



CITY OF ROMA
PLANNING & ZONING COMMISSION



NOE GUZMAN, JR, CHAIRMAN
RENE GUERRA, SECRETARY
ROGERIO "ROGIE" ESTRADA, MEMBER
JOSE DANIEL GARZA, MEMBER

FERNANDO PEÑA, VICE CHAIRMAN
JUAN CARLOS SAENZ, MEMBER
ILDEFONSO SALDIVAR, JR, MEMBER

NOTICE OF MEETING

CITY COUNCIL CHAMBERS | 201 W. CONVENT AVE. | TUESDAY, SEPTEMBER 2, 2025 | 5:30PM

Notice is hereby given that the Planning and Zoning Commission will meet to consider and act upon the following:

AGENDA

- 2025-42 Call to Order
- 2025-43 Roll Call
- 2025-44 Pledge of Allegiance
- 2025-45 Chairman's Opening Comments
- 2025-46 Citizen Comment Period

SUBDIVISIONS

- 2025-47 **Final Plat:** Consideration of Final Plat approval for Luzero Subdivision. 3.00 acres of land, out of Tract 42, Porcion 74, Ancient Jurisdiction of Mier, Mexico, now Starr County, Texas. Applicant(s): Julio Gonzalez, Rio Delta Engineering. **(SUB#2404)**.

REGULAR MEETING

- 2025-48 Adjournment

DANIEL GARZA, DEVELOPMENT SERVICES DIRECTOR

Attest:

LILIANA SANDOVAL, CITY SECRETARY

City of Roma

Development Services

MEMORANDUM

Date: Tuesday, September 2, 2025

To: Planning & Zoning Commission

From: Daniel Garza, Development Services Director

Item ID: 2025-47

Subject: Luzero Subdivision – Final Plat (**SUB #2404**).

APPLICANT: Julio Gonzalez, on behalf of Artemio Galindo Jr & Erika Garcia de Galindo, is requesting Final Plat Approval of the Luzero Subdivision.

LEGAL DESCRIPTION: The property is legally described as 3.00 acres of land, out of Tract 42 of Porcion No. 74, Ancient Jurisdiction of Mier, Mexico, now Starr County, Texas.

LOCATION: The property is located at the Northwest corner of Efren Ramirez Avenue and Victoria Street in Roma, Texas. This property lies within the Extra Territorial Jurisdiction of Roma and will be addressed accordingly by Starr County upon Final Plat approval.

ZONING: The property lacks a zoning district designation, as it is not applicable to properties within our Extra Territorial Jurisdiction.

PROPERTY PROPOSED USE: Single Family Residential & Commercial

DEVELOPMENT SERVICES RECOMMENDATION: Development Services is recommending approval of the Final Plat for the proposed Luzero Subdivision subject to the following conditions:

- Correct designation of lot use on plat notes #1 and #10.

NOTE: This item will go before the City Council Meeting of Wednesday, September 3, 2025, at 5:30pm.

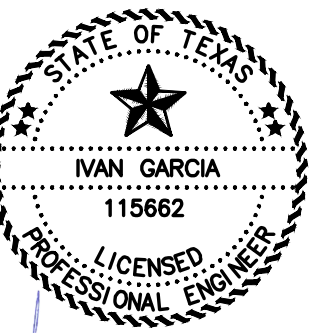
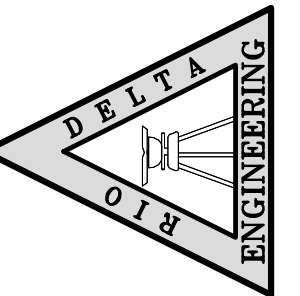


SCALE: 1"=1000'

SHT#	DESCRIPTION
1	COVER SHEET
2	PRELIMINARY PLAT SHEET
3	TOPOGRAPHICAL LAYOUT
4	UTILITY LAYOUT
5	PAVING AND DRAINAGE LAYOUT
6	LIGHTING PLAN LAYOUT
7	TYPICAL DETAILS

RIO DELTA ENGINEERING

921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



ISSUED FOR:
AS BUILTS

COVER SHEET
LUZERO SUBDIVISION
ROMA, TEXAS
STARR COUNTY

ENGINEER:
N GARCIA P.E. R.P.L.S.

AN GARCIA P.E. R.P.L.S.

SECRET:
N GARCIA P.E. R.P.L.S.

PHILLIP PENA JR./Y.V

	$1'' = 1000'$
TF:	

AUGUST 27, 2025

SUB 24.019

GE NO. **CUIT 1**

5111

LUZERO SUBDIVISION

STARR COUNTY, TEXAS

3.00 ACRES OF LAND, OUT OF TRACT 42 OF PORCION NO. 74
ANCIENT JURISDICTION OF MIER, MEXICO, NOW STARR COUNTY,
TEXAS.

ARLENE BARRERA
.995 AC.
(VOL. 0945, PG. 402 S.C.D.R.)

REMAINDER OF
THIRD PARTY
ARACELI BARRERA
3 AC
(VOL. 753, PG. 206 S.C.D.R.)

N88° 55' 29"E 655.35'

S88° 47' 52"W 641.54'

VICTORIA SUBDIVISION
(VOL. 2, PG. 245 S.C.M.R.)

CITY OF ROMA –
PLANNING & ZONING COMMISSION

STATE OF TEXAS
COUNTY OF STARR

STATE OF TEXAS
COUNTY OF STARR

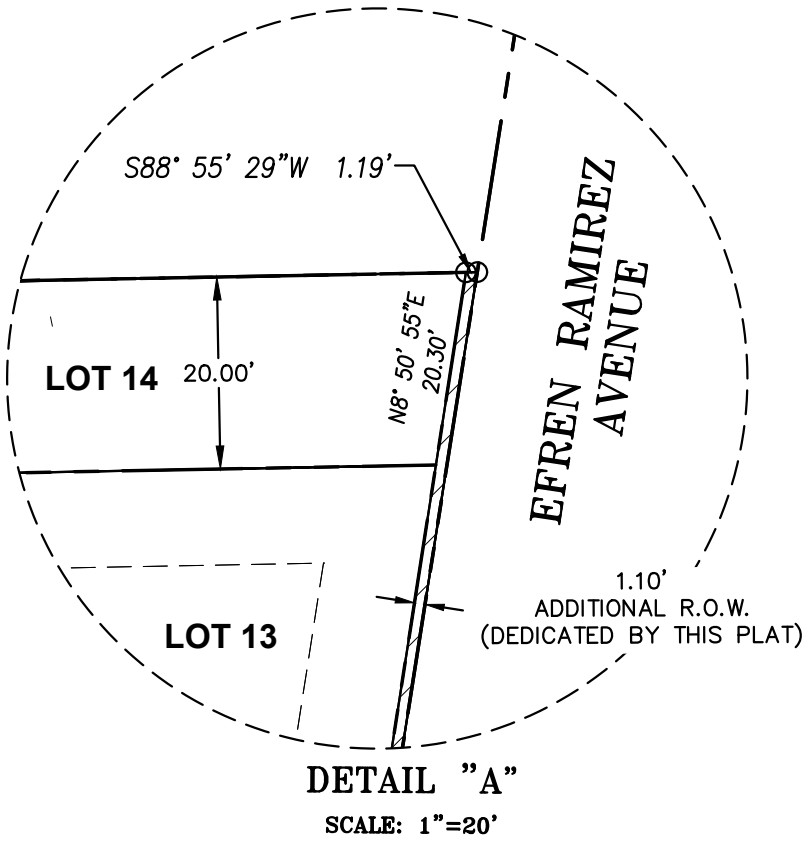
STATE OF TEXAS
STARR COUNTY CLERK'S RECORDING CERTIFICATE

HUMBERTO GONZALEZ, JR.
STARR COUNTY CLERK

ABBREVIATIONS	
NG	- NATURAL GROUND
R.O.W.	- RIGHT OF WAY
EDA	- EDGE OF ASPHALT
BOC	- BACK OF CURB
EOD	- EDGE OF DITCH
B/B	- BACK TO BACK
E/E	- EDGE TO EDGE
ST.	- STREET
DOC	- DOCUMENT
P.O.C.	- POINT OF COMMENCING
P.O.B.	- POINT OF BEGINNING
C.P.S.	- COTTON-PICKER SPINDLE
O.S.S.F.	- ON SITE SEWER FACILITY

LEGEND	
○	CAPPED 1/2" IRON ROD SET
●	IRON ROD FOUND
○	1" IRON ROD FOUND
●	5/8" IRON ROD FOUND
▲	COTTON PICKER SPINDLE SET
●	1-3/4" IRON PIPE FOUND
●	1" IRON PIPE FOUND
△	CALCULATED POINT
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCING
XXXX	MEASURED
(XXXX)	DEED CALL (DOC# 381458 O.R.S.C.)
(XXXX)	DEED CALL (VOL. 753, PG. 26 S.C.D.R.)
(XXXX)	DEED CALL (VOL. 945, PG. 404 S.C.D.R.)
(XXXX)	DEED CALL (VOL. 945, PG. 402 S.C.D.R.)

