

SCS ENGINEERS

August 22, 2026
File No. 02224029.00

MEMORANDUM

TO: Bidders

FROM: SCS Engineers

SUBJECT: Augusta Regional Landfill – Scales & Scalehouse Project– Addendum No. 1

SCS Engineers is submitting this addendum to address initial questions from bidders on the Augusta Regional Landfill – Scales & Scalehouse Project (ITB# 2701)

List of Attachments

1. Attendees List
2. Questions and Responses
3. Revised Plan Sheets
 - a. Revised Sheet 13
 - b. Revised Sheet 19
4. Existing Scale Foundation Information

If you have any further questions regarding these comment responses, please do not hesitate to contact either of the undersigned.

Sincerely,



Ken Armentrout, PE
Vice President
SCS ENGINEERS
karmentrout@scsengineers.com



Chloe Coale
Associate Professional
SCS ENGINEERS
ccoale@scsengineers.com



ATTACHMENT 1

ATTENDEES LIST

SIGN-IN SHEET				
AUGUSTA REGIONAL LANDFILL SCALES & SCALEHOUSE PROJECT				
PRE-BID MEETING				
8/7/26 @ 10:00				
NAME	COMPANY	PHONE	EMAIL	
KEV ARMENTROUT	SCS	540-454-1413	Karmmentroute.scs@engineers.com	
Brandon ATKINS	ARL	540-487-0320	Bathurst@augusta-regional-landfill.com	
John Steele	Kanawha Scales	304-552-0858	jsteele@kanawhascales.com	
JAY MOFFETT	MOFFETT PAVING + EXCAVATING	540-886-7239	jay@mofpav.com	
James Truxell	Augusta Regional Landfill	(540)487-5352	jtruxell@augustaregional-landfill.com	
Scott Campbell	Lantz Construction	540-209-4697	scampbell@lantzcc.com	
Cady Harris	Carlton	540 988 3024	charris@carlton-industrial-solutions.com	
Gregg Shultz	Adams Const.	540 271 3137	gshultz@adampaving.com	
Chloe Johnson	Nielsen Builders	540-434-7376	chjohnson@nielsen-inc.com	
Ey Alderman	Nielsen Builders	540-434-7376	calderman@nielsen-inc.com	
Mike Mathis	ARL		mmathis@augusta-regional-landfill.com	



ATTACHMENT 2

QUESTIONS AND RESPONSES

Questions and Responses:

1. *“What material and detail are the catwalk around the scale house.”*

Response: Per note 14 on sheet 9, catwalk shall be hot dipped galvanized or aluminum. Additionally, per note 15, contractor shall submit footer detail for Engineer approval.

2. *“What is the preferred material for the countertops”*

Response: Counter tops shall be laminate.

3. *“What is the preferred material for the siding of the scale house.”*

Response: Per note 21 on Sheet 9, siding shall be minimum of 26-gauge, R-panel steel siding.

4. *“What are the details for the new employee breakroom and are they the same as the Scale house.”*

Response: Details for breakroom are provided on Sheets 9 and 11.

5. *“Please confirm that Owner will disconnect and remove existing breakroom before project begins and should not be included in GC’s scope.”*

Response: The owner may begin demolition of breakroom prior to construction however any remaining demolition efforts are the Contractor’s responsibility.

6. *“Please provide a stone/asphalt profile for the new pavement.”*

Response: A detail for the proposed asphalt section, can be found on the provided revised Sheet 19.

7. *“Please provide expected depth for milling and overlay?”*

Response: The depth for milling and overlay shall be 1.5”.

8. *“Is there structural information that can be provided on the concrete ramp and approach to/from the scale? Such as concrete thickness, reinforcement, subgrade, etc.”*



Response: Limited information on the existing scales is provided with this Addendum. Structural details for the proposed scales is provided on Sheet 7 of the construction drawings.

