



70345 BLUE RIDGE MOUNTAIN

TUCSON, ARIZONA, 85750

PLUS SEVEN INSPECTION - SAMPLE REPORT

INSPECTOR: EVANDER SMITH

Proudly Completed by Plus Seven Inspect



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Plus Seven Inspection - SAMPLE REPORT

70345 Blue Ridge Mountain

Tucson, Arizona 85750

Inspection Date: Invalid Date

Inspection Type: Home Inspection

Client: Steve Williams

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Inspection Details

Scope of Inspection

The Inspector will perform a visual inspection and prepare a written report of the apparent condition of the readily accessible installed systems and components of the property existing at the time of the inspection. Latent and concealed defects and deficiencies are excluded from the inspection. The parties agree that the Arizona Standards of Practice (the Standards) shall define the standard of duty and the conditions, limitations, and exclusions of the inspection and are provided herein. If the State/ Province where the inspection is performed imposes more stringent standards or administrative rule, then those standards shall define the standard of duty and the conditions, limitations, and exclusions of the inspection. Standards of Professional Practice for Arizona Home Inspectors.

Understanding Your Report

Explanation of Ratings Used in This Report

IN= Inspected - The visible portions of a system or component were inspected and found to be functioning properly, or in acceptable condition at the time of the inspection unless accompanied by an Observation. No further comment is necessary but additional information may be included.

NI = Not Inspected - Inspector did not inspect this item, component or unit, and made no representations of whether or not it was functioning as intended.

NP = Not Present - This indicates that a system or component was not present at the time of inspection. If the system or component should have been present, a comment will follow.

O = Observation - This indicates that an action is recommended.

MONITOR / MAINTENANCE ITEMS: Maintenance items, DIY items, or recommended upgrades will fall into this category. These concerns may ultimately cause issues if left neglected for extended periods of time.

RECOMMENDATIONS / IMPROVEMENT ITEMS: A functional component that is not operating as intended or defective. Items that inevitably lead to, or directly cause (if not addressed in a timely manner) adverse impact on the value of the home, or unreasonable risk (unsafe) to people or property. These concerns typically require further evaluation or may be more complicated to remedy.

MATERIAL DEFECTS / SAFETY ITEMS: A specific issue with a system or component that may have a significant, adverse impact on the condition of the property, or that poses an immediate risk to people or property.

Summary of Observations

MATERIAL DEFECTS / SAFETY ITEMS

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Exterior Areas

Porch, Areaways and Railings

- PORCH - BEAM SAGGING

Electrical Panel and Service

Smoke Detectors

- SMOKE DETECTOR - MISSING

Distribution Panel

- PANEL - FOUR WIRE FEED MISSING

Foundation and Home Structure

Wall Structure + Wall Coverings

- CEILINGS AND WALLS - POSSIBLE ORGANIC GROWTH

Doors

- DOOR TO POOL - MISSING ALARMS / NO AUTO-CLOSE

Pool/Spa

Child-safe Barriers

- POOL FENCE - FURTHER REVIEW

Garage/Carport

Fire Door

- DOOR - NO SELF CLOSING HINGES

Roof

Roof Covering

- EVAPORATIVE COOLER - ABANDONED

RECOMMENDATIONS / IMPROVEMENT ITEMS**30****Plumbing****Grounds Plumbing**

- WATER LINE - CORROSION
- NO SERVICE
- WATER LINE - CORROSION

Interior Plumbing

- PLUMBING - CORROSION/BUILDUP

Water Heater Condition

- WATER HEATER PLUMBING - CORROSION BUILD UP / POSSIBLE LEAK

Electrical Panel and Service**Distribution Panel**

- BREAKER(S) - DOUBLE LUGGED
- UV DAMAGED WIRING
- PANEL - OPEN KNOCKOUTS

Overcurrent Protection Devices

- WEATHERPROOF COVER(S) - MISSING IN-USE WEATHERPROOF COVER

Switches, Lights and Fans

- CEILING FAN - INOPERABLE

Smoke Detectors

- CARBON MONOXIDE DETECTOR - NOT PRESENT

Electrical Receptacles

- RECEPTACLE(S) - LOOSE AT WALL

Foundation and Home Structure**Interior Steps and Stairways**

- HANDRAIL - DOES NOT RETURN TO WALL
- HANDRAIL - TOO LOW

Windows

- WINDOW - FAILED DUAL PANE SEAL

Wall Structure + Wall Coverings

- CEILINGS AND WALLS - WATER DAMAGE

Roof**Roof Covering**

- BUILT UP ROOFING - PONDING
- INSUFFICIENT UNDERLAYMENT

Heating & Cooling**Cooling Equipment**

- UNAPPROVED INSTALLATION OF WINDOW MOUNT AC
- EVAPORATIVE COOLER - MISSING SUPPORT
- DUCT - ROOF DUCTING REQUIRES FURTHER REVIEW

Solid Fuel Heating Devices (Fireplaces)

- CHIMNEY AND FIREPLACE - DEBRIS BUILD UP

Attic / Roof Structure**Roof and Ceiling Structure**

- ROOF STRUCTURE / WATER STAINING
- ROOF STRUCTURE / WATER STAINING

Exterior Areas**Porch, Areaways and Railings**

- RAILING - LARGE GAP

Eaves, Soffits and Facia

- BEAM - WATER DAMAGE
- BEAM - WEATHERING/INCORRECTLY INSTALLED FLASHING

Patio, Walkways and Driveway

- Stairs - Missing Handrails

Siding (Wall Cladding)

- SIDING - VEGETATION GROWING ON SIDING

Garage/Carport

Garage Door and Opener

- GARAGE DOOR - DAMAGE

MONITOR / MAINTENANCE ITEMS

22

Built-In Appliances

- Dishwasher
- DISHWASHER - NOT MOUNTED

Foundation and Home Structure

- Columns
- COLUMNS - WOOD TO EARTH/CONCRETE CONTACT
 - COLUMNS - WOOD TO EARTH/CONCRETE CONTACT

- Doors
- DOOR - LOOSE HARDWARE
 - DOOR - SEALANT WEATHERING
 - DOOR - DIFFICULT TO LOCK

- Wall Structure + Wall Coverings
- CEILINGS AND WALLS - PREVIOUS REPAIRS

- Windows
- WINDOW - WILL NOT OPEN

Electrical Panel and Service

- Switches, Lights and Fans
- LIGHT(S) - NOT FUNCTIONAL / INOPERABLE
 - CEILING FAN - OUT OF BALANCE
 - SWITCH(ES) - UNKNOWN PURPOSE
- Service Equipment / Electrical Panel
- PANEL IDENTIFICATION LABEL MISSING/DAMAGED
 - COVER - INCOMPLETE, INCORRECT, OR MISSING LEGEND

Plumbing

- Interior Plumbing
- PLUMBING - INDICATIONS OF PREVIOUS LEAK
- Grounds Plumbing
- WATER METER / WATER SHUTOFF - BURIED
 - SEWER CAMERA-SCOPE RECOMMENDED

Garage/Carport

- Garage Door and Opener
- GARAGE FRAMED IN

Exterior Areas

- Grading and Drainage
- GRADE - INDICATION OF PESTS
- Siding (Wall Cladding)
- GROUND CLEARANCE - SIDING TO GRADE
 - PRIOR STUCCO REPAIR NOTED
 - STUCCO - HAIRLINE CRACKS

Water Heater

- Water Heater Condition
- SOLAR HOT WATER EQUIPMENT - NOT INSPECTED

General

Attendance:

Buyer Agent present

Occupancy:

Occupied - Furnished: A large quantity of personal and household items observed. Access to some items such as electrical outlets/receptacles; windows; wall/floor surfaces; and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

Weather Conditions:

Clear, Hot

Type of Structure:

Single Family, Detached garage/shop

General Limitations

Roof

Roof Covering

Inspection Status:
I - Inspected

Roof Inspection Method:
Walking on the Roof

Roof Covering Type - Main Structure:
Clay Tile

Roofing Covering Type - Patio:
Clay Tile

Observations

BUILT UP ROOFING - PONDING

Location:
WEST AND SOUTH PATIO ROOF

Description:
Areas of ponding noted along the roof structure. Recommend correction of the slope of the effected area to prevent pooling water from causing accelerated wear on the roof surface.

Recommendation:
Contact a qualified roofing professional.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



INSUFFICIENT UNDERLAYMENT

Location:
SOUTH PATIO

Description:
Underlayment did not extend to the edge of the roof. Recommend further evaluation by a roofing professional and correction of underlayment if roof work is performed on this area.

