

COBBLE SPRINGS

HOUSING & DESIGN GUIDELINES

52-78 Alfred Road.
Cobblebank.

OCTOBER 2022 v.4

email | cobblespringsapprovals@janetrobertsdesign.com



MELTON PLANNING SCHEME
This plan is endorsed as satisfying Condition 9 of
Planning Permit No. PA2020/7020/1
Plan 1 of 18

Valentine Sedze
Signature of Responsible Authority
Date 7/12/2022

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GUIDE TO APPROVAL

STEP BY STEP APPROVAL PROCESS

- Purchase your land
- Design your home
- Submit your plans to the COBBLE SPRINGS design review panel
- Receive approval from the design review panel
- Obtain building permit
- Start construction within 12 months of settlement date
- Complete construction within 24 months of settlement date,
including the garage, driveway fencing and retaining walls
- Complete fencing within 30 days of Certificate of Occupancy being issued
- Complete landscaping within 6 months of the Certificate of Occupancy being issued.

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52-78 ALFRED ROAD COBBLE SPRINGS

OVERVIEW AND OBJECTIVES

Welcome to 52-78 Alfred Road, Cobblebank, the "COBBLE SPRINGS" Estate. We are excited that you have chosen to be part of our master planned community.

To ensure that our community looks beautiful and feels welcoming well into the future, there are some Housing Design Guidelines to follow when planning & designing your new home.

This process helps protect the integrity of your investment and provide you with peace of mind that all homes in your neighbourhood are built to the same high standards as yours, encouraging everyone to express their own individual style within the guideline parameters.

APPLICATION OF THE GUIDELINES AND THEIR USE

These guidelines convey a simple set of objectives and parameters for dwelling design that also provide flexibility in selection and choice of housing. Diversity is encouraged.

To ensure compliance with the "COBBLE SPRINGS" Housing & Design Guidelines, all designs must be approved by the Cobble Springs Design Review Panel (CSDRP) prior to submission for Building Permit approval.

In consideration of dwelling design, the CSDRP may exercise discretion to waive or vary a requirement where they deem it appropriate for the development. The Guidelines are subject to change by the developer at any time without notice following planning approval by the associated Council. All decisions regarding the Guidelines are at the discretion of the CSDRP.



OBJECTIVES

To ensure the quality of housing and landscape is delivered and to maximise the estates appeal, these guidelines are designed to complement the vision to achieve the developer's intention. The following key elements are set out in the "COBBLE SPRINGS" Estate Design Guidelines:

- Design Assessment Panel Approval
- Architectural attributes
- Colours & materials
- Landscape & fencing

These Guidelines are to be used in association with the Toolern PSP and may be subject to changes by Melton Shire Council.

SMALL LOT HOUSING CODE

Lots with an area less than 300m² are subject to the requirements of the Small Lot Housing Code (SLHC) in addition to the Guidelines in areas including Landscaping, colour palette and ancillary uses subject to CSDRP approval.

Where there is a conflict between the requirements of the Guidelines and SLHC, SLHC will take precedence except where specific lots have been identified for variation in front setbacks (see Building Setbacks)

DESIGN ASSESSMENT AND APPROVAL

All homes built at "COBBLE SPRINGS" must be approved by the CSDRP (Cobble Springs Design Review Panel) prior to lodging for any Building Permit or commencing any works. The CSDRP is appointed by the developer to implement the objectives of the Housing Design Guidelines. The design Guidelines define the criteria used to assess building plans for design Approval.

Please note that any proposal or element of a proposal that meets the objectives of the Housing Design Guidelines but is not strictly in accordance with the wording of the Housing Design Guidelines, may be approved by the CSDRP.

Approval by the CSDRP however does not exempt the plans from any building or statutory regulations, nor infer compliance with the building regulations or other applicable statutory legislation. Separate approval must be obtained from relevant authorities.

Allowance has been made for two submissions for each Design Approval application. Each additional submission will incur an administration fee. New submissions for a Lot that already has an approved application will incur an additional fee for each submission. No claims shall be made to the developer or their representatives with respect to the decisions made.

