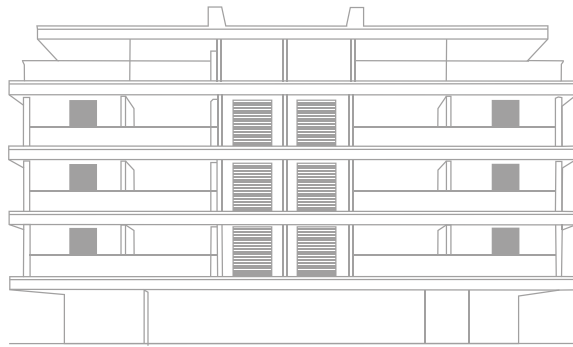




El Recreo

Who we are

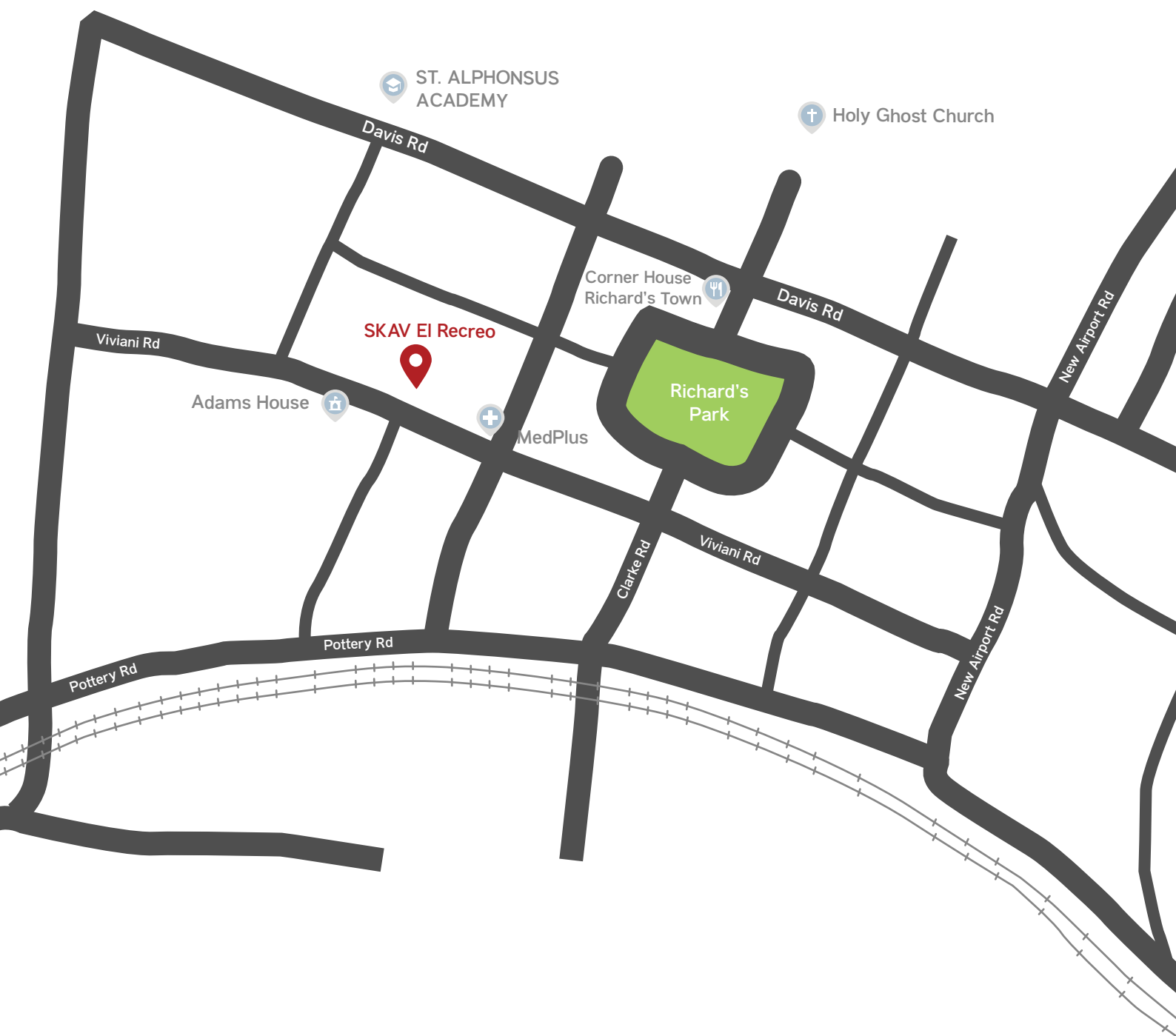
Building relationships. Crafting excellence with integrity.

At SKAV, the passion to create inspiring spaces drives all our endeavours. Endeavours that translate into homes that personify gracious living, offices in which you would love to work, and retail spaces that exemplify shopping experiences.

