

Audit and Design: Proposed Site Plan

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About: This is a proposed site plan for a new community center at the Riverside Apartments in Taunton, MA. Developed by Abacus Architects, the plans illustrate a vision for a creative placemaking initiative supported by the Taunton Housing Authority. The proposed layout includes the placement of the community center building, upgraded parking configurations, outdoor amenities (like an outdoor classroom and pergola), and infrastructure upgrades (e.g., EV conduit runs, relocated utilities, and accessibility improvements). It is intended to enhance neighborhood connectivity and support future resilience-focused programming.

Usage Description: This plan can serve as a reference for teams developing their own CCRH building siting strategies. It is most relevant during the site design and pre-construction phase, particularly when assessing:

- Community access and walkability
- Outdoor space integration for education or cooling
- EV-readiness and utility relocation planning
- Zoning and accessibility considerations

Users should refer to it when working with design professionals or considering physical retrofits to existing housing developments. The highlighted alternates (like EV conduit pricing or outdoor classroom pads) demonstrate how resilience-aligned features can be costed and phased in, offering a model for balancing ambition with budget.

TAUNTON HOUSING AUTHORITY - RIVERSIDE APARTMENTS CREATIVE PLACEMAKING - NEW COMMUNITY CENTER DHCD #293115 - SCHEMATIC DESIGN



DRAWING LIST	
SD 001	COVER SHEET
SD 002	EXISTING SITE PLAN - OVERALL
SD 003	PROPOSED SITE PLAN - OVERALL
SD 100	EXISTING SITE PLAN - ENLARGED
SD 101	PROPOSED SITE PLAN - ENLARGED
SD 102	GROUND FLOOR PLAN
SD 103	ROOF PLAN
SD 200	REFLECTED CEILING PLAN
SD 300	BUILDING ELEVATIONS
SD 301	BUILDING ELEVATIONS
SD 400	BUILDING SECTIONS
SD 500	3D VIEWS - EXTERIOR
SD 501	3D VIEWS - INTERIOR

Taunton Community Center at Riverside Apartments
 Paul Bunker Street, Taunton MA 02780

SCHEMATIC DESIGN

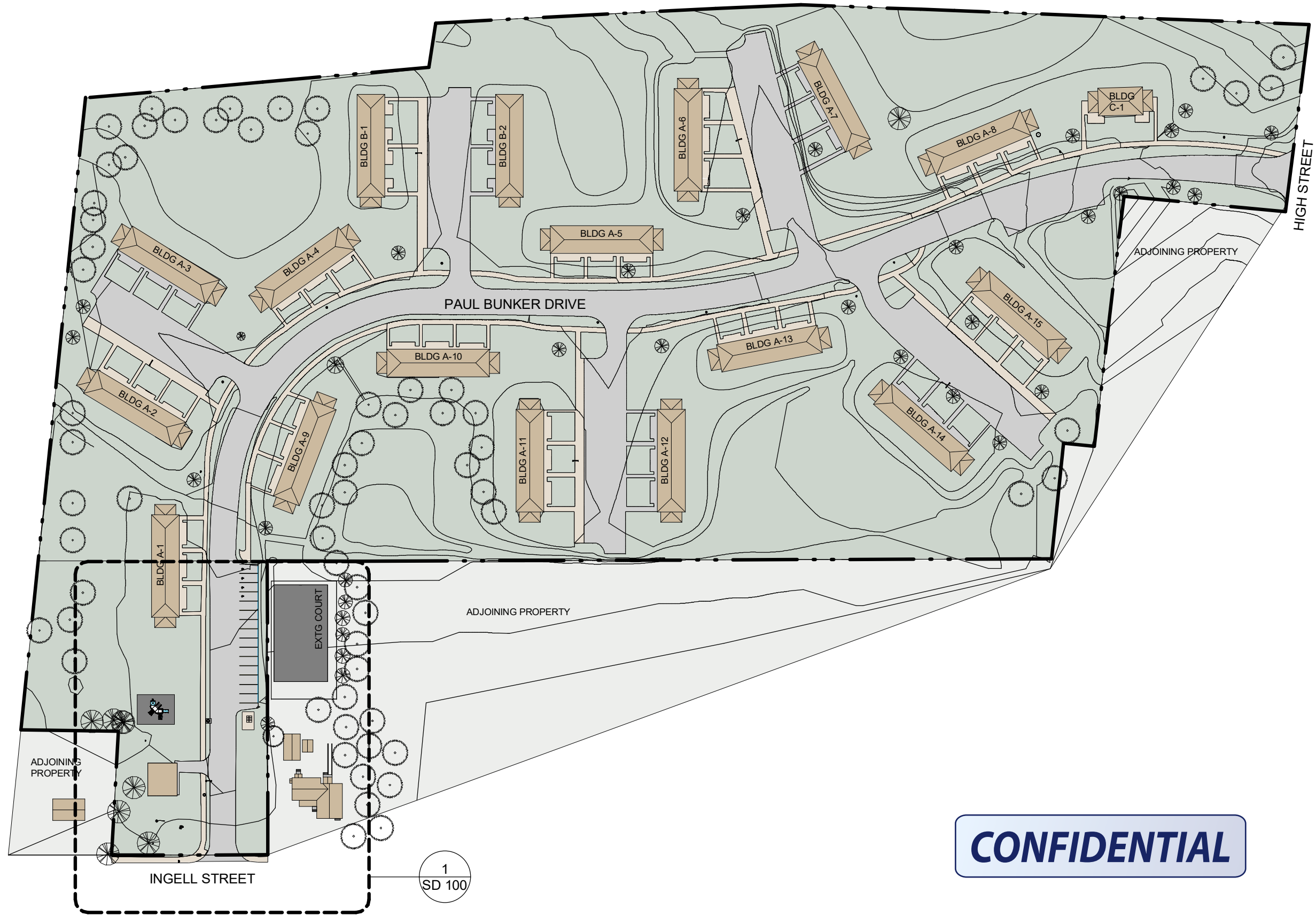
DATE: MAY 2023

SCALE: 1/2" = 1'-0"

CONFIDENTIAL

COVER SHEET

SD 001



CONFIDENTIAL

1 EXISTING SITE PLAN AT RIVERSIDE APARTMENTS
1" = 100'-0"

1
SD 100

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Paul Bunker Street, Taunton MA 02780