Recommendation:
Contact a qualified roofing professional.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



EVAPORATIVE COOLER - ABANDONED

Location:
CENTER ROOF

Description:
An evaporative cooler was present on the roof and appeared to longer be in use. Recommend removal of the evaporative cooler to reduce the risk of leaks.

Recommendation:
Contact a qualified general contractor.

Severity:
MATERIAL DEFECTS / SAFETY ITEMS



Vents, Vent Caps and Roof Penetrations

Inspection Status:
I - Inspected

Visible Drain, Waste, Vent Material Type:
ABS

Fireplace Chimney and Flue

Inspection Status:
I - Inspected



Solar Hot Water

Inspection Status:
NI - Not Inspected

Attic / Roof Structure

Roof and Ceiling Structure

Safety Hazard

This area was unsafe to inspect. If you are interested in having this area inspected, please contact me about a follow-up inspection.

Inspection Status:

I - Inspected

Roof and Ceiling Structure Type:

Conventional Framing

Attic Observation Method:

Attic Not Viewed

Observations

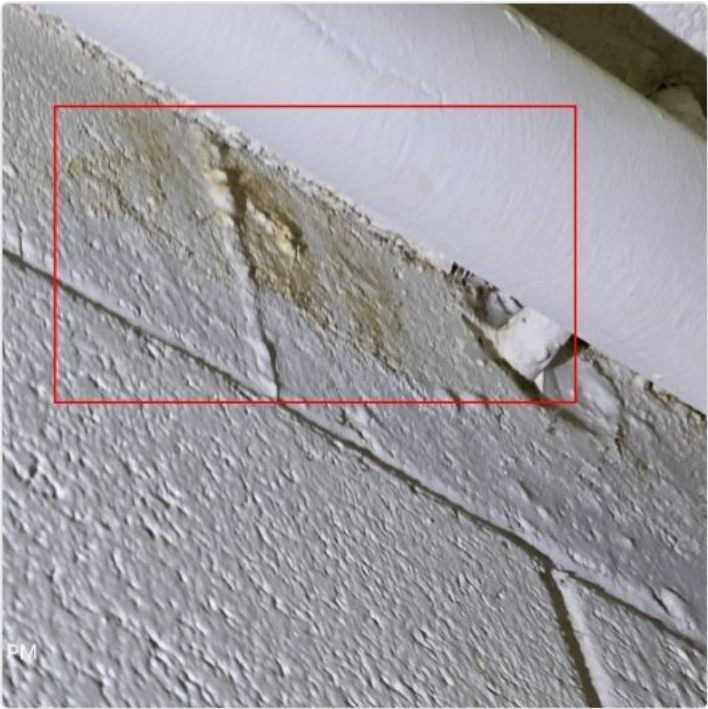
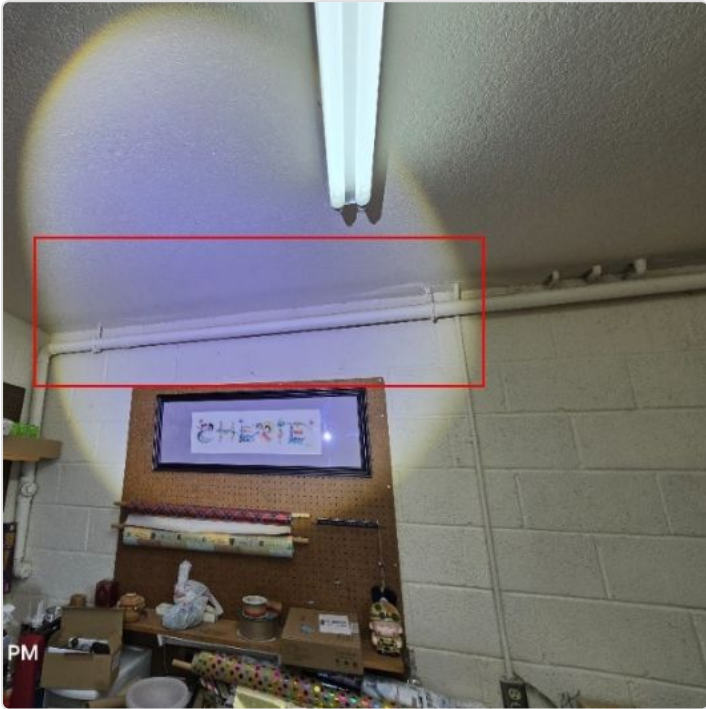
ROOF STRUCTURE / WATER STAINING

Location:
NORTH WALL AND CEILING OF MAIN GARAGE

Description:
Water staining was present in the attic. Recommend identifying the source of the water into the home and repair of water source to prevent further water damage.

Recommendation:
Contact a qualified roofing professional.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



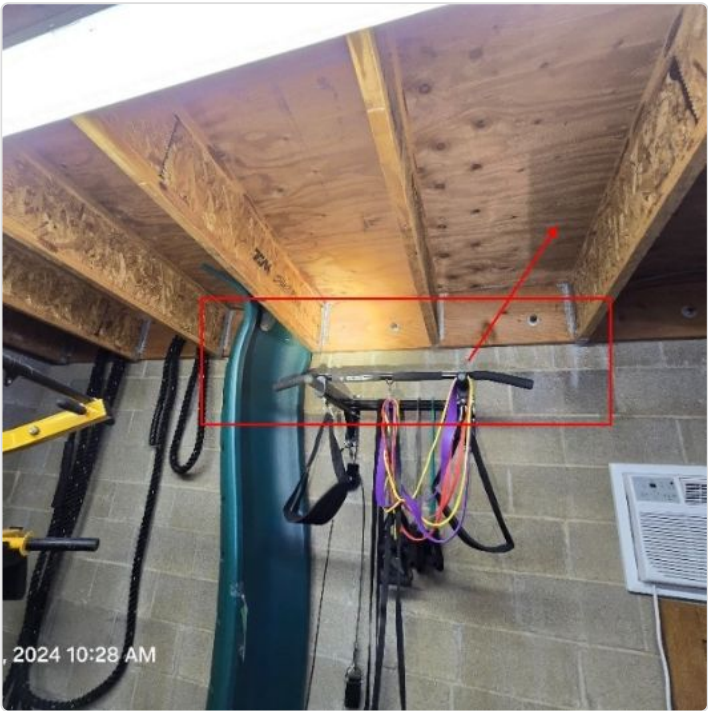
ROOF STRUCTURE / WATER STAINING

Location:
DETACHED GARAGE

Description:
Water staining was present in the attic. Recommend identifying the source of the water into the home and repair of water source to prevent further water damage.

Recommendation:
Contact a qualified roofing professional.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Attic Ventilation

Inspection Status:
I - Inspected

Ventilation Type:
Roof vents

Attic Insulation

Inspection Status:
NI - Not Inspected

Insulation Type:
Unable to determine - No attic access

Approximate Insulation Thickness:
None

Vapor Retarder

Inspection Status:
NI - Not Inspected

Vapor Retarder Type:
None

Exterior Areas

Wall Flashing and Trim

Inspection Status:
I - Inspected

Siding (Wall Cladding)

Inspection Status:
I - Inspected

Wall Cladding Type:
Stucco

Observations

GROUND CLEARANCE - SIDING TO GRADE

Location:
MAIN HOUSE AND DETACHED GARAGE

Description:
The siding is in contact with the grade (earth), or hardscape instead of terminating above the grade. This can allow pests and moisture to more easily enter the home, and make it more difficult to identify the presence of wood-destroying insects. Regular pest inspections are recommended.

Recommendation:
Contact a stucco repair contractor

Severity:
MONITOR / MAINTENANCE ITEMS



SIDING - VEGETATION GROWING ON SIDING

Location:
SOUTHEAST SIDE OF STRUCTURE

Description:
Vegetation was growing on the siding. The presence of vegetation may hold moisture against the home, accelerating the wear of construction materials and may provide a path for pests to enter the home.

Recommendation:
Recommend removal of the vegetation and evaluation of any conditions that may be obscured by the present vegetation.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



PRIOR STUCCO REPAIR NOTED

Location:
NORTH SIDE OF STRUCTURE

Description:
FYI - There are indications that previous repairs to the stucco has been performed. The stucco repair appears satisfactory but should be monitored for future cracking. Recommend inquiring with the seller as to the conditions present that required repair.

