

## Roofs R Us

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Insured: Matt Long  
Property: 123 Main St  
Anyville , VA 22015

Estimator:  
Company: Roofs R Us

Business:  
E-mail:

**Claim Number:** 001234567-019

**Policy Number:** 001234567/90A

**Type of Loss:** Hail

Date of Loss: 7/7/2019  
Date Inspected:

Date Received:  
Date Entered: 10/9/2019

Price List: VAAR8X\_SEP19  
Restoration/Service/Remodel  
Estimate: SKYFALL\_LONG

2015 Virginia Residential Code  
ADOPTS WITH AMENDMENTS:  
**International Residential Code 2015 (IRC 2015)**

### Section R903 WEATHER PROTECTION

#### R903.1 General

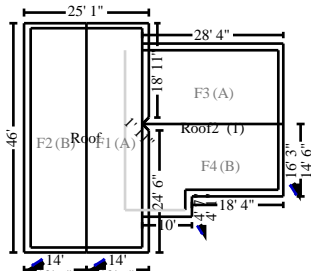
Roof decks shall be covered with approved roof coverings secured to the building or structure in accordance with the provisions of this chapter. Roof assemblies shall be designed and installed in accordance with this code **and the approved manufacturer's instructions** such that the roof assembly shall serve to protect the building or structure.

#### R904.2 Compatibility of Materials

Roof assemblies shall be of **materials that are compatible with each other and with the building** or structure to which the materials are applied.

## SKYFALL\_LONG

### Roof



### Roof

2,300.38 Surface Area  
240.88 Total Perimeter Length

23.00 Number of Squares  
74.27 Total Ridge Length

| DESCRIPTION  | QTY       | RESET | REMOVE | REPLACE | TAX    | O&P      | TOTAL    |
|--|-----------|-------|--------|---------|--------|----------|----------|
| 1. Additional charge for high roof (2 stories or greater)  | 12.86 SQ  |       | 4.29   | 0.00    | 0.00   | 13.80    | 68.97    |
| 2. Additional charge for high roof (2 stories or greater)  | 12.86 SQ  |       | 0.00   | 22.49   | 0.00   | 72.30    | 361.52   |
| 3. Remove 3 tab - 25 yr. - composition shingle roofing - incl. felt<br>10% waste included in allowance roof. | 23.00 SQ  |       | 58.49  | 0.00    | 0.00   | 336.32   | 1,681.59 |
| 4. 3 tab - 25 yr. - composition shingle roofing - incl. felt   | 25.33 SQ  |       | 0.00   | 263.30  | 154.15 | 1,705.89 | 8,529.43 |
| 5. Add. layer of comp. shingles, remove & disp. - 3 tab  | 23.00 SQ  |       | 30.74  | 0.00    | 0.00   | 176.75   | 883.77   |
| 6. Asphalt starter - peel and stick  | 240.88 LF |       | 0.00   | 2.47    | 10.26  | 151.32   | 756.55   |

#### LANDMARK APPLICATION INSTRUCTIONS

##### STARTER COURSE:

1. Use CertainTeed Swiftstart® Starter, or three-tab self-sealing shingles with the lower tab portions removed. Be sure that the starter shingles are at least 7 5/8" in height.

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|                       |           |  |      |      |       |        |          |
|-----------------------|-----------|--|------|------|-------|--------|----------|
| 7. Ice & water shield | 887.85 SF |  | 0.00 | 1.93 | 17.05 | 432.66 | 2,163.26 |
|-----------------------|-----------|--|------|------|-------|--------|----------|

Two overlapping rolls of ice & water shield needed to extend 2' inside exterior wall due to roof pitch. Please see code below.

##### R905.1.2 Ice Barriers

In areas where there has been a history of ice forming along the eaves causing a backup of water as designated in Table R301.2(1), an ice barrier shall be installed for asphalt shingles, metal roof shingles, mineral-surfaced roll roofing, slate and slate-type shingles, wood shingles and wood shakes. The ice barrier shall consist of not fewer than two layers of underlayment cemented together, or a self-adhering polymer-modified bitumen sheet shall be used in place of normal underlayment and extend from the lowest edges of all roof surfaces to a point not less than 24 inches (610 mm) inside the exterior wall line of the building. On roofs with slope equal to or greater than 8 units vertical in 12 units horizontal, the ice barrier shall also be applied not less than 36 inches (914 mm) measured along the roof slope from the eave edge of the building.

