



# Plus Seven Inspect

Inspection Completed By: Evander Smith  
Title: Home Inspector  
US 7193549271  
evan@swiftreporter.com  
www.plusseveninspect.com



## Plus Seven Inspection - SAMPLE REPORT

70345 Blue Ridge Mountain  
Tucson, Arizona, 85750

Inspection Date: 7/6/2025

Inspection Type: Home Inspection

Client: Steve Williams

## Table of Contents

### Inspection Details

Summary of Observations

1.1 General

1.2 General Limitations

### Roof

2.1 Roof Covering

2.2 Vents, Vent Caps and Roof Penetrations

2.3 Fireplace Chimney and Flue

2.4 Solar Hot Water

### Attic / Roof Structure

3.1 Roof and Ceiling Structure

3.2 Attic Ventilation

3.3 Attic Insulation

3.4 Vapor Retarder

### Exterior Areas

4.1 Wall Flashing and Trim

4.2 Siding (Wall Cladding)

4.3 Decks, Balconies and Steps

4.4 Porch, Areaways and Railings

4.5 Patio, Walkways and Driveway

4.6 Grading and Drainage

4.7 Vegetation Observations

4.8 Fence and Gate

### Foundation and Home Structure

5.1 Foundation

5.2 Floor Structure + Floor Coverings

5.3 Wall Structure + Wall Coverings

5.4 Columns

5.5 Doors

5.6 Windows

5.7 Interior Steps and Stairways

### Garage/Carport

6.1 Garage Door and Opener

### Electrical Panel and Service

7.1 Service Entrance

7.2 Service Entrance Conductors

7.3 Service Amperage and Voltage

7.4 Service Equipment / Electrical Panel

7.5 Distribution Panel

7.6 Overcurrent Protection Devices

7.7 Service Grounding

7.8 Electrical Receptacles

7.9 Switches, Lights and Fans

7.10 Smoke Detectors

7.11 Ceiling Fans

7.12 Fuses

7.13 Generator

7.14 Emergency Lighting

### Heating & Cooling

8.1 Cooling Equipment

8.2 Heating & Air Handler Equipment

8.3 HVAC Automatic Safety Controls

8.4 Heating & Cooling Distribution System

8.5 Solid Fuel Heating Devices (Fireplaces)

8.6 Cooling System Function

- 8.7 Heating System Function
- 8.8 Thermostat
- 8.9 Filters
- 8.10 Evaporative cooler
- 8.11 Refrigerant Lines (obsolete)
- 8.12 Air Purification and Sterilization System

## Plumbing

- 9.1 Irrigation System
- 9.2 Grounds Plumbing
- 9.3 Interior Plumbing
- 9.4 Shower and Bath
- 9.5 Toilet
- 9.6 Bathroom Ventilation
- 9.7 Laundry and Laundry Room Ventilation

## Water Heater

- 10.1 Water Heater Condition
- 10.2 Heater Enclosure
- 10.3 Plumbing
- 10.4 Automatic Safety Controls
- 10.5 Flues and Vents
- 10.6 Satisfactory Air for Combustion

## Built-In Appliances

- 11.1 Dishwasher
- 11.2 Refrigerator
- 11.3 Washer & Dryer

## Pool/Spa

- 12.1 Child-safe Barriers

## Inspection Details

### Scope of Inspection

The Inspector will perform a visual inspection and prepare a written report of the apparent condition of the readily accessible installed systems and components of the property existing at the time of the inspection. Latent and concealed defects and deficiencies are excluded from the inspection. The parties agree that the Arizona Standards of Practice (the Standards) shall define the standard of duty and the conditions, limitations, and exclusions of the inspection and are provided herein. If the State/ Province where the inspection is performed imposes more stringent standards or administrative rule, then those standards shall define the standard of duty and the conditions, limitations, and exclusions of the inspection. Standards of Professional Practice for Arizona Home Inspectors.

### Understanding Your Report

#### Explanation of Ratings Used in This Report

IN= Inspected - The visible portions of a system or component were inspected and found to be functioning properly, or in acceptable condition at the time of the inspection unless accompanied by an Observation. No further comment is necessary but additional information may be included.

NI = Not Inspected - Inspector did not inspect this item, component or unit, and made no representations of whether or not it was functioning as intended.

NP = Not Present - This indicates that a system or component was not present at the time of inspection. If the system or component should have been present, a comment will follow.

O = Observation - This indicates that an action is recommended.

MONITOR / MAINTENANCE ITEMS: Maintenance items, DIY items, or recommended upgrades will fall into this category. These concerns may ultimately cause issues if left neglected for extended periods of time.

RECOMMENDATIONS / IMPROVEMENT ITEMS: A functional component that is not operating as intended or defective. Items that inevitably lead to, or directly cause (if not addressed in a timely manner) adverse impact on the value of the home, or unreasonable risk (unsafe) to people or property. These concerns typically require further evaluation or may be more complicated to remedy.

MATERIAL DEFECTS / SAFETY ITEMS: A specific issue with a system or component that may have a significant, adverse impact on the condition of the property, or that poses an immediate risk to people or property.

## Summary of Observations

### MATERIAL DEFECTS / SAFETY ITEMS

#### Exterior Areas

##### Porch, Areaways and Railings

- PORCH - BEAM SAGGING

#### Electrical Panel and Service

##### Smoke Detectors

- SMOKE DETECTOR - MISSING

##### Distribution Panel

- PANEL - FOUR WIRE FEED MISSING

#### Foundation and Home Structure

##### Wall Structure + Wall Coverings

- CEILINGS AND WALLS - POSSIBLE ORGANIC GROWTH



**Doors**

- DOOR TO POOL - MISSING ALARMS / NO AUTO-CLOSE

**Pool/Spa****Child-safe Barriers**

- POOL FENCE - FURTHER REVIEW

**Garage/Carport****Fire Door**

- DOOR - NO SELF CLOSING HINGES

**Roof****Roof Covering**

- EVAPORATIVE COOLER - ABANDONED

## RECOMMENDATIONS / IMPROVEMENT ITEMS

**Plumbing****Grounds Plumbing**

- WATER LINE - CORROSION
- NO SERVICE
- WATER LINE - CORROSION

**Laundry and Laundry Room Ventilation**

- Seized Laundry Vent

**Interior Plumbing**

- Corroded and Leaking Angle Stops in Hall Bathroom
- Significant Buildup on Angle Stop
- PLUMBING - CORROSION/BUILDUP
- Corroded and Leaking Angle Stops in Hall Bathroom

**Water Heater Condition**

- WATER HEATER PLUMBING - CORROSION BUILD UP / POSSIBLE LEAK

**Electrical Panel and Service****Distribution Panel**

- BREAKER(S) - DOUBLE LUGGED
- UV DAMAGED WIRING
- PANEL - OPEN KNOCKOUTS

**Switches, Lights and Fans**

- Damaged Motion Sensor Light at Front of Garage
- CEILING FAN - INOPERABLE

**Overcurrent Protection Devices**

- WEATHERPROOF COVER(S) - MISSING IN-USE WEATHERPROOF COVER

**Smoke Detectors**

- CARBON MONOXIDE DETECTOR - NOT PRESENT

**Electrical Receptacles**

- RECEPTACLE(S) - LOOSE AT WALL

**Foundation and Home Structure****Columns**

- Significant Bow and Buckling in Garage Beam

**Interior Steps and Stairways**

- HANDRAIL - DOES NOT RETURN TO WALL

- HANDRAIL - TOO LOW

**Windows**

- WINDOW - FAILED DUAL PANE SEAL

**Wall Structure + Wall Coverings**

- CEILINGS AND WALLS - WATER DAMAGE

## Built-In Appliances

**Washer & Dryer**

- Corroded and Damaged Washing Machine Supply Shutoff Valves
- Corroded and Broken Washing Machine Supply Shutoff Valves

## Roof

**Roof Covering**

- BUILT UP ROOFING - PONDING
- ROOF - OPEN PENETRATIONS
- INSUFFICIENT UNDERLAYMENT

**Drainage Systems (Gutters and Downspouts)**

- Moderate Ponding on Garage Roof Due to Elevated Scupper Outlets

## Garage/Carport

**Garage Door and Opener**

- Unapproved Window-Mounted Air Conditioner Installation in Garage
- GARAGE DOOR - DAMAGE

**Garage inaccessible**

- Unapproved Installation of Window Mount Air Conditioner in Garage
- Water damage observed on garage ceiling

## Exterior Areas

**Grading and Drainage**

- Improper Grading Causing Water Pooling Against East Side of Garage

**Porch, Areaways and Railings**

- RAILING - LARGE GAP

**Wall Flashing and Trim**

- Missing Flashing Above Wall-Mounted Window Air Conditioner

**Eaves, Soffits and Facia**

- BEAM - WATER DAMAGE
- BEAM - WEATHERING/INCORRECTLY INSTALLED FLASHING

**Patio, Walkways and Driveway**

- Stairs - Missing Handrails

**Decks, Balconies and Steps**

- Water Damage and Staining at West Garage Wall and Decking

**Siding (Wall Cladding)**

- SIDING - VEGETATION GROWING ON SIDING

## Heating & Cooling

**Cooling Equipment**

- UNAPPROVED INSTALLATION OF WINDOW MOUNT AC
- EVAPORATIVE COOLER - MISSING SUPPORT
- DUCT - ROOF DUCTING REQUIRES FURTHER REVIEW

**Solid Fuel Heating Devices (Fireplaces)**

- CHIMNEY AND FIREPLACE - DEBRIS BUILD UP

## Attic / Roof Structure

**Roof and Ceiling Structure**

- ROOF STRUCTURE / WATER STAINING
- ROOF STRUCTURE / WATER STAINING

## MONITOR / MAINTENANCE ITEMS

### Built-In Appliances

**Dishwasher**

- DISHWASHER - NOT MOUNTED

### Foundation and Home Structure

**Columns**

- COLUMNS - WOOD TO EARTH/CONCRETE CONTACT
- COLUMNS - WOOD TO EARTH/CONCRETE CONTACT

**Floor Structure + Floor Coverings**

- Cracked Tiles in Laundry Room and Entryway

**Doors**

- DOOR - LOOSE HARDWARE
- DOOR - SEALANT WEATHERING
- DOOR - DIFFICULT TO LOCK

**Wall Structure + Wall Coverings**

- CEILINGS AND WALLS - PREVIOUS REPAIRS

**Windows**

- WINDOW - WILL NOT OPEN

### Electrical Panel and Service

**Switches, Lights and Fans**

- LIGHT(S) - NOT FUNCTIONAL / INOPERABLE
- CEILING FAN - OUT OF BALANCE
- SWITCH(ES) - UNKNOWN PURPOSE

**Service Equipment / Electrical Panel**

- PANEL IDENTIFICATION LABEL MISSING/DAMAGED
- COVER - INCOMPLETE, INCORRECT, OR MISSING LEGEND

### Plumbing

**Interior Plumbing**

- PLUMBING - INDICATIONS OF PREVIOUS LEAK

**Grounds Plumbing**

- WATER METER / WATER SHUTOFF - BURIED
- SEWER CAMERA-SCOPE RECOMMENDED

**Toilet**

- Bidet Not Tested in South Bathroom

### Garage/Carport

**Garage Door and Opener**

- GARAGE FRAMED IN

**Garage inaccessible**

- Barrier obstructing garage use for vehicle parking
- Temporary Barrier in Garage Impeding Vehicle Storage

### Heating & Cooling

**Solid Fuel Heating Devices (Fireplaces)**

- Fireplace Operational but Requires Cleaning

## Exterior Areas

### Grading and Drainage

- GRADE - INDICATION OF PESTS

### Vegetation Observations

- Overhanging Palo Verde Tree Branches

### Siding (Wall Cladding)

- GROUND CLEARANCE - SIDING TO GRADE
- PRIOR STUCCO REPAIR NOTED
- STUCCO - HAIRLINE CRACKS

## Water Heater

### Water Heater Condition

- SOLAR HOT WATER EQUIPMENT - NOT INSPECTED

## General

**Attendance:** Buyer Agent present

**Occupancy:** Occupied - Furnished: A large quantity of personal and household items observed. Access to some items such as electrical outlets/receptacles; windows; wall/floor surfaces; and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

**Weather Conditions:** Clear, Hot

**Type of Structure:** Single Family, Detached garage/shop

## General Limitations

**HOME HEAVILY FURNISHED:** The home was occupied and heavily furnished at the time of the inspection. This may prevent us from accessing system and inspecting areas that would normally be inspected. Any areas and systems with access limited by the occupants furnishings and belongings are excluded from this report.