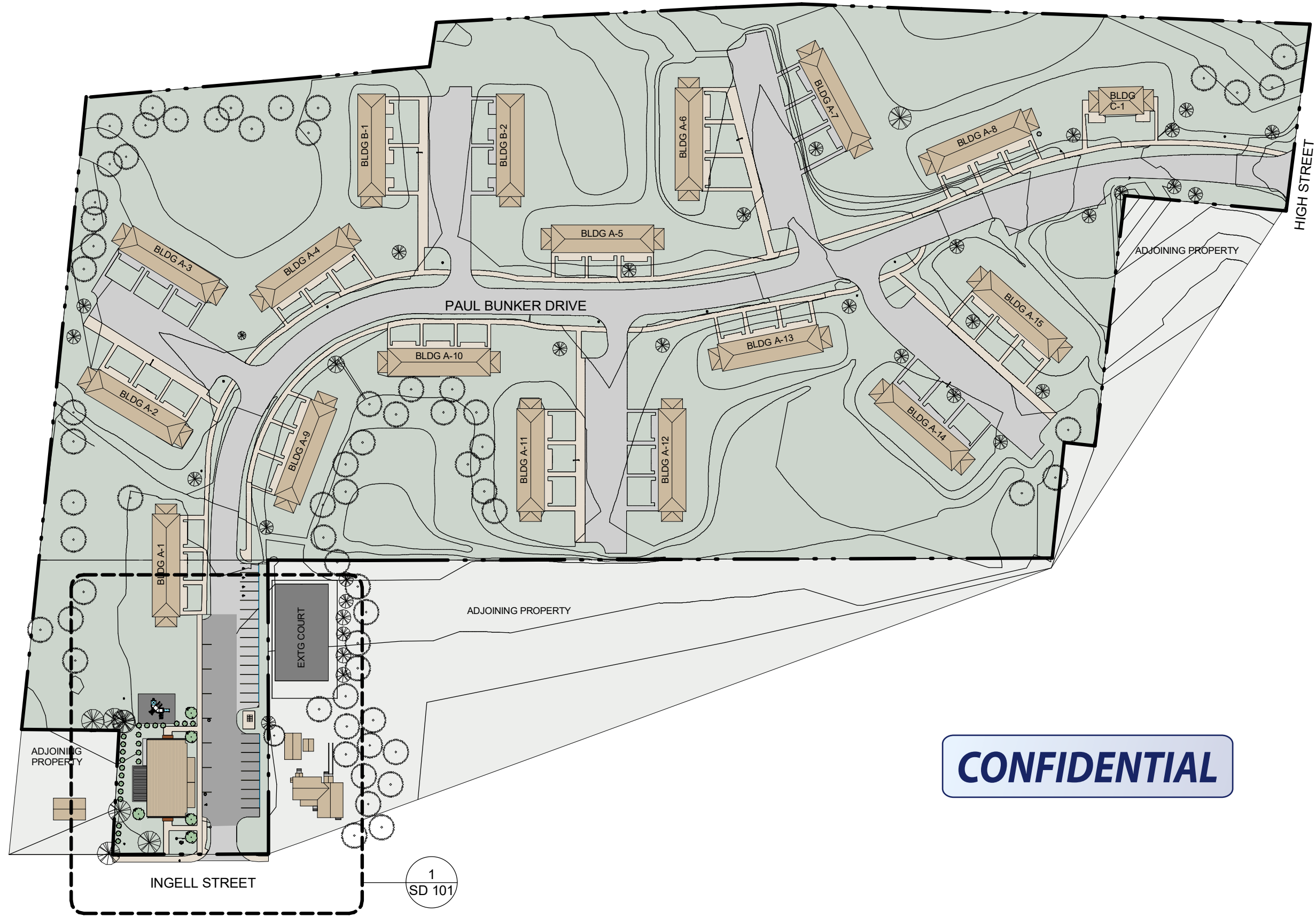
SCHEMATIC DESIGN

DATE: MAY 2023

SCALE: 1" = 100'-0"

EXISTING SITE PLAN -
OVERALL

SD 002



CONFIDENTIAL

1 PROPOSED SITE PLAN AT RIVERSIDE APARTMENTS
1" = 100'-0"

1
SD 101

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Paul Bunker Street, Taunton MA 02780

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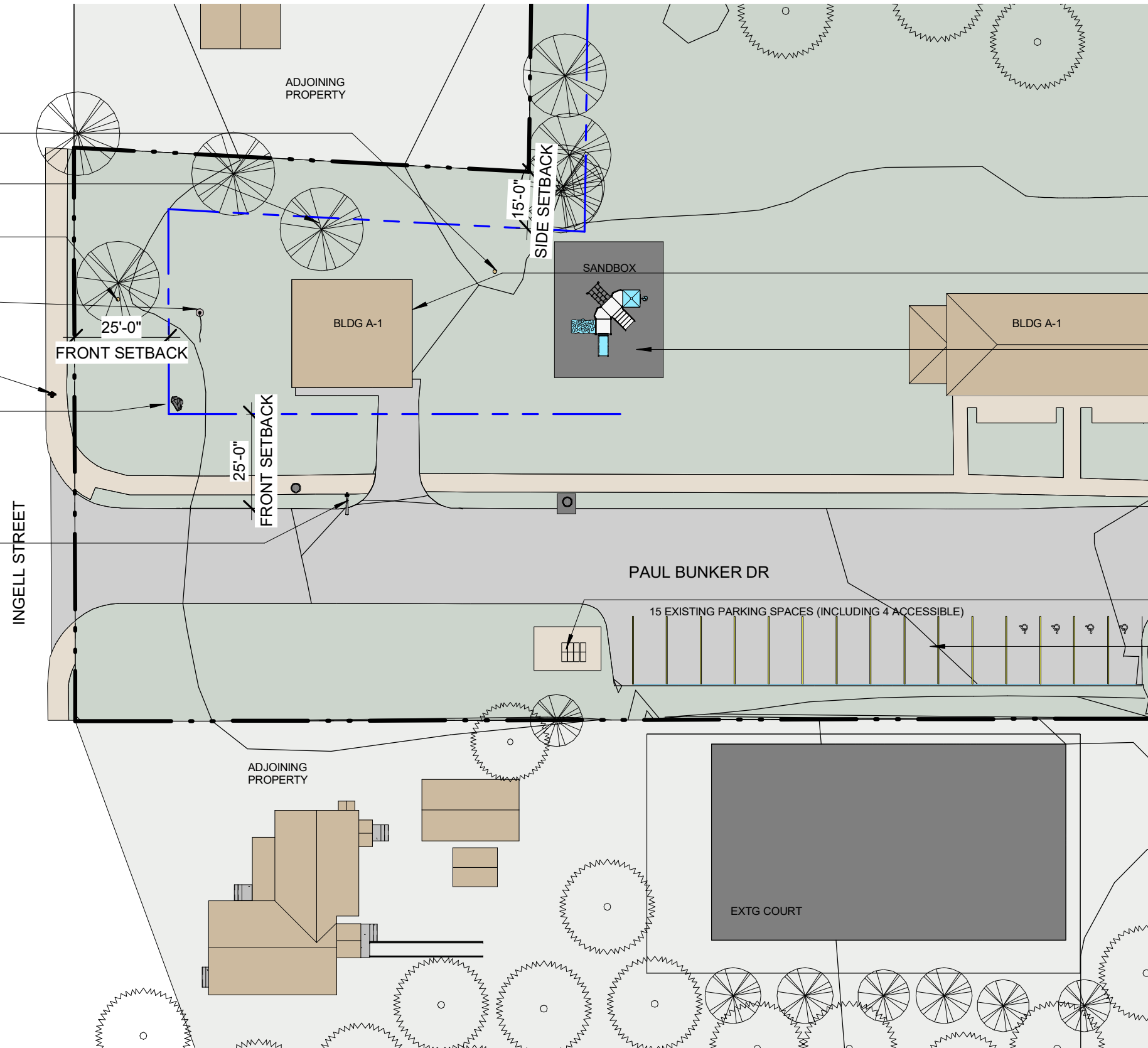
DATE: MAY 2023

SCALE: 1" = 100'-0"

PROPOSED SITE PLAN -
OVERALL

SD 003

- EXISTING ELECTRICAL POLE TO BE RELOCATED
- EXISTING TREES TO BE TRIMMED
- EXISTING ELECTRICAL POLE TO BE RELOCATED
- RELOCATE FLAGPOLE
- EXISTING HYDRANT TO REMAIN
- RELOCATE MEMORIAL ROCK/PLAQUE
- EXISTING LIGHT POLE TO BE RELOCATED



