



ROSE HILL HOUSE
BALLINACURRA MILL LRD
CONSERVATION REPORT
IMPACT ASSESSMENT &
METHOD STATEMENT
2025

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1. Introduction

Background to the Report

This report has been produced by Fourem in response to proposed development of the site of the Ballinacurra Mill and Rose Hill House. Rosehill House is located to the southwest of the main Rose Lane Mill complex on the west side of the overall site. The form of the house is unique. Some aspects are typical of the 18th Century while being of exceptional nature. The house is significant in its expression and in the form of the original plan for such a small building. The external form, room proportion and layout and the exceptional wide and detailed, almost baroque staircase are significant and important characteristics of an 18th Century house rooted in the location.

Nature of the Report

The report is based on reasonable visual inspection for conservation purposes only. There may be conditions that are unknown or cannot be known without further or exhaustive study, opening up and / or further examination. The report does not exhaustively list defects or condition. The report accompanies an Historic Landscape report on Rose Hill landscape.

Aims of the Report

To support the project to achieve a technologically lasting and sympathetic solution to the building and to support the authentic presentation and maintenance of the historic form and detail of the building in the public realm and wider setting. To achieve this, economical solutions are sought to ensure that heritage and conservation concerns are practical and viable. Ultimately the building should be and should feel authentic in its environment and maintain the setting by informed repair and sympathetic addition taking opportunities to make sympathetic improvement that does not detract from the original within the constraints and ambitions of the proposals.

Protection Status

National Inventory of Architectural Heritage: 20907635 (National Rating).

Protected Structure: RPS No. 00520 - Cork County Development Plan 2022-2028.

Recorded Monument: RMP; CO 076-044

Plain Language

This report is written in plain language to be easy to read, understand and use.

Safety First

Unoccupied buildings can be unsafe places. Health and safety procedures are followed for all engagement with the structure and any building works and access may be limited.

Background History

Ballinacurra or Ballynacorra, was a port town developed in the 12th C. for the Town of Cloyne in the next parish. The location functioned well as a port, for coal, timber, iron, slate, corn, wool and flax. The village, contracted and expanded depending on the circumstances of the times. There was a revival in the late 1700s when Anderson and Lapp, Cork Merchants, built new quays and grain stores in the town for the export of malted barley*.

Rose Hill House is a five bay two storey mid / early Georgian house of c.1730. The earliest part of the main house had a T-plan with a basement and an enclosed yard to the rear. It is reported locally that Rose Hill House was built as a dower house for the Castle Mary Estate of the Longfield family, which located a few kilometres to the south of Ballinacurra, nearer to the village of Cloyne.

By the 19th C. Robert Longville was in residence at Rose Hill which confirms a connection to the Castle Mary Estate. In 1914 the house was occupied by a John Webster as noted in Guy's directory. It was also occupied by a Mr Collins, manager of the National Bank (now Bank of Ireland).

Tomas and Rita O'Sullivan lived at Rosehill from 1961 with their 5 children: Brendan, Mary, John, Rita, Katie and Gerald. Thomas was the manager of the malting's, which was called Bennett's and was owned by the Guinness company and the house was made available with the position and an annual rent was paid until the family moved out in 2006.

*See Archaeological and Industrial Heritage Impact Assessment Rallinacurra LRD, Ballinacurra Middleton, Co Cork 3.3 Cartographic Analysis.



First edition O.S. Map, 1841-1842.

Description of the Building

Rose Hill house was built as a T-shaped plan where two rooms flanked a central hall with a staircase block projecting to the rear forming a five bay yet narrow house. The large staircase block which projects to the rear of the house forms the T shape. The house had two formal rooms per floor overlooking an east parkland. The formal rooms were on the ground and first floor, and the basement had kitchen and housekeeping services with staff typically occupying the attic rooms. Over time extensions were constructed to the courtyard to the west / rear of the house to provide background circulation in the 19th C. As the site slopes the main entrance is to the ground floor facing east while the semi basement underneath faces only to the west and the courtyard one floor below.

Further to the west of the yard was a formal garden which can be seen in O.S. maps of 1841-42. This seems to be a kitchen garden with vegetables, cutting flower beds and fruit trees. This has now been developed with housing and does not form part of the remaining grounds.

The courtyard supports a carriage / cart entrance through the western side outbuildings. There is another separate outbuilding noted to the north west of the house.



Rose Hill O.S. Map c 1897.

2. Historic Building Character

Exterior

General Form

The original house is a five-bay building of two storeys to the east and three to the west with window placement relatively symmetrical to the rooms. The house was one room deep and had an occupied basement level which contained the kitchen and stores as well as roof, meaning it had four occupied levels. The kitchen was likely to be located at rear / west basement floor by evidence of a range recess. The staircase is placed centrally inside the front door. It was contained by a projecting rear bay central to the T shaped building. The house had large stair windows and windows to the basement rear yard but no upper windows facing west. These more formal rooms addressed the east parkland with two major windows each either side of the central entrance / stair hall. The house was typical of its time and yet also rigorous in its form and size in how it executed the design concept. The main façade overlooking the east rejected views to the west but from the stair landing. The window opening of the stair return are long and narrow echoing the date of the property. The sliding sash windows had visible frames placed almost flush with the outside of the building in the 18th C. manner.

The external walls are rendered which is consistent with the nature of building at the time where stone detail to the façade projects to allow plaster between the stone surrounds and cills. The façade also has a string course, quoins and door surround of hand tooled limestone. It is likely that the ground was lower by up to 300mm than what we see today to the main façade.

The five bay house has a two-storey single bay kitchen / service block extension to the north. It may be later than the construction of the house but seems concurrent with it. In the late 19th C. a rear access stair to the basement was added between this block and the return of the main stairs in the courtyard. This added a two-floor circulation corridor space with windows overlooking the courtyard.

A later conservatory / glasshouse was placed to the south of the main house as indicated on the c1841 plan. This was reduced to a modest lean-to structure in the 20th C.

The house does have the expression of a Dower House as it has few but large and well-proportioned rooms and has a grand staircase and substantial rooms.

The Roof

The main house has a steeply pitched slate covered roof with chimney stacks at the gable ends. The roof trusses are exposed to the interior. Some of the roof timbers have been replaced or doubled up using sawn timbers, but a significant number of original timbers with some visible timber dowels are retained. There is a hipped slate roof to the north service block with a separate chimneystack and a

gable fronted roof to the stair block with a pitched slate lean-to roof over the rear circulation extension. A 20th C. rear porch to the courtyard has a flat felt roof.

Windows and Doors

The vertical formal windows on the original house are to the main façade facing east. The two attic rooms are lit by cast roof lights and the stairwell is lit by tall openings to the rear of the house addressing the stair landings. The basement is lit by windows to the yard elevation only.

Almost all the windows in the house are timber, up and down sliding sash windows. Those on the first floor to the front are original (early - mid 18th C.). The sashes of the ground floor were replaced, probably in the early to mid. 19th C. and generally follow the pattern of the early 18th C. building but for having possibly less panes of glass by the removal of one row. The tall windows on the stairwell are later replacements of various ages, of almost faithful replacements to the original house. The small sliding sash windows in the courtyard corridor extension are 19th C generally with two or one pane per sash.

The main front door is a mid. 19th C. door and fanlight of heavy detail with delicate form of fanlight of four panes of glass with curved additions. It is likely that the original door matched those of the internal doors but was taller and had no fanlight as was the form in the early 18th C.

Interior

Rose Hill House has retained many original 18th C. features including the house floor plan, staircase with panelling, raised and fielded panelled doors, windows and window architraves with shutters and wide floorboards in some areas. There are some 19th C. features which may coincide with the kitchen wing extension. There is another phase of work in the early 19th C. which includes the addition of rooms to the rear and alterations to some of the chimney pieces.

Basement

The basement covers the footprint of the main block of the house and is not visible from the front of the building but is accessed and lit at courtyard ground level to the rear of the house. This is facilitated by the sloping site. There is a door in the basement that opens onto the enclosed yard. Originally the kitchen of the house was located in the basement but the modern form of kitchen has recently functioned in the north block. There is a chimney piece in the room north of the stair which is likely to have been the original kitchen. There are large flagstones and ceramic tiles as floor finishes in the former kitchen while the southern room of the basement has a concrete floor (possibly poured over the ordinal finish). The walls are lime plastered and lime washed with coloured layers including yellow ochre.

The location of the original rear door in the north elevation of the stair return now leads to the early 19th C. corridor extension to the rear of the house.

Ground Floor

The original house comprises of a symmetrical plan of central hall and stairs with adjoining / flanking rooms of similar size to the north and the south of the hall. A separate and original door in the hall leads to the basement flight of stairs. The north wing with the kitchen is accessed through the northern room on each floor. A small 20th C. conservatory is accessed through the southern room (now dilapidated).

South Room

This room is lit by two, nine-over-six sash windows to the front. There is a chimney piece with a later marble surround in the south gable of the house. A plaster cornice, picture rail (late 19th C), original door, architraves and window shutters are all retained. The small conservatory is accessed through a later addition opening in the south gable. It now has a steel door from the early to mid-20th C. The chimney piece (mid 19th C.) is of white marble with curved recess panels to the uprights and lintols.

North Room

Similar to the South Room there is a chimney piece in the gable wall, but here the chimney piece has painted stone surround which may be original and a brass hood to the insert which is circa mid to late 19th C. Window and door architraves, panelled shutters and a run plaster cornice are all retained. The floorboards at the centre of the room are very wide and are possibly original to the house, with alterations to the boards to the room's edge, which are narrower.

Study Room / Ground Floor (North Block, Current Kitchen).