SCALE: 1" = 40'
BEARING OF BASIS
TEXAS STATE PLANE
COORDINATES TEXAS SOUTH
ALLTERRA NETWORK (4205)
(NAD 83)



METES AND BOUNDS

BEING A 3.00 ACRE TRACT OF LAND OUT OF TRACT 42 OF PORCION 74, ANCIENT JURISDICTION OF MIER, MEXICO, NOW STARR COUNTY, TEXAS, SAID 3.00 ACRE TRACT FORMERLY A PART OR PORTION OF A CALLED 8.00 ACRE TRACT DESCRIBED IN A PARTITION DEED TO ARACELI BARRERA ET. AL., RECORDED IN VOL. 753, PAGE 206, DEED RECORDS OF STARR COUNTY, TEXAS, SAID 3.00 ACRES OF LAND BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

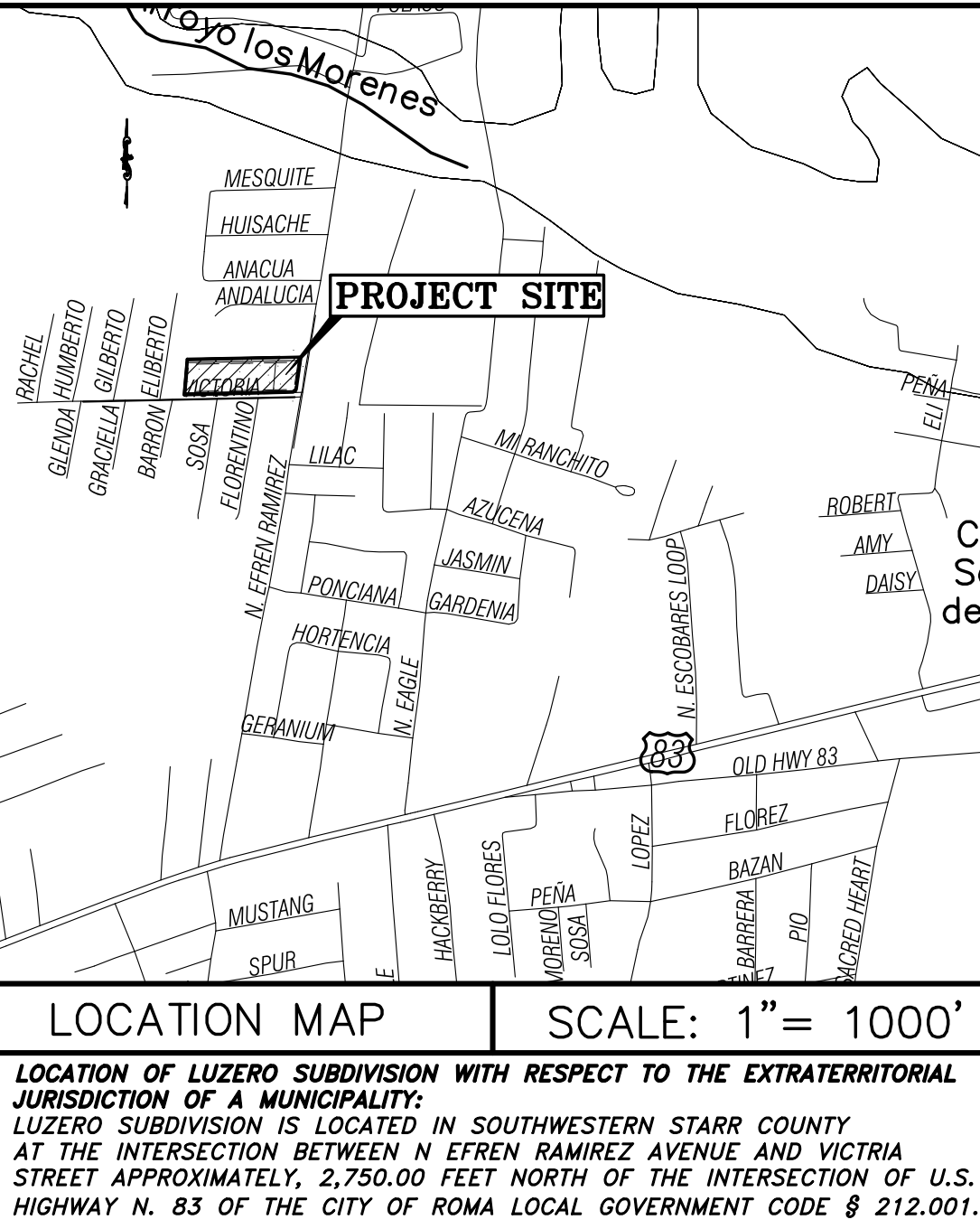
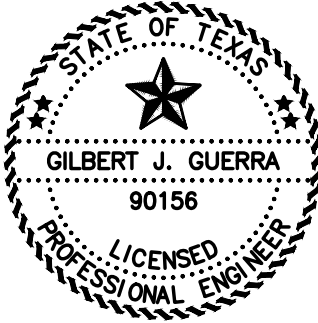
BEGINNING AT A 1/2-INCH CAPPED IRON ROD SET BEING THE SOUTHWEST CORNER OF THE SAID 8.00 ACRE BARRERA TRACT, SAME BEING A POINT ON THE NORTH RIGHT-OF-WAY LINE OF VICTORIA STREET (A 40.00 FOOT R.O.W. AS PER VICTORIA SUBDIVISION RECORDED IN VOLUME 2, PAGE 245-B S.C.M.R.), FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT OF BEGINNING,

THENCE N 50°22'22" E ACROSS THE SAID TRACT 42, SAME BEING ALONG THE WEST BOUNDARY LINE OF THE SAID 8.00 ACRE BARRERA TRACT, TO THE SOUTHWEST CORNER OF A CALLED 3.00 ACRE TRACT DESCRIBED IN THE SAID PARTITION DEED TO THE PARTY OF THE THIRD PART ARACELI BARRERA, A DISTANCE OF 203.53 FEET TO A 1/2-INCH CAPPED IRON ROD SET FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 88°55'29" E ACROSS THE SAID TRACT 42, SAME BEING ACROSS THE SAID 8.00 ACRE BARRERA TRACT, SAME BEING ALONG THE SOUTH BOUNDARY LINE OF THE SAID 3.00 ACRE PARTY OF THE THIRD PART ARACELI BARRERA TRACT, TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF EFREN RAMIREZ AVENUE, A DISTANCE OF 655.35 FEET TO A 1/2-INCH CAPPED IRON ROD SET FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 08°56'25" W ACROSS THE SAID TRACT 42, SAME BEING ALONG THE EAST BOUNDARY LINE OF THE SAID 8.00 ACRE BARRERA TRACT, SAME BEING ALONG THE WEST RIGHT-OF-WAY LINE OF THE SAID EFREN RAMIREZ AVENUE, TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF THE SAID VICTORIA STREET, A DISTANCE OF 204.06 FEET TO A 1/2-INCH CAPPED IRON ROD SET FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 88°47'52" W ACROSS THE SAID TRACT 42, SAME BEING ALONG THE NORTH RIGHT-OF-WAY LINE OF THE SAID VICTORIA STREET, SAME BEING ALONG THE SOUTH BOUNDARY LINE OF THE SAID 8.00 ACRE BARRERA TRACT, A DISTANCE OF 641.54 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 3.00 ACRES OF LAND, MORE OR LESS.



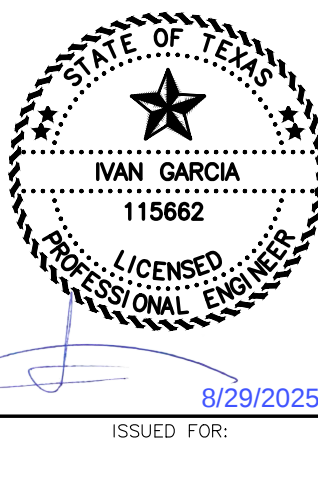
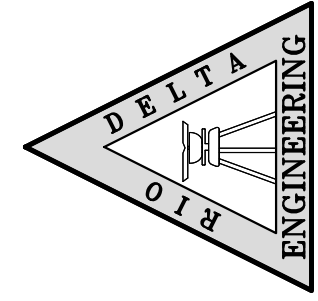
GENERAL SUBDIVISION PLAT NOTES