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|                               |           |  |      |      |       |        |        |
|-------------------------------|-----------|--|------|------|-------|--------|--------|
| 8. R&R Drip edge/gutter apron | 240.88 LF |  | 0.27 | 2.63 | 11.42 | 177.49 | 887.46 |
|-------------------------------|-----------|--|------|------|-------|--------|--------|

**CONTINUED - Roof**

| DESCRIPTION   | QTY      | RESET | REMOVE | REPLACE | TAX   | O&P    | TOTAL  |
|---|----------|-------|--------|---------|-------|--------|--------|
| R905.2.8.5 Drip Edge. A drip edge shall be provided at eaves and gables of shingle roofs. Adjacent pieces of drip edge shall be overlapped a minimum of 2 inches (51 mm). Drip edges shall extend a minimum of 0.25 inch (6.4 mm) below the roof sheathing and extend up the roof deck a minimum of 2 inches (51 mm). Drip edges shall be mechanically fastened to the roof deck at a maximum of 12 inches (305 mm) on center with fasteners as specified in Section R905.2.5. Underlayment shall be installed over the drip edge along eaves and under the drip edge on gables. Unless specified differently by the shingle manufacturer, shingles are permitted to be flush with the drip edge.   |          |       |        |         |       |        |        |
| 9. R&R Continuous ridge vent - aluminum   | 25.00 LF |       | 0.68   | 9.68    | 5.45  | 66.12  | 330.57 |
| 10. R&R Ridge cap - composition shingles  | 49.27 LF |       | 3.12   | 4.64    | 3.40  | 96.43  | 482.16 |
| ...   |          |       |        |         |       |        |        |
| R908.5 Reinstallation of Materials  |          |       |        |         |       |        |        |
| Existing slate, clay or cement tile shall be permitted for reinstallation, except that damaged, cracked or broken slate or tile shall not be reinstalled. Any existing flashings, edgings, outlets, vents or similar devices that are a part of the assembly shall be replaced where rusted, damaged or deteriorated. Aggregate surfacing materials shall not be reinstalled.   |          |       |        |         |       |        |        |
| R908.6 Flashings  |          |       |        |         |       |        |        |
| Flashings shall be reconstructed in accordance with approved manufacturer's installation instructions. Metal flashing to which bituminous materials are to be adhered shall be primed prior to installation.  |          |       |        |         |       |        |        |
| ...   |          |       |        |         |       |        |        |
| R905.2.8.3 Sidewall Flashing  |          |       |        |         |       |        |        |
| Base flashing against a vertical sidewall shall be continuous or step flashing and shall be not less than 4 inches (102 mm) in height and 4 inches (102 mm) in width and shall direct water away from the vertical sidewall onto the roof or into the gutter. Where siding is provided on the vertical sidewall, the vertical leg of the flashing shall be continuous under the siding. Where anchored masonry veneer is provided on the vertical sidewall, the base flashing shall be provided in accordance with this section and counterflashing shall be provided in accordance with Section R703.8.2.2. Where exterior plaster or adhered masonry veneer is provided on the vertical sidewall, the base flashing shall be provided in accordance with this section and Section R703.6.3. |          |       |        |         |       |        |        |
| R905.2.8.4 Other Flashing   |          |       |        |         |       |        |        |
| Flashing against a vertical front wall, as well as soil stack, vent pipe and chimney flashing, shall be applied in accordance with the asphalt shingle manufacturer's printed instructions.   |          |       |        |         |       |        |        |
| ...   |          |       |        |         |       |        |        |
| 11. Step flashing   | 35.95 LF |       | 0.00   | 10.64   | 2.93  | 96.36  | 481.80 |
| 12. R&R Flashing - pipe jack  | 4.00 EA  |       | 5.72   | 45.98   | 2.31  | 52.28  | 261.39 |
| 13. R&R Rain cap - 4" to 5"   | 1.00 EA  |       | 4.07   | 37.64   | 1.04  | 10.69  | 53.44  |
| 14. Prime & paint roof vent   | 1.00 EA  |       | 0.00   | 35.99   | 0.42  | 9.10   | 45.51  |
| 15. R&R Chimney flashing - average (32" x 36")  | 1.00 EA  |       | 15.22  | 431.84  | 4.61  | 112.91 | 564.58 |
| 16. R&R Fireplace - chimney chase cover - sheet metal   | 1.00 EA  |       | 15.22  | 468.03  | 12.17 | 123.85 | 619.27 |