- EXISTING BLDG A-1 TO BE DEMOLISHED, ABATEMENT REQUIRED AT BASEMENT PIPING.
- EXISTING SANDBOX & PLAY STRUCTURE TO REMAIN
- EXISTING MAILBOXES TO REMAIN
- EXISTING PARKING SPACES TO REMAIN

1 EXISTING SITE PLAN - ENLARGED
1/32" = 1'-0"

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EXISTING SITE PLAN - ENLARGED

SD 100

Taunton Community Center at Riverside Apartments
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SCHMATIC DESIGN

DATE: MAY 2023

SCALE: 1/32" = 1'-0"

EXISTING TREES TRIMMED

ZONING SETBACKS (BLUE)

RELOCATED ELECTRICAL POLE (1)

PROPOSED OUTDOOR CLASSROOM AREA W/ PERGOLA

PROPOSED OUTDOOR PAD, PRICE AS ALTERNATE

PROPOSED BUILDING

PROPOSED SIDEWALKS

RELOCATED FLAGPOLE & PLAQUE

PROPOSED BUS SHELTER

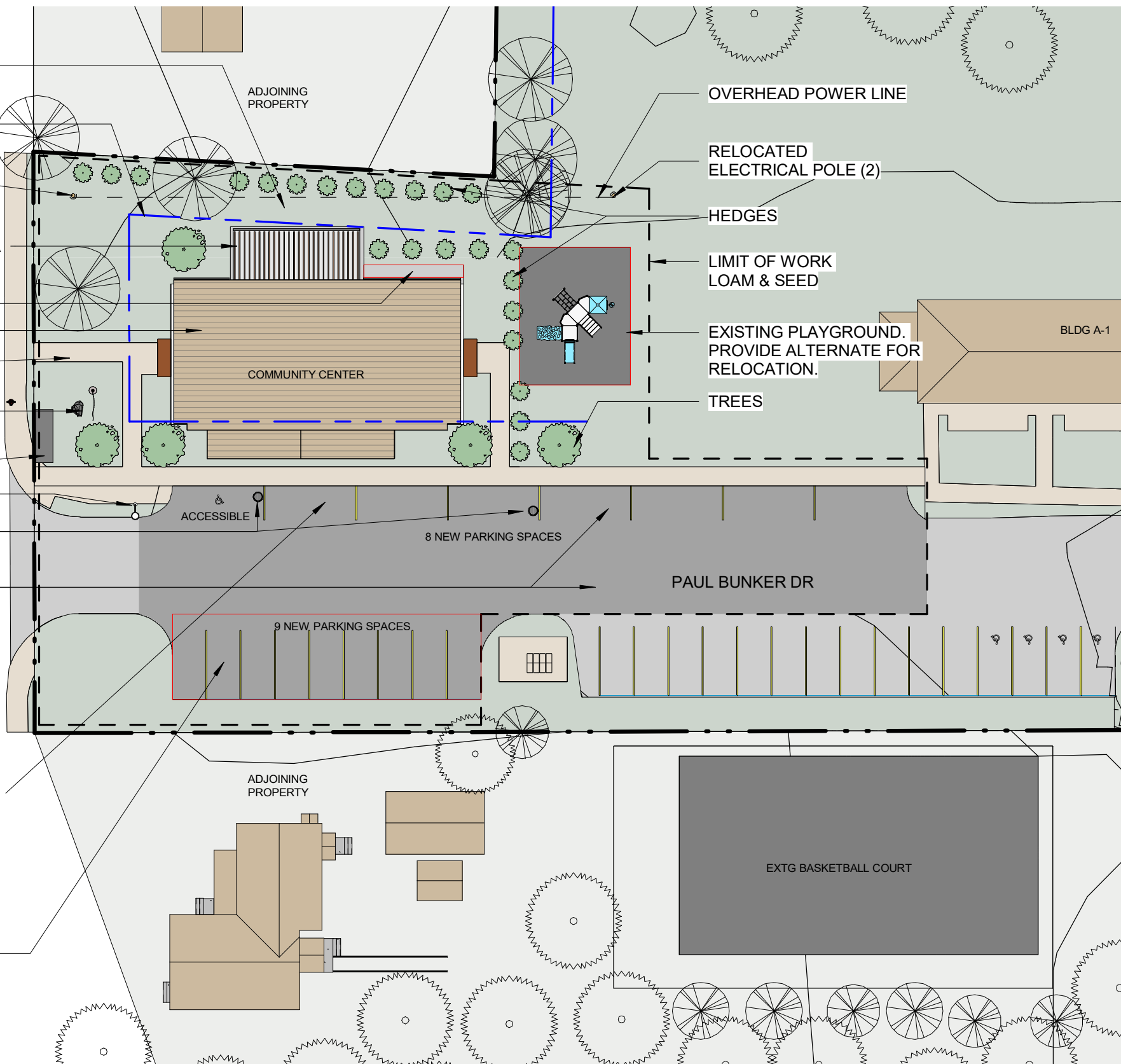
RELOCATED LIGHT

EXTG MANHOLES

PROPOSED PARALLEL PARKING & PAVING

PRICE AS ALTERNATE: PROVIDE PVC CONDUIT UNDER THE PARKING AND WALKWAY PAVEMENTS, EXTENDING FROM THE MAIN BUILDING POWER SOURCE TO ALL NEW PARKING STALLS FOR FUTURE ELECTRIC WIRING TO SERVICE ELECTRIC VEHICLE (EV) CHARGING STATIONS. THE PVC RUNS SHOULD INCLUDE PULL WIRES