# Roof

## Roof Covering

**Inspection Status:** I - Inspected

**Roof Inspection Method:** Walking on the Roof

**Roof Covering Type - Main Structure:** Clay Tile

**Roofing Covering Type - Patio:** Clay Tile

### BUILT UP ROOFING - PONDING

**Location:** WEST AND SOUTH PATIO ROOF

**Description:** Areas of ponding noted along the roof structure. Recommend correction of the slope of the effected area to prevent pooling water from causing accelerated wear on the roof surface.

**Recommendation:** Contact a qualified roofing professional.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS





## ROOF - OPEN PENETRATIONS

**Location:** SOUTH AWNING ROOF

**Description:** Open/unsealed roof penetrations noted. Recommend sealing the penetrations to prevent a source of water intrusion.

**Recommendation:** Contact a qualified roofing contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



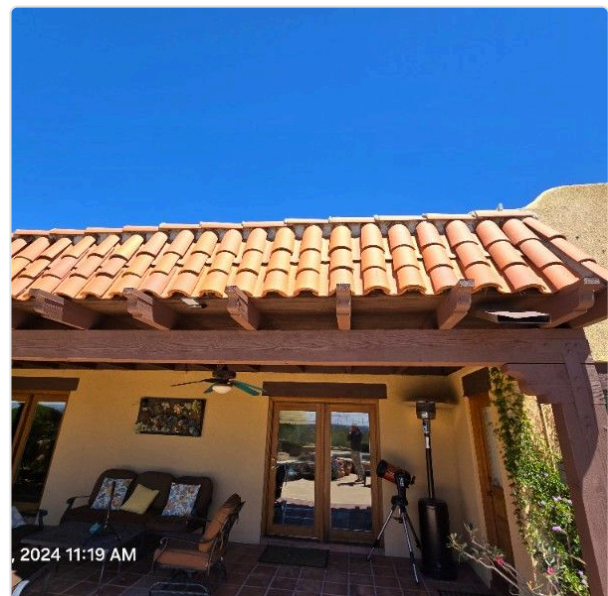
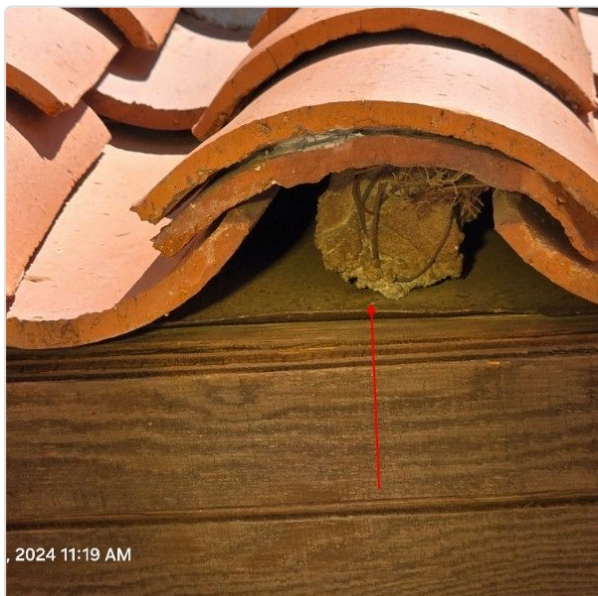
## INSUFFICIENT UNDERLAYMENT

**Location:** SOUTH PATIO

**Description:** Underlayment did not extend to the edge of the roof. Recommend further evaluation by a roofing professional and correction of underlayment if roof work is performed on this area.

**Recommendation:** Contact a qualified roofing professional.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## EVAPORATIVE COOLER - ABANDONED

**Location:** CENTER ROOF

**Description:** An evaporative cooler was present on the roof and appeared to longer be in use. Recommend removal of the evaporative cooler to reduce the risk of leaks.

**Recommendation:** Contact a qualified general contractor.

**Severity:** MATERIAL DEFECTS / SAFETY ITEMS



## Vents, Vent Caps and Roof Penetrations

**Inspection Status:** I - Inspected

**Visible Drain, Waste, Vent Material Type:** ABS

## Fireplace Chimney and Flue

**Inspection Status:** I - Inspected

**Chimney Condition:** Appears satisfactory and functional at the time of the inspection.



## Solar Hot Water

**Inspection Status:** NI - Not Inspected

**Solar Hot Water System Not Inspected:** The functionality of the solar hot water system is unknown and untested. Evaluating a solar hot water system is beyond the scope of a home inspection and is excluded from this report. Recommend a licensed plumber evaluate the solar hot water system.



# Attic / Roof Structure

## Roof and Ceiling Structure

**Safety Hazard** This area was unsafe to inspect. If you are interested in having this area inspected, please contact me about a follow-up inspection.

**Inspection Status:** I - Inspected

**Roof and Ceiling Structure Type:** Conventional Framing

**Attic Observation Method:** Attic Not Viewed

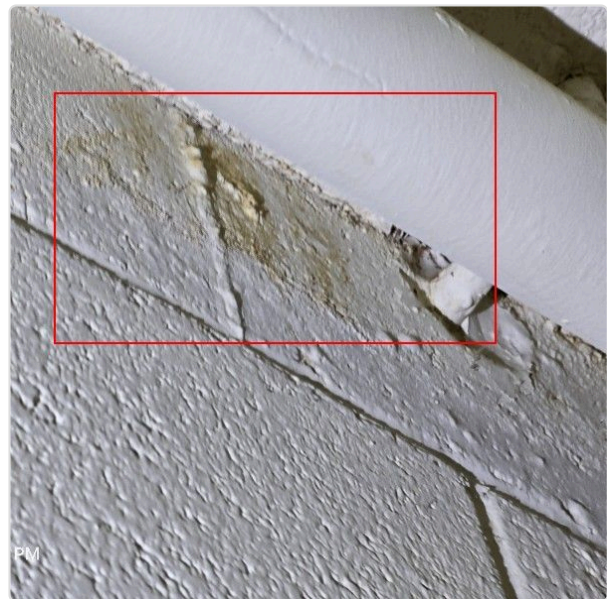
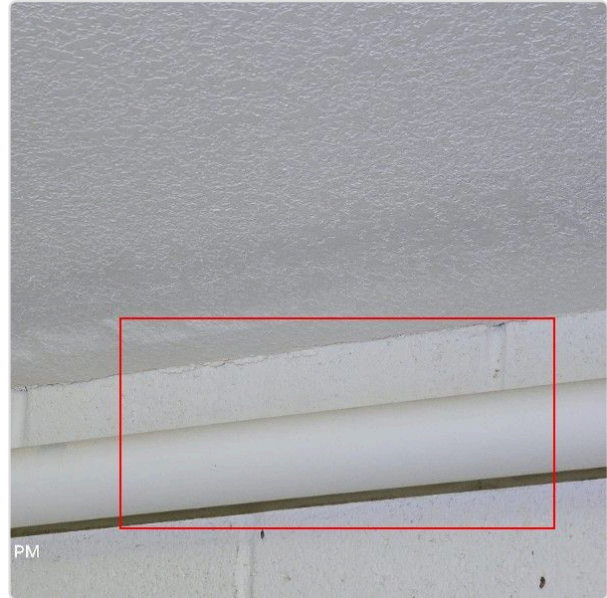
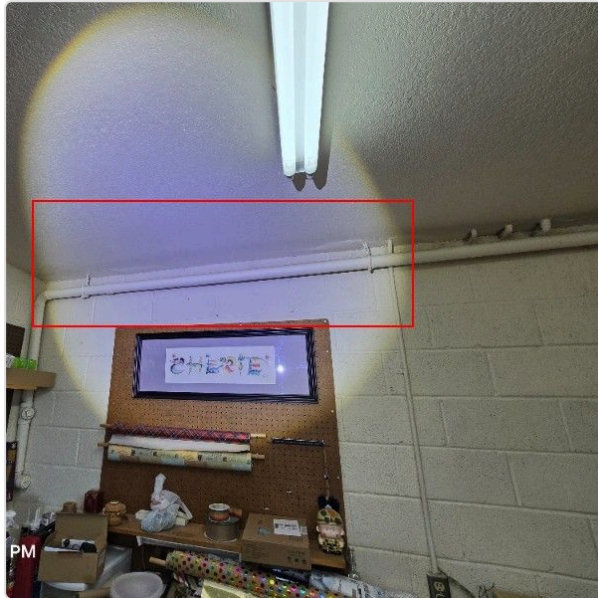
## ROOF STRUCTURE / WATER STAINING

**Location:** NORTH WALL AND CEILING OF MAIN GARAGE

**Description:** Water staining was present in the attic. Recommend identifying the source of the water into the home and repair of water source to prevent further water damage.

**Recommendation:** Contact a qualified roofing professional.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



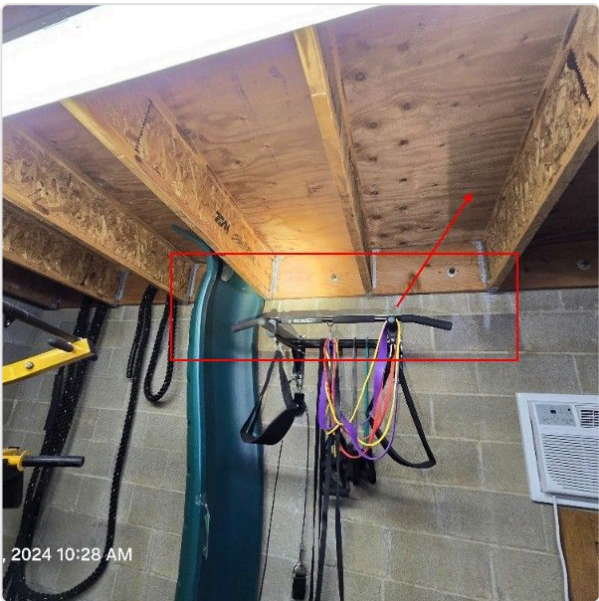
ROOF STRUCTURE / WATER STAINING

Location: DETACHED GARAGE

Description: Water staining was present in the attic. Recommend identifying the source of the water into the home and repair of water source to prevent further water damage.

Recommendation: Contact a qualified roofing professional.

Severity: RECOMMENDATIONS / IMPROVEMENT ITEMS



Attic Ventilation

Inspection Status: I - Inspected

Ventilation Type: Roof vents

Attic Insulation

Inspection Status: NI - Not Inspected

Insulation Type: Unable to determine - No attic access

Approximate Insulation Thickness: None

Vapor Retarder

Inspection Status: NI - Not Inspected

Vapor Retarder Type: None

Vapor Retarder - Not Required: Vapor retarder in the attic is not required for this climate zone.



## Exterior Areas

### Wall Flashing and Trim

**Inspection Status:** I - Inspected

#### Missing Flashing Above Wall-Mounted Window Air Conditioner

**Location:** West wall above the garage

**Description:** A window mount air conditioner is permanently installed on the west wall above the garage without appropriate flashing on top. The absence of flashing is likely to allow water intrusion into the wall structure.

**Recommendation:** Install proper flashing above the air conditioner to prevent water penetration and protect the wall structure from moisture damage.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



### Siding (Wall Cladding)

**Inspection Status:** I - Inspected

**Wall Cladding Type:** Stucco

## GROUND CLEARANCE - SIDING TO GRADE

**Location:** MAIN HOUSE AND DETACHED GARAGE

**Description:** The siding is in contact with the grade (earth), or hardscape instead of terminating above the grade. This can allow pests and moisture to more easily enter the home, and make it more difficult to identify the presence of wood-destroying insects. Regular pest inspections are recommended.

**Recommendation:** Contact a stucco repair contractor

**Severity:** MONITOR / MAINTENANCE ITEMS



## SIDING - VEGETATION GROWING ON SIDING

**Location:** SOUTHEAST SIDE OF STRUCTURE

**Description:** Vegetation was growing on the siding. The presence of vegetation may hold moisture against the home, accelerating the wear of construction materials and may provide a path for pests to enter the home.