**CONTINUED - Roof**

| DESCRIPTION                                   | QTY     | RESET | REMOVE | REPLACE | TAX  | O&P   | TOTAL  |
|---|---------|-------|--------|---------|------|-------|--------|
| 17. R&R Power attic vent cover only - metal   | 1.00 EA |       | 10.15  | 97.83   | 1.82 | 27.44 | 137.24 |
| 18. Digital satellite system - Detach & reset | 1.00 EA |       | 0.00   | 28.59   | 0.00 | 7.15  | 35.74  |
| 19. Roofer - per hour                         | 2.30 HR |       | 0.00   | 155.97  | 0.00 | 89.68 | 448.41 |

Allowance for roofer to inspect sheathing to determine compliance with code below. Any labor or materials required to re-nail or replace sheathing will be in addition to this estimate. Please see VA code below:

**R905.2.1 Sheathing Requirements**

Asphalt shingles shall be fastened to solidly sheathed decks.

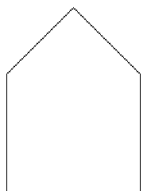
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|   |             |  |      |      |      |       |        |
|---|-------------|--|------|------|------|-------|--------|
| 20. Final cleaning - construction - Residential | 1,150.19 SF |  | 0.00 | 0.22 | 0.00 | 63.26 | 316.30 |
|---|-------------|--|------|------|------|-------|--------|

Allowance to remove and nails and other roofing debris from yard post job completion.

|              |  |  |  |  |               |                 |                  |
|--------------|--|--|--|--|---------------|-----------------|------------------|
| Totals: Roof |  |  |  |  | 227.03        | 3,821.80        | 19,108.96        |
| Total: Roof  |  |  |  |  | <b>227.03</b> | <b>3,821.80</b> | <b>19,108.96</b> |

**Exterior**



**Front Elevation**

55.13 SF Walls  
55.13 SF Long Wall  
23.48 LF Ceil. Perimeter

**Formula Elevation 21' x 0" x 5' 3"**

21.00 LF Floor Perimeter  
55.13 SF Short Wall

| DESCRIPTION   | QTY      | RESET | REMOVE | REPLACE | TAX   | O&P   | TOTAL  |
|---|----------|-------|--------|---------|-------|-------|--------|
| 21. R&R Gutter / downspout - aluminum - up to 5"                  | 27.92 LF |       | 0.41   | 6.33    | 4.22  | 48.10 | 240.50 |
| 22. Prime & paint gutter / downspout                              | 27.92 LF |       | 0.00   | 1.69    | 0.40  | 11.90 | 59.48  |
| 23. R&R Wrap wood window frame & trim with aluminum sheet - Large | 1.00 EA  |       | 33.83  | 259.75  | 2.93  | 74.12 | 370.63 |
| 24. R&R Siding - aluminum (.019 thickness) - Standard grade       | 55.13 SF |       | 0.38   | 6.42    | 11.84 | 96.68 | 483.40 |
| 25. R&R House wrap (air/moisture barrier)                         | 55.13 SF |       | 0.04   | 0.34    | 0.53  | 5.36  | 26.84  |

**CONTINUED - Front Elevation**

| DESCRIPTION   | QTY     | RESET | REMOVE | REPLACE | TAX   | O&P    | TOTAL    |
|---|---------|-------|--------|---------|-------|--------|----------|
| 26. R&R Attic vent - gable end - metal<br>- 12" x 18" | 1.00 EA |       | 6.77   | 65.46   | 1.02  | 18.32  | 91.57    |
| Totals: Front Elevation                               |         |       |        |         | 20.94 | 254.48 | 1,272.42 |