The north wing / room was used as a service area and kitchen in the 20th C. This room is entered from a door of 18th C. form to the northern room suggesting it may be original to the house. The room has windows to the east front and north elevation with the windows on the north elevation of the late 19th C. replacement type to the first floor and a larger 20thC. Windo to the ground floor. A dumb waiter was introduced at that time and serves the northern room on the first floor. This room, now a 20th C. kitchen, may have been a separate study or quiet sitting room off the main reception room originally.

Rear Corridor

A small landing with a cupboard, and timber stairs leading to the basement, are in a late 19th C. corridor extension to the rear of the kitchen wing room and north room. This addition joins the service spaces of the basement with the first floor bypassing the main stairs which was a general requirement for 19thC. society that may not have been so in the 18th C. There is a small porch and door to the north of the kitchen wing that appears to be a more recent addition.

First Floor

There are two rooms on the floor of similar sizes with a landing to the stairs. Both rooms are accessed from the landing. The landing is lit by a window that is identical to the windows in the bedrooms and completes the symmetry of the facade. The space has a wide plaster run cornice that seems original.

South Room

The room to the south is lit with two windows to the east and has a chimney piece on the gable end of the house similar to all others. The room has timber floorboards and lime plaster walls, but there are not decorative plaster features. The original architraves, door, window and shutters are retained. The fire surround is an elegant vertically reeded stone with central panel of c. the late 18th C.

North Room

This room is similar to the southern room and retains original architraves, door, windows and shutters. The fire surround is painted cast iron with a decorative cast iron insert hood which is from the late 19th C. or is a late 20th C. copy of one from this time. Similar to the northern room on the ground floor there is a door that leads from this room to the north block room which may have been a dressing room.

Dressing Room / North Block Room

The north wing room has a late 19th C coved tongue and groove ceiling, four panel door, simple windows architraves and a painted arched form 19th C. cast iron fire surround.

Second Floor / Attic

There are two rooms in the attic located over the ground and first floors. Each room is lit by a single roof light each to the rear face of the roof (there may have been windows to the gables originally or even simple dormers). Part of the timber pitched roof structure is exposed. The floor is of timber boards and the chimney breasts are visible, but there is no evidence that there were fireplaces in these rooms which seems unlikely if they were occupied. The doors to the bedrooms here are modern hollow core replacements and were probably sheeted, beaded and ledged but not braced. There is a large hole in the roof on the landing at time of inspection which has been since covered.

Staircase

The staircase is exceptional and is typical of a large house of the early 18th C. The staircase has wide shallow treads and continues at full width from the basement to the attic floor. It is a closed string, timber staircase with half landings. Many of the original balusters have been removed from the stairs, some still exist and demonstrate the early baroque nature of the stairs. The soffit of the staircase is plastered with a running cornice which indicates an earlier rather than later 18th C. provenance. The basement and attic are partitioned from the main house, although the partition to the attic is a later

addition. The detail, form and with of the staircase has exceptional character and is rare by any standard.

Joinery

The joinery in the house is generally robust in the early T shaped 18th C house. There are notable characteristics of raised and fielded panels to doors and shutters and deep well-defined recesses to architraves. The windows generally don't reach the floor but have internal cills which is typical of the 18th C. The turned staircase uprights are wide and robust in comparison to later forms and were almost all identical sitting uniformly on a closed string in the Baroque manner. The joinery is exceptionally rare and demonstrates rare cultural joinery shop forms linked to the Baroque Renaissance forms that are often unknown.

Decorative Plasterwork

Plasterwork at the house is simple in the main four rooms and stair hall with simple plaster run cornices. The raised plaster panels to the underside of the stairs are typical of the 18th C. and are a significant form of 18th C. character and rarity.

Outbuildings

The outbuildings to the house are arranged around three sides of the courtyard to the west at basement level. The yard is accessed through a carriageway in the buildings opposite the main house staircase. The buildings are constructed of rubble stone with slate roofs and have lime washed interior and external walls which were harled on flush pointing originally. The yard is mostly overgrown, with many of the buildings hosting ivy and other plant life. It is likely that the yard may have been cobbled or of tamped gravel but there is no evidence of this without investigation.

Building Condition

The building is in relatively good condition due to functioning roof cover but has suffered some rot and from theft of items relating to the stairs. There is decay relating to being unoccupied in recent years and the condition and damage needs to be monitored. Any water ingress or loss of downpipes and gutters would mean an acceleration of damage and any leak in the roof cover would cause rapid decay. The house is a traditionally constructed masonry building with pitched roof and relies on the integrated parts of timber, lime mortar and masonry construction to remain stable and intact. The weight of structural elements of the roof and tying of floors to the outer walls including the good condition of wallplates and bonding timbers and timber in combined brick framing are all integral to the structural integrity of the property.

The Original House - Character

The original house would have functioned to support the daily needs of the owners and all those living in the house and the outbuildings that supported the household directly. The house would have had geese and chickens, even ducks and perhaps some animals for milk and meat. The garden would have produced fruit and vegetables and all-important herbs for cooking. The owners of the house used the rooms facing the parkland to the east which would have been formally decorated, particularly to the ground floor reception rooms. The stair landing windows provided an opportunity to address the working yard to the rear and provided additional light. The servants who supported the house lived in the attic and some ran the kitchen in the basement while others looked after more general household chores. Those workers that supported the grounds may have lived in part of the outbuildings or locally in the village. As the 19th Century progressed the second stair was added for background circulation, possibly to reduce the impact of those working in the house on the owners' daily lives.

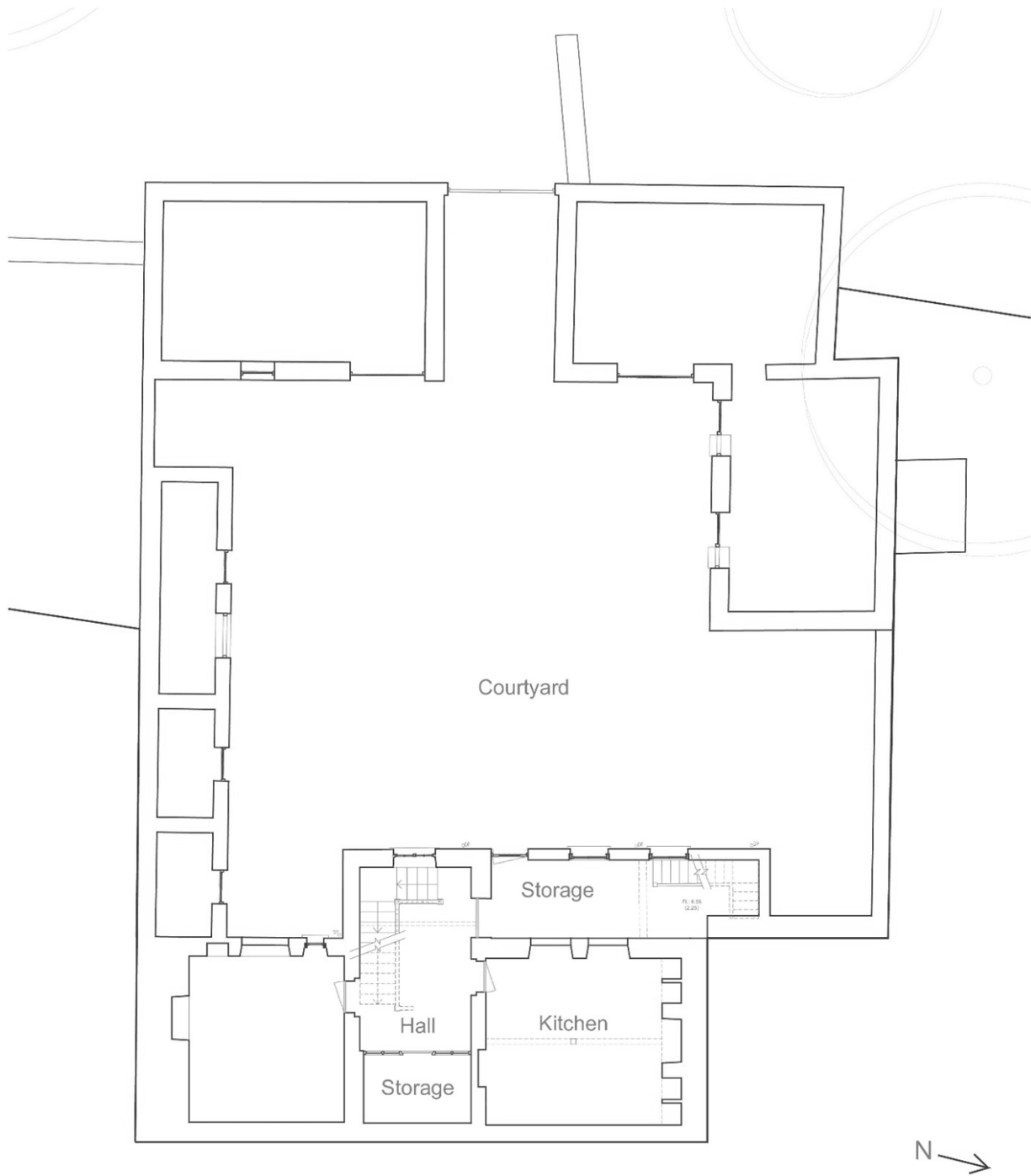
The main original staircase was exceptional in its scale and formal detail for the time even given the smaller relative scale of the rooms. It was built to impress but also to allow two people of possibly large dress to pass easily. The shallow steps made ascension easier and more gentle. The house was uncompromising in its simplicity and symmetry and in how it addressed the landscape and is a true reflection of 18th C. values and approach to building.

The basement floor was likely to be of flag and possibly, additionally clay tiles originally and the upper floors all were of wide boards likely to be from the Baltic region of slow grown pine known as *deal*.