PROPOSED HEAD IN PARKING. PRICE AS ALTERNATE



1 PROPOSED SITE PLAN - ENLARGED
1/32" = 1'-0"

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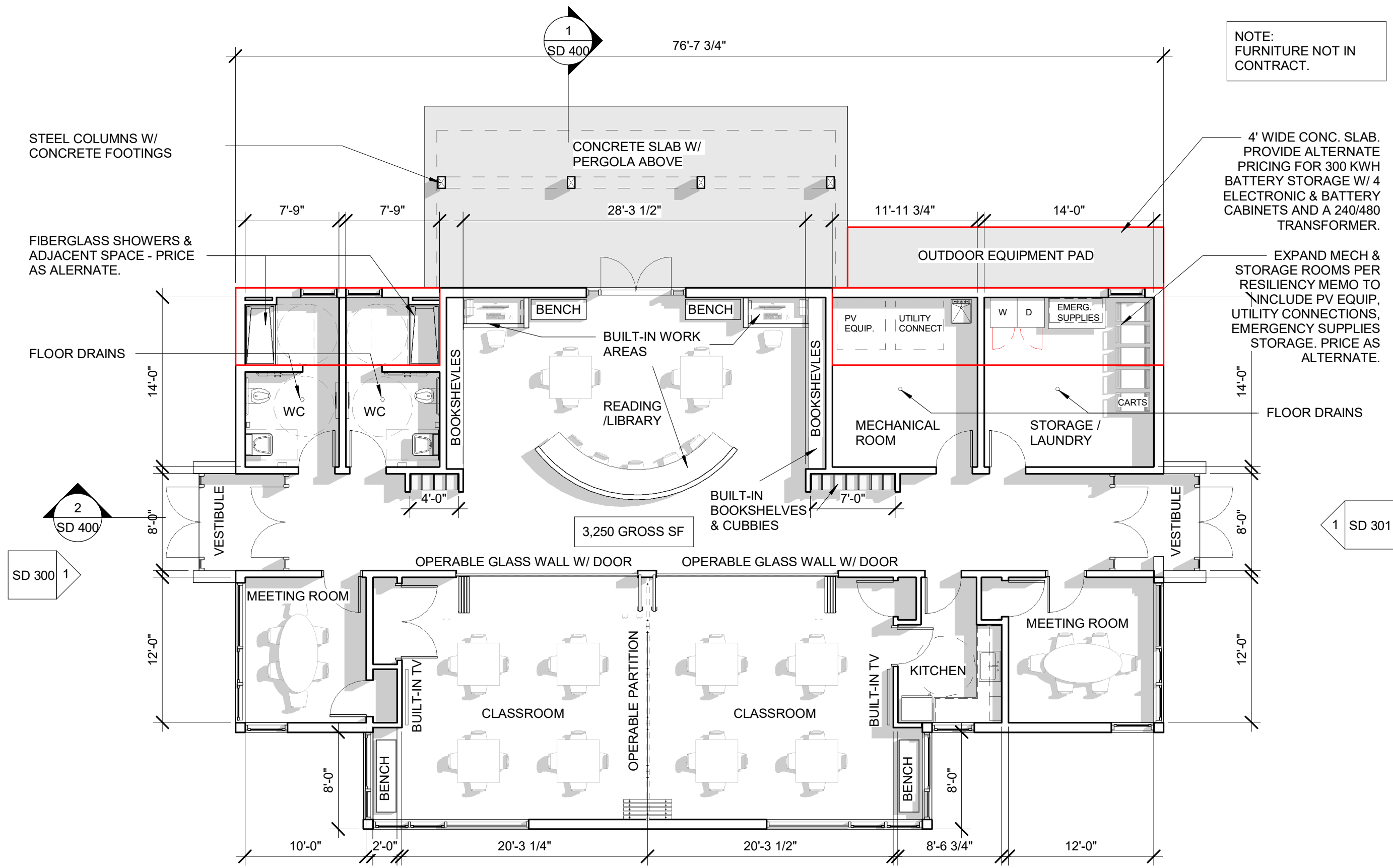
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SCALE: 1/32" = 1'-0"

PROPOSED SITE PLAN - ENLARGED

SD 101

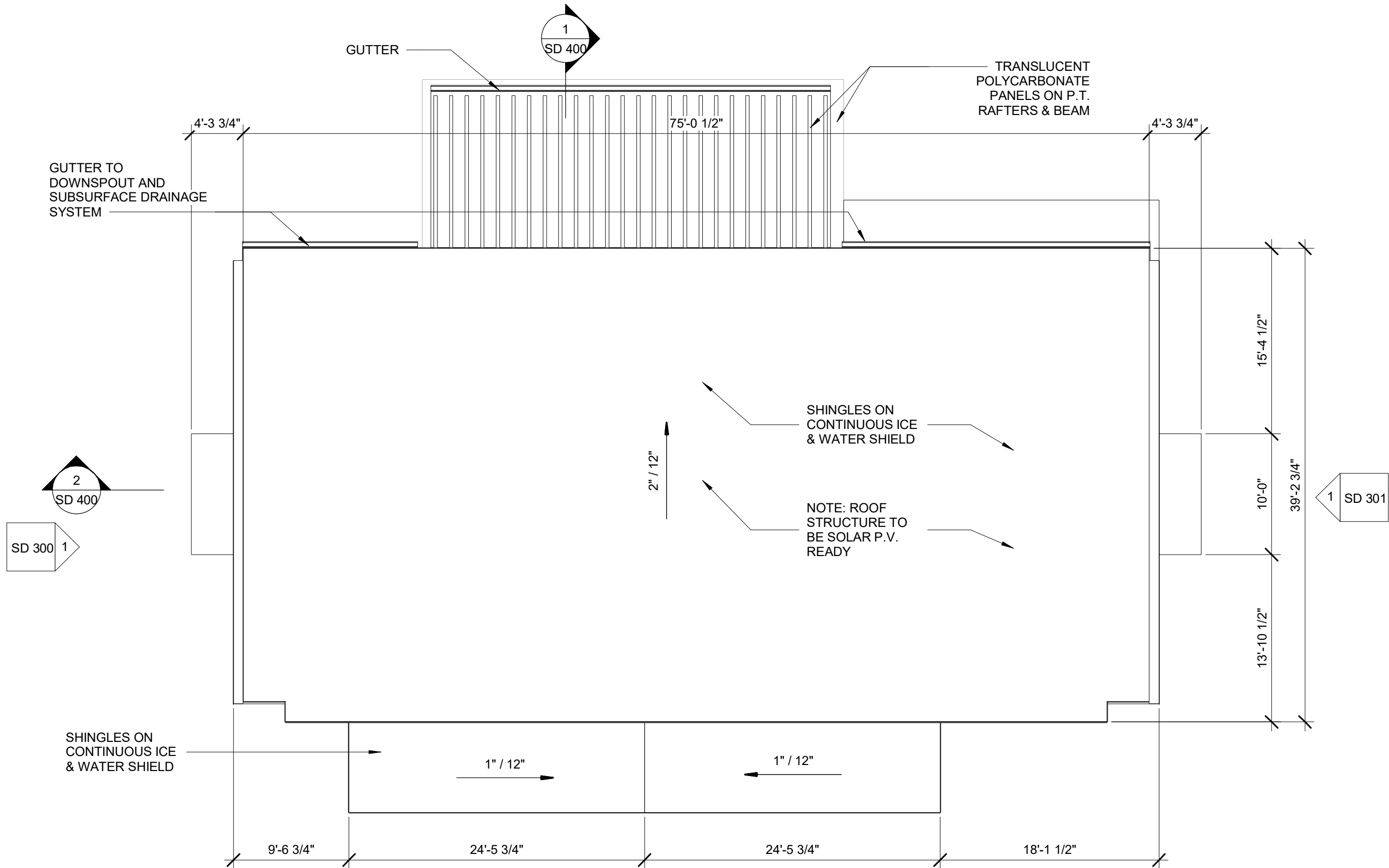


1 GROUND FLOOR PLAN
1/8" = 1'-0"

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Paul Bunker Street, Taunton MA 02780
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DATE: MAY 2023
SCALE: 1/8" = 1'-0"

GROUND FLOOR PLAN

SD 102



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DATE: MAY 2023

SCALE: 1/8" = 1'-0"

