



WALLACE WORKS

801 N. WALLACE AVE BOZEMAN, MT

NEST PARTNERS

AUGUST 23, 2024

100% CONSTRUCTION DOCUMENTS-PHASE 2
BUILDING E

LAKE | FLATO
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311 THIRD STREET
SAN ANTONIO, TEXAS 78205
P210.227.3335 F210.224.9515
www.lakeflato.com



08/23/2024

WALLACE WORKS

801 N. WALLACE AVE
BOZEMAN, MT

NEST PARTNERS
113 E. OAK STREET 4B
BOZEMAN, MT 59715

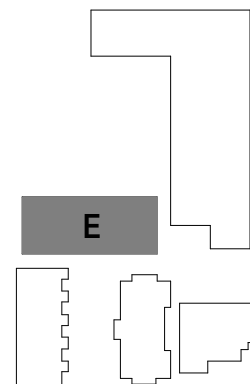
CIVIL: TD&H ENGINEERING
234 E. BARCOCK, SUITE 3
BOZEMAN, MT 59715

LANDSCAPE: DESIGN 5
111 N. TRACY ST.
BOZEMAN, MT 59715

STRUCTURAL: IMEG
108 WEST BARCOCK ST
BOZEMAN, MT 59715

MEP: ENERGY1
2042 STADIUM DRIVE, SUITE 2
BOZEMAN, MT 59715

KEY PLAN



THIS SQUARE APPEARS 1/2"x1/2"
ON FULL SIZE SHEETS

AUGUST 23, 2024 L/JF PROJ. NO. 21043

PROJ. ARCHITECT AM DRAWN BY: SO

SET ISSUE DATES

DATE	ISSUE
04/22/22	100% DESIGN DEVELOPMENT
04/10/23	50% CONSTRUCTION DOCUMENTS
05/06/23	75% CONSTRUCTION DOCUMENTS
06/16/23	100% CONSTRUCTION DOCUMENTS
11/01/23	100% SCHEMATIC DESIGN - BLDG A
01/26/24	100% DESIGN DEVELOPMENT
05/10/24	100% CONSTRUCTION DOCUMENTS - P1
08/23/24	100% CONSTRUCTION DOCUMENTS - P2

REVISIONS

NO.	DATE	DESCRIPTION

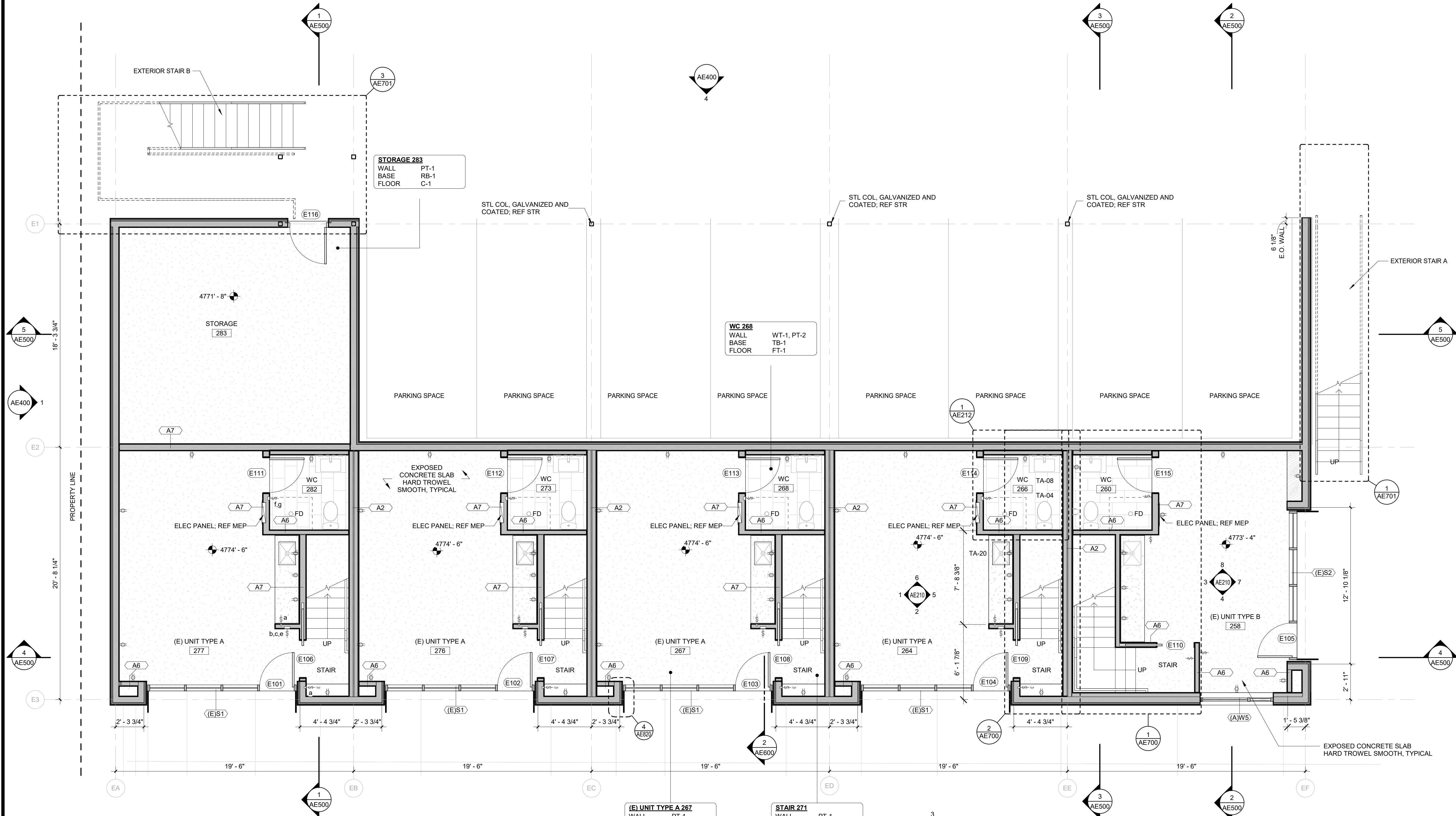
100% CONSTRUCTION
DOCUMENTS-PHASE 2

FLOOR PLAN -
LEVEL 1

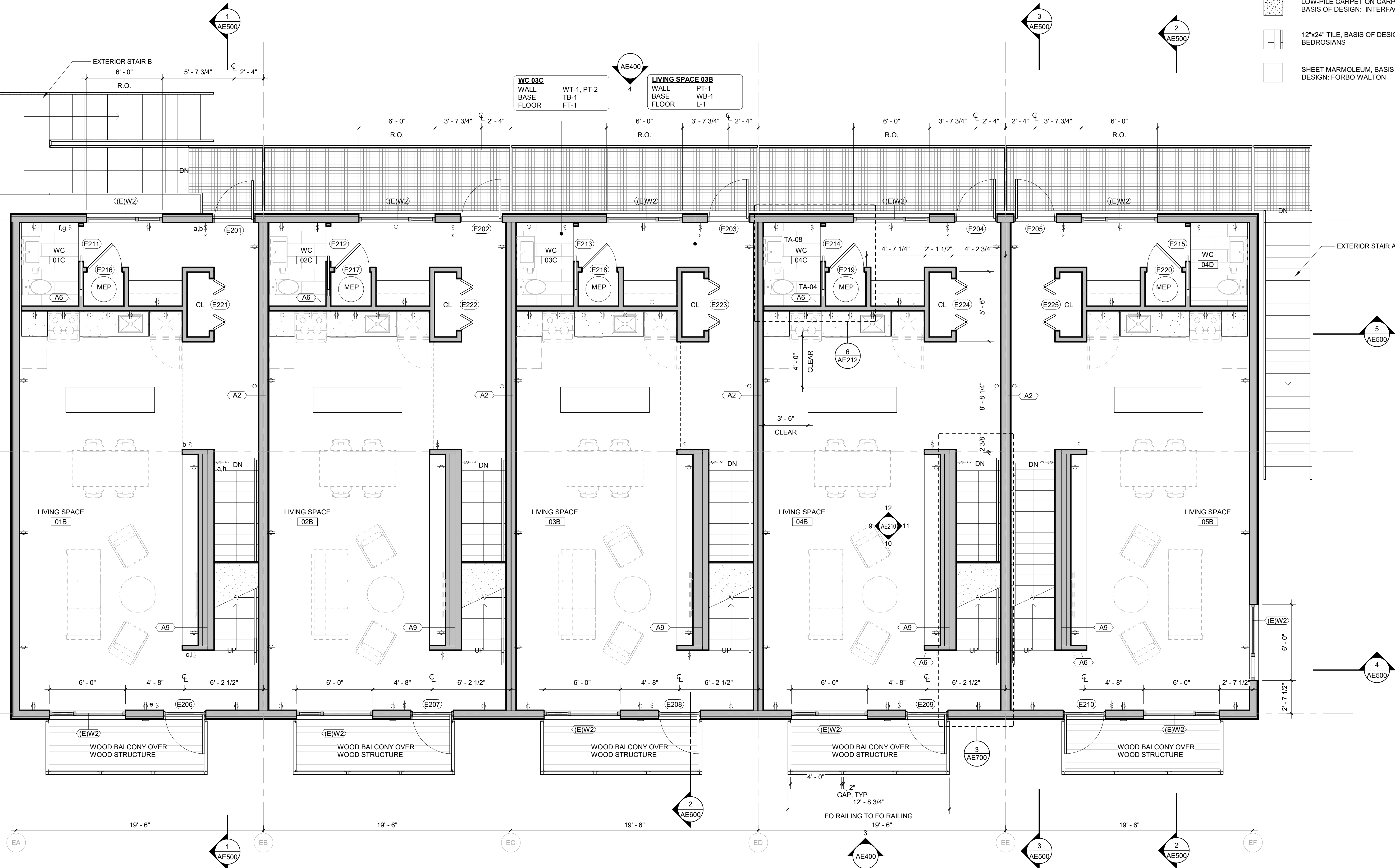
AE200

GENERAL FLOOR PLAN NOTES

- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE. DIMENSIONS NOTED AS "CLR" OR "CLEAR" MUST BE MAINTAINED. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
- REFERENCE SHEET G301 FOR PARTITIONS. ALL PARTITIONS ARE TYPE "A6" UNLESS OTHERWISE NOTED.
- REFERENCE ENLARGED PLANS AND INTERIOR FINISH SCHEDULE FOR TYPICAL FINISHES.
- FURNITURE IS BY OWNER AND SHOWN FOR REFERENCE ONLY.
- SEE ENLARGED UNIT PLAN SHEETS FOR WALL AND FLOOR FINISHES.
- REFER TO LANDSCAPE AND CIVIL DRAWINGS FOR SITE INFORMATION.
- ALL GRIDS DESIGNATED WITH ".1" ARE ASSOCIATED WITH THE CONCRETE PODIUM STRUCTURE.
- WOOD BACKING BETWEEN THE STUDS SHALL BE COORDINATED AND PROVIDED AT ITEMS SUCH AS, BUT NOT LIMITED TO, TOILET ACCESSORIES, TOILET PARTITIONS, MIRRORS, SHELIVING, CASEWORK, HANDRAILS, ETC.