9. *“On the East elevation of the scale house shows the push drawer and cc pad “by others”. Does this mean GC will not provide this? Also are the countertops in the scale house within the GC’s scope or will it be provided by Owner?”*

Response: Push drawer and CC pad will be provided by Owner. Scalehouse counter tops shall be provided by Contractor.

10. *“Please provide elevations for the Breakroom along with the type of HVAC system in Breakroom.”*

Response: Scalehouse elevations are not provided. HVAC shall be sized for the 26’ x 30’ building and submitted to Engineer for approval.

11. *“Where is the planned location for the pressure tank in the scale house?”*

Response: 40-gallon pressure tanks shall be provided within the scalehouse crawlspace and within the breakroom utility room. The cistern pump disconnect shall be mounted on Unistrut at the cistern. The pressure switch will also be mounted at this location. **NOTE: The pressure tank within the scalehouse shall be a horizontal tank to account for the limited height within the crawlspace.**

12. *“Will the lockers and bench in the Locker Room be supplied by the Owner? If it is to be supplied by the GC, are there specs for them?”*

Response: Lockers and bench shall be provided by Owner.

13. *“Clarify the stone/asphalt profile for the new pavement.”*

Response: See response to question #6.

14. *“Clarify the 2" mill and overlay.”*

Response: See response to question #7. Limits of mill and overlay are provided on sheet 13.

15. *“Clarify the temp access.”*

Response: Landfill operations cannot be disrupted due to construction activities. Contractor shall determine how temporary access will be achieved and coordinated with Owner.

16. *“Should the contractor plan to haul any remaining spoils of earth and asphalt off-site? Or does the owner want all spoils to remain on site?”*



Response: Soil and asphalt spoils shall remain on-site. Contractor to coordinate with the Owner on location for stockpiling of these materials.

17. “Could any elevation and specs on the lockers in the Breakroom be provided?”

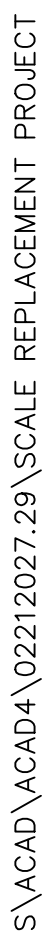
Response: Lockers will be provided by Owner.

18. “Please provide expected depth for milling and overlay?”

Response: See response to question #7.