**Right Elevation**

| DESCRIPTION  | QTY       | RESET | REMOVE | REPLACE | TAX    | O&P      | TOTAL    |
|--|-----------|-------|--------|---------|--------|----------|----------|
| 27. R&R Siding - aluminum (.019<br>thickness) - Standard grade | 759.67 SF |       | 0.38   | 6.42    | 163.18 | 1,332.24 | 6,661.17 |
| 28. R&R House wrap (air/moisture<br>barrier)                   | 759.67 SF |       | 0.04   | 0.34    | 7.29   | 73.99    | 369.96   |
| 29. Siding - General Laborer - per hour                        | 1.00 HR   |       | 0.00   | 33.50   | 0.00   | 8.38     | 41.88    |
| 30. R&R Gutter / downspout -<br>aluminum - up to 5"            | 42.00 LF  |       | 0.41   | 6.33    | 6.35   | 72.36    | 361.79   |
| 31. Prime & paint gutter / downspout                           | 42.00 LF  |       | 0.00   | 1.69    | 0.60   | 17.90    | 89.48    |
| 32. R&R Attic vent - gable end - metal<br>- 12" x 18"          | 1.00 EA   |       | 6.77   | 65.46   | 1.02   | 18.32    | 91.57    |
| Totals: Right Elevation  |           |       |        |         | 178.44 | 1,523.19 | 7,615.85 |

**Rear Elevation**

| DESCRIPTION   | QTY       | RESET | REMOVE | REPLACE | TAX    | O&P    | TOTAL    |
|---|-----------|-------|--------|---------|--------|--------|----------|
| 33. R&R Siding - aluminum (.019<br>thickness) - Standard grade        | 504.61 SF |       | 0.38   | 6.42    | 108.39 | 884.94 | 4,424.68 |
| 34. R&R House wrap (air/moisture<br>barrier)                          | 504.61 SF |       | 0.04   | 0.34    | 4.84   | 49.16  | 245.75   |
| 35. Exterior light fixture - Detach &<br>reset                        | 2.00 EA   |       | 0.00   | 76.75   | 0.00   | 38.38  | 191.88   |
| 36. Detach & Reset Downspout -<br>aluminum - up to 5"                 | 11.00 LF  | 4.44  | 0.00   | 0.00    | 0.00   | 12.21  | 61.05    |
| 37. R&R Gutter / downspout -<br>aluminum - up to 5"                   | 27.92 LF  |       | 0.41   | 6.33    | 4.22   | 48.10  | 240.50   |
| 38. Prime & paint gutter / downspout                                  | 27.92 LF  |       | 0.00   | 1.69    | 0.40   | 11.90  | 59.48    |
| 39. R&R Wrap wood window frame &<br>trim with aluminum sheet - XLarge | 1.00 EA   |       | 38.06  | 317.59  | 3.85   | 89.89  | 449.39   |
| 40. R&R Wrap wood window frame &<br>trim with aluminum sheet          | 1.00 EA   |       | 26.83  | 190.64  | 2.39   | 54.96  | 274.82   |

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**CONTINUED - Rear Elevation**

| DESCRIPTION   | QTY     | RESET | REMOVE | REPLACE | TAX    | O&P      | TOTAL    |
|---|---------|-------|--------|---------|--------|----------|----------|
| 41. R&R Wrap wood window frame & trim with aluminum sheet - Large | 3.00 EA |       | 33.83  | 259.75  | 8.79   | 222.39   | 1,111.92 |
| 42. R&R Attic vent - gable end - metal - 12" x 18"                | 1.00 EA |       | 6.77   | 65.46   | 1.02   | 18.32    | 91.57    |
| Totals: Rear Elevation  |         |       |        |         | 133.90 | 1,430.25 | 7,151.04 |