1 (E) FLOOR PLAN - LEVEL 1
SCALE: 1/4" = 1'-0"



1 (E) FLOOR PLAN - LEVEL 2
SCALE: 1/4" = 1'-0"

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FLOOR FINISH LEGEND

- LOW-PILE CARPET ON CARPET PAD, BASIS OF DESIGN: INTERFACE
- 12"x24" TILE, BASIS OF DESIGN: BEDROSANS
- SHEET MARMOLEUM, BASIS OF DESIGN: FORBO WALTON



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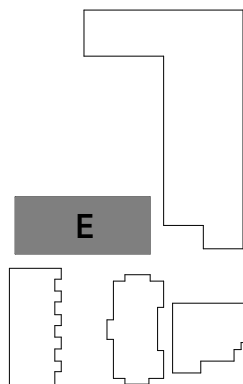
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REVISIONS

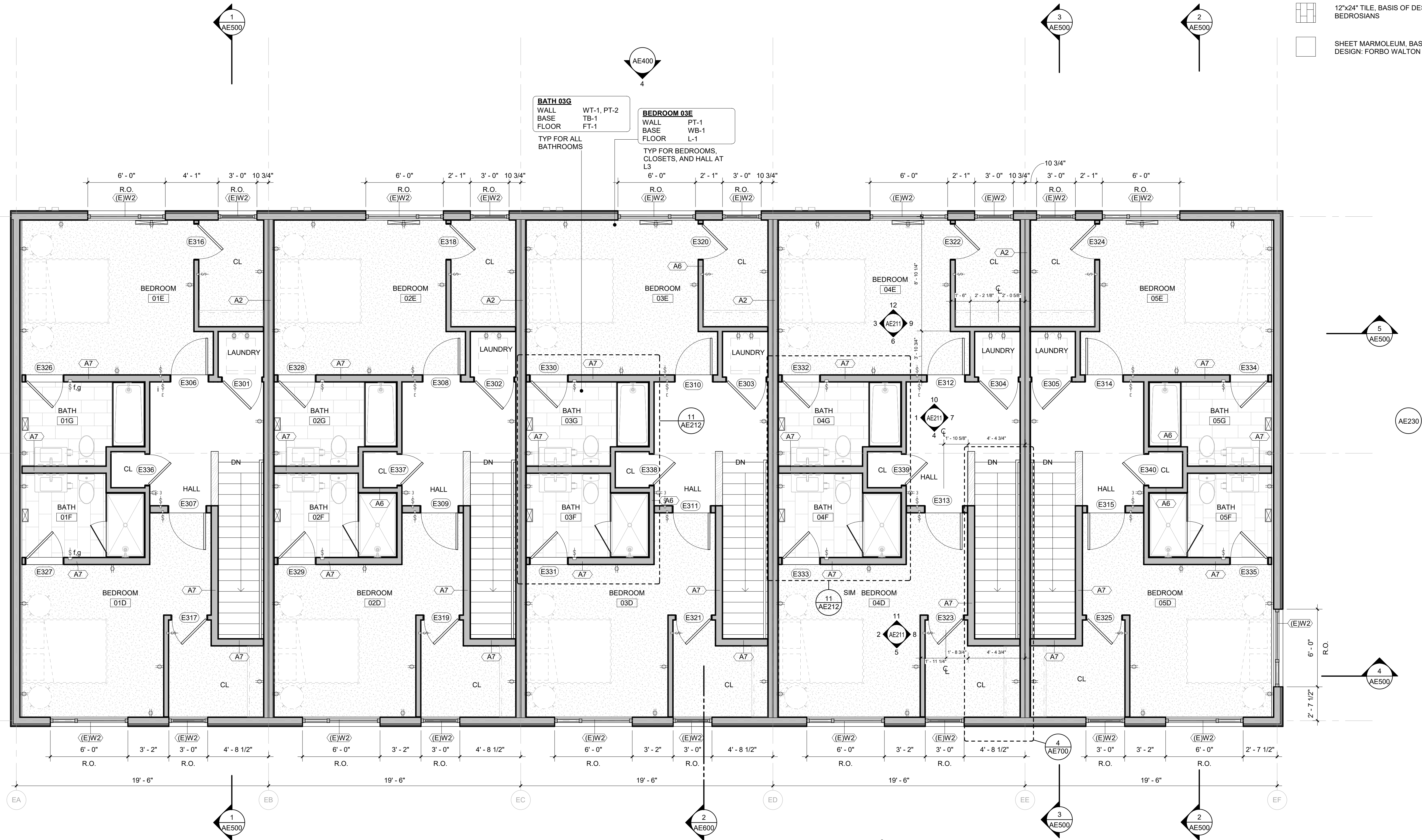
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100% CONSTRUCTION
DOCUMENTS-PHASE 2

FLOOR PLAN -
LEVEL 2

AE201

Autodesk Docs\\Neil Bozeman\\Neil Bozeman-L\\FA-Arch-Main-R02.rvt



1 (E) FLOOR PLAN - LEVEL 3
SCALE: 1/4" = 1'-0"

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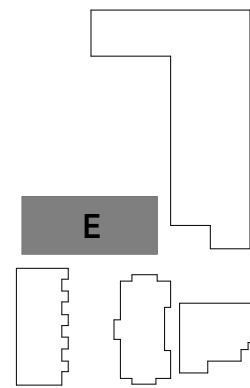
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100% CONSTRUCTION
DOCUMENTS-PHASE 2

FLOOR PLAN -
LEVEL 3

AE202

ROOF PLAN NOTES

1. ROOFTOP PIPING AND ELECTRICAL CONDUITS SHALL BE RUN IN A NEAT AND ORDERLY MANNER.
2. ALL ROOFING AND ROOF FLASHING TO BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
3. OVERFLOW ROOF DRAIN INLETS SHALL BE 2" ABOVE THE PRIMARY DRAIN INLETS.
4. ROOF CURBS THAT OBSTRUCT THE FLOW OF WATER TO DRAINS SHALL HAVE BUILT-UP CRICKETS WITH A MINIMUM SLOPE OF 1/4" PER FOOT
5. REFER TO PLUMBING DRAWINGS FOR ROOF DRAIN SIZING.
6. REFER TO MEP SHEETS FOR LOCATIONS OF ROOF EQUIPMENT AND MISCELLANEOUS PENETRATIONS.
7. REFER TO ASSEMBLY SHEET G302 FOR ROOF ASSEMBLIES.

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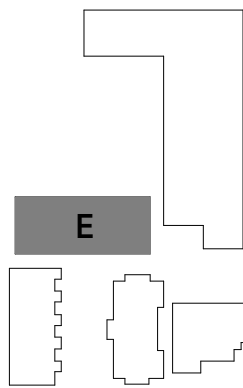
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DOCUMENTS-PHASE 2

ROOF PLAN

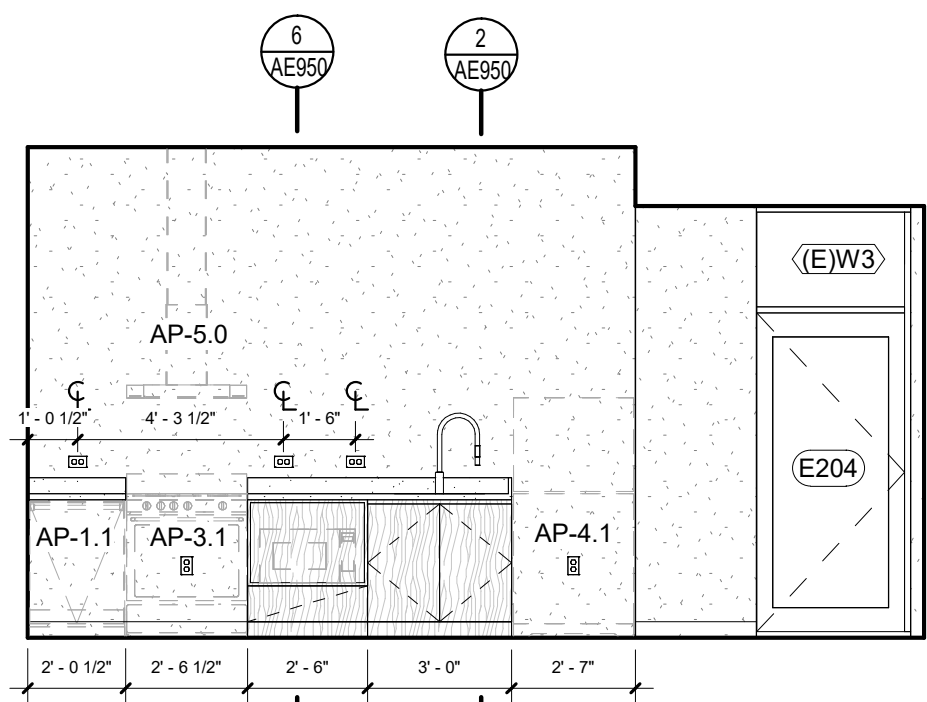
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1 (E) ROOF PLAN

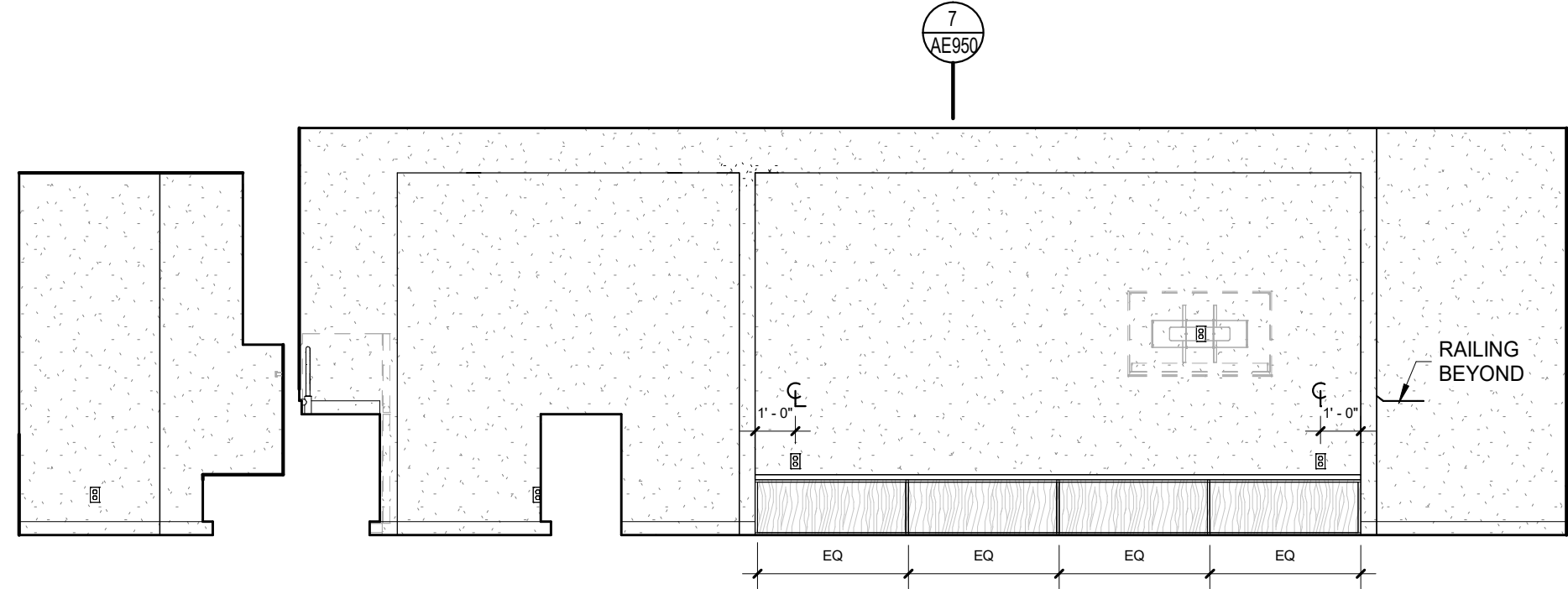
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ENLARGED PLAN GENERAL NOTES