ATTACHMENT 3
REVISED PLAN SHEETS

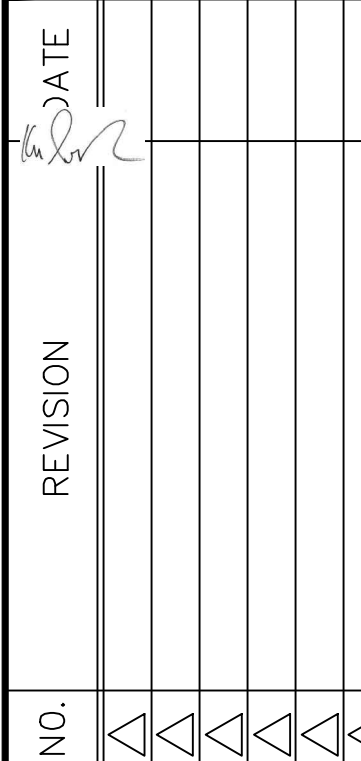


1. PERFORM ALL WORK IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS.
2. CONTRACTOR SHALL PROTECT ALL UTILITIES / STRUCTURES NOT DESIGNATED FOR DEMOLITION. DAMAGED UTILITIES/ STRUCTURES WILL BE REPAIRED AT CONTRACTORS EXPENSE.
3. WORK IS TO BE PERFORMED SO THAT INTERRUPTIONS TO THE OPERATIONS OF ADJACENT FACILITIES ARE AVOIDED.
4. THESE PLANS SHOW THE APPROXIMATE LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND OR AERIAL UTILITIES BY CALLING "MISS UTILITY" 48 HOURS PRIOR TO BEGINNING EXCAVATION OR CONSTRUCTION. IF THERE IS A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER MUST BE CONTACTED IMMEDIATELY SO AS NOT TO IMPEDE CONSTRUCTION.
5. DURING CONSTRUCTION, CONTRACTOR SHALL AT ALL TIMES MAINTAIN USE AND OPERATIONS OF EXISTING SCALES AND SCALEHOUSE THAT WILL REMAIN.
6. REMOVE EXISTING SCALE DECKS AND STACK MODULES AT LOCATION DIRECTED BY THE OWNER, REMOVE GUARDRAILS AND POSTS AS DIRECTED BY OWNER, MATERIALS TO BE SAVED FOR OWNER USE.
7. REMOVE EXISTING CONCRETE FOUNDATION AND MAKE READY FOR NEW PAVEMENT.
8. REMOVE & RELOCATE EXISTING (OR PROVIDE NEW) TELECOM AND/OR ELECTRIC BOXES, CONDUITS, TRANSFORMERS, ETC. AS NEEDED.
9. DEMOLISH EXISTING SCALE HOUSE AFTER NEW SCALE HOUSE IS CONSTRUCTED, AND RESTORE SITE.
10. ASPHALT TO BE MILLED AND RESURFACED AS SHOWN ON THIS SHEET. EXISTING 1.5" TOPCOAT SHALL BE MILLED AND RESURFACED.

1. FIBER TO NEW SCALE BUILDING TO BE 24 STRAND OS2 FIBER WITH LC CONNECTORS.
2. FIBER TO PUMP STATION BUILDING TO BE 12 STRAND OS2 FIBER WITH LC CONNECTORS.
3. CONDUIT TO BE 2" CONDUIT UTILIZING SWEEPING 90 DEGREE BENDS AND INCLUDE SECURED PULL STRINGS FROM THE EXISTING SCALE HOUSE TO BOTH THE NEW SCALE BUILDING AND THE EXISTING PUMP STATION.
4. CONTRACTOR TO INSTALL NEW CONDUIT FOR FIBER CONNECTION INTO EXISTING TELECOM AREA IN BACK OF EXISTING SCALE HOUSE TO REMAIN.
5. CONTRACTOR TO PROVIDE PULLBOX AND CROSSING TO EXISTING PUMP STATION #3.



FOR CONSTRUCTION



**AUGUSTA REGIONAL LANDFILL
SCALES AND SCASLEHOUSE PROJECT**

T
AUGUSTA REGIONAL LANDFILL
749 CHRISTIANS CREEK RD
STAUNTON, VA 224401

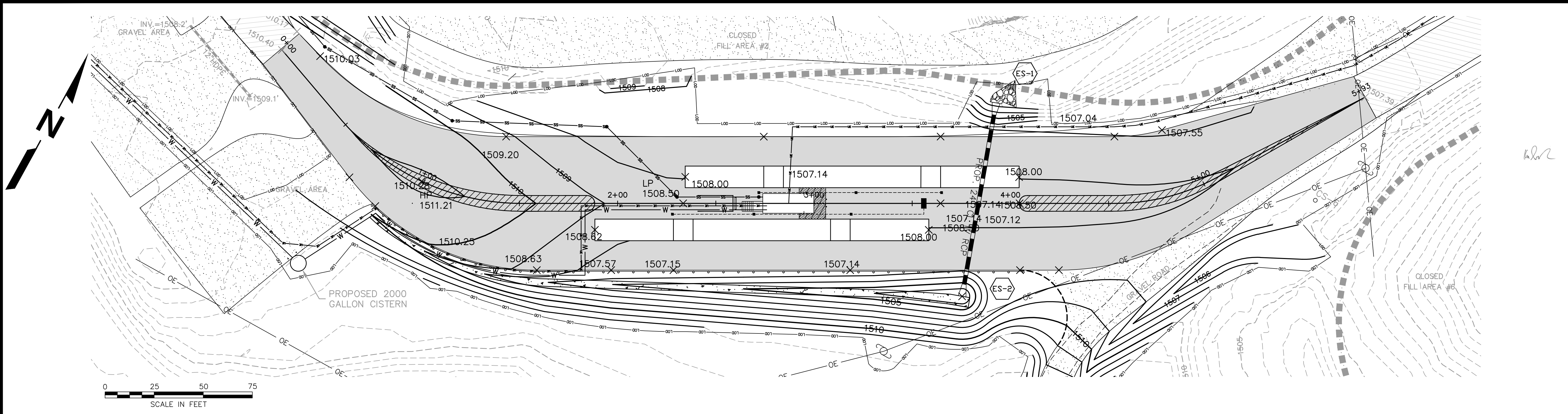
SCS ENGINEERS
STEARNS, CONRAD AND SCHMIDT
CONSULTING ENGINEERS, INC.
11260 ROGER BACON DRIVE - RESTON, VA 20190
PH. (703) 471-6150 FAX. (703) 471-6676