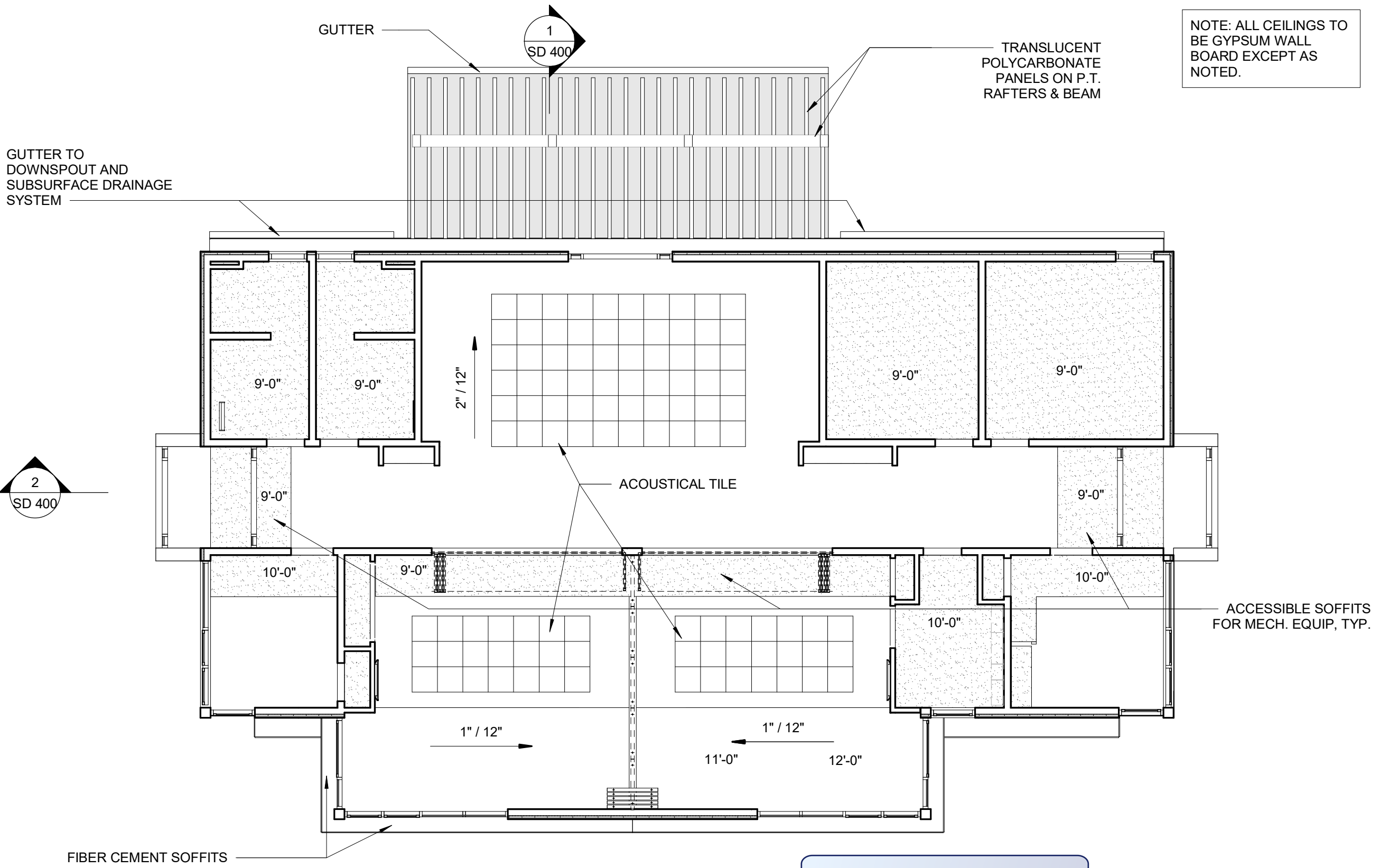
ROOF PLAN

SD 103

1 ROOF PLAN
 1/8" = 1'-0"

CONFIDENTIAL





GUTTER TO DOWNSPOUT AND SUBSURFACE DRAINAGE SYSTEM

TRANSLUCENT POLYCARBONATE PANELS ON P.T. RAFTERS & BEAM

NOTE: ALL CEILINGS TO BE GYPSUM WALL BOARD EXCEPT AS NOTED.

ACOUSTICAL TILE

ACCESSIBLE SOFFITS FOR MECH. EQUIP, TYP.

FIBER CEMENT SOFFITS

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1 GROUND FLOOR - REFLECTED CEILING PLAN
1/8" = 1'-0"

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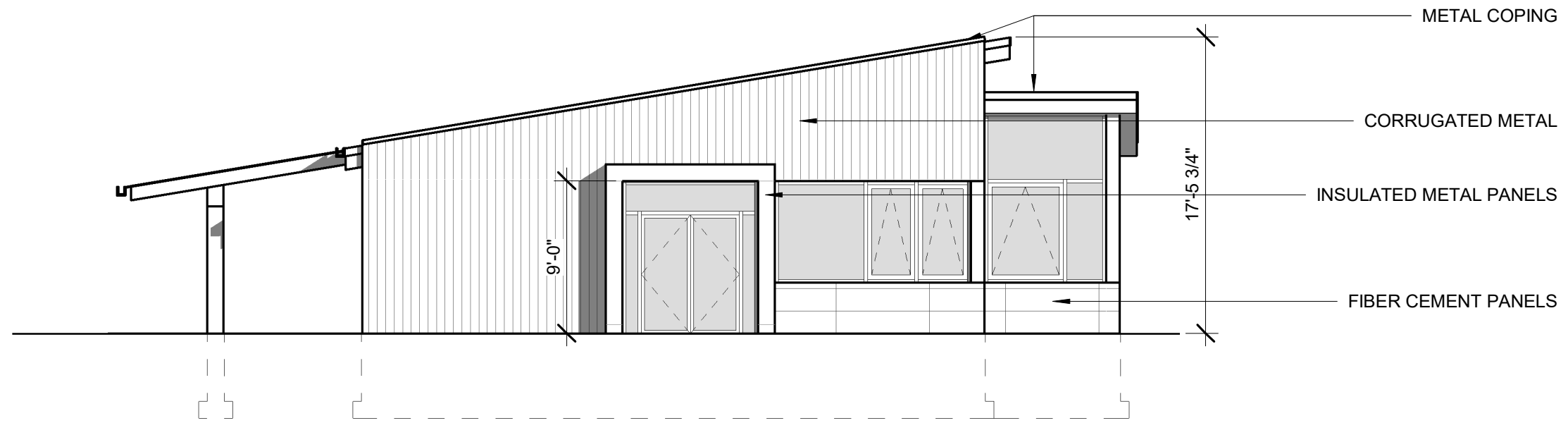
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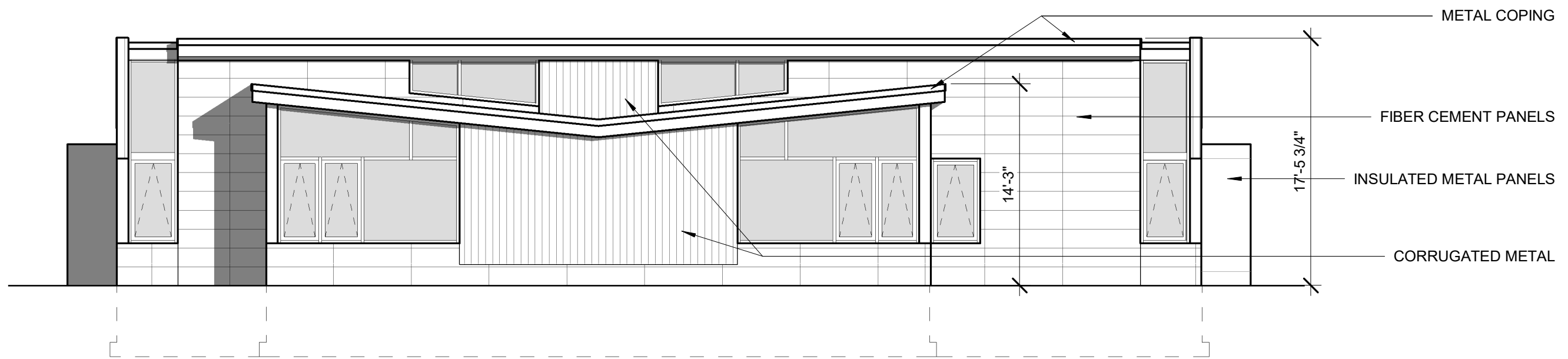
SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLAN

SD 200



1 EAST ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"

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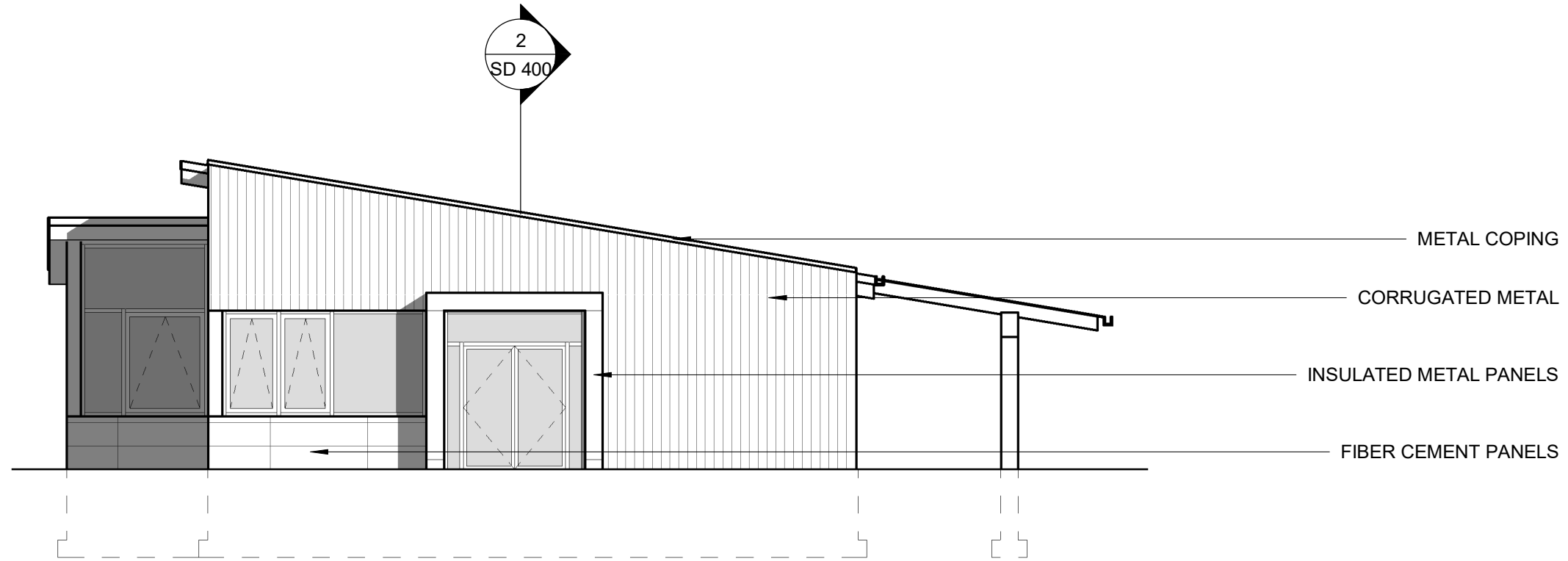
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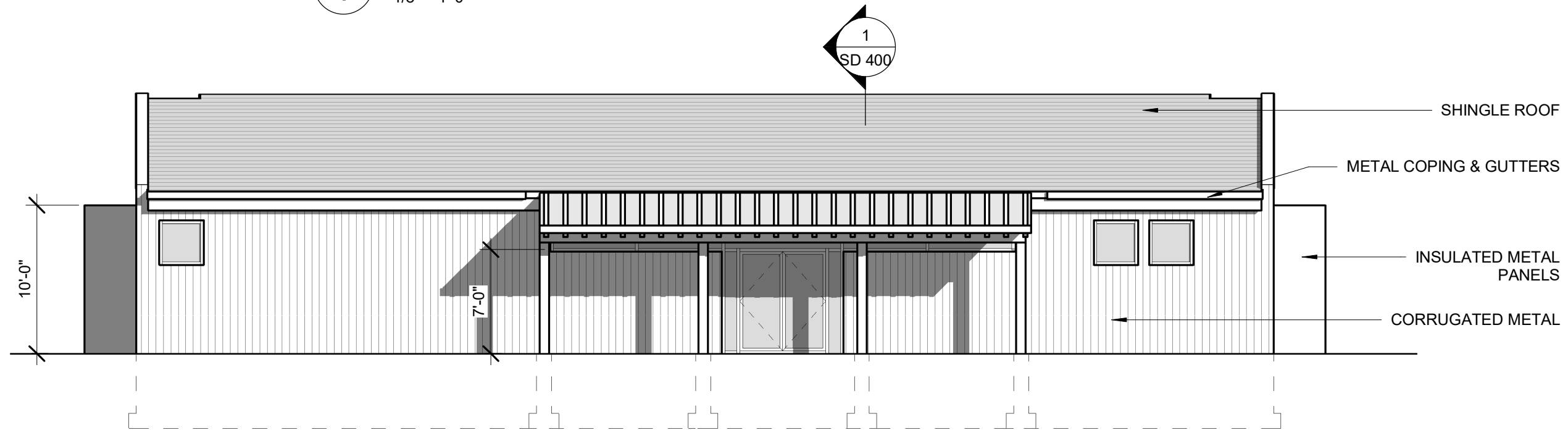
SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS

SD 300



1 WEST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

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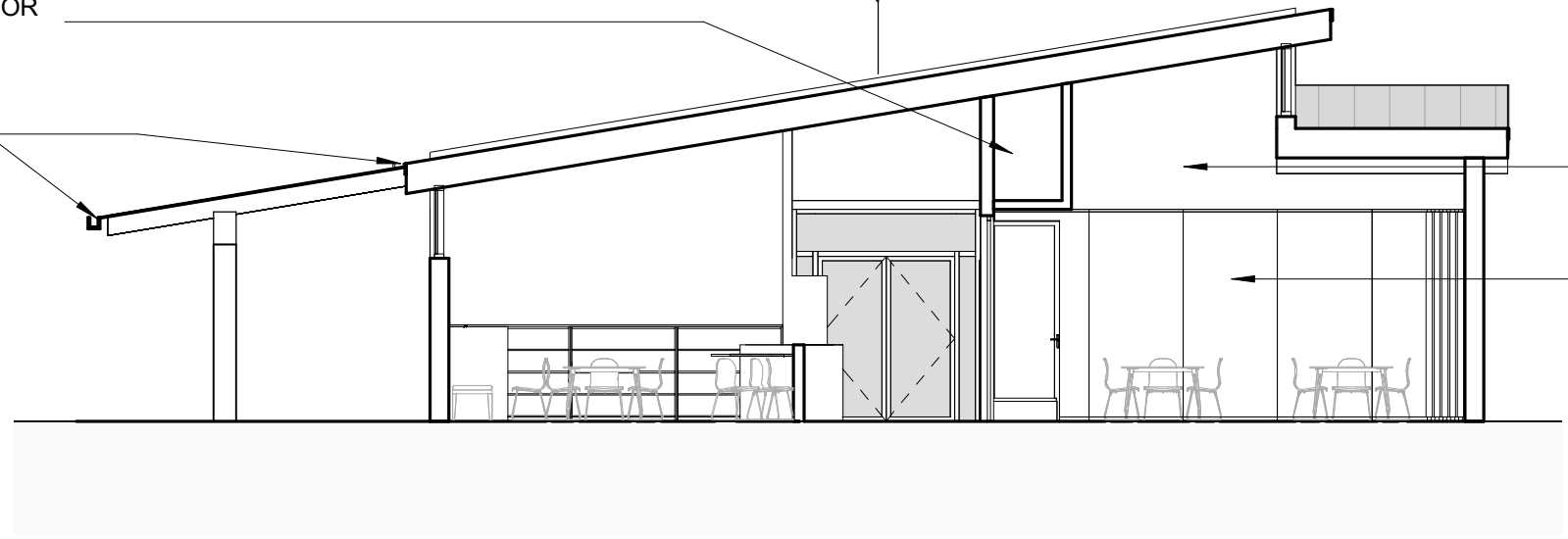
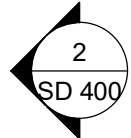
SCALE: 1/8" = 1'-0"

BUILDING ELEVATIONS

SD 301

ACCESSIBLE ENCLOSURE FOR MECH. EQUIPMENT

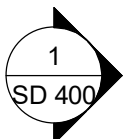
GUTTERS & DOWNSPOUTS



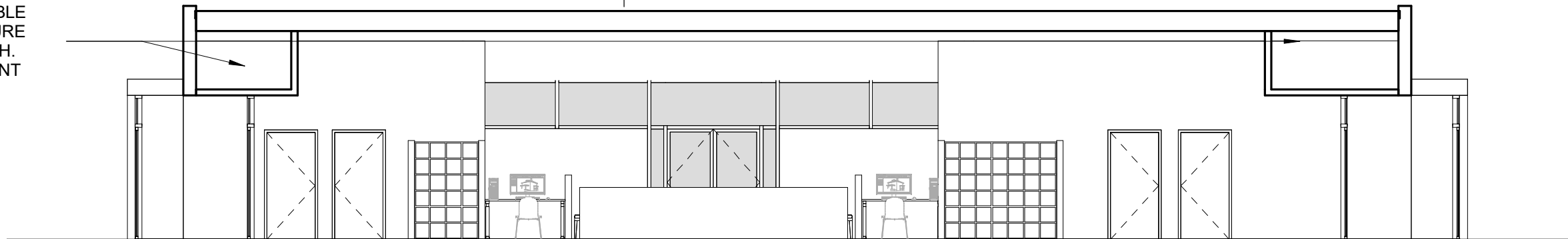
GYPSUM WALL BOARD

OPERABLE PARTITION

1 NORTH / SOUTH SECTION
1/8" = 1'-0"



ACCESSIBLE ENCLOSURE FOR MECH. EQUIPMENT



CONFIDENTIAL

2 EAST / WEST SECTION
1/8" = 1'-0"

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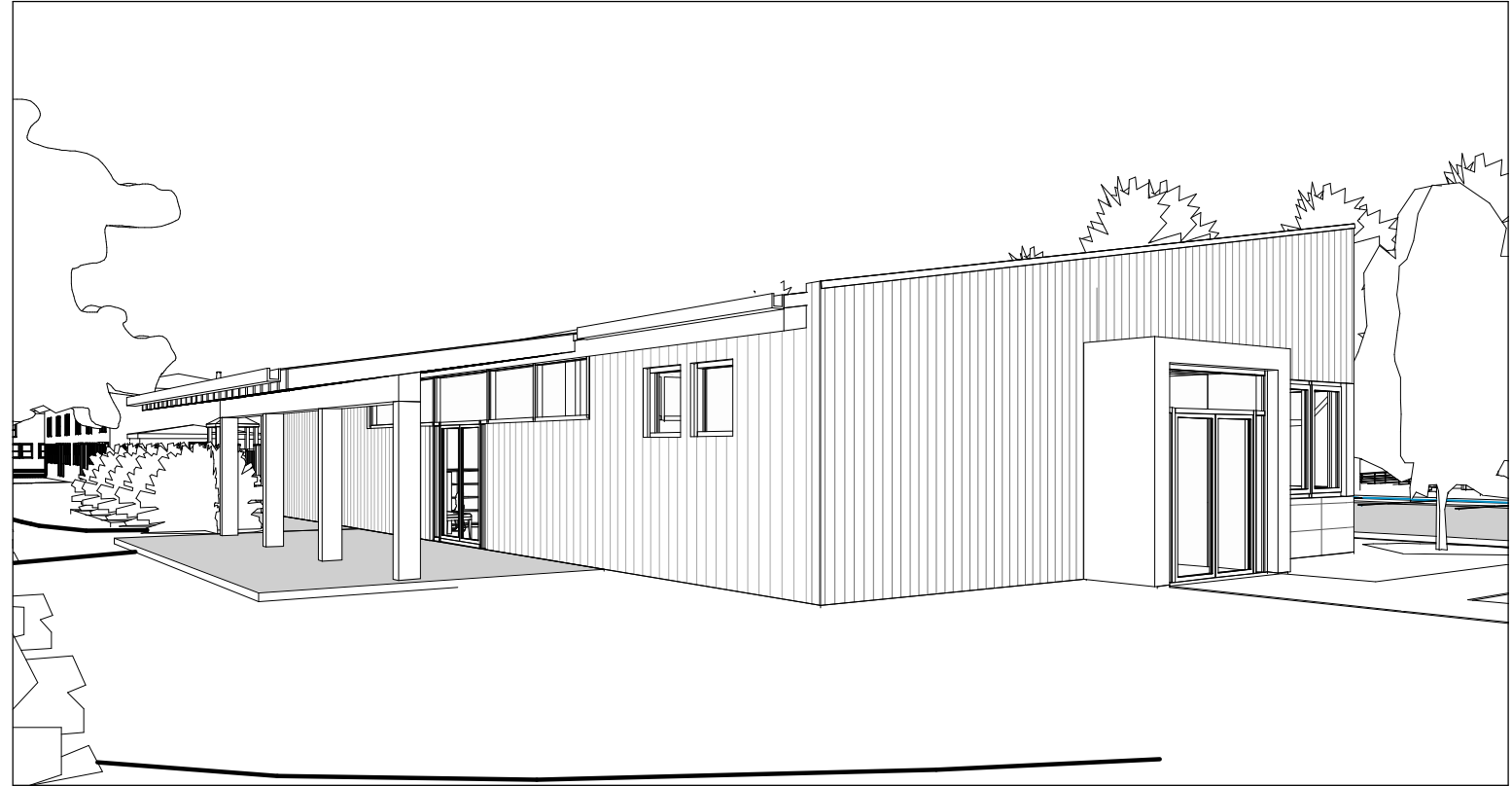
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SCALE: 1/8" = 1'-0"

BUILDING SECTIONS

SD 400



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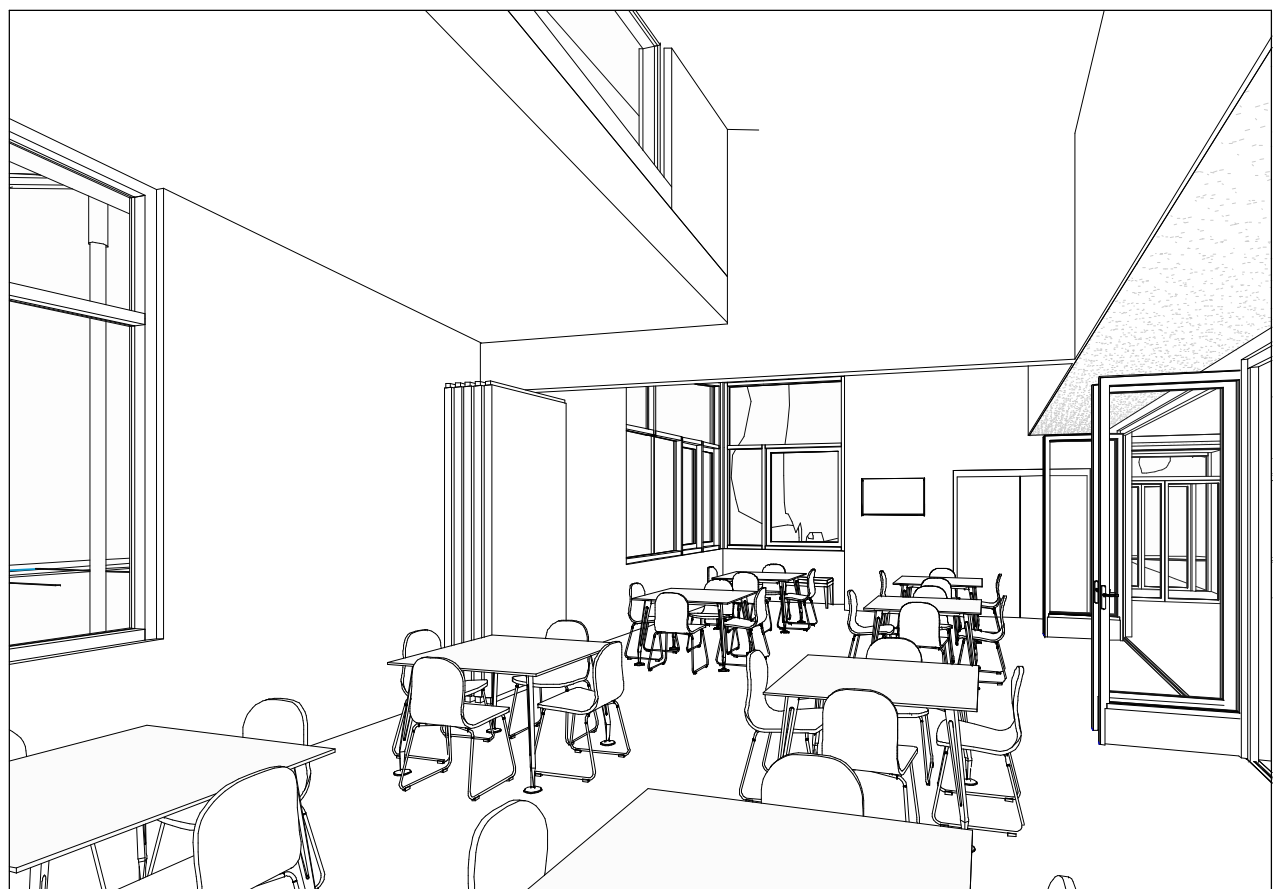
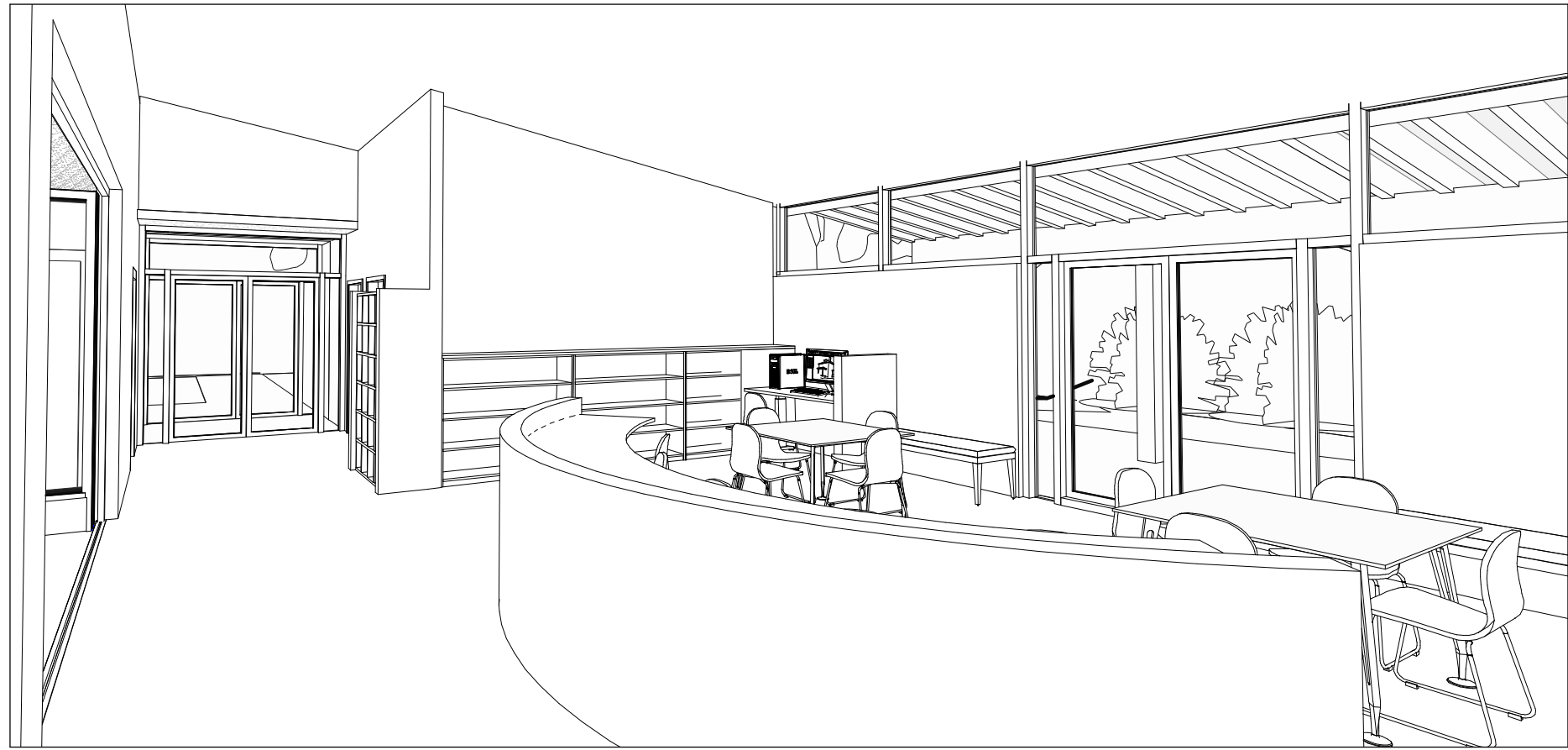
DATE: MAY 2023

SCALE:

3D VIEWS - EXTERIOR

SD 500

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Taunton Community Center at Riverside Apartments
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SCHEMATIC DESIGN

DATE: MAY 2023

SCALE:

3D VIEWS - INTERIOR

SD 501