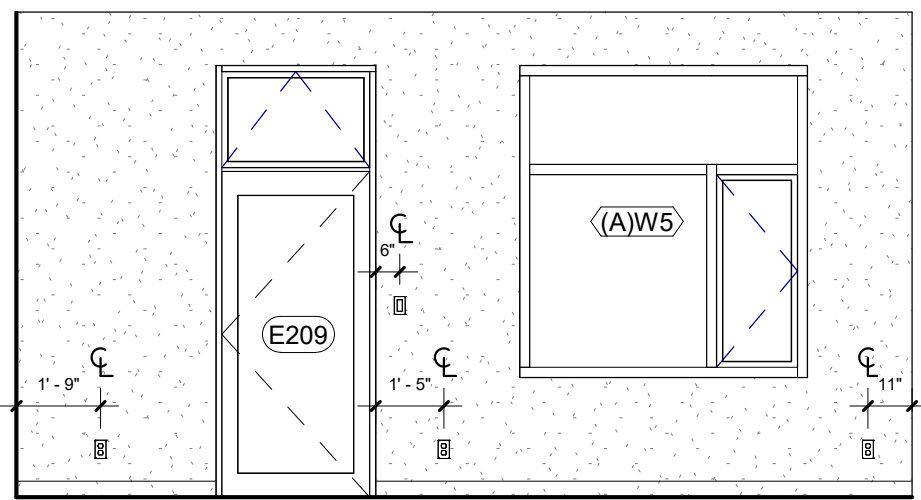
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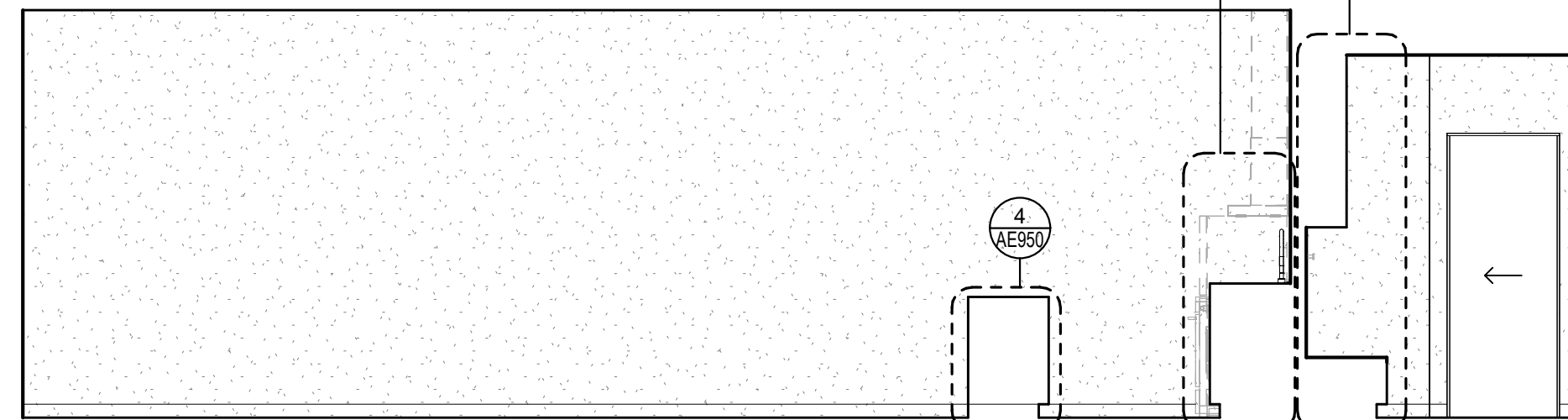
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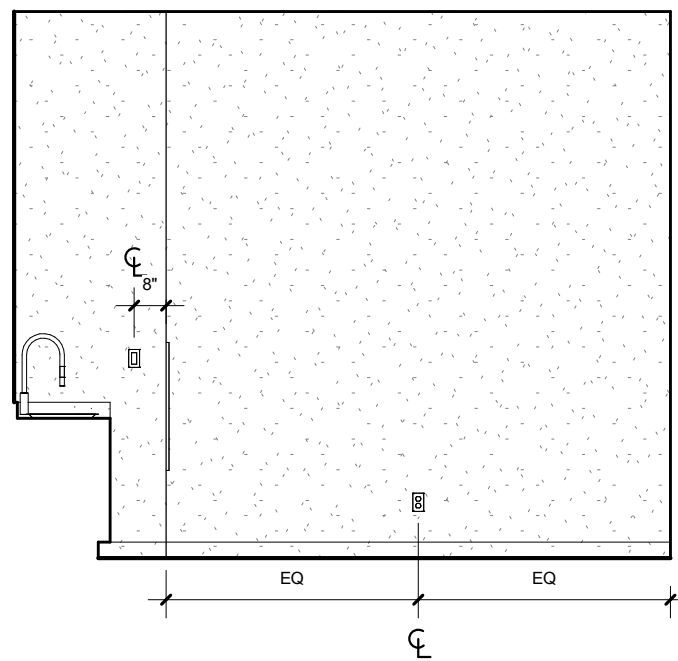
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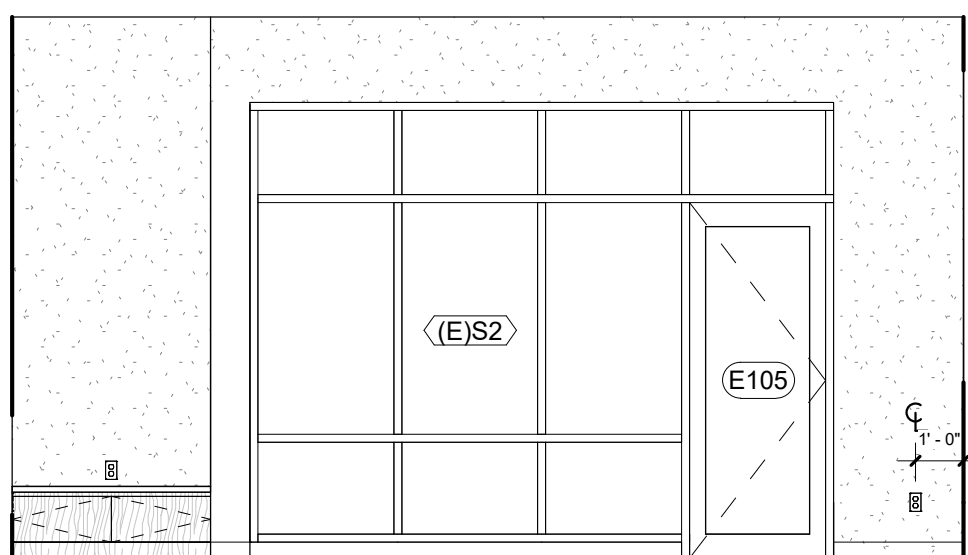
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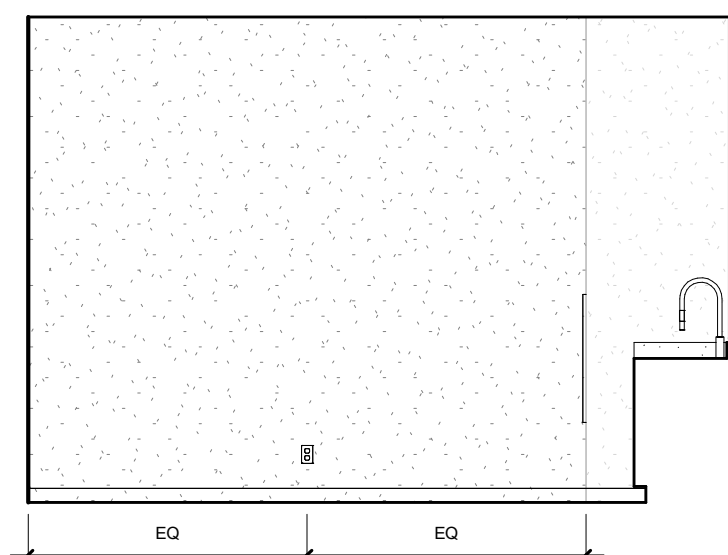
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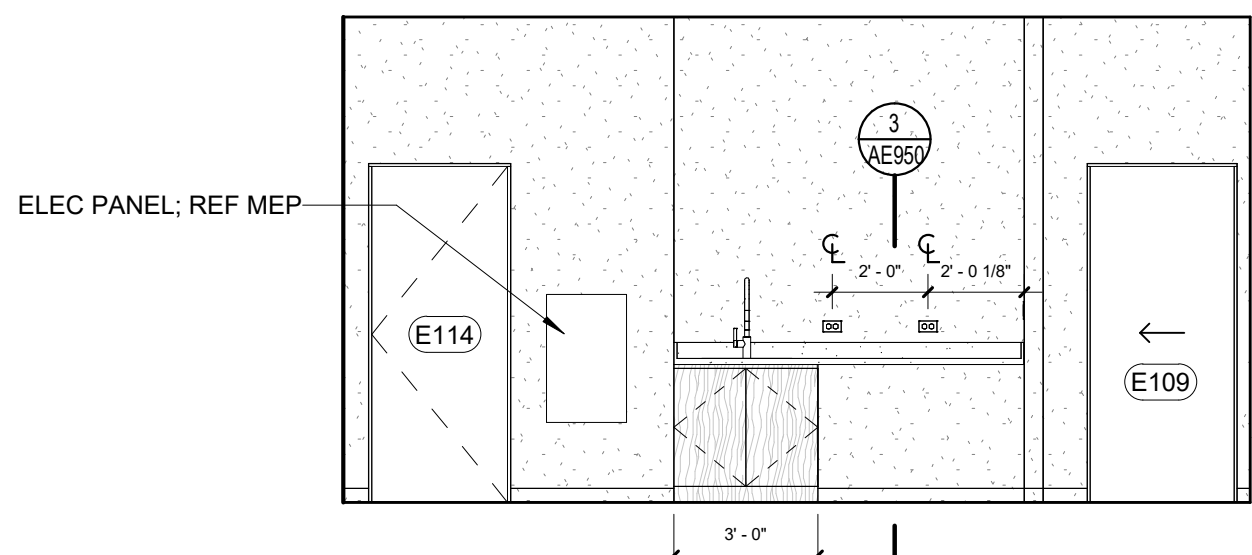
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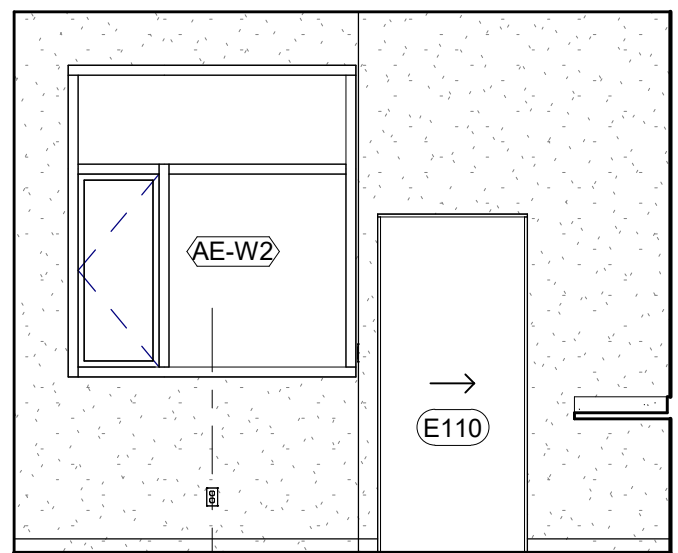
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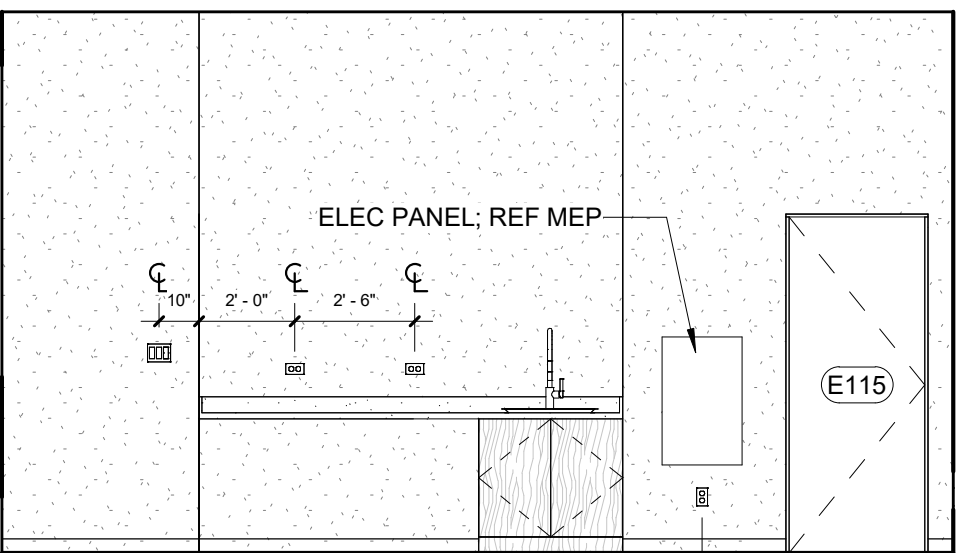
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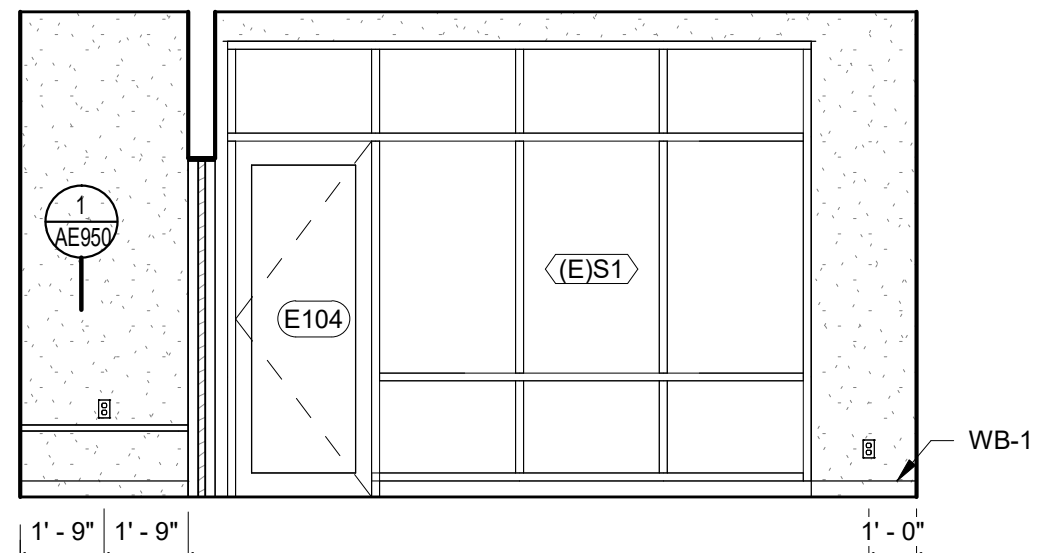
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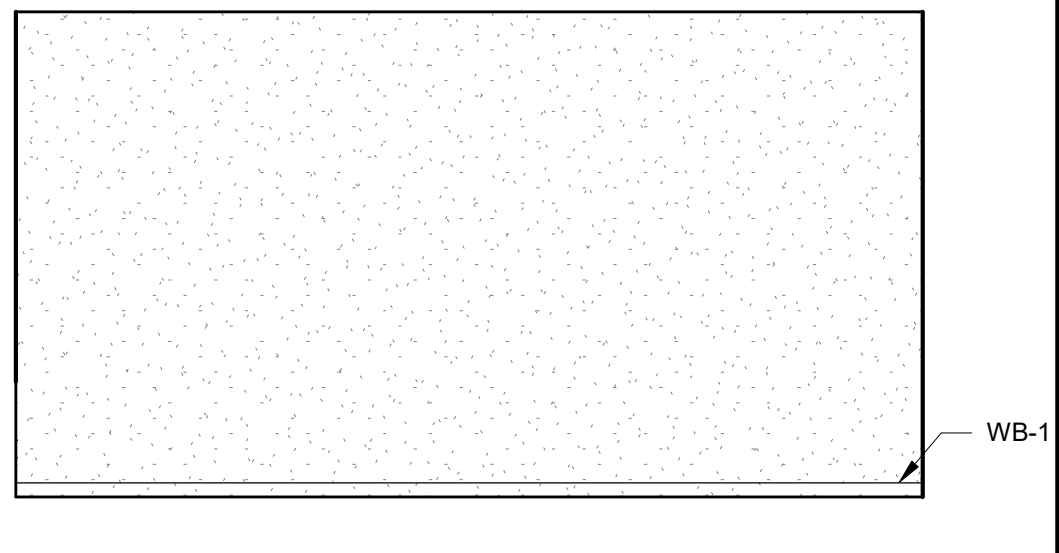
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3 (E) END UNIT - L1 W
SCALE: 1/4" = 1'-0"