SUBMISSION REQUIREMENTS

All submissions for CSDRP must include the following information:

- Site plan at 1:200, with dimensions and showing the building outline, setbacks and % value of site permeability.
- All floor plans, roof plans and elevations at 1:100, showing with dimensions, the internal layout, and any pergolas, decks, terraces, balconies, verandas, windows, doors, and other openings.
- Provide printed samples or images (swatches, colour photos, etc.) of all proposed external materials and colour selections.
- Landscape plan at 1:100, with dimensions and showing the indicative extent of all hardscapes and softscape, and a planting schedule that lists all proposed species referenced on a landscape plan.
- For lots with greater than 1.5m landfall, please include at least one sectional drawing showing the extent of cut and fill and heights /materials of retaining walls.

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SUBMISSIONS

When you are ready to submit your application for Design Approval, you can lodge it to the CSDRP. As well as being a source of information, the CSDRP can help Owners, Designers, Builders and Developers to lodge and keep up to date with the progress of their submission from lodgement through to approval. Generally, the CSDRP will respond within 48hrs with an Acknowledgement of Application and have a review within 10 working days of submission, but this time may vary depending on the nature and completeness of the submission.

Lodge at: cobblespringsapprovals@janetrobertsdesign.com

PRO-TIP

Please note that incomplete submissions are the single greatest cause of delays in obtaining Design Approval. Check that the submission includes all required information before lodging. Complete submissions take the least time to process, review and approve.

RE-SUBMISSIONS

Should a re-submission be required, please ensure that any alterations or changes are highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

TIMING

- Construction of your home should start within 12 months of the settlement date.
- Completion of your home should occur within 24 months of settlement.
- All front gardens must be landscaped in accordance with the Guidelines (including all soft landscape, driveways, and pathways) within 6 months of issue of the Certificate of Occupancy.



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OTHER APPROVALS

The requirements detailed in this document are in addition to, and not in lieu of, any other legal requirements. It is the responsibility of the owner to ensure any other approvals, authorisation permits, or other requirements are obtained and satisfied.

DEFINITIONS

For the purposes of these guidelines:

- Public Realm is any land that is within the ownership of a public body, including Council and servicing authorities.
- Primary Street Frontage is the boundary that abuts the Public Realm.
- A corner lot is any lot that has more than one boundary that abuts the Public Realm.
- On corner lots, the primary street frontage is the shorter one adjacent to the street, unless otherwise noted on the Plan of Subdivision.



LAND PLANNING

LOT LAYOUT

Only one dwelling is permitted per lot.

BUILDING SETBACKS

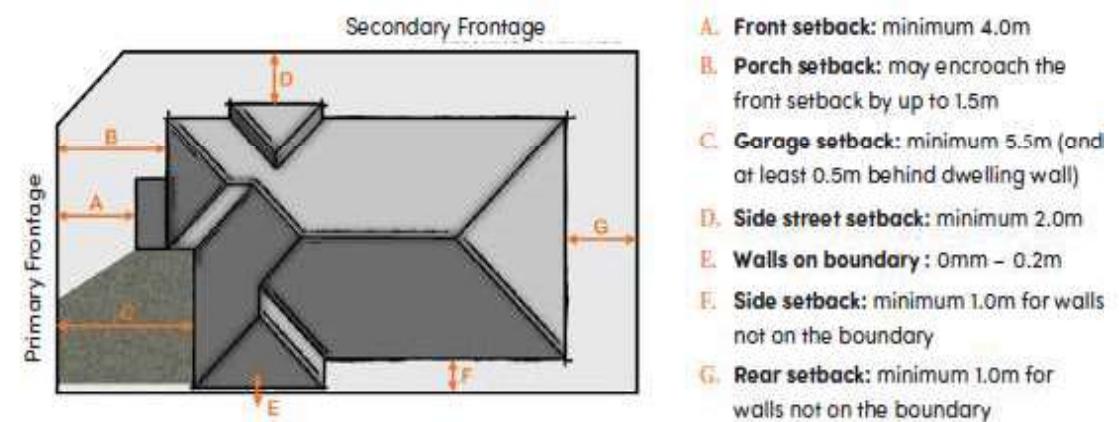
- The dwelling (front building line) must be setback a minimum of 4m from the front boundary and 2m from the rear boundary.
- Garages accessed from the front of a Lot should be setback 5.5m minimum from the front boundary of the lot.
- Porches, verandas, and porticos less than 3.5 metres in height may encroach up to 1.5 metre into the front setback.
- All dwellings with a frontage less than 20m must employ a 1m side setback on at least one side of the dwelling.
- Eaves, fascias, gutters, chimney, flue pipes, water tanks and heating or cooling or other services may encroach 0.5m into the setback around the whole dwelling excluding garage walls on the boundary.
- Dwellings on corner lots must be setback a minimum of 2 metres from the secondary street frontage.
- All building works must comply with the City of Melton Planning Scheme, Victorian Building Regulations and Building Code of Australia.
- The Site is to comply with the Toolern PSP, Melbourne Water's SDDS and to work collaboratively with Melbourne Water & Melton City Council's Integrated Water Management Plans.