Our uncompromising commitment to quality is not just limited to designing and creating great spaces. Be it luxury homes that resonate with your lifestyle or the attention to smaller details in office and retail spaces, at SKAV, the focus is on the overall experience. We have carved a niche for ourselves in the space of construction service through a perfect combination of innovative and ethical practices.

Above all, a unified vision amongst the promoters of SKAV and the years of experience we bring to the table in this ever-evolving field, will work to your advantage. While we know that we are all about building exquisite living and commercial spaces, deep inside, we firmly believe that we are in the business of building long-term relationships.

SITE LOCATION







SECTION PLAN

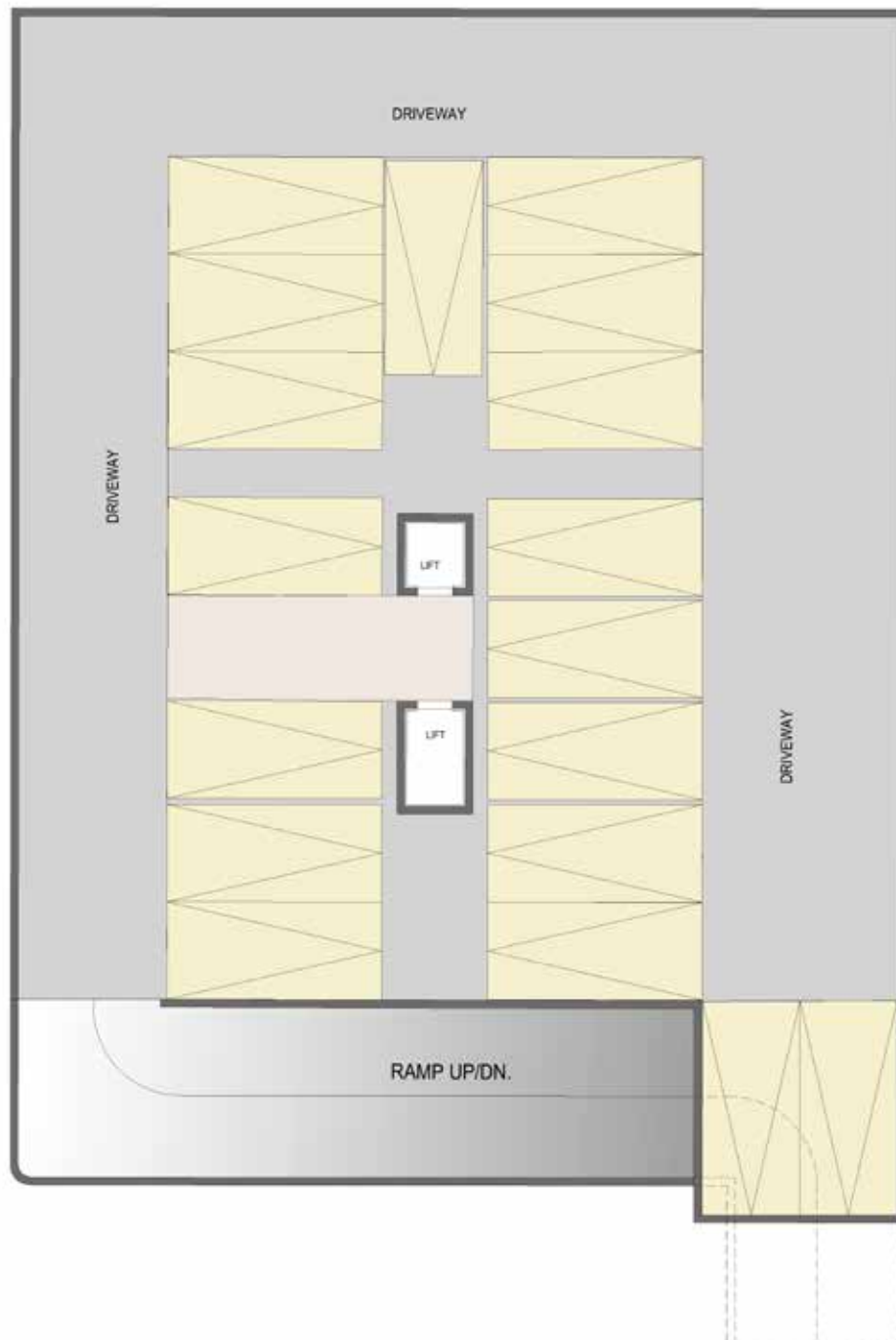


BASEMENT FLOOR PLAN

NO. OF CAR PARKS ACHIEVED : 25 nos.

NO. OF CAR PARKS (BASEMENT) : 18 nos.

NO. OF CAR PARKS (SURFACE) : 07 nos.