2 (E) TYP UNIT - L1 S
SCALE: 1/4" = 1'-0"



1 (E) TYP UNIT - L1 W
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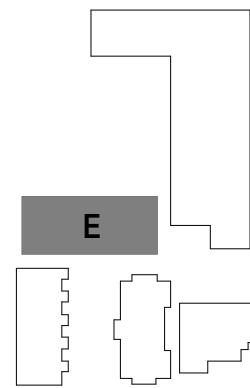
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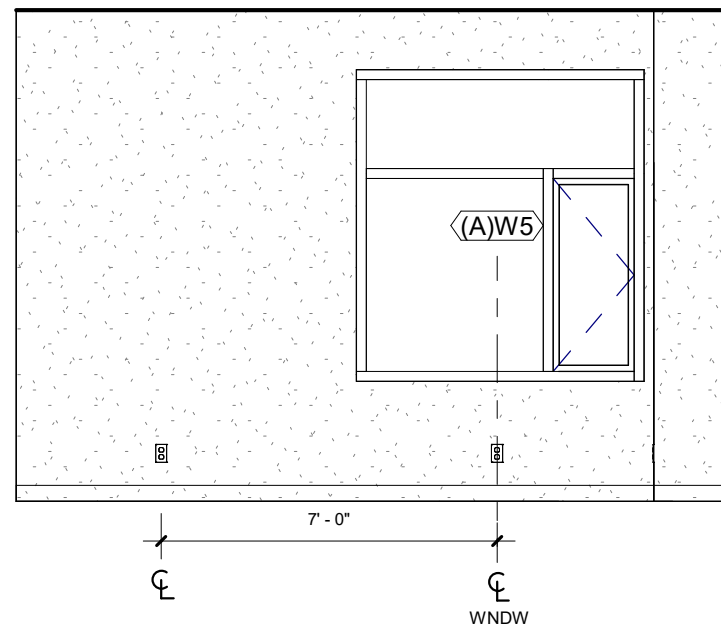
100% CONSTRUCTION
DOCUMENTS-PHASE 2

INTERIOR
ELEVATIONS - L1 &
L2

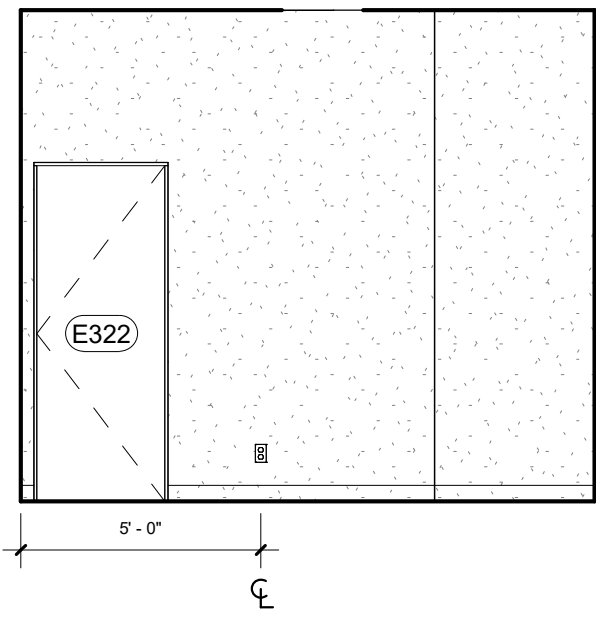
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ENLARGED PLAN GENERAL NOTES