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GARAGE SETBACK

EXAMPLE OF SETBACK REQUIREMENTS



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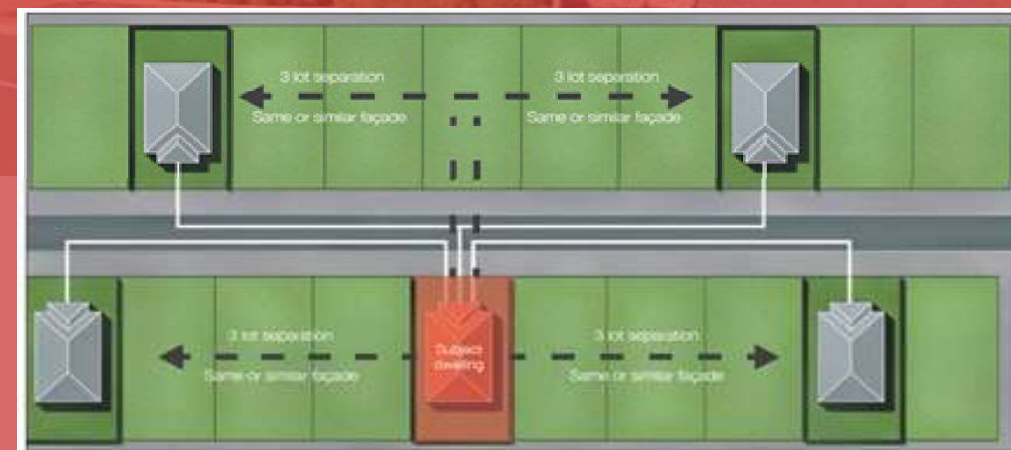


BUILT FORM VARIETY

Similar facades will not be allowed within 3 lots of each other along both sides of the street subject to the CSDRP.

If any two facades are deemed not to comply with this requirement, the earlier application will take precedence. Careful siting of dwellings and garages is important for the following reasons:

- Ensuring good presentation of the dwelling from the street
- Maximising the benefits of passive solar design Promoting energy efficiency
- Minimising overlooking
- Respecting the amenity of neighbours.



ARCHITECTURAL DESIGN

BUILDING HEIGHT

Maximum building heights subject to zoning requirements. Lots zoned general residential have a maximum building height of 11m.

BUILDING DESIGN

- To encourage designs that are contemporary.
- To ensure dwellings incorporate clean, simple, and well-proportioned roof lines to create interest, contribute positively to the character of the street and provide good passive solar performance.
- To achieve a level of street surveillance through the encouragement of street facing windows on both primary and secondary streetscape interfaces.
- To ensure all corner lots which have any façade facing a street or other open space are designed so that all sides are articulated and well-presented when viewed from the public realm.
- To ensure the use of well-articulated architectural treatments where built form is visible beyond the side fence line, and at upper levels.
- To promote a considered selection of materials and colours which complement landscaping (Public and private) and contribute positively to the streetscape.
- To ensure entries and/or garages facing the secondary street frontages are considered where they are located adjoining open space and linear pedestrian open space links.

CHARACTER AND VISUAL STYLE

A variety of architectural character and visual styles are encouraged.