**Left Elevation**

| DESCRIPTION   | QTY       | RESET | REMOVE | REPLACE | TAX           | O&P             | TOTAL            |
|---|-----------|-------|--------|---------|---------------|-----------------|------------------|
| 43. R&R Siding - aluminum (.019 thickness) - Standard grade       | 759.67 SF |       | 0.38   | 6.42    | 163.18        | 1,332.24        | 6,661.17         |
| 44. R&R House wrap (air/moisture barrier)                         | 759.67 SF |       | 0.04   | 0.34    | 7.29          | 73.99           | 369.96           |
| 45. R&R Clothes dryer vent cover                                  | 2.00 EA   |       | 3.04   | 43.62   | 0.76          | 23.52           | 117.60           |
| 46. Detach & Reset Downspout - aluminum - up to 5"                | 35.00 LF  | 4.44  | 0.00   | 0.00    | 0.00          | 38.85           | 194.25           |
| 47. Exterior light fixture - Detach & reset                       | 1.00 EA   |       | 0.00   | 76.75   | 0.00          | 19.19           | 95.94            |
| 48. R&R Wrap wood window frame & trim with aluminum sheet         | 2.00 EA   |       | 26.83  | 190.64  | 4.78          | 109.94          | 549.66           |
| 49. R&R Wrap wood window frame & trim with aluminum sheet - Large | 1.00 EA   |       | 33.83  | 259.75  | 2.93          | 74.12           | 370.63           |
| 50. Prime & paint gutter / downspout                              | 42.00 LF  |       | 0.00   | 1.69    | 0.60          | 17.90           | 89.48            |
| 51. R&R Attic vent - gable end - metal - 12" x 18"                | 1.00 EA   |       | 6.77   | 65.46   | 1.02          | 18.32           | 91.57            |
| Totals: Left Elevation  |           |       |        |         | 180.56        | 1,708.07        | 8,540.26         |
| Total: Exterior   |           |       |        |         | <b>513.84</b> | <b>4,915.99</b> | <b>24,579.57</b> |

**Interior****Master Bedroom**

| DESCRIPTION                 | QTY     | RESET | REMOVE | REPLACE | TAX   | O&P    | TOTAL  |
|-----------------------------|---------|-------|--------|---------|-------|--------|--------|
| 52. Per adjuster's estimate | 1.00 EA |       | 0.00   | 504.21  | 30.25 | 133.62 | 668.08 |
| Totals: Master Bedroom      |         |       |        |         | 30.25 | 133.62 | 668.08 |

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**Master Bath**

| DESCRIPTION                 | QTY     | RESET | REMOVE | REPLACE | TAX          | O&P           | TOTAL         |
|-----------------------------|---------|-------|--------|---------|--------------|---------------|---------------|
| 53. Per Adjuster's estimate | 1.00 EA |       | 0.00   | 248.00  | 14.88        | 65.72         | 328.60        |
| Totals: Master Bath         |         |       |        |         | 14.88        | 65.72         | 328.60        |
| Total: Interior             |         |       |        |         | <b>45.13</b> | <b>199.34</b> | <b>996.68</b> |

**General**

| DESCRIPTION  | QTY     | RESET | REMOVE | REPLACE | TAX           | O&P             | TOTAL            |
|--|---------|-------|--------|---------|---------------|-----------------|------------------|
| 54. Dumpster load - Approx. 12 yards, 1-3 tons of debris | 1.00 EA |       | 452.00 | 0.00    | 0.00          | 113.00          | 565.00           |
| Totals: General  |         |       |        |         | 0.00          | 113.00          | 565.00           |
| Line Item Totals: SKYFALL_LONG                           |         |       |        |         | <b>786.00</b> | <b>9,050.13</b> | <b>45,250.21</b> |

**Grand Total Areas:**

|                             |                                  |                               |
|-----------------------------|----------------------------------|-------------------------------|
| 55.13 SF Walls              | 0.00 SF Ceiling                  | 55.13 SF Walls and Ceiling    |
| 0.00 SF Floor               | 0.00 SY Flooring                 | 21.00 LF Floor Perimeter      |
| 55.13 SF Long Wall          | 55.13 SF Short Wall              | 23.48 LF Ceil. Perimeter      |
| 0.00 Floor Area             | 0.00 Total Area                  | 0.00 Interior Wall Area       |
| 1,346.65 Exterior Wall Area | 0.00 Exterior Perimeter of Walls |                               |
| 2,300.38 Surface Area       | 23.00 Number of Squares          | 240.88 Total Perimeter Length |
| 74.27 Total Ridge Length    | 0.00 Total Hip Length            |                               |

| Coverage         | Item Total | %       | ACV Total | %       |
|------------------|------------|---------|-----------|---------|
| Dwelling         | 44,253.53  | 97.80%  | 44,253.53 | 97.80%  |
| Other Structures | 0.00       | 0.00%   | 0.00      | 0.00%   |
| Contents         | 996.68     | 2.20%   | 996.68    | 2.20%   |
| Total            | 45,250.21  | 100.00% | 45,250.21 | 100.00% |