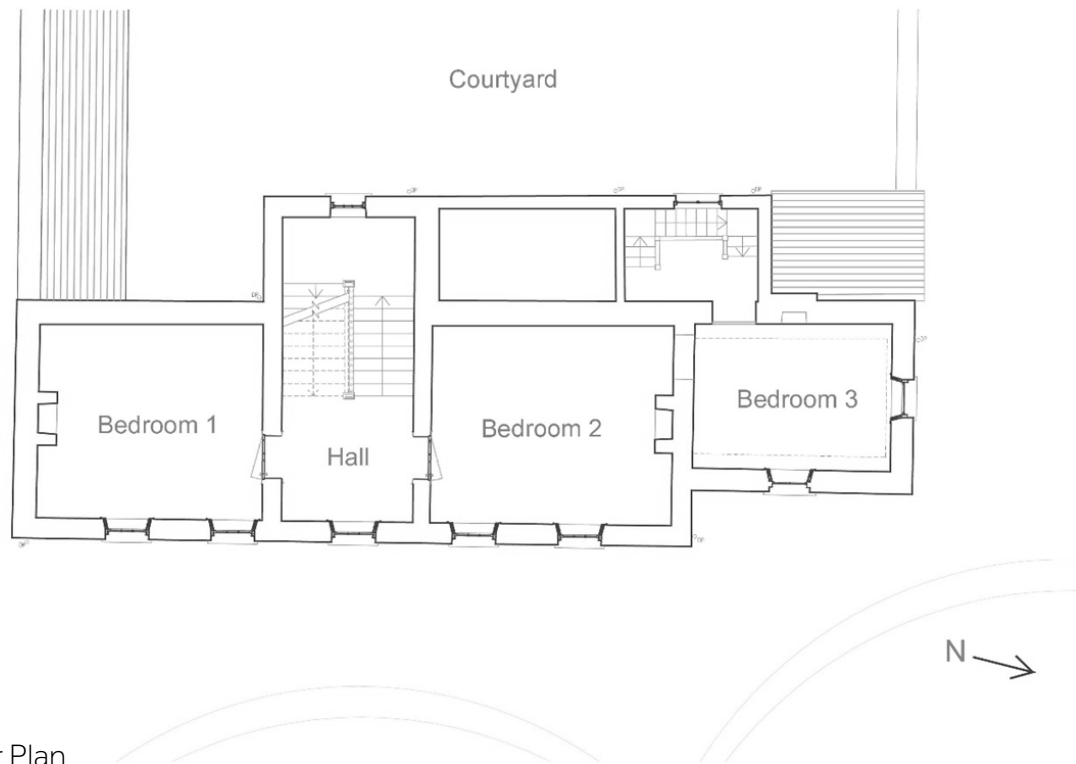
The detailing of the interior was classical and quite robust in form being from European Renaissance Baroque / pre-Palladian times and pre the Napoleonic wars which brought scarcity to the timber supply. Similar detail may be seen in country houses such as Ballinlough Castle in County Meath which was extensively remodelled in the 18th C. Some similar houses to Rose Hill exist in County Cork like Donnybrook House and remnants of panelling and 18th C. staircases can be seen throughout the county and locally particularly in Castlemartyr but rarely to the extent that is seen intact at Rosehill.

3. Survey Drawings

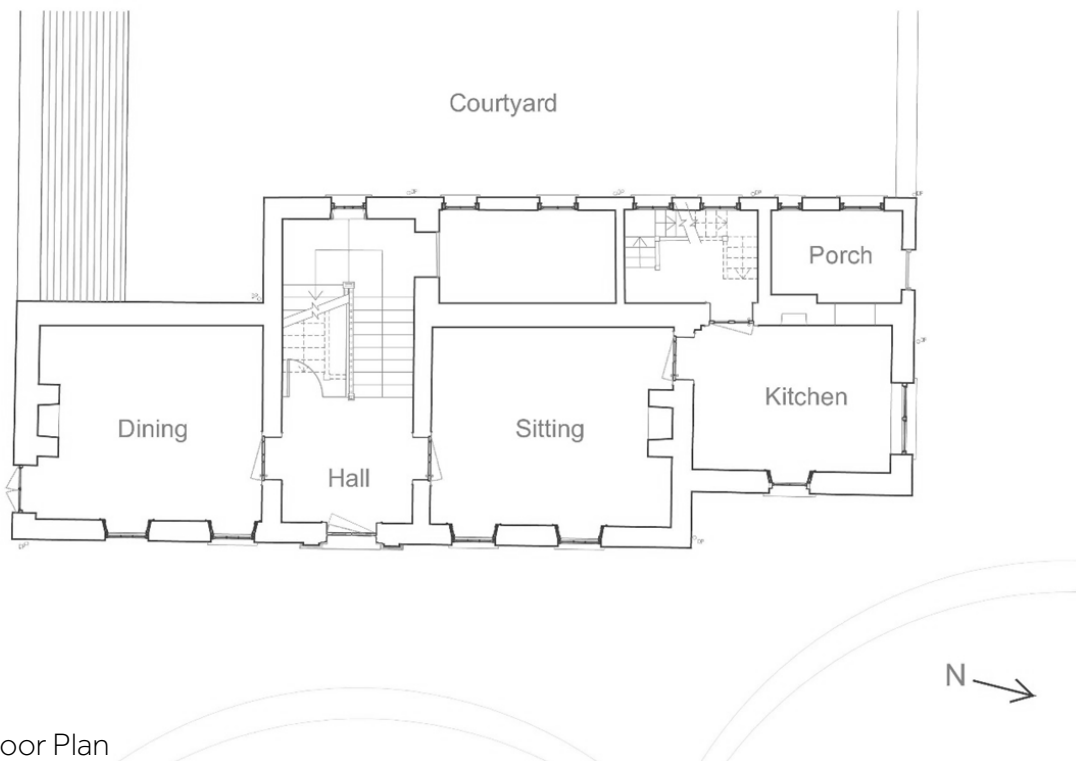
Survey Plans



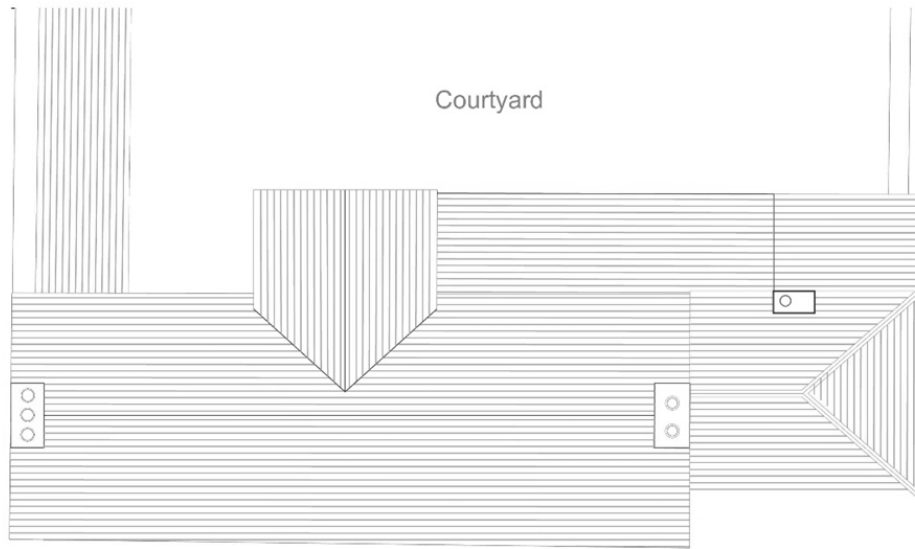
Basement plan



First Floor Plan

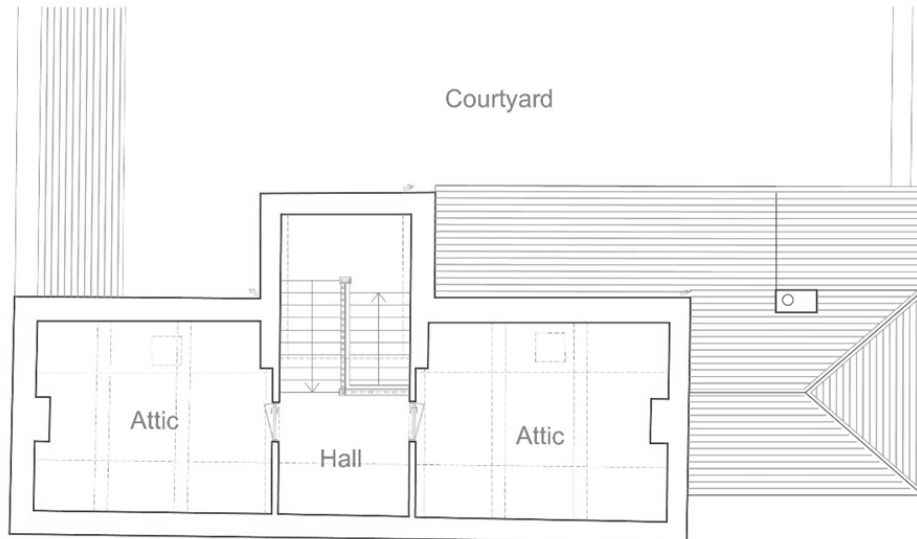


Ground Floor Plan



Roof Plan

N →
EXISTING ROOF PLAN



Attic Plan

N →

Survey Elevations



East Elevation



West Elevation



North Elevation



South Elevation

4. Impact Assessment

Summary of Proposal & Impact

It is proposed to restore the external elevations of Rose Hill and present it as an 18th C. house and focal point in the western side of the development with open space to the east and west reflecting the original parkland and to the north reflecting original open space, referring to the *Historic Landscape Assessment, Rose Hill House*. New dwellings adjacent to the house and to the parkland perimeter to the north reflect the character of the historic setting.