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MASSING AND ARTICULATION

- Each dwelling must incorporate a front entry point that is readily visible from the primary street frontage and complementary to the overall design.
- The front entry point must take the form of a portico, porch, veranda, or other feature, to the satisfaction of the CSDRP.
- Articulate building façades along both primary and secondary frontages using openings, balconies, variation of materials, recessed and projected elements on ground and upper floor to reduce the overall mass of the building.
- Two storey dwellings must incorporate articulation of the front façade.
- As well as the minimum setback from the front boundary, garages should be set back from the front wall of the dwelling.
- Habitable rooms should be located on the primary facade to provide a clear view to the primary streetscape.

PASSIVE DESIGN

- Living spaces must be located to the north of the dwelling to facilitate solar access in winter months.
- Where possible, provide adequate shading such as retractable shading devices, trees, tinted glass.
- Locate private open space on the north side of the allotment and avoid being located along a primary frontage.

PLEASE NOTE: The construction of two dwellings on a lot is strongly discouraged unless they are on corner allotments of 600sqm or above subject to planning permit approval by Melton City Council.

FURTHER DESIGN REQUIREMENTS

Designs must address:

1. The recommendations identified in the Integrated Water Management Plan.
2. The noise impacts associated with the train movements through the incorporation of noise attenuation measures for dwellings within the C4 – Rail corridor.

Specific affected lots: 1-6, 102-106, Superlot 40, Superlot 76

SEE APPENDIX 1 : Table 1 Recommended façade construction requirements & affected lot Plan.

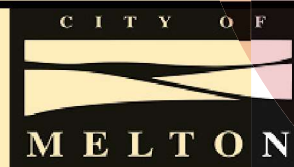
ROOF DESIGN

- A variety of roofing forms and styles is encouraged.
- Articulated roof shapes are preferred.
- Innovative roof designs that incorporate some flat elements will be assessed on their design merit.
- Parapets are permitted on the front façade.
- All dwellings are required to ensure all ceiling and building heights comply with Clause 54 or 55 of the Relevant Planning Scheme.
- All roofs must incorporate a minimum eave of 450mm to the front facade. Side and rear eaves are strongly encouraged.
- Pitched roofs must be a minimum of 22 degrees. Stand alone skillion roofs must be a minimum of 10 degrees and 22 degrees when combined with a pitched roof.

ROOF DESIGN EXAMPLES



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CORNER LOTS

- Dwellings on corner Lots must include eaves to all sides facing the public realm of a minimum 450mm overhang.
- In addition to the above requirements, dwellings on corner Lots must address the secondary frontage by incorporating similar design features to those used on the primary frontage.

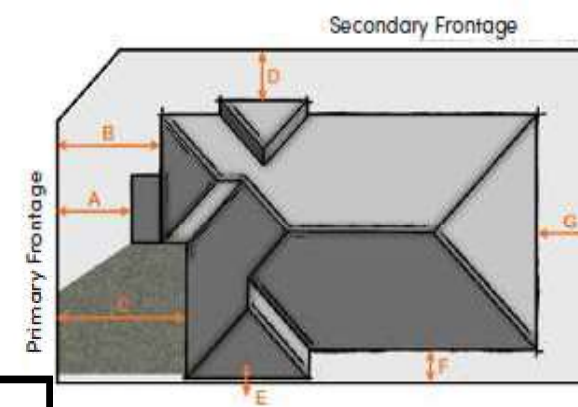
Suggested features include, but not limited to:

- Windows with matching head heights.
- Highlight materials and finishes that wrap around from the primary façade.
- Other treatments, to the satisfaction of the CSDRP.

Corner features are encouraged to be readily visible from the public realm. Materials and articulation treatments used on a corner dwelling's front façade should continue onto other facades facing the secondary streetscape/public realm.