Recommendation:
Contact the seller for more info

Severity:
MONITOR / MAINTENANCE ITEMS



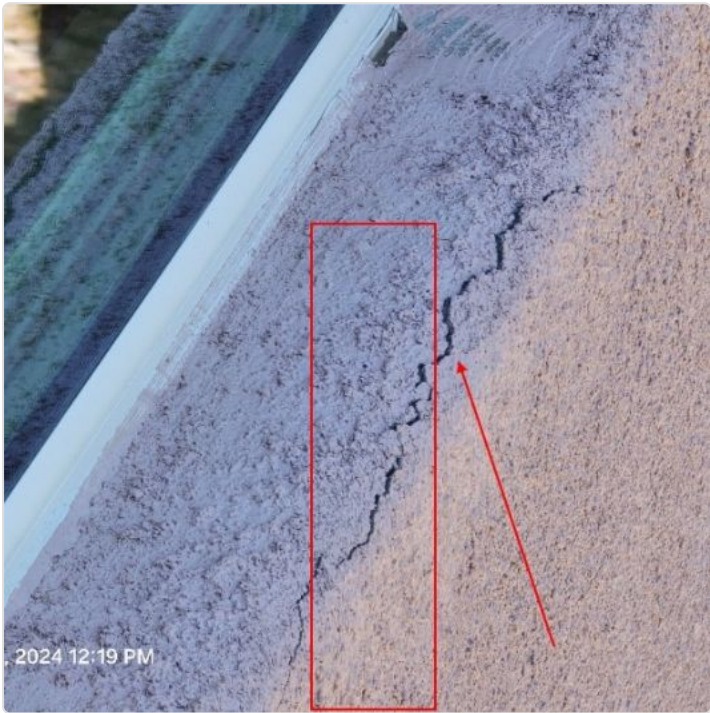
STUCCO - HAIRLINE CRACKS

Location:
EAST SIDE OF STRUCTURE

Description:
One or more stucco cracks noted along the exterior of the home. Patching and painting of cracks is recommended to prevent water from entering behind the stucco.

Recommendation:
Contact a qualified painting contractor.

Severity:
MONITOR / MAINTENANCE ITEMS



Decks, Balconies and Steps

Inspection Status:
I - Inspected

Porch, Areaways and Railings

Inspection Status:
I - Inspected

Porch and Railings Condition:
The condition of the visible portions of the porch were functional and serviceable.

Observations

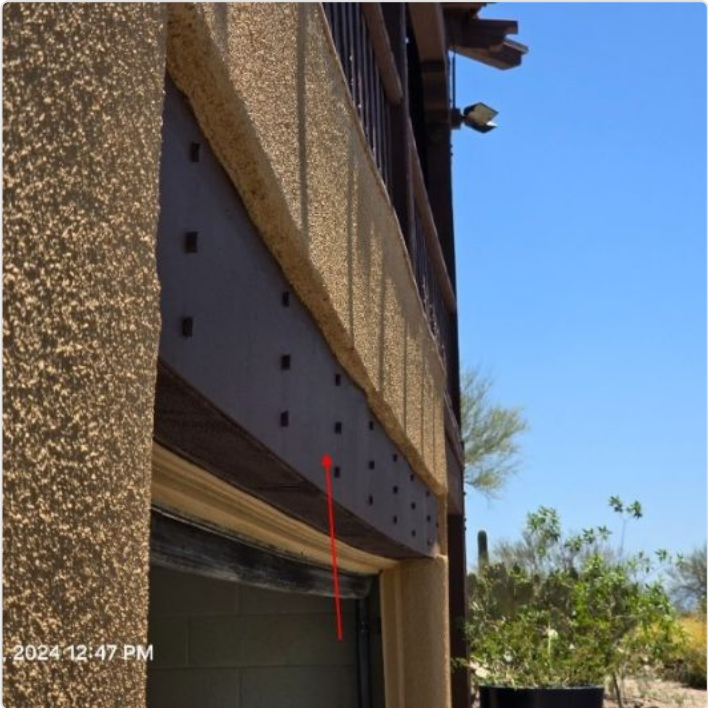
PORCH - BEAM SAGGING

Location:
WEST GARAGE

Description:
Portions of the support beam were sagging. This may indicate an issue with the integrity of the porch. Recommend evaluation and repair.

Recommendation:
Contact a qualified general contractor

Severity:
MATERIAL DEFECTS / SAFETY ITEMS



RAILING - LARGE GAP

Location:
SOUTH PATIO

Description:
The patio hand a large gap in the railing. Recommend further evaluation to bring up to current standards.

Recommendation:
Contact a qualified deck contractor.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Patio, Walkways and Driveway

Inspection Status:
I - Inspected

Observations

Stairs - Missing Handrails

Location:
NORTH ENTRYWAY

Description:
It is recommended to have handrails installed on stairs with 3 or more risers (steps).

Recommendation:
Contact a qualified general contractor.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Grading and Drainage

Inspection Status:
I - Inspected

Observations

GRADE - INDICATION OF PESTS

Location:

WEST DECK

Description:

There are indications that pests may be present or were present in the past. Recommend a qualified pest control company to evaluate.

Recommendation:

Contact a qualified pest control specialist.

Severity:

MONITOR / MAINTENANCE ITEMS



Vegetation Observations

Inspection Status:

I - Inspected

Fence and Gate

Inspection Status:

I - Inspected

Foundation and Home Structure

Foundation

Inspection Status:
I - Inspected

Foundation Type:
Slab on grade

Foundation Condition:
The condition of the visible areas of the foundation were in satisfactory condition.

Floor Structure + Floor Coverings

Inspection Status:
I - Inspected

Floor Stucture Type:
Concrete, Wood framed

Floor Structure Condition:
Large portions of the floor structure are not visible due to the construction of the home. Visible portions of the home structure were in satisfactory condition.

Floor Covering Condition:
Observations were made on the condition of the floor covering. Other areas of the floor covering were in satisfactory condition.

Wall Structure + Wall Coverings

Inspection Status:
I - Inspected

Wall Structure Type:
Masonry Block, Wood Framed

Wall Structure Condition:
Due to the construction of the home large portions of the wall structure were not visible. The visible portions of the wall structure were in satisfactory condition.

Walls and Ceiling Condition:
The condition of the visible portion of walls and ceilings was satisfactory.

Observations

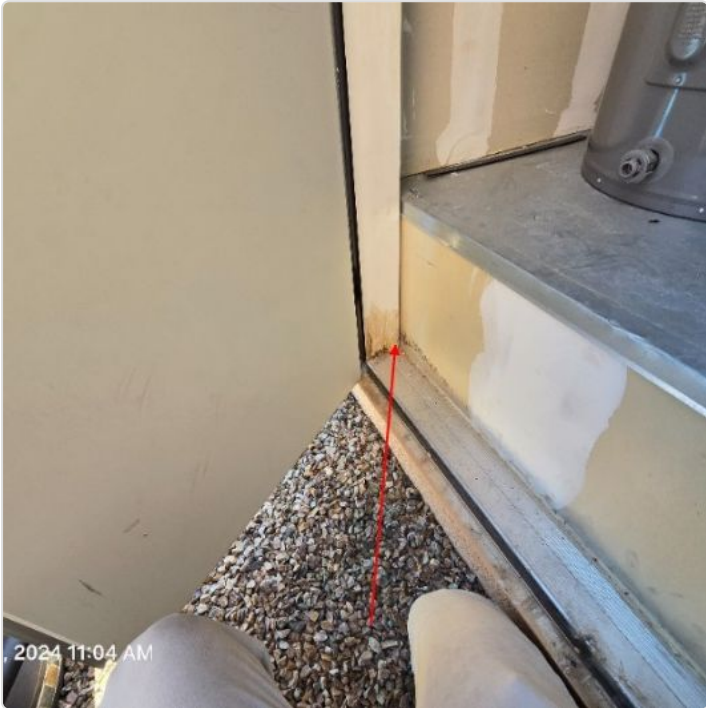
CEILING AND WALLS - POSSIBLE ORGANIC GROWTH

Location:
NORTHEAST EXTERIOR UTILITY CLOSET

Description:
There is possible organic growth on the walls. Further evaluation is recommended, and remediation if required.