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### Summary for Dwelling

|                               |                    |
|-------------------------------|--------------------|
| Line Item Total               | 34,661.87          |
| Material Sales Tax            | 740.87             |
| Subtotal                      | 35,402.74          |
| Overhead                      | 5,310.45           |
| Profit                        | 3,540.34           |
| <b>Replacement Cost Value</b> | <b>\$44,253.53</b> |
| <b>Net Claim</b>              | <b>\$44,253.53</b> |

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Fernando Meija



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### Summary for Contents

|                               |                 |
|-------------------------------|-----------------|
| Line Item Total               | 752.21          |
| Material Sales Tax            | 45.13           |
| Subtotal                      | 797.34          |
| Overhead                      | 119.60          |
| Profit                        | 79.74           |
| <b>Replacement Cost Value</b> | <b>\$996.68</b> |
| <b>Net Claim</b>              | <b>\$996.68</b> |

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Fernando Meija

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**Recap of Taxes, Overhead and Profit**

|                   | <b>Overhead (15%)</b> | <b>Profit (10%)</b> | <b>Material Sales Tax<br/>(6%)</b> | <b>Manuf. Home Tax<br/>(6%)</b> | <b>Storage Rental Tax<br/>(6%)</b> | <b>Food Tax (2.5%)</b> |
|-------------------|-----------------------|---------------------|------------------------------------|---------------------------------|------------------------------------|------------------------|
| <b>Line Items</b> |                       |                     |                                    |                                 |                                    |                        |
|                   | 5,430.05              | 3,620.08            | 786.00                             | 0.00                            | 0.00                               | 0.00                   |
| <b>Total</b>      | <b>5,430.05</b>       | <b>3,620.08</b>     | <b>786.00</b>                      | <b>0.00</b>                     | <b>0.00</b>                        | <b>0.00</b>            |

## Recap by Room

Estimate: SKYFALL\_LONG

**Area: Roof**

**Roof**

|                    |           |           |        |
|--------------------|-----------|-----------|--------|
|                    | 100.00% = | 15,060.13 | 42.53% |
| Coverage: Dwelling |           | 15,060.13 |        |

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**Area Subtotal: Roof**

|                    |           |           |        |
|--------------------|-----------|-----------|--------|
|                    | 100.00% = | 15,060.13 | 42.53% |
| Coverage: Dwelling |           | 15,060.13 |        |

**Area: Exterior**

**Front Elevation**

|                    |           |        |       |
|--------------------|-----------|--------|-------|
|                    | 100.00% = | 997.00 | 2.82% |
| Coverage: Dwelling |           | 997.00 |       |

**Right Elevation**

|                    |           |          |        |
|--------------------|-----------|----------|--------|
|                    | 100.00% = | 5,914.22 | 16.70% |
| Coverage: Dwelling |           | 5,914.22 |        |

**Rear Elevation**

|                    |           |          |        |
|--------------------|-----------|----------|--------|
|                    | 100.00% = | 5,586.89 | 15.78% |
| Coverage: Dwelling |           | 5,586.89 |        |

**Left Elevation**

|                    |           |          |        |
|--------------------|-----------|----------|--------|
|                    | 100.00% = | 6,651.63 | 18.78% |
| Coverage: Dwelling |           | 6,651.63 |        |

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**Area Subtotal: Exterior**

|                    |           |           |        |
|--------------------|-----------|-----------|--------|
|                    | 100.00% = | 19,149.74 | 54.07% |
| Coverage: Dwelling |           | 19,149.74 |        |

**Area: Interior**

**Master Bedroom**

|                    |           |        |       |
|--------------------|-----------|--------|-------|
|                    | 100.00% = | 504.21 | 1.42% |
| Coverage: Contents |           | 504.21 |       |

**Master Bath**

|                    |           |        |       |
|--------------------|-----------|--------|-------|
|                    | 100.00% = | 248.00 | 0.70% |
| Coverage: Contents |           | 248.00 |       |

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**Area Subtotal: Interior**

|                    |           |        |       |
|--------------------|-----------|--------|-------|
|                    | 100.00% = | 752.21 | 2.12% |
| Coverage: Contents |           | 752.21 |       |