GROUND FLOOR PLAN



First Floor Plan



SECOND FLOOR PLAN



PENT HOUSE PLAN



PENT HOUSE PLAN





SPECIFICATIONS

Structure

- Basement- RCC foundation is compliant with Seismic Zone II
- RCC framed structure with concrete block masonry wall from ground floor to the Penthouse floor

Doors & Windows

- Main entrance door frame made of seasoned and polished hardwood
- Shutter made of BST polished veneer flush door
- All the internal doors have seasoned hardwood frames and shutters of veneered OST polished flush doors
- Windows are made of UPVC/aluminium which are low-maintenance and long-lasting

Flooring & Tiling

- Living and dining areas with premium finished imported marble flooring
- Premium vitrified tiles in the kitchen/bedrooms as per the architect's design
- Laminated wooden flooring for the master bedroom
- The housekeeper's room finished with ceramic tile flooring
- Utility area and balconies finished with anti-skid matte-finish ceramic tiles

Wall Finishes

- The internal walls of the residences are painted with an Asian paint/equivalent plastic emulsion paint
- The external walls are painted with Asian paint/equivalent weather shield exterior grade emulsion

Kitchen

- Stainless steel sink with drainboard is provided in the kitchen along with a granite countertop
- Provision for a washing machine/dryer are made available in the utility area

Bathroom

- Ceramic wall tiling as per architect's design
- Sanitary fixtures with Kohler or equivalent makes in the toilets
- Taps/Faucets with Kohler or equivalent makes in all toilets
- All the toilets have false ceilings

Electrical

- An adequate 3-phase BESCOM power supply is provided for all residences
- DG power backup is made available for the lighting circuits only & fans
- Schneider or equivalent modular switches are provided in the residences
- The concealed conduits have PVC-insulated copper wires
- The living and bedroom areas have adequate power outlets along with the provision for connecting cable TV/DTH, internet and telephone

Common Areas

- The entrance lobby is finished with granite/marble flooring with false ceiling and lighting as per the architect's design
- The lift lobbies and corridors on all the floors are finished with granite/marble/vitrified tile flooring as per the architect's design
- 100% Power backup is provided for all the common areas and common facilities

Security Systems

- Provision for home security monitoring/video-door phone/home automation
- Multi-level security systems/CCTV coverage are offered for common areas and lobbies

UNIT MATRIX

Unit No	Type of units
G 01	Duplex – G : 3315 F : 1700
G 02	2 BHK – 1270 sqft
G 03	2 BHK – 1218 sqft
101	3 BHK + Study 3t – 2061 sqft
102	3 BHK + Study 3t – 1960 sqft
103	3 BHK + Study 3t – 2165 sqft
201	3 BHK + Study 3t – 2061 sqft
202	3 BHK + Study 3t – 1960 sqft
203	3 BHK + Study 3t – 2222 sqft
204	3 BHK + Study 3t – 2156 sqft
PH 01	4 BHK Duplex – 3029 sqft
PH 02	4 BHK Duplex – 2882 sqft
PH 03	4 BHK Duplex – 3402 sqft
PH 04	4 BHK Duplex – 3230 sqft



QUICK FACTS

Questions	Answers
Location?	No 23 old no 19/a pid no 90-35-23, viviani road, ward no 90, richards town, bangalore.
Building entry	East
Who is the contractor?	J S Construction
Original Extent of Land ?	11052
What is the Development ?	Residential
Structure of the building	B+G+3
What is the Total Height of the Building?	15 mtrs
What is the set back?	Front 15 ft, Back 8 ft Side 7.5 ft
What is the foot print of construction?	7470 sqft
What is the open area?	Approx 30%
Total No of units in the project?	14 Units
No of Lifts?	2
Number of staircase?	1
Floor to Ceiling height?	9.4 ft
DG?	Common area and lighting circuit for units
Car parking	Ample Car Park
No of Borewell?	1 Borewell
Amenities List?	GYM, car park, 24/7 security, landscape, lift.
Start of construction?	August 2025
No of Blocks	1
Approvals	Awaiting BBMP Approval
Who is the Architect?	Venkatraman Associates

Projects



Retail & Commercial
909
Lavelle



Retail & Commercial
Seethalakshmi



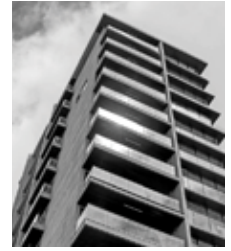
Retail & Commercial
Onyx
Centre



Residential
Aastha



Residential
Akasa



Residential
Bliss



Retail & Commercial
Raha



Commercial
Silver
Cloud



Retail & Commercial
Nava



Retail & Commercial
Inaya



Residential
Ohana



Residential
Grande



Residential
Blanca



Residential
Mehkri
Ritz



Residential
Aura



Residential
Palladio



Residential
Sapphire



Residential
261 Orchards



Retail & Residential
Audel



Residential
Ashirwad



Retail & Residential
Ansh



Retail & Residential
Madhura



Commercial
Atria



Residential
El Recreo



Commercial
Azal



Residential
Hidden Hills



Corporate Address:
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Hitananda - II, Lavelle Road,
Bengaluru, Karnataka 560001

Phone: 0 80422 75679

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