Recommendation:
Contact a qualified mold inspection professional

Severity:
MATERIAL DEFECTS / SAFETY ITEMS



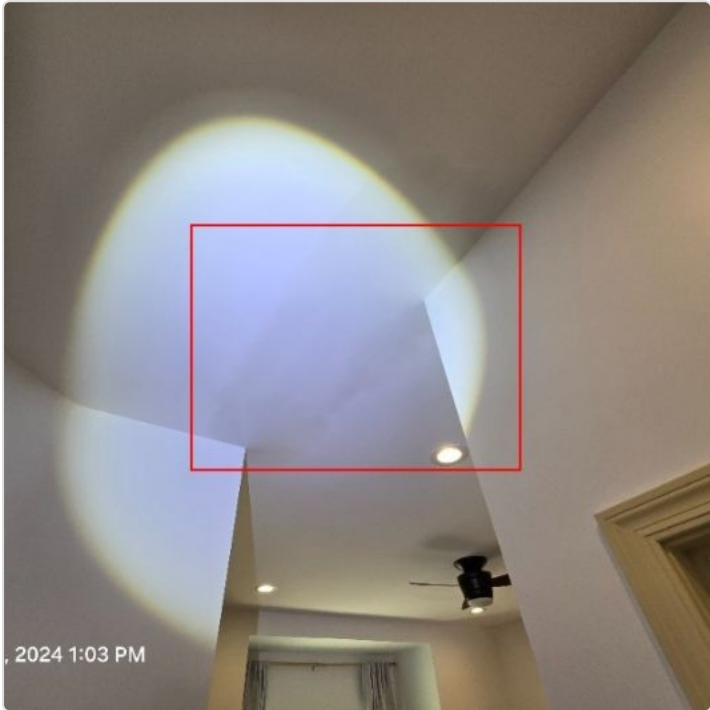
CEILINGINGS AND WALLS - PREVIOUS REPAIRS

Location:
NORTHEASTERN BEDROOM CEILING

Description:
FYI - Indications of previous repairs were noted. Recommend clarifying with the seller as to the conditions that necessitated the repairs.

Recommendation:
Contact the seller for more info

Severity:
MONITOR / MAINTENANCE ITEMS



CEILINGINGS AND WALLS - WATER DAMAGE

Location:
GARAGE

Description:
Water stains/water damage noted. Recommend evaluation for potential water intrusion issues and repair/replace affected wall coverings as required.

Recommendation:
Contact a qualified general contractor.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Columns

Inspection Status:
I - Inspected

Column Type:
Wood

Observations

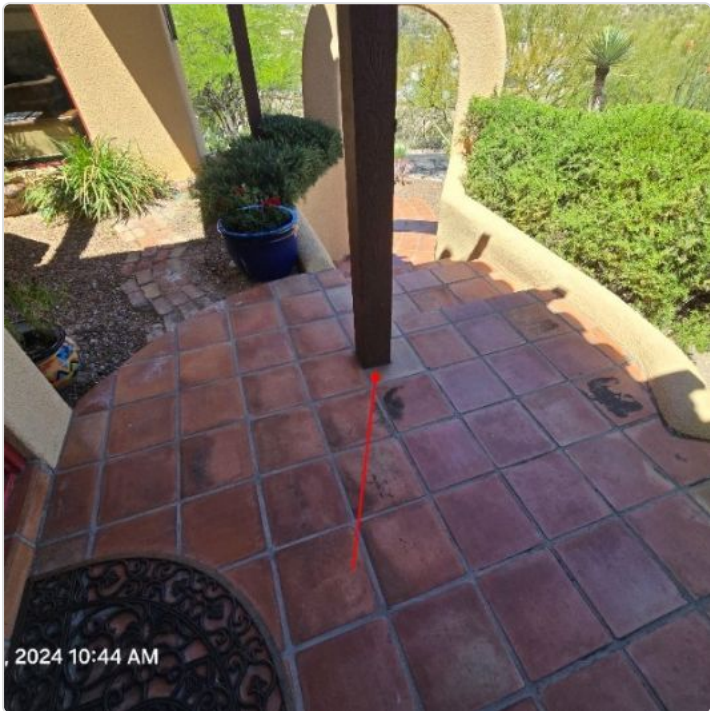
COLUMNS - WOOD TO EARTH/CONCRETE CONTACT

Location:
FRONT PORCH

Description:
The posts show areas of wood contacting earth/concrete. This can drastically accelerate degradation or rotting of the column. Recommend installation of a standoff base underneath the column.

Recommendation:
Contact a qualified general contractor

Severity:
MONITOR / MAINTENANCE ITEMS



COLUMNS - WOOD TO EARTH/CONCRETE CONTACT

Location:
SOUTH PATIO

Description:
The posts show areas of wood contacting earth/concrete. This can drastically accelerate degradation or rotting of the column. Recommend installation of a standoff base underneath the column.

Recommendation:
Contact a qualified general contractor.

Severity:
MONITOR / MAINTENANCE ITEMS



Doors

Inspection Status:
I - Inspected

Observations

DOOR - LOOSE HARDWARE

Location:
KITCHEN

Description:
The door hardware appears to be loose. Recommend repair to allow proper operation of the door.

Recommendation:
Contact a qualified handyman.

Severity:
MONITOR / MAINTENANCE ITEMS



DOOR - SEALANT WEATHERING

Location:
SOUTHEAST SIDE OF STRUCTURE

Description:
Portions of the door sealant is weathered. Recommend recoating to prevent damage from rain water and sun exposure.

Recommendation:
Contact a qualified painting contractor.

Severity:
MONITOR / MAINTENANCE ITEMS



DOOR TO POOL - MISSING ALARMS / NO AUTO-CLOSE

Location:
SOUTH PATIO

Description:
Any doors granting access to the pool area should have an auto close/auto latch device installed and alarms according to some areas' current standards to prevent accidental access to the pool area. Recommend further evaluation of local regulations to determine if safety measures are required.

Recommendation:
Contact a qualified swimming pool contractor

Severity:
MATERIAL DEFECTS / SAFETY ITEMS

DOOR - DIFFICULT TO LOCK

Location:
KITCHEN

Description:
The door was difficult to lock. Recommend adjusting the hardware to allow smooth operation of the door.

Recommendation:
Contact a handyman or DIY project

Severity:
MONITOR / MAINTENANCE ITEMS



Windows

Inspection Status:
I - Inspected

Observations

WINDOW - FAILED DUAL PANE SEAL

Location:
EAST SIDE OF STRUCTURE

Description:
There are indications that a dual pane window seal has failed. Recommend replacement to ensure the appropriate insulating value of the window is achieved.

Recommendation:
Contact a qualified window repair/installation contractor.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



WINDOW - WILL NOT OPEN

Location:
NORTH BEDROOM

Description:
The window does not appear operable or was stuck and would not open at the time of the inspection. Recommend repairs to allow the window to open as designed.

Recommendation:
Contact a qualified window repair/installation contractor.

Severity:
MONITOR / MAINTENANCE ITEMS

Interior Steps and Stairways

Inspection Status:
I - Inspected

Steps And Stairways:
Observations noted on the condition of the steps and stairways below. All other visible areas of the steps and stairways appeared satisfactory and functional.

Observations

HANDRAIL - DOES NOT RETURN TO WALL

Location:
GARAGE

Description:
The stairway handrails end do not return to wall. This can cause a person's clothing to catch when using the handrail. Recommend repairs or improvements to reduce the risk of injury.

Recommendation:
Contact a qualified general contractor.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



HANDRAIL - TOO LOW

Location:

GARAGE

Description:

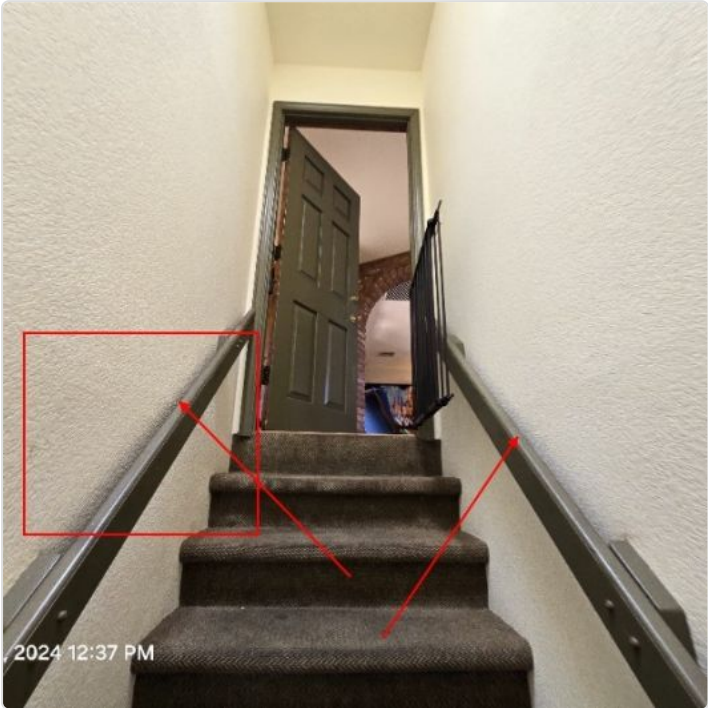
The handrail height was too low. Recommend replacing with the handrail to prevent accidental falls.

Recommendation:

Contact a qualified general contractor

Severity:

RECOMMENDATIONS / IMPROVEMENT ITEMS



Garage/Carport

Garage Door and Opener

Inspection Status:

I - Inspected

Garage Door Opener Testing:

The garage door opener was tested using the standard operating controls. Observations about the condition of the garage door and opener were noted. The rest of the system was in serviceable and functional condition.