- THE SUBDIVISION CONSISTS OF THIRTEEN (13) RESIDENTIAL LOTS AND ONE (1) LOT FOR DETENTION. THE LOTS WILL BE PROVIDED WITH WATER AND WASTEWATER UTILITY SERVICE BY THE DEVELOPER IN ACCORDANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343 WATER CODE.
- THIS PLAT WAS PREPARED TO MEET CITY OF ROMA AND STARR COUNTY REQUIREMENTS.
- BASED ON THE FLOOD INSURANCE RATE MAP FOR STARR COUNTY, TEXAS COMMUNITY PANEL NO. 48427C040C (MAP REVISED APRIL 19, 2010), THIS SUBDIVISION IS OUT OF ANY FLOOD HAZARD AREAS ACCORDING TO FEMA.
- MINIMUM BUILDING SET BACK LINE ARE AS FOLLOWS:
FRONT: 20.0 FEET OR EASEMENT WIDTH WHICHEVER IS GREATER
SIDE: 5.0 FEET (CORNER LOTS: 10.0 FEET) OR EASEMENT WIDTH WHICHEVER IS GREATER AS DESIGNATED BY THE CITY OF ROMA.
REAR: 10.0 FEET OR EASEMENT WIDTH WHICHEVER IS GREATER AS DESIGNATED BY THE CITY OF ROMA.
- BENCHMARK:
SQUARE CUIT AT THE NORTH RIGHT-OF-WAY OF VICTORIA STREET.
N:16676226.3000' E:826410.4380' ELEV:186.73'
(BEARING BASIS, TX STATE PLANE COORDINATES, TEXAS SOUTH (4205) NAD 83, ALL TERRA NETWORK.
- MINIMUM FINISH FLOOR NOTE: MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE THE CENTER LINE OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER.
- ALL UTILITY AND DRAINAGE EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS, AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION AND MAINTENANCE OF ANY CREATION AND UTILITY EASEMENT. NO STRUCTURE SHALL BE CONSTRUCTED OVER ANY EASEMENT.
- THIS DEVELOPMENT SHALL BE REQUIRED TO DETAIN 6.247QF OR 0.143 AC-FIT OF STORM WATER.
- APPLICATIONS FOR CONSTRUCTION APPROVED BY THE CITY OF ROMA PLANNING DEPARTMENT ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT.
- THESE LOTS SHALL BE FOR SINGLE RESIDENTIAL USE ONLY. THERE SHALL BE NO OTHER USE OTHER THAN RESIDENTIAL. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACT FOR DEEDS. ANY OTHER USE SHALL REQUIRE PLANNING APPROVAL. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT.
- LOT FOURTEEN (14) IS FOR DETENTION PURPOSES ONLY.
- 'SIDEWALKS SHALL BE CONSTRUCTED ALONG STREETS WITHIN THE SUBDIVISION ACCEPTED BY THE CITY OF ROMA. HOMEBUILDERS SHALL CONSTRUCT SIDEWALKS ALONG STREETS ON WHICH HOMES FRONT AND ALONG STREETS ON WHICH HOMES SIDE AND BEFORE CERTIFICATES OF OCCUPANCY WILL BE ISSUED IF INSIDE THE CITY LIMITS OR EXTRATERRITORIAL JURISDICTION.
- NO OWNER OF THE LAND SUBJECT TO AN EASEMENT SHALL PLACE, BUILD OR CONSTRUCT ANY PERMANENT BUILDING, STRUCTURE OR OBSTRUCTION OF ANY KIND OVER, UNDER OR UPON THE EASEMENT, PROVIDED THAT SUCH OWNER MAY CROSS OR COVER THE EASEMENT WITH A PAVING DRIVEWAY/PARKING LOT UNDER THE FOLLOWING CONDITIONS: THE DRIVEWAY SHALL BE JOINTED AT THE BOUNDARY LINE OF THE EASEMENT TO LIMIT THE AMOUNT OF PAVING THAT MUST BE REMOVED TO PROVIDE ACCESS, AND THERE SHALL BE NO OBLIGATION OF THE CITY TO REPLACE/REPAIR ANY PAVING REMOVED IN THE EXERCISE OF THIS EASEMENT.
- ALL GARAGES SHALL BE SET BACK A MINIMUM OF EIGHTEEN (18) FEET FROM THE STREET RIGHT-OF-WAY ON CORNER LOTS, WHEN SAID LOT IS A SIDE LOADING LOT. A SIDE LOADING LOT IS A CORNER LOT WHERE THE GARAGE OR CARPORT IS ACCESSED FACING THE STREET.
- STREET LIGHT DESIGN PLANS SHALL BE SUBMITTED TO THE CITY OF ROMA FOR STAFF REVIEW AND APPROVAL PRIOR TO INSTALLATION OF STREET LIGHTS.
- ONE HALF INCH (1/2") IRON RODS THREE FEET (3) IN LENGTH ARE SET ON ALL PERIMETER BOUNDARY CORNERS, UNLESS OTHERWISE NOTED. BLOCK CORNERS OR STREET RIGHT-OF-WAYS HAVE NOT BEEN MONUMENTED.
- ALL LANDSCAPING AND STRUCTURES, INCLUDING FENCES, AT INTERSECTIONS SHALL CONFORM TO THE CITY OF ROMA AND AASHTO SITE DISTANCE FOR INTERSECTION TURNING RADII (CORNER CLIPS).

INDEX TO SHEETS OF LUZERO SUBDIVISION	
SHEET 1: HEADING; INDEX; LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; MAP: LOT, STREET, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); ENGINEER'S AND SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; CITY OF ROMA WATER APPROVAL CERTIFICATE; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES.	
SHEET 2: FINAL ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATIONS.	
SHEET 3: DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND DRAINAGE SWALES, MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEERING.	

RIO DELTA ENGINEERING

FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



PLAT SHEET
LUZERO SUBDIVISION
ROMA, TEXAS
STARR COUNTY

PROJECT :	ENGINEER :
ENGINEER :	IVAN GARCIA P.E. R.P.L.S.
SURVEYOR :	IVAN GARCIA P.E. R.P.L.S.
CHECKED :	IVAN GARCIA P.E. R.P.L.S.
DRAWN :	PHILLIP PENA JR., Y.V.
SCALE :	1" = 40'
DATE :	AUGUST 27, 2025
PROJECT :	SUB 24.019
REVISIONS :	
PAGE NO. :	SHT 2

Y: RDE SUBDIVISIONS 2024\SUB 24.019 ARTEMIO GALINDO\DWG\AS BUILT\SUB 24.019_SHT 2 PLAT SHEET.dwg NORBERTO LOPEZ 8/29/2025 2:34 PM

LUZERO SUBDIVISION

STARR COUNTY, TEXAS

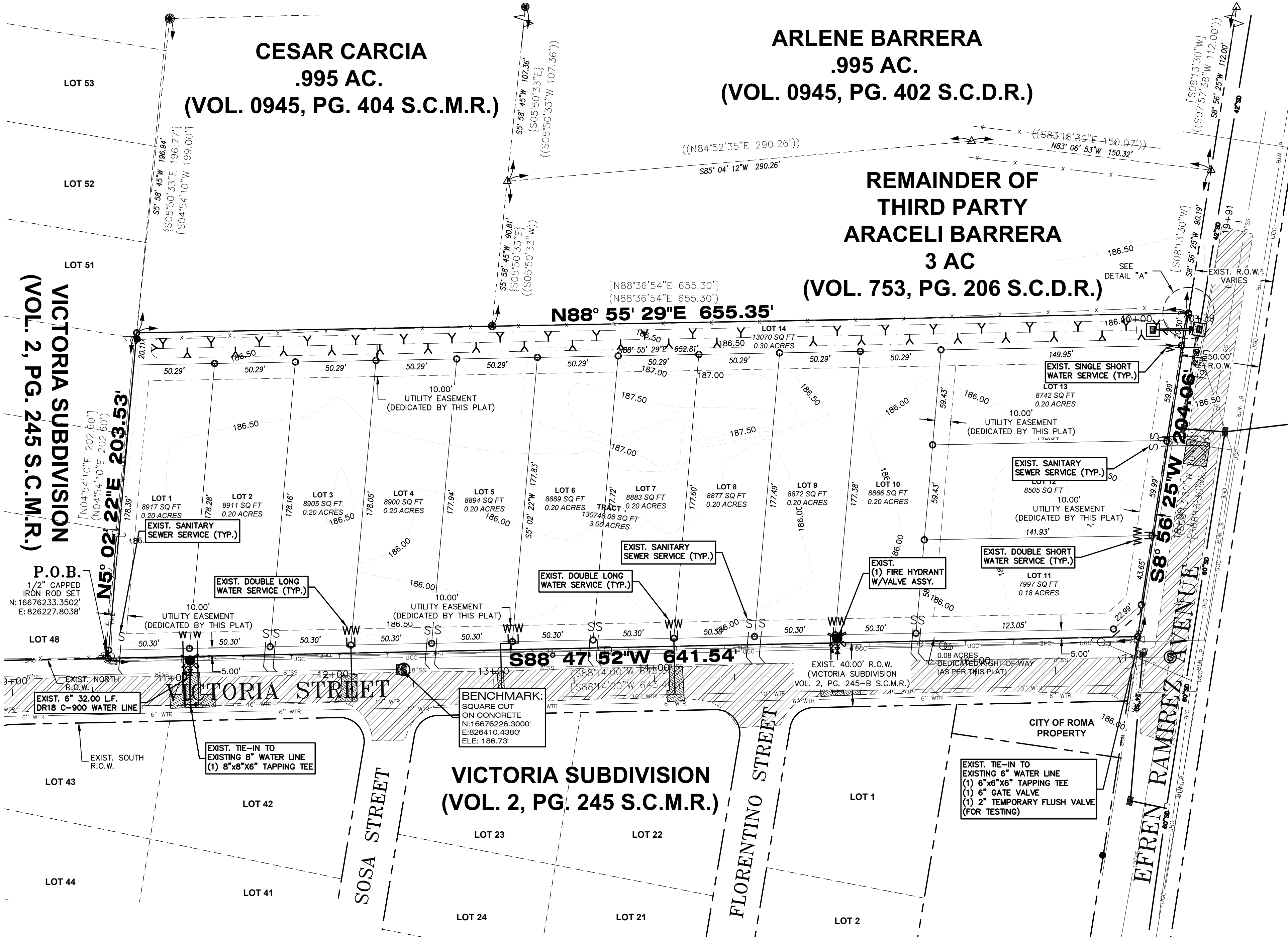
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.995 AC.
(VOL. 0945, PG. 402 S.C.D.R.)

REMAINDER OF
THIRD PARTY
ARACELI BARRERA
3 AC
(VOL. 753, PG. 206 S.C.D.R.)

CESAR CARCIA
.995 AC.
(VOL. 0945, PG. 404 S.C.M.R.)

VICTORIA SUBDIVISION
(VOL. 2, PG. 245 S.C.M.R.)



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BEARING OF BASIS
TEXAS STATE PLANE
COORDINATES TEXAS SOUTH
ALLTERRA NETWORK (4205)
(NAD 83)

ABBREVIATIONS	
NG	NATURAL GROUND
R.O.W.	RIGHT OF WAY
EOA	EDGE OF ASPHALT
EOC	EDGE OF CURB
EOD	EDGE OF DITCH
B/B	BACK TO BACK
E/E	EDGE TO EDGE
ST	STREET
DOC	DOCUMENT
P.O.C.	POINT OF COMMENCING
P.O.B.	POINT OF BEGINNING
P.S.	COTTON-PICKER SPINDLE
O.S.S.F.	ON-SITE SEWER FACILITY

LEGEND	
●	FOUND IRON ROD
⌂	MAIL BOX
—	SIGN
⌂	POWER POLE
⊗	SANITARY SEWER MANHOLE
⊗	WATER METER
⊗	FIRE HYDRANT
—	GUYWIRE
⊗	CLEAN OUT
⊗	WATER VALVE
—	FENCE
—	8" WTR — 8" WATER LINE
—	8" WTR — 8" SANITARY SEWER LINE
—	6" FM — 6" FORCE MAIN LINE

FINAL ENGINEERING REPORT FOR LUZERO SUBDIVISION
BY GILBERT J. GUERRA, P.E.

LEGAL DESCRIPTION
BEING A 3.00 ACRES OF LAND OUT OF TRACT 42 OF PORCION No. 74, ANCIENT
JURISDICTION OF MIER, MEXICO, NOW STARR COUNTY, TEXAS.

WATER SUPPLY AND DISTRIBUTION

THIS SUBDIVISION WILL BE PROVIDED WITH WATER SERVICE BY CITY OF ROMA. THE DEVELOPER AND THE CITY OF ROMA, HAVE ENTERED INTO A CONTRACT WHEREBY THE CITY OF ROMA HAS PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS. CITY OF ROMA HAS PROVIDED DOCUMENTATION THAT SUFFICIENTLY ESTABLISHES THE LONG-TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLY NEEDED TO SERVE THE FULL DEVELOPMENT. THE SUBDIVISION WAS CONNECTED TO AN EXISTING 8" WATER LINE ON THE SOUTH R.O.W. LINE OF VICTORIA STREET AND LOOPS THROUGH THE SOUTH SIDE OF SUBDIVISION TO THEN CONNECT TO AN EXISTING 8" WATER LINE ON THE WEST R.O.W. OF EFREN RAMIREZ AVENUE. EACH LOT HAS BEEN PROVIDED WITH AN INDIVIDUAL WATER SERVICE CONNECTION. THE WATER SERVICES WERE CONSTRUCTED AS PER THE CITY OF ROMA REQUIREMENTS AND SPECIFICATIONS. A TOTAL OF ONE (1) FIRE HYDRANTS, FIVE (5) 3/4" DOUBLE SHORT SERVICES, THREE (3) 3/4" SINGLE SHORT SERVICE, AND 630 LINEAR FEET OF 8" C-900 WATER LINE WERE INSTALLED THROUGHOUT THE DEVELOPMENT. THE HYDRANTS HAVE BEEN LOCATED SO THAT EACH LOT IN THIS DEVELOPMENT IS WITHIN 500 FEET OF A HYDRANT. THE COST FOR THE CONSTRUCTION OF THE WATER SYSTEM TO THIS SUBDIVISION WAS \$1,000,000.00, AT A COST PER LOT OF \$1,000,000.00. THE OWNER ALSO PAID THE CITY OF ROMA A TOTAL OF \$1,000,000.00, AT A COST OF \$1,000,000.00 PER LOT FOR MEMBERSHIP, WATER RIGHTS, METER AND INSTALLATION.

SANITARY SEWER COLLECTION SYSTEM

THIS DEVELOPMENT HAS CONNECTED TO THE EXISTING CITY OF ROMA SANITARY SEWER COLLECTION SYSTEM. LOCATED ON THE NORTH SIDE OF VICTORIA STREET AND EFREN RAMIREZ AVENUE, A INDIVIDUAL 4" SERVICES HAVE BEEN PROVIDED TO EACH LOT. THE COST FOR THE CONSTRUCTION OF THE SANITARY SEWER COLLECTION SYSTEM WAS \$1,000,000.00, AT A COST PER LOT OF \$1,000,000.00. THE OWNER OF THIS DEVELOPMENT HAS PAID SEWER TAP FEES TO THE CITY OF ROMA, A TOTAL OF \$1,000,000.00, AT A COST OF \$1,000,000.00 PER LOT.

CERTIFICATIONS:

I CERTIFY THAT THE WATER AND SANITARY SEWER SYSTEM FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL SUBDIVISION RULES ADOPTED UNDER SECTION 16.343, WATER CODE.

I CERTIFY THAT THE COSTS FOR THE CONSTRUCTED WATER AND SANITARY SEWER FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

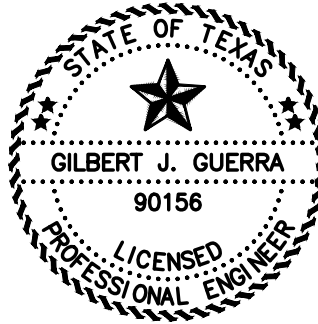
WATER FACILITIES

THESE FACILITIES ARE FULLY CONSTRUCTED, INSPECTION FEES HAVE BEEN PAID, EXCEPT FOR INSTALLATION OF WATER METERS, FOR A TOTAL COST OF \$1,000,000.00. A COST PER LOT OF \$1,000,000.00. THE OWNER ALSO PAID THE CITY OF ROMA A TOTAL OF \$1,000,000.00, AT A COST OF \$1,000,000.00 PER LOT FOR MEMBERSHIP, WATER RIGHTS, METER AND INSTALLATION.

SANITARY SEWER FACILITIES

THE COST FOR THE CONSTRUCTION OF THE SANITARY SEWER COLLECTION SYSTEM TO THIS SUBDIVISION WAS \$1,000,000.00, AT COST PER LOT OF \$1,000,000.00. THE OWNER OF THIS DEVELOPMENT HAS PAID SEWER TAP FEES TO THE CITY OF ROMA, A TOTAL OF \$1,000,000.00, AT A COST OF \$1,000,000.00 PER LOT.

GILBERT J. GUERRA, P.E.



DATE

REPORTE FINAL DE INGENIERIA PARA LUZERO SUBDIVISION
BY GILBERT J. GUERRA, P.E.

ABASTECIMIENTO DE AGUA POTABLE, DESCRIPCION, COSTO, Y FECHA DE OPERACION

LUZERO SUBDIVISION RECIBIRA SERVICIO DE AGUA POTABLE DE LA CIUDAD DE ROMA Y HA PROMETIDO, POR MEDIO DE UN CONTRATO, PROPORCIONAR SUFFICIENTE AGUA PARA SERVIR LA SUBDIVISION POR LO MENOS DE UN PERIODO DE TREINTA (30) AÑOS. LA CIUDAD DE ROMA HA PRESENTADO LA DOCUMENTACION SUFFICIENTE PARA ESTABLECER A LARGO PLAZO, LA CANTIDAD Y CALIDAD DE AGUA POTABLE DISPONIBLE NECESARIA PARA EL DESARROLLO COMPLETO DE ESTA SUBDIVISION. LUZERO SUBDIVISION, SE CONECTO A UNA TUBERIA EXISTENTE DE AGUA DE OCHO (8") PULGADAS LOCALIZADA AL LADO SUR DEL DERECHO DE VILLA VICTORIA STREET, Y TAMBIEN SE INTERCONECTO A UNA LINEA EXISTENTE DE 6" PULGADAS QUE ESTA LOCALIZADA DEL LADO OESTE DEL DERECHO DE VILLA DE EFREN RAMIREZ AVENUE. A TODOS LOS LOTES SE LES HA PROPORCIONADO UN SERVICIO DE AGUA INDIVIDUAL. LOS SERVICIOS DE AGUA FUERON INSTALADOS SIGUIENDO LAS NORMAS Y ESPECIFICACIONES DE LA CIUDAD DE ROMA. EL SISTEMA DE DISTRIBUCION DE AGUA CONSISTE DE 630 PIES LINEALES DE TUBERIA PVC DE OCHO PULGADAS (8") DE DIAMETRO DR-18 C-900, UN (1) HIDRANTE, CINCO (5) SERVICIOS DE AGUA DE 3/4" DOBLES CORTOS, TRES (3) 3/4" DOUBLE SHORT SERVICES, THREE (3) 3/4" SINGLE SHORT SERVICE, AND 630 LINEAR FEET OF 8" C-900 WATER LINE WERE INSTALLED THROUGHOUT THE DEVELOPMENT. THE HYDRANTS HAVE BEEN LOCATED SO THAT EACH LOT IN THIS DEVELOPMENT IS WITHIN 500 FEET OF A HYDRANT. EL DUEÑO DE LA SUBDIVISION FUE DE \$1,000,000.00, A UN COSTO POR LOTE DE \$1,000,000.00. EL DUEÑO DE LA SUBDIVISION HA PAGADO LOS CARGOS POR CONECCION DE AGUA, LOS CUALES INCLUYEN LA INSTALACION DEL MEDIDOR DE AGUA Y LAS TARIFAS DE INSPECCION DE LA CIUDAD DE ROMA, POR UN TOTAL DE \$1,000,000.00, A UN COSTO DE \$1,000,000.00 POR LOTE.