CORNER LOT FRONTAGE

EXAMPLE OF SETBACK REQUIREMENTS



- A. Front setback:** minimum 4.0m
- B. Porch setback:** may encroach the front setback by up to 1.5m
- C. Garage setback:** minimum 5.5m (and at least 0.5m behind dwelling wall)
- D. Side street setback:** minimum 2.0m
- E. Walls on boundary:** 0mm – 0.2m
- F. Side setback:** minimum 1.0m for walls not on the boundary
- G. Rear setback:** minimum 1.0m for walls not on the boundary

MATERIALS AND FINISHES

- The front façade must be finished with a mixture of at least 2 different materials/finishes. Brick, weatherboard and rendered brick are strongly encouraged. Rendered cement sheeting is not to be used on the front facade. All ancillary items such as balconies, posts, verandas, porticos, pergolas, balustrades, down pipes and gutters and other minor architectural detailing items must be of a similar colour to one of the selected facade colours
- Roof cladding must compliment the style of your home.
- Roof materials must be matte finish and non-reflective.
- External glazing that is visible from the public realm should not contain lead-light, stained glass, reflective glass, or patterned film.
- The front facade (and secondary frontages) must not include recessed lightweight infill panels above openings, including doors, windows, or garage doors (i.e. the opening should not be recessed and must match the sides of the opening in materials, colour and finish).
- Facade colours must be neutral. Proposed colour palette to be reviewed by the CSDRP.
- Architectural features should be highlighted by varied colours or shades. Bright or fluorescent colours are not supported.
- Roll down security shutters must not be visible from the public realm.
- Dwelling façades must incorporate a maximum of 75% total wall coverage (excluding windows/openings) of any one material or colour.

EXAMPLES OF ACCEPTABLE COLOUR PALLETS



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CAR ACCOMODATION

- All lots must incorporate an enclosed garage.
- Minimise the impact of garage doors and driveways to the dwelling and the street.
- Garages accessed from the primary frontage of a Lot must be integrated into the overall form of the dwelling.
- Any garage on a burdened lot must be constructed a minimum of 5.5 metres from the road alignment at the front of the lot.
- Garages that are not accessed from the primary frontage may be detached.
- Where facing the secondary street frontage, the garage must be setback a minimum of 5.0m from the secondary street frontage. An easement running along the rear of the lot cannot be built over, and the garage may have to be setback from the rear boundary to accommodate the easement. Garages must be located adjacent to the lot boundary but are not permitted adjacent to boundaries abutting public open space.
- For lots with a frontage under 12.5m, a single garage is required with a maximum door width of 2.6m.
- Lots with a frontage of more than 12.5m Maximum width allowable for the garage door is 5.5m.
- For lots with frontages less than 8.5m that are not rear-loaded, refer to the Small Lot Housing Code incorporated into the Melton Planning Scheme.
- Garage door openings on single storey homes must not exceed 40% of the width of the lot frontage.
- The architectural character of garages should adopt the same roofline as the dwelling.
- For two storey dwellings, garages that exceed 40% of the width of the allotments frontage are discouraged. Notwithstanding, they will only be permitted where balconies or windows are provided above the garage.
- Triple garages are strongly discouraged. For triple garages to be considered the lot frontage must exceed 18m. The third car space must have a dedicated door and the door wall should be stepped back at least 500mm from the other front wall of the garage.

EXAMPLES OF ACCEPTABLE FAÇADE FINISHES



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ADDITIONAL EXTERNAL ELEMENTS

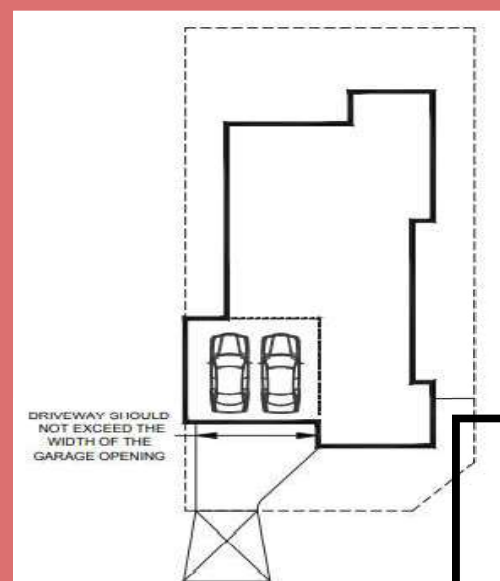
OBJECTIVES

- External elements must be used to complement the overall dwelling and design in an integrated way.
- The streetscape and neighbourhood character must be protected by ensuring all building and dwelling services are hidden from view from the public realm

DRIVEWAYS

- Each lot must have a maximum of one cross-over per frontage.
- For corner dwellings, garages must not be located on the corner where the primary and secondary frontages meet.
- The driveway must be constructed prior to the occupancy of the dwelling.
- Driveway paving must be finished in either coloured concrete, exposed aggregate concrete, stone pavers or concrete pavers
- The driveway should not exceed the width of the garage opening.

