via 25x25mm galvanized angles. MF5 top hat sections were secured to the support channels using MF9 clips, and plasterboards were screwed to the MF metal framework. These were then finished with a skim coat of plaster, ready for decoration by others.

Gypsum-cored plasterboard ceilings, margins, and bulkheads were installed in designated areas using a metal furring (MF) grid system, which was fixed to the structural soffit with steel angle hangers or steel strips. All MF ceilings and partitions were handed over in a state ready for final decoration.

Partitions were installed throughout the property using Gypframe steel studs, lined with plasterboard as specified, and finished with a plaster skim coat, also ready for decoration by others.

The project was completed over a 25-week period. Throughout the build, we worked closely with Latitude Architects to resolve complex design challenges and deliver a seamless, high-quality finish across all areas.



Sector	High End Residential
Contract Period	25 weeks
Value	£565k

Project profile

The Boat House

Fulham

This transformative project involved extensive structural works to convert an existing property into two modern, self-contained dwellings. The scope of work required meticulous planning and execution to ensure both safety and design excellence.

The entire building was underpinned to provide a stable foundation for the significant structural changes. The existing spine wall was carefully strengthened to support the new configuration and ensure long-term integrity.

A full basement excavation was carried out, adding valuable living space below ground level. In addition to this, all existing floors were reinforced to accommodate new loads and enhance the building’s overall structural resilience.

Major structural alterations were undertaken throughout the property to facilitate its conversion into two separate homes. These changes required precise engineering and coordination to maintain the building’s character while meeting modern living standards.

To complete the transformation, a new high-level roof structure was constructed and finished with sleek Zinc cladding. This not only elevated the building’s architectural appeal but also provided enhanced durability and weather protection.



Sector	High End Residential
Contract Period	50 weeks
Value	£2.5m

Project profile

Gordon Place

Knightsbridge

This exciting residential redevelopment project involved a series of structural and architectural enhancements designed to modernize and expand an existing property. The works were carefully coordinated to improve spatial flow, functionality, and aesthetic appeal, resulting in a beautifully upgraded home tailored for contemporary living.

The project began with underpinning to the party wall, ensuring structural stability and preparing the building for significant internal modifications. Structural steel was installed to create new levels and openings, allowing for a reimagined layout and improved vertical connectivity.

At the lower ground floor, structural level changes were implemented to optimize space and enhance usability. A rear extension was constructed to accommodate a brand-new kitchen, seamlessly integrating indoor and outdoor living.

Externally, the property was transformed with bespoke landscaping, creating a welcoming and stylish outdoor environment. New windows were installed on the front elevation, enhancing both the façade and natural light throughout the home.

Internally, new flooring was laid across all areas, contributing to a cohesive and high-quality finish. A striking glass lantern was also installed, flooding the interior with daylight and adding a dramatic architectural feature to the space.



Sector	High End Residential
Contract Period	35 weeks
Value	£750k



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