**Recommendation:** Recommend removal of the vegetation and evaluation of any conditions that may be obscured by the present vegetation.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS





## PRIOR STUCCO REPAIR NOTED

**Location:** NORTH SIDE OF STRUCTURE

**Description:** FYI - There are indications that previous repairs to the stucco has been performed. The stucco repair appears satisfactory but should be monitored for future cracking. Recommend inquiring with the seller as to the conditions present that required repair.

**Recommendation:** Contact the seller for more info

**Severity:** MONITOR / MAINTENANCE ITEMS



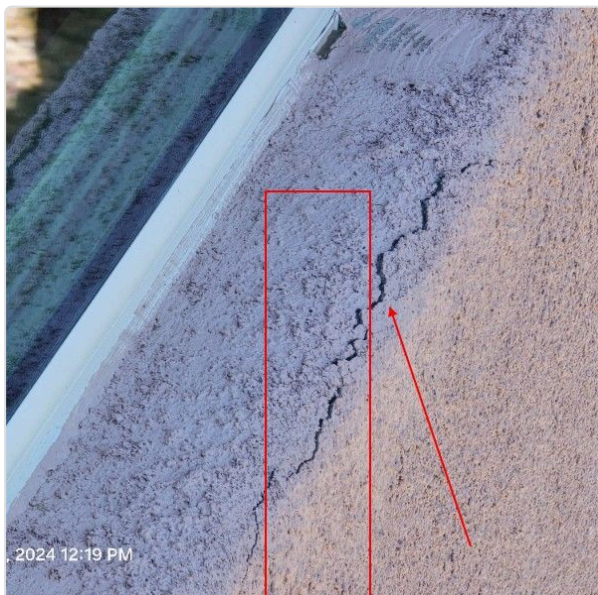
## STUCCO - HAIRLINE CRACKS

**Location:** EAST SIDE OF STRUCTURE

**Description:** One or more stucco cracks noted along the exterior of the home. Patching and painting of cracks is recommended to prevent water from entering behind the stucco.

**Recommendation:** Contact a qualified painting contractor.

**Severity:** MONITOR / MAINTENANCE ITEMS





## Decks, Balconies and Steps

**Inspection Status:** I - Inspected

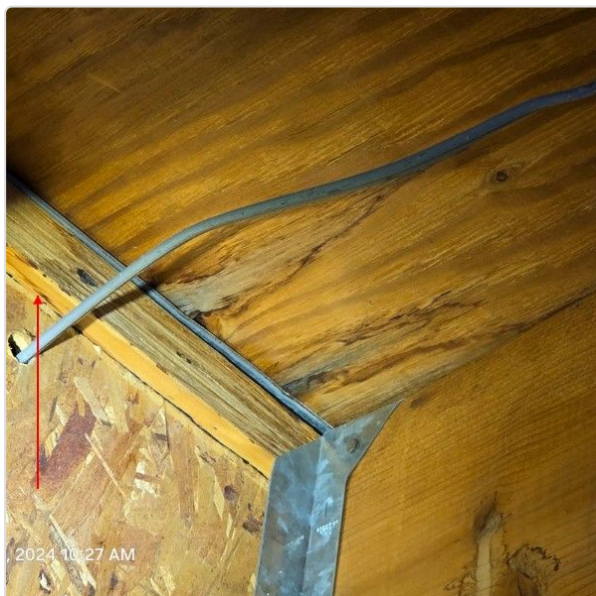
### Water Damage and Staining at West Garage Wall and Decking

**Location:** West wall of the garage and adjacent decking

**Description:** Observed water damage and staining on the west wall of the garage at multiple locations. Additional water staining was noted on the decking area co-located with the scupper above, indicating potential water intrusion or drainage issues.

**Recommendation:** Recommend further evaluation to identify the source of water intrusion and repair affected areas. Improve drainage around the scupper and repair or replace damaged materials to prevent ongoing water damage.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## Porch, Areaways and Railings

**Inspection Status:** I - Inspected

**Porch and Railings Condition:** The condition of the visible portions of the porch were functional and serviceable.

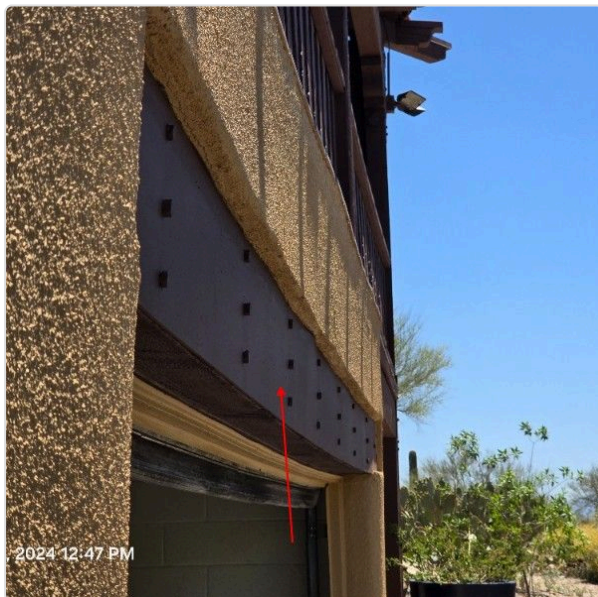
## PORCH - BEAM SAGGING

**Location:** WEST GARAGE

**Description:** Portions of the support beam were sagging. This may indicate an issue with the integrity of the porch. Recommend evaluation and repair.

**Recommendation:** Contact a qualified general contractor

**Severity:** MATERIAL DEFECTS / SAFETY ITEMS





## RAILING - LARGE GAP

**Location:** SOUTH PATIO

**Description:** The patio hand a large gap in the railing. Recommend further evaluation to bring up to current standards.

**Recommendation:** Contact a qualified deck contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## Patio, Walkways and Driveway

**Inspection Status:** I - Inspected

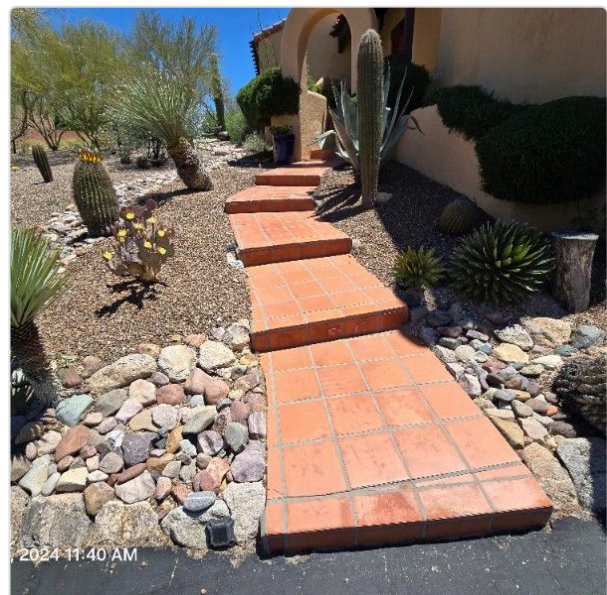
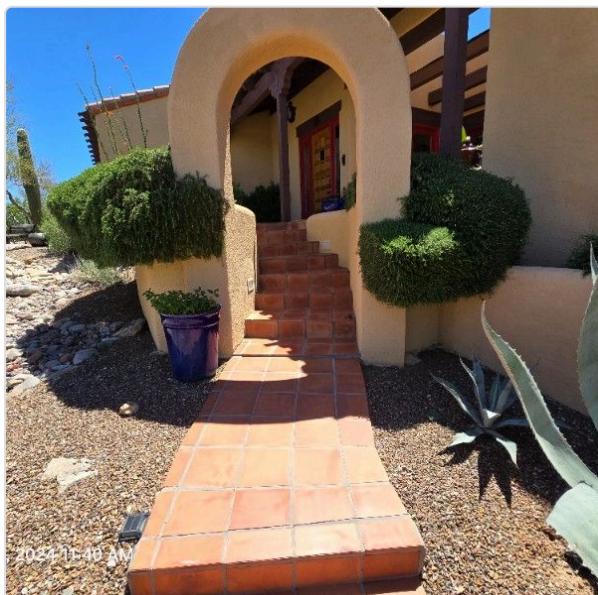
### Stairs - Missing Handrails

**Location:** NORTH ENTRYWAY

**Description:** It is recommended to have handrails installed on stairs with 3 or more risers (steps).

**Recommendation:** Contact a qualified general contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



Grading and Drainage

Inspection Status: I - Inspected

Improper Grading Causing Water Pooling Against East Side of Garage

Location: East side of the garage

Description: The slope of the grade on the east side of the garage directs all rainwater against the house, causing water to pool before it can drain away properly.

Recommendation: Recommend minor corrections to the grading in this area to redirect water away from the house and prevent pooling.

Severity: RECOMMENDATIONS / IMPROVEMENT ITEMS





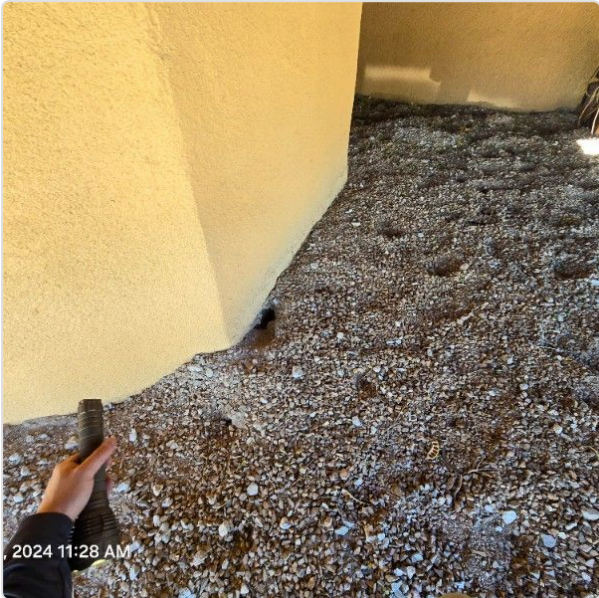
GRADE - INDICATION OF PESTS

Location: WEST DECK

Description: There are indications that pests may be present or were present in the past. Recommend a qualified pest control company to evaluate.

Recommendation: Contact a qualified pest control specialist.

Severity: MONITOR / MAINTENANCE ITEMS



Vegetation Observations

Inspection Status: I - Inspected

## Overhanging Palo Verde Tree Branches

**Location:** East side of the garage

**Description:** The Palo Verde tree located on the east side of the garage has branches that are overhanging the structure.

**Recommendation:** Trim back the overhanging branches and establish a seasonal trimming schedule to maintain clearance.

**Severity:** MONITOR / MAINTENANCE ITEMS



## Fence and Gate

**Inspection Status:** I - Inspected

## Foundation and Home Structure

### Foundation

**Inspection Status:** I - Inspected

**Foundation Type:** Slab on grade

**Foundation Condition:** The condition of the visible areas of the foundation were in satisfactory condition.

### Floor Structure + Floor Coverings

**Inspection Status:** I - Inspected

**Floor Structure Type:** Concrete, Wood framed

**Floor Structure Condition:** Large portions of the floor structure are not visible due to the construction of the home. Visible portions of the home structure were in satisfactory condition.

**Floor Covering Condition:** Observations were made on the condition of the floor covering. Other areas of the floor covering were in satisfactory condition.

#### Cracked Tiles in Laundry Room and Entryway

**Location:** Laundry room and entryway

**Description:** There are cracked tiles observed in the laundry room and at the entryway. No underlying damage was noted, but the tiles are somewhat delicate and prone to cracking.

**Recommendation:** Monitor the cracked tiles for further deterioration and consider repair or replacement to prevent potential damage or safety hazards.

**Severity:** MONITOR / MAINTENANCE ITEMS



### Wall Structure + Wall Coverings

**Inspection Status:** I - Inspected

**Wall Structure Type:** Masonry Block, Wood Framed

**Wall Structure Condition:** Due to the construction of the home large portions of the wall structure were not visible. The visible portions of the wall structure were in satisfactory condition.