DRIVEWAY OFFSETS AND WIDTHS



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STAIRS, BALCONIES & AWNINGS

- External stairs to upper storeys of a dwelling are discouraged. Specific dwelling designs requiring this treatment may be assessed by the CSDRP on design merits.
- Column/post types and widths for verandas, porticoes and pergolas must be proportional to other façade elements.

WINDOW SCREENING

- Screens that have not been considered as part of the overall façade and elevations of the dwelling will not be approved.
- Window screening located on a dwellings primary or secondary frontage will not be approved. Battens in either a horizontal or vertical screen are an efficient means of screening a window. Where timber is to be used, the detailing and 'look' of the screen should complement the remainder of the dwelling.

LETTER BOXES

- The letter box must be clearly in view at the front of the property, next to the driveway or front gate, or in a similar position with the number of the property clearly displayed.
- The letter box must be positioned in a location that is clear of obstacles.
- Letter boxes should complement dwelling and landscape style and sized as per Australia Post recommendations



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LANDFORM (RETAINING WALLS)

- The maximum height of any retaining wall is generally 1.0m. If higher, more than one wall should be used in conjunction with graded slopes and other landscape treatment to soften the appearance of the change in levels.
- Low masonry walls not exceeding 0.9m height which complement the facade of the building may be permitted.
- The provision of a landscaping strip of approximately 200mm in front of the retaining wall to soften the height is also encouraged.
- Retaining walls visible from the public realm must be constructed from a material and finish to complement the dwelling, to the satisfaction of the CSDRP.

FENCING

Any fencing constructed on the lot frontage must be no greater than 1.2m in height and have a minimum of 50% transparency.

Fencing between Lots (Side and Rear) must be provided and should be:

- Constructed with timber posts and lapped palings
- Terminated by returning to meet the closest wall of the dwelling and a minimum of 1m behind the closest front wall of the dwelling, unless it is on the rear boundary of an adjoining lot
- If using timber fencing, it is encouraged that a 1.8m high cap timber paling fence with expressed posts is constructed to all lot boundaries that face the secondary street frontage such as a corner lot fence.

CORNER FENCING

(Fencing to Public Realm Boundary other than the Frontage)

High Side/Rear Corner Fencing must be constructed with:

- Minimum 1.2m high, exposed timber posts
- Maximum 1.8m high, lapped, and capped palings
- 50mm bottom plinth
- All corner lot front fencing must be:
 - Terminated a minimum of 4m behind the closest front wall of the dwelling
 - Terminated by returning to meet the closest wall of the dwelling (return fence)
- High quality fencing treatments should be employed in secondary frontages

SPECIFIC LOT FENCING

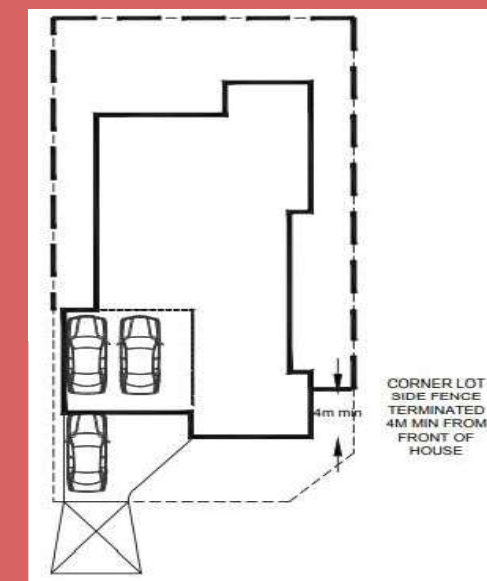
For lots and super lots with frontage to the rail corridor.

- Provide low or transparent front fencing to buildings to allow passive surveillance of the railway corridor.

GATES

- Any gate in a fence must match or complement the fence in terms of materials and finishes.

CORNER LOT SIDE FENCE



RAINWATER TANKS

Alternative water supplies are encouraged within the development to reduce stress on the potable water reserves.

- A minimum of a 2kl rainwater tank is required on all lots greater than 300sqm, with a minimum of 70% roof connected to the tank.
- All dwellings are encouraged to be connected to a rainwater tank.
- Rainwater tanks should be connected to toilets for flushing and used for outdoor purposes such as garden irrigation.

LANDSCAPING

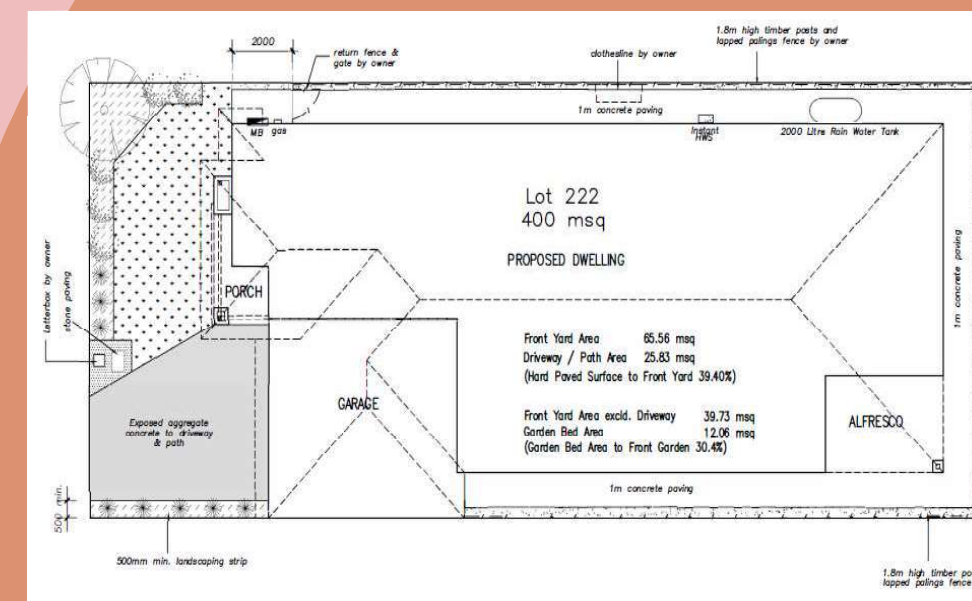
Landscape works are part of the design approval process.
A landscape plan must be approved prior to the commencement of construction.

All plans are to be selected from the plant species list derived from Council's Landscape Guidelines 2010. Plant species and garden materials should be consistent with the Landscape Guidelines for the Shire of Melton, 2010

- No more than 40% of the front garden is to comprise hard paved surfaces.
 - A minimum softscape area of 60% of the total front garden area is to be installed. The softscape should consist of turf, garden beds and permeable surface materials including decorative stone aggregate or pebbles.
 - Turf used must be warm season variety.
 - Consideration should be given to the cultivation of existing soil in the garden beds to a 200mm depth and the addition of imported topsoil and fertiliser to the garden bed.
 - Garden beds must have 80mm layer of mulch.
 - All garden bed areas within the front yard should be edged using brick, timber, or steel edges.
 - At least one tree with a minimum installation height of 2.0m should be planted between the front building line and street boundary.
 - Trees installed must have a minimum mature height of 4.0m.
- Careful consideration should be given to the tree type and location, so that the tree will not affect the foundations of the home, driveway, or relevant authority assets.
- Plant species are to be hardy, appropriate to the site and have reasonable drought tolerance.
 - A minimum of 5 medium to large shrubs (from 200mm pot size at installation).
 - A minimum of 8 smaller shrubs or ground cover plants (from 150mm pot size at installation).

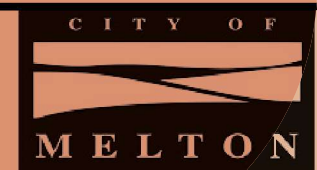
Avoid the use of prohibited weed species.

LANDSCAPING EXAMPLE



The nature strip(s) outside the lot is/are included as part of the works required for successful completion of the landscaping. Nature strips must achieve neat and even Grass coverage and any damage caused during construction of the dwelling must be rectified.

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ANCILLARY ITEMS

RECYCLED WATER

- Where available, dwellings must allow plumbing for connection to estate recycled water supply.
- Minimum 2kL tank required on all lots over 300m² with a minimum of 70% roof connected to the tank. Tanks should be screened from the public realm and integrated into the overall design.

FIBRE TO THE HOME

- All homes will be provided with high optical fibre connection installed in accordance with the relevant preparation and installation guide.

EXTERNAL LIGHT FITTINGS

- Light fittings that do not incorporate a diffuser or light shade should not be installed in any location that is visible from the public realm.
- External light fittings must not result in excessive light spill.

SERVICE EQUIPMENT

Satellite dishes, antennae and external receivers should be:

- Located to the rear of the dwelling
- Not readily visible from the public realm.

Heating and cooling Units should be:

- Positioned below the ridge line
- Positioned to the rear of the roof and
- Coloured to match the roof as far as practical.

SUSTAINABILITY

- Photovoltaic cells, solar panels and the like may be located to maximise their efficiency as long as they integrate with the roof form.
- Energy efficient appliances and lighting systems (Such as LED lights) are encouraged.

SIGNAGE

- Signs to advertise the sale of a vacant lot are not permitted unless approved by the Developer.
- One sign only may be erected to advertise the sale of a completed dwelling.

SCREENING

- Ancillary elements should be located so that they are not readily visible from the public realm.
This includes items such as:
 - Rainwater tanks
 - Rubbish bin storage areas
 - Washing lines
 - Hot water systems, evaporative units, and external plumbing other than that for rainwater
 - Swimming pools and spa pumps
 - Satellite dishes and television antennae
 - Trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles should be located so that they are not readily visible from the public realm when stored on the lot.
 - Detached garages, sheds or ancillary storage of boats, caravans or alike must not be visible from the public realm.



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MAINTENANCE OF LOTS

- The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a Lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow excessive growth of grass or weeds upon the lots.
- The Purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserve or in any waterway.

CROSSOVER AND FOOTPATH PROTECTION

- It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.

STREET TREE PROTECTION

- It is the responsibility of the landowner to ensure that any street trees and/or nature strips are protected during all building works.



APPENDIX 1

Table 1 – Recommended facade construction requirements

Area	Minimum required sound insulation, R_w	Indicative construction
Walls	40 dB	Masonry/brick construction or lightweight construction as follows: <ul style="list-style-type: none">- 6 mm thick fibre cement sheet- 50 mm thick steel stud with 50 mm thick glasswool cavity insulation (minimum density 11 kg/m³)- 13 mm thick plasterboard.
Roof	40 dB	<ul style="list-style-type: none">- 0.45 mm thick metal deck or ceramic/concrete tiles- 50 mm thick ceiling glasswool insulation (minimum density 11 kg/m³)- 10 mm thick plasterboard.
External doors	30 dB	Minimum 35 mm thick solid core door (or the acoustic equivalent glazed door) with weather seals.
Ventilation	NA	To be designed so as to not de-rate the overall performance of the building facade.
Glazing	30 dB	A minimum of 6 mm thick float glass or the equivalent double-glazing unit. Glazing suites should be selected based on the entire suite (glass, frame and seals) achieving the minimum.
Vibration isolation	NA	No specific vibration control will be required.

The above recommendations apply to Lots 1-6, Superlots 40 and 74 and Lots 102-106. Appendix A provides the subdivision markup outlining where the above requirements apply. For all other areas of the subdivision there are no specific acoustic treatment required.





MELTON PLANNING SCHEME
This plan is endorsed as satisfying Condition 9 of
Planning Permit No. PA2020/7020/1
Plan 18 of 18

Valentine Sedze
Signature of Responsible Authority
Date 7/12/2022

AFFECTED LOT PLAN