Garage Door Safety Reverse - IR Beam and Resistance-Sensitive Auto Reverse Test:

Observations were made on the function of the garage door auto-reverse systems.

Observations

GARAGE FRAMED IN

Location:

DETACHED GARAGE

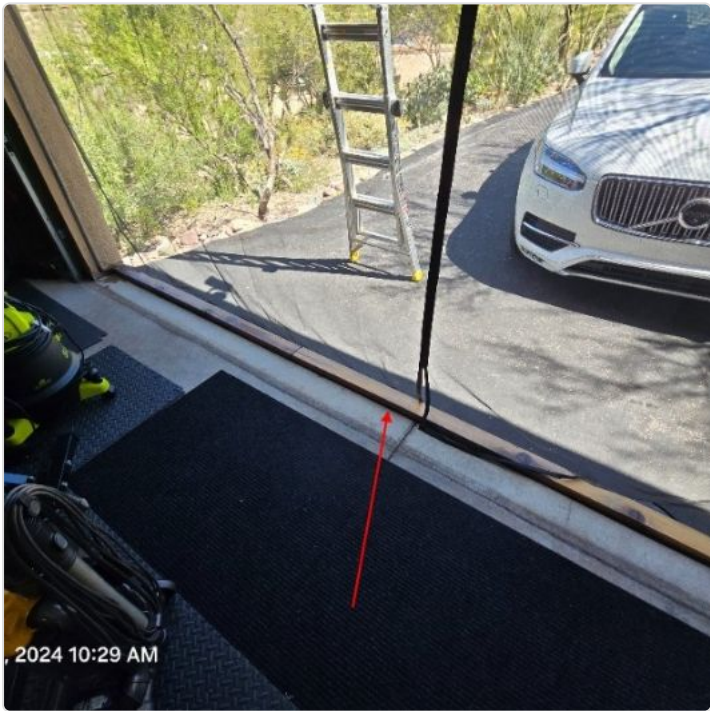
Description:

Garage is framed in for the addition of a mesh screen. Garage is not usable for car use unless framing is removed. Recommend removing framing if use for vehicles is required.

Recommendation:

Severity:

MONITOR / MAINTENANCE ITEMS



GARAGE DOOR - DAMAGE

Location:
GARAGE

Description:
Damage noted at the garage door panel. Damage does not appear to affect the operation of the door. Recommend repair of affected garage door panels

Recommendation:
Contact a qualified garage door contractor.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Electrical Panel and Service

Service Entrance

Inspection Status:
I - Inspected

Service Entrance Type:
Underground Service Lateral

Service Entrance Conductors

Inspection Status:
I - Inspected

Service Entrance Conductors Type:
Stranded Copper

Service Amperage and Voltage

Inspection Status:
I - Inspected

Service Voltage:
120/240VAC

Service Amperage:
200 Amps

Service Equipment / Electrical Panel

Neutral(s) - Overheated

A neutral conductor showed signs of overheating. Evaluation and repairs as needed is recommended by a licensed electrician.

Inspection Status:
I - Inspected

Electrical Panel / Service Equipment Location:
West Side of Structure

Observations

PANEL IDENTIFICATION LABEL MISSING/DAMAGED

Location:
MAIN PANEL - WEST SIDE OF STRUCTURE

Description:
Limitation - The electrical panel label was missing or otherwise illegible. Electrical panel labels contain important information regarding amperage, voltages, permitted breakers, ground lug quantities, schematics, etc. The proper installation or condition of any components that depend on information contained on this label are excluded from this inspection.

Recommendation:

Severity:
MONITOR / MAINTENANCE ITEMS



COVER - INCOMPLETE, INCORRECT, OR MISSING LEGEND

Location:
MAIN PANEL - WEST SIDE OF STRUCTURE

Description:
The legend for the electrical panel was missing, incomplete, or incorrect. A proper legend is required so that breakers are properly labeled, ensuring correct circuits are shut off in case of the need of service, etc. Complete, legible labeling of all circuit breakers is recommended.

Recommendation:
Contact a qualified electrical contractor.

Severity:
MONITOR / MAINTENANCE ITEMS



Distribution Panel

Inspection Status:
I - Inspected

Distribution Panel(s) Location:
Northwest Exterior

Observations

BREAKER(S) - DOUBLE LUGGED

Location:

DISTRIBUTION PANEL - NORTHEAST SIDE OF STRUCTURE

Description:

Double lugged breaker(s) were present in the panel. This is where two conductors (wires) are under the lug (screw) of a breaker. The breaker may only rated for one conductor, and the lug can not be torqued to proper specs with two wires present. Recommend evaluation and repair

Recommendation:

Contact a qualified electrical contractor

Severity:

RECOMMENDATIONS / IMPROVEMENT ITEMS



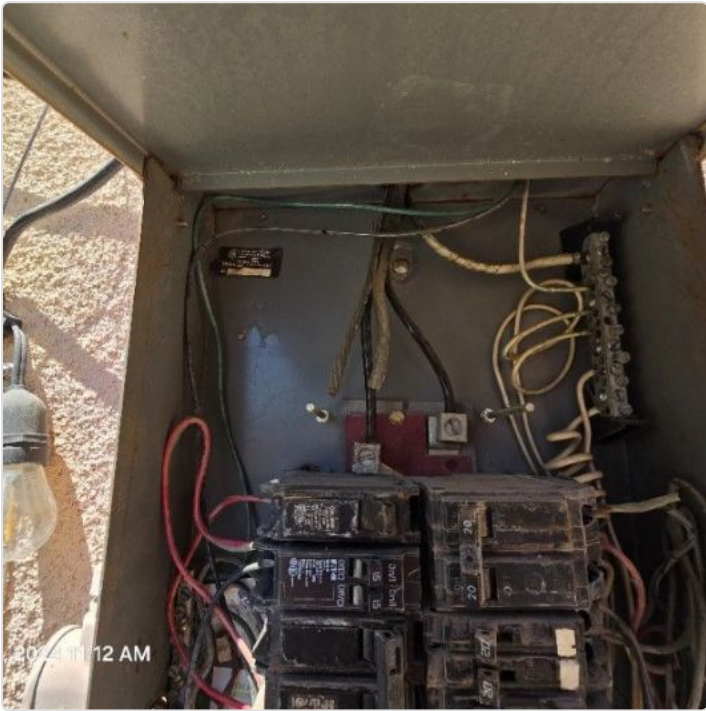
UV DAMAGED WIRING

Location:
EAST EXTERIOR - POOL PANEL

Description:
Advanced UV damage was noted on wires inside of panel. Recommend further evaluation by a licensed electrician for repair as required.

Recommendation:

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



PANEL - FOUR WIRE FEED MISSING**Location:**

EAST EXTERIOR - POOL PANEL

Description:

A four wire feed was not present between the main panel, and the distribution panel(s). This can prevent faults from finding their path to service or ground, and is a safety hazard. The installation of a four wire feed is recommended to be conducted by a licensed electrician.

Recommendation:

Contact a qualified electrical contractor.

Severity:

MATERIAL DEFECTS / SAFETY ITEMS



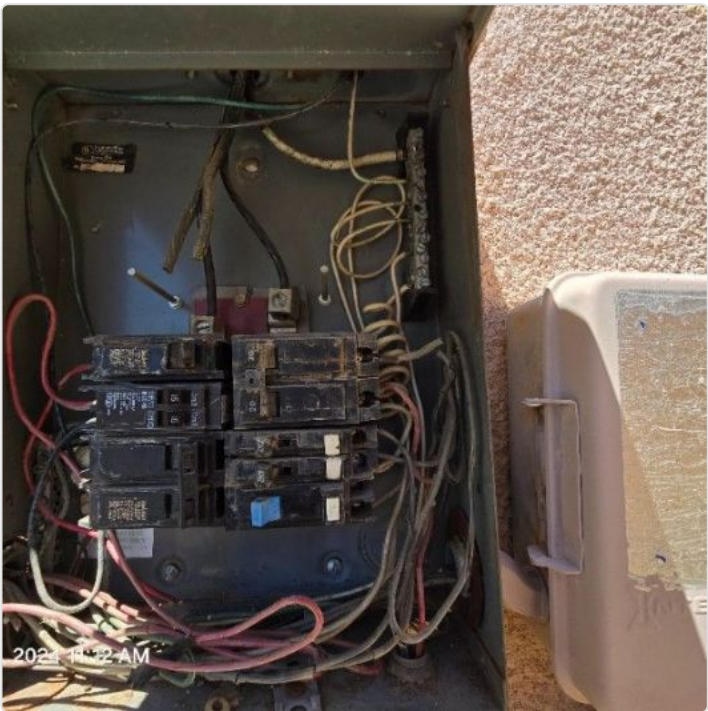
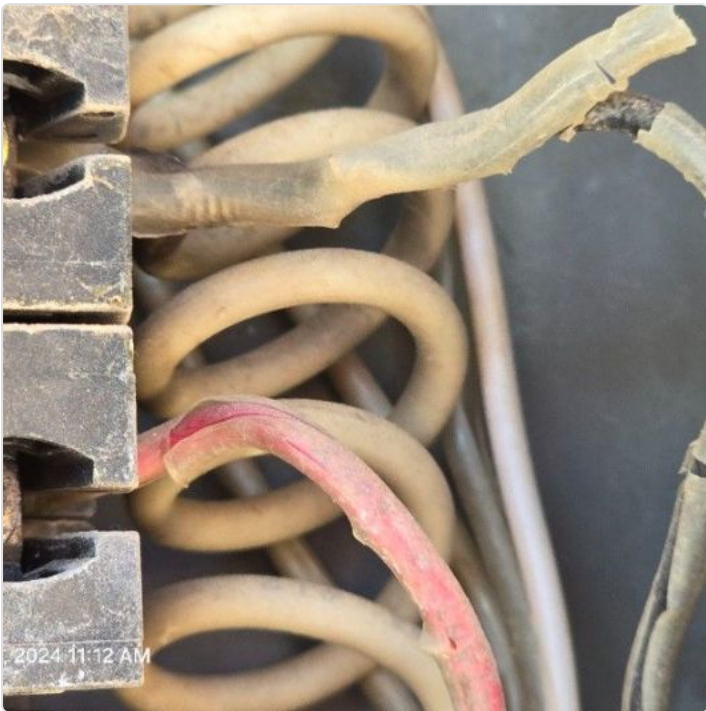
PANEL - OPEN KNOCKOUTS

Location:
EAST EXTERIOR - POOL PANEL

Description:
Open knockout(s) were present in the distribution panel. Knockout caps should be installed by a licensed electrician or other qualified person to keep mice out of the panel box, and to avoid a potential electrocution hazard.

Recommendation:

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Overcurrent Protection Devices

Inspection Status:
I - Inspected

Overcurrent Protection Device Type:
Breakers

Branch Circuit Wire Size and Breaker Compatibility:
Breakers and branch wires are of compatible current capacity and wire gauge

Observations

WEATHERPROOF COVER(S) - MISSING IN-USE WEATHERPROOF COVER

Location:
EAST SIDE OF STRUCTURE

Description:
An in-use exterior receptacle was missing a weatherproof cover rated for continuous use. Recommend installation of a weatherproof cover rated for continuous use.

Recommendation:
Contact a qualified electrical contractor.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Service Grounding

GEC - Metal Water Pipe Replaced with Non-Metal

The GEC once used the steel water service pipe as the grounding electrode, but since the service pipe has been replaced with PVC, the system is no longer grounded. The installation of a new GEC and grounding electrode is recommended by a licensed electrician.

Inspection Status:
I - Inspected

Grounding Electrode Conductor (GEC) Present:
Yes

Electrical Receptacles

Inspection Status:
I - Inspected

Observations

RECEPTACLE(S) - LOOSE AT WALL

Location:

KITCHEN

Description:

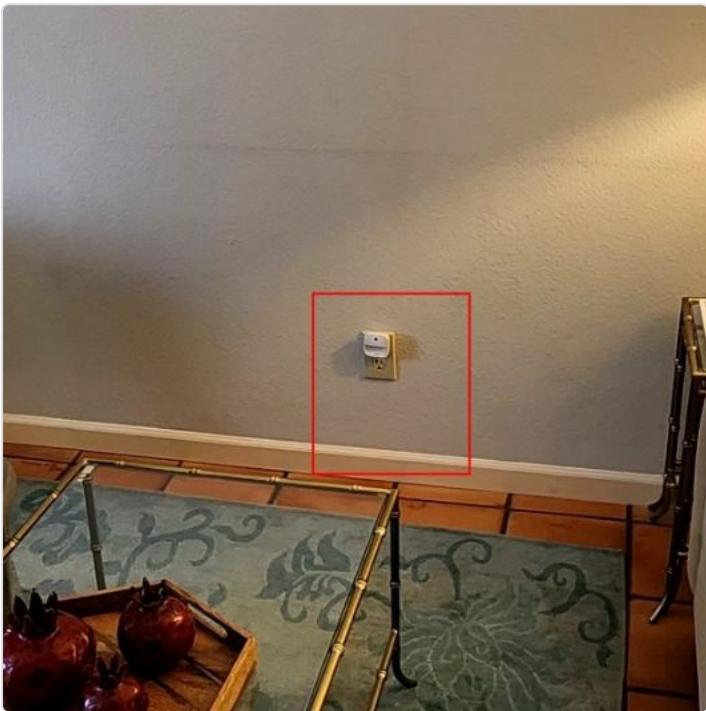
An installed receptacle was loose at the wall. Recommend securing the receptacle in the wall.

Recommendation:

Contact a qualified electrical contractor.

Severity:

RECOMMENDATIONS / IMPROVEMENT ITEMS



Switches, Lights and Fans

Inspection Status:

I - Inspected

Observations

LIGHT(S) - NOT FUNCTIONAL / INOPERABLE

Location:
GARAGE

Description:

The referenced light(s) did not respond to the switch at the time of inspection. Recommend replacement of the lightbulb and further evaluation if replacement of the bulb does not correct the issue.

Recommendation:

Contact a qualified electrical contractor.

Severity:

MONITOR / MAINTENANCE ITEMS



CEILING FAN - INOPERABLE**Location:**

NORTHWEST BEDROOM

Description:

The ceiling fan did not respond to operating controls at the time of the inspection. Recommend repair or replacement of the ceiling fan.

Recommendation:

Contact a qualified electrical contractor

Severity:

RECOMMENDATIONS / IMPROVEMENT ITEMS



CEILING FAN - OUT OF BALANCE

Location:

LIVINGROOM DEN

Description:

The ceiling fan was out of balance. Recommend repair to prevent damage to the fan components and to extend the length the fan's serviceable life.

Recommendation:

Contact a handyman or DIY project

Severity:

MONITOR / MAINTENANCE ITEMS



SWITCH(ES) - UNKNOWN PURPOSE

Location:

FRONT ENTRYWAY

Description:

FYI - There were multiple switch(es) in the referenced area(s) of the home that did not appear to operate anything. It is recommended to consult with the sellers about their operation, and/or evaluation of the switches by a licensed electrician if they have no information.

Recommendation:

Contact the seller for more info

Severity:

MONITOR / MAINTENANCE ITEMS



Smoke Detectors

Inspection Status:

I - Inspected

Observations

SMOKE DETECTOR - MISSING

Location:

PRIMARY BEDROOM

Description:

Modern standards recommend smoke detectors inside every bedroom and in rooms/hallways leading to bedrooms. Recommend installation of a smoke detector in all mentioned areas to alert occupants of an emergency.

Recommendation:

Contact a handyman or DIY project

Severity:

MATERIAL DEFECTS / SAFETY ITEMS

CARBON MONOXIDE DETECTOR - NOT PRESENT

Location:

Description:

There were no carbon monoxide detectors observed in the home at the time of the inspection. Carbon monoxide (CO) is a colorless, odorless, and tasteless gas that is poisonous to humans. The carbon monoxide detector is a safety device that can alert homeowners of a CO leak and help them escape a potentially life-threatening situation.

Recommendation:

Contact a handyman or DIY project

Severity:

RECOMMENDATIONS / IMPROVEMENT ITEMS

Ceiling Fans

Inspection Status:

I - Inspected

Fuses

Inspection Status:

I - Inspected

Generator

Inspection Status:

I - Inspected

Emergency Lighting

Inspection Status:

I - Inspected

Heating & Cooling

Cooling Equipment

- Inspection Status:**
I - Inspected
- Cooling Equipment Type:**
Central Air Conditioning
- Energy Source for Cooling:**
Electric
- Condenser Location:**
East Exterior
- Emergency Disconnect:**
Pull
- Condenser Unit - Year of Manufacture:**
2015
- Condenser Cooling Tonnage:**
2 Ton

Observations

UNAPPROVED INSTALLATION OF WINDOW MOUNT AC

- Location:**
DETACHED GARAGE - EAST WALL
- Description:**
An air conditioner unit that was designed to mount in a window was affixed permanently using unapproved installation techniques and materials. Recommend removing the unit and repairing the affected areas.
- Recommendation:**
Contact a qualified HVAC professional.
- Severity:**
RECOMMENDATIONS / IMPROVEMENT ITEMS



EVAPORATIVE COOLER - MISSING SUPPORT

Location:
ROOF

Description:
Evaporative cooler support missing. Recommend installation of support or removal of evaporative cooler by a licensed roofing contractor to prevent water intrusion and deterioration of roof surface.

