

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Exterior Covering

1) A couple of Mud Dauber nests were observed in soffit areas. Recommend cleaning off.



Figure 2-1

Windows

2) Plantation shutters around the home are installed without a frame on most windows. They are installed as an inside mount and they are blocking the Anderson window crank handles and locks. Because of this, egress windows in bedrooms cannot be opened because the plantation shutters are blocking the Anderson latch mechanisms. If the installer had used an outside mount frame, this would not be an issue. Possibly Anderson has a hardware solution that doesn't hit the plantation shutters. Recommend solving this issue for egress and fire safety. The below pictures are examples of what was observed:

(Report Summary continued)



Figure 3-1



Figure 3-2

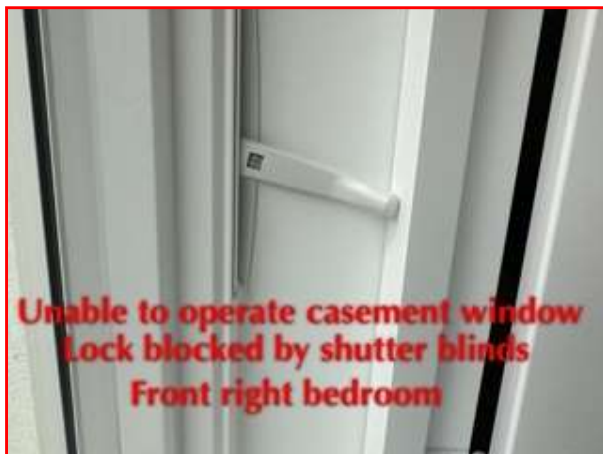


Figure 3-3



Figure 3-4



Figure 3-5



Figure 3-6

(Report Summary continued)



Figure 3-7



Figure 3-8



Figure 3-9



Figure 3-10

Entry Doors

3) Service the slider off the dining room. The panel gets caught at the top track. Paint wear to the track can be seen. Recommend a sliding door contractor repair for easier operation of the door and to prevent further finish damage.

(Report Summary continued)



Figure 4-1

Wall//Ceiling

4) There are garage ceiling touchup areas by the openers. It appears the garage door opener framing was relocated and the installer had to spackle the abandoned holes. Recommend refinishing the ceiling.



Figure 6-1



Figure 6-2

(Report Summary continued)

Roof Covering Age

5) The average life expectancy of a concrete tile roof in South Florida is 18- 25 years. There are a few cracked and chipped tiles. A few slipped tiles were also observed. Recommend the installing roofer evaluate the entire roof and replace cracked tiles, mortar any chips, and secure loose tiles. The roofer should also service the mitered Ridge tiles and edges where needed. Insurance companies do not like to see any type of roof damage. On the separate 4 Point Report, the roof is marked unsatisfactory because of the current damage issues that need repair. When the repairs are made, we can re-photograph the roof and change the Report to satisfactory should you need it in the future for insurance. It is important to maintain roofing tiles for maximum life. The below pictures are examples of what was observed may not be all the damage that needs repair:



Figure 8-1



Figure 8-2



Figure 8-3

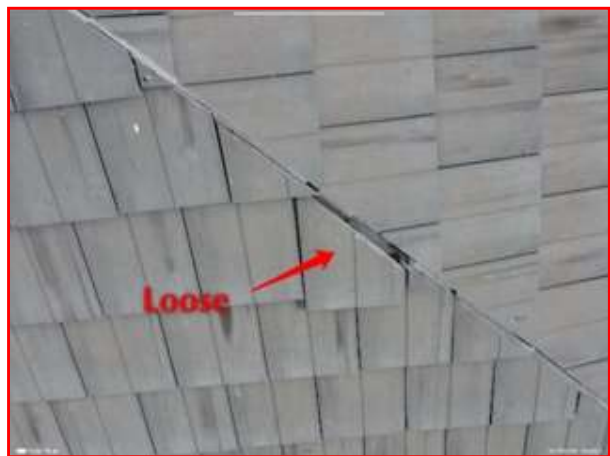


Figure 8-4

(Report Summary continued)