PROJ. NO.	0222-04029.00	DWN. BY:	G/A R/WB BY:
ISSN. BY:		CHK. BY:	KEA
		LGK	APP. BY:

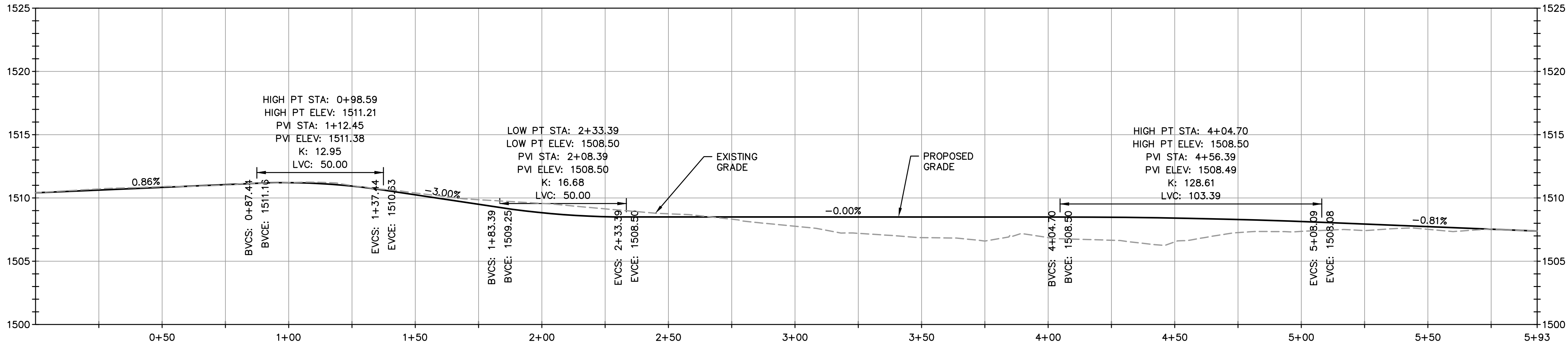
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DATE:	JULY 11, 2025
SCALE:	1" = 80'
DRAWING NO.	

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S:\ACAD\ACADA\02212027.29\SCALE REPLACEMENT PROJECT