**General**

|                    |           |        |       |
|--------------------|-----------|--------|-------|
|                    | 100.00% = | 452.00 | 1.28% |
| Coverage: Dwelling |           | 452.00 |       |

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**Subtotal of Areas**

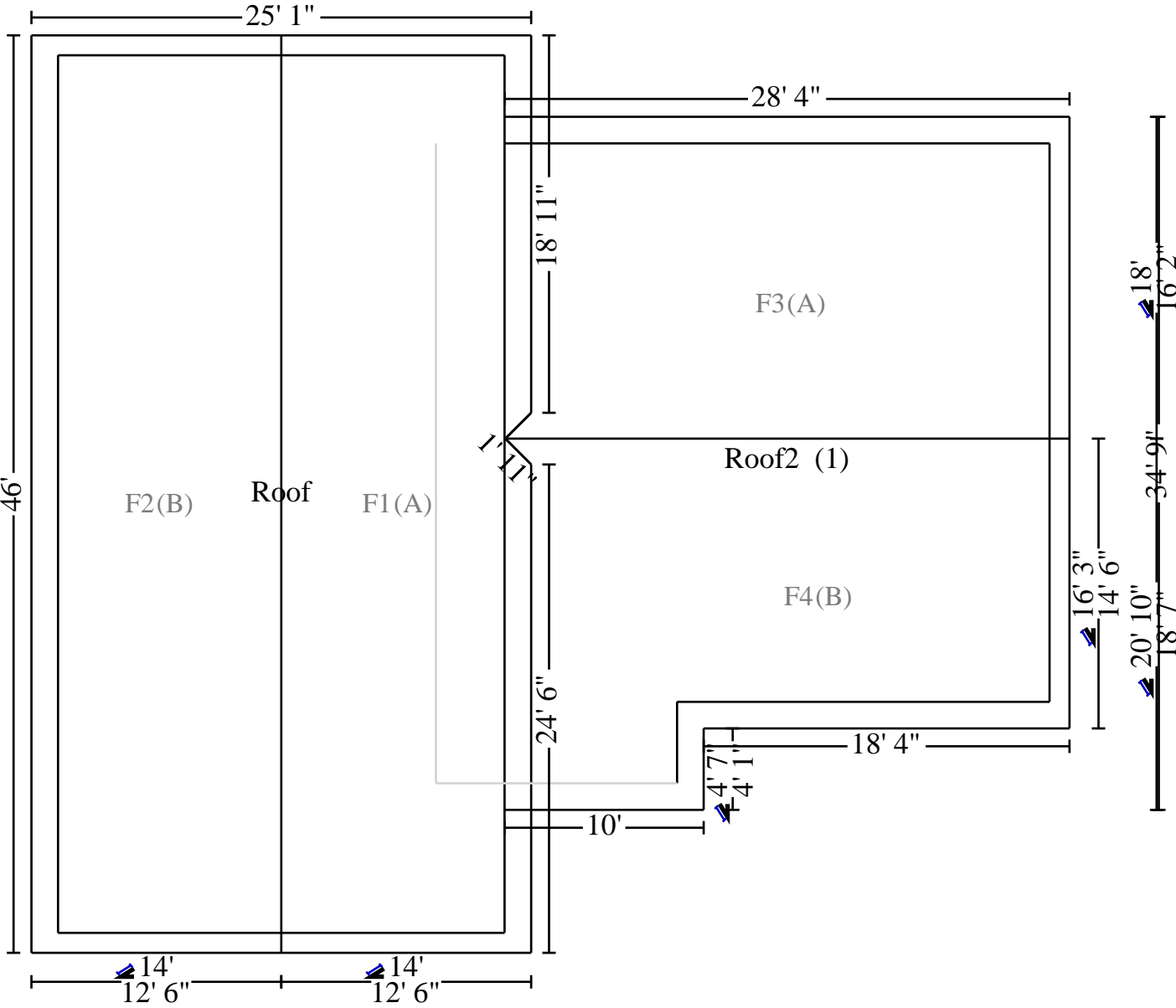
|                    |          |           |         |
|--------------------|----------|-----------|---------|
|                    | 97.88% = | 35,414.08 | 100.00% |
| Coverage: Dwelling |          | 34,661.87 |         |
| Coverage: Contents | 2.12% =  | 752.21    |         |