Recommendation:
Recommend installation of support or removal of evaporative cooler by a licensed roofing contractor to prevent water intrusion and deterioration of roof surface.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



DUCT - ROOF DUCTING REQUIRES FURTHER REVIEW

Location:
ROOF

Description:
Abandoned evaporative cooler and AC compressor share duct work. Duct separators appear to be painted close and configuration could not be confirmed.

Recommendation:
Recommend further evaluation by a licensed HVAC professional to confirm conditioned air is not escaping the system.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Heating & Air Handler Equipment

Inspection Status:
I - Inspected

Type:
Heat pump

Furnace Location:
Exterior Area (Combo with AC)

Fresh Air Intake for Furnace Combustion:
Fresh air intake is not required for heating units utilizing electricity for its energy source

Flues and Vents:
The heater's flues and vents were in satisfactory condition unless specified in this report.

Energy Source for Heating:
Electric

Furnace - Year of Manufacture:
2018

Air Handler (Interior Coil) Year of Manufacture:
2018

HVAC Automatic Safety Controls

Inspection Status:
I - Inspected

Heating & Cooling Distribution System

Inspection Status:
I - Inspected

Heating and Cooling Distribution Type:
Ducts

Solid Fuel Heating Devices (Fireplaces)

Inspection Status:
I - Inspected

Type:
Fireplace

Fireplace Fuel Type:
Wood

Flues And Vents Condition:
The condition of the flues and vents was satisfactory and functional where visible.

Observations

CHIMNEY AND FIREPLACE - DEBRIS BUILD UP

Location:
LIVINGROOM

Description:
Debris build up noted in the fire place and flue. Recommend a licensed contractor evaluate for removal/repair.

Recommendation:
Contact a qualified chimney sweep.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Cooling System Function

Inspection Status:
I - Inspected

Heating System Function

Inspection Status:
I - Inspected

Thermostat

Inspection Status:
I - Inspected

Thermostat Operation - Heating Mode:
The thermostat was operated in heating mode. The heating equipment responded to the thermostat controls as expected.

Thermostat Operation - Cooling Mode:
The thermostat was operated in cooling mode. The cooling equipment responded to the thermostat controls as expected.

Filters

Inspection Status:
I - Inspected

Air Filter Condition:
The HVAC system air filter was dirty at the time of the inspection.

Filter Location:
Hallway Ceiling, Living Room Ceiling

Filter Size:
Unknown

Evaporative cooler

Inspection Status:
I - Inspected

Refrigerant Lines (obsolete)

Inspection Status:
NI - Not Inspected

Air Purification and Sterilization System

Inspection Status:
NI - Not Inspected

Plumbing

Irrigation System

Inspection Status:
I - Inspected

Grounds Plumbing

Inspection Status:
I - Inspected

Visible Exterior Water Supply and Distribution Piping Materials Type:
Copper Piping, PVC Piping

Cross-Connections:
One or more potential cross-connections were noted below

Visible Plumbing Drain Material Type:
ABS

Water Pressure:
77

Observations

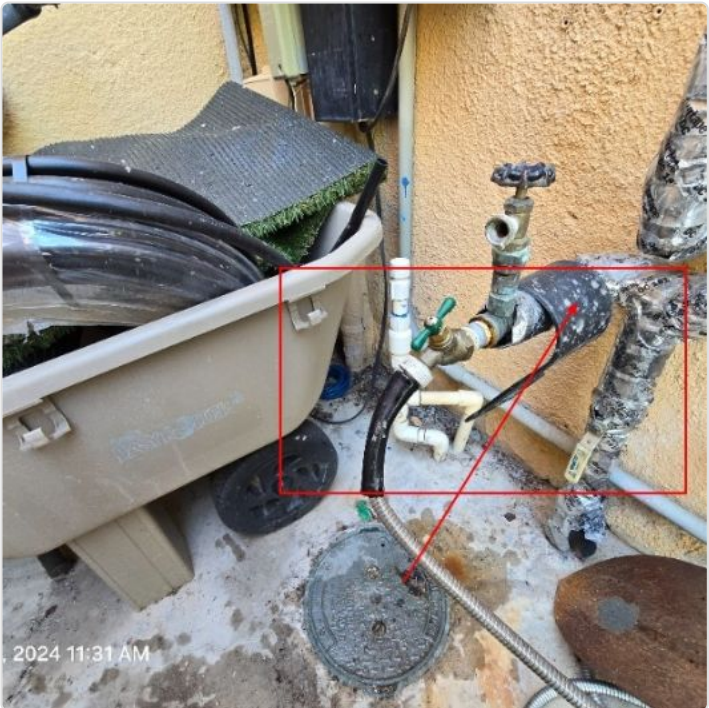
WATER LINE - CORROSION

Location:
WEST SIDE OF STRUCTURE

Description:
Corrosion noted on an exterior plumbing lines or fittings. Corrosion may eventually compromise the plumbing and leak. Recommend a licensed contractor evaluate for repair.

Recommendation:
Contact a qualified plumbing contractor.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



NO SERVICE

Location:
SOUTH PATIO

Description:
No water service noted at one or more exterior faucets. Recommend a licensed contractor evaluate for repair.

Recommendation:
Contact a qualified plumbing contractor

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



WATER LINE - CORROSION

Location:
NORTH SIDE OF STRUCTURE

Description:
Corrosion noted on an exterior plumbing lines or fittings. Corrosion may eventually compromise the plumbing and leak. Recommend a licensed contractor evaluate for repair.

Recommendation:
Contact a qualified plumbing contractor

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



WATER METER / WATER SHUTOFF - BURIED

Location:
DRIVEWAY

Description:

The main water shutoff valve was buried and not accessible. Recommend removing dirt and exposing the valve to allow quick shutoff in the event of an emergency. Due to the inaccessibility of the water meter display, we are unable to observe the water meter to identify potential leaks that could not be discovered from visual inspection. Recommend excavation of the water meter and observation of the display to confirm integrity of property's water supply lines.

Recommendation:

Contact a handyman or DIY project

Severity:

MONITOR / MAINTENANCE ITEMS



SEWER CAMERA-SCOPE RECOMMENDED

Location:

Description:

FYI - The type and condition of all underground plumbing is unable to be evaluated during a home inspection. Repairs to underground plumbing can be costly. It is recommended to have the health and condition of the underground drain evaluated with a sewer scope camera

Recommendation:

Contact a qualified plumbing contractor

Severity:

MONITOR / MAINTENANCE ITEMS

Interior Plumbing

Inspection Status:

I - Inspected

Visible Interior Water Supply and Distribution Piping Materials Type:

Copper Piping

Visible Drain, Waste and Vent Piping Materials:

ABS

Operation of Plumbing Fixtures And Faucets:

All fixtures and faucets in the home were operated using their standard operating controls. The condition of the visible portions of the plumbing fixtures and faucets was functional and serviceable.

Observations

PLUMBING - INDICATIONS OF PREVIOUS LEAK

Location:

KITCHEN

Description:

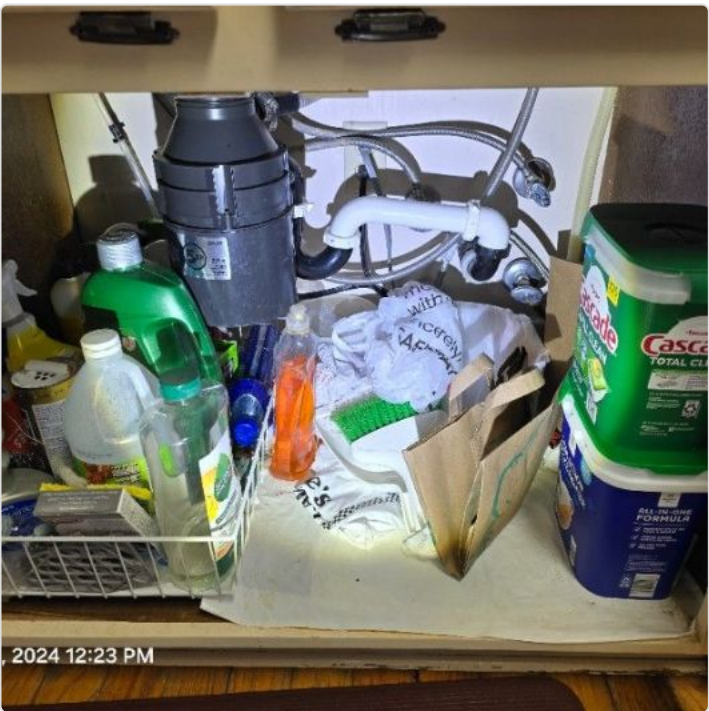
There are indications of a previous leak. No active leaking was noted at the time of the inspection.