**Walls and Ceiling Condition:** The condition of the visible portion of walls and ceilings was satisfactory.

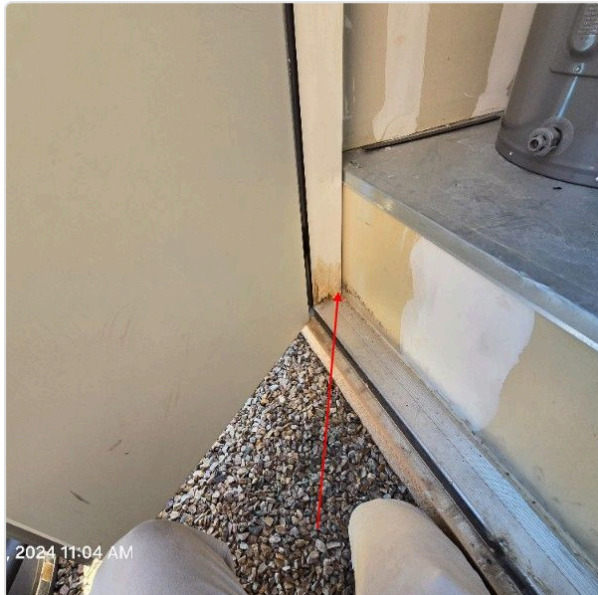
## CEILINGS AND WALLS - POSSIBLE ORGANIC GROWTH

**Location:** NORTHEAST EXTERIOR UTILITY CLOSET

**Description:** There is possible organic growth on the walls. Further evaluation is recommended, and remediation if required.

**Recommendation:** Contact a qualified mold inspection professional

**Severity:** MATERIAL DEFECTS / SAFETY ITEMS



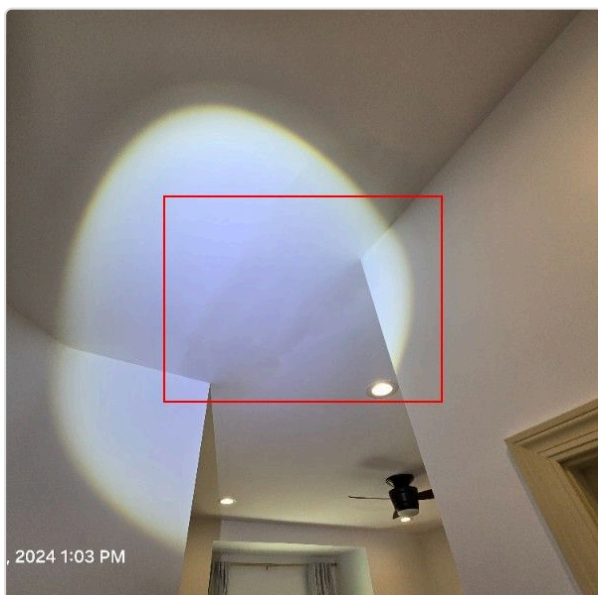
## CEILINGS AND WALLS - PREVIOUS REPAIRS

**Location:** NORTHEASTERN BEDROOM CEILING

**Description:** FYI - Indications of previous repairs were noted. Recommend clarifying with the seller as to the conditions that necessitated the repairs.

**Recommendation:** Contact the seller for more info

**Severity:** MONITOR / MAINTENANCE ITEMS



## CEILINGINGS AND WALLS - WATER DAMAGE

**Location:** GARAGE

**Description:** Water stains/water damage noted. Recommend evaluation for potential water intrusion issues and repair/replace affected wall coverings as required.

**Recommendation:** Contact a qualified general contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## Columns

**Inspection Status:** I - Inspected

**Column Type:** Wood



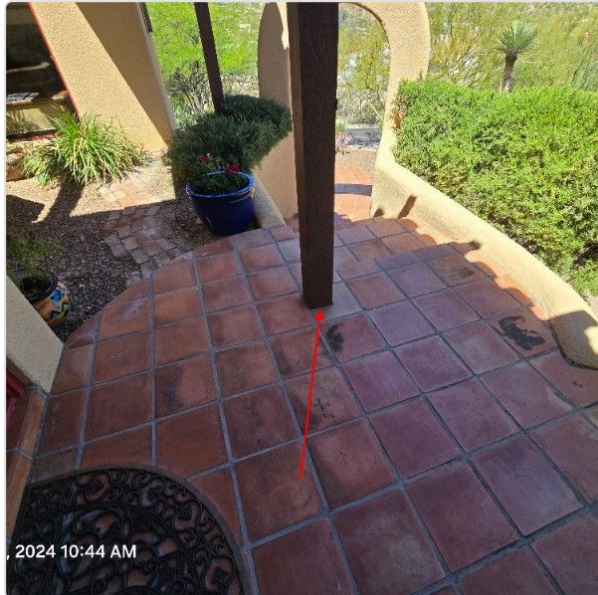
## COLUMNS - WOOD TO EARTH/CONCRETE CONTACT

**Location:** FRONT PORCH

**Description:** The posts show areas of wood contacting earth/concrete. This can drastically accelerate degradation or rotting of the column. Recommend installation of a standoff base underneath the column.

**Recommendation:** Contact a qualified general contractor

**Severity:** MONITOR / MAINTENANCE ITEMS



## Significant Bow and Buckling in Garage Beam

**Location:** Beam over the garage

**Description:** The beam over the garage exhibits a significant bow when viewed from the side. A steel plate has been attached to the beam, matching the curve closely; however, the spaces between the plate and beam show buckling, indicating possible flexure occurring after the plate installation. This may suggest an addition or excess load on the beam.

**Recommendation:** Further evaluation by a qualified structural engineer is recommended to assess the integrity of the beam and determine necessary remedial actions.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## COLUMNS - WOOD TO EARTH/CONCRETE CONTACT

**Location:** SOUTH PATIO

**Description:** The posts show areas of wood contacting earth/concrete. This can drastically accelerate degradation or rotting of the column. Recommend installation of a standoff base underneath the column.

**Recommendation:** Contact a qualified general contractor.

**Severity:** MONITOR / MAINTENANCE ITEMS



## Doors

**Inspection Status:** I - Inspected

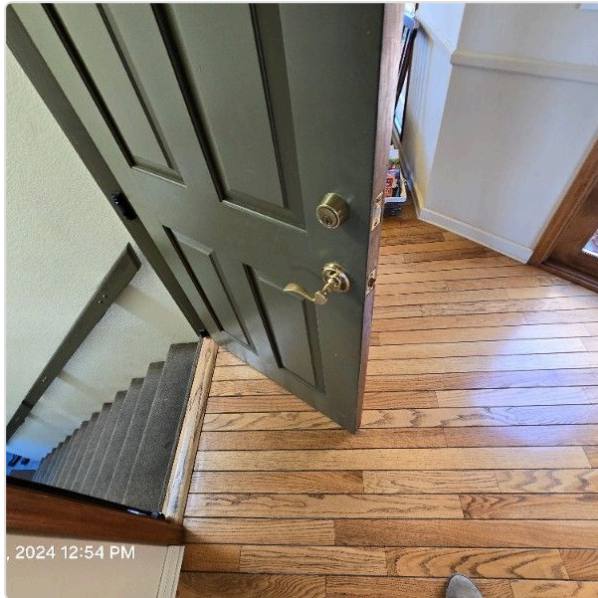
## DOOR - LOOSE HARDWARE

**Location:** KITCHEN

**Description:** The door hardware appears to be loose. Recommend repair to allow proper operation of the door.

**Recommendation:** Contact a qualified handyman.

**Severity:** MONITOR / MAINTENANCE ITEMS



## DOOR - SEALANT WEATHERING

**Location:** SOUTHEAST SIDE OF STRUCTURE

**Description:** Portions of the door sealant is weathered. Recommend recoating to prevent damage from rain water and sun exposure.

**Recommendation:** Contact a qualified painting contractor.

**Severity:** MONITOR / MAINTENANCE ITEMS



## DOOR TO POOL - MISSING ALARMS / NO AUTO-CLOSE

**Location:** SOUTH PATIO

**Description:** Any doors granting access to the pool area should have an auto close/auto latch device installed and alarms according to some areas' current standards to prevent accidental access to the pool area. Recommend further evaluation of local regulations to determine if safety measures are required.

**Recommendation:** Contact a qualified swimming pool contractor

**Severity:** MATERIAL DEFECTS / SAFETY ITEMS



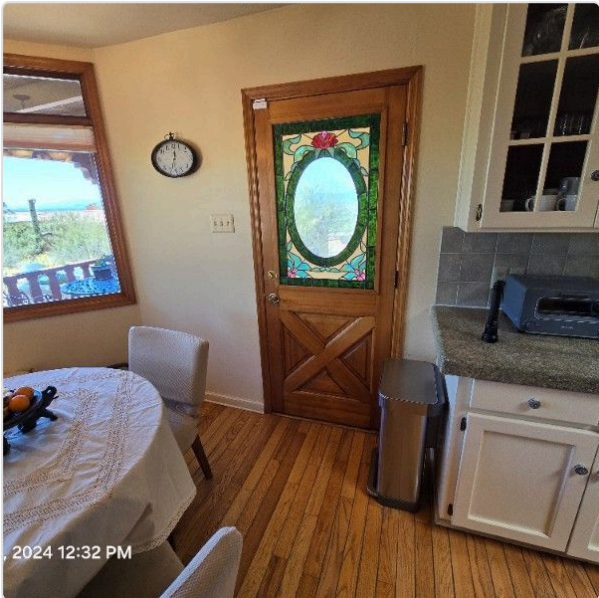
**DOOR - DIFFICULT TO LOCK**

**Location:** KITCHEN

**Description:** The door was difficult to lock. Recommend adjusting the hardware to allow smooth operation of the door.

**Recommendation:** Contact a handyman or DIY project

**Severity:** MONITOR / MAINTENANCE ITEMS



**Windows**

**Inspection Status:** I - Inspected

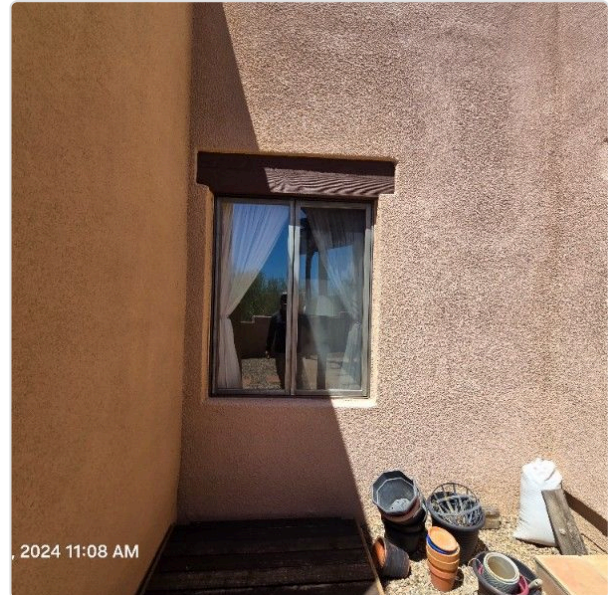
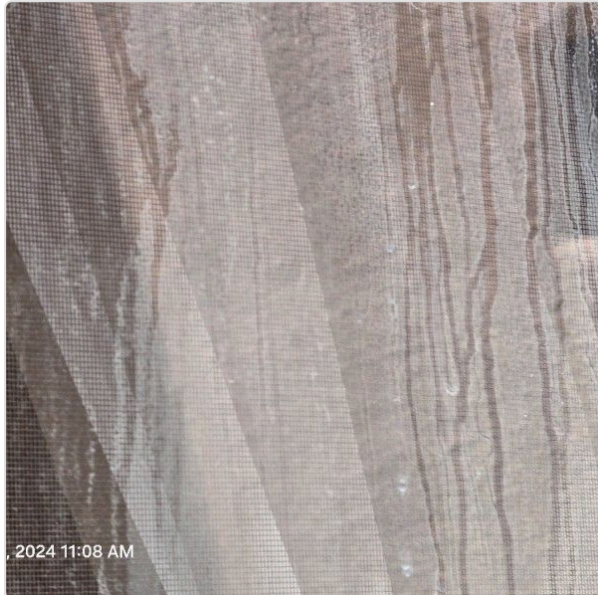
## WINDOW - FAILED DUAL PANE SEAL

**Location:** EAST SIDE OF STRUCTURE

**Description:** There are indications that a dual pane window seal has failed. Recommend replacement to ensure the appropriate insulating value of the window is achieved.

**Recommendation:** Contact a qualified window repair/installation contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## WINDOW - WILL NOT OPEN

**Location:** NORTH BEDROOM

**Description:** The window does not appear operable or was stuck and would not open at the time of the inspection. Recommend repairs to allow the window to open as designed.