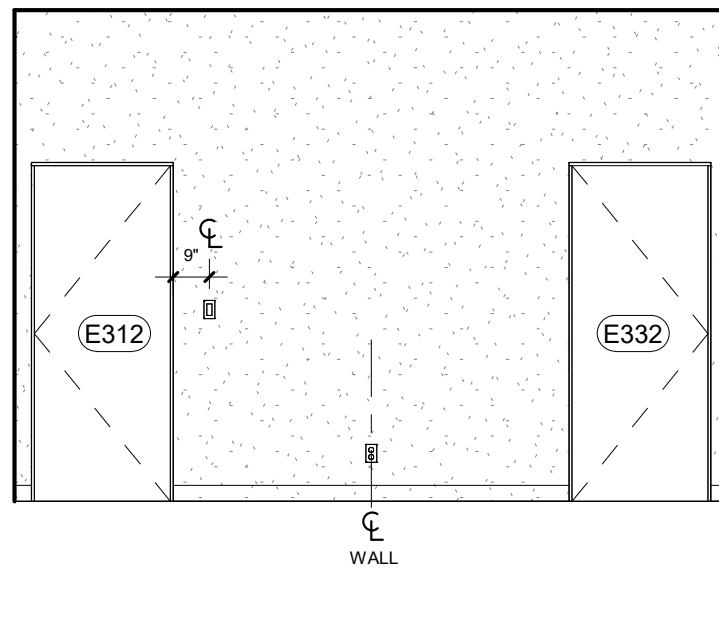
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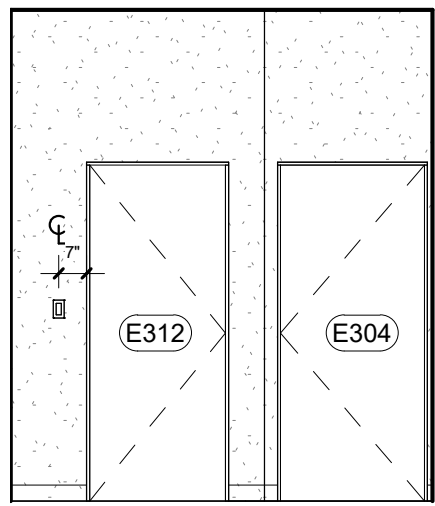
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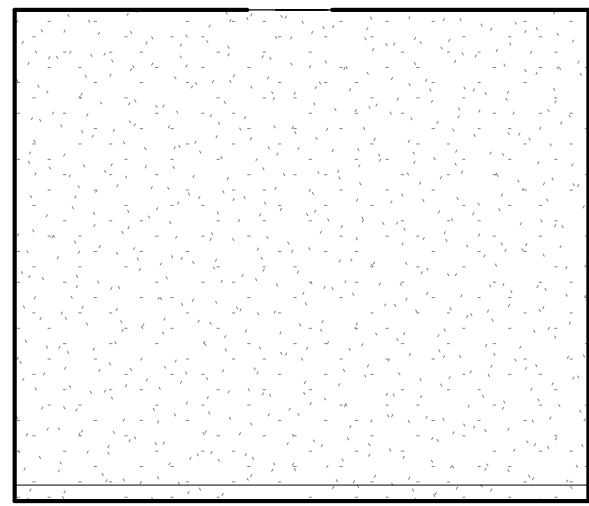
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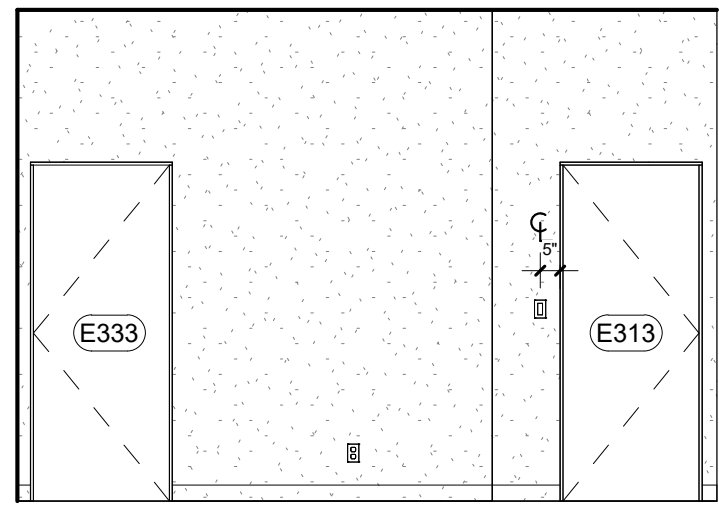
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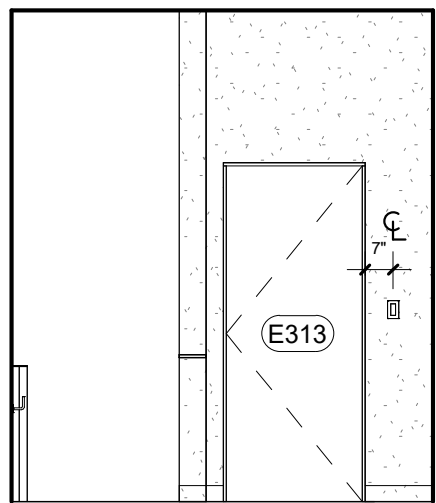
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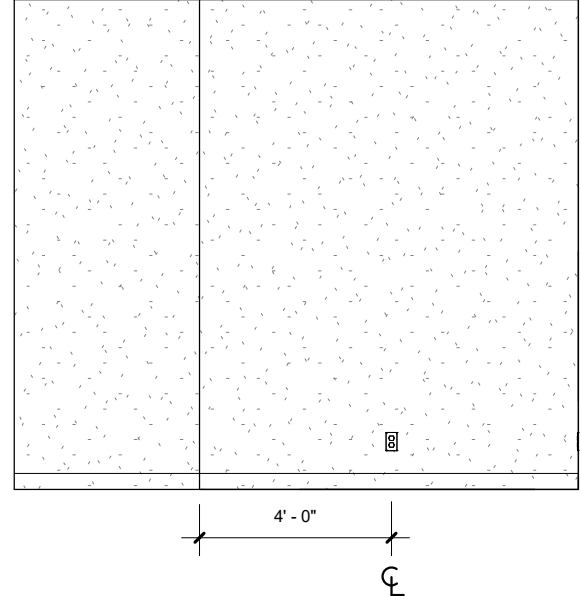
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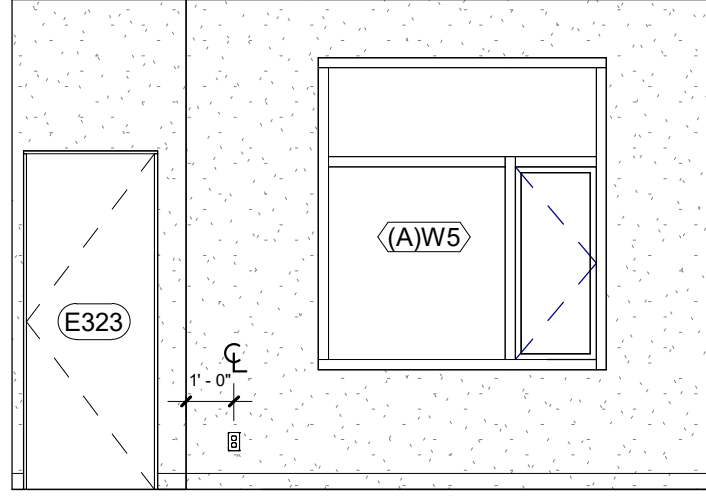
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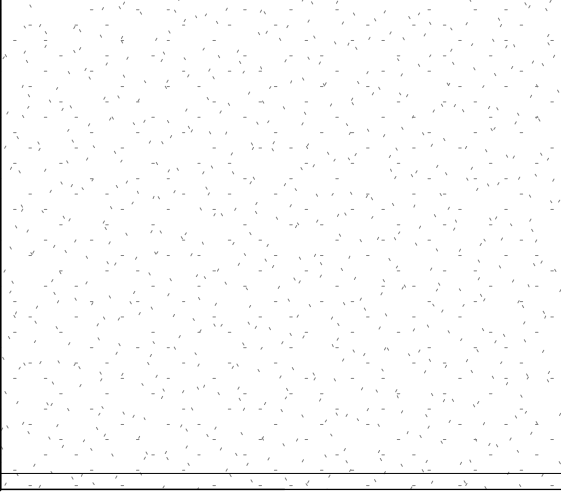
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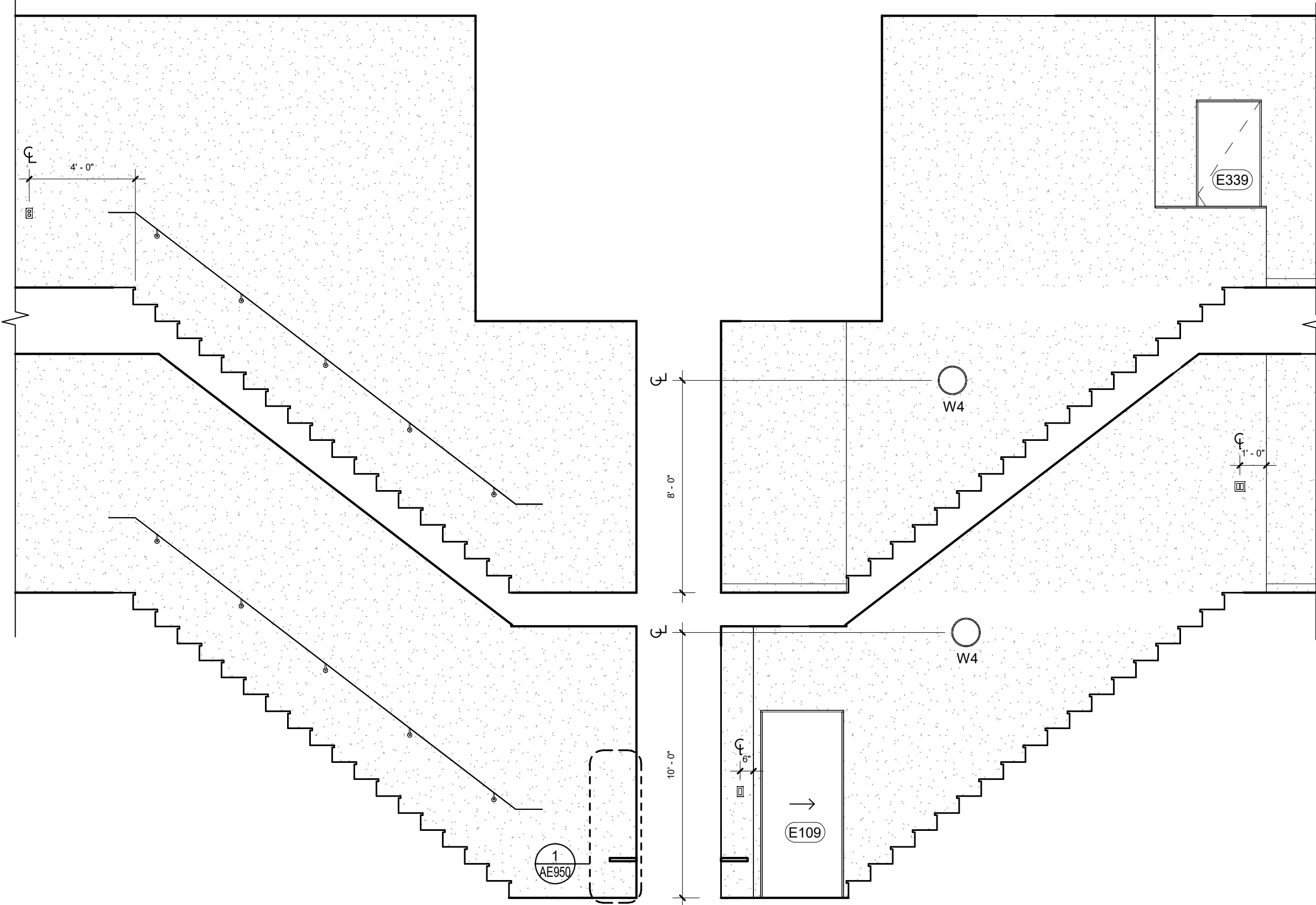
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SCALE: 1/4" = 1'-0"



2 (E) TYP UNIT - BD 2 W
SCALE: 1/4" = 1'-0"



7 (E) TYP UNIT - L3 E
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1 (E) TYP UNIT - L3 W
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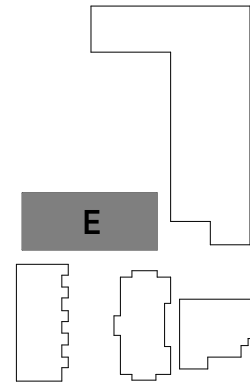
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KEY PLAN



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ON FULL SIZE SHEETS

AUGUST 23, 2024 LIF PROJ. NO. 21043
PROJ. ARCHITECT AM DRAWN BY: SO

DATE	ISSUE
04/22/22	100% DESIGN DEVELOPMENT
04/10/23	50% CONSTRUCTION DOCUMENTS
05/06/23	75% CONSTRUCTION DOCUMENTS
06/16/23	100% CONSTRUCTION DOCUMENTS
11/01/23	100% SCHEMATIC DESIGN - BLDG A
01/26/24	100% DESIGN DEVELOPMENT
05/10/24	100% CONSTRUCTION DOCUMENTS - P1
08/23/24	100% CONSTRUCTION DOCUMENTS - P2