Figure 8-5

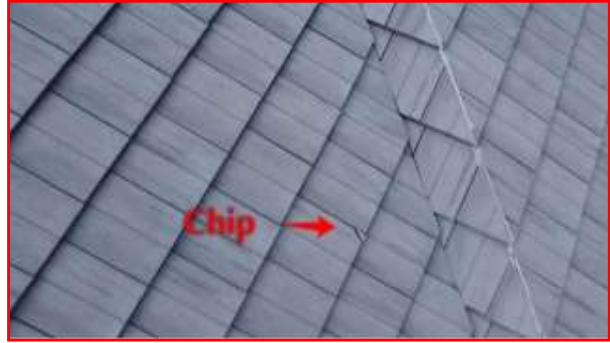


Figure 8-6

Gutters & Downspouts

6) Some staining was observed at gutter joints around the home. Recommend cleaning gutters and re-sealing joints to prevent leakage.



Figure 9-1



Figure 9-2



Figure 9-3



Figure 9-4

(Report Summary continued)

Type of Service

7) A 2022 natural gas generator is located on the right side of the home. It looked like the green status indicator light is not working. Contact the servicing contractor for further evaluation and repair.

A generator inspection is not part of a home inspection. It was turned on briefly and running at time of inspection.



Figure 16-1



Figure 16-2



Figure 16-3



Figure 16-4

(Report Summary continued)



Figure 16-5



Figure 16-6

Branch Circuit Wiring

8) Bathrooms are considered wet areas and all receptacles should be GFCI protected. There is no protection in the master bathroom. Recommend an electrician install receptacle protection for electrical safety.



Figure 19-1



Figure 19-2

(Report Summary continued)



Figure 19-3

Filter Type

9) The air filters in the home appear to have been changed in January 2025. It is generally recommended that filters get changed every 3 to 4 months. Recommend changing all filters.



Figure 22-1

(Report Summary continued)

Type of Distribution

10) In the hallway off the garage, there is a piece of foam in the ceiling supply vent. Recommend removing. This was probably leftover during construction.



Figure 23-1

Plumbing: Water Softener / Filtration System

11) Filtration systems are not inspected other than to locate any visible leaks. The softener salt tank appeared to be just about out of salt. Recommend having Atlantic Filter service the system outside and the under-sink osmosis system.



Figure 28-1



Figure 28-2

(Report Summary continued)



Figure 28-3



Figure 28-4

Walls/Ceilings

12) There is a light blemish above the washer and dryer in the laundry room. The area appears to be dry. Recommend refinishing.



Figure 29-1



Figure 29-2

13) There is a ceiling Sheetrock joint repair near the dinette. The area was dry at time of inspection. Recommend refinishing. There is also a mark in the ceiling above the island that should be repaired.

(Report Summary continued)



Figure 30-1

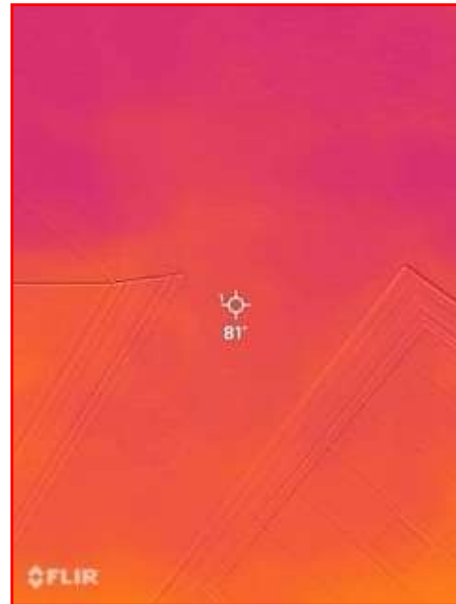


Figure 30-2



Figure 30-3

(Report Summary continued)

Bathroom Cabinets

14) There was light staining/residue under the shutoffs in the under sink cabinets in the bathrooms, laundry and kitchens. All of these areas were dry. They appear to be left over residue from a plumber when installing the shut off valves. Recommend cleaning all the sink base cabinets. Below pictures are examples of what was observed:



Figure 31-1



Figure 31-2



Figure 31-3

Range Hood

15) The hood vent above the kitchen range should be cleaned.