The proposed development has limited impact and the overall repair and restoration of the landscape is an enhancement of character:

- It is proposed to repair the building externally by replastering in lime plaster, heritage cast rainwater goods, restoration of windows and replacement of roof slate and lead flashings to protect from water ingress, presenting it in the landscape closely to its 18th C original form, the evidence for which still survives. Internal repairs are proposed in the replacement of the basement floor and the repair of the historic staircase, panelling and floorboards.
- It is proposed to repair and restore the outbuildings externally designating the rear west buildings as a separate dwelling house. The buildings are proposed to retain their character with slate roofs, heritage rainwater goods, harling plaster and repair of heritage gates in sheeted timber.
- It is proposed to develop dwelling houses as ancillary buildings to Rosehill in a character setting around the house which includes the ancillary buildings of the yard and surrounding landscape, reinstating definitive heritage character around the house.

It is proposed to repair the house carefully to maintain its authentic character in the landscape and restore some of the material character now lost including lime plaster finishes and repaired and restored doors and windows.

In addressing the overall placement of new buildings Rose Hill has been given careful attention referring to its rarity and its original character and the character of the landscape. Consideration has been given to historic precedent of development of similar houses. In the landscape approach open space is maintained to the east reflecting the parkland established there originally and to the west in the form of a garden in the later 19th C. which has some significant trees.

Proposed development within the Rose Hill grounds is limited to houses that form part of a new context within the setting and focus on the original character of the surroundings while ensuring the overall public realm and connection to the wider Mill site and development is resolved. The east west open landscape is emphasised, and new houses overlook, resolve and address the open public space around the house and are to an appropriate scale and material quality while maintaining passive surveillance and urban form conducive to successful public function.

Design Intervention - Curtilage, Attendant Grounds & Setting

Curtilage

The curtilage of the house includes all space from the house to the boundaries of the Old Dairy Housing to the west and the Rose Hill Estate to the south. The curtilage is also included in space to the north of Rosehill House bounded by the trees and to the east in front of the house both of which are now in part proposed to form part of the public realm of parkland around the house and form part of the setting of the house as it may have been viewed historically. Intervention in the curtilage of the house is limited and aims to enhance the viability and function and protection of the buildings maintaining character and ensuring a safe environment.

Attendant Grounds

Lands outside the curtilage of the house to the east and north may also be considered part of the attendant grounds which include historic approach to the house from Rose Lane and land now proposed as parkland around the house in part as amenity for the overall development and in part as space supporting the retention of character of the attendant grounds and setting of the house. Although the land to the west of the house now supports the mill complex entirely it originally also may have formed part of attendant grounds to the house which addressed the land there as green open space before development of the Mill complex expanded into the area. With this in mind all architecture and intervention on the site is proposed to be sympathetic and contextual to the existing architecture.

Setting

The setting is taken as being the built landscape around the building and site viewed from the context of the surrounding area. The project proposes a character presentation of the building as historic with restoration of the functional aspects of roof, chimneys wall surfaces, eills windows, doors, outbuildings and presentation of historic landscape surfaces and additional associated dwellings. The intention is to save the building and restore it in an historic setting as a dwelling house in an enclave of dwellings where the additional dwellings form part of a character of the existing dwellings. Additional emphasis is placed on repair and presentation of original forms of external detail combined with lime technology and use of heritage forms of detail, external joinery and external products such as heritage rainwater goods, lighting and landscape detail.

New Dwellings

Intervention to the setting includes three dwellings presented in scale as ancillary outbuildings at the south and rear of Rosehill within a character area around the building which supports heritage finishes in the expression of the buildings and the landscaping and retains the character identity of the house and associated dwellings. The intervention is considered carefully to support a safe community enclave and identity associated with the house character and identity. The viability of the place as a house with associated dwelling houses around it, including its own outbuildings, supports the

character and function of the place as a heritage setting enhanced by the quality of the finishes and resolution of the external landscape. Landscaping proposes to have original and restored stone walls, lime plaster finishes, cobblestones, hedging and estate fencing with an emphasis on estate parkland finishes combined with farmyard and heritage surfaces to the rear. Details are historically referenced to enhance the character of the setting.

The form of the immediate area around the house is as a location of increased heritage character informed by the form of boundaries and layouts that may be examined on historic maps reflecting the existing and historic context of the house and landscape character and enclosure that existed surrounding and adjacent to the house. The new public open space to the north and east is addressed with historic reference to maps and all space is considerate of increasing live uses and passive surveillance to ensure the success of this part of the overall proposal.

5. Method Statement

General Repair & Restoration

The exterior of the building is proposed to be repaired / restored to form part of the setting of the overall landscape / design proposal yet as a heritage character space appropriate to the immediate setting of the house and garden / yard. It is proposed that some of the later additions which have compromised the clarity of the building, and the quality of internal space are removed for practical, economical and formal reasons. The northern extension considered original to the setting and the house although much altered to form a 20th C. kitchen is proposed to be restored with the house.

The significant part of the building which is the original historic house and courtyard is proposed to be protected by reroofing to original detail and replastering and repointing of all external walls of house and yard to historic detail. The stairs and stair hall are to be repaired and missing parts reinstated.

The house is proposed to remain a dwelling house and the outbuildings adapted to an ancillary dwelling with minimal alteration as this is highly suitable for retention of form and internal detail.

Addition of New Elements

External - Rosehill - The Proposal

It is proposed that few new elements be added to the building externally except for additional access to the courtyard from the basement spaces. Window openings to the north wing are proposed to be restored. All eaves' details are proposed to be retained and restored and plaster finishes of smooth plaster to the east façade and harled plaster to the remaining facades are proposed as closely resembling the prevalent historic finishes.

It is proposed to flush point the external courtyard walls and walls of the outbuildings and apply harling in the traditional manner, undulating with the walls.

Internal - The Proposal

It is proposed that there are additional new elements internally of services, partition walls and doors. These are all proposed to be sympathetic to the original building and in keeping with the form and material quality of the building.

Windows and window surround details of architraves and / shutters are proposed to be retained and repaired in the new interiors. Original joinery including the stairs to be repaired and retained without exception.

It is considered sensible to support the idea of insulating and pouring a new screed over the entire ground floor sympathetically detailed at the ground entrance doors with a limestone threshold and allowing for the placing of sympathetic flooring materials to 18th C. precedent by placing the floor level 50mm lower than the finished level requires.

It is also considered sensible to use insulating lime plaster to the external walls internally to increase thermal efficiency and to insulate the roof to within as is appropriate for an historic building. This includes using insulating lime plaster behind all shutters and around all window reveals and surrounds and internally entirely on north facing walls. It is proposed to tank the basement walls using a suitable membrane and plaster with a lime finish as is appropriate to a heritage building.

Method Statement Repair of Rosehill House (including outbuildings)

Roof, Roof Detail, Roof Cover

Repairs / Renewal

The roof to be repaired using matching or approved slate with traditional form dark clay ridge tiles set in mortar (a concealed flashing may be proposed to protect the ridge board set under the clay tiles).

The eaves to be detailed as historically with plaster or pointed external wall finishing under slates on gables and at eaves without any addition of fascia, overhang or soffit.

Intervention

A match to an historic natural 18th C. slate is proposed which would have been grey / charcoal in colour, thick, strong, textured and of good quality requiring no visible clips. The roof is to be vented using under slate breathable membrane laid to specification (draped). For success this requires a slate of a textured profile which is consistent with the historic form. Roof vents required to be located to be hidden from

view from the external landscape and additionally presented as relating to the geometry of the building and with heritage lead detailed form.

Eaves, Rainwater Goods

Repairs / Renewal

The eaves are detailed finely in masonry with no overhang except for the slate.

Rainwater goods may be inadequate in size for the building and should be checked for function. Some cast iron downpipes remain for integration.

The eaves to be detailed as historic detail and pointed as required with plaster external wall finishing under slates on gable and at eaves.

Rainwater goods to be cast, to heritage detail and painted (not jet black) in historic colour referencing the existing building evidence. Rainwater gutters to be half round, appropriately sized to be fitted with traditional brads only (can be galvanised).

Intervention

Rainwater goods are proposed as fully matching historic detail. Additional rainwater goods and / or soil vent pipes may be used in a heritage detail / cast format to the elevations with appropriate sizing and shape for round heritage gutters and round downpipes using brads only for fixing of historic gutters.

External Walls & Wall Details

Repairs / Renewal

The walls are plastered externally with a mix of lime-based mortar and lime and cement-based mortars. The finishes are the traditional forms of harling and smooth plaster.

Walls to be plastered or locally repaired with lime plaster and mortar following inspection for hollow plaster, weakness or erosion.

Stone walls to the courtyard and courtyard buildings should be repointed in a flush pointing detail in a light-coloured lime mortar of local sand constituents.

Intervention

No new intervention items are proposed outside of items matching historic detail and finishes and the introduction of historic repair materials.

Doors and Windows

Repairs / Renewal

Historic 18th C. windows and doors and some later additions are proposed to be repaired and decorated to good working order in best practice technique.

All doors and windows except those that are not to remain or require restoration, to be repaired in good working order and decorated and presented in working order in the historic manner and to best practice without alteration of form, material quality or detail carrying out as little work as possible but to ensure retention of historic detail and longevity. Historic glass to be retained in situ and added to as necessary for retention of character. Historic windows may have additional seals added.

Intervention

Limited new intervention items are proposed outside of items restored to historic detail. There are new access doors and windows proposed to the courtyard at basement level and new historic restoration / detailed doors and windows proposed to the east and west gable elevations.

Internally there is much joinery to architraves and shutters around doors and windows to be retained. These surrounds should not be removed except in extreme circumstances where windows are being removed entirely for restoration.

General Intervention - Building Design Considerations

Intervention - Internal Partition Walls

It is proposed to add internal partition walls for the creation of bathroom enclosures. This is proposed to be sensitively carried out to reflect the materials of each adjoining space.