NO.	DATE	DESCRIPTION

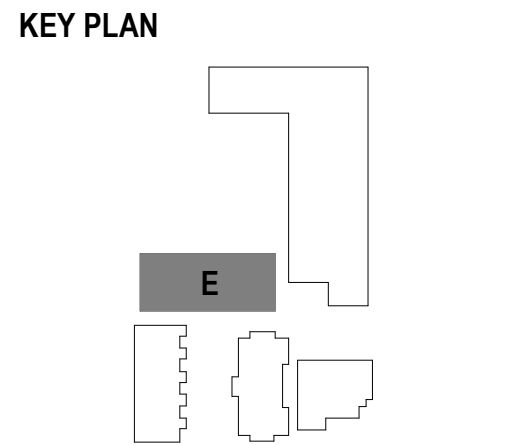
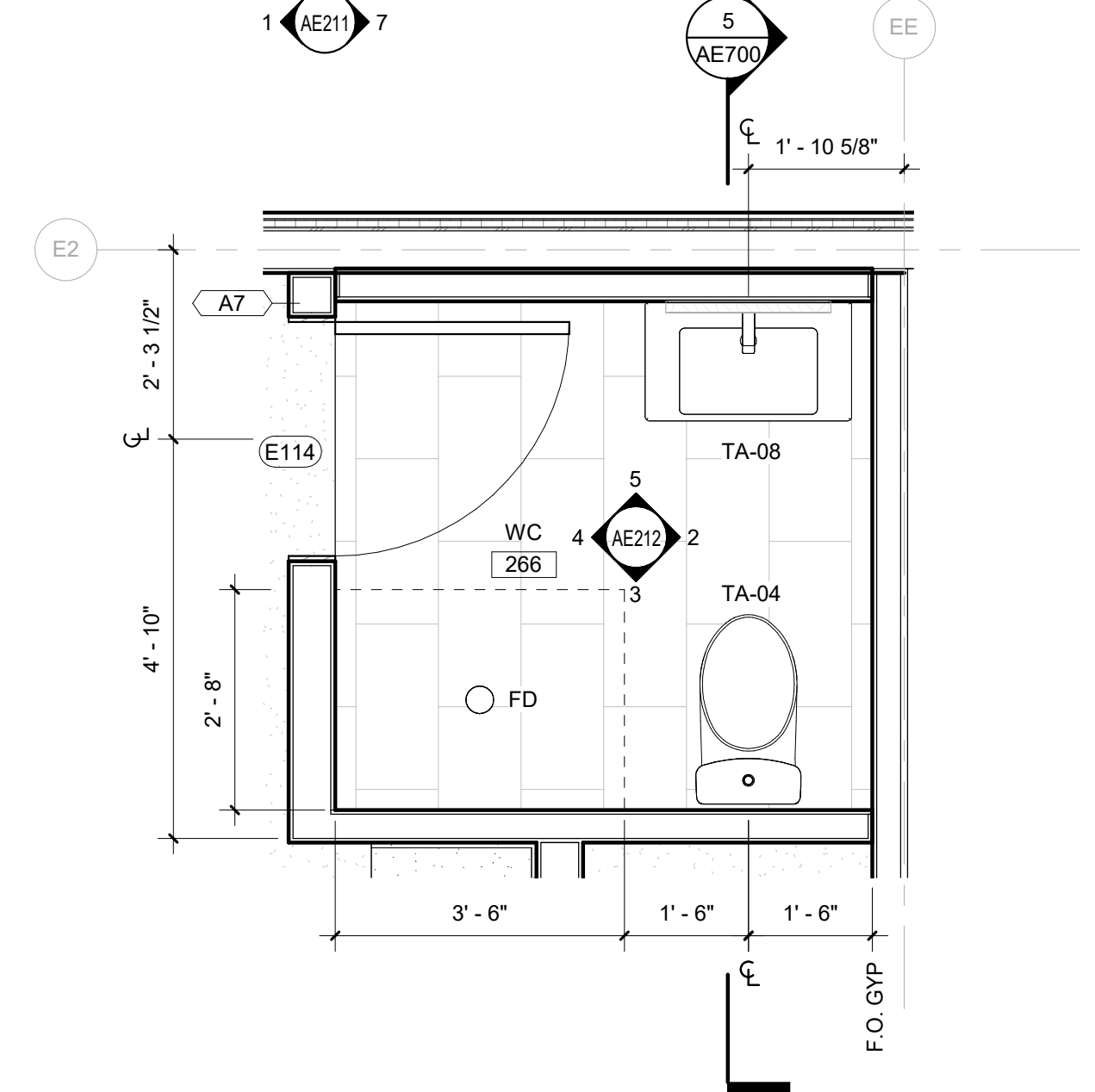
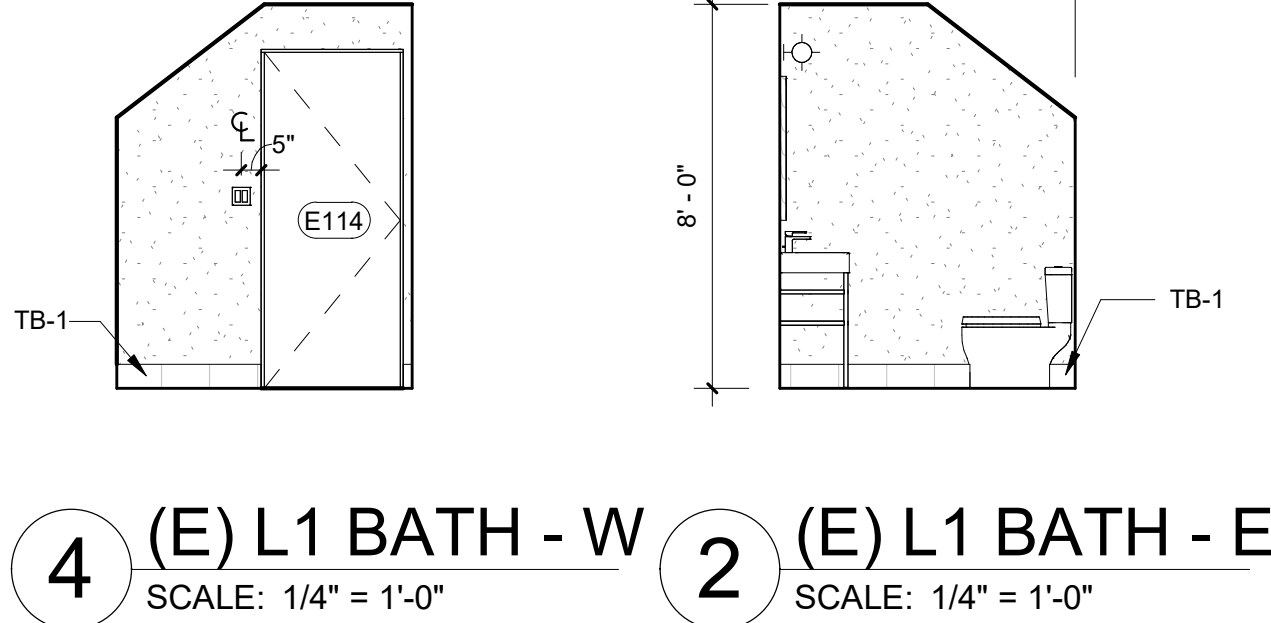
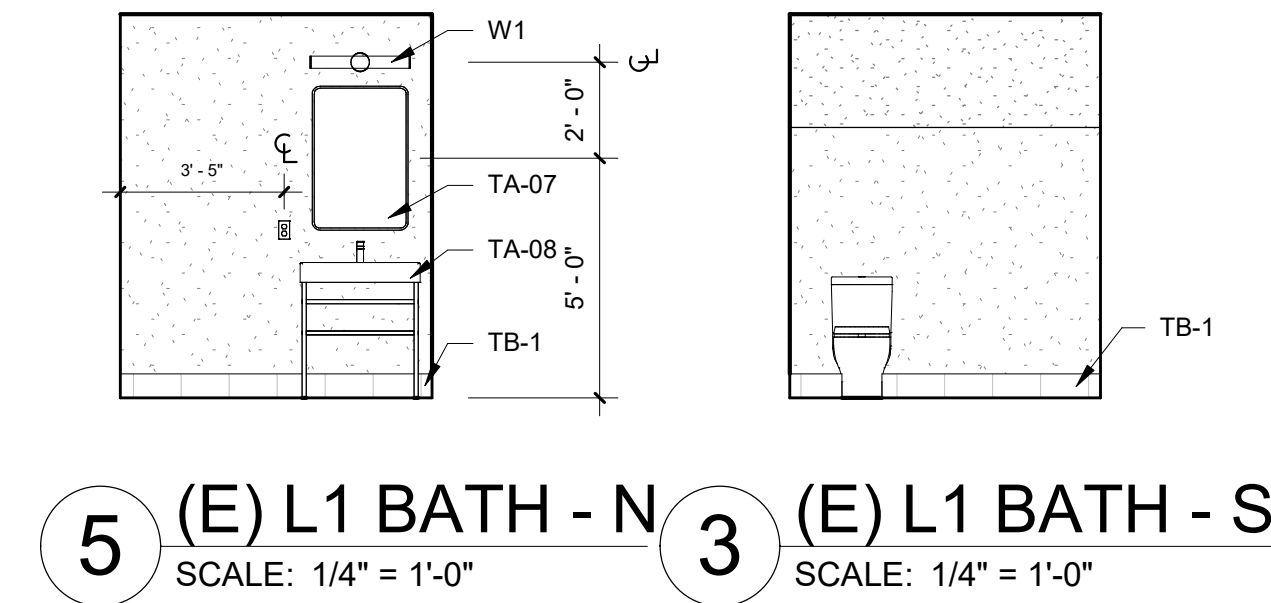
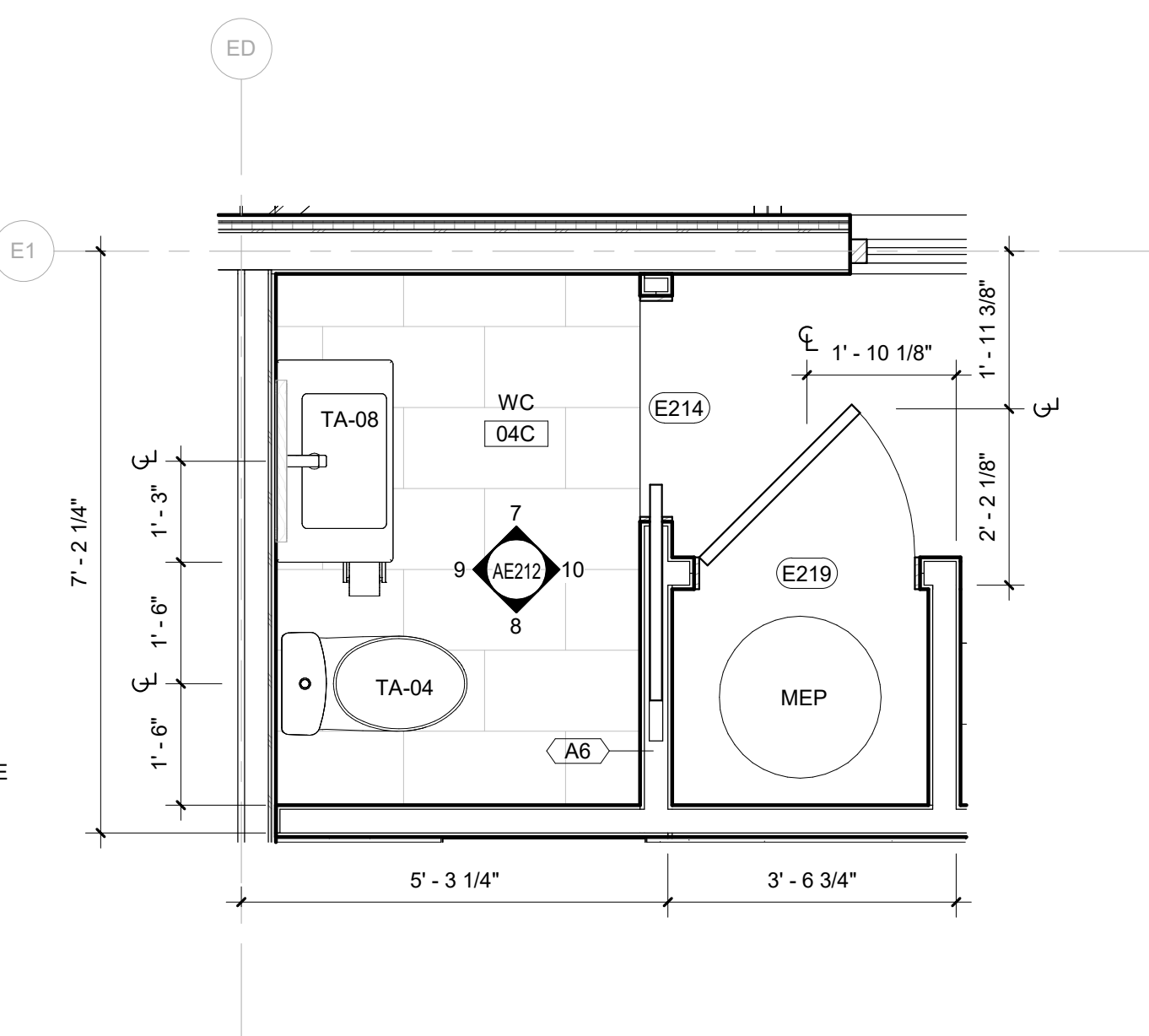