**Recommendation:** Contact a qualified window repair/installation contractor.

**Severity:** MONITOR / MAINTENANCE ITEMS

## Interior Steps and Stairways

**Inspection Status:** I - Inspected

**Steps And Stairways:** Observations noted on the condition of the steps and stairways below. All other visible areas of the steps and stairways appeared satisfactory and functional.

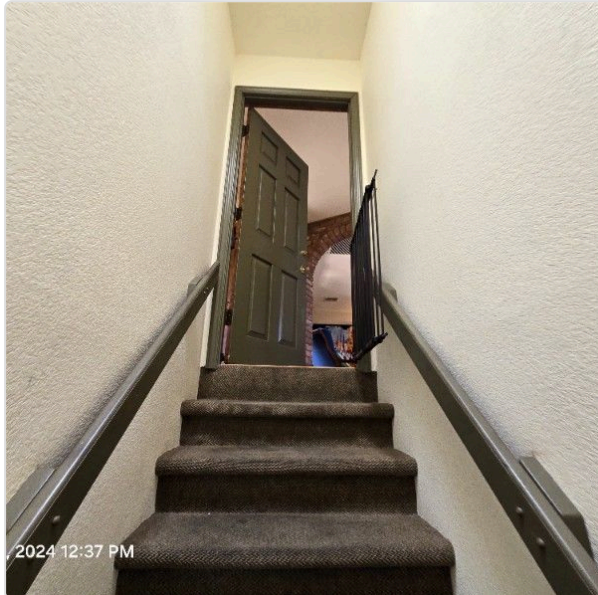
## HANDRAIL - DOES NOT RETURN TO WALL

**Location:** GARAGE

**Description:** The stairway handrails end do not return to wall. This can cause a person's clothing to catch when using the handrail. Recommend repairs or improvements to reduce the risk of injury.

**Recommendation:** Contact a qualified general contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



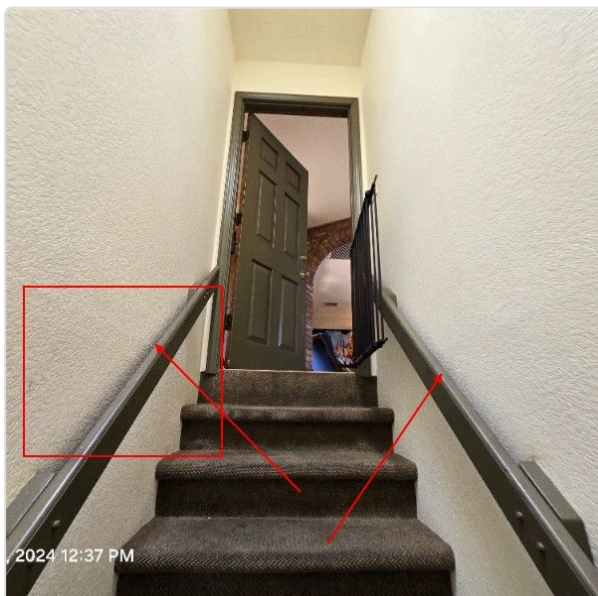
## HANDRAIL - TOO LOW

**Location:** GARAGE

**Description:** The handrail height was too low. Recommend replacing with the handrail to prevent accidental falls.

**Recommendation:** Contact a qualified general contractor

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS





## Garage/Carport

### Garage Door and Opener

**Inspection Status:** I - Inspected

**Garage Door Opener Testing:** The garage door opener was tested using the standard operating controls. Observations about the condition of the garage door and opener were noted. The rest of the system was in serviceable and functional condition.

**Garage Door Safety Reverse - IR Beam and Resistance-Sensitive Auto Reverse Test:** Observations were made on the function of the garage door auto-reverse systems.

### Unapproved Window-Mounted Air Conditioner Installation in Garage

**Location:** Garage

**Description:** A window-mounted air conditioner has been installed in the garage, which is not an approved installation method. Additionally, the garage roof lacks insulation, leading to excessive heat buildup during summer months.

**Recommendation:** Remove or replace the window-mounted air conditioner with an approved cooling solution. Consider installing proper roof insulation in the garage to mitigate heat buildup.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



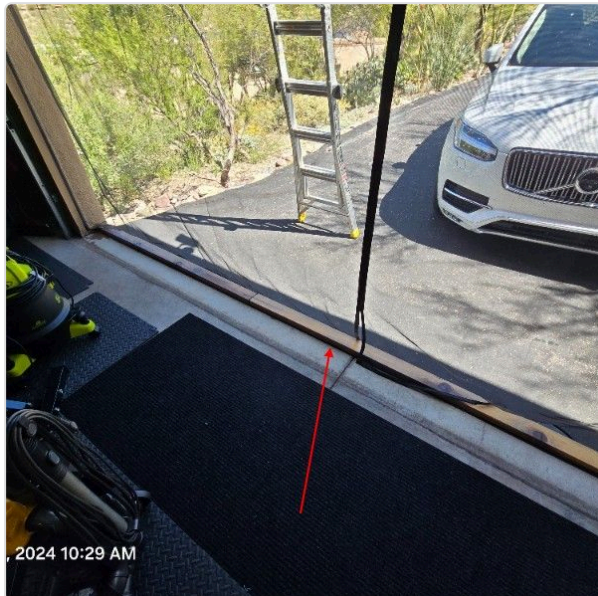
## GARAGE FRAMED IN

**Location:** DETACHED GARAGE

**Description:** Garage is framed in for the addition of a mesh screen. Garage is not usable for car use unless framing is removed. Recommend removing framing if use for vehicles is required.

**Recommendation:**

**Severity:** MONITOR / MAINTENANCE ITEMS



## GARAGE DOOR - DAMAGE

**Location:** GARAGE

**Description:** Damage noted at the garage door panel. Damage does not appear to affect the operation of the door. Recommend repair of affected garage door panels

**Recommendation:** Contact a qualified garage door contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS





## Electrical Panel and Service

### Service Entrance

**Inspection Status:** I - Inspected

**Service Entrance Type:** Underground Service Lateral

### Service Entrance Conductors

**Inspection Status:** I - Inspected

**Service Entrance Conductors Type:** Stranded Copper

### Service Amperage and Voltage

**Inspection Status:** I - Inspected

**Service Voltage:** 120/240VAC

**Service Amperage:** 200 Amps

### Service Equipment / Electrical Panel

**Neutral(s) - Overheated** A neutral conductor showed signs of overheating. Evaluation and repairs as needed is recommended by a licensed electrician.

**Inspection Status:** I - Inspected

**Electrical Panel / Service Equipment Location:** West Side of Structure

#### PANEL IDENTIFICATION LABEL MISSING/DAMAGED

**Location:** MAIN PANEL - WEST SIDE OF STRUCTURE

**Description:** Limitation - The electrical panel label was missing or otherwise illegible. Electrical panel labels contain important information regarding amperage, voltages, permitted breakers, ground lug quantities, schematics, etc. The proper installation or condition of any components that depend on information contained on this label are excluded from this inspection.

**Recommendation:**

**Severity:** MONITOR / MAINTENANCE ITEMS



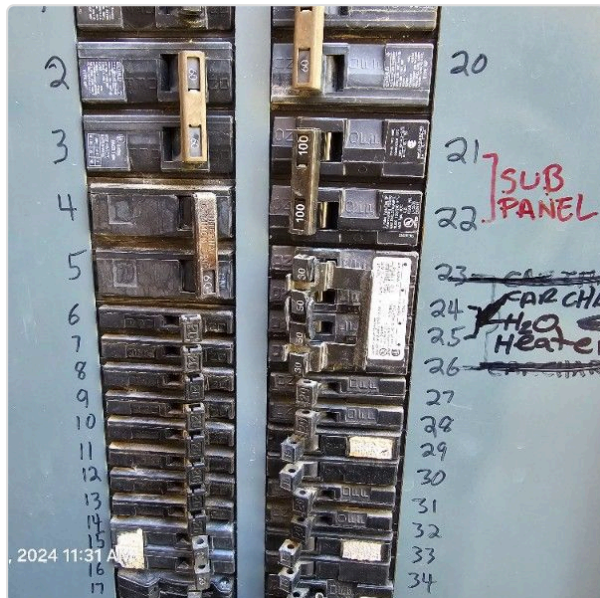
## COVER - INCOMPLETE, INCORRECT, OR MISSING LEGEND

**Location:** MAIN PANEL - WEST SIDE OF STRUCTURE

**Description:** The legend for the electrical panel was missing, incomplete, or incorrect. A proper legend is required so that breakers are properly labeled, ensuring correct circuits are shut off in case of the need of service, etc. Complete, legible labeling of all circuit breakers is recommended.

**Recommendation:** Contact a qualified electrical contractor.

**Severity:** MONITOR / MAINTENANCE ITEMS



## Distribution Panel

**Inspection Status:** I - Inspected

**Distribution Panel(s) Location:** Northwest Exterior

## BREAKER(S) - DOUBLE LUGGED

**Location:** DISTRIBUTION PANEL - NORTHEAST SIDE OF STRUCTURE

**Description:** Double lugged breaker(s) were present in the panel. This is where two conductors (wires) are under the lug (screw) of a breaker. The breaker may only rated for one conductor, and the lug can not be torqued to proper specs with two wires present. Recommend evaluation and repair

**Recommendation:** Contact a qualified electrical contractor

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



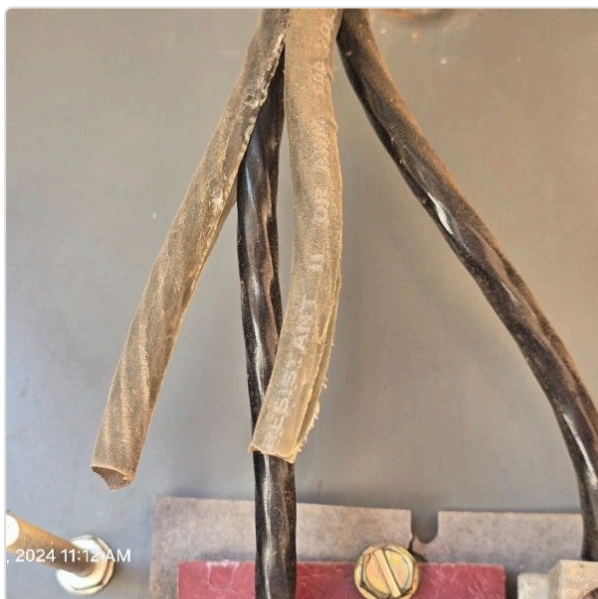
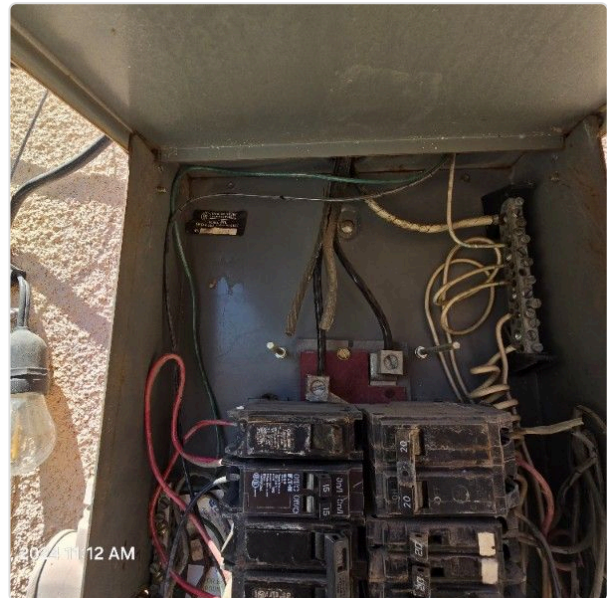
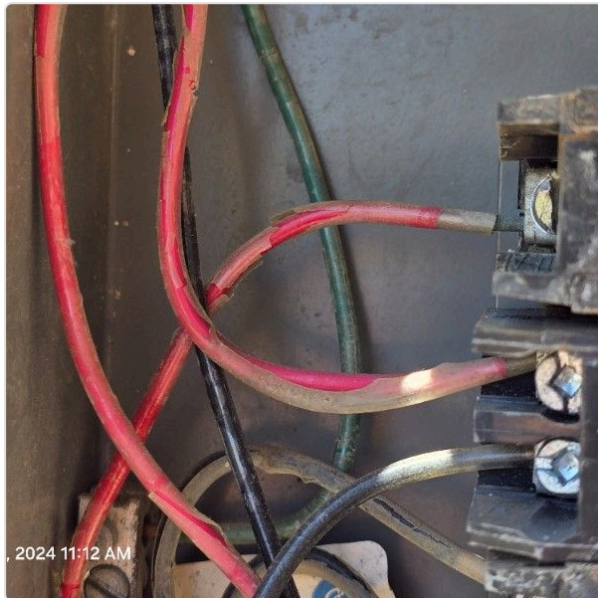
## UV DAMAGED WIRING

**Location:** EAST EXTERIOR - POOL PANEL

**Description:** Advanced UV damage was noted on wires inside of panel. Recommend further evaluation by a licensed electrician for repair as required.