Intervention - Services

The addition of electrical and plumbing services is sometimes a damaging process, and it is possible that heritage form external soil pipes may prevent undue damage to the building. The placement of services should be thought about carefully to minimise damage and compromise / ingenious design of bathrooms in the internal plan may be required to achieve this. Fire detection services should not be compromised on.

Thermal Efficiency

Historic buildings performed well in terms of a comfortable environment but required more than acceptable energy to do so in modern terms. Our modern approach needs to be adapted, and our concerns examined and adjusted to maintain authenticity in the historic building. Items that can be upgraded easily should be carried out. These include addition of added seals and brushes to external

doors and windows in a concealed location, insulation of external walls and window recesses with insulating lime plaster, insulation of ground floors and of roof structures. The gain of trying to double glaze windows is fraught with complexity, damage and failure and not worth the limited gains that can equally be achieved with good seals, increased efficiency elsewhere and working shutters. Due to the highly efficient nature of roof, floor and wall techniques the house should reach very high standards of insulation.

Heating & Ventilation

Ground floors of historic houses may be heated with underfloor heating powered by a heat pump system. A medium heat level to an insulated floor at basement level can ensure a good general level throughout a house. Electric heating may be considered for historic rooms to reduce intervention / damage by service pipes. Bathroom ventilation should be by local moisture sensitive extract and an attic small scale heat recovery system to attic bathrooms supplying air to the landing area may be used to advantage for improved ventilation and condensation prevention following the sealing of windows. If room vents are required, they can be formed in window frame surrounds and concealed behind shutters or seals at windows may be left out at the meeting rail. Creative approach is necessary to reduce the impact of intervention but maintain a healthy, sustainable internal environment.

Building Regulations / Interpretation

Works to existing / historic buildings or interventions should improve the performance of the building. Opportunity should be taken to improve building performance understanding that it is not practical to alter the building to exact modern codes and regulation requirements (this would mean its complete destruction). Items relating to safety and modern interpretation and codes of safety should always be applied and adapted to allow the building to reflect modern expectations and requirements. For instance the restricted opening of windows can be addressed with additions to the historic sashes without changing the historic detail or more insulation can be placed in one location to compensate for less in another. Simple quiet additions can address these and other requirements. Sensible and balanced interpretation of what's needed is required and balance may be found between benefit and intervention. In some cases, technology may assist (like insulating lime plasters or modern ventilation systems). Design interpretation for access and facilities if ingenious need make little impact and still provide welcome facilities easily in a heritage building of substantial size. For instance access from basement level courtyard may facilitate access to a principle living space. Slavish interpretation of guidance causes damage in almost all cases. It is notable that safety cannot be reduced by any intervention but must be considered and improved upon at each opportunity where work is carried out. When it comes to fire detection or domestic construction, adaptation is required to improve standards to modern requirement and forms of detection. This can mean a thorough knowledge of the intention of all regulations and the advice of experts on subjects such as flame spread through domestic construction or any other concern for an existing domestic house. Every effort can be made with

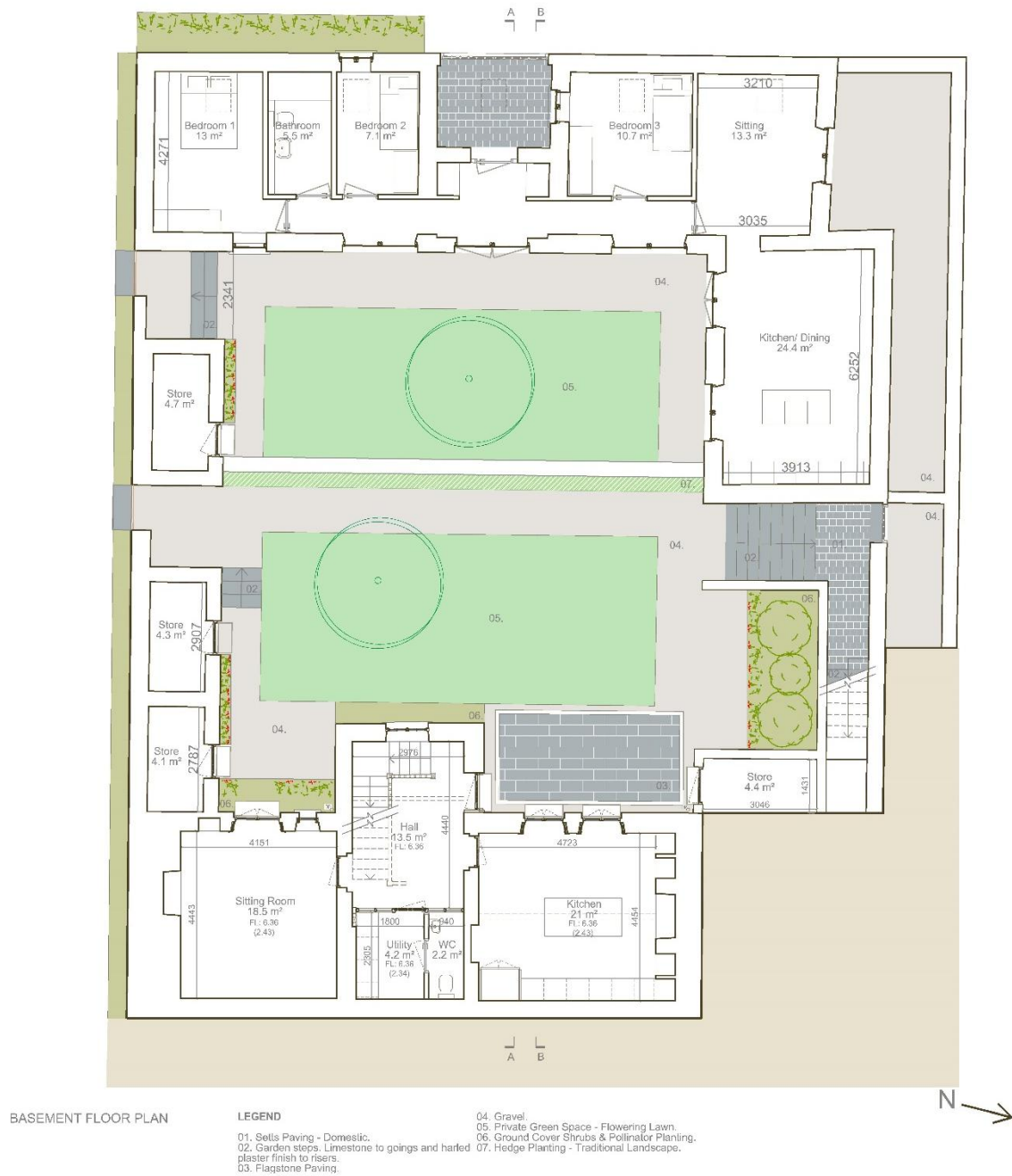
professional advice to maintain an authentic heritage structure and maintain a safe environment in the building.

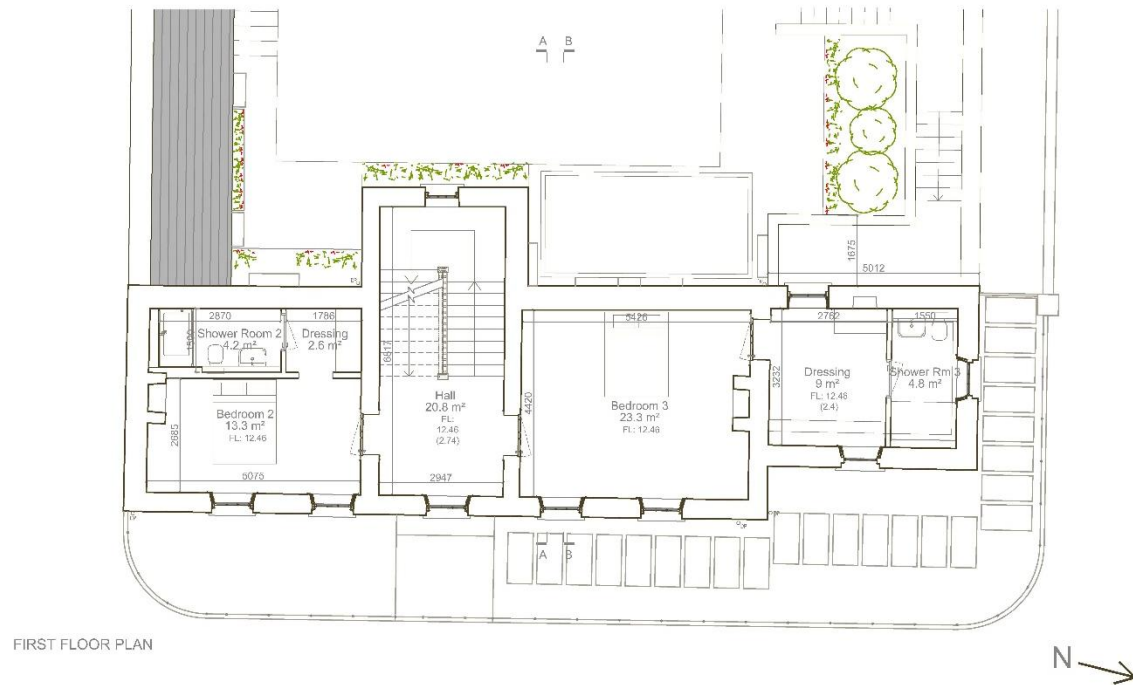
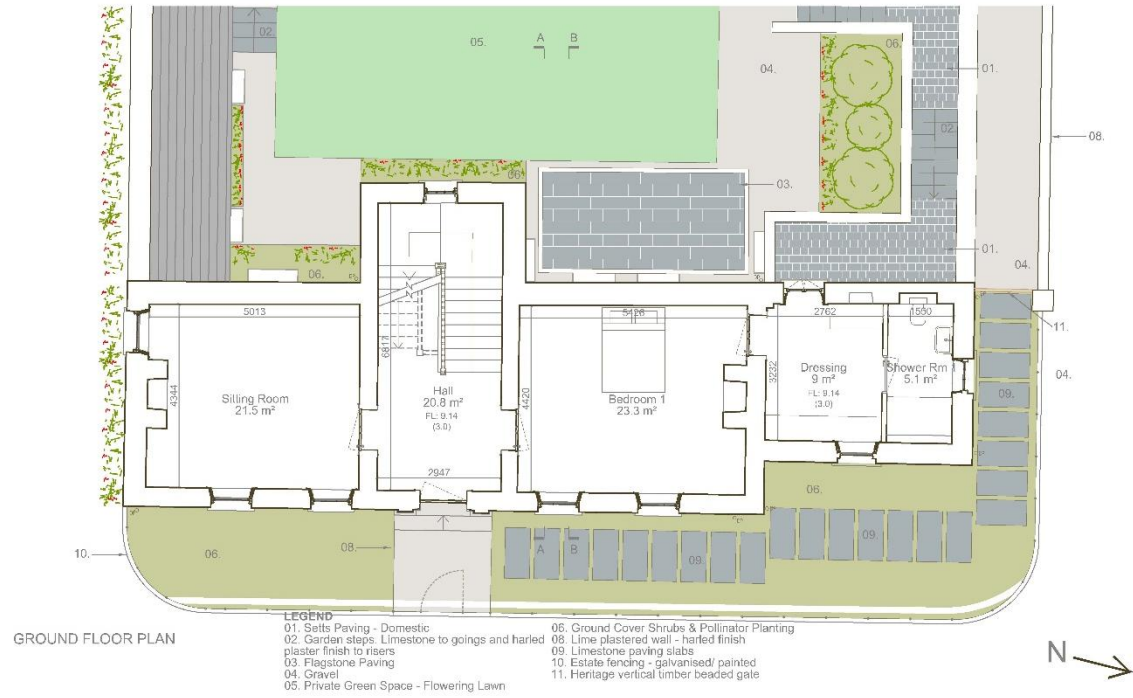
Recommendations - Summary