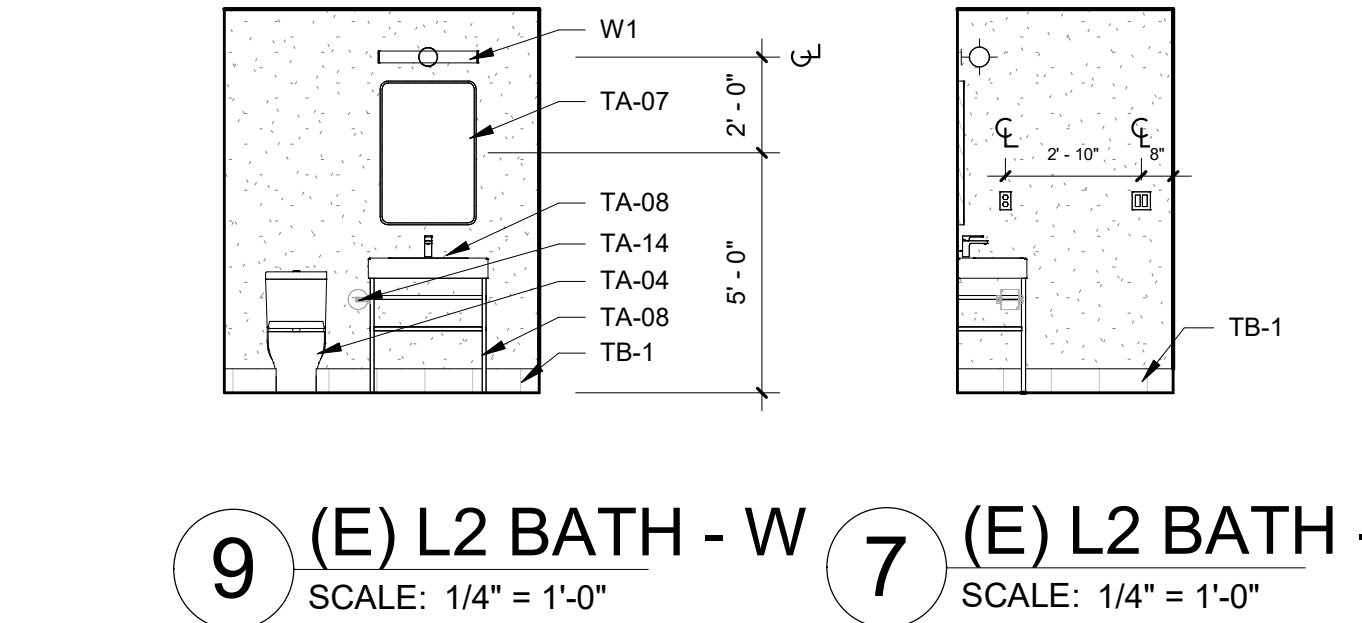
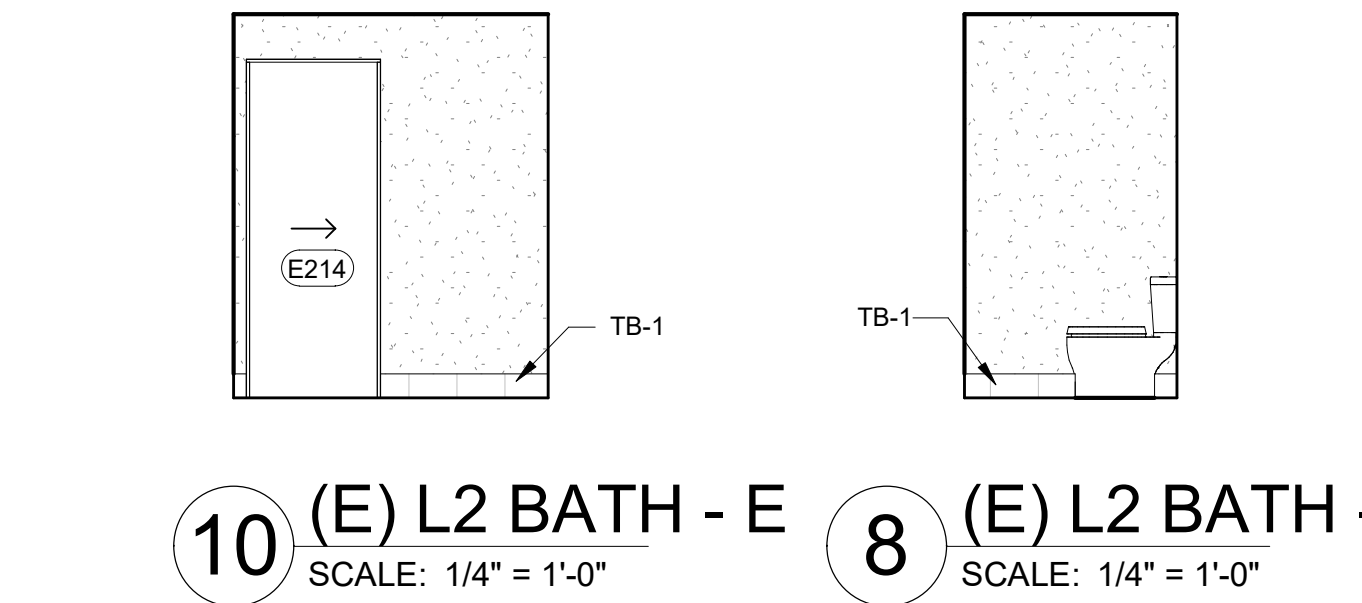
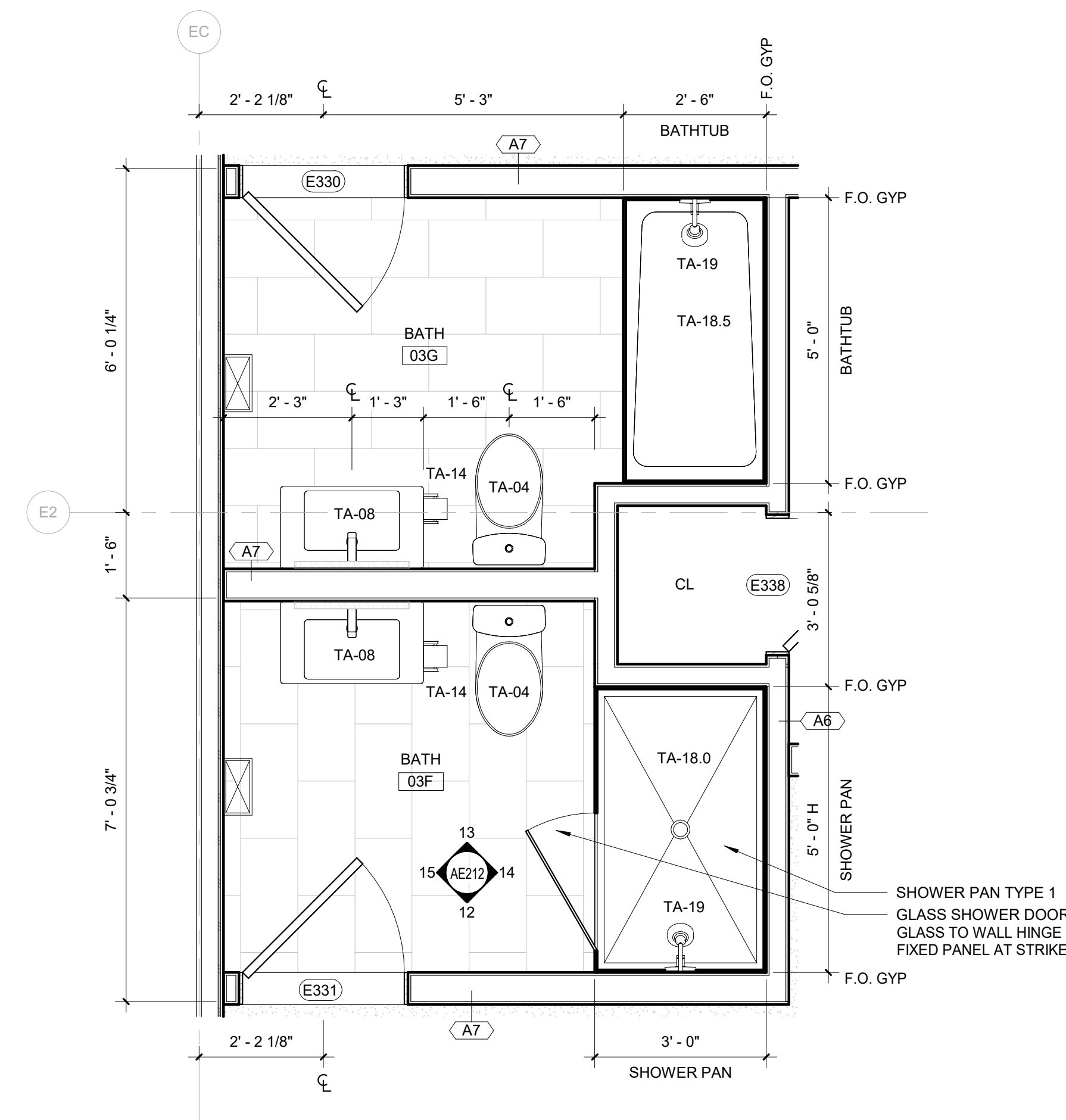
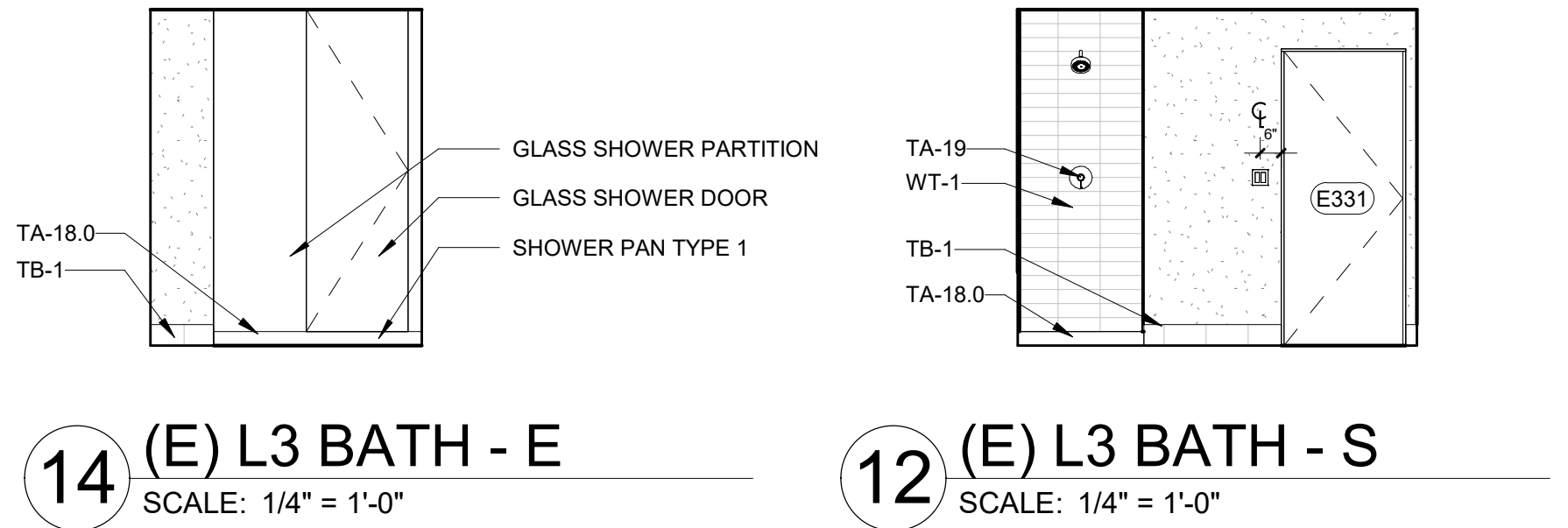
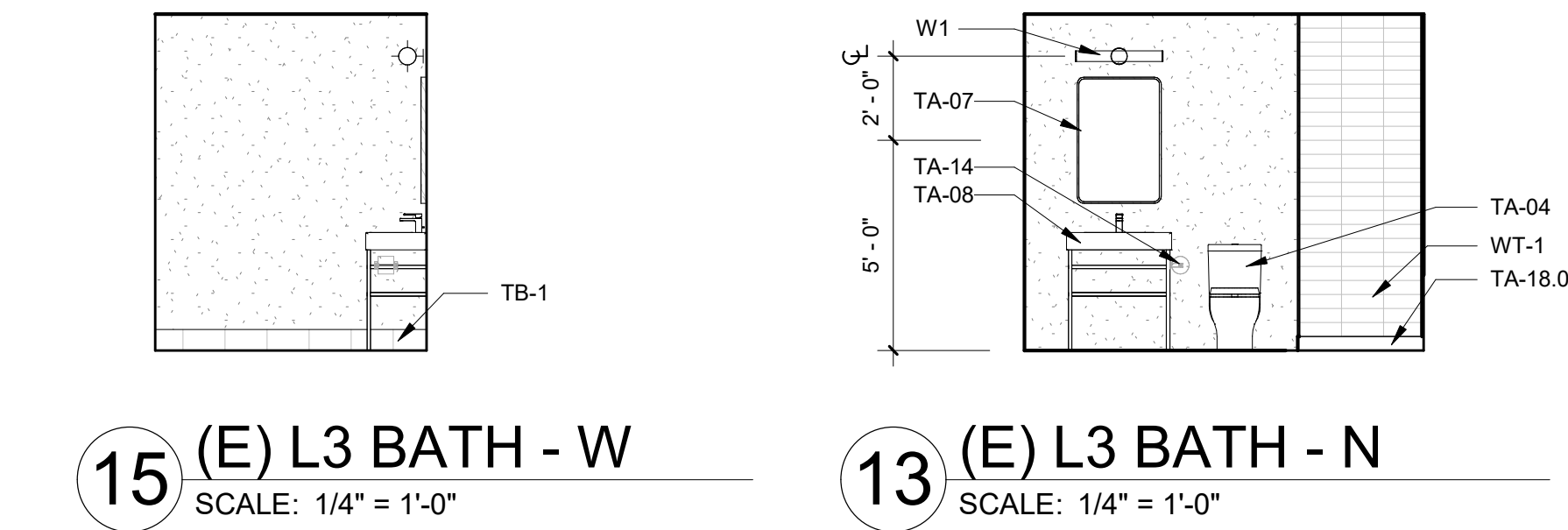
100% CONSTRUCTION
DOCUMENTS-PHASE 2