**Recommendation:**

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS





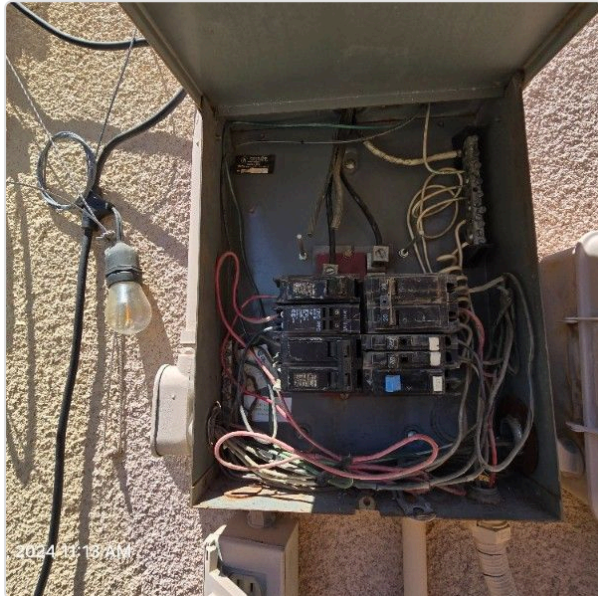
## PANEL - FOUR WIRE FEED MISSING

**Location:** EAST EXTERIOR - POOL PANEL

**Description:** A four wire feed was not present between the main panel, and the distribution panel(s). This can prevent faults from finding their path to service or ground, and is a safety hazard. The installation of a four wire feed is recommended to be conducted by a licensed electrician.

**Recommendation:** Contact a qualified electrical contractor.

**Severity:** MATERIAL DEFECTS / SAFETY ITEMS



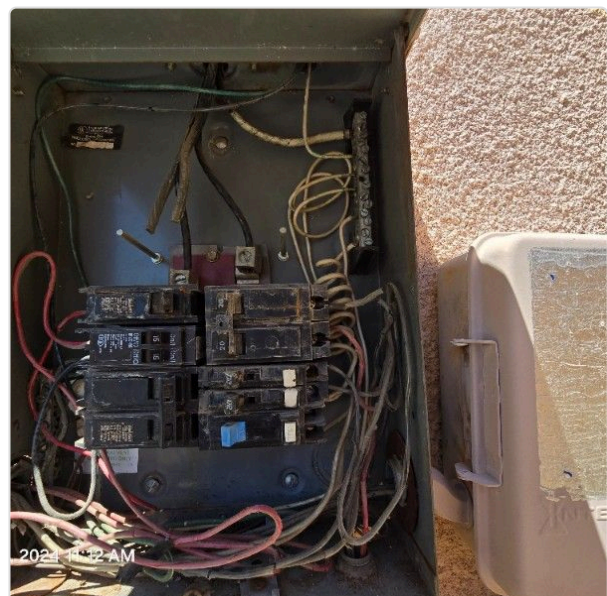
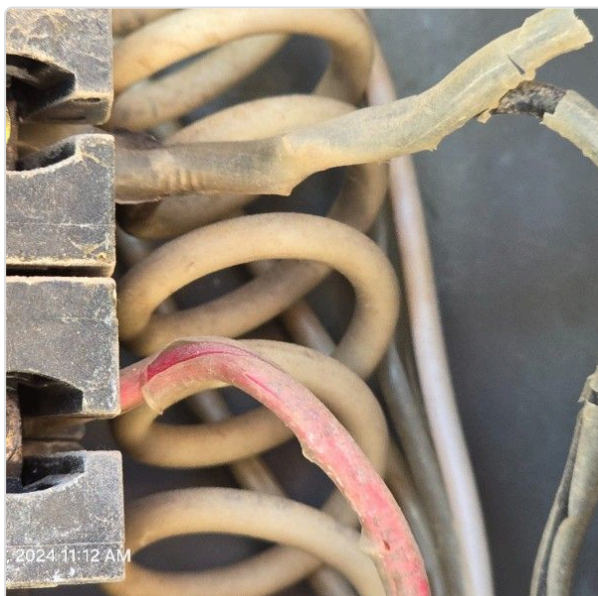
## PANEL - OPEN KNOCKOUTS

**Location:** EAST EXTERIOR - POOL PANEL

**Description:** Open knockout(s) were present in the distribution panel. Knockout caps should be installed by a licensed electrician or other qualified person to keep mice out of the panel box, and to avoid a potential electrocution hazard.

**Recommendation:**

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## Overcurrent Protection Devices

**Inspection Status:** I - Inspected

**Overcurrent Protection Device Type:** Breakers

**Branch Circuit Wire Size and Breaker Compatibility:** Breakers and branch wires are of compatible current capacity and wire gauge

### WEATHERPROOF COVER(S) - MISSING IN-USE WEATHERPROOF COVER

**Location:** EAST SIDE OF STRUCTURE

**Description:** An in-use exterior receptacle was missing a weatherproof cover rated for continuous use. Recommend installation of a weatherproof cover rated for continuous use.

**Recommendation:** Contact a qualified electrical contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## Service Grounding

**GEC - Metal Water Pipe Replaced with Non-Metal** The GEC once used the steel water service pipe as the grounding electrode, but since the service pipe has been replaced with PVC, the system is no longer grounded. The installation of a new GEC and grounding electrode is recommended by a licensed electrician.

**Inspection Status:** I - Inspected

**Grounding Electrode Conductor (GEC) Present:** Yes

## Electrical Receptacles

**Inspection Status:** I - Inspected



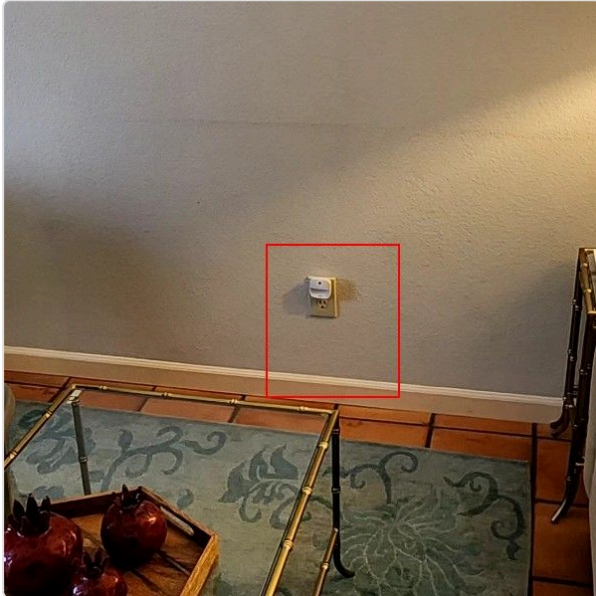
## RECEPTACLE(S) - LOOSE AT WALL

**Location:** KITCHEN

**Description:** An installed receptacle was loose at the wall. Recommend securing the receptacle in the wall.

**Recommendation:** Contact a qualified electrical contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## Switches, Lights and Fans

**Inspection Status:** I - Inspected

### Damaged Motion Sensor Light at Front of Garage

**Location:** Front of Garage

**Description:** The motion sensor light located at the front of the garage is damaged and likely non-functional.

**Recommendation:** Repair or replace the motion sensor light to ensure proper operation and security lighting.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS





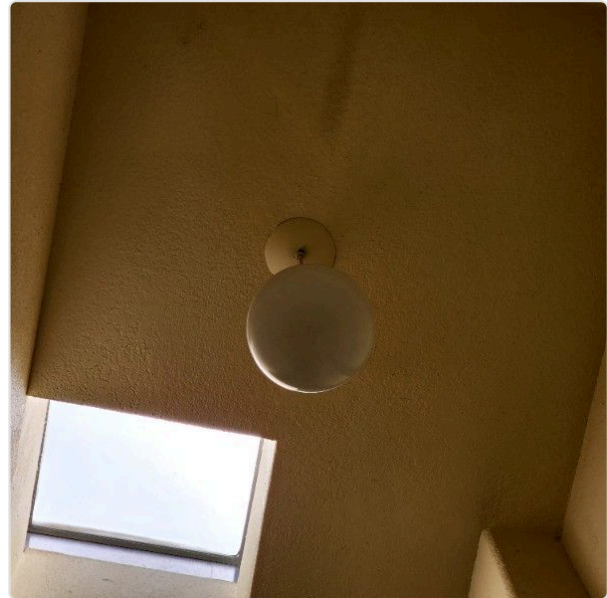
## LIGHT(S) - NOT FUNCTIONAL / INOPERABLE

**Location:** GARAGE

**Description:** The referenced light(s) did not respond to the switch at the time of inspection. Recommend replacement of the lightbulb and further evaluation if replacement of the bulb does not correct the issue.

**Recommendation:** Contact a qualified electrical contractor.

**Severity:** MONITOR / MAINTENANCE ITEMS



## CEILING FAN - INOPERABLE

**Location:** NORTHWEST BEDROOM

**Description:** The ceiling fan did not respond to operating controls at the time of the inspection. Recommend repair or replacement of the ceiling fan.

**Recommendation:** Contact a qualified electrical contractor

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## CEILING FAN - OUT OF BALANCE

**Location:** LIVINGROOM DEN

**Description:** The ceiling fan was out of balance. Recommend repair to prevent damage to the fan components and to extend the length the fan's serviceable life.

**Recommendation:** Contact a handyman or DIY project

**Severity:** MONITOR / MAINTENANCE ITEMS



## SWITCH(ES) - UNKNOWN PURPOSE

**Location:** FRONT ENTRYWAY

**Description:** FYI - There were multiple switch(es) in the referenced area(s) of the home that did not appear to operate anything. It is recommended to consult with the sellers about their operation, and/or evaluation of the switches by a licensed electrician if they have no information.

**Recommendation:** Contact the seller for more info

**Severity:** MONITOR / MAINTENANCE ITEMS



## Smoke Detectors

**Inspection Status:** I - Inspected

### SMOKE DETECTOR - MISSING

**Location:** PRIMARY BEDROOM

**Description:** Modern standards recommend smoke detectors inside every bedroom and in rooms/hallways leading to bedrooms. Recommend installation of a smoke detector in all mentioned areas to alert occupants of an emergency.

**Recommendation:** Contact a handyman or DIY project

**Severity:** MATERIAL DEFECTS / SAFETY ITEMS

### CARBON MONOXIDE DETECTOR - NOT PRESENT

**Location:**

**Description:** There were no carbon monoxide detectors observed in the home at the time of the inspection. Carbon monoxide (CO) is a colorless, odorless, and tasteless gas that is poisonous to humans. The carbon monoxide detector is a safety device that can alert homeowners of a CO leak and help them escape a potentially life-threatening situation.