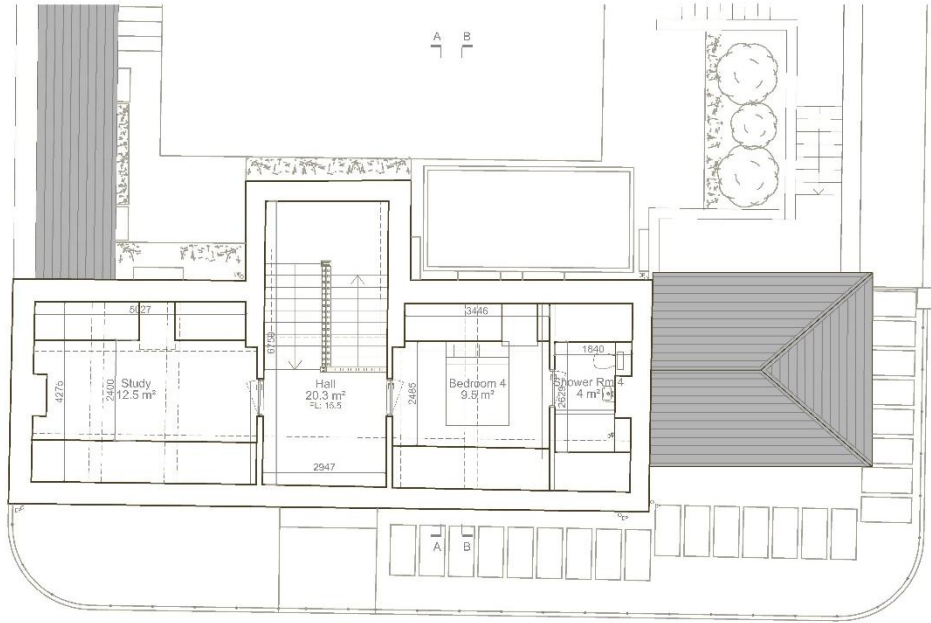
- Present the 18th C. building to historic detail
- Present external setting around the building as historic in character
- Remove added 19th C. corridor extension
- Repair and restore outbuildings to historic detail
- Repair and restore historic detail accurately
- Increase connection to rear garden in courtyard from basement
- Replaster house in lime plaster externally - smooth to front, harling to sides and rear
- Re-slate roof in natural slate
- Maintain and restore heritage rainwater goods
- Repair and restore historic joinery of stairs, doors, windows, screens and panelling
- Minimal intervention of new internal partition walls
- Minimal intervention of new internal services
- Improve thermal efficiency of the structure
- Address fire prevention and protection
- Ingenious improvement of functionality and safety relating to Building Regulation.

6. Proposal Drawings

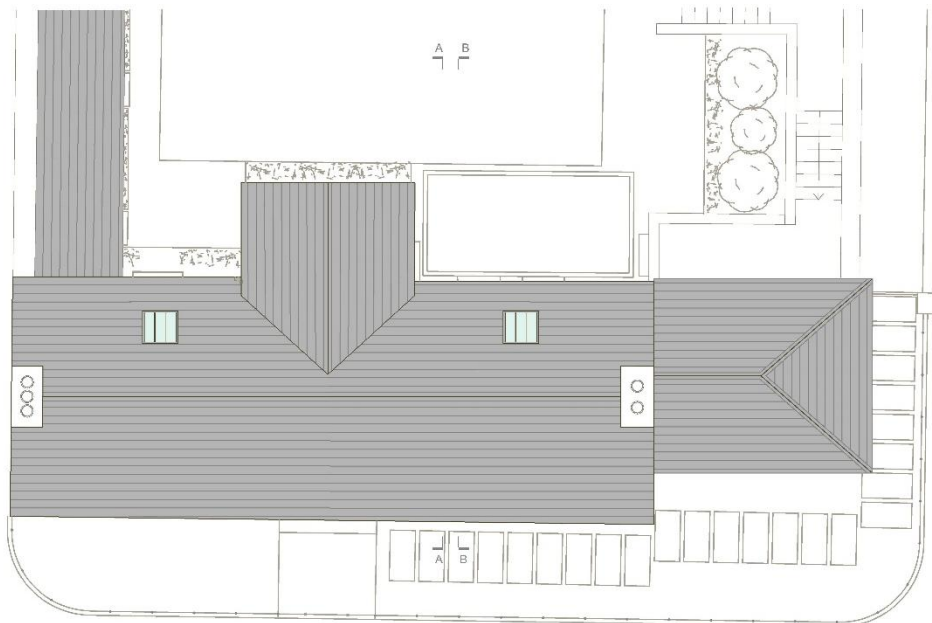
Proposed Plans







ATTIC FLOOR PLAN



ROOF PLAN



Proposed Elevations



FRONT ELEVATION (EAST) - ROSEHILL HOUSE

- LEGEND**
- 01. Restoration of historic entrance door timber - painted
 - 02. Restoration of historic timber sliding sash windows - painted
 - 03. Existing limestone quoin stones to be repaired and retained
 - 04. Lime plastered wall - smooth finish, painted
 - 05. Lime plastered wall - harled finish
 - 06. Heritage natural slate roof with dark clay ridge
 - 07. Cast iron rainwater goods
 - 08. Estate fencing - galvanised - painted
 - 09. Heritage vertical timber beaded gate
 - 10. Lime plastered pillars - harled finish



REAR ELEVATION (WEST) - ROSEHILL HOUSE

- LEGEND**
- 02. Restoration of historic timber sliding sash windows - painted
 - 05. Lime plastered wall - harled finish
 - 06. Heritage natural slate roof with dark clay ridge
 - 07. Cast iron rainwater goods
 - 09. Heritage vertical timber beaded gate
 - 10. Lime plastered pillars - harled finish
 - 11. Cast iron heritage rooflight (historic detail / conservation)
 - 12. Timber french doors to historic detail
 - 13. Garden steps. Limestone to going and plastered finish to risers
 - 14. Repair of historic Stone Walls



SIDE ELEVATION (NORTH) - ROSEHILL HOUSE & OUTBUILDING

LEGEND
 02. Window - Historic timber - Sliding sash - Painted - Restored.
 03. Existing Quoin Stones - Limestone - Repaired and retained.
 05. Render - Harled finish.
 06. Slate Roof - Heritage natural slate - Dark clay ridge.
 07. Rainwater Goods - Cast iron.
 08. Railing - Estate fence - Galvanised and painted.
 09. Gate - Timber vertical beaded - Heritage.
 10. Render - Harled finish.
 14. Wall - Stone - Historic - Repair.
 Existing elements to be altered/ removed



SIDE ELEVATION (SOUTH) - ROSEHILL HOUSE & OUTBUILDING

LEGEND
 03. Existing Quoin Stones - Limestone - Repaired and retained.
 05. Render - Harled finish.
 06. Slate Roof - Heritage natural slate - Dark clay ridge.
 07. Rainwater Goods - Cast iron.
 08. Railing - Estate fence - Galvanised and painted.
 09. Gate - Timber vertical beaded - Heritage.
 10. Rendered Pillars - Harled finish.
 15. New Window - Timber - Sliding sash - Painted - Historic detail.



SECTION A.A - ROSEHILL HOUSE & OUTBUILDING

LEGEND
 02. Window - Historic timber - Sliding sash - Painted - Restored.
 04. Render - Smooth finish.
 05. Render - Harled finish.
 06. Slate Roof - Heritage natural slate - Dark clay ridge.
 07. Rainwater Goods - Cast iron.
 08. Railing - Estate fence - Galvanised and painted.
 12. French Door - Timber - Historic detail.
 18. Door - Traditional sheeted timber - Painted - Historic detail.