INTERIOR
ELEVATIONS - L3

AE211

ENLARGED PLAN GENERAL NOTES

1. DIMENSIONS ARE TO GRID LINE, FACE OF STUD, FACE OF CONCRETE, AND CENTERLINE OF DOOR OPENINGS, UNLESS NOTED OTHERWISE.
2. "FLOOR MOUNTED" TOILETS SHALL HAVE A 6" MIN STUD WALL BEHIND THEM.
3. CENTER MIRRORS AND LIGHT FIXTURES OVER THE LAVATORY.
4. ALL LIGHT FIXTURE DIMENSIONS TO CENTERLINE OF FIXTURE U.N.O.
5. ALL BEDROOM FLOORS TO BE CARPET, U.N.O.
6. FURNITURE AND EQUIPMENT IS SHOWN DASHED FOR REFERENCE ONLY. MILLWORK TO BE COORDINATED WITH OWNER'S EQUIPMENT SELECTIONS.
7. 4 INCH VINYL BASE TYPICAL THROUGHOUT UNITS. BATHROOMS TO HAVE TILE BASE THROUGHOUT.
8. AT LEVELS 2 THRU 4 CORRIDORS TO BE CARPET, WITH COMMON STORAGE, ELEC, MECH CLOSETS TO BE MARMOLEUM.



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AUGUST 23, 2024 L1F PROJ. NO. 21043
PROJ. ARCHITECT AM DRAWN BY: SO

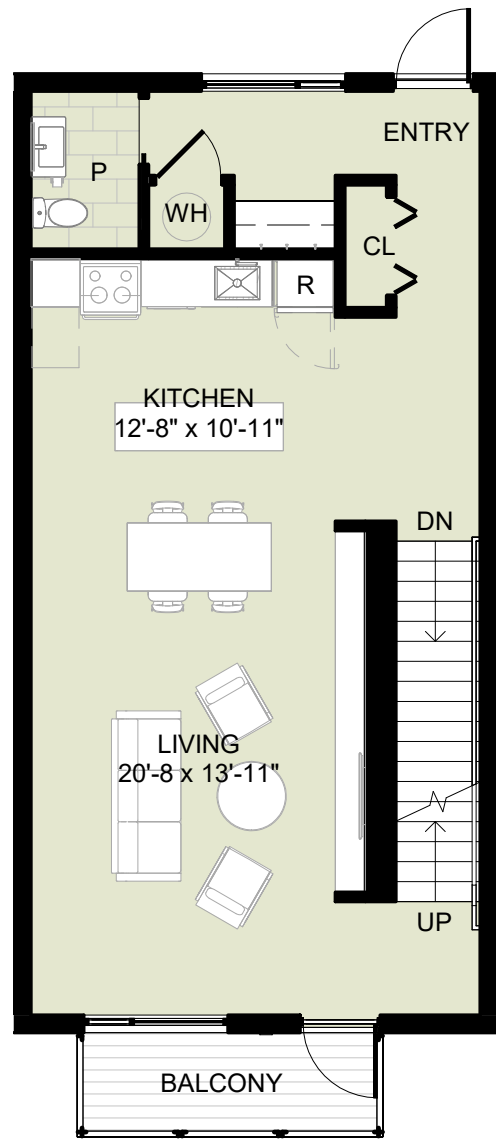
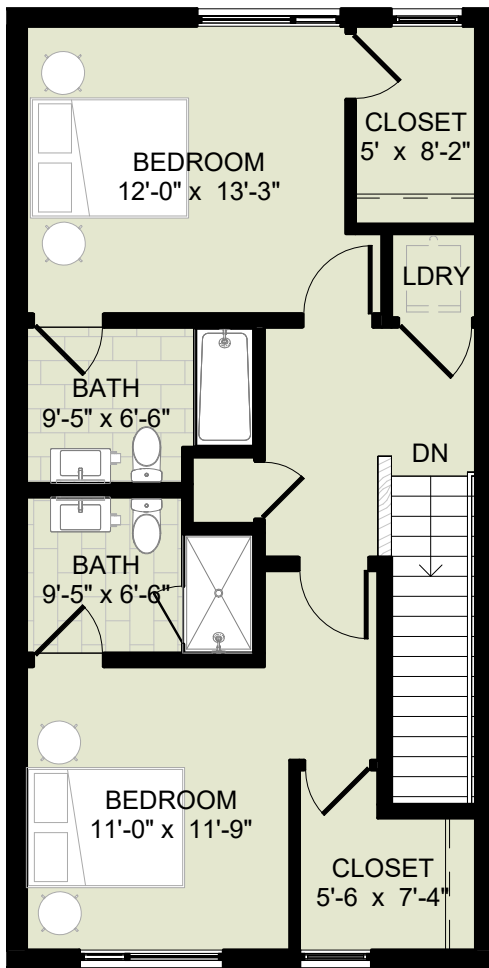
SET ISSUE DATES	
DATE	ISSUE
04/22/22	100% DESIGN DEVELOPMENT
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REVISIONS		
NO.	DATE	DESCRIPTION

100% CONSTRUCTION
DOCUMENTS-PHASE 2

ENLARGED PLANS
- RESTROOMS

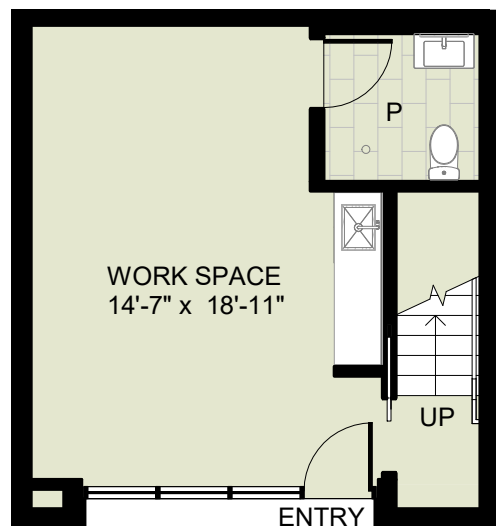
AE212



UNITS A THRU D TWO BEDROOM

LEVEL 1 - 364 SQ. FT.
LEVEL 2 - 724 SQ. FT.
LEVEL 3 - 667 SQ. FT.

TOTAL - 1,755 SQ. FT.



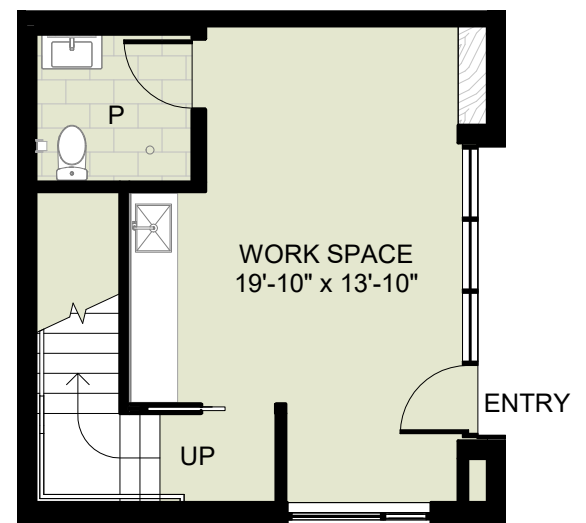
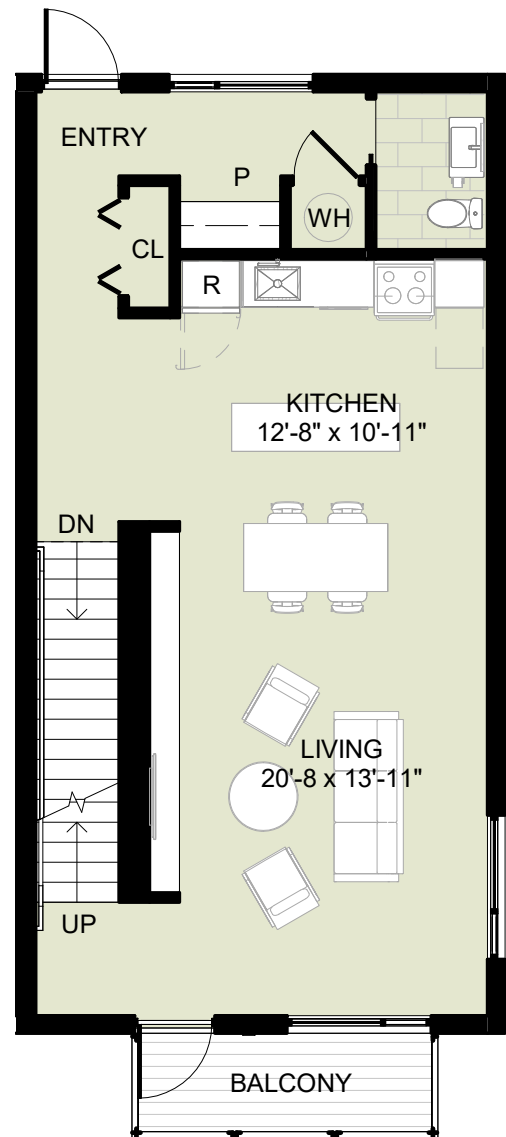
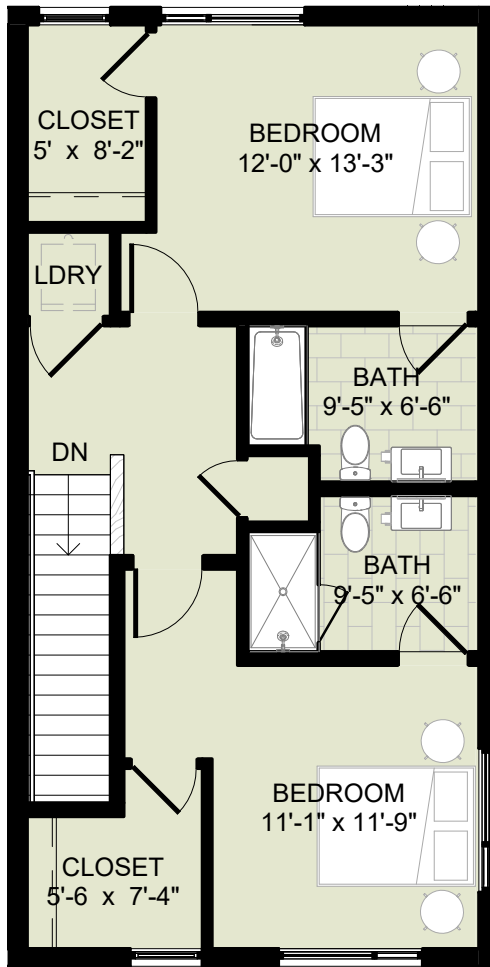
LAKE | FLATO

311 THIRD STREET
SAN ANTONIO, TEXAS 78205
P210.227.3335 F210.224.9515
www.lakeflato.com

DESCRIPTION: BUILDING E - UNIT PLANS

L/F PROJECT NO. 21043
DATE: 09/17/2024
DRAWN BY: A. MARTIN

**UNIT
A-D**



UNIT F TWO BEDROOM

FIRST FLOOR 364 SQ. FT.
SECOND FLOOR 724 SQ. FT.
THIRD FLOOR 667 SQ. FT.

TOTAL - 1,755 SQ. FT.

LAKE FLATO

311 THIRD STREET
SAN ANTONIO, TEXAS 78205
P210.227.3335 F210.224.9515
www.lakeflato.com

DESCRIPTION: BUILDING E - UNIT PLANS

L/F PROJECT NO. 21043
DATE: 09/17/2024
DRAWN BY: A. MARTIN

UNIT F