**Recommendation:** Contact a handyman or DIY project

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS

## Ceiling Fans

**Inspection Status:** I - Inspected

## Fuses

**Inspection Status:** I - Inspected

## Generator

**Inspection Status:** I - Inspected

## Emergency Lighting

**Inspection Status:** I - Inspected



# Heating & Cooling

## Cooling Equipment

**Inspection Status:** I - Inspected

**Cooling Equipment Type:** Central Air Conditioning

**Energy Source for Cooling:** Electric

**Condenser Location:** East Exterior

**Emergency Disconnect:** Pull

**Condenser Unit - Year of Manufacture:** 2015

**Condenser Cooling Tonnage:** 2 Ton

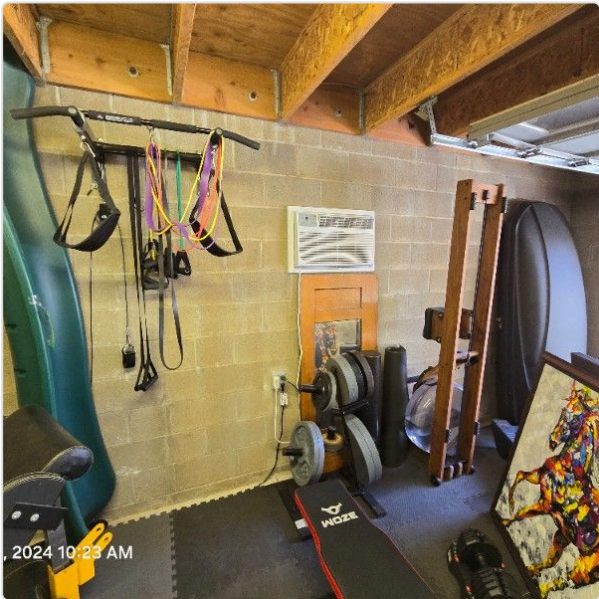
### UNAPPROVED INSTALLATION OF WINDOW MOUNT AC

**Location:** DETACHED GARAGE - EAST WALL

**Description:** An air conditioner unit that was designed to mount in a window was affixed permanently using unapproved installation techniques and materials. Recommend removing the unit and repairing the affected areas.

**Recommendation:** Contact a qualified HVAC professional.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



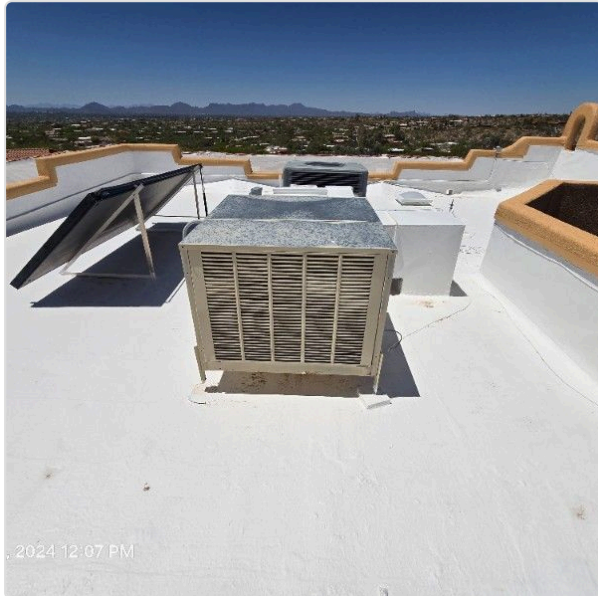
## EVAPORATIVE COOLER - MISSING SUPPORT

**Location:** ROOF

**Description:** Evaporative cooler support missing. Recommend installation of support or removal of evaporative cooler by a licensed roofing contractor to prevent water intrusion and deterioration of roof surface.

**Recommendation:** Recommend installation of support or removal of evaporative cooler by a licensed roofing contractor to prevent water intrusion and deterioration of roof surface.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## DUCT - ROOF DUCTING REQUIRES FURTHER REVIEW

**Location:** ROOF

**Description:** Abandoned evaporative cooler and AC compressor share duct work. Duct separators appear to be painted close and configuration could not be confirmed.

**Recommendation:** Recommend further evaluation by a licensed HVAC professional to confirm conditioned air is not escaping the system.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## Heating & Air Handler Equipment

**Inspection Status:** I - Inspected

**Type:** Heat pump

**Furnace Location:** Exterior Area (Combo with AC)

**Fresh Air Intake for Furnace Combustion:** Fresh air intake is not required for heating units utilizing electricity for its energy source

**Flues and Vents:** The heater's flues and vents were in satisfactory condition unless specified in this report.

**Energy Source for Heating:** Electric

**Furnace - Year of Manufacture:** 2018

**Air Handler (Interior Coil) Year of Manufacture:** 2018

## HVAC Automatic Safety Controls

**Inspection Status:** I - Inspected

## Heating & Cooling Distribution System

**Inspection Status:** I - Inspected

**Heating and Cooling Distribution Type:** Ducts

## Solid Fuel Heating Devices (Fireplaces)

**Inspection Status:** I - Inspected

**Type:** Fireplace

**Fireplace Fuel Type:** Wood

**Flues And Vents Condition:** The condition of the flues and vents was satisfactory and functional where visible.

### Fireplace Operational but Requires Cleaning

**Location:** Fireplace

**Description:** The fireplace is functional and has been in use. The damper operates correctly. However, the fireplace is due for a cleaning to maintain safe and efficient operation.

**Recommendation:** Schedule a professional cleaning of the fireplace to remove accumulated soot and debris, ensuring safe and efficient operation.

**Severity:** MONITOR / MAINTENANCE ITEMS



## CHIMNEY AND FIREPLACE - DEBRIS BUILD UP

**Location:** LIVINGROOM

**Description:** Debris build up noted in the fire place and flue. Recommend a licensed contractor evaluate for removal/repair.

**Recommendation:** Contact a qualified chimney sweep.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## Cooling System Function

**Inspection Status:** I - Inspected

## Heating System Function

**Inspection Status:** I - Inspected

## Thermostat

**Inspection Status:** I - Inspected

**Thermostat Operation - Heating Mode:** The thermostat was operated in heating mode. The heating equipment responded to the thermostat controls as expected.

**Thermostat Operation - Cooling Mode:** The thermostat was operated in cooling mode. The cooling equipment responded to the thermostat controls as expected.

## Filters

**Inspection Status:** I - Inspected

**Air Filter Condition:** The HVAC system air filter was dirty at the time of the inspection.

**Filter Location:** Hallway Ceiling, Living Room Ceiling

**Filter Size:** Unknown

## Evaporative cooler

**Inspection Status:** I - Inspected

**Refrigerant Lines (obsolete)**

**Inspection Status:** NI - Not Inspected

**Air Purification and Sterilization System**

**Inspection Status:** NI - Not Inspected

## Plumbing

### Irrigation System

**Inspection Status:** I - Inspected

### Grounds Plumbing

**Inspection Status:** I - Inspected

**Visible Exterior Water Supply and Distribution Piping Materials Type:** Copper Piping, PVC Piping

**Cross-Connections:** One or more potential cross-connections were noted below

**Visible Plumbing Drain Material Type:** ABS

**Water Pressure:** 77

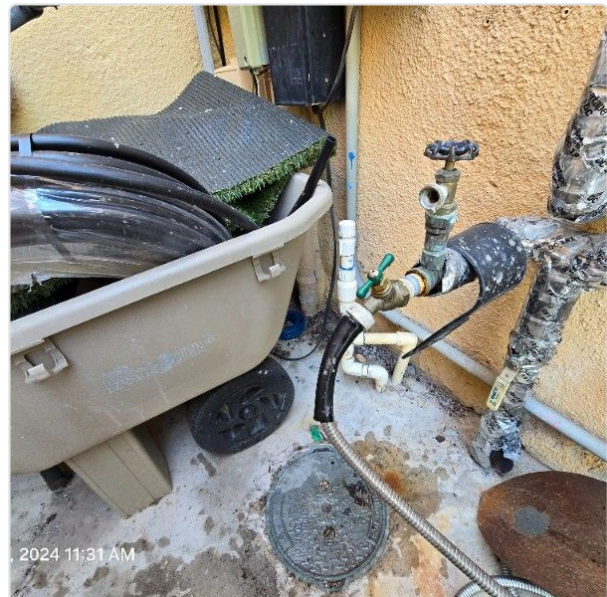
### WATER LINE - CORROSION

**Location:** WEST SIDE OF STRUCTURE

**Description:** Corrosion noted on an exterior plumbing lines or fittings. Corrosion may eventually compromise the plumbing and leak. Recommend a licensed contractor evaluate for repair.

**Recommendation:** Contact a qualified plumbing contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS





## NO SERVICE

**Location:** SOUTH PATIO

**Description:** No water service noted at one or more exterior faucets. Recommend a licensed contractor evaluate for repair.

**Recommendation:** Contact a qualified plumbing contractor

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



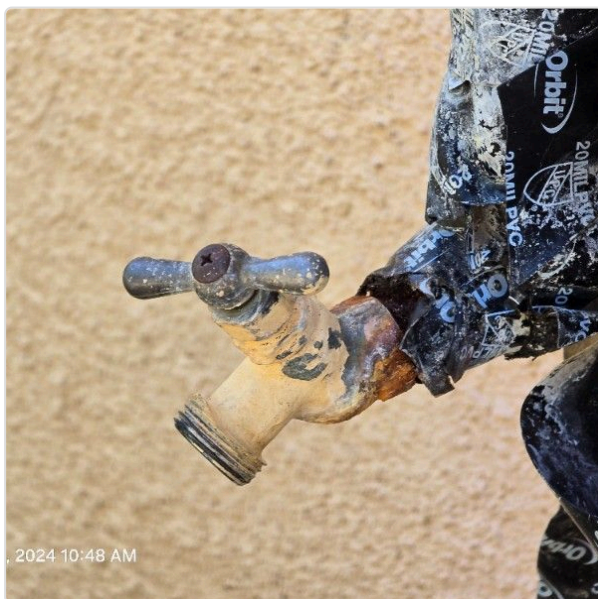
## WATER LINE - CORROSION

**Location:** NORTH SIDE OF STRUCTURE

**Description:** Corrosion noted on an exterior plumbing lines or fittings. Corrosion may eventually compromise the plumbing and leak. Recommend a licensed contractor evaluate for repair.

**Recommendation:** Contact a qualified plumbing contractor

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS





## WATER METER / WATER SHUTOFF - BURIED

**Location:** DRIVEWAY

**Description:** The main water shutoff valve was buried and not accessible. Recommend removing dirt and exposing the valve to allow quick shutoff in the event of an emergency. Due to the inaccessibility of the water meter display, we are unable to observe the water meter to identify potential leaks that could not be discovered from visual inspection. Recommend excavation of the water meter and observation of the display to confirm integrity of property's water supply lines.

**Recommendation:** Contact a handyman or DIY project

**Severity:** MONITOR / MAINTENANCE ITEMS



## SEWER CAMERA-SCOPE RECOMMENDED

**Location:**

**Description:** FYI - The type and condition of all underground plumbing is unable to be evaluated during a home inspection. Repairs to underground plumbing can be costly. It is recommended to have the health and condition of the underground drain evaluated with a sewer scope camera.

**Recommendation:** Contact a qualified plumbing contractor

**Severity:** MONITOR / MAINTENANCE ITEMS

## Interior Plumbing

**Inspection Status:** I - Inspected

**Visible Interior Water Supply and Distribution Piping Materials Type:** Copper Piping

**Visible Drain, Waste and Vent Piping Materials:** ABS

**Operation of Plumbing Fixtures And Faucets:** All fixtures and faucets in the home were operated using their standard operating controls. The condition of the visible portions of the plumbing fixtures and faucets was functional and serviceable.

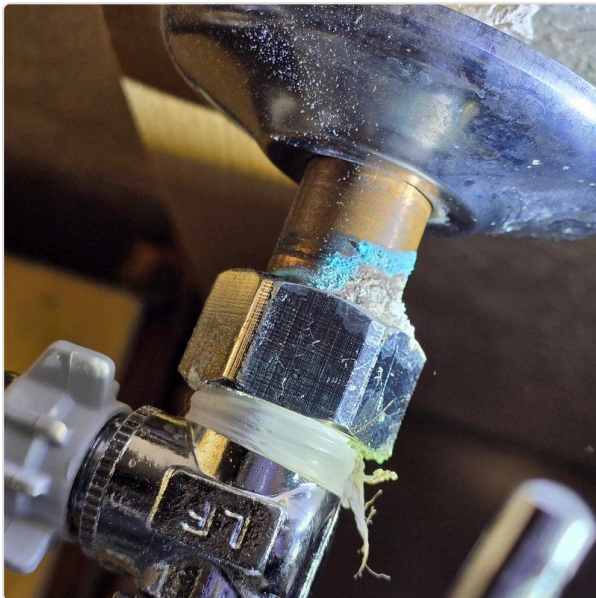
### Corroded and Leaking Angle Stops in Hall Bathroom

**Location:** Hall bathroom

**Description:** Angle stops in the hall bathroom exhibit signs of corrosion and leakage. There are indications of a leak behind the fixture, and corrosion is present on the upper parts. Similar components throughout the house may be affected.

**Recommendation:** Evaluate all angle stops in the house for condition and replace as necessary to prevent leaks and further corrosion.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS





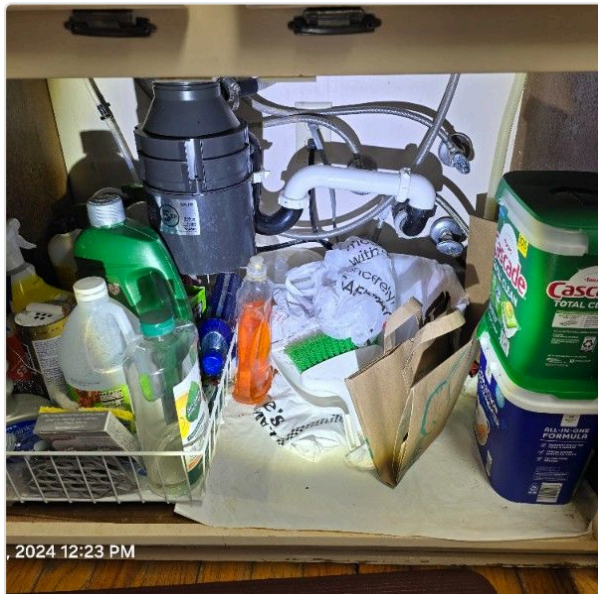
## PLUMBING - INDICATIONS OF PREVIOUS LEAK

**Location:** KITCHEN

**Description:** There are indications of a previous leak. No active leaking was noted at the time of the inspection.

**Recommendation:** Contact a qualified plumbing contractor

**Severity:** MONITOR / MAINTENANCE ITEMS



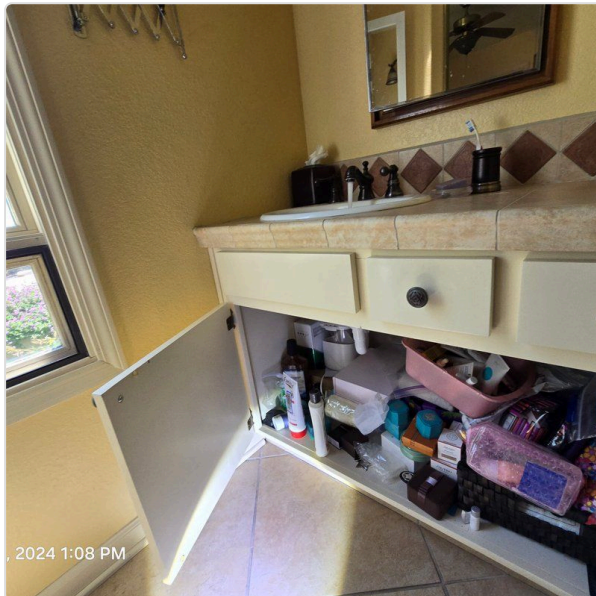
## Significant Buildup on Angle Stop

**Location:** His-and-Hers Bathroom

**Description:** There is significant buildup observed on the angle stop in the his-and-hers bathroom, which may affect water flow or valve operation.

**Recommendation:** Recommend cleaning and inspection of the angle stop to assess for corrosion or blockage and replacement if necessary to ensure proper function.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



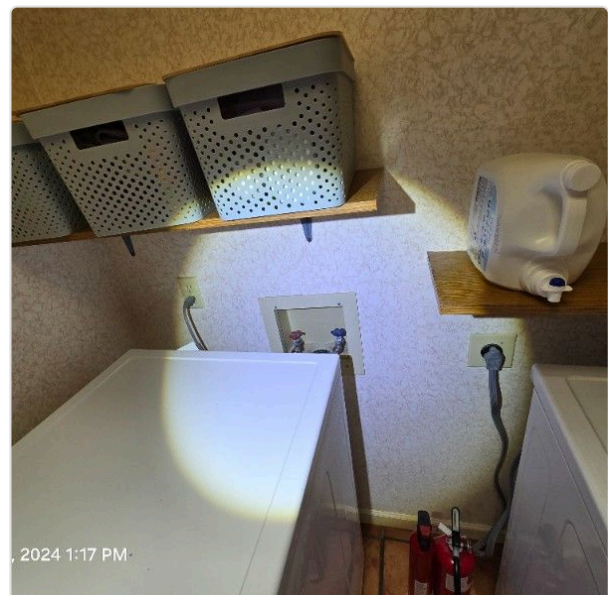
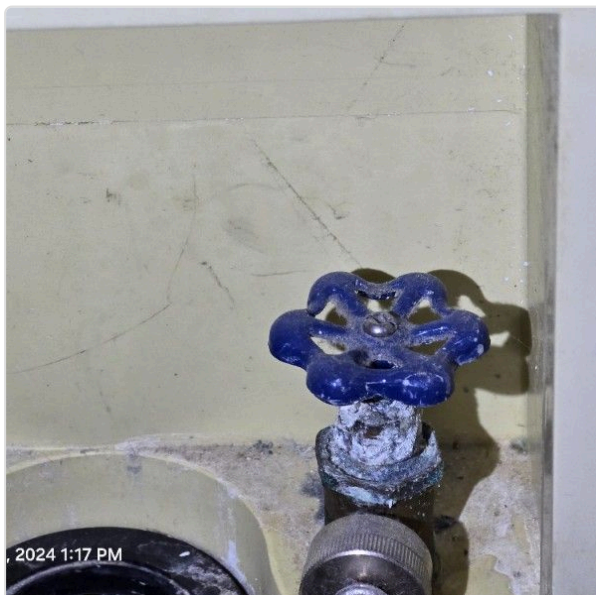
## PLUMBING - CORROSION/BUILDUP

**Location:** LAUNDRY

**Description:** Parts of the plumbing fittings have evidence of corrosion or build-up. Recommend correction to prevent future water leaks. Handle on hot water supply damaged.

**Recommendation:** Contact a qualified plumbing contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS





## Corroded and Leaking Angle Stops in Hall Bathroom

**Location:** Hall Bathroom

**Description:** Angle stops in the hall bathroom exhibit signs of leakage and corrosion. Similar components throughout the house may also be affected.

**Recommendation:** Evaluate all angle stops in the house for condition and replace as necessary to prevent leaks and further corrosion.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## Shower and Bath

**Inspection Status:** I - Inspected

## Toilet

**Inspection Status:** I - Inspected



## Bidet Not Tested in South Bathroom

**Location:** South Bathroom

**Description:** The bidet fixture in the south bathroom was not tested during the inspection.

**Recommendation:** Perform functional testing of the bidet to verify proper operation and identify any defects or issues.

**Severity:** MONITOR / MAINTENANCE ITEMS



## Bathroom Ventilation

**Inspection Status:** I - Inspected

**Bathroom Ventilation Type:** Exhaust Fan

## Laundry and Laundry Room Ventilation

**Inspection Status:** I - Inspected

**Laundry Room Ventilation:** Room ventilation was present in the laundry room

**Laundry Ventilation (Dryer Venting) Condition:** Observations noted on the condition of the laundry ventilation below. All other visible areas of the laundry ventilation appeared satisfactory and functional.

## Seized Laundry Vent

**Location:** Laundry Room

**Description:** The laundry vent is producing sounds indicative of being seized, suggesting restricted or impaired movement.

**Recommendation:** Inspect and service the laundry vent to restore proper function and ensure unobstructed airflow.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



## Water Heater

### Water Heater Condition

**Inspection Status:** I - Inspected

**Water Heater Location:** Garage

**Fuel/Energy Source Type:** Electric, Solar

**Water Heater - Year of Manufacture:** 2019

### SOLAR HOT WATER EQUIPMENT - NOT INSPECTED

**Location:** GARAGE

**Description:** Then function and condition of the solar hot water components were not evaluated.

**Recommendation:** Contact a qualified plumbing contractor

**Severity:** MONITOR / MAINTENANCE ITEMS

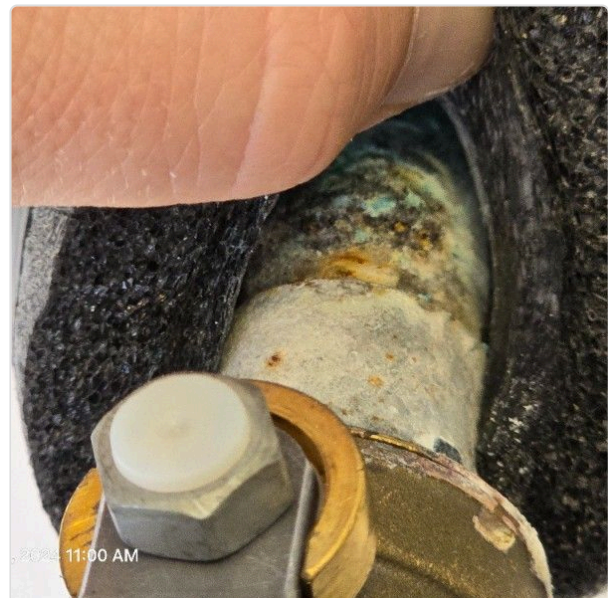
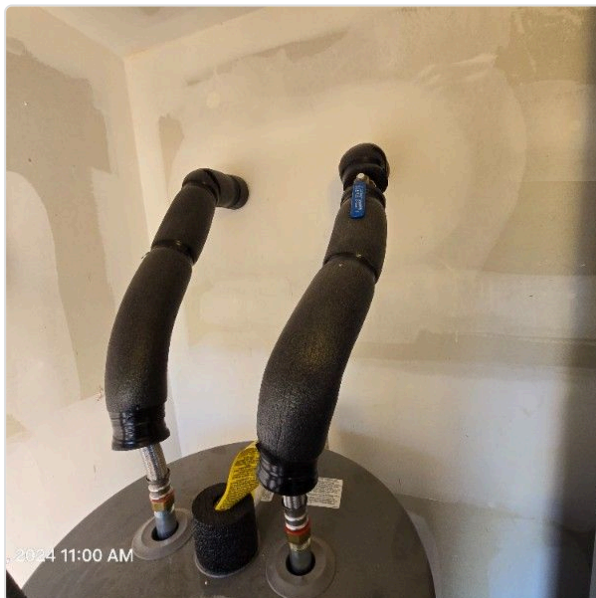
### WATER HEATER PLUMBING - CORROSION BUILD UP / POSSIBLE LEAK

**Location:** NE CORNER EXTERIOR CLOSET

**Description:** Corrosion build up noted along the water heater plumbing lines and/or fittings. Recommend a licensed contractor evaluate for repair/replacement.

**Recommendation:** Contact a qualified plumbing contractor.

**Severity:** RECOMMENDATIONS / IMPROVEMENT ITEMS



### Heater Enclosure

**Inspection Status:** I - Inspected

### Plumbing

**Inspection Status:** I - Inspected



**Automatic Safety Controls**

**Inspection Status:** I - Inspected

**Flues and Vents**

**Inspection Status:** I - Inspected

**Satisfactory Air for Combustion**

**Inspection Status:** I - Inspected

## Built-In Appliances

### Dishwasher

**Inspection Status:** I - Inspected

#### DISHWASHER - NOT MOUNTED

**Location:** KITCHEN

**Description:** The dishwasher is not mounted to the cabinets/counter tops. Recommend securely mounting the dishwasher so the unit does not move when the door is being operated.

**Recommendation:** Contact a qualified handyman.

**Severity:** MONITOR / MAINTENANCE ITEMS



### Refrigerator

**Inspection Status:** I - Inspected

#### REFRIGERATOR - NOT BUILT-IN

**Location:**

**Description:** Appliances not built-in or permanently affixed to the home are not tested. No part of the refrigerator was tested or inspected.

**Recommendation:**

### Washer & Dryer

**Inspection Status:** I - Inspected

## Pool/Spa

### Child-safe Barriers

**Inspection Status:** I - Inspected

**Child-safe Barrier:** Fencing with self-closing/self-latching gates, Pneumatic door closers, Alarms

### POOL FENCE - FURTHER REVIEW

**Location:** POOL

**Description:** The fence and gate around the pool may not meet the safety requirements for the local jurisdiction. Recommend further review to determine if fence and gate are compliant

**Recommendation:** Contact a qualified fencing contractor

**Severity:** MATERIAL DEFECTS / SAFETY ITEMS