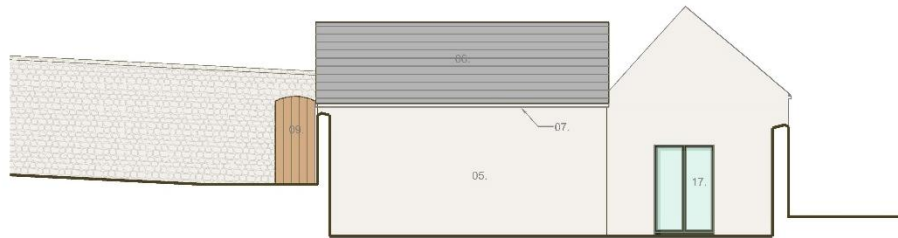


SECTION B.B - ROSEHILL HOUSE & OUTBUILDING

LEGEND
 02. Window - Historic timber - Sliding sash - Painted - Restored.
 04. Render - Smooth finish.
 05. Render - Harled finish.
 06. Slate Roof - Heritage natural slate - Dark clay ridge.
 07. Rainwater Goods - Cast iron.
 08. Railing - Estate fence - Galvanised and painted.
 09. Gate - Timber vertical beaded - Heritage.
 12. French Door - Timber - Historic detail.
 13. Garden Steps - Limestone to goings - Harled finish to risers.
 16. Door - Traditional sheeted timber - Painted - Historic detail.
 17. Door / Window - Aluminium clad - Glazed.
 18. Double Door - Sheeted timber.

RH
+12.27m
RH
+11.87m

CL
2600
FFL
+6.8m



NORTH ELEVATION - ROSEHILL OUTBUILDING

RH
+12.27m
RH
+11.87m

CL
2600
FFL
+6.8m



EAST ELEVATION - ROSEHILL OUTBUILDING

LEGEND

- 05. Lime plastered wall - harled finish
- 06. Heritage natural slate roof with dark clay ridge
- 07. Cast iron rainwater goods
- 09. Heritage vertical timber beaded gate
- 13. Garden steps. Limestone to going and plastered finish to risers
- 17. Glazed aluminium clad window/ door

RH
+12.27m
RH
+11.87m

CL
2600
FFL
+6.8m



WEST ELEVATION - ROSEHILL OUTBUILDING

LEGEND

- 05. Lime plastered wall - harled finish
- 06. Heritage natural slate roof with dark clay ridge
- 07. Cast iron rainwater goods
- 17. Glazed aluminium clad window/ door
- 18. Timber sheeted double doors to existing opening

7.Selected Images – 2006



East Façade Rose Hill House.



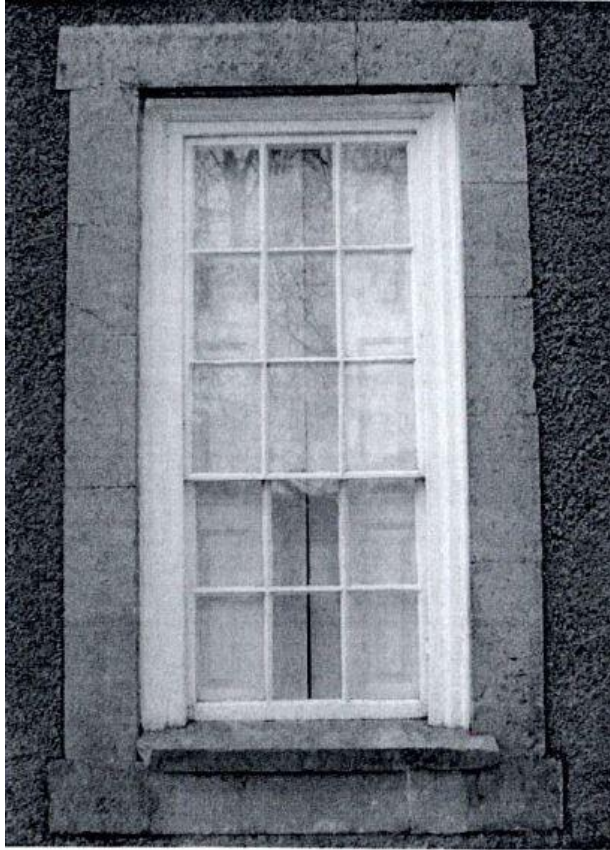
West Façade Rose Hill House.



North Façade Rose Hill House.



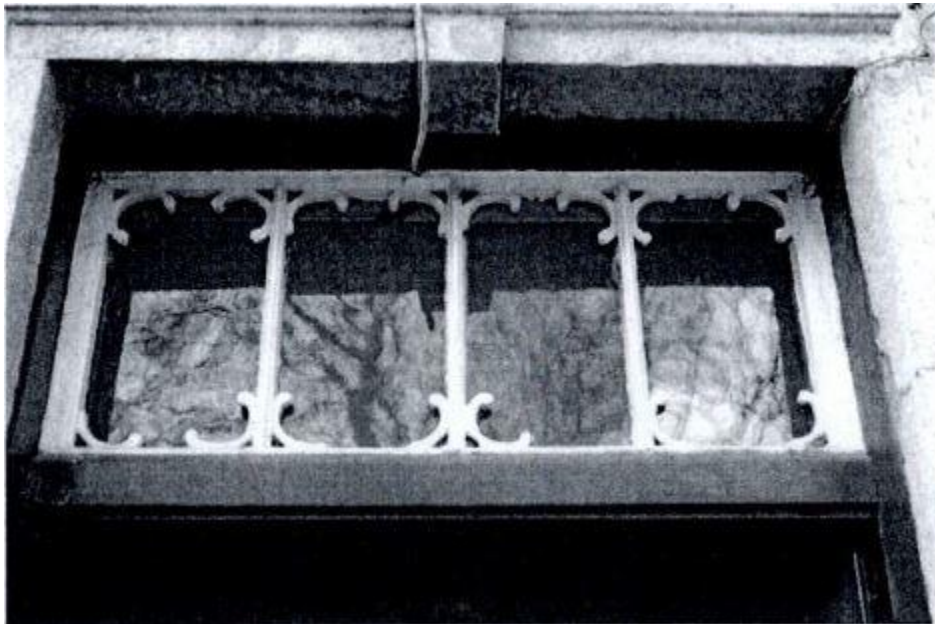
Outbuildings in Yard.



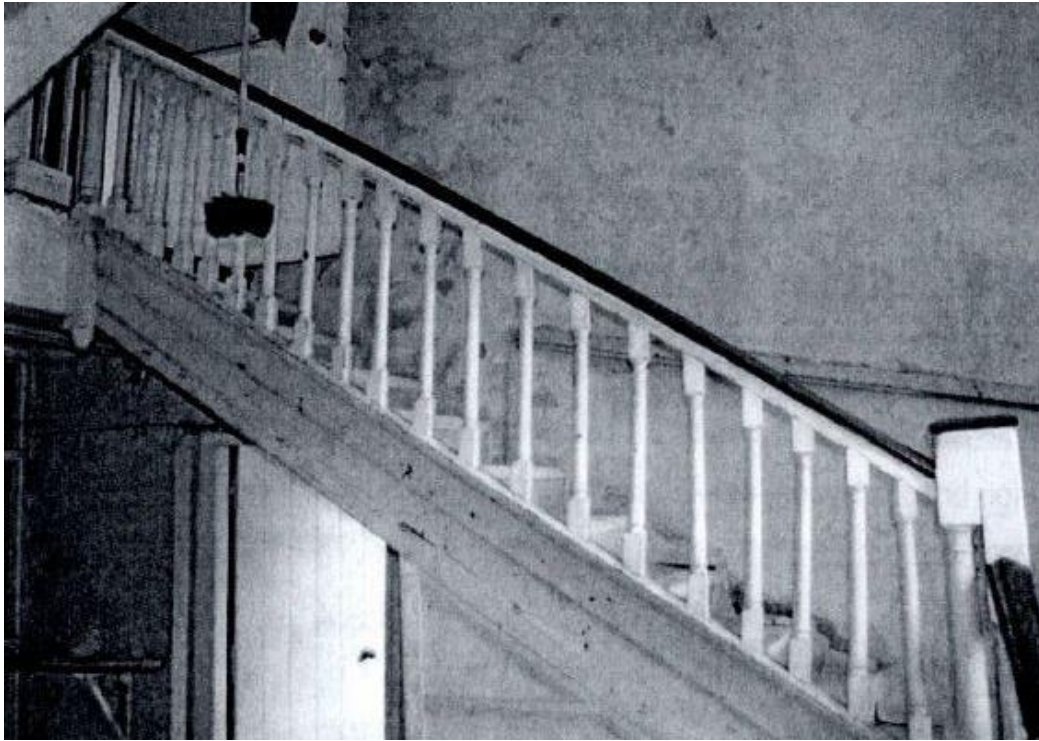
Timber Sliding Sash Window – Ground Floor



East façade front door.



Decorative Overlight above Front Door.



Stairs from Basement to Ground Floor.



North Attic Bedroom.