(Report Summary continued)

Refrigerator

16) Replace both of the kitchen refrigerator water filters.



Figure 35-1

Lawn Sprinkler

17) There is an irrigation rust control tank at the irrigation equipment. The tank is empty. Some staining was observed on exterior walls, which may be the result of there being little or no rust prevention chemical. Recommend a rust control chemical contractor check the system and fill the tank. Recommend cleaning the walls with a rust stain remover.



Figure 40-1



Figure 40-2

(Report Summary continued)



Figure 40-3



Figure 40-4

Interior Finish

18) There are multiple areas of visible calcium deposits, forming around the pool and spa. Calcium deposits forming at the joints is a common issue where moisture draws mineral salts, like calcium carbonate, from the grout or substrate to the surface, leaving behind white, chalky residue. This is especially prevalent when tiles are installed over damp surfaces, or if poor-quality grout or improper waterproofing has been used. To address this, surface deposits can be removed with a stiff brush, vinegar solution (if safe for the materials), or a commercial efflorescence cleaner. However, if the problem persists, it may indicate deeper moisture issues or installation defects. To prevent recurrence, it's important to ensure proper curing, seal the grout once dry, and address any underlying water infiltration or ventilation problems. Recommend further evaluation by the pool installer for cleaning and repair if needed. The below pictures are examples of what was observed.

(Report Summary continued)



Figure 41-1

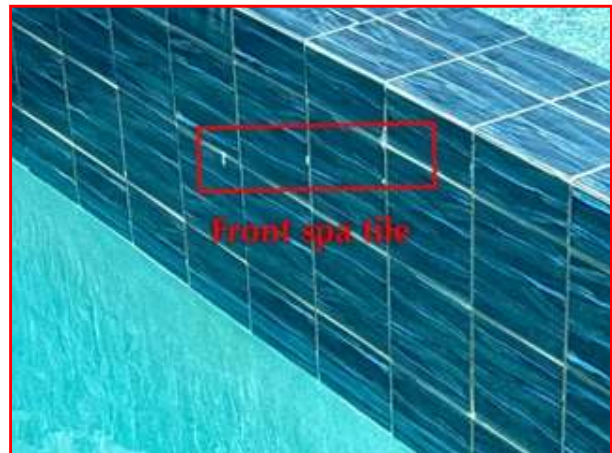


Figure 41-2

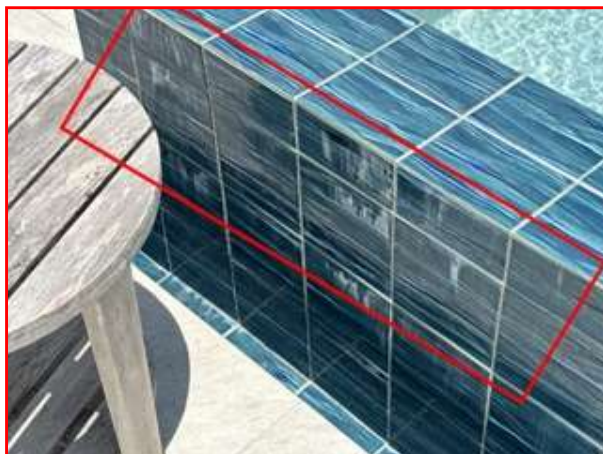


Figure 41-3



Figure 41-4



Figure 41-5



Figure 41-6

(Report Summary continued)



Figure 41-7

Installed Equipment

19) The pool heater was powered off. I was unable to power it on. Possibly it is functioning properly and I was just unable to operate it properly. Recommend verifying function.



Figure 44-1



Figure 44-2

(Report Summary continued)



Figure 44-3