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|              |  |                  |                |
|--------------|--|------------------|----------------|
| <b>Total</b> |  | <b>35,414.08</b> | <b>100.00%</b> |
|--------------|--|------------------|----------------|

### Recap by Category

| O&P Items                                |   |         |   | Total            | %              |
|--|---|---------|---|------------------|----------------|
| <b>CLEANING</b>                          |   |         |   | <b>253.04</b>    | <b>0.56%</b>   |
| Coverage: Dwelling                       | @ | 100.00% | = | 253.04           |                |
| <b>GENERAL DEMOLITION</b>                |   |         |   | <b>4,096.95</b>  | <b>9.05%</b>   |
| Coverage: Dwelling                       | @ | 100.00% | = | 4,096.95         |                |
| <b>FIREPLACES</b>                        |   |         |   | <b>468.03</b>    | <b>1.03%</b>   |
| Coverage: Dwelling                       | @ | 100.00% | = | 468.03           |                |
| <b>HEAT, VENT &amp; AIR CONDITIONING</b> |   |         |   | <b>87.24</b>     | <b>0.19%</b>   |
| Coverage: Dwelling                       | @ | 100.00% | = | 87.24            |                |
| <b>LIGHT FIXTURES</b>                    |   |         |   | <b>230.25</b>    | <b>0.51%</b>   |
| Coverage: Dwelling                       | @ | 100.00% | = | 230.25           |                |
| <b>PAINTING</b>                          |   |         |   | <b>272.31</b>    | <b>0.60%</b>   |
| Coverage: Dwelling                       | @ | 100.00% | = | 272.31           |                |
| <b>ROOFING</b>                           |   |         |   | <b>11,892.31</b> | <b>26.28%</b>  |
| Coverage: Dwelling                       | @ | 100.00% | = | 11,892.31        |                |
| <b>SIDING</b>                            |   |         |   | <b>16,538.18</b> | <b>36.55%</b>  |
| Coverage: Dwelling                       | @ | 100.00% | = | 16,538.18        |                |
| <b>SOFFIT, FASCIA, &amp; GUTTER</b>      |   |         |   | <b>823.56</b>    | <b>1.82%</b>   |
| Coverage: Dwelling                       | @ | 100.00% | = | 823.56           |                |
| <b>USER DEFINED ITEMS</b>                |   |         |   | <b>752.21</b>    | <b>1.66%</b>   |
| Coverage: Contents                       | @ | 100.00% | = | 752.21           |                |
| <b>O&amp;P Items Subtotal</b>            |   |         |   | <b>35,414.08</b> | <b>78.26%</b>  |
| <b>Material Sales Tax</b>                |   |         |   | <b>786.00</b>    | <b>1.74%</b>   |
| Coverage: Dwelling                       | @ | 94.26%  | = | 740.87           |                |
| Coverage: Contents                       | @ | 5.74%   | = | 45.13            |                |
| <b>Overhead</b>                          |   |         |   | <b>5,430.05</b>  | <b>12.00%</b>  |
| Coverage: Dwelling                       | @ | 97.80%  | = | 5,310.45         |                |
| Coverage: Contents                       | @ | 2.20%   | = | 119.60           |                |
| <b>Profit</b>                            |   |         |   | <b>3,620.08</b>  | <b>8.00%</b>   |
| Coverage: Dwelling                       | @ | 97.80%  | = | 3,540.34         |                |
| Coverage: Contents                       | @ | 2.20%   | = | 79.74            |                |
| <b>Total</b>                             |   |         |   | <b>45,250.21</b> | <b>100.00%</b> |



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### Sketch Roof Annotations

| Roof Face        | Square Feet | Number of Squares | Slope - Rise / 12 |
|------------------|-------------|-------------------|-------------------|
| F1               | 642.12      | 6.42              | 6.00              |
| F2               | 644.00      | 6.44              | 6.00              |
| F3               | 509.77      | 5.10              | 6.00              |
| F4               | 504.49      | 5.04              | 6.00              |
| Estimated Total: | 2,300.38    | 23.00             |                   |