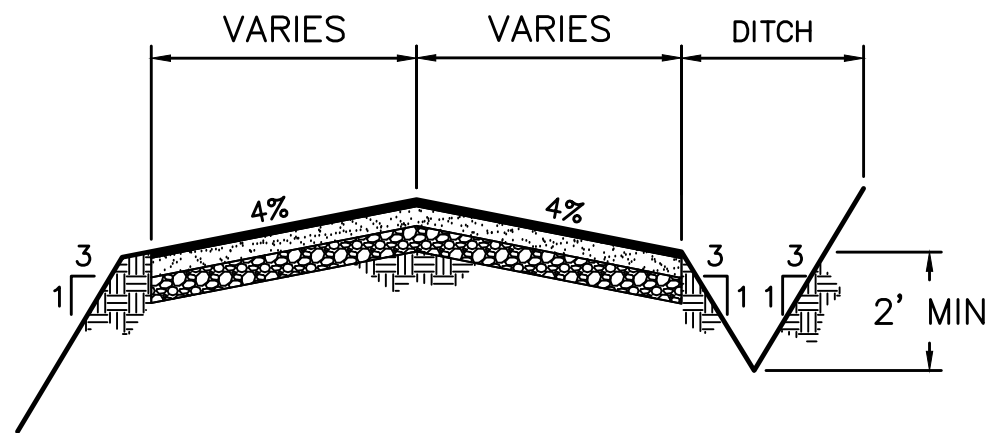


PROJ. GRADE @ 5' E	0+00.00 1510.41	0+25.00 1510.63	0+50.00 1510.84	0+75.00 1511.06	1+00.00 1511.21	1+25.00 1510.94	1+50.00 1510.23	1+75.00 1509.50	2+00.00 1508.83	2+25.00 1508.92	2+50.00 1508.50	2+75.00 1508.50	3+00.00 1508.50	3+25.00 1508.50	3+50.00 1508.50	3+75.00 1508.50	4+00.00 1508.50	4+25.00 1508.46	4+50.00 1508.41	4+75.00 1508.30	5+00.00 1508.14	5+25.00 1507.94	5+50.00 1507.74	5+75.00 1507.54	5+93.15 1507.39
EXIST. GRADE @ 5' E	0+00.00 1510.41	0+25.00 1510.72	0+50.00 1510.91	0+75.00 1511.02	1+00.00 1511.22	1+25.00 1510.99	1+50.00 1510.32	1+75.00 1509.98	2+00.00 1508.57	2+25.00 1508.14	2+50.00 1508.75	2+75.00 1508.39	3+00.00 1507.77	3+25.00 1507.20	3+50.00 1506.85	3+75.00 1506.60	4+00.00 1506.64	4+25.00 1506.55	4+50.00 1506.45	4+75.00 1507.27	5+00.00 1507.37	5+25.00 1507.43	5+50.00 1507.53	5+75.00 1507.54	5+93.15 1507.39



CENTERLINE ROAD PROFILE 0+00 TO 5+93

SCALE: 1" = 25' HORIZ.
1" = 5' VERT.



TYPICAL ROAD CROSS SECTION

SCALE: 1" = 25' HORIZ.
1" = 5' VERT.

NOTE:
MINIMUM ASPHALT PAVEMENT SECTION SHALL BE:
- 8" AGGREGATE BASE OF 21A
- 3" BM-0.25.0D
- 2.5" IM-19.0D
- 1.5" SM-9.5D

FOR CONSTRUCTION

COMMONWEALTH OF VIRGINIA
Kenneth E. Armentrout
Lic. No. 043843
6-19-26
PROFESSIONAL ENGINEER

DATE

REVISION

NO.

ROAD PLAN & PROFILE

AUGUSTA REGIONAL LANDFILL
SCALES AND SCASLEHOUSE PROJECT

AUGUSTA REGIONAL LANDFILL
749 CHRISTIANS CREEK RD
STAUNTON, VA 24401

CLIENT

SCS ENGINEERS
STEARNS, CONRAD AND SCHMIDT
CONSULTING ENGINEERS, INC.
228 ROBERT BACON DRIVE, SUITE 201
PH: (703) 472-6150 FAX: (703) 472-6676

PROJ. NO. 20190
TASK: N/A
DWN. BY: LCK
CHK. BY: KEA
APP. BY: SPS

O/A REV. BY: KEA
APP. BY: SPS

CADD FILE: Q:\PROJECT

DATE: JULY 11, 2025

SCALE: AS SHOWN

DRAWING NO.

19

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ATTACHMENT 4

EXISTING SCALE FOUNDATION INFORMATION