Recommendation:

Contact a qualified plumbing contractor

Severity:

MONITOR / MAINTENANCE ITEMS



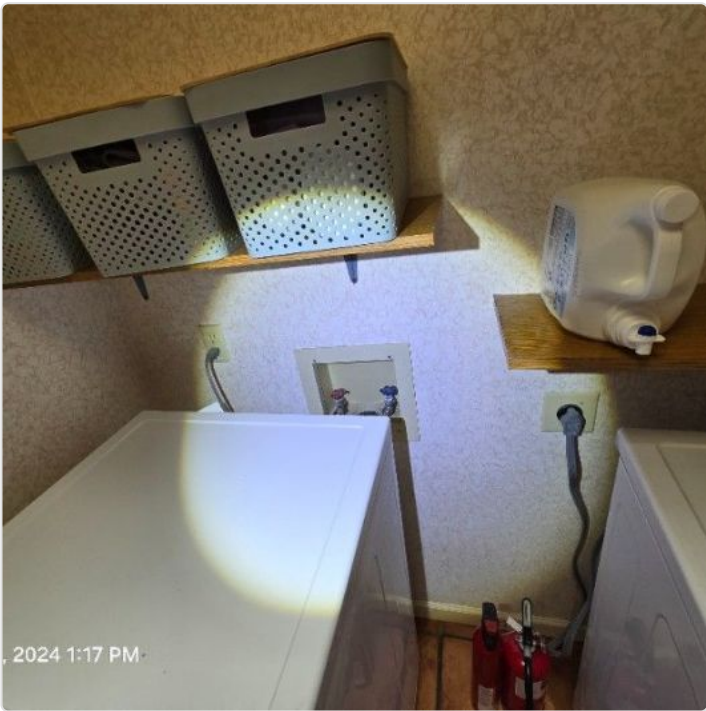
PLUMBING - CORROSION/BUILDUP

Location:
LAUNDRY

Description:
Parts of the plumbing fittings have evidence of corrosion or build-up. Recommend correction to prevent future water leaks. Handle on hot water supply damaged.

Recommendation:
Contact a qualified plumbing contractor.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Shower and Bath

Inspection Status:
I - Inspected

Toilet

Inspection Status:
I - Inspected

Bathroom Ventilation

Inspection Status:
I - Inspected

Bathroom Ventilation Type:
Exhaust Fan

Laundry and Laundry Room Ventilation

Inspection Status:
I - Inspected

Laundry Room Ventilation:

Room ventilation was present in the laundry room

Laundry Ventilation (Dryer Venting) Condition:

Observations noted on the condition of the laundry ventilation below. All other visible areas of the laundry ventilation appeared satisfactory and functional.

Water Heater

Water Heater Condition

Inspection Status:
I - Inspected

Water Heater Location:
Garage

Fuel/Energy Source Type:
Electric, Solar

Water Heater - Year of Manufacture:
2019

Observations

SOLAR HOT WATER EQUIPMENT - NOT INSPECTED

Location:
GARAGE

Description:
Then function and condition of the solar hot water components were not evaluated.

Recommendation:
Contact a qualified plumbing contractor

Severity:
MONITOR / MAINTENANCE ITEMS

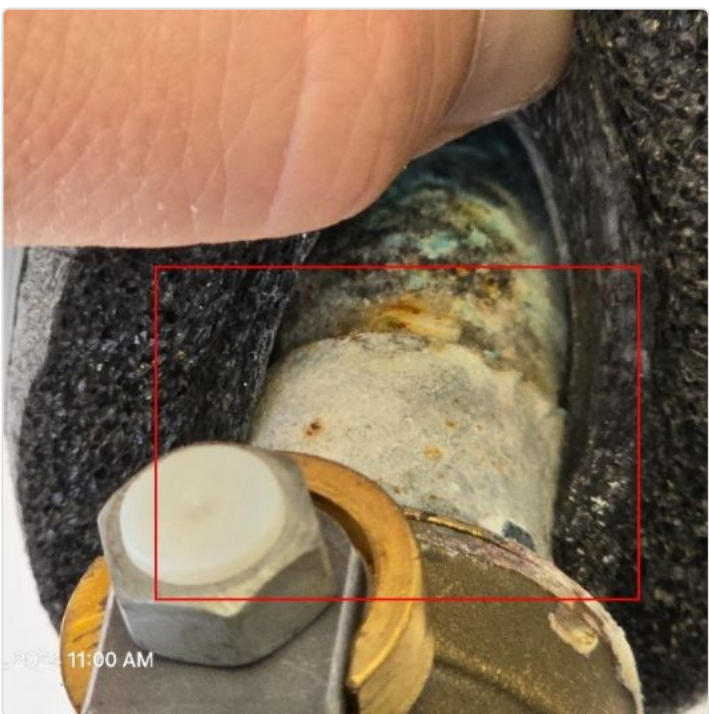
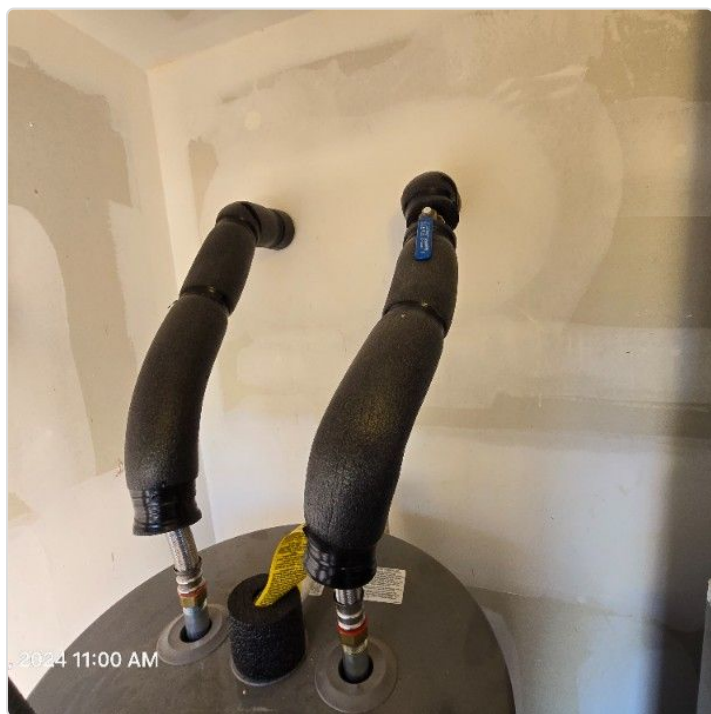
WATER HEATER PLUMBING - CORROSION BUILD UP / POSSIBLE LEAK

Location:
NE CORNER EXTERIOR CLOSET

Description:
Corrosion build up noted along the water heater plumbing lines and/or fittings. Recommend a licensed contractor evaluate for repair/replacement.

Recommendation:
Contact a qualified plumbing contractor.

Severity:
RECOMMENDATIONS / IMPROVEMENT ITEMS



Heater Enclosure

Inspection Status:
I - Inspected

Plumbing

Inspection Status:
I - Inspected

Automatic Safety Controls

Inspection Status:
I - Inspected

Flues and Vents

Inspection Status:
I - Inspected

Satisfactory Air for Combustion

Inspection Status:
I - Inspected

Built-In Appliances

Dishwasher

Inspection Status:
I - Inspected

Observations

DISHWASHER - NOT MOUNTED

Location:
KITCHEN

Description:
The dishwasher is not mounted to the cabinets/counter tops. Recommend securely mounting the dishwasher so the unit does not move when the door is being operated.

Recommendation:
Contact a qualified handyman.

Severity:
MONITOR / MAINTENANCE ITEMS



Refrigerator

Inspection Status:
I - Inspected

Observations

REFRIGERATOR - NOT BUILT-IN

Location:

Description:
Appliances not built-in or permanently affixed to the home are not tested. No part of the refrigerator was tested or inspected.

Recommendation:

Washer & Dryer

Inspection Status:
I - Inspected

Pool/Spa

Child-safe Barriers

Inspection Status:

I - Inspected

Child-safe Barrier:

Fencing with self-closing/self-latching gates, Pneumatic door closers, Alarms

Observations

POOL FENCE - FURTHER REVIEW

Location:

POOL

Description:

The fence and gate around the pool may not meet the safety requirements for the local jurisdiction. Recommend further review to determine if fence and gate are compliant

Recommendation:

Contact a qualified fencing contractor

Severity:

MATERIAL DEFECTS / SAFETY ITEMS