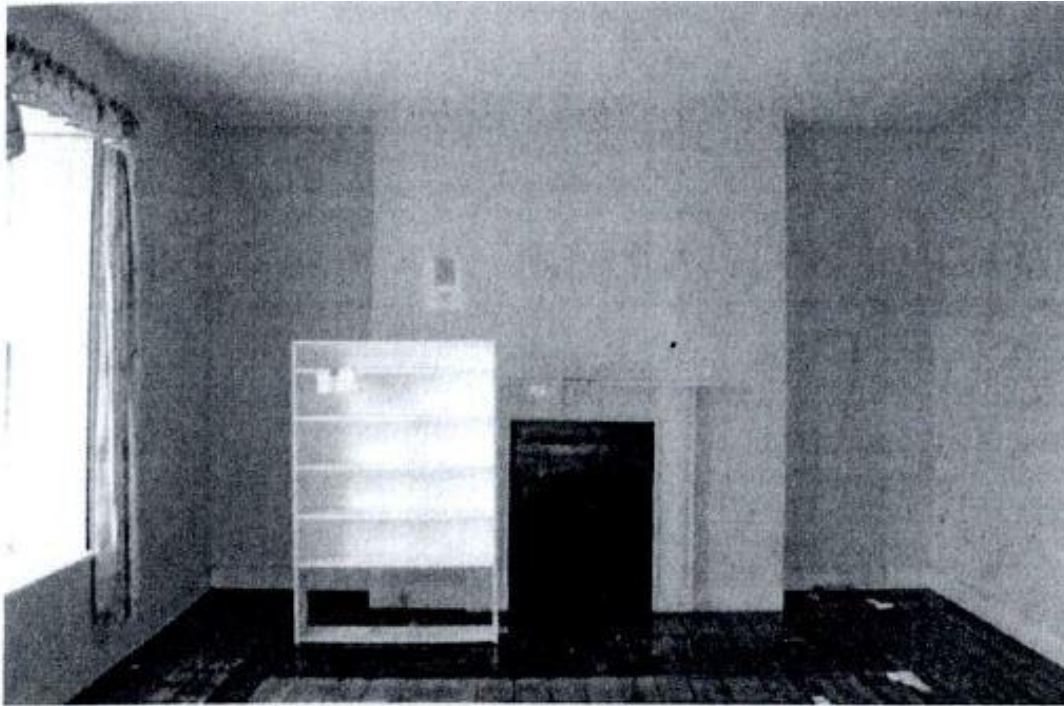
West Façade Rose Hill House.



Internal View of 18th C form Timber Sliding Sash Window.



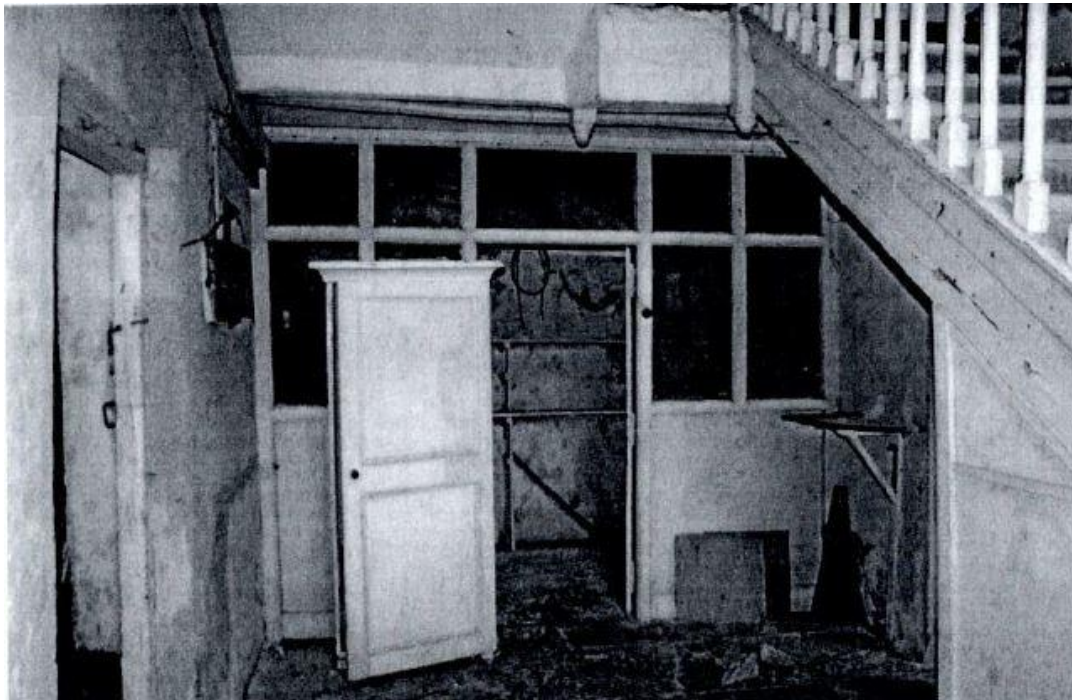
Fireplace ground level.



First Floor South Bedroom.



First Floor North Bedroom.



Basement Level Hall.



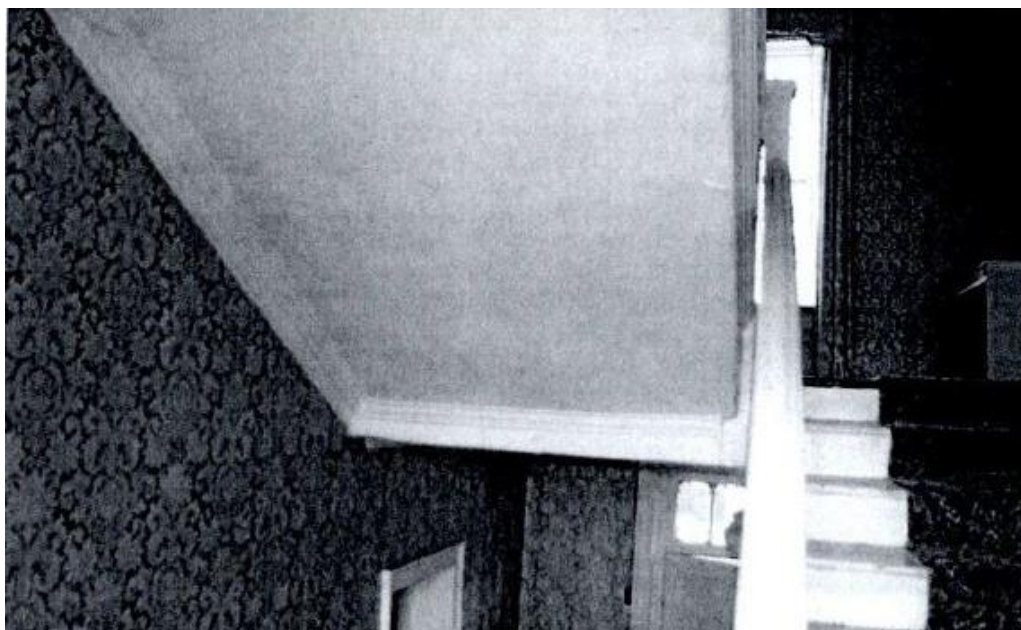
Ground Floor North Wing Door.



Kitchen on Ground Level.



Ground Floor North Room.



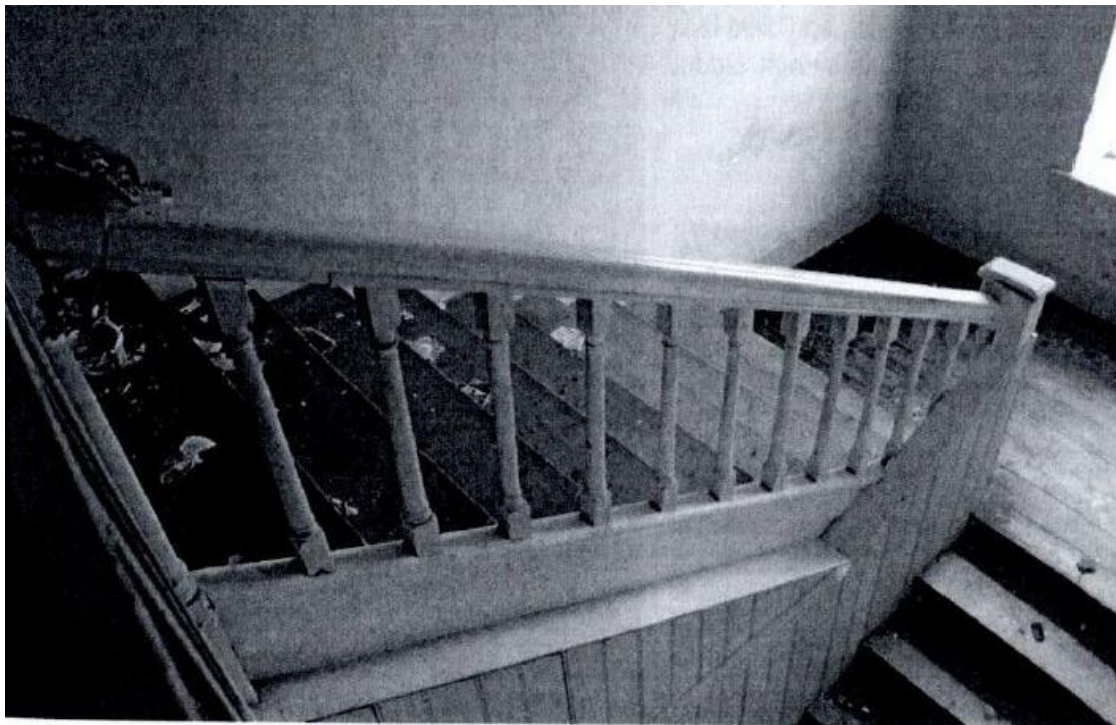
Stairs from Ground Floor to First Floor.



Stairs.



Landing and Stairs to Attic.



Stairs from First Floor to Attic.

Selected Images – Contemporary



East Façade Rose Hill House.



East Façade Rose Hill House.



West Façade Rose Hill House.



Outbuildings in Courtyard.



West Façade and outbuildings from courtyard



Courtyard external walls.



Outbuildings in courtyard.



Outbuildings in courtyard.



Existing Roof - Outbuilding.



West Façade and External Boundary Walls.

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JCA Black and White images 2006

End.