SISTEMA DE COLECCION DE AGUAS RESIDUALES

ESTE DESARROLLO SE HA CONECTADO A UNA LINEA DE COLECCION DE AGUAS RESIDUALES DE LA CIUDAD DE ROMA. EL SISTEMA EXISTENTE ESTA LOCALIZADA DEL LADO NORTE DEL DERECHO DE VILLA DE VICTORIA STREET Y EFREN RAMIREZ AVENUE, SE HAN INSTALADO EXTENSIONES DE SERVICIOS DE CUATRO PULGADAS (4") DE DIAMETRO PARA CADA LOTE. EL COSTO DE CONSTRUCCION DEL SISTEMA DE AGUAS RESIDUALES FUE DE \$1,000,000.00, A UN COSTO DE \$1,000,000.00 POR LOTE. EL DUEÑO HA PAGADO A LA CIUDAD DE ROMA LOS CARGOS DE CONECCION DE AGUAS RESIDUALES; UN TOTAL DE \$1,000,000.00, A UN COSTO DE \$1,000,000.00 POR LOTE.

CERTIFICACION:

YO CERTIFICO QUE EL SISTEMA DE AGUA Y EL SISTEMA DE AGUAS RESIDUALES DESCRITO AQUÍ ESTÁ EN REGULA CON EL MODELO DE REGLAS ADOPTADAS BAJO LA SECCION 16.343 DEL CODIGO DE AGUA.

YO CERTIFICO QUE EL COSTO ESTIMADO PARA CONSTRUIR EL SISTEMA DE AGUA Y EL SISTEMA DE AGUAS RESIDUALES, DESCRITAS SON LAS SIGUIENTES:

SISTEMA DE AGUA

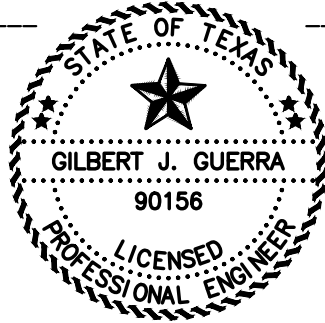
EL SISTEMA DE DISTRIBUCION DE AGUA ESTA COMPLETAMENTE CONSTRUIDO EXCEPTO POR LA INSTALACION DE LOS MEDIDORES DE AGUA CON UN COSTO TOTAL DE \$1,000,000.00, A UN COSTO POR LOTE DE \$1,000,000.00. EL DUEÑO DE LA SUBDIVISION HA PAGADO LOS CARGOS POR CONECCION DE AGUA, LA CUAL INCLUYE LA INSTALACION DEL MEDIDOR DE AGUA Y LAS TARIFAS DE INSPECCION DE LA CIUDAD DE ROMA, POR UN TOTAL DE \$1,000,000.00, A UN COSTO DE \$1,000,000.00 POR LOTE.

SISTEMA DE AGUAS RESIDUALES

EL COSTO DE CONSTRUCCION DEL SISTEMA DE AGUAS RESIDUALES FUE DE \$1,000,000.00, A UN COSTO DE \$1,000,000.00 POR LOTE. EL DUEÑO HA PAGADO A LA CIUDAD DE ROMA LOS CARGOS DE CONECCION DE AGUAS RESIDUALES; UN TOTAL DE \$1,000,000.00, A UN COSTO DE \$1,000,000.00 POR LOTE.

I, GILBERT J. GUERRA, HEREBY ACKNOWLEDGE THAT THE ABOVE TRANSLATION FROM ENGLISH TO SPANISH, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

GILBERT J. GUERRA, P.E.



DATE

PRINCIPAL CONTACTS:

NAME	ADDRESS	PHONE & FAX
OWNER: ARTEMIO GALINDO, JR.	991 N. GILBERT ST.	ROMA, TEXAS 78584 N/A
ENGINEER: GILBERT J. GUERRA, P.E.	921 S. 10 TH. AVENUE	EDINBURG, TX 78539 (956) 380-5152 (956) 380-5083
SURVEYOR: IVAN GARCIA, P.E., R.P.L.S.	921 S. 10 TH. AVENUE	EDINBURG, TX 78539 (956) 380-5152 (956) 380-5083

INDEX TO SHEETS OF LUZERO SUBDIVISION

SHEET 1:	HEADING; INDEX; LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; MAP; LOT, STREET, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); ENGINEER'S AND SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; CITY OF ROMA WATER APPROVAL CERTIFICATE; COUNTY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES.
SHEET 2:	FINAL ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTEWATER AND ENGINEER'S CERTIFICATIONS.
SHEET 3:	DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND DRAINAGE SWALES, MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEERING.

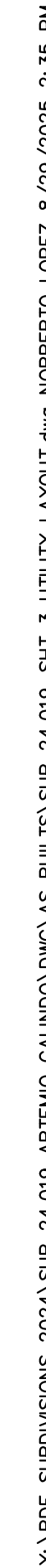
FINAL ENGINEERING REPORT

LUZERO SUBDIVISION

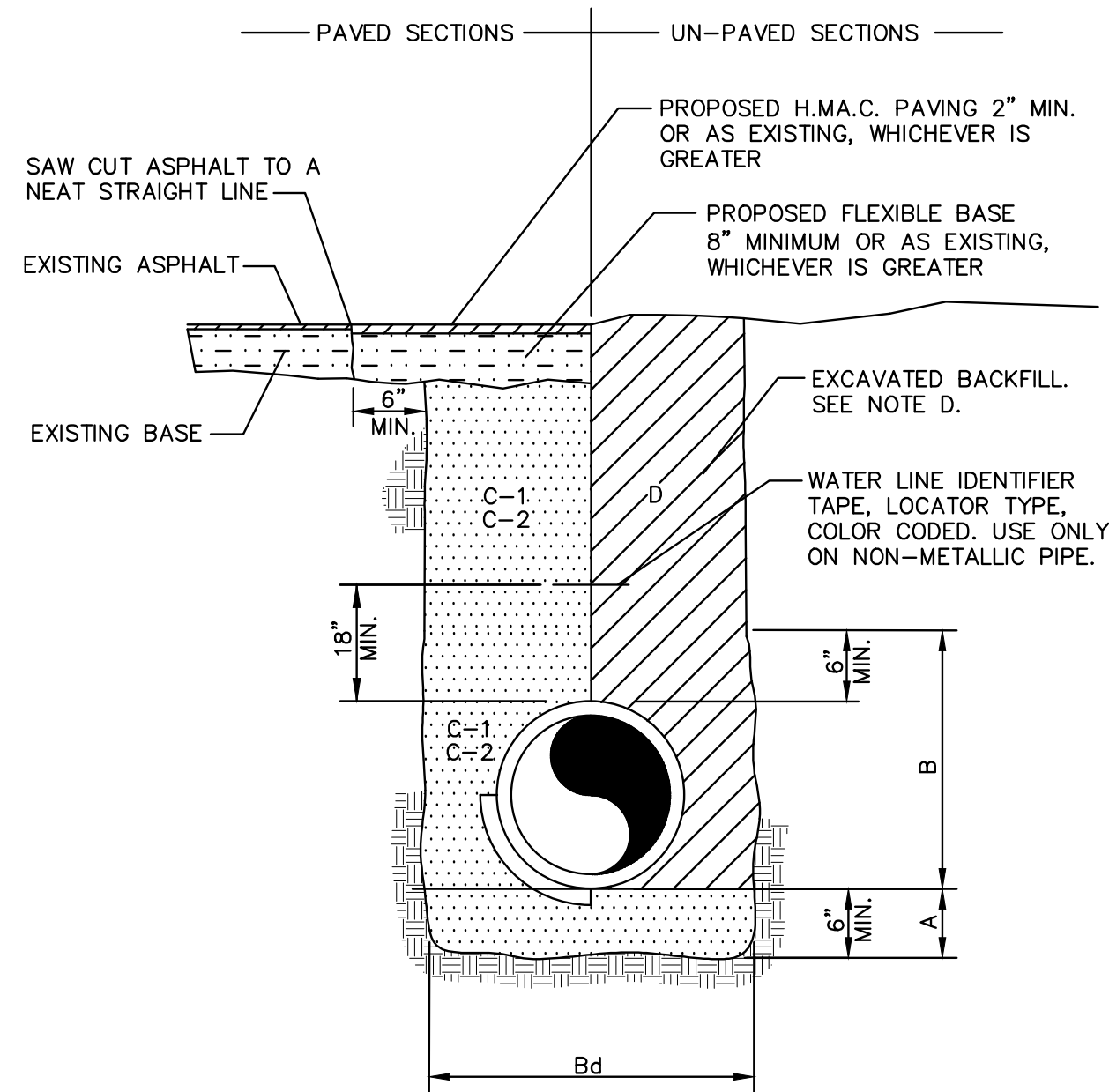
ROMA, TEXAS ETJ
STARR COUNTY, TEXAS

ENGINEER:
GILBERT J. GUERRA P.E.
SURVEYOR:
IVAN GARCIA P.E. R.P.L.S.
CHECKED:
IVAN GARCIA P.E. R.P.L.S.
DRAWN:
NORBERTO LOPEZ

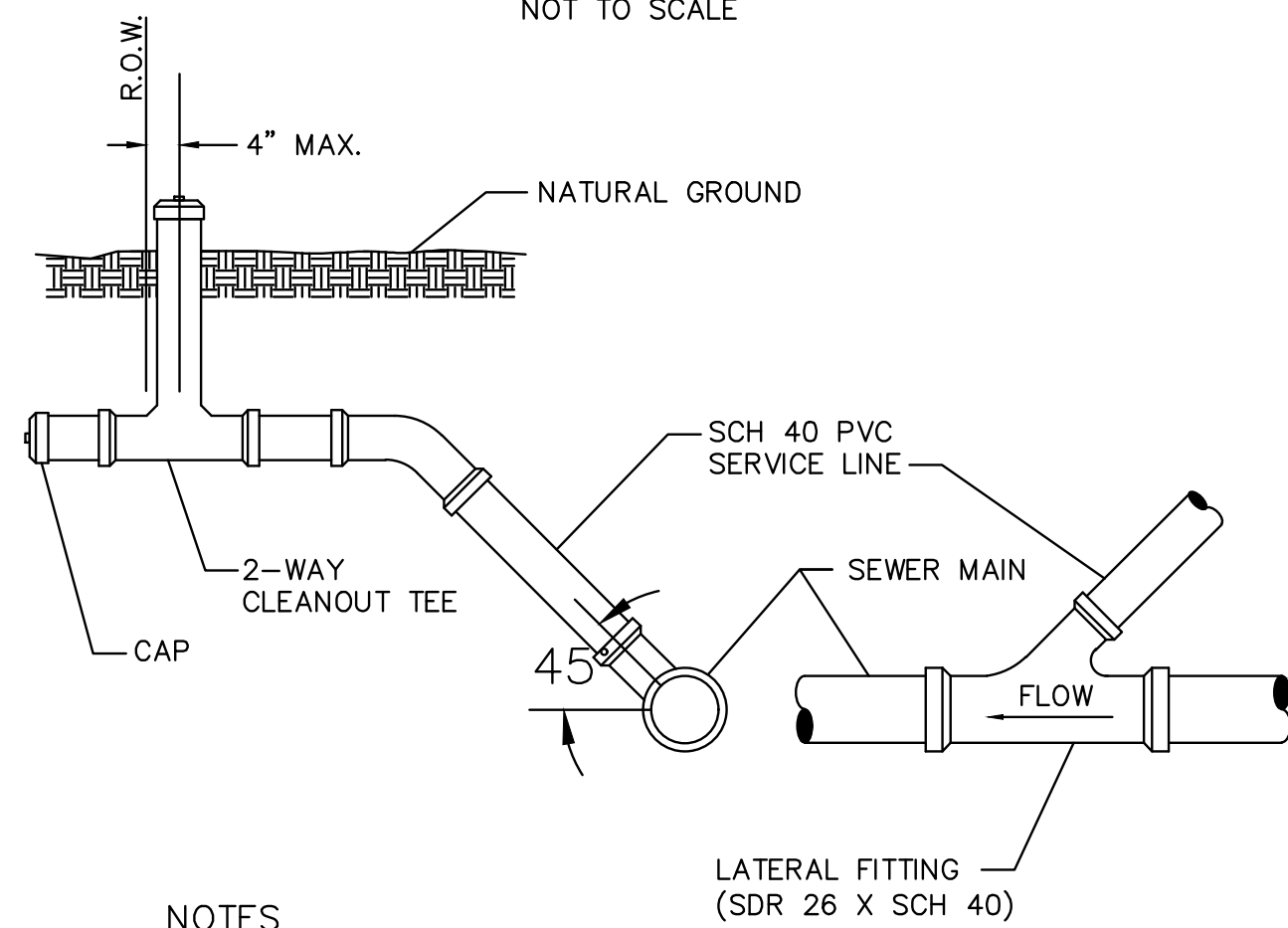
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Z: RDE SUBDIVISIONS 2024\\SUB 24.019 ARTEMIO GALINDO\\DWG\\AS BUILTS\\SUB 24.019_SHT 6 TYPICAL DETAILS.dwg YULISSA VALDEZ 8/27/2025 9:48 AM

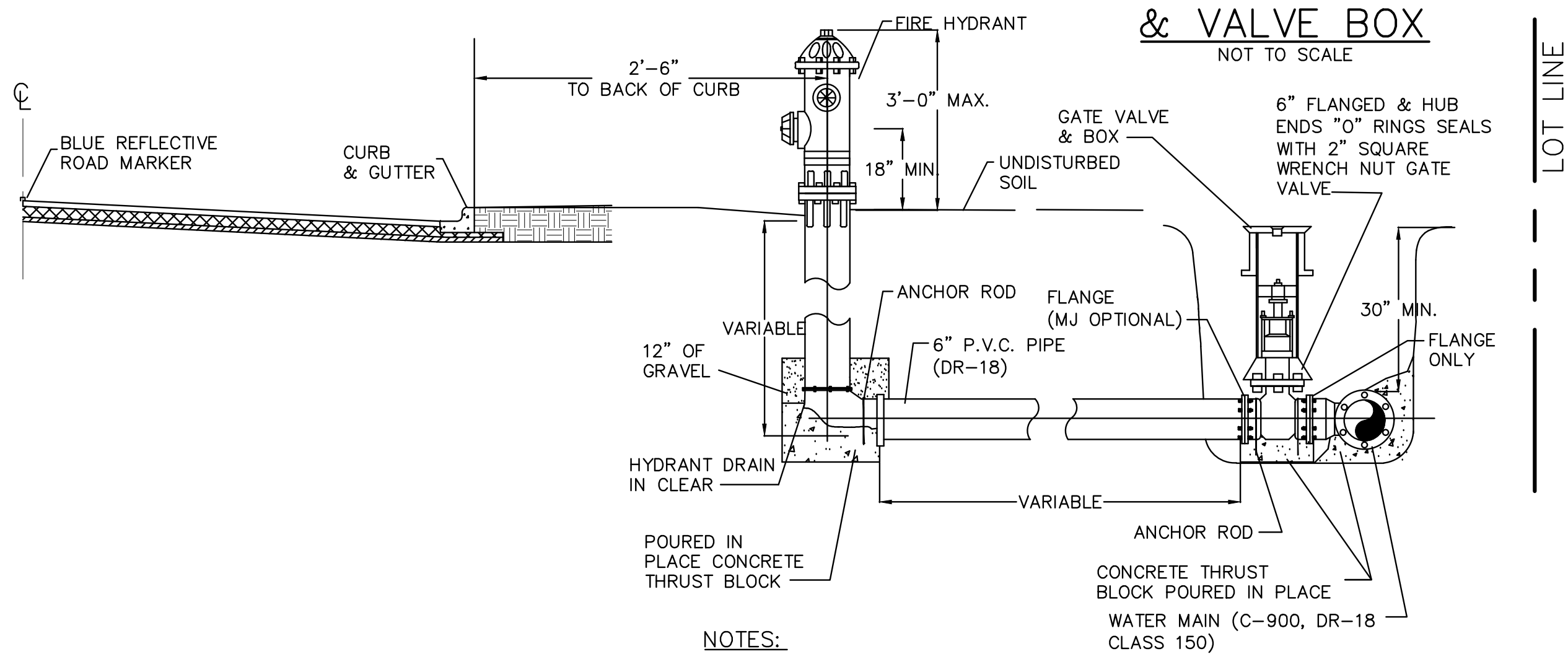


TYPICAL WATER LINE AND SEWER
TRENCH DETAIL
NOT TO SCALE



- NOTES:
- INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
 - SINGLE FAMILY SERVICE SHALL BE 4" MIN. MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL SERVICE SHALL BE 6" OR GREATER AS REQUIRED.

STANDARD SERVICE CONNECTION
NOT TO SCALE



- NOTES:
- FIRE HYDRANT ELEVATIONS WILL BE SET BY THE ENGINEER.
 - FLANGE MUST BE AT FINISHED GRADE OR 3" TO 6" ABOVE 2. FLANGE MUST BE AT FINISHED GRADE OR 3" TO 6" ABOVE TOP OF CURB.
 - FLANGED GATE VALVE INSTALLATION TO BE USED WITH 10" WATER LINES OR GREATER.
 - BBF TEES TO BE USED WITH 10" WATER LINE OR GREATER BBF TEES TO BE USED WITH SMALLER DIA. PIPES.
 - ACCEPTABLE HYDRANT BRANDS ARE MUELLER, AMERICAN DARLING AND KENNEDY.
 - FIRE HYDRANTS ARE TO BE INSTALLED AT LEAST 7' MINIMUM BEHIND BACK OF CURB.

TYPICAL FIRE HYDRANT
INSTALLATION
NOT TO SCALE

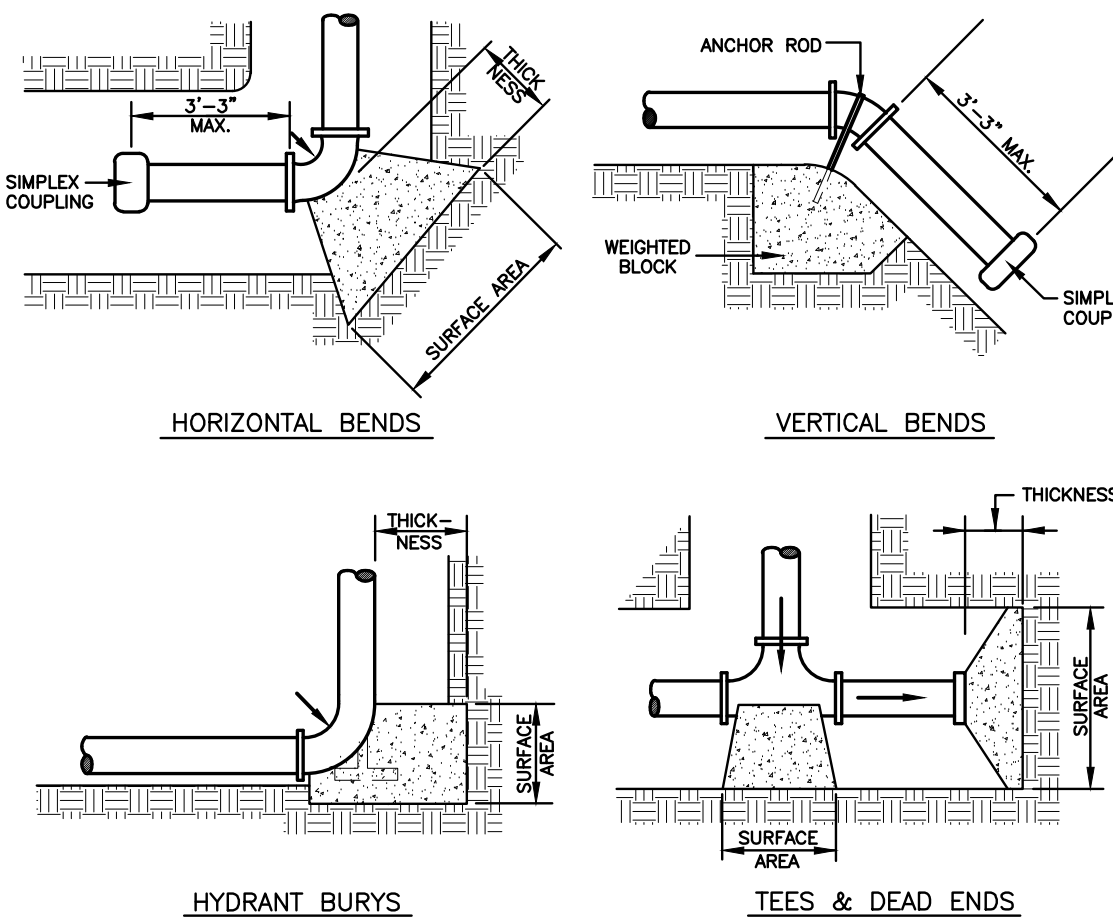
- NOTES:
- SAND BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
 - SAND BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 6" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
 - MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER) OR PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER)
 - (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" MAX. LIFTS.
 - (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY

WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.

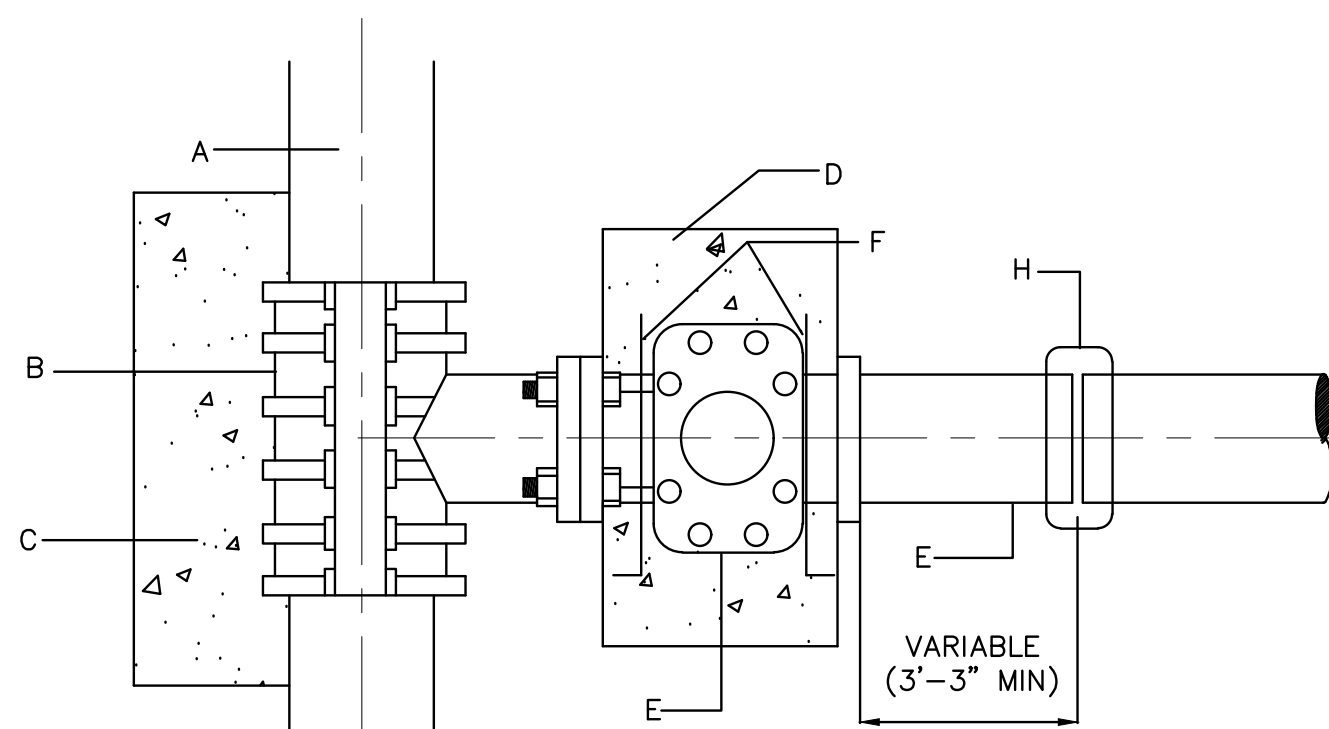
FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS DIRECTED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.

THRUST BLOCK SIZE			
DIAMETER OF PIPE INCHES	HORIZONTAL BEND SURFACE AREA SQ. FT.	THICKNESS INCHES	WEIGHT AT VERTICAL BENDS - lbs.
22" 1/2 BENDS			
8	2	8	1,700
10	3.5	12	3,000
12	4	14	4,500
14	5	18	6,500
16	6	18	9,000
18			11,800
45° BENDS			
6 OR LESS	4	12	3,200
8	5	14	5,800
10	6	15	8,200
12	8	18	13,000
14	8	24	17,000
16	11.5	24	23,200
90° BENDS			
6 OR LESS	6	12	6,000
8	8	15	10,700
10	10	18	16,700
12	12	18	24,000
14	16	24	42,900
16	21	24	47,100
TEES & DEAD ENDS			
6 OR LESS	3	12	---
8	4	15	---
10	6	18	---
12	8.5	18	---
14	11.5	24	---
16	15	24	---



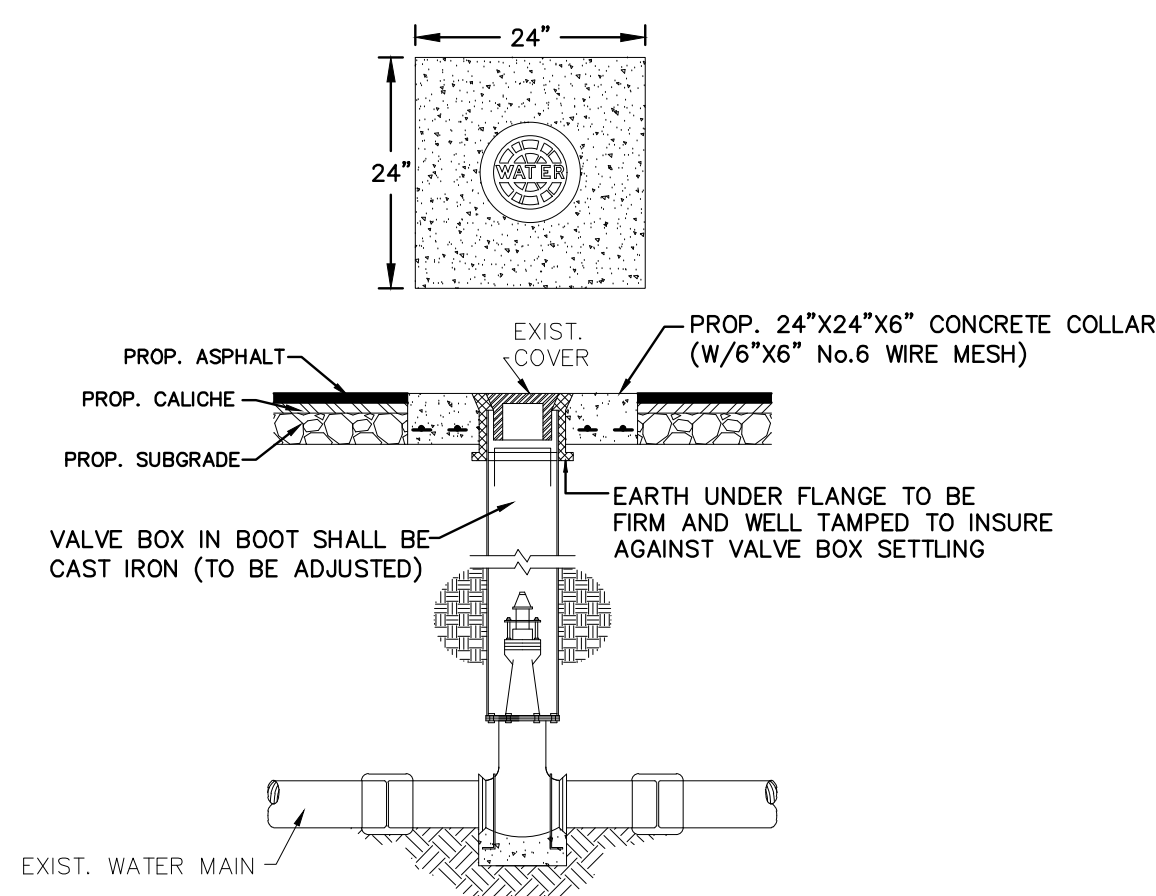
THRUST BLOCK DETAILS
NOT TO SCALE



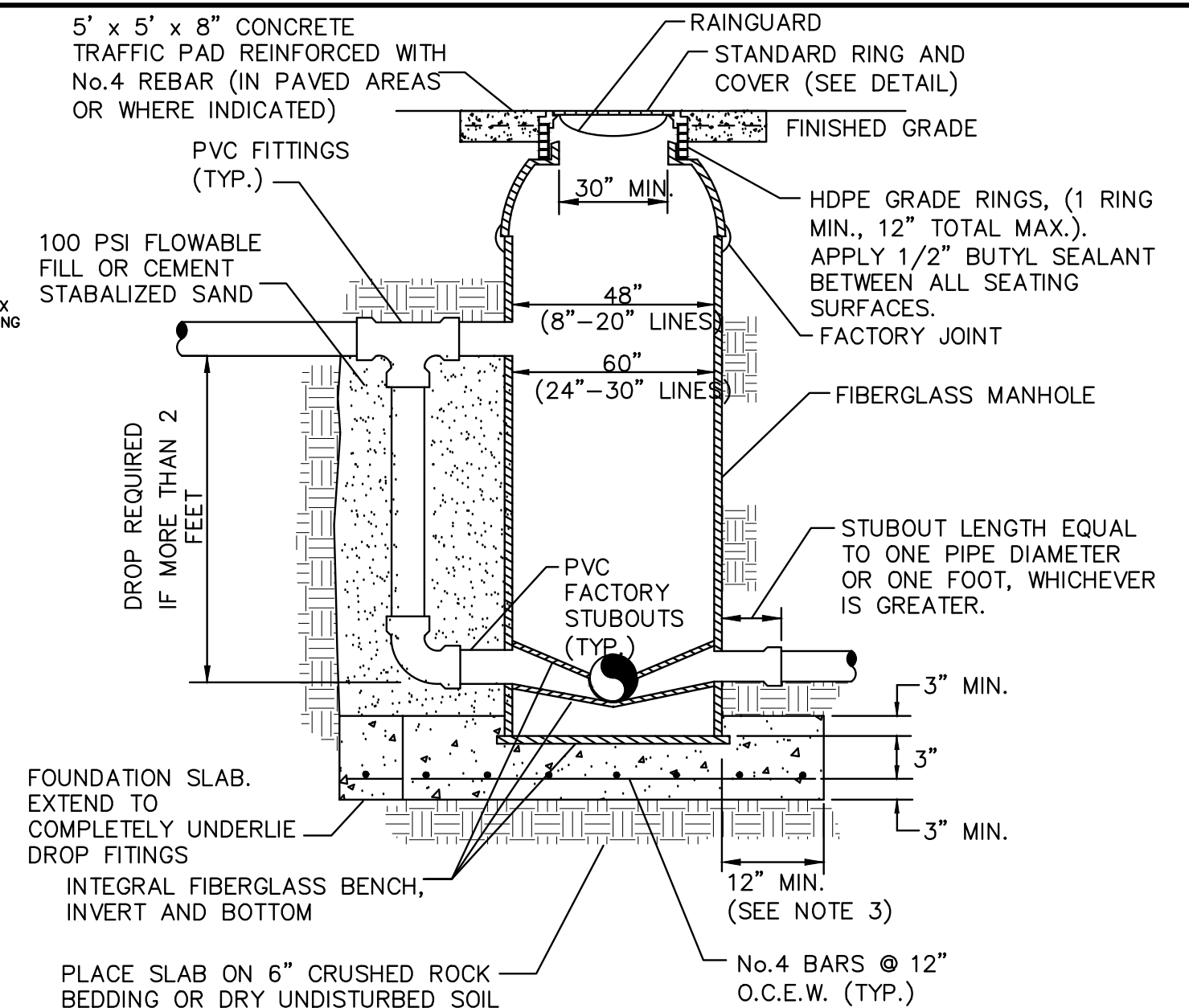
- GENERAL NOTES:
- ALL CONCRETE TO HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.

WATER TAPPING SLEEVE
& VALVE INSTALLATION
NOT TO SCALE

- CONSTRUCTION NOTES:
- WATER MAIN. (SEE PLANS AND SPECIFICATION)
 - TAPPING SLEEVE (SIZE AS REQUIRED).
 - CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BEHIND.
 - THRUST BLOCK AS PER SPECIFICATIONS.
 - FLANGED AND HUB ENDS "O" RING SEALS WITH 2" SQUARE WRENCH NUT GATE VALVE.
 - ANCHOR RODS.
 - PVC PIPE.
 - SIMPLEX COUPLING.

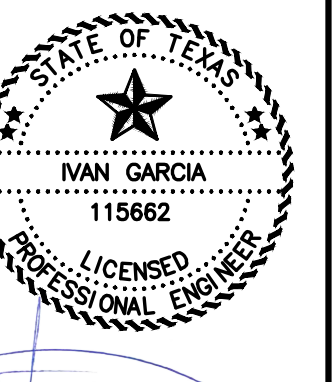
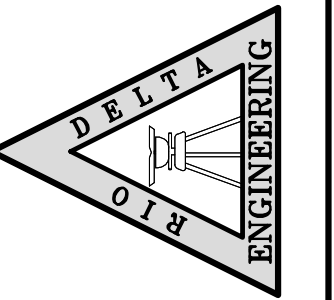
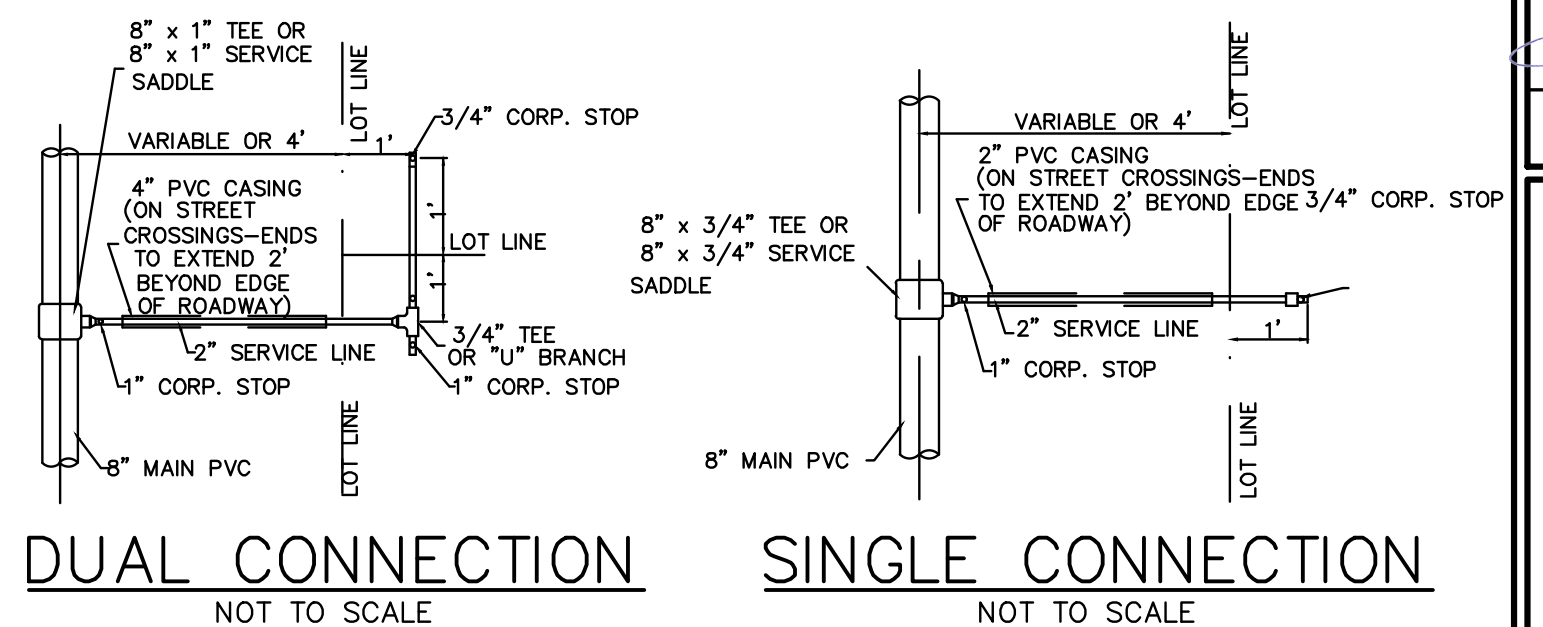


WATER VALVE
CONCRETE COLLAR
NOT TO SCALE



- NOTES:
- INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - BACKFILL SHALL BE SAND COMPACTED TO 95% STANDARD PROCTOR.
 - BASE SLAB SHALL BE 4 FT. LARGER THAN MANHOLE DIAMETER WHERE SOIL BEARING CAPACITY < 2000 PSF, WATER TABLE < 5 FT., OR DEPTH > 20 FT. SLAB SHALL BE DESIGNED TO PREVENT FLOTATION OF MANHOLE.
 - COAT ALL INTERNAL CEMENTITIOUS AND METALLIC SURFACES WITH COAL TAR EPOXY.
 - OUTLET STUBOUT SHALL BE SPIGOT END. INLET STUBOUTS SHALL BE BELL END EXCEPT FOR DROP CONNECTIONS.
 - ANY CONNECTION TO EXISTING MANHOLES SHALL BE MADE WITH PROPERLY INSTALLED INSERT-A-TEE ASSEMBLIES.

TYPICAL FIBERGLASS
MANHOLE
NOT TO SCALE



ISSUED FOR:
AS BUILTS

TYPICAL DETAILS
LUZERO SUBDIVISION
ROMA, TEXAS
STARR COUNTY

PROJECT :
ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.
CHECKED: IVAN GARCIA P.E. R.P.L.S.
DRAWN: PHILLIP PENA JR./Y.V.
SCALE: N.T.S.
DATE: AUGUST 27, 2025
PROJECT: SUB 24.019
REVISIONS:
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