



CITY OF ROMA PLANNING & ZONING COMMISSION



NOE GUZMAN, JR, CHAIRMAN
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ROGERIO "ROGIE" ESTRADA, MEMBER
JOSE DANIEL GARZA, MEMBER

FERNANDO PEÑA, VICE CHAIRMAN
JUAN CARLOS SAENZ, MEMBER
ILDEFONSO SALDIVAR, JR, MEMBER

NOTICE OF MEETING

CITY COUNCIL CHAMBERS | 201 W. CONVENT AVE. | THURSDAY, SEPTEMBER 25, 2025 | 12:00PM

Notice is hereby given that the Planning and Zoning Commission will meet to consider and act upon the following:

AGENDA

- 2025-49 Call to Order
- 2025-50 Roll Call
- 2025-51 Pledge of Allegiance
- 2025-52 Chairman's Opening Comments
- 2025-53 Citizen Comment Period

PUBLIC HEARING

- 2025-54 **Rezoning (COZ #2505)** A request to rezone a property from Office/Professional/Retail District (OPR) to Multi-Family District (MF) for proposed Apartment Residential use. Legal Description is Lot 106, Amended La Hacienda Subdivision, Starr County, Texas. Physical Address is 2741 Mustang Street.

REGULAR MEETING

- 2025-55 Board Discussion and Action to approve or disapprove item 2025-54 (COZ #2505).
- 2025-56 Adjournment

DANIEL GARZA, DEVELOPMENT SERVICES DIRECTOR

Attest:

LILIANA SANDOVAL, CITY SECRETARY

City of Roma

Development Services

MEMORANDUM

Date: Thursday, September 25, 2025

To: Planning & Zoning Commission

From: Daniel Garza, Development Services Director

Item ID: 2025-54

Subject: Request for a Change of Zone from Office/Professional/Retail District (OPR) to Multi-Family District (MF) (**COZ #2505**).

APPLICANT: Oscar Ramirez, owner, has filed a request for a Change of Zone from Office/Professional/Retail District (OPR) to Multi-Family District (MF) for proposed Apartment Residential use.

LEGAL DESCRIPTION: The property is legally described as Lot 106, Amended La Hacienda Subdivision, Starr County, Texas.

LOCATION: The property is located at the Southeast corner of South Efren Ramirez Avenue and Mustang Street, and has a physical address of 2741 Mustang Street.

ZONING: The property is currently zoned Office/Professional/Retail District (OPR). The adjacent zones are Office/Professional/Retail District (OPR) to the North and West, and Suburban Residential District (SF) to the East and South. The property is generally designated as Single-Family Use in the Future Land Use Plan.

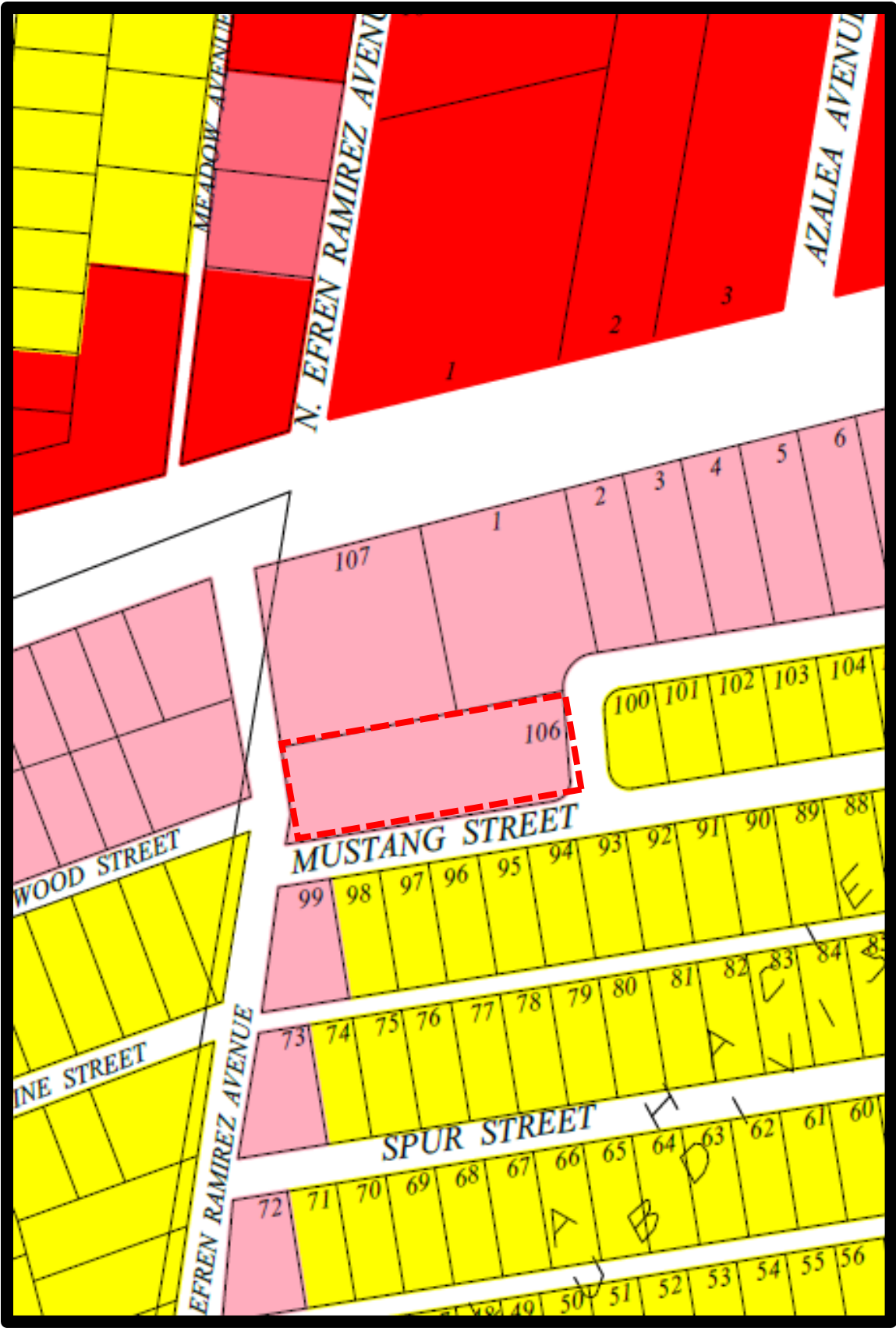
NOTICE INFORMATION: Forty (40) surrounding property owners were notified of the request by letter on September 12, 2025, and a legal notice was published in the Starr County Towncrier Newspaper on September 10, 2025. Staff received two (2) responses to the letters or the legal notice requesting information.

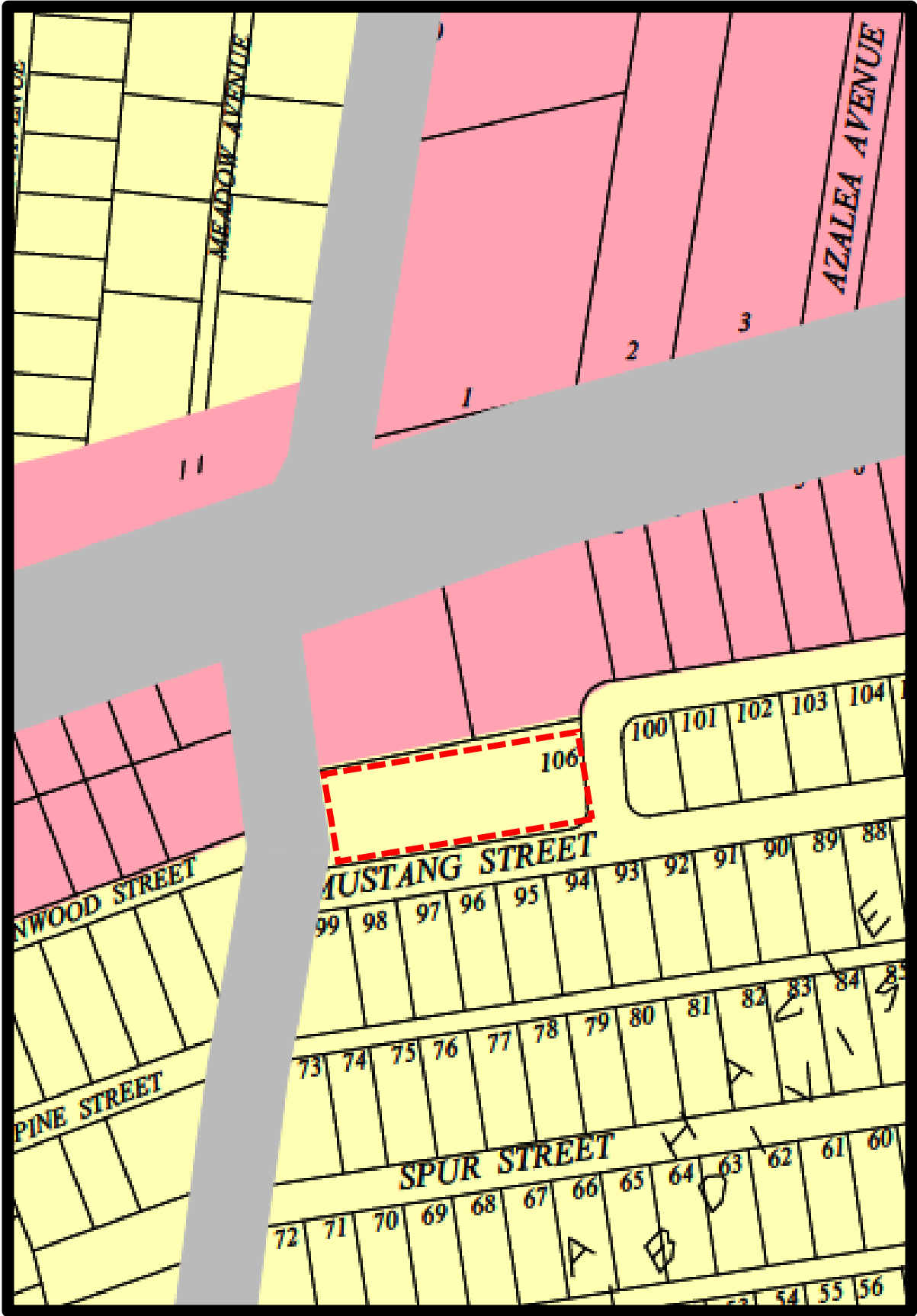
DEVELOPMENT SERVICES RECOMMENDATION: Development Services is recommending **approval** of the Change of Zone request from Office/Professional/Retail District (OPR) to Multi-Family District (MF).

If approved, the property owner must comply with all City Ordinances and meet the requirements of all City Departments.

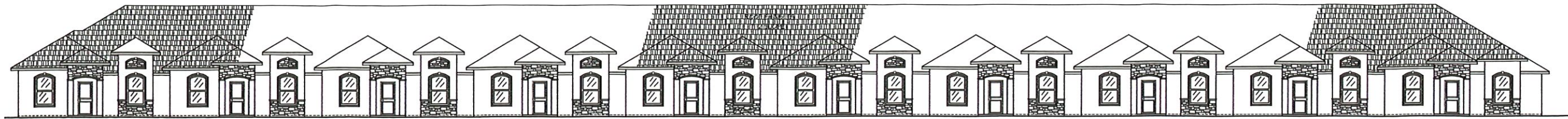
NOTE: This item will go before the City Council Meeting on Friday, September 26, 2025, at 12:00pm.



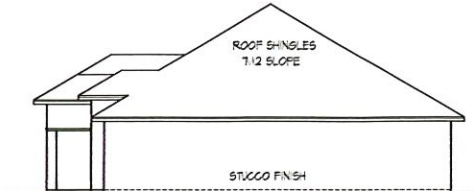




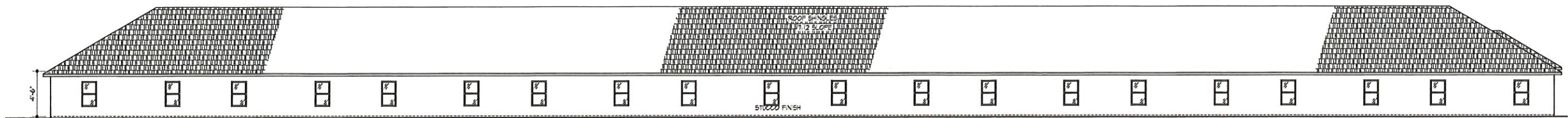




301 FRONT ELEVATION
SCALE: 1" = 20'
REFER: 101 / A1.1



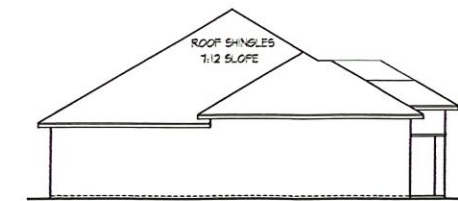
302 SIDE ELEVATION
SCALE: 1" = 20'
REFER: 101 / A1.1



303 BACK ELEVATION
SCALE: 1" = 20'
REFER: 101 / A1.1



300 ENLARGED FRONT ELEVATION
SCALE: 1" = 40'-0"
REFER: 101 / A1.1



303 SIDE ELEVATION
SCALE: 1" = 20'
REFER: 101 / A1.1

DRAFTING AND DESIGN
P.O. BOX 3787, ROMA, TEXAS 78584, PHONE: 956-263-0011

EXTERIOR ELEVATIONS
NEW APARTMENTS
ROMA, TEXAS

ASSUME NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE MANAGER OF THIS PROJECT TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DIMENSIONS PRIOR TO CONSTRUCTION. LOCAL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED SHALL BE ADHERED TO. PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.

DATE: 08.03.25

A3.1

CITY OF ROMA
DEVELOPMENT SERVICES

CHANGE OF ZONE APPLICATION
PLANNING & ZONING DIVISION

APPLICATION CHECKLIST

- ☒ Completed Application
- ☒ Copy of Property Warranty Deed
- ☒ Owner Authorization Letter (if applicable)
- ☐ Application Fee (\$500.00)
- ☐ Site Plan of Property w/ Details
- ☐ Copy of Subdivision Plat or Metes & Bounds

(Applications will not be placed on agenda until all items are submitted and application is considered complete by staff)

PROPERTY INFORMATION:

Subject Property Address/Location: 106 Mustang St
Legal Description: Lot 106 La Hacienda Sub
Property ID#: 67651 Platted: ☒ Yes ☐ No (If not platted, a metes and bounds description is required)
(Property ID # can be found at search.starred.org)
Existing Land Use: SF / Empty Proposed Land Use: MF / 10 Apt complex
Existing Zoning District:

☐ AGO – Agricultural / Open Space	☒ SF – Suburban Residential	☐ MF – Multi-Family	☐ MH – Mobile Home Residential	☐ MDR – Mixed-Density Residential
☐ MU – Mixed Use	☐ C1 – Neighborhood Commercial	☐ C2 – General Commercial	☐ HTC - Historic Town Center	☐ OPR - Office/Professional/Retail
☐ PFI - Public Facilities / Institutional	☐ LI - Light Industrial	☐ HI – Heavy Industrial	(Zoning District can be found at: www.cityofroma.net/government-2/development-services)	

Proposed Zoning District:

☐ AGO – Agricultural / Open Space	☐ SF – Suburban Residential	☒ MF – Multi-Family	☐ MH – Mobile Home Residential	☐ MDR – Mixed-Density Residential
☐ MU – Mixed Use	☐ C1 – Neighborhood Commercial	☐ C2 – General Commercial	☐ HTC - Historic Town Center	☐ OPR - Office/Professional/Retail
☐ PFI - Public Facilities / Institutional	☐ LI - Light Industrial	☐ HI – Heavy Industrial	(Zoning District can be found at: www.cityofroma.net/government-2/development-services)	

Please state the reason(s) for requesting a Change of Zone and why you feel the Planning & Zoning Commission should approve the request: Lot is consider under suburban residential and I would like to build a 10 unit apt. complex, therefore I am requesting the change to a Multifamily. this project will provide additional housing options in the Roma community, it also will help meet the city's growing demand for diverse housing types, and contribute to the tax base. Thank you

CONTINUE TO NEXT PAGE

OWNER INFORMATION:

Name: Oscar Ramirez
Mailing Address: 2952 Jarmin St City: Roma State: Tx Zip: 78584
Phone: 251 285 9032 Email: tnolc22@gmail.com

APPLICANT / AUTHORIZED AGENT INFORMATION:

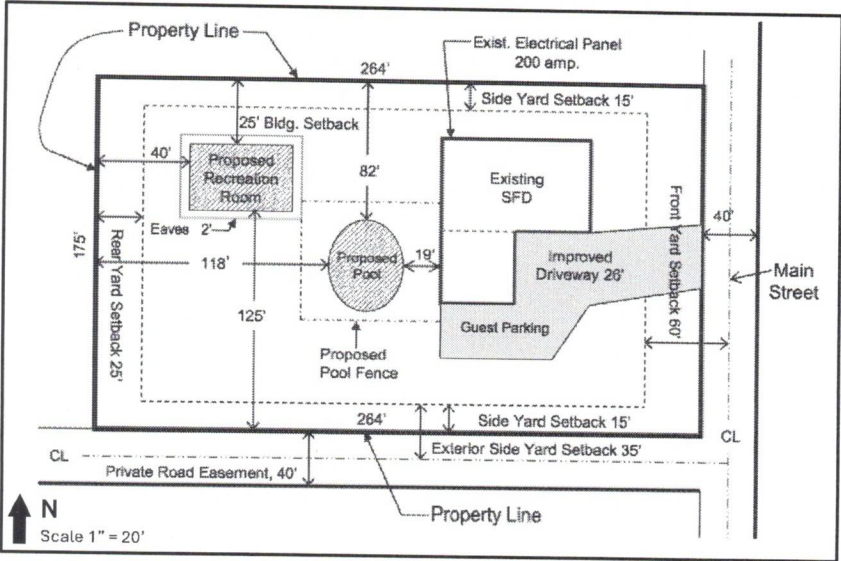
Company Name: _____ Contact Person: Oscar Ramirez
Mailing Address: 2952 Jarmin St City: Roma State: Tx Zip: 78584
Phone: 251 285 9032 Email: tnolc22@gmail.com

(If you are applying on behalf of the owner, an Authorization Letter from the owner must accompany this application).

SITE PLAN REQUIREMENTS

This application must be accompanied by a site plan, indicating existing improvements to the property and the proposed use of the property. The site plan shall contain the following items:

- The location of all structures on the subject property and on adjoining property
- Landscaping and/or fencing of yards and setback areas, and proposed changes
- Off-street parking and loading facilities
- Proposed uses
- Narrative – Proposed Use and Intent of Property



This example is for illustration purposes only. Your site plan will differ.

ACKNOWLEDGEMENT:

I hereby certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request. I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization. ☒ Owner ☐ Authorized Agent

Applicant's Signature: Oscar Ramirez Applicant's Name: Oscar Ramirez Date (MM/DD/YYYY): 9/3/25

DATE RECEIVED: (OFFICE USE ONLY)	APPLICATION ID: (OFFICE USE ONLY)	APPLICATION FEE: (OFFICE USE